



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: November 29, 2017 REPORT NO. HO-17-088

HEARING DATE: December 13, 2017

SUBJECT: FAMILY HEALTH CENTER PARKING - PROCESS THREE DECISION

PROJECT NUMBER: [522386](#)

OWNER/APPLICANT: Family Health Centers of San Diego, Incorporated

SUMMARY

Issue: Should the Hearing Officer approve the demolition of existing buildings for the development of a parking lot for the Family Health Center at 1825-41, 1831 and 1833 National Avenue within the Barrio Logan Community Planning area?

Staff Recommendation: Approve Coastal Development Permit No. 1848989 and Site Development Permit No. 1852274.

Community Planning Group Recommendation: On January 18, 2017, the Barrio Logan Planning Group voted 9-0-2 to recommend approval of the proposed project without recommendations.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15311 (Accessory Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 8, 2017 and the opportunity to appeal that determination ended November 24, 2017.

BACKGROUND

The 0.56-acre site is located at 1825-41, 1831 and 1833 National Avenue within the Parking overlay zone, the Coastal Overlay zone (non-appealable) and the Redevelopment Subdistrict (BLPD-REDEVLP-SUBD) zone within the Barrio Logan Community Plan Area. The site is located on the south side of National Avenue between Beardsley Street and Caesar Chavez Parkway and a half of a mile from the San Diego Bay and shipyards.

The site consists of three parcels which front National Avenue with one existing driveway. There is an improved alley to the south. The northwest parcel is currently occupied by two vacant residential

structures totaling 2,708 square feet. An asphalt concrete parking lot is in the middle parcel and contains 13 parking spaces. The eastern parcel contains a vacant industrial commercial building with a shed totaling 5,480 square feet. The site is relatively flat with a gentle slope to the southwest with elevation ranges from approximately 40 to 42 feet above mean sea level.

One of the structures on the northwest parcel was determined not historic on August 25, 2014 under Project No. 382383. The other structure on that same parcel was considered by the Historic Resources Board on February 23, 2017 and determined not historic after a vote to designate failed 4-4-0. The structure on the eastern parcel built in 1974, was not subject to Historic review at this time.

DISCUSSION

The project proposes the demolition of the existing buildings and the development of a new accessory parking lot for the adjacent Family Health Center, including landscaping and a security gate for the existing driveway off National Avenue. Access to the parking lot would be from the existing driveway on National Avenue and the existing alley. The parking lot would consist of 48 automobile parking spaces including one van and one standard accessible parking space. The project also proposes the reconstruction of portions of the curb, gutter, sidewalk, the alley and the existing driveway. The proposed project meets all zoning requirements, including setbacks and landscaping and no deviations are proposed.

The adjacent Family Health Center is located at 1809 National Avenue and has two parking lots for their clients. The first one is behind the health center and provides 71 parking spaces. The second parking lot is directly across National Avenue and provides 22 parking spaces. The proposed parking lot would utilize a shared parking agreement with the Family Health Center and the parking lot across the street. The proposed project of 48 parking spaces would put the total parking spaces for the health center to 141.

A Site Development Permit (SDP) is required pursuant to San Diego Municipal Code (SDMC) Sections 151.0201(c) and 152.0202(b) due to the site being within the Barrio Logan Planned District. A Coastal Development Permit (CDP) is required pursuant to SDMC Sections 126.0702(a) and 152.0202(c) due to the site being within both the Coastal Overlay zone (non-appealable) area 2 and the Barrio Logan Planned District.

The project site is located within the Redevelopment Subdistrict of the Barrio Logan Community Plan. The Barrio Logan Community Plan designates the site as Commercial/Residential, Mixed-Use. The addition of a parking lot in conjunction with the existing and adjacent Family Health Center is an allowed use within the land use designation. The community plan also calls for an educational-cultural center near Perkins Elementary, and the retention/expansion of social services and facilities within the area surrounding the school. The project site is approximately one block north of Perkins Elementary. Therefore, the addition of the parking lot to support the health center complies with the land use plan.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1848989 and Site Development Permit No. 1852274, with modifications.
2. Deny Coastal Development Permit No. 1848989 and Site Development Permit No. 1852274, if the findings required to approve the project cannot be affirmed.

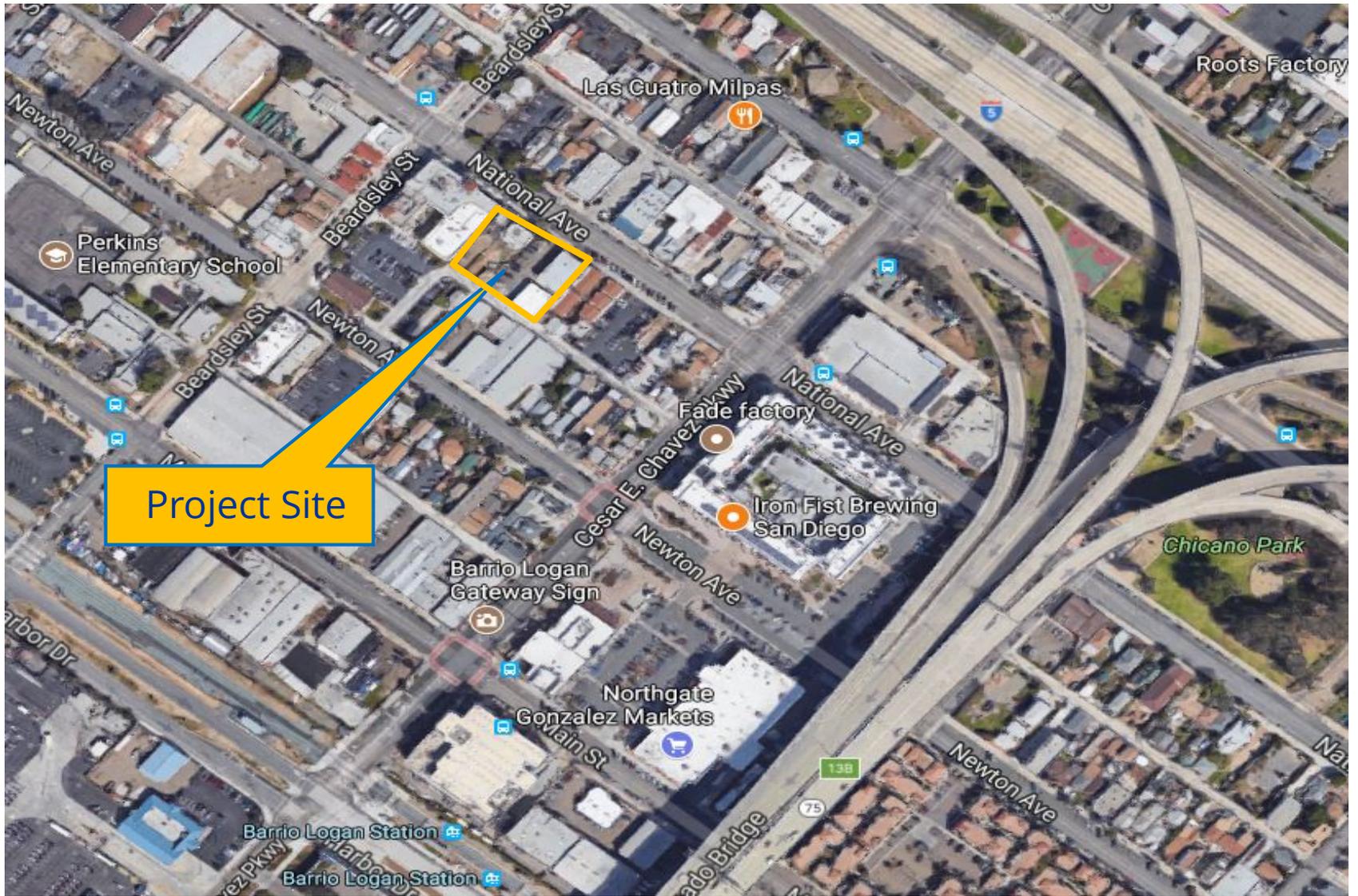
Respectfully submitted,



Renee Mezo
Development Project Manager

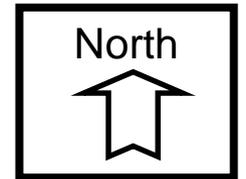
Attachments:

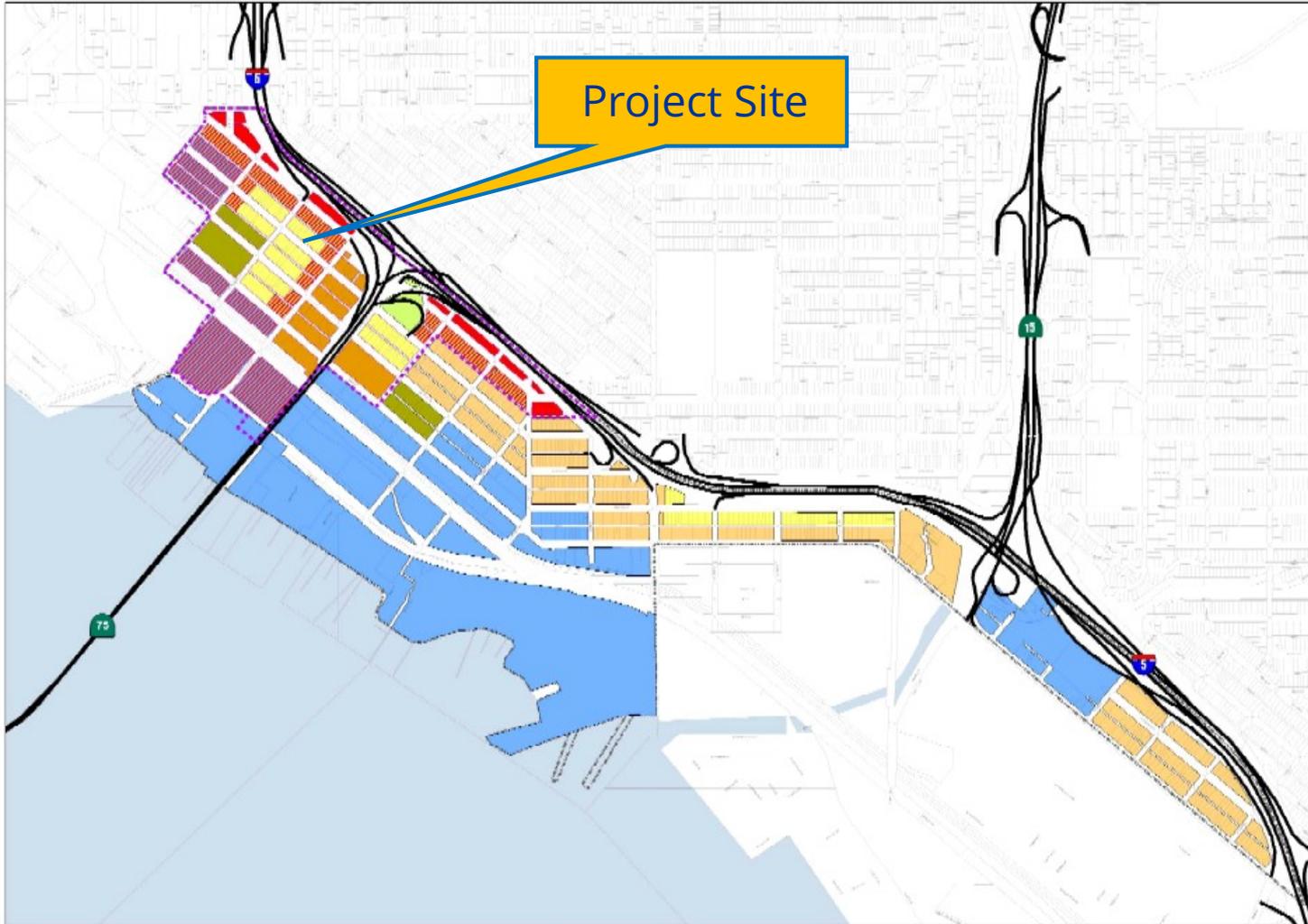
1. Aerial Photograph
2. Community Plan Land Use Map
3. Draft Permit with Conditions
4. Draft Resolution with Findings
5. CEQA Exemption
6. Community Planning Group Recommendation
7. Ownership Disclosure Statement
8. Project Plans



Aerial Photo

FAMILY HEALTH CENTER-1825-41 NATIONAL AVENUE
PROJECT NO. 522386





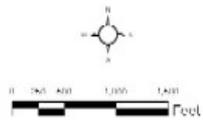
CITY OF SAN DIEGO
Planning Department

Legend

Community Plan Land Use

- Community Facilities
 - Community Institutional/Professional
 - Neighborhood Commercial/Professional
 - Community Commercial
 - Neighborhood Retail
 - Public and Open Space
 - Community Facilities
- Neighborhood Plan Land Use
- Medium Density
 - Medium Density
 - Community Office
 - Community Institutional/Professional
 - Light Industrial/Commercial
 - Public Open Space
 - Unincorporated Area Boundary

Re-designated Area established May 7, 1991 -
City Council Resolution N 217978
Community Plan Boundary Amended April 20, 1995 -
CITY COUNCIL RESOLUTION N 218976



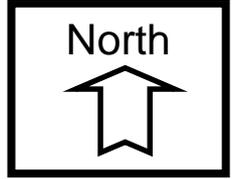
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DATE: 11/20/18



Land Use Map

FAMILY HEALTH CENTER - 1825-41 NATIONAL AVENUE
PROJECT NO. 522386



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007109

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1852274 AND
COASTAL DEVELOPMENT PERMIT NO. 1848989
FAMILY HEALTH CENTER PARKING - PROJECT NO. 522386
HEARING OFFICER
DRAFT

This Coastal Development Permit No. 1848989 and Site Development Permit No. 1852274 (collectively, "Permit") are granted by the HEARING OFFICER of the City of San Diego to Family Health Centers of San Diego, Inc., a California not-for-profit corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702 and 152.0202. The 0.56-acre site is located at 1825-41, 1831 and 1833 National Avenue in the Redevelopment Subdistrict (BLPD-REDEVL P-SUBD) zone, the Parking overlay zone, the Coastal overlay zone (non-appealable) within the Barrio Logan Community Plan Area. The project site is legally described as: Lots 40 and 41 in Block 130 in subdivision of Pueblo Lot 1157, Map 209, made by Charles Fox, filed in the office of the County Recorder July 11, 1870.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new parking lot for the adjacent Family Health Center, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 13, 2017, on file in the Development Services Department.

The project shall include:

- a. The demolition of the existing structures;
- b. The development of a new parking lot (48 parking spaces) for the adjacent Family Health Center, including perimeter fencing and an electronic gate;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this Permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This Permit must be utilized by December 29, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity with Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to

comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. The project proposes to export 50 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the trees, tree grates and irrigation as well as private walk on National Avenue public right-of-way.

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on National Avenue.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the curb with current City standard along National Avenue frontage to the satisfaction of City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the alley full width per current City standard G-21 adjacent to the site to the satisfaction of City Engineer.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 24-foot driveway per current City Standards, adjacent to the site on National Avenue.
17. Prior to issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the closure of all non-utilized driveway (or any portion of) and restore curb, gutter and sidewalk per current City standard to the satisfaction of City Engineer.
18. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
19. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
21. Prior to issuance of any construction permits, the Owner/Permittee shall consolidate all existing lots in to a single lot (Lot Consolidation) to the satisfaction of City Engineer.

LANDSCAPE REQUIREMENTS:

22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including improvements within the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.
23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.
24. Prior to issuance of any construction permits, landscape and irrigation plans in substantial conformance with Exhibit 'A,' shall be submitted to the Development Services Department for approval.

The plans shall provide a minimum root zone of 40 square feet in area unencumbered by utilities and hardscape for all trees.

TRANSPORTATION REQUIREMENTS

25. The automobile, motorcycle, and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

26. Applicant shall execute and record a Shared Parking Agreement for the proposed 48 parking spaces within the Assessor's Parcel Numbers 538-240-02, 03, and 23, and for the 22 parking spaces within Assessor's Parcel Number 538-250-02 to serve the Family Health Center located at 1809 National Avenue satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

27. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire, and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

28. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

29. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

30. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

31. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

32. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to install a high rated traffic lid box for the existing water meter.

33. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to disconnect (kill) at the main any existing unused water service.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the HEARING OFFICER of the City of San Diego on December 13, 2017 and Resolution No. XXXX.

HEARING OFFICER
RESOLUTION NO. XXXX
**SITE DEVELOPMENT PERMIT NO. 1852274 AND
COASTAL DEVELOPMENT PERMIT NO. 1848989
FAMILY HEALTH CENTER PARKING - PROJECT NO. 522386
DRAFT**

WHEREAS, Family Health Centers of San Diego, Inc., a California not-for-profit corporation, Owner/Permittee, filed an application with the City of San Diego to development a new parking lot for the adjacent Family Health Center, including landscaping and fencing (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval) for the associated Permit Nos. 1848989 and 1852274 on portions of a 0.56-acre site;

WHEREAS, the project site is located at 1825-41, 1831 and 1833 National Avenue in the Redevelopment Subdistrict (BLPD-REDEVLP-SUBD) zone, the Parking overlay zone, the Coastal overlay zone (non-appealable) within the Barrio Logan Community Plan Area;

WHEREAS, the project site is legally described as Lots 40 and 41 in Block 130 in subdivision of Pueblo Lot 1157, Map 209, made by Charles Fox, filed in the office of the County Recorder July 11, 1870;

WHEREAS, on December 13, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1848989 and Site Development Permit No. 1852274 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on November 8, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an environmental determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15311 (Accessory Structures), and there was no appeal of the environmental determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written findings, dated December 13, 2017.

FINDINGS:

Site Development Permit Findings, San Diego Municipal Code Section 126.0505:

1. The proposed development will not adversely affect the applicable land use plan.

The project site is located at 1825-41, 1831 and 1833 National Avenue in the Redevelopment Subdistrict (BLPD-REDEVLP-SUBD) zone, the Parking overlay zone, the Coastal overlay zone (non-appealable) within the Barrio Logan Community Plan Area. The Barrio Logan Community designates the site as Commercial/Residential, Mixed-Use. The addition of a parking lot in conjunction with the existing and adjacent Family Health Center is an allowed use within the land use designation. The community plan also calls for an educational-

cultural center near Perkins Elementary, and the retention/expansion of social services and facilities within the area surrounding the school. The project site is approximately one block north of Perkins Elementary. Therefore, the addition of the parking lot to support the health center will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations. Any future construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 1825-41, 1831 and 1833 National Avenue in the Redevelopment Subdistrict (BLPD-REDEVLP-SUBD) zone, the Parking overlay zone, the Coastal overlay zone (non-appealable) within the Barrio Logan Community Plan Area. The project is proposing the demolition of existing structures for the construction of a parking lot to serve the adjacent Family Health Center, The proposed project meets all zoning requirements, including setbacks and landscaping and no deviations are proposed. Therefore, the proposed development will comply with the regulations of the Land Development Code.

Findings for Coastal Development Permit San Diego Municipal Code Section 126.0708:

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project site is located at 1825-41, 1831 and 1833 National Avenue in the Redevelopment Subdistrict (BLPD-REDEVLP-SUBD) zone, the Parking overlay zone, the Coastal overlay zone (non-appealable) within the Barrio Logan Community Plan Area. The site is located approximately one-quarter mile from the Pacific Ocean, and is not located near or adjacent to any existing public access way, nor is it adjacent to any ocean view corridor identified in the adopted Local Coastal Program Land Use Plan. Therefore, the proposed project will not encroach upon any physical access way utilized by the public, and will not obstruct views to and along the ocean or any other scenic coastal areas from public vantage points.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The subject property is within a fully developed urban neighborhood and does not contain or is adjacent to any environmentally sensitive lands and is not within or adjacent to the Multiple Habitat Planning Area of the City of San Diego's Multiple Species Conservation Program Subarea Plan area. As such, the proposed project would not adversely affect any environmental sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located in the Redevelopment Subdistrict (BLPD-REDEVLP-SUBD) zone, the Parking overlay zone, the Coastal overlay zone (non-appealable) within the Barrio Logan Community Plan Area. The Barrio Logan Community Plan land use designation for the site is Commercial/Residential, Mixed-Use. The addition of a parking lot in conjunction with the existing Family Health Center is an allowed use within the land use designation. Therefore, the proposed coastal development is in conformance with the certified Local Coastal Program land use plan and complies with all regulations of the Certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 1825-41, 1831 and 1833 National Avenue in the Redevelopment Subdistrict (BLPD-REDEVLP-SUBD) zone, the Parking overlay zone, the Coastal overlay zone (non-appealable) within the Barrio Logan Community Plan Area. This project is not located between the nearest public road and the sea or any body of water and therefore, would not be subject to the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer Site Development Permit No. 1848989 and Coastal Development Permit No. 1852274 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1848989 and 1852274 a copy of which is attached hereto and made a part hereof.



Renee Mezo
Development Project Manager
Development Services

Adopted on: December 13, 2017
IO#: 24007109

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: Family Health Center CDP/SDP**Project No. 522386/SCH No.: N/A****Project Location-Specific:** 1825-1841 National Avenue (APN 538-240-02, 03, and 23), San Diego, CA 92113**Project Location-City/County:** San Diego/San Diego

Description of nature and purpose of the Project: COASTAL DEVELOPMENT PERMIT (CDP) and SITE DEVELOPMENT PERMIT (SDP) for the construction of a new parking lot for the existing Family Health Center located at 1809 National Avenue, including landscaping, site lighting and perimeter fencing, on a 24,500 square foot lot.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Brian Longmore, Permit Solutions (Firm), PO Box 503943, San Diego, CA 92150, (858) 603-9478

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
 Declared Emergency (Sec. 21080(b)(3); 15269(a));
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: CEQA Exemption 15311 (Accessory Structures)

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15311 which consists of the construction or placement of minor structures accessory to (appurtenant to) existing commercial, industrial, or institutional facilities, including but not limited to; small parking lots. In addition, the exceptions listed in CEQA Section 15300.2 would not apply.

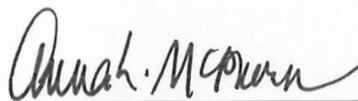
Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA


 Anush McPhee, Senior Planner

November 24, 2017

Signature/Title

Date



July 20, 2017

Rene Mezo
Development Services
City of San Diego
1222 First Ave
San Diego CA 92101

Re: Family Health Centers San Diego proposed parking lot at 1825-1841 National Ave.

Dear Rene,

At our meeting of January 18th 2017, the Barrio Logan Planning Group voted 9 yes, 0 no and 2 abstentions for a motion in favor of the Family Health Center San Diego proposed parking lot at 1825-1841 National Avenue in Barrio Logan.

Please accept this as verification of that vote and the group's support of the proposed project.

Thank you in advance.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark W. Steele".

Mark W. Steele, FAIA, AICP
Chair, Barrio Logan Planning Group



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title 1825-41 New Parking Lot **Project No. For City Use Only**
522386

Project Address:
1825-41 National Avenue, San Diego, CA. 92113

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

<p>Name of Individual (type or print): _____</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address: _____</p> <p>City/State/Zip: _____</p> <p>Phone No: _____ Fax No: _____</p> <p>Signature : _____ Date: _____</p>	<p>Name of Individual (type or print): _____</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address: _____</p> <p>City/State/Zip: _____</p> <p>Phone No: _____ Fax No: _____</p> <p>Signature : _____ Date: _____</p>
---	---

<p>Name of Individual (type or print): _____</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address: _____</p> <p>City/State/Zip: _____</p> <p>Phone No: _____ Fax No: _____</p> <p>Signature : _____ Date: _____</p>	<p>Name of Individual (type or print): _____</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address: _____</p> <p>City/State/Zip: _____</p> <p>Phone No: _____ Fax No: _____</p> <p>Signature : _____ Date: _____</p>
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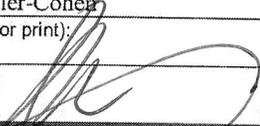
Project Title: 1825-41 New Parking Lot	Project No. (For City Use Only)
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General)
 What State? _____
 Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
 Family Health Centers of San Diego
 Owner Tenant/Lessee
Street Address:
 823 Gateway Center Way
City/State/Zip:
 San Diego, CA 92113
Phone No: (619)515-2301 **Fax No:** (619)237-1856
Name of Corporate Officer/Partner (type or print):
 Fran Butler-Cooper
Title (type or print):
Signature :  **Date:** 10/12/14

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
Street Address:

City/State/Zip:

Phone No: **Fax No:**

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : **Date:**

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:

City/State/Zip:

Phone No: **Fax No:**

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : **Date:**

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:

City/State/Zip:

Phone No: **Fax No:**

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : **Date:**

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:

City/State/Zip:

Phone No: **Fax No:**

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : **Date:**

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:

City/State/Zip:

Phone No: **Fax No:**

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : **Date:**



FAMILY HEALTH CENTERS OF SAN DIEGO National Avenue Parking Lot 1825-1841 National Avenue, San Diego, Ca. 92113

National Ave. Parking Lot
1825-1841 National Avenue, San Diego, Ca. 92113
2016 PARKING LOT



Contact: David Wisenhunt
Director of Design & Construction
(619) 515-2569
3959 Lockridge St.
San Diego, CA 92102

DATE	DESCRIPTION
11/07/2016	ORIGINAL DRAWINGS (COMPLETENESS REVIEW)
12/16/2016	REVISION NO. 1 - CDP COMMENTS
07/07/2017	REVISION NO. 2 - CDP COMMENTS
07/28/2017	REVISION NO. 3 - CDP COMMENTS
09/28/2017	REVISION NO. 4 - CDP COMMENTS

Prepared By:
RETALAMP DESIGN
1620 FIFTH AVE
SUITE 116
SAN DIEGO, CA 92101
PH: (619) 215-1677

COVER SHEET

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.

SEE CIVIL DRAWINGS FOR ALL CIVIL INFORMATION.

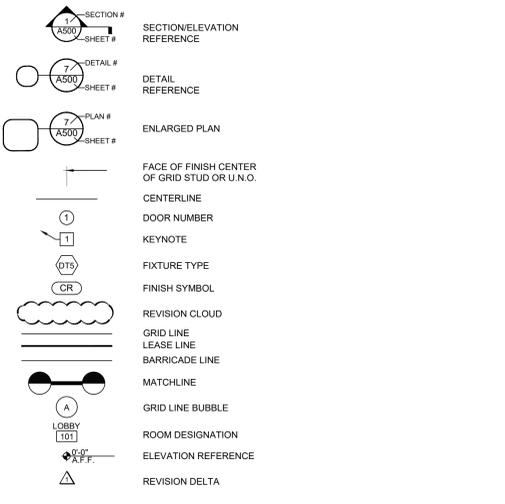
SEE LANDSCAPE DRAWINGS FOR ALL LANDSCAPING INFORMATION.

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO 2001.01 NPOES BL CA501875 (HPP/CLERK/DOC.SANMET.GOV/RWC/CS/PROGRAMS/SD_STORM-WATER.HTML).

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPLICATED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SYMBOLS

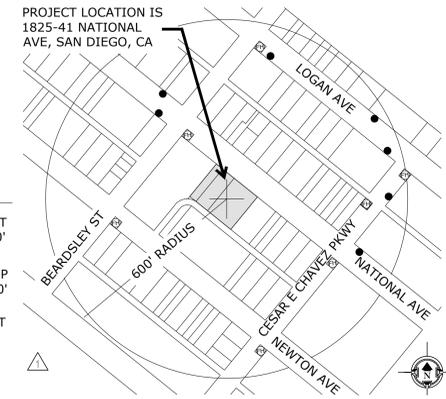


ABBREVIATIONS

A.C.	ASPHALT CONCRETE	FIN.	FINISH	N.I.C.	NOT IN CONTRACT	SERV.SINK	SERVICE SINK
A.C.T.	ACOUSTICAL CEILING TILE	F.G.	FINISH GRADE	(N)	NEW	S.S.	STAINLESS STEEL
A.F.F.	ABOVE FINISH FLOOR	F.L.R.	FLOOR	N.T.S.	NOT TO SCALE	STR.	STRUCTURAL
ALUM.	ALUMINUM	F.S.	FLOOR SINK	O.C.	ON CENTER	SUSP.	SUSPENDED
BLKG.	BLOCKING	F.O.M.	FACE OF MASONRY	O.D.	OUTSIDE DIAMETER	T.B.D.	TO BE DECIDED
BM.	BEAM	F.O.S.	FACE OF STUD	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED	T.O.C	TOP OF CURB
B.O.	BOTTOM OF	FIN.S.	FINISH SURFACE	O.F.D.	OVERFLOW DRAIN	T.O.E	TOP OF EAVE
B.U.R.	BUILT UP ROOF	F.R.T.	FIRE RESISTANT TREATED	O.M.	OPERATIONS MANAGER	T.J.	TOOLED JOINT
C.C.	CENTER TO CENTER	FTG.	FOOTING	OPP	OPPOSITE	T.O.M	TOP OF MASONRY
C.F.C.I.	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	FSM	FIRE SPRINKLER MAIN	OS.	OVERFLOW SCUPPER	T.O.P	TOP OF PANEL
C.J.	CONTROL JOINT	F.V.	FIELD VERIFY	OPNG.	OPENING	T.O.PAR	TOP OF PARAPET
C.L.	CENTER LINE	GA.	GAUGE	O.T.O	OUT TO OUT	T.O.R	TOP OF RIDGE
CLR.	CLEARANCE	GALV.	GALVANIZED	O.V.H.D.	OVERHEAD	T.O.S	TOP OF STEEL
C.C.R.	CONSTRUCTION CODE REVIEW	G.C.	GENERAL CONTRACTOR	P.D.	PANIC DEVICE	T.O.W	TOP OF WALL
C.M.U.	CONCRETE MASONRY UNIT	G.L.S.	GLASS	P.L.	PROPERTY LINE	T.O.SW	TOP OF SCREEN WALL
CONC.	CONCRETE	GR.	GRADE	PLAM.	PLASTIC LAMINATE	T.O.SF	TOP OF STEEL FRAMING
COL.	COLUMN	GYP.BD.	GYPSPUM BOARD	PLYWD.	PLYWOOD	T.S.	TUBE STEEL
C.T.	CERAMIC TILE	HT.	HEIGHT	RAD.	RADIUS	TYP.	TYPICAL
D.F.	DRINKING FOUNTAIN	H.M.	HOLLOW METAL	(R)	RELOCATE, UNO	UBC	UNIFORM BUILDING CODE
DIA.	DIAMETER	I.D.	INSIDE DIAMETER	R.C.P.	REFLECTED CEILING PLAN	UFC	UNIFORM FIRE CODE
DIM.	DIMENSION	IBC	INTERNATIONAL BUILDING CODE	R.D.	ROOF DRAIN	U.L.	UNDERWRITERS LABORAT.
D.S.	DOWNSPOUT	IFC	INTERNATIONAL FIRE CODE	R.I.	ROUGH IN	U.N.O.	UNLESS NOTED OTHERWISE VARIES
D.B.L.	DOUBLE	J.T.	JOINT	R.I.C.	ROUGH IN AND CONNECT	VAR.	VARIABLE
(E)	EXISTING	MDF	MEDIUM DENSITY BOARD	R.O.	ROUGH OPENING	V.C.T.	VINYL COMPOSITION TILE
E.J.	EXPANSION JOINT	MECH. ELEC. & PLUMB.	MEDIUM DENSITY BOARD	S.C.	SOLID CORE	VEST.	VESTIBULE
ELEV.	ELEVATION	MFR.	MANUFACTURER	S.F.	SQUARE FEET	V.I.F.	VERIFY IN FIELD
EQ.	EQUAL	MFR.	MANUFACTURER	SHT.	SHEET	W.C.	WATER CLOSET
EXT.	EXTERIOR	M.O.	MASONRY OPENING	SIM.	SIMILAR	WD.	WOOD
F.D.	FLOOR DRAIN	M.TD.	MOUNTED	W.H.	WATER HEATER	W/	WITH
F.E.C.	FIRE EXTINGUISHER CABINET	MTL.	METAL	SPEC.	SPECIFICATIONS		
		N.C.	NO CEILING				

GENERAL NOTES

- THE SPECIFICATIONS, INCLUDED HERewith, ARE AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS AND ALL CONDITIONS MENTIONED IN EITHER SHALL BE EXECUTED AS THOUGH SPECIFICALLY MENTIONED IN BOTH.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LOCAL FIRE MARSHALL, THE CITY OF SAN DIEGO BUILDING OFFICIALS AND UTILITY COMPANIES FURNISHING SERVICES. NOTHING IN THE PLANS OR SPECIFICATIONS SHALL BE CONSIDERED AS PERMITTING WORK THAT IS NOT IN CONFORMANCE WITH APPLICABLE CODES OR REGULATIONS. CODES GOVERNING THIS WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - THE 2013 CALIFORNIA BUILDING (CBC) IS BASED ON THE 2012 IBC, BUT INCLUDES NUMEROUS STATE OF CALIFORNIA AMENDMENTS.
 - THE 2013 CALIFORNIA ELECTRICAL CODE (CEC) IS BASED ON THE 2012 NEC WITH STATE OF CALIFORNIA AMENDMENTS.
 - THE 2013 CALIFORNIA MECHANICAL CODE (CMC) IS BASED ON THE 2012 UMC WITH STATE OF CALIFORNIA AMENDMENTS.
 - THE 2013 CALIFORNIA PLUMBING CODE (CPC) IS BASED ON THE 2012 UPC WITH STATE OF CALIFORNIA AMENDMENTS.
 - THE 2013 CALIFORNIA ENERGY CODE.
 - THE 2013 UNIFORM FIRE CODE AND
 - 2013 CALIFORNIA AMENDMENTS AMERICANS WITH DISABILITIES ACT (CALIFORNIA BUILDING CODE - CHAPTER 11)
 - 2013 CALIFORNIA GREEN CODE
- THESE PLANS AND ALL NEW WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA - TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO
- REQUIREMENTS OF CODES AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM. WHERE CONTRACT DOCUMENTS EXCEED W/O VIOLATING CODE AND REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. WHERE CODES CONFLICT, THE MORE STRINGENT SHALL APPLY.
- ALL REQUIRED PERMITS SHALL BE OBTAINED FROM THE BUILDING OFFICIALS AND THE LOCAL FIRE MARSHAL BEFORE THE BUILDING IS OCCUPIED. FIRE DEPT. APPROVAL SHALL BE REQUESTED PRIOR TO FRAMING INSPECTION.
- CONTRACTORS/SUBCONTRACTORS SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS, AND CONDITIONS OF WALLS, DOORS, PLUMBING, MECHANICAL ELECTRICAL ITEMS, ETC. (WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS) PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO ADVISE THE ARCHITECT OF ANY ADVERSE CONDITIONS OR DISCREPANCIES.
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH STATE, FEDERAL AND LOCAL CODES AND ORDINANCES.
- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND THE EXTENT OF THE WORK REQUIRED TO COMPLETE THE WORK.
- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35
- WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO
- OPEN FLAMES, FIRE AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE THE CITY OF SAN DIEGO AND CFC 308
- THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIME. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.
- NOTICE TO THE APPLICANT/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.



LEGEND

- EXISTING FIRE HYDRANT LOCATIONS WITHIN 600' OF SITE
 - EXISTING TRANSIT STOP LOCATIONS WITHIN 600' OF SITE
- NOTE: NO NEW TRANSIT STOPS PROPOSED

PROJECT INFORMATION

LAND USAGE: OVERFLOW PARKING LOT

BUILDING ADDRESS NUMBERS: N/A: THERE WILL BE NO BUILDINGS ON THIS SITE. FHPS POLICY P-00-6 (UFC 901.1.1) DOES NOT APPLY.

SCOPE OF WORK: THIS NEW LOT IS BEING CONSTRUCTED AS OVERFLOW PARKING FOR THE 1809 NATIONAL AVENUE LOGAN HEIGHTS FAMILY HEALTH CENTERS. IT IS A 24,500 SQUARE FOOT GROUND LEVEL PARKING LOT FOR (48) VEHICLES, TO INCLUDE LANDSCAPING, SITE LIGHTING, AND PERIMETER FENCING. SCOPE TO INCLUDE DEMOLITION OF (4) EXISTING STRUCTURES UNDER: PROJECT ID: 84219

PERMIT APPROVAL NUMBERS:
 --- 1652954
 --- 1652957
 --- 1652958
 --- 1822109

PROJECT DATA:

OWNER/TENANT: FAMILY HEALTH CENTERS OF SAN DIEGO
3959 LOCKRIDGE STREET
SAN DIEGO, CALIFORNIA, 92102-4541
CONTACT: BRIAN TISHER
DIRECT LINE: (619) 876-4428

BUILDING INFORMATION:

SITE ADDRESS: 1825-1841 NATIONAL AVENUE, SAN DIEGO, CA. 92113

LEGAL DESCRIPTION: LOTS 37 THRU 42 IN BLOCK 130 OF MANNAE AND SCHILLER'S SUBDIVISION OF PUEBLO LOT 1157, IN THE CITY OF SAN DIEGO, ACCORDING TO MAP THEREOF NO. 209, FILED IN THE OFFICE RECORDER OF SAID COUNTY, JULY 11 1870.

EASEMENTS: NONE

ASSESSORS PARCEL NUMBER: 538-240-02, 03, 23
PROPERTY USE: PARKING LOT

REGULATING CODES: 2013 California Building Code
2013 California Mechanical Code
2013 California Plumbing Code
2013 California Electrical Code
2013 California Fire Code
2013 California Green Building Standards Code

EXISTING BUILDING(S) DATA:

1825 NATIONAL AVE.: 1244 SQ. FT. RES. STRUCT. YR CONSTRUCTED EST. 1903 (TO BE DEMOLISHED)
1831-33 NATIONAL AVE.: 1,500 SQ. FT. RES. STRUCT. YR CONSTRUCTED EST. 1913 (TO BE DEMOLISHED)
1841 NATIONAL AVE.: 3,400 SQ. FT. COMM. YR CONSTRUCTED EST. 1974 (TO BE DEMOLISHED)

GEOLOGIC HAZARD: CATEGORY 13

LANDSCAPE AREA FOR WATER CONSERVATION: ---

ZONING INFORMATION:

ZONING: BARRIO LOGAN REDEVELOPMENT DISTRICT, SUB DISTRICT 'D'

OVERLAY: COASTAL: COASTAL DEVELOPMENT PERMIT REQUIRED FOR THE DEVELOPMENT OF AN OVERFLOW PARKING LOT

TRANSIT OVERLAY: PROPERTY IS WITHIN THE TRANSIT OVERLAY ZONE

BUILDING DEPARTMENT: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 1ST AVE
SAN DIEGO, CA 92101
PHONE: (619) 448-5000

PARKING CALCULATIONS:

EXISTING FLOOR AREA, MEDICAL OFFICE:	41,479
EXISTING FLOOR AREA, MEDICAL RECORDS:	2,388
TOTAL EXISTING FLOOR AREA:	44,067
EXISTING ON-SITE PARKING SPACES:	71
EXISTING OFF-SITE PARKING SPACES:	22
TOTAL EXISTING PARKING SPACES APPROVED UNDER PREVIOUSLY CONFORMING PERMIT NO. 88466:	93
MINIMUM REQUIRED PARKING SPACES:	95

NEW OVERFLOW PARKING SPACES 48

TOTAL PARKING SPACES: 141

NUMBER OVER REQUIRED SPACES: 141-95 = 46

TOTAL NUMBER OF EXISTING ON-STREET PARKING: 31

NUMBER TO REMAIN UNAFFECTED: 31

REQUIRED ACCESSIBLE SPACES PER TABLE 11B-208.2: 5
(ONE OF WHICH SHALL BE VAN ACCESSIBLE)

PROVIDED ACCESSIBLE SPACES:
STANDARD VAN 5
TOTAL ACCESSIBLE SPACES PROVIDED: 7

NUMBER OF LOADING SPACES REQUIRED FOR PREVIOUSLY CONFORMING LOT (PROJECT ID 84219): 0

NUMBER OF LOADING SPACES PROVIDED: 0

NUMBER OF MOTORCYCLE SPACES REQUIRED FOR PREVIOUSLY CONFORMING LOT (PROJECT ID 84219): 0

NUMBER OF MOTORCYCLE SPACES PROVIDED: 0

NUMBER OF BICYCLE SPACES REQUIRED FOR PREVIOUSLY CONFORMING LOT (PROJECT ID 84219): 0

NUMBER OF BICYCLE SPACES PROVIDED: 0

NOTE: THIS PROJECT WILL UTILIZE A SHARED PARKING AGREEMENT FOR PARKING LOTS AND COUNTS SHOWN TO MEET MINIMUM PARKING REQUIREMENTS AND PROVIDE OVERFLOW PARKING TO MEET CLINIC NEEDS.

A SUPPORTING LOT CONSOLIDATION PROCESS WILL BE CONCURRENT WITH COASTAL DEVELOPMENT REVIEW.

APN NUMBERS PROPOSED FOR LOT CONSOLIDATION ARE:
538-240-02
538-240-03
538-240-23

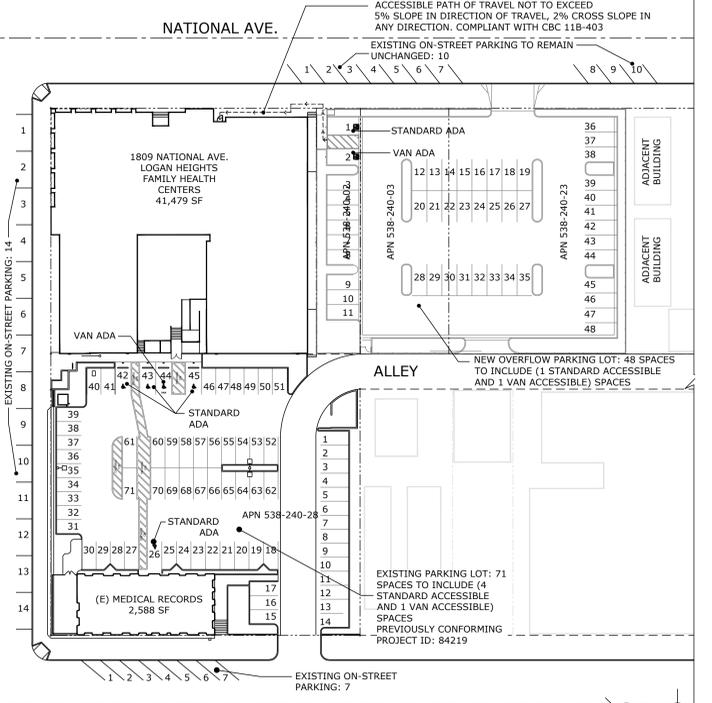
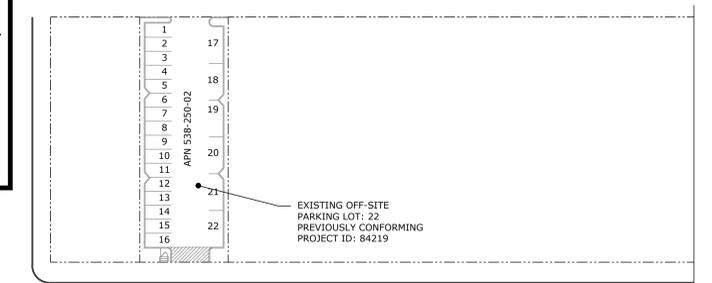
SHEET INDEX

ARCHITECTURAL	CIVIL	LANDSCAPE	ELECTRICAL
A000 COVER SHEET	C-01 PRELIMINARY GRADING AND DRAINAGE PLAN	L01 PLANTING PLAN	E001 ELECTRICAL NOTE SHEET
A001 ALTA SURVEY (FOR REFERENCE)		L02 PLANTING CALCULATIONS	E002 FIXTURE SCHEDULE AND SHEET SPECIFICATIONS
A101 PROPOSED PLAN			E003 EXTERIOR TITLE-24 CALCULATIONS
A102 ENLARGED TUBE STEEL SLIDING GATE PLAN AND ELEVATIONS			E004 SINGLE LINE DIAGRAM AND CALCULATIONS
A103 ENLARGED TUBE STEEL SLIDING GATE PLAN AND ELEVATIONS			E101 SITE ELECTRICAL PLAN
A104 STEEL GATE DETAILS			E102 SITE POINT BY POINT PHOTOMETRIC CALCULATIONS

PROJECT TEAM

- PROJECT DESIGNER:** LERIK SILVA, FAMILY HEALTH CENTERS OF SAN DIEGO, 3959 LOCKRIDGE STREET, SAN DIEGO, CA. 92102, PHONE: (619) 906-4592
- GEOTECHNICAL & ENVIRONMENTAL:** LISA BESTARD, NINYO & MOORE, 5710 RUFFIN ROAD, SAN DIEGO, CA. 92123, PHONE: (858) 576-1000
- LANDSCAPE ARCHITECT:** MARIAN MARUM, MARUM PARTNERSHIP, 10880 TREENA STREET, SUITE 100, SAN DIEGO, CA. 92131, PHONE: (619) 992-9533
- CIVIL ENGINEERS:** ALLEN BUTCHER, SB&O INC., 3990 RUFFIN ROAD SUITE 120, SAN DIEGO, CA. 92123, PHONE: (858) 560-8157
- ELECTRICAL ENGINEER:** TIM LOCKLEAR, ELEN CONSULTING, INC., 9150 CHESAPEAKE DR., SUITE 220, SAN DIEGO, CA. 92123, PHONE: (619) 992-9533

PROJECT ARCHITECT: CONRADO GALLARDO, RETAIL AMP DESIGN, 750 B ST., SUITE #3300, SAN DIEGO, CA. 92101, PHONE: (619) 215-1677

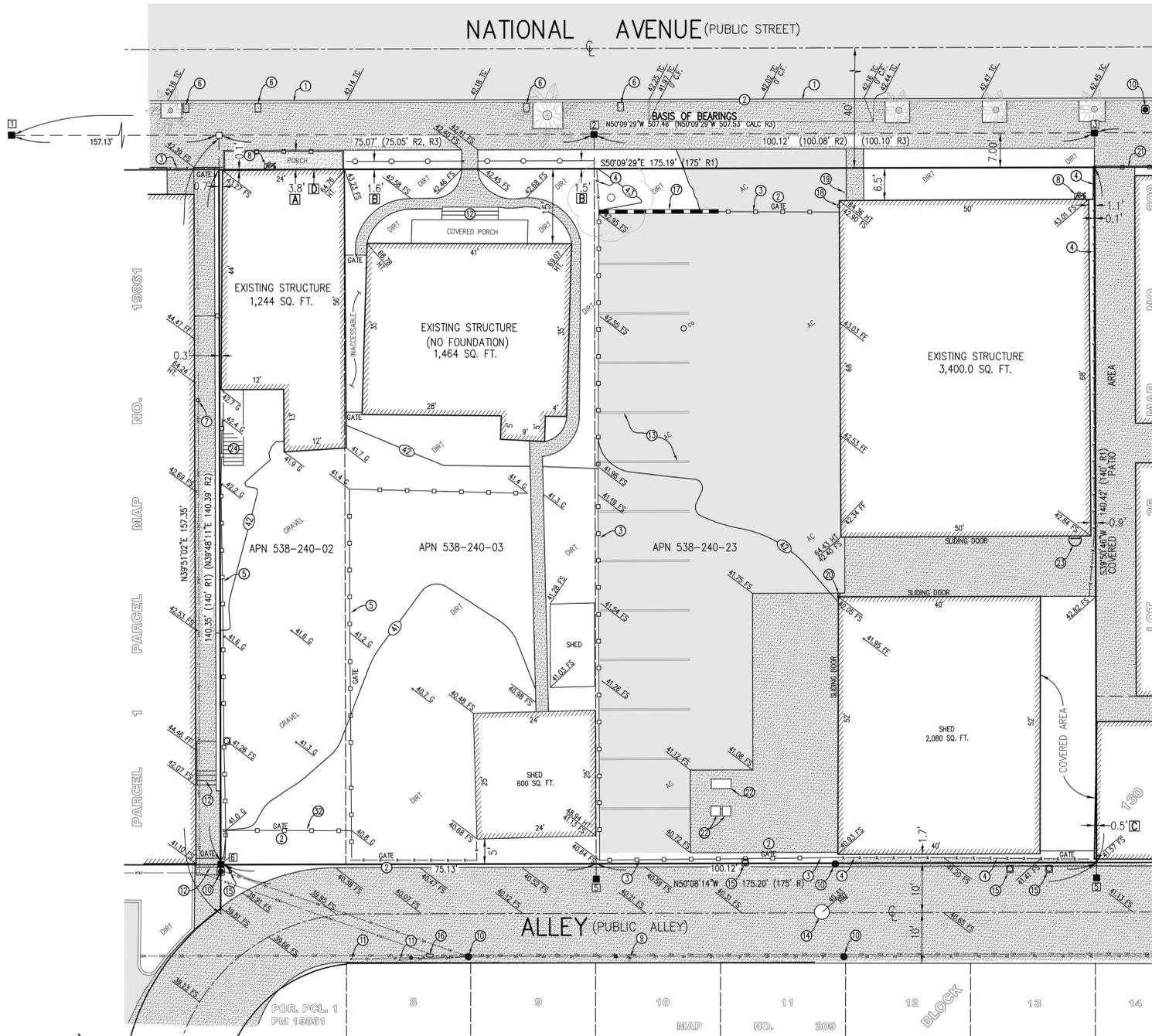


1825-1841 National Ave. Parking Lot Site Plan
SCALE: 1"=40'-0"
TRUE NORTH
SITE NORTH

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THIS PRIOR TO COMMENCEMENT OF ANY WORK.

ALTA/ACSM LAND TITLE SURVEY

SHEET 1 OF 1 SHEET



NOTE: DEMOLITION OF EXISTING STRUCTURES COMPLETED UNDER SEPARATE PERMIT.
PROJECT ID: 472211
PERMIT/ APPROVAL NUMBERS:
 - 1652954
 - 1652957
 - 1652958
 - 1822109

SURVEYOR'S NOTES

- NOTE NO. 1**
THIS SURVEY IS BASED ON THE FOLLOWING PRELIMINARY TITLE REPORTS:
APN 538-240-02: THAT CERTAIN PRELIMINARY REPORT BY STEWART TITLE, 7676 HAZARD CENTER DRIVE 14TH FLOOR, SAN DIEGO, CALIFORNIA, 92108, DATED MAY 09, 2014 ORDER NO. 01180-104137.
APN 538-240-03: THAT CERTAIN AMENDED PRELIMINARY REPORT BY FIDELITY NATIONAL TITLE COMPANY, 1300 DOVE STREET, SUITE 310, NEWPORT BEACH, CALIFORNIA, 92660, DATED SEPTEMBER 10, 2014 ORDER NO. 996-23048942-A-KCT.
APN 538-240-23: THAT CERTAIN PRELIMINARY REPORT BY STEWART TITLE, 7676 HAZARD CENTER DRIVE 14TH FLOOR, SAN DIEGO, CALIFORNIA, 92108, DATED AUGUST 11, 2014 ORDER NO. 01180-119059.
- NOTE NO. 2**
SUBJECT PROPERTY IS SERVED BY UNDERGROUND AND OVERHEAD UTILITIES. UTILITIES AND APPURTENANCES SHOWN HEREON DETERMINED FROM OBSERVABLE EVIDENCE AND SCHEMATIC DRAWINGS PROVIDED BY SAN DIEGO GAS & ELECTRIC COMPANY, AT&T AND COX COMMUNICATIONS.
- NOTE NO. 3**
BUILDING DIMENSIONS SHOWN HEREON ARE FOR THE EXTERIOR DIMENSION.
- NOTE NO. 4**
THE FOLLOWING EXCEPTIONS AFFECTING SUBJECT PROPERTY APPEAR IN THE HEREINABOVE MENTIONED PRELIMINARY REPORTS:
- APN 538-240-02**
EXCEPTION NO. 1: THE FACT SAID LAND LIES WITHIN THE BOUNDARIES OF THE BARRIO LOGAN REDEVELOPMENT PROJECT AREA AS DISCLOSED BY INSTRUMENT RECORDED MARCH 27, 2007 AS INSTRUMENT NO. 2007-0205129 OF OFFICIAL RECORDS.
EXCEPTION NO. 2: A LIEN FOR UNSECURED PROPERTY TAXES, FOR FULL PARTICULARS SEE THE HEREINABOVE REFERENCED PRELIMINARY REPORT.
EXCEPTION NO. 3: TITLE COMPANY SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD.
EXCEPTION NO. 4: TITLE INSURANCE FOR TRUSTEE OF A TRUST. FOR FULL PARTICULARS SEE THE HEREINABOVE REFERENCED PRELIMINARY REPORT.
EXCEPTION NO. 5: TITLE INSURANCE FOR TRUSTEE OF A TRUST. FOR FULL PARTICULARS SEE THE HEREINABOVE REFERENCED PRELIMINARY REPORT.
EXCEPTION NO. 6: RIGHTS OF TENANTS IN POSSESSION OF SAID LAND BY REASON OF UNRECORDED LEASES.
EXCEPTION NO. 7: MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION OR BY A SURVEY OF SAID LAND SATISFACTORY TO SAID TITLE COMPANY, OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
EXCEPTION NO. 8: RIGHTS OF PARTIES IN POSSESSION.
- APN 538-240-03**
EXCEPTIONS A & B: PROPERTY TAXES AND MATTERS RELATED THERETO. FOR FULL PARTICULARS SEE THE HEREINABOVE REFERENCED PRELIMINARY REPORT.
EXCEPTION NO. 1: WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
EXCEPTION NO. 2: A DEED OF TRUST RECORDED JANUARY 10, 2005 AS DOC. NO. 2005-0023571 OF OFFICIAL RECORDS. FOR FULL PARTICULARS SEE THE HEREINABOVE REFERENCED PRELIMINARY REPORT.
EXCEPTION NO. 3: A DEED OF TRUST RECORDED JANUARY 10, 2005 AS DOC. NO. 2005-0023572 OF OFFICIAL RECORDS. FOR FULL PARTICULARS SEE THE HEREINABOVE REFERENCED PRELIMINARY REPORT.
EXCEPTION NO. 4: THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE CITY OF SAN DIEGO REDEVELOPMENT AGENCY, AND THAT PROCEEDINGS FOR THE DEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT RECORDED MARCH 27, 2007 AS DOC. NO. 2007-0205129 OF OFFICIAL RECORDS.
EXCEPTION NO. 5: AN INSTRUMENT ENTITLED NOTICE OF PENDING ADMINISTRATIVE ENFORCEMENT ACTION EXECUTED BY THE CITY OF SAN DIEGO IN FAVOR OF CITY OF SAN DIEGO CODE ENFORCEMENT SECTION RECORDED JULY 31, 2014 AS DOC. NO. 2014-0327111 OF OFFICIAL RECORDS.
EXCEPTION NO. 6: TITLE COMPANY REQUIRES A STATEMENT OF INFORMATION BE COMPLETED BY ALL PARTIES. FOR FULL PARTICULARS SEE THE HEREINABOVE REFERENCED PRELIMINARY REPORT.
- APN 538-240-23**
EXCEPTION NO. 1: THE FACT SAID LAND LIES WITHIN THE BOUNDARIES OF THE BARRIO LOGAN REDEVELOPMENT PROJECT AREA AS DISCLOSED BY INSTRUMENT RECORDED MARCH 27, 2007 AS INSTRUMENT NO. 2007-0205129 OF OFFICIAL RECORDS.
EXCEPTION NO. 2: TITLE COMPANY SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD.
EXCEPTION NO. 3: RIGHTS OF TENANTS IN POSSESSION OF SAID LAND BY REASON OF UNRECORDED LEASES.
EXCEPTION NO. 4: MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION OR BY A SURVEY OF SAID LAND SATISFACTORY TO SAID TITLE COMPANY, OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
EXCEPTION NO. 5: RIGHTS OF PARTIES IN POSSESSION.

LEGAL DESCRIPTION

ASSESSOR'S PARCEL NO. 538-240-02
 LOT 42 IN BLOCK 130 OF MANNASSE AND SCHILLER'S SUBDIVISION OF PUEBLO LOT 1157, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 209, AS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 11, 1870.

ASSESSOR'S PARCEL NO. 538-240-03
 LOTS 40 AND 41 IN BLOCK 130 IN SUBDIVISION OF PUEBLO LOT 1157 (COMMONLY KNOWN AS MANNASSE AND SCHILLER'S ADDITION) IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 209, MADE BY CHARLES J. FOX AND FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 11, 1870.

ASSESSOR'S PARCEL NO. 538-240-23
 LOTS 36, 37, 38 AND 39 IN BLOCK 130 OF MANNASSE AND SCHILLER'S SUBDIVISION OF PUEBLO LOT 1157, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 209, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 11, 1870.

SITE ADDRESS

APN 538-240-02: 1825-1827 NATIONAL AVENUE, SAN DIEGO, CA 92113
 APN 538-240-03: 1831-1833 NATIONAL AVENUE, SAN DIEGO, CA 92113
 APN 538-240-23: 1841 NATIONAL AVENUE, SAN DIEGO, CA 92113

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE 7.00-FOOT OFFSET LINE TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF NATIONAL AVENUE AS SHOWN ON PARCEL CORNER RECORD NO. 30509, I.E. N.50°09'29"W.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK NO. 14213, BRASS PLUG IN TOP OF CURB, NORTH CORNER INTERSECTION NEWTON AVENUE AND BEARDSLEY STREET.
 ELEVATION: 33.965
 DATUM: NGVD 1929

FLOOD ZONE

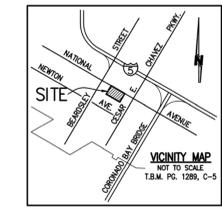
ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 FEMA FLOOD INSURANCE RATE MAP NO. 06073C1885G
 MAP REVISED MAY 16, 2012

MONUMENT NOTES

- FOUND LEAD & DISC STAMPED "LS 5717" PER CR 26553, 30509.
- FOUND LEAD & DISC STAMPED "RCE 8629" PER FM 19861, CR 25323, 30509.
- FOUND LEAD & CITY ENGINEER DISC PER CR 25232, 30509.
- FOUND LEAD & DISC STAMPED "LS 5717" PER CR 30509.
- FOUND LEAD & DISC STAMPED "LS 3168" PER CR 25323, 30509 AT 3.00" OFFSET.
- FOUND 3/4" IRON PIPE WITH DISC STAMPED "LS 4307" PER FM 19861, CR 30509.

AREA

GROSS LAND AREA = 0.565 ACRES (24,595 SQ. FT.)



SURVEYOR'S CERTIFICATE

TO: FAMILY HEALTH CENTERS OF SAN DIEGO, FIDELITY NATIONAL TITLE COMPANY and STEWART TITLE:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(c), 7(b)(1), 7(b)(2), 7(c), 8, 9 and 11(b) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 15, 2015.

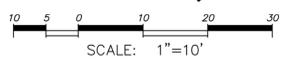
DATED THIS 27TH DAY OF JANUARY, 2015.

RAMON J. SPEAR, L.S. 6404



LEGEND

- | | | | | |
|--|-------------------------|-----------------------|---------------------------|------------------------------------|
| □ INDICATES SET LEAD & DISC STAMPED "SPEAR LS 6404" IN CONCRETE SURFACE. | EXISTING SPOT ELEVATION | ⊕ CENTERLINE | ① CONCRETE CURB & GUTTER | ⑭ SEWER MANHOLE |
| ■ INDICATES FOUND SURVEY MONUMENT AS NOTED | PROPERTY LINE | TC TOP OF CURB | ② ACCESS TO PUBLIC WAY | ⑮ SEWER CLEANOUT |
| () INDICATES RECORD DATA AS NOTED | BUILDING FOOTPRINT | FS FINISHED SURFACE | ③ WROUGHT IRON FENCE | ⑯ CABLE PULL BOX |
| R1 INDICATES RECORD DATA PER MAP 209 | CONCRETE SURFACE | G GROUND | ④ CHAIN LINK FENCE | ⑰ MASONRY WALL |
| R2 INDICATES RECORD DATA PER CORNER RECORD NO. 30509 | AC PAVEMENT | AC ASPHALTIC CONCRETE | ⑤ WOODEN FENCE | ⑱ MAIL BOX |
| R3 INDICATES RECORD DATA PER PARCEL MAP 19861 | CHAIN LINK FENCE | CR CORNER RECORD | ⑥ WATER METER | ⑲ BOLLARD |
| | WOOD FENCE | PM PARCEL MAP | ⑦ WATER RISER | ⑳ HOSE BIB |
| | WOOD PICKET FENCE | ⊕ CENTERLINE | ⑧ GAS METER | ㉑ CONC. CURB W/ WROUGHT IRON FENCE |
| | AT&T LINE | PL PROPERTY LINE | ⑨ NO PARKING SIGN | ㉒ UTILITY VAULT |
| | OVERHEAD POWER | HT BUILDING HEIGHT | ⑩ POWER POLE/STREET LIGHT | ㉓ ROOF ACCESS LADDER |
| | COX CABLE | | ⑪ GUY POLE | ㉔ METAL STAIRS |
| | MASONRY WALL | | ⑫ CONCRETE STEPS | |
| | | | ⑬ PARKING STRIPE | |
- WALL TO PROPERTY LINE DISTANCE (PL ON SIDE WITH DIMENSION) 0.1'



PLANS PREPARED BY:
SPEAR & ASSOCIATES, INC.
 CIVIL ENGINEERING & LAND SURVEYING
 475 PRODUCTION STREET, SAN MARCOS, CA 92078
 PHONE (760) 736-2040 FAX (760) 736-4866
 WWW.SPEARINC.NET

SPEAR & ASSOCIATES, INC., 475 PRODUCTION STREET, SAN MARCOS, CA 92078, (760) 736-2040, JOB NO. 14-320ALTA.DWG

National Ave. Parking Lot
 1825-1841 National Avenue, San Diego, Ca. 92113
 2016 PARKING LOT

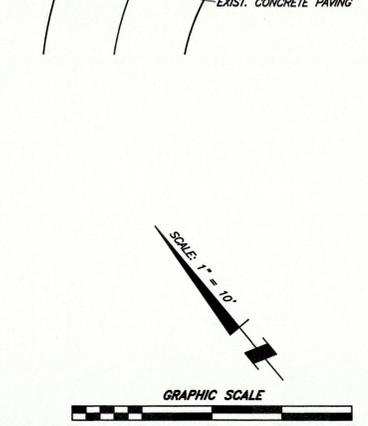
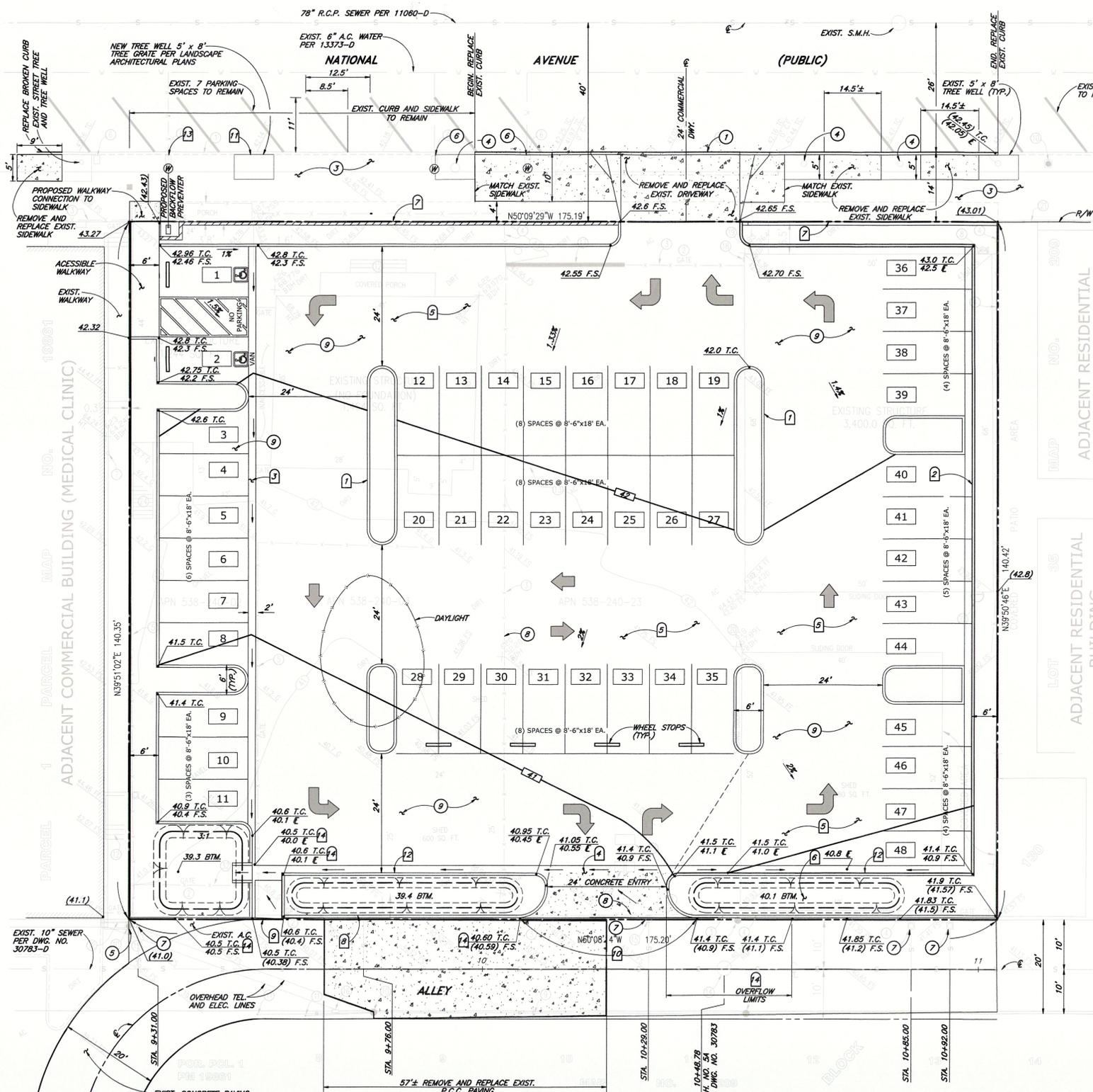


DATE	DESCRIPTION
11/07/2016	ORIGINAL DRAWINGS (COMPLETENESS REVIEW)
12/16/2016	REVISION NO. 1 - CDP COMMENTS
05/12/2017	REVISION NO. 2 - CDP COMMENTS
07/07/2017	REVISION NO. 3 - CDP COMMENTS

ALTA SURVEY (REFERENCE ONLY)

A001

FAMILY HEALTH CENTER PARKING LOT



LEGAL DESCRIPTION

LOT 36 THROUGH 42 IN BLOCK 130 OF MANASSE AND SCHILLER'S SUBDIVISION OF PUEBLO LOT 1157, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 208, AS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 11, 1870.

APN/SITE ADDRESS

APN 538-240-02: 1825-1827 NATIONAL AVENUE, SAN DIEGO, CA 92113
 APN 538-240-03: 1831-1833 NATIONAL AVENUE, SAN DIEGO, CA 92113
 APN 538-240-23: 1841 NATIONAL AVENUE, SAN DIEGO, CA 92113

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE 7.00-FOOT OFFSET LINE TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF NATIONAL AVENUE AS SHOWN ON PARCEL CORNER RECORD NO. 30509, I.E. NS09°29'W.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK NO. 14213, BRASS PLUG IN TOP OF CURB, NORTH CORNER INTERSECTION NEWTON AVENUE AND BEARDSLEY STREET.
 ELEVATION: 33.985
 DATUM: NGVD 1929

FLOOD ZONE

ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 FEMA FLOOD INSURANCE RATE MAP NO. 06073C1885G
 MAP REVISED MAY 16, 2012

SITE AREA

GROSS AREA = 0.565 AC. (24,585 S.F.)

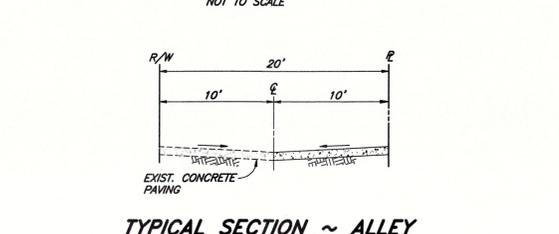
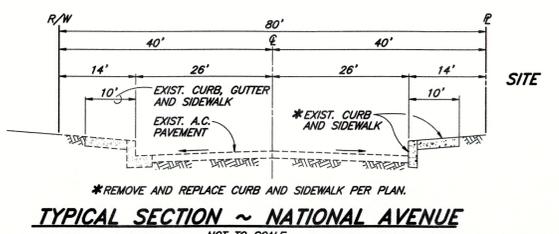
EARTHWORK QUANTITIES

*CUT QUANTITIES = 100 C.Y. MAX. CUT SLOPE RATIO 2:1 (2:1 MAX.)
 *FILL QUANTITIES = 50 C.Y. MAX. FILL SLOPE RATIO 2:1 (2:1 MAX.)
 *EXPORT = 50 C.Y.
 MAX. FILL DEPTH = 2'
 MAX. CUT DEPTH = 2'
 MAX. EXCAVATION DEPTH = 5' AT BASINS
 *EXCLUDES DEMOLITION VOLUME (200 C.Y.)

RETAINING WALLS: NONE
 AMOUNT OF SITE TO BE GRADED: 100%

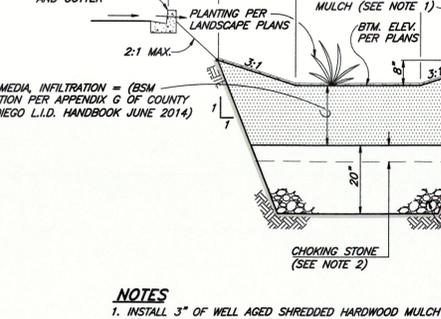
REFERENCE DRAWING

SEWER - 30783-D
 78" R.C.P. SEWER - 11060-D
 WATER - 13373-D
 NATIONAL AVENUE SIDEWALK - 21402-3-D
 ALLEY PAVING - 19300-2-D



NOTES

- INSTALL 3" OF WELL AGED SHREDDED HARDWOOD MULCH THAT HAS BEEN STOCKPILED OR STORED FOR AT LEAST 12 MONTHS. MULCH MUST BE NON-FLOATING.
- CHOKING STONE TO BE 3" CLEAN AND WASHED SAND (ASTM NO. 33) OVER 3" LAYER OF ASTM NO. 8 STONE.



LEGEND

- PROPERTY LINE
 EXISTING BUILDING WALL
 EXISTING SEWER CLEANOUT
 EXISTING CHAIN LINK FENCE
 EXISTING WOODEN FENCE
 EXISTING WATER MAIN
 EXISTING SEWER MAIN
 EXISTING GAS UTILITY
 EXISTING CONCRETE BLOCK WALL
 DAYLIGHT LINE
- PROPOSED ITEM LEGEND**
- CURB
 - CURB AND GUTTER
 - CONCRETE SWALE
 - CONCRETE APRON
 - A.C. PAVING
 - BIORETENTION BASIN
 - SCREENWALL
 - FENCE
 - GATE
 - AUTOMATIC GATE
 - STREET TREE AND GRATE
 - SLOTTED CURB
 - CONVERT EXIST. WATER LATERAL TO IRRIGATION (ADD 3/4" BACKFLOW PREVENTER TO EXIST. 3/4" METER)
 - OVERFLOW LIMITS
- EXISTING ITEM LEGEND**
- EXISTING CURB
 - EXISTING DRIVEWAY TO REMAIN
 - EXISTING SIDEWALK
 - EXISTING STREET TREE
 - EXISTING P.P. TO REMAIN
 - KILL EXISTING WATER METER AND LATERAL PER DWG. NO. 11060
 - ABANDON EXISTING LATERAL CAP EXISTING CLEANOUT
 - EXISTING FENCE
 - EXISTING STRUCTURE (TO BE DEMOLISHED)
- LIST OF ABBREVIATIONS**
- | | | | |
|--------|----------------------------|----------|--------------------------|
| EXIST. | EXISTING | C.B. | CATCH BASIN |
| R/W | RIGHT-OF-WAY | C.O. | CLEANOUT |
| TYP. | TYPICAL | D.G. | DECOMPOSED GRANITE |
| F.G. | FINISHED GRADE | P.C.C. | PORTLAND CEMENT CONCRETE |
| T.C. | TOP OF CURB | STA. | STATION |
| F.F. | FINISHED FLOOR | MAX. | MAXIMUM |
| S.G. | SUBGRADE | ELEV. | ELEVATION |
| AC | ACRE | O.C. | ON CENTER |
| E | PROPERTY LINE | MIN. | MINIMUM |
| EL | CENTERLINE | ST. LT. | STREET LIGHT |
| MIN. | MINIMUM | P.V.T. | PRIVATE |
| P.P. | POWER POLE | D.W.Y. | DRIVEWAY |
| E.P. | EDGE OF PAVEMENT | P.K.W.Y. | PARKWAY |
| DIA. | DIAMETER | S.D.C.O. | STORM DRAIN CLEANOUT |
| E.O.E. | EXISTING OVERHEAD ELECTRIC | GTR. | GUTTER |
| V.C.P. | VITRIFIED CLAY PIPE | MOD. | MODIFIED |
| S.F. | SQUARE FEET | S.C.O. | SEWER CLEANOUT |
| L.P. | LOW POINT | U.N.O. | UNLESS NOTED OTHERWISE |
| R.C.P. | REINFORCED CONCRETE PIPE | I.E. | INVERT ELEVATION |
| T.W. | TOP OF WALL | C.Y. | CUBIC YARD |
| S.M.H. | SEWER MANHOLE | F.M. | FINISHED SURFACE |
| G.F. | GARAGE FLOOR | | |
| D.U. | DWELLING UNIT | | |
| BTM. | BOTTOM | | |
| B.W. | BOTTOM OF WALL | | |
| H.P. | HIGH POINT | | |
| F.S. | FINISHED SURFACE | | |

Family Health Center Parking Lot
 1825-1841 National Avenue, San Diego, Ca. 92113

Contact: David Wisenhunt
 Director of Design & Construction
 (619) 515-2559
 3959 Lockridge St.
 San Diego, CA 92102

DATE	PLAN DISTRIBUTION SCHEDULE	DESCRIPTION
11/09/2016	ORIGINAL DRAWINGS (COMPLETENESS REVIEW)	
12/16/2016	REVISION NO. FIRST SUBMITTAL CDP	
4/13/2016	REVISION NO. SECOND SUBMITTAL CDP	
7/07/2017	REVISION NO. THIRD SUBMITTAL CDP	

Prepared By: **SB&O INC.**

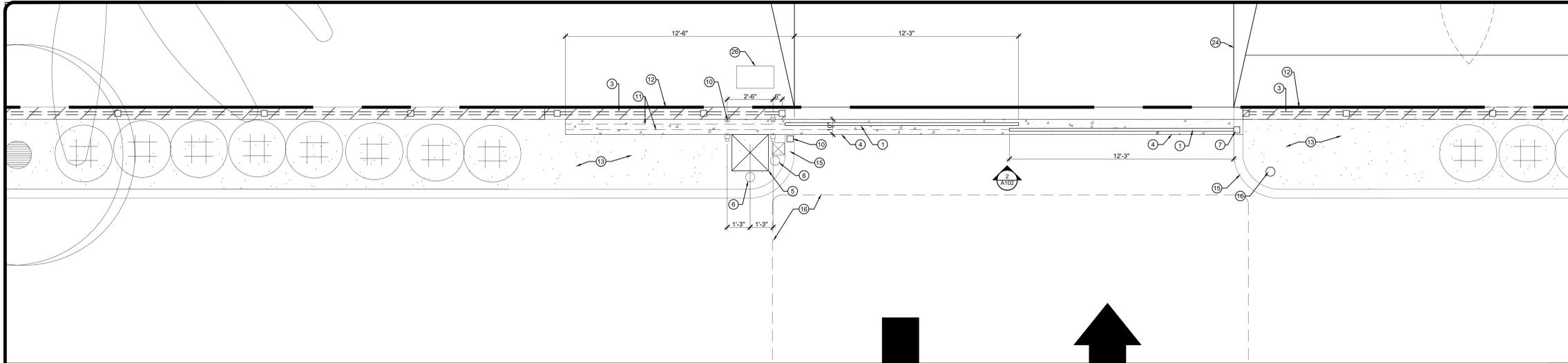
SB&O INC.
 PLANNING ENGINEERING SURVEYING
 3990 Ruffin Road, Suite 120
 San Diego, Ca. 92123
 858-560-1141
 858-560-8157 Fax

PROJECT NO: 522388
 Project Address: 1825-1841 NATIONAL AVENUE, SAN DIEGO, CA, 92113
 Project Name: FAMILY HEALTH CENTER PARKING LOT
 Sheet Title: _____
 Sheet No: _____

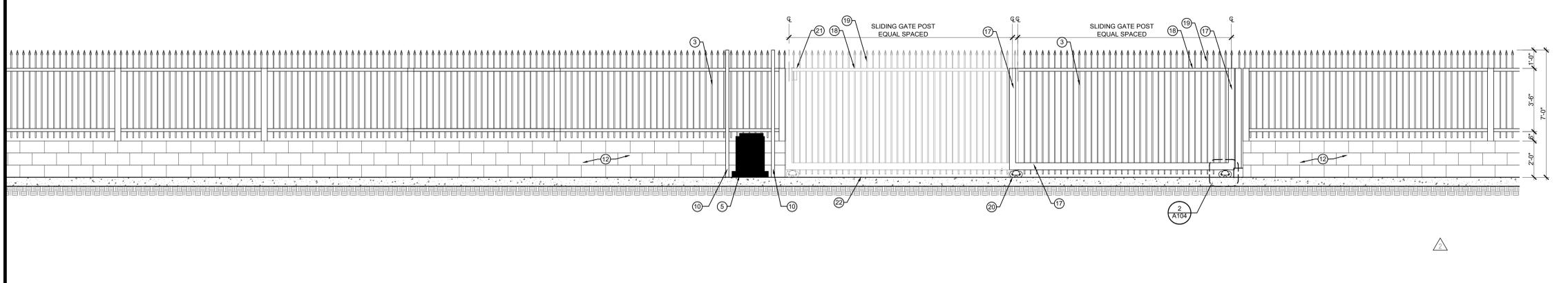
PRELIMINARY GRADING AND DRAINAGE PLAN
 72850.00
C-01
 SHEET - OF -

REGISTERED PROFESSIONAL ENGINEER
 ALLEN L. BUTCHER
 No. 47107
 Exp. 12-31-17
 CIVIL
 STATE OF CALIFORNIA

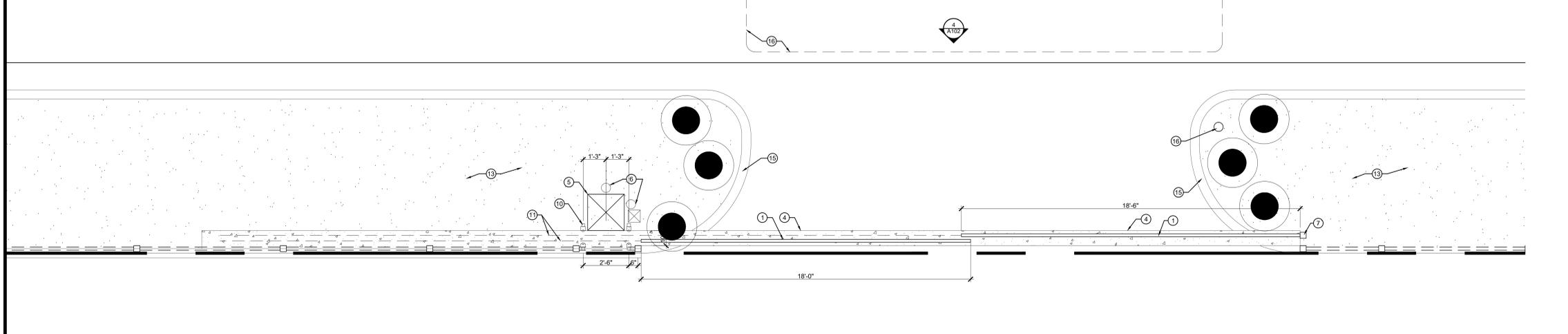
Allen Butcher P.E. 47107



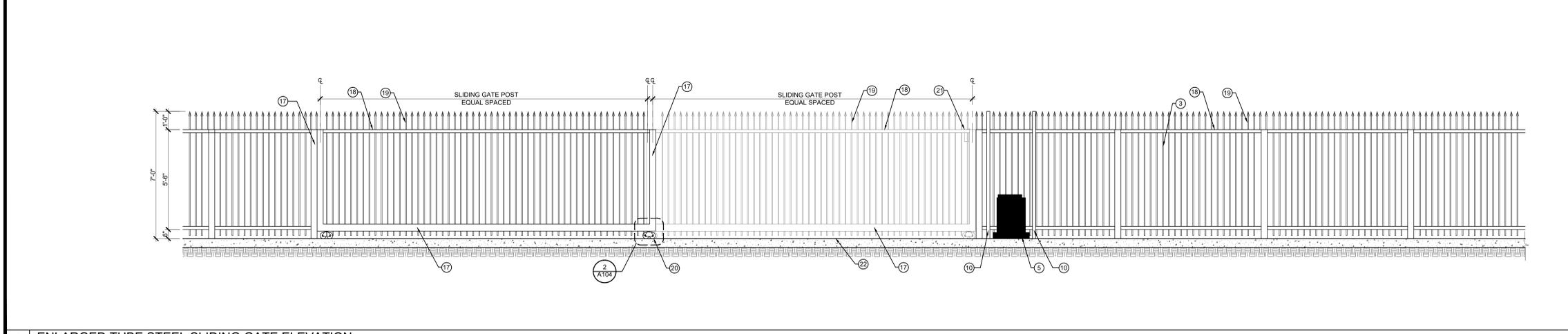
1 ENLARGED TUBE STEEL SLIDING GATE PLAN
SCALE: 3/8" = 1'-0"



2 ENLARGED TUBE STEEL SLIDING GATE ELEVATION
SCALE: 3/8" = 1'-0"



3 ENLARGED TUBE STEEL SLIDING GATE PLAN
SCALE: 3/8" = 1'-0"



4 ENLARGED TUBE STEEL SLIDING GATE ELEVATION
SCALE: 3/8" = 1'-0"

- KEY NOTES**
- 1 PAINTED TUBE STEEL SLIDING GATE PANEL WITH 1/2" SQUARE PICKETS INSET WITHIN PANEL.
 - 2 NOT USED
 - 3 FIXED TUBE STEEL GATE PANEL WITH 1/2" SQUARE PICKETS MOUNTED TO OUTSIDE FACE OF PANEL.
 - 4 VEHICULAR RATED CONCRETE PAVING, COLOR: NONE FINISH: MEDIUM BROOM.
 - 5 ELITE HIGH TRAFFIC COMMERCIAL SLIDE GATE OPERATOR ON 24" SQUARE MOUNTING PAD.
 - 6 6" DIAMETER BY 42" HIGH PAINTED STEEL BOLLARD FILLED WITH CONCRETE, SEE 6A104
 - 7 4" SQUARE PAINTED TUBE STEEL RECEIVING POST.
 - 8 4" SQUARE PAINTED TUBE STEEL HINGE / JAMB POST.
 - 9 36" WIDE MAN GATE WITH PANIC HARDWARE.
 - 10 4" SQUARE PAINTED TUBE STEEL POST WITH ATTACHED WHEEL GUIDE.
 - 11 STEEL SLIDING GATE TRACK MOUNTED TO CONCRETE PAVING.
 - 12 8" CONCRETE MASONRY WALL.
 - 13 PLANTER AREA.
 - 14 FACE OF EXISTING BUILDING.
 - 15 6" CONCRETE CURB.
 - 16 SAFETY LOOPS, CARD READER, OPTICON SENSOR, KNOX BOX, KEY PAD, PEDestal, AND ADDITIONAL REQUIRED CONTROL SYSTEMS TO BE DONE AS 'DESIGN-BUILD', COORDINATE LOCATIONS, PRODUCTS, AND QUANTITIES WITH OWNER.
 - 17 2"x4"x25" PAINTED TUBE STEEL SLIDING GATE BOTTOM RAIL, SIDE AND INTERMEDIATE POSTS.
 - 18 2"x2"x25" PAINTED TUBE STEEL SLIDING GATE TOP RAIL.
 - 19 PAINTED 1" SQUARE PICKET WITH DIE-PRESSED SPEAR POINT CENTERED IN SLIDING GATE FRAME, PICKETS TO EXTEND THROUGH FRAME.
 - 20 MACHINED TANDEM V-GROOVE WHEEL.
 - 21 SLIDING GATE RECEIVER ATTACHED TO ROLLING PORTION OF GATE.
 - 22 FINISH SURFACE.
 - 23 FINISH GRADE.
 - 24 SAWCUT LINE.
 - 25 NEW 24" WIDE DRIVEWAY.
 - 26 GATE CONTROL WITH KEYPAD.

GENERAL NOTES:

- A. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL.
- B. WELDS TO BE CONTINUOUS AND GROUND SMOOTH.
- C. METAL COMPONENT TO RECEIVE (1) COAT SHOP-APPLIED RUSTPROOF GRAY PRIMER, (1) COAT FIELD-APPLIED RED PRIMER AND (2) COATS FIELD-APPLIED EXTERIOR ENAMEL PAINT, COLOR TO BE SELECTED BY ARCHITECT.
- D. PROVIDE FINISH SAMPLE.
- E. MEMBER SIZE, REINFORCING, FOOTING DIMENSIONS, AND BASE INFORMATION ARE SHOWN FOR BID PURPOSE ONLY.
- F. COORDINATE FENCE FOOTINGS WITH BUILDING AND WALL FOOTINGS PRIOR STARTING WORK.

National Ave. Parking Lot
 1825-1841 National Avenue, San Diego, Ca. 92113
2016 PARKING LOT

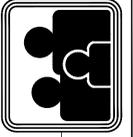
Contact: **David Wisenhunt**
 Director of Design & Construction
 (619) 515-2569
 3959 Lockridge St.
 San Diego, CA 92102

DATE	DESCRIPTION
11/07/2016	ORIGINAL DRAWINGS (COMPLETENESS REVIEW)
12/16/2016	REVISION NO. 1 - CDP COMMENTS
07/07/2017	REVISION NO. 2 - CDP COMMENTS
09/28/2017	REVISION NO. 4 - CDP COMMENTS

Prepared By:
RETAIL AMP DESIGN
 1630 FIFTH AVE
 SUITE 110
 SAN DIEGO, CA 92101
 PH: (619) 215-1677

ENLARGED TUBE STEEL SLIDING GATE PLANS AND ELEVATIONS

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK.



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(619) 515-2569
3959 Lockridge St.
San Diego, CA 92102

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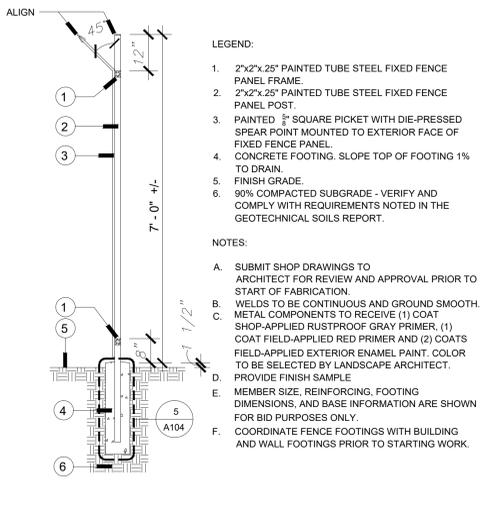
Prepared By:
RETAIL AMP DESIGN
1620 FIFTH AVE
SUITE 110
SAN DIEGO, CA 92101
PH: (619) 215-1677

STEEL GATE DETAILS

A104

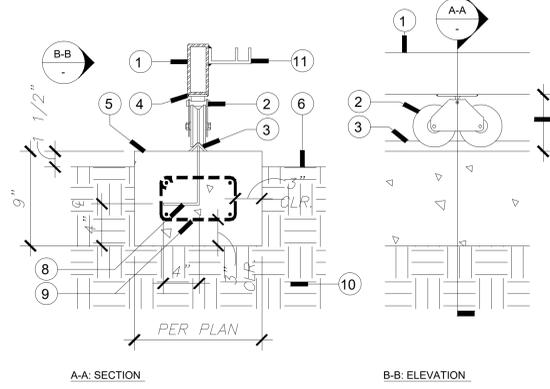
SHEET 6 OF 6

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE BROUGHT TO THE ATTENTION OF THE JOB SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK.



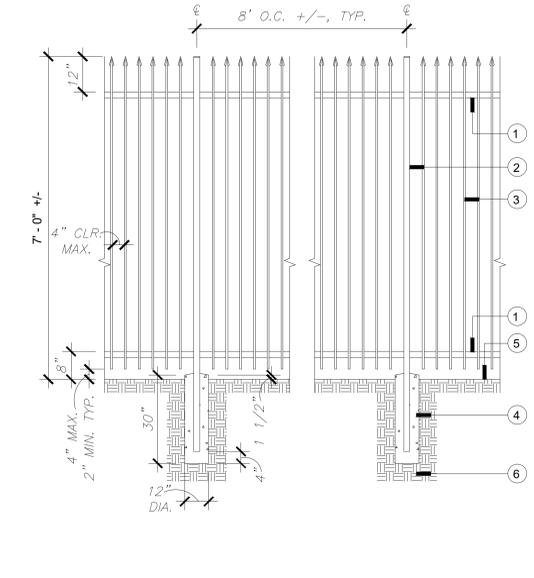
- LEGEND:
- 2"x2"x.25" PAINTED TUBE STEEL FIXED FENCE PANEL FRAME.
 - 2"x2"x.25" PAINTED TUBE STEEL FIXED FENCE PANEL POST.
 - PAINTED 5/8" SQUARE PICKET WITH DIE-PRESSED SPEAR POINT MOUNTED TO EXTERIOR FACE OF FIXED FENCE PANEL.
 - CONCRETE FOOTING. SLOPE TOP OF FOOTING 1% TO DRAIN.
 - FINISH GRADE.
 - 90% COMPACTED SUBGRADE - VERIFY AND COMPLY WITH REQUIREMENTS NOTED IN THE GEOTECHNICAL SOILS REPORT.
- NOTES:
- SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF FABRICATION.
 - WELDS TO BE CONTINUOUS AND GROUND SMOOTH.
 - METAL COMPONENTS TO RECEIVE (1) COAT SHOP-APPLIED RUSTPROOF GRAY PRIMER, (1) COAT FIELD-APPLIED RED PRIMER AND (2) COATS FIELD-APPLIED EXTERIOR ENAMEL PAINT. COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT.
 - PROVIDE FINISH SAMPLE.
 - MEMBER SIZE, REINFORCING, FOOTING DIMENSIONS, AND BASE INFORMATION ARE SHOWN FOR BID PURPOSES ONLY.
 - COORDINATE FENCE FOOTINGS WITH BUILDING AND WALL FOOTINGS PRIOR TO STARTING WORK.

3 FIXED TUBE STEEL FENCE SECTION
SCALE: 1/2" = 1'-0"



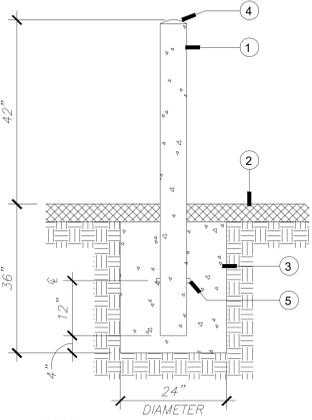
- LEGEND:
- 2"x4"x.25" PAINTED TUBE STEEL SLIDING GATE BOTTOM RAIL.
 - 6" MACHINED TANDEM V-WHEEL ASSEMBLY AVAILABLE THROUGH DOORING AT (310) 645-0023.
 - STEEL ANGLE WHEEL TRACK.
 - CONTINUOUS FILLET WELD.
 - FINISH SURFACE.
 - FINISH GRADE.
 - VERIFY DIMENSION WITH MANUFACTURER PRIOR TO FABRICATION.
 - GALVANIZED 1" BAR @ 12" O.C. WELDED TO STEEL ANGLE.
 - (4) #4 BARS CONTINUOUS WITH #4 TIES 18" O.C.
 - 90% COMPACTED SUBGRADE - VERIFY AND COMPLY WITH REQUIREMENTS NOTED IN THE GEOTECHNICAL SOILS REPORT.
 - MOTOR TRACK/GUIDE WELDED TO GATE FRAME. COORDINATE LENGTH AND LOCATION WITH MOTOR MANUFACTURER'S RECOMMENDATIONS.
- NOTES:
- SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF FABRICATION.
 - WELDS TO BE CONTINUOUS AND GROUND SMOOTH.
 - METAL COMPONENTS TO RECEIVE (1) COAT SHOP-APPLIED RUSTPROOF GRAY PRIMER, (1) COAT FIELD-APPLIED RED PRIMER AND (2) COATS FIELD-APPLIED EXTERIOR ENAMEL PAINT. COLOR TO BE SELECTED BY ARCHITECT.
 - PROVIDE FINISH SAMPLE.
 - MEMBER SIZE, REINFORCING, FOOTING DIMENSIONS, AND BASE INFORMATION ARE SHOWN FOR BID PURPOSES ONLY.
 - COORDINATE FENCE FOOTINGS WITH BUILDING AND WALL FOOTINGS PRIOR TO STARTING WORK.
 - QUANTITY AND LOCATION OF WHEELS PER FABRICATOR. SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION FOR REVIEW BY ARCHITECT.
 - ENSURE V-GROOVE WHEEL AND WHEEL TRACK ANGLE ARE COMPATIBLE METALS PRIOR TO STARTING FABRICATION.

2 ROLLING GATE WHEEL
SCALE: 1 1/2" = 1'-0"



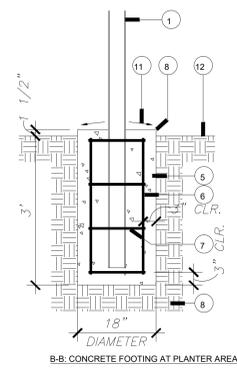
- LEGEND:
- 2"x2"x.25" PAINTED TUBE STEEL FIXED FENCE PANEL FRAME.
 - 2"x2"x.25" PAINTED TUBE STEEL FIXED FENCE PANEL POST.
 - PAINTED 5/8" SQUARE PICKET WITH DIE-PRESSED SPEAR POINT MOUNTED TO EXTERIOR FACE OF FIXED FENCE PANEL.
 - CONCRETE FOOTING. SLOPE TOP OF FOOTING 1% TO DRAIN.
 - FINISH GRADE.
 - 90% COMPACTED SUBGRADE - VERIFY AND COMPLY WITH REQUIREMENTS NOTED IN GEOTECHNICAL SOILS REPORT.
- NOTES:
- SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF FABRICATION.
 - WELDS TO BE CONTINUOUS AND GROUND SMOOTH.
 - METAL COMPONENTS TO RECEIVE (1) COAT SHOP-APPLIED RUSTPROOF GRAY PRIMER, (1) COAT FIELD-APPLIED RED PRIMER AND (2) COATS FIELD-APPLIED EXTERIOR ENAMEL PAINT. COLOR TO BE SELECTED BY ARCHITECT.
 - PROVIDE FINISH SAMPLE AS NOTED IN SPECIFICATIONS.
 - MEMBER SIZE, REINFORCING, FOOTING DIMENSIONS, AND BASE INFORMATION ARE SHOWN FOR BID PURPOSES ONLY. VERIFY AND COMPLY WITH REQUIREMENTS NOTED IN STRUCTURAL SHEETS.
 - COORDINATE FENCE FOOTINGS WITH BUILDING AND WALL FOOTINGS PRIOR TO STARTING WORK.

1 FIXED TUBE FENCE PANEL ELEVATION
SCALE: 1/2" = 1'-0"



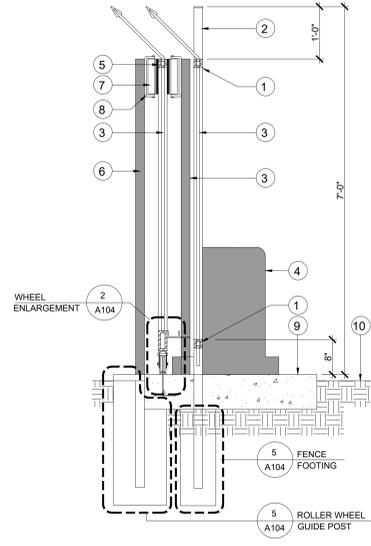
- LEGEND:
- 6" DIAMETER BY .625" THICK STEEL PIPE BOLLARD FILLED WITH CONCRETE.
 - LANDSCAPE LAYER.
 - CONCRETE FOOTING.
 - SMOOTH ROUNDED CONCRETE TOP.
 - 3/2" BY 1" DIAMETER STEEL TAB WELDED TO PIPE (4) PER BOLLARD.
- NOTES:
- METAL COMPONENTS TO RECEIVE (1) COAT SHOP-APPLIED RUSTPROOF GRAY PRIMER, (1) COAT FIELD-APPLIED RED PRIMER AND (2) COATS FIELD-APPLIED EXTERIOR ENAMEL PAINT. COLOR TO BE DETERMINED BY LANDSCAPE ARCHITECT.

6 CONCRETE FILLED PIPE BOLLARD
SCALE: 3/4" = 1'-0"



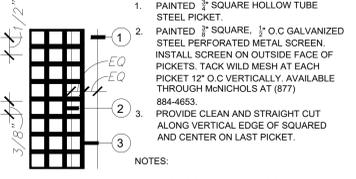
- LEGEND:
- PAINTED 4"x4"x.25" THICK GALVANIZED STEEL HINGE/JAMB/FENCE POST.
 - ADJACENT CONCRETE PAVING.
 - THICKENED EDGE AT FOOTING PER DETAIL B, SHEET L3.1.
 - ISOLATION JOINT.
 - GATE/FENCE POST FOOTING.
 - (4) #3 BARS VERTICAL.
 - (4) #3 TIES EQUALLY SPACED.
 - 90% COMPACTED SUBGRADE - VERIFY WITH REQUIREMENTS NOTED IN THE GEOTECHNICAL SOILS REPORT.
 - ELECTRICAL CONDUIT FOR GATE ACCESS HARDWARE - SEE ELECTRICAL.
 - 1/2" RADIUS.
 - SLOPE TOP OF 1% TO DRAIN.
 - FINISH GRADE.
- NOTES:
- SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF FABRICATION.
 - WELDS TO BE CONTINUOUS AND GROUND SMOOTH.
 - METAL COMPONENTS TO RECEIVE (1) COAT SHOP-APPLIED RUSTPROOF GRAY PRIMER, (1) COAT FIELD-APPLIED RED PRIMER AND (2) COATS FIELD-APPLIED EXTERIOR ENAMEL PAINT. COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT.
 - PROVIDE FINISH SAMPLE.
 - MEMBER SIZE, REINFORCING, FOOTING DIMENSIONS, AND BASE INFORMATION ARE SHOWN FOR BID PURPOSES ONLY.
 - COORDINATE FENCE FOOTINGS WITH BUILDING AND WALL FOOTINGS PRIOR TO STARTING WORK.

5 GATE/FENCE POST FOOTING
SCALE: 3/4" = 1'-0"



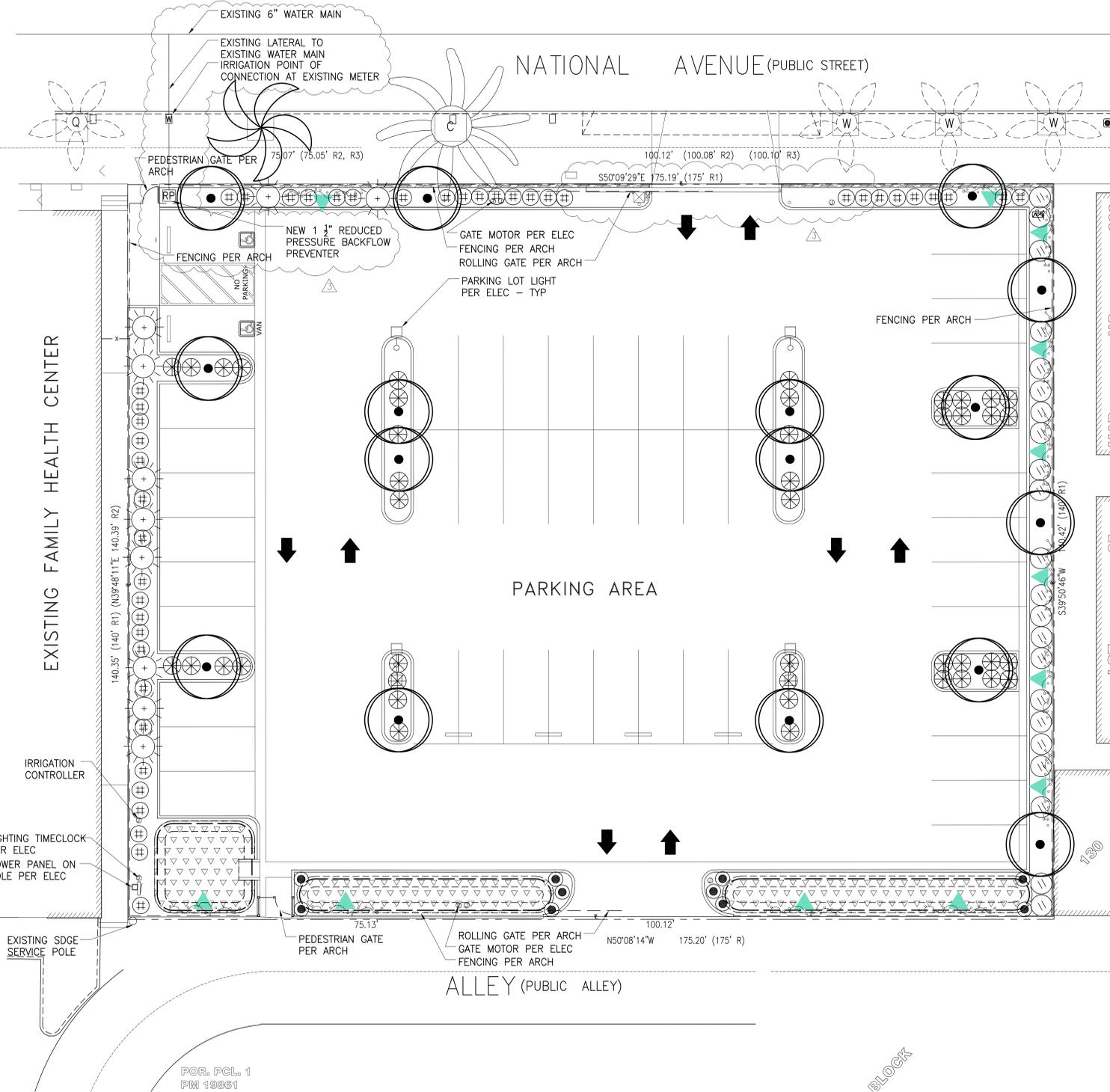
- LEGEND:
- 2"x2"x.25" PAINTED TUBE STEEL FIXED FENCE PANEL FRAME.
 - 2"x2"x.25" PAINTED TUBE STEEL FIXED FENCE PANEL POST.
 - PAINTED 5/8" SQUARE PICKET WITH DIE-PRESSED SPEAR POINT CENTERED IN SLIDING GATE FRAME. PICKETS TO EXTEND THROUGH FRAME.
 - ELITE HIGH TRAFFIC COMMERCIAL SLIDE GATE OPERATOR ON 24" SQUARE MOUNTING PAD.
 - 2"x2"x.25" PAINTED TUBE STEEL SLIDING GATE TOP RAIL.
 - 2"x2"x.25" PAINTED TUBE STEEL ROLLER WHEEL GUIDE POST.
 - 8" TALL BY 2.5" DIAMETER NYLON ROLLER.
 - ROLLER WHEEL MOUNTING BRACKET.
 - FINISH SURFACE.
 - FINISH GRADE.
- NOTES:
- SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF FABRICATION.
 - WELDS TO BE CONTINUOUS AND GROUND SMOOTH.
 - METAL COMPONENTS TO RECEIVE (1) COAT SHOP-APPLIED RUSTPROOF GRAY PRIMER, (1) COAT FIELD-APPLIED RED PRIMER AND (2) COATS FIELD-APPLIED EXTERIOR ENAMEL PAINT. COLOR TO BE SELECTED BY ARCHITECT.
 - PROVIDE FINISH SAMPLE AS NOTED IN THE SPECIFICATIONS.
 - MEMBER SIZE, REINFORCING, FOOTING DIMENSIONS, AND BASE INFORMATION ARE SHOWN FOR BID PURPOSES ONLY. VERIFY AND COMPLY WITH REQUIREMENTS NOTED IN THE STRUCTURAL SHEETS.
 - COORDINATE FENCE FOOTINGS WITH BUILDING AND WALL FOOTINGS PRIOR TO STARTING WORK.

4 FIXED FENCE/SLIDING GATE SECTION
SCALE: 3/4" = 1'-0"



- LEGEND:
- PAINTED 3/8" SQUARE HOLLOW TUBE STEEL PICKET.
 - PAINTED 3/8" SQUARE 1/2" O.C. GALVANIZED STEEL PERFORATED METAL SCREEN. INSTALL SCREEN ON OUTSIDE FACE OF PICKETS. TACK WILD MESH AT EACH PICKET 12" O.C. VERTICALLY. AVAILABLE THROUGH MONICHOLES AT (677) 884-4653.
 - PROVIDE CLEAN AND STRAIGHT CUT ALONG VERTICAL EDGE OF SQUARED AND CENTER ON LAST PICKET.
- NOTES:
- SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF FABRICATION.
- WELDS TO BE CONTINUOUS AND GROUND SMOOTH.
 - METAL COMPONENTS TO RECEIVE (1) COAT SHOP-APPLIED RUSTPROOF GRAY PRIMER, (1) COAT FIELD-APPLIED RED PRIMER AND (2) COATS FIELD-APPLIED EXTERIOR ENAMEL PAINT. COLOR TO BE SELECTED BY ARCHITECT.
 - PROVIDE FINISH SAMPLE AS NOTED IN THE SPECIFICATIONS.
 - MEMBER SIZE, REINFORCING, FOOTING DIMENSIONS, AND BASE INFORMATION ARE SHOWN FOR BID PURPOSES ONLY. VERIFY AND COMPLY WITH REQUIREMENTS NOTED IN THE STRUCTURAL SHEETS.
 - COORDINATE FENCE FOOTINGS WITH BUILDING AND WALL FOOTINGS PRIOR TO STARTING WORK.

7 SECURITY SCREEN TERMINATION
SCALE: 6" = 1'-0"



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	WUCOLS	QUANTITY	MATURE HEIGHT & SPREAD
	<u>PARKING LOT SHADE TREESTREES</u> 100% 24" BOX						
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	STD	L	16	30' X 20'
	<u>STREET PALMS</u> 100% 8" BTH						
	SYAGRUS ROMANZOFFIANA	QUEEN PALM	8" BTH	-	M	1	45' X 15'
	<u>EXISTING PALMS AT STREET TO REMAIN</u>						
	CANARY ISLAND PALM	CANARY ISLAND PALM	4' DIA				
	SYAGRUS ROMANZOFFIANA	QUEEN PALM	12" DIA				
	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3' DIA				
	<u>SCREENING SHRUBS</u> 100% 5 GAL						
	TECOMA STANS 'ORANGE JUBILEE'	ORANGE JUBILEE TECOMA	5 GAL		L	10	8' X 4'
	CALLISTEMON CITRINUS	LEMON BOTTLEBRUSH	5 GAL		L	22	10' X 4'
	<u>ACCENT SCREENING SHRUBS</u> 100% 5 GAL						
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL		VL	44	3' X 4'
	<u>ACCENT SCREENING SHRUBS</u> 100% 1 GAL						
	DIANELLA REVOLUTA 'LITTLE REV'	'LITTLE REV' FLAX LILY	1 GAL		L	10	2' X 2'
	DIANELLA TASMANICA 'SILVER STREAK'	'SILVER STREAK' FLAX LILY	1 GAL		L	42	3' X 3'
	<u>VINES</u> 100% 5 GAL						
	BIGNONIA 'VIOLACEA'	PURPLE TRUMPET VINE	5 GAL		M	11	6' X 8'
	<u>BIO-BASIN</u> 100% 1 GAL						
	CAREX TUMULICOLA	BERKELY SEDGE	1 GAL	12" O.C.	L	1040	12" X 12"

PLANTING NOTES

BARK MULCH:
'SUPREME WALK-ON' FIR BARK 1/2"-1 1/2" SIZE (NO DYE COLOR) MIN 3" DEPTH

PLANTING NOTES

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARD AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREA SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. A MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET SDMC 142.0403(b)(5).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE 142.0403(b)(10).

MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING VEGETATION PER SDMC 142.0411.

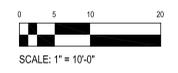
TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY FAMILY HEALTH CENTERS. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY FAMILY HEALTH CENTERS. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES

PREVENT IRRIGATION OVERSPRAY ON STRUCTURES, BUILDING WALLS, AND HARDSCAPE



National Ave. Parking Lot
1825-1841 National Avenue, San Diego, Ca. 92113
2016 PARKING LOT



Contact: David Wisenhunt
Director of Design & Construction
(619) 515-2569
3959 Lockridge St.
San Diego, CA 92102

DATE	DESCRIPTION
11/07/2016	ORIGINAL DRAWINGS (COMPLETENESS REVIEW)
12/16/2016	REVISION NO. 1 - CDP COMMENTS
07/07/2017	REVISION NO. 2 - CDP COMMENTS
07/07/2017	REVISION NO. 3 - CDP COMMENTS

Prepared By:
MARUM PARTNERSHIP
LANDSCAPE ARCHITECTS - URBAN DESIGN
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SAN DIEGO, CA 92131
PHONE: 619-892-9633

PLANTING PLAN

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE BROUGHT TO THE ATTENTION OF FHSD PRIOR TO COMMENCEMENT OF ANY WORK

LANDSCAPE CALCULATIONS LEGEND

-  STREET YARD (SY) - 0 S.F.
 -  REMAINING YARD (RY) 0 S.F. (PL TO SETBACK)
 -  VEH USE AREA BOUNDARY
 -  VEH USE AREA (VUA) (INSIDE STREET YARD) - 0 S.F.
 -  VEH USE AREA (VUA) (OUTSIDE STREET YARD) - 20,673 S.F.
 -  ADDITIONAL YARD (AY) - (PLANT POINTS REQUIRED ARE IN ADDITION TO THOSE REQUIRED FOR REMAINING YARD) - 636 SF
 -  PLANTED AREA PROPOSED
 -  STREET YARD - 0 SF
 -  REMAINING YARD - 0 SF
 -  VEHICULAR USE AREA INSIDE STREET YARD - 0 SF
 -  VEHICULAR USE AREA OUTSIDE STREET YARD - 3,078 SF
 -  ADDITIONAL YARD - 700 SF
- 5' OFFSET FOR PLANTED AREA COUNTED FOR VUA

LANDSCAPE CALCULATIONS TABLE

DEVELOPED SITE AREA	PLANTING AREA REQUIRED (% OF TOTAL)	PLANTING AREA PROPOSED	PLANT MATERIAL POINTS REQUIRED	PLANT MATERIAL POINTS PROPOSED (SIZE X QUANTITY)		POINTS FROM TREES (% OF POINTS REQUIRED)
				SHRUBS ONLY	TREES ONLY	
STREET YARD	N/A	N/A	N/A	N/A	N/A	100% - FROM TREES
REMAINING YARD	N/A	N/A	N/A	N/A	N/A	50% - FROM TREES
VEHICULAR USE AREA INSIDE STREET YARD	N/A	N/A	N/A	N/A	N/A	50% - FROM TREES
VEHICULAR USE AREA OUTSIDE STREET YARD	620 S.F. 20673 X .03 = 620 S.F.	3,078 S.F.	620 PTS 20673 X .03 = 620 PTS	5 GAL X 85 = 170 PTS 1 GAL X 564 = 564 PTS TOTAL = 734 PTS	24" BOX X 16 = 320 PTS TOTAL = 320 PTS	320 PTS 50% - 312 PTS FROM TREES
ADDITIONAL YARD	700 S.F. 140 L.F. X 5 = 700 S.F.	700 SF	35 PTS 700 S.F. X .05 = 35 PTS	5 GAL X 27 = 54 PTS TOTAL = 54 PTS	24" BOX X 3 = 40 PTS TOTAL = 60 PTS	60 PTS 50% - 18 PTS FROM TREES

MINIMUM TREE SEPARATION DISTANCE PER CHAPTER 14 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE

TRAFFIC SIGNALS/STOP SIGNS - 20 FEET

BACK OF TRAFFIC SIGNAL OR STOP SIGN - 10 FEET

UNDERGROUND UTILITY LINES, DRIVEWAY APRON FLARE - 5 FEET

SEWER, WATER LINES - 10 FEET

ABOVE GROUND UTILITY STRUCTURES - 10 FEET

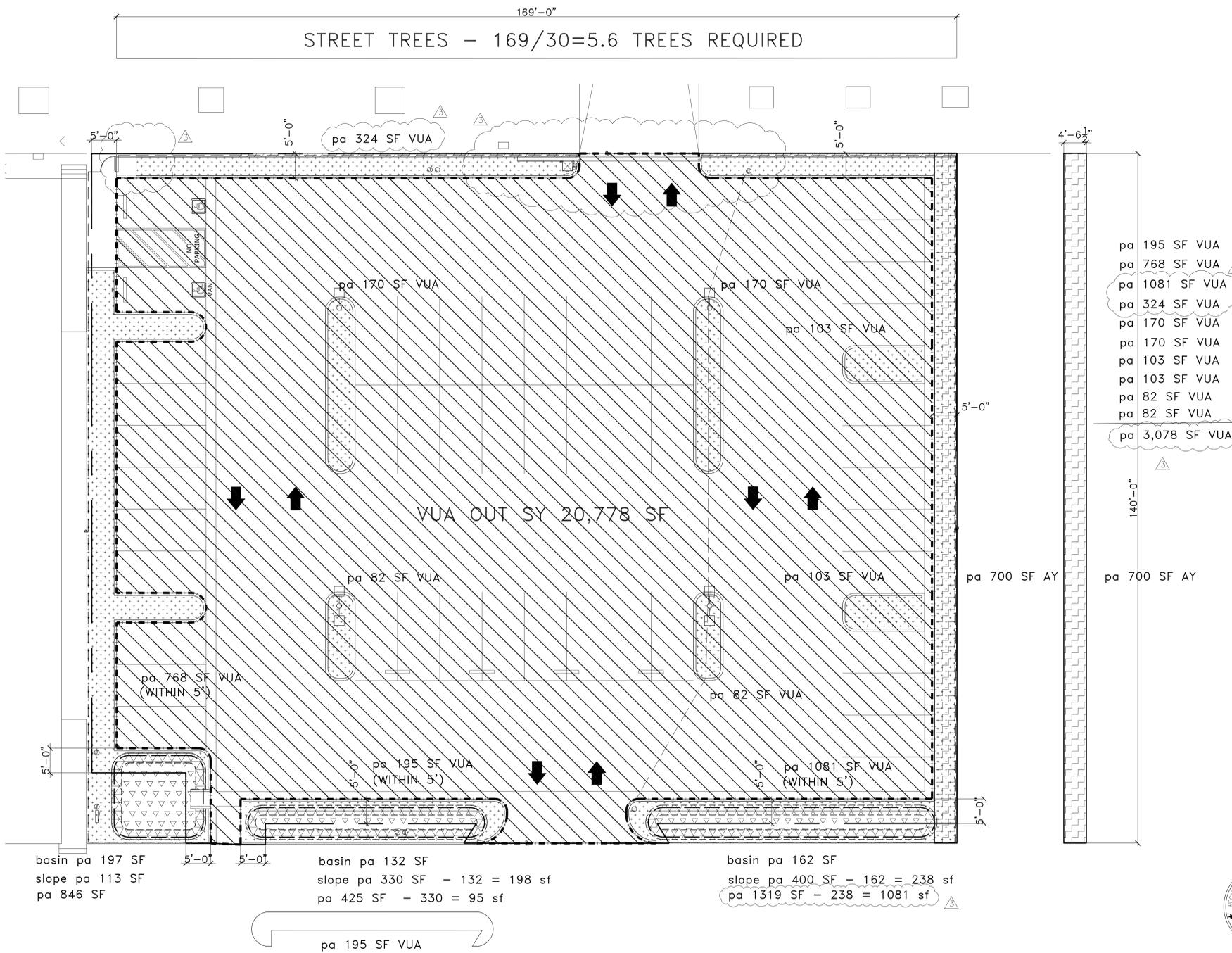
DRIVEWAY ENTRIES - 10 FEET

INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

STREET LIGHT - 15'

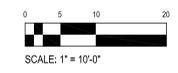
ADDITIONAL PUBLIC RIGHT-OF-WAY REGULATIONS

PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT.



PLANT POINT SCHEDULE PER CHAPTER 14 LANDSCAPE REGULATIONS

PLANT TYPE	PROPOSED PLANT MATERIAL	PLANT POINTS
PROPOSED SHRUB	1 GALLON	1.0
	5 GALLON	2.0
	15 GALLON OR LARGER	10.0
PROPOSED TREE	5 GAL	5.0
	15 GAL	10.0
	24" BOX	20.0
	36" BOX	50.0
	48" BOX AND LARGER	100.0
PROPOSED DWARF PALM PALM	PER FOOT OF BROWN TRUNK HEIGHT	5.0
PROPOSED BROAD HEADED FEATHER PALM TREE	PER FOOT OF BROWN TRUNK HEIGHT	5.0
PROPOSED FEATHER PALM TREE	PER FOOT OF BROWN TRUNK HEIGHT UP TO 20' IN HEIGHT	5.0
	EACH FEATHER PALM TREE OVER 20' IN HEIGHT	60.0
PROPOSED FAN PALM TREE	PER FOOT OF BROWN TRUNK HEIGHT UP TO 20' IN HEIGHT	1.5
	EACH FAN PALM TREE OVER 20' IN HEIGHT	30.0



National Ave. Parking Lot
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2016 PARKING LOT



Contact: David Wisenhunt
Director of Design & Construction
(619) 515-2569
3959 Lockridge St.
San Diego, CA 92102

PLAN DISTRIBUTION SCHEDULE

DATE	DESCRIPTION
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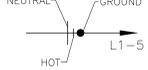
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LANDSCAPE ARCHITECTURE - URBAN DESIGN - PLANNING
1680 TULSA AVE SUITE 100
SAN DIEGO, CA 92111
PHONE: 619-892-9533

PLANTING CALCULATIONS PLAN

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE BROUGHT TO THE ATTENTION OF FHSD PRIOR TO COMMENCEMENT OF ANY WORK

ELECTRICAL SYMBOL LIST:

-  SHEET NOTE REFERENCE
-  DETAIL NUMBER DESIGNATION
-  SHEET DETAIL APPEARS ON
-  SHEET DETAIL REFERENCED FROM
-  LIGHTING FIXTURE, RECESSED IN CEILING.
-  LIGHTING FIXTURE, SURFACE MOUNTED OR PENDANT.
-  INDUSTRIAL EMERGENCY LIGHTING UNIT.
-  LIGHTING FIXTURE, WALL MOUNTED AT HEIGHT NOTED.
-  STRIP LIGHTING FIXTURE.
-  WALL WASH DOWNLIGHT RECESSED IN CEILING.
-  LIGHTED EXIT SIGN. TOP MOUNTED ON CEILING OR STEM MOUNTED SHADED SIDE INDICATES FACE. PROVIDE ARROWS WHERE SHOWN TO INDICATE DIRECTION OF TRAVEL.
-  DOUBLE SIDED EXIT SIGN. PROVIDE ARROWS WHERE SHOWN TO INDICATE DIRECTION OF TRAVEL.
-  BACK OR END MOUNTED EXIT SIGN.
-  FLUSH SWITCH, SUBSCRIPT ADJACENT TO SWITCHES INDICATE: a,b,c etc. = FIXTURE CONTROLLED
3 = THREE WAY
T = MANUAL MOTOR STARTER WITH THERMAL OVERLOADS.
LV = LOW VOLTAGE
M = MOTION SENSOR
K = KEYED SWITCH
MR = MOTOR RATED
-  LOW VOLTAGE OVERRIDE SWITCH.
-  SURFACE MOUNTED TOGGLE SWITCH, SPST AT +46"(1150mm) UON.
- a,b,c INDICATES MULTIPLE SWITCHES IN GANGED BOX WITH COMMON COVERPLATE. "a,b,c" INDICATES NUMBER OF INDIVIDUAL SWITCHES AND FIXTURES CONTROL.
- a \$ b \$ INDICATES SWITCHES a,b MOUNTED IN SEPARATE BOXES WITH SEPARATE COVERPLATES.
-  FUSED SAFETY DISCONNECT SWITCH.
-  NON-FUSED SAFETY DISCONNECT SWITCH.
-  ENCLOSED CIRCUIT BREAKER.
-  COMBINATION OF FUSED DISCONNECT WITH STARTER.
-  EXTERIOR PHOTOCELL.
-  INTERIOR PHOTOCELL.
- GFI WP DUPLEX RECEPTACLE, WALL MOUNTED AT +18"(450mm) UON. "GFI" INDICATES GROUND FAULT INTERRUPTER TYPE. WP INDICATES WEATHER PROOF (WHERE OCCURS).
-  CEILING DUPLEX RECEPTACLE.
-  DOUBLE DUPLEX RECEPTACLE (FOURPLEX) IN TWO GANG BOX AT +18"(450mm) UON.
-  DUPLEX RECEPTACLE, WALL MOUNTED AT +18"(450mm) UON. "GFI" INDICATES GROUND FAULT INTERRUPTER TYPE. MS INDICATES SWITCHED VIA MOTION SENSOR FOR TITLE-24 2013 REQUIREMENTS.
-  SPECIAL OUTLET AS INDICATED.
-  FLUSH FLOOR BOX RECEPTACLE.
- 2  COMBINATION FLUSH FLOOR BOX RECEPTACLE DATA DEVICE (1) DATA AND (1) TELEPHONE.

-  CONDUIT TURNED UP.
-  CONDUIT TURNED DOWN.
-  HOMERUN TO PANEL BOARD. CROSSMARKS DENOTE QUANTITY OF #12 PHASE AND NEUTRAL WIRES ONLY IN BRANCH CIRCUIT CONDUIT. CROSSMARKS DENOTES 2#12 WIRES. NUMBER ADJACENT TO CROSSMARKS DENOTES WIRE SIZE OTHER THAN #12.
-  TRANSIENT VOLTAGE SURFACE SUPPRESSION.
-  GROUND FAULT PROTECTION.
-  CEILING MOUNTING GLASS BREAK DETECTOR.
-  CEILING MOUNTED DATA OUTLET.
-  TELEPHONE OUTLET WALL MOUNTED AT +18"(450mm) UON. CEILING MOUNTED DATA OUTLET. PROVIDE 3/4" CONDUIT AND PULLSTRING STUBBED TO +4" ABOVE FINISHED ACCESSIBLE CEILING.
- BP  DENOTES PROVIDE TRIM RING AND BLANK PLATE ONLY WITH 3/4" CONDUIT AND PULLSTRING STUBBED TO +4" ABOVE FINISHED ACCESSIBLE CEILING.
-  DATA OUTLET WALL MOUNTED AT +18"(450mm) UON. CEILING MOUNTED DATA OUTLET. PROVIDE 3/4" CONDUIT AND PULLSTRING STUBBED TO +4" ABOVE FINISHED ACCESSIBLE CEILING.
-  COMBINATION TELEPHONE/DATA OUTLET MOUNTED AT +18"(450mm) U.O.N. PROVIDE 3/4" CONDUIT AND PULLSTRING STUBBED TO +4" ABOVE FINISHED ACCESSIBLE CEILING.
-  WALL MOUNTED SPEAKER AT HEIGHT NOTED.
-  FLUSH CEILING MOUNTED SPEAKER.
-  CEILING MOUNTED SECURITY MOTION SENSOR.
-  DISTRIBUTION PANEL OR SWITCHBOARD.
-  PANEL BOARD.
-  PANEL BOARD.
-  FIRE ALARM MASS NOTIFICATION LOCAL OPERATOR CONSOLE.
-  TRANSFORMER.
-  MOTOR CONNECTION.
-  JUNCTION OR OUTLET BOX.
-  GROUNDING ELECTRODE.
-  CIRCUIT BREAKER.
-  FUSED SWITCH.
-  KILOWATT HOUR METER.
-  STEP DOWN TRANSFORMER

CIRCUIT BREAKER CALLOUT

- 3 -POLE
- 175 -TRIP SIZE
- 200 -FRAME
- 42 -AIC RATING

FUSE CALLOUT

- 3 -POLE
- 150 -FUSE SIZE
- 200 -DISCONNECT SIZE
- RK1 -FUSE TYPE

PROVIDE ALL ELECTRICAL WORK SHOWN ON THE FOLLOWING PAGES IN ACCORDANCE WITH THE 2011 NEC, 2013 CEC, 2013 CBC SECTION 1226.2 AND ALL LOCAL ORDINANCES PER GOVERNING JURISDICTIONS.

ABBREVIATIONS:

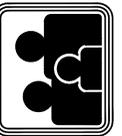
- A AMPERES
- AFF ABOVE FINISHED FLOOR
- AIC AMPERES INTERRUPTING CAPACITY
- BSC BARE STRANDED COPPER
- C CONDUIT
- C/B CIRCUIT BREAKER
- C.O. CONDUIT ONLY
- CX CONNECT TO EXISTING CIRCUIT
- E.D.F. ELECTRIC DRINKING FOUNTAIN
- E, EM EMERGENCY SERVICE
- E.G. EQUIPMENT GROUND
- ERU EMERGENCY RETURN UNIT
- E.W.C. ELECTRIC WATER COOLER
- EX. EXISTING, EXISTING TO REMAIN
- EXD. EXISTING TO BE DEMOLISH
- EXR. EXISTING TO BE RELOCATED
- F.A. FIRE ALARM
- G GROUND
- GEC GROUNDING ELECTRODE CONDUCTOR
- G.F.I. GROUND FAULT INTERRUPTER
- I.G. ISOLATED GROUND
- ISC CALCULATED SHORT CIRCUIT FAULT CURRENT
- J.B. JUNCTION BOX
- L.T.G. LIGHTING
- LO RELOCATED
- MFR MANUFACTURER
- N.L. NIGHT LIGHT
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- P POLES
- P.B. PULLBOX
- RE RELOCATE
- R.G.S. RIGID GALVANIZED STEEL
- TGB TELEPHONE GROUND BUS
- TELE. TELEPHONE
- TR TAMPER RESISTANT DEVICE
- TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION
- UON UNLESS OTHERWISE NOTED
- V VOLTS
- VIF VERIFY IN FIELD
- W.L. VERIFY LOCATION.
- W.H. WATER HEATER
- W.P. WEATHERPROOF
- XFMR. TRANSFORMER

SUBSCRIPT ADJACENT TO LIGHTING FIXTURE INDICATES:
1,2,3 etc. = BRANCH CIRCUIT NUMBERS
a,b,c etc. = SWITCH-LEG REFERENCE
NL = NIGHT/SECURITY LIGHTING FIXTURE

ELECTRICAL SHEET INDEX:

- E001 ELECTRICAL NOTE SHEET
- E002 FIXTURE SCHEDULE AND SHEET SPECIFICATIONS
- E003 EXTERIOR TITLE-24 CALCULATIONS
- E004 SINGLE LINE DIAGRAM AND CALCULATIONS
- E101 SITE ELECTRICAL PLAN
- E102 SITE POINT BY POINT PHOTOMETRIC CALCULATIONS

National Ave. Parking Lot
 1825-1841 National Avenue, San Diego, Ca. 92113
2016 PARKING LOT
COASTAL DEVELOPMENT PERMIT



Contact: **Brian L. Tisher**
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 823 Gateway Center Way
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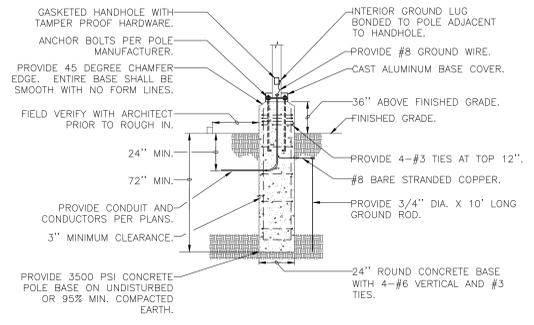


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REVISION NO.		

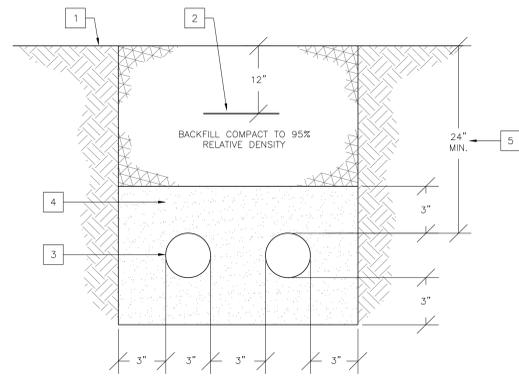
ELECTRICAL NOTE SHEET

E001
SHEET OF

EXTERIOR FIXTURE SCHEDULE							
TYPE	MTG.	LAMP		LUMINAIRE DESCRIPTION	MANUFACTURER & CATALOG NUMBER	INPUT WATTS, VOLTS	REF. NOTES
		#	CODE WATT				
SA	POLE TOP +28'-0"	1	LED 3000k	POLE TOP MOUNTED LED AREA LIGHTING FIXTURE WITH FULL CUT-OFF OPTICS "DARK SKY" RATED WITH DARK BRONZE FINISH AND TYPE V MEDIUM OPTICS.	LITHONIA: KACM-LED-20C-700-30K-R5-MVOLT- DDBXD POLE-LITHONIA: SSA-25-SJ-DM19- DDB	46W 120V	
SA	POLE TOP +28'-0"	1	LED 3000k	SAME AS TYPE "SA" EXCEPT PROVIDE TWIN HEAD AT 180 DEGREES.	LITHONIA: KACM-LED-20C-700-30K-R5-MVOLT- DDBXD POLE-LITHONIA: SSA-25-SJ-DM28- DDB	92W 120V	

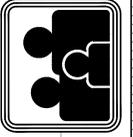


A SCHEMATIC POLE BASE DETAIL FIXTURE "SA"
NONE



C TRENCH DETAIL - TYPICAL
NONE

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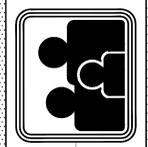
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FIXTURE
SCHEDULE AND
SHEET
SPECIFICATIONS

E002
SHEET OF

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE BROUGHT TO THE ATTENTION OF THE PERMITTEE PRIOR TO COMMENCEMENT OF ANY WORK.

National Ave. Parking Lot
1825-1841 National Avenue, San Diego, Ca. 92113
2016 PARKING LOT
COASTAL DEVELOPMENT PERMIT



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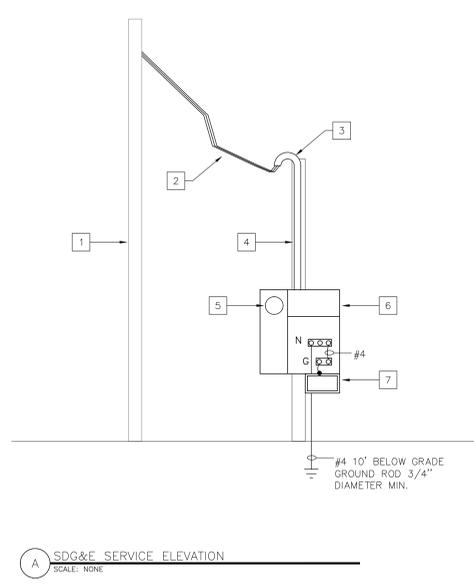
Prepared By:

SHEET KEY NOTES:

- 1 RELOCATED SDG&E SERVICE POLE. SEE SITE PLAN FOR LOCATION.
- 2 SERVICE CONDUCTORS BY SDG&E.
- 3 PROVIDE AND INSTALL SERVICE WEATHERHEAD AND POLE CONDUIT RISER TO NEW PANEL PER SDG&E STANDARDS AND IN ACCORDANCE WITH SDG&E SERVICE GUIDE.
- 4 PROVIDE AND INSTALL NEW WOODEN 14' PANEL POLE PER SDG&E STANDARDS AND IN ACCORDANCE WITH SDG&E SERVICE GUIDE. VERIFY POLE HEIGHT WITH SDG&E SERVICE PRIOR INSTALLATION. SEE SITE PLAN FOR LOCATION.
- 5 PROVIDE PANEL WITH SDG&E METER AND PULL SECTI PER SDG&E STANDARDS AND IN ACCORDANCE WITH SDG&E SERVICE GUIDE.
- 6 PROVIDE AND INSTALL POLE MOUNTED PANEL "P". SEE SITE PLAN FOR LOCATION.
- 7 PROVIDE AND INSTALL A 4-POLE (2-POLE SPARES) LIGHTING TIMECLOCK IN NEMA 3R ENCLOSURE. PROV TIME CLOCK AS DIGITAL WITH ASTRONOMICAL CONTRC

SHEET GENERAL NOTES:

- A. ALL CONDUCTORS SHALL BE COPPER.
- B. INSULATION ON ALL CONDUCTORS SHALL BE "THWN/THHN", 75C.
- C. THE ELECTRICAL DISTRIBUTION SYSTEM SHOWN ON THIS SHEET IS A FULLY RATED SYSTEM. SERIES RATING WILL NOT BE ACCEPTABLE.
- D. MULTI-WIRE BRANCH CIRCUITS FOR GENERAL LOADS CAN INCLUDE UP TO THREE PHASE CONDUCTORS WITH A SHARED NEUTRAL IN A RACEWAY IF AN IDENTIFIED HANDLE TIE IS PROVIDED TO SIMULTANEOUSLY DISCONNECT ALL SINGLE POLE CIRCUIT BREAKERS THAT SUPPLY INDIVIDUAL PHASE CONDUCTORS OF THE MULTI-WIRE CIRCUIT.
- E. ALL EQUIPMENT SHOWN ON THIS SHEET IS NEW U.O.A



A SDG&E SERVICE ELEVATION
SCALE: NONE

CTK #		CTK BKR	CIRCUIT DESCRIPTION	LOAD KVA		CTK #	CTK BKR	CIRCUIT DESCRIPTION	LOAD KVA	
A	B			A	B				A	B
1	20/1		LIGHTING	0.21		2	20/1	GATE MOTOR	1.92	
3	20/1		LIG TIMECLOCK		0.1	4	20/1	GATE MOTOR		1.92
5	20/1		IRRIGATION CONTROLLER	0.1		6	20/1	SPARE	0	
7	20/1		SPARE			8	20/1	SPARE	0	0
9	20/1		SPARE	0		10	20/1	SPARE	0	0
11	20/1		SPARE	0	0	12	20/1	SPARE	0	0
13	20/1		SPARE	0		14	20/1	SPARE	0	0
15	20/1		SPARE	0	0	16	20/1	SPARE	0	0
17	20/1		SPARE	0		18	20/1	SPARE	0	0
TOTAL CONNECTED KVA BY PHASE									2.23	2.02
TOTAL CONNECTED AMPS BY PHASE									18.6	16.8
			CONN KVA	CALC KVA				CONN KVA	CALC KVA	
LIGHTING			0.21	0.263 (125%)		CONTINUOUS		0	0 (125%)	
LARGEST MOTOR			1.92	2.4 (125%)		HEATING		0	0 (N/A)	
OTHER MOTORS			1.92	1.92 (100%)		COOLING		0	0 (N/A)	
RECEPTACLES			0	0 (50%-10)		NONCONTINUOUS		0.2	0.2 (100%)	
KITCHEN EQUIP			0	0 (N/A)		DIVERSE		0	0 (N/A)	
						METERED DEMAND		0	0 (125%)	
						TOTAL KVA		4.25	4.78	
						BALANCED AMPS			19.9	

FEEDER SCHEDULE

FEEDER AMPS	CONDUIT AND FEEDER	FEEDING THESE DEVICES
100	1-1/4", 2#2, #2N, #6G	P

SIZING METHOD: COPPER, 60°C #12 THROUGH #1, 75°C 1/0 AND ABOVE

VOLTAGE DROP SCHEDULE

DEVICE	FEEDER		BRANCH CIRCUIT		TOTAL VOLTAGE DROP
	VOLTAGE DROP	WIRE SIZE	MAX VOLTAGE DROP	WIRE SIZE	
P	0%	#2	2.48% (CTK 4)	#6	2.48%

FAULT CURRENT SCHEDULE

DEVICE	FAULT	AIC RATING	L-N VOLTS	UTILITY			FED FROM				FEEDER				DIRECTLY CONNECTED MOTOR LOAD					
				FAULT	X	R	DEVICE	FAULT	X	R	SIZE	X / 1000'	R / 1000'	LENGTH	X	R	KVA	FAULT	X	R
P	42,064	50,000	120V	42,000	0.002802	0.0005603					#2	0.045	0.19		0.0009	0.0038	3.84	64	1.819	0.4548

030-038

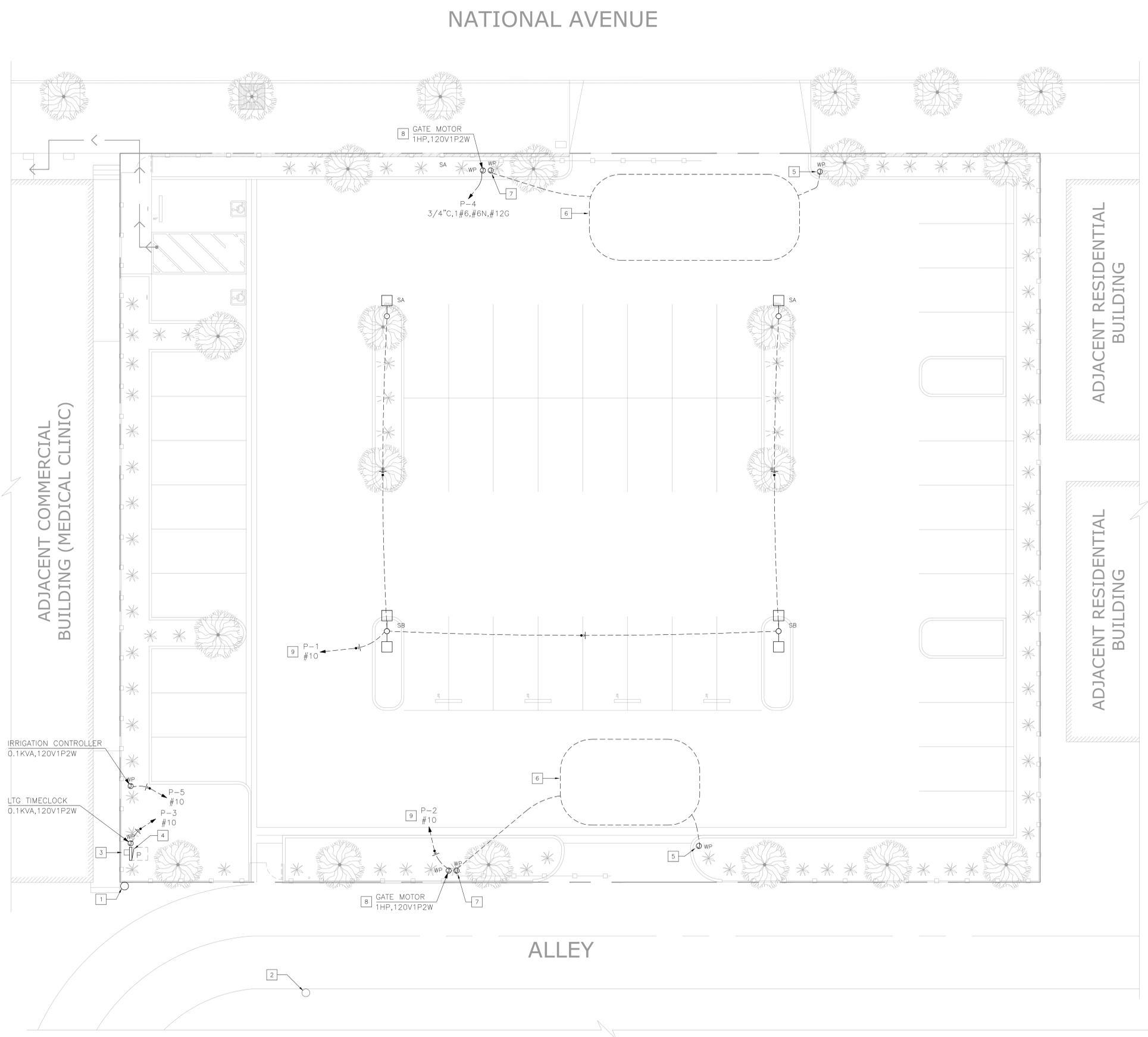
ELEN CONSULTING
3150 CAMINO DEL NORTE, SUITE 101
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SINGLE LINE DIAGRAM AND CALCULATIONS

E004
SHEET OF

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS AND SHALL BE BROUGHT TO THE ATTENTION OF THE PERMITTEE PRIOR TO COMMENCEMENT OF ANY WORK



- SHEET KEY NOTES:**
- 1 EXISTING SDG&E SERVICE POLE #P735064. VERIFY REQUIREMENTS WITH SDG&E SHOP DRAWINGS.
 - 2 EXISTING SDG&E POLE, NO NEW WORK, SHOWN FOR REFERENCE ONLY.
 - 3 PROVIDE AND INSTALL NEW WOODEN 14" PANEL POLE PER SDG&E STANDARDS AND IN ACCORDANCE WITH SDG&E SERVICE GUIDE. VERIFY POLE HEIGHT WITH SDG&E SERVICE PRIOR INSTALLATION. PROVIDE CONDUCTOR WEATHERHEAD AND CONDUIT RISER.
 - 4 PROVIDE AND INSTALL NEW NEMA 3R PANEL "P" ON NEW POLE PER SDG&E STANDARDS AND IN ACCORDANCE WITH SDG&E SERVICE GUIDE.
 - 5 PROVIDE AND INSTALL WEATHER PROOF JUNCTION BOX FOR GATE MOTOR CONTROLLER AND GATE KEYPAD(S). VERIFY REQUIREMENTS WITH GATE MANUFACTURER PRIOR TO ROUGH IN. PROVIDE 3/4" C.O. WITH PULLSTRING FROM KEY PAD JUNCTION BOX TO MOTOR CONTROLLER JUNCTION BOX AS REQUIRED. VERIFY REQUIREMENTS AND LOCATION WITH MOTORIZED GATE SHOP DRAWINGS PRIOR TO ROUGH IN.
 - 6 PROVIDE AND INSTALL EXIT LOOP FOR MOTORIZED GATE. PROVIDE 3/4" C.O. WITH PULLSTRING TO GATE CONTROLLER AND KEYPAD AS SHOWN THROUGHOUT. VERIFY REQUIREMENTS AND LOCATION WITH MOTORIZED GATE SHOP DRAWINGS PRIOR TO ROUGH IN.
 - 7 MOTORIZED GATE CONTROLLER. VERIFY REQUIREMENTS AND LOCATION WITH MOTORIZED GATE SHOP DRAWINGS PRIOR TO ROUGH IN.
 - 8 GATE MOTOR. VERIFY REQUIREMENTS AND LOCATION WITH MOTORIZED GATE SHOP DRAWINGS PRIOR TO ROUGH IN.
 - 9 PROVIDE AND INSTALL #10 CONDUCTORS, TO INCLUDE GROUND, IN MIN. 3/4" CONDUIT THROUGHOUT.

SHEET GENERAL NOTES:
 A. NOT USED.

IRRIGATION CONTROLLER
 0.1KVA, 120V1P2W

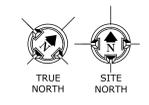
LIT. TIMECLOCK
 0.1KVA, 120V1P2W

ADJACENT COMMERCIAL BUILDING (MEDICAL CLINIC)

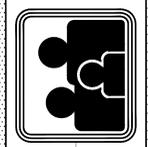
ADJACENT RESIDENTIAL BUILDING

ADJACENT RESIDENTIAL BUILDING

A SITE ELECTRICAL PLAN
 SCALE: 1/8" = 1'-0"



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 2016 PARKING LOT
 COASTAL DEVELOPMENT PERMIT



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Prepared By:



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SITE ELECTRICAL PLAN

E101
 SHEET OF

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