



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 6, 2017 REPORT NO. HO-17-089

HEARING DATE: December 13, 2017

SUBJECT: STAY SDP - Process Three Decision

PROJECT NUMBER: [514920](#)

OWNER/APPLICANT: City 24, L.P.

SUMMARY

Issue Should the Hearing Officer approve a Site Development Permit to demolish an existing trailer/shed and parking lot located on a 0.35 acre site at 2801 India Street in the MCCPD-CL-6 Zone of the Mid-City Community Planned District, within the Uptown Community Planning Area, to construct a 22,141-square foot, three-story hotel consisting of 25 suites with balconies, a new roof deck and a subterranean garage?

Staff Recommendation:

1. Approve Site Development Permit No. 1814735.

Community Planning Group Recommendation: On April 4, 2017, the Uptown Planners voted 16-0-1 to recommend approval, without conditions (Attachment 8).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15332 (In-Fill Development Projects). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 20, 2017, and the opportunity to appeal that determination ended December 6, 2017.

BACKGROUND

The 0.35-acre project site is located at 2801 India Street in the MCCPD-CL-6 Zone, the Mid-City Community Planned District, Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone, within the Uptown Community Planning area (Attachment 1). The site is bounded by West Olive Street to the south, India Street to the west, and various residential properties to the north and east.

The site is located along the India Street commercial corridor in an established, mixed-use, urban neighborhood which includes a wide variety of uses, including residential, office, commercial, retail, and eating/drinking establishments (Attachment 2).

The Uptown Community Plan was updated on February 6, 2017, after this project application was deemed complete on December 7, 2016. The applicant has elected to process the project under the previous 1988 version of the Community Plan, which is allowed because the application was deemed complete prior to the effective date of the Community Plan update. All further plan references in this report are to that previous version.

DISCUSSION

The project would demolish an existing trailer/shed and parking lot to allow for the construction of a 22, 141-square foot, three-story hotel consisting of 25 suites with balconies, a new roof deck, and 28 parking spaces located in a subterranean garage. The 1988 Uptown Community Plan land use designation for the site is community commercial. Community commercial zones accommodate community-wide commercial services and retail uses. The plan describes India Street as primarily a specialized commercial center with a focus on restaurants which make up the International Restaurant Row. The policies support business establishments that are more community oriented. A hotel is a business that is compatible with commercial service and retail uses expected to be found along India Street. The project would facilitate the Community Plan's objective to develop adequate community commercial service establishments for local residents and visitors.

The proposed project would implement both the Community Plan's objective to locate high occupancy projects in commercial areas near transit and higher volume traffic corridors and the General Plan Urban Design Element's strategy to direct growth into commercial areas where a high level of activity already exists. In addition, the site would be accessed from a single driveway on India Street and has been conditioned to install current City-standard curb, gutter, and sidewalk along the frontage of India Street. The project will also be required to close an existing driveway along Olive Street and to install current City-standard curb, gutter, and sidewalk along the frontage of Olive Street.

All necessary public improvements are included as project conditions, and all public utilities required to service the site are available. The project was determined to be exempt from CEQA pursuant to CEQA Guidelines Section 15332 (In-Fill Development Projects), and there was no appeal of the environmental determination filed within the time period provided by San Diego Municipal Code Section 112.0520. The proposed site development permit includes conditions of approval and exhibits to achieve compliance with the SDMC regulations applicable to this project. Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area.

The proposed project would implement the General Plan Urban Design Element's goal to utilize landscape as an important aesthetic and unifying element through the City by providing extensive landscaping adjacent to the proposed development on India Street. Planters adjacent to the sidewalks and a landscaped street-level courtyard along the west side of the structure adjacent to the lobby would also be provided.

The project is requesting two deviations from the applicable regulations: 1) a deviation from the required height limit to allow the proposed elevator shaft to project 42 inches above the 30-foot permitted height; and 2) a deviation from the minimum 9-foot front yard setback to allow the third floor stairs to project an additional 26 inches into the yard. Despite these deviations, as proposed, the project would be consistent with the SDMC and overall policies for commercial development related to the Land Use, Urban Design, Mobility, and Noise Elements contained in the General Plan. With the exception of the requested deviations, the project meets all applicable development regulations, floor area ratio, offsetting planes, upper floor step back, parking and landscape standards. Therefore, the proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The Uptown Community Plan does not provide specific recommendations regarding particular development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. The project design incorporates balconies, glazing area, multiple offsetting planes, and materials and finishes that will provide visual interest and reduce the perceived bulk and scale of the structure. The project will be compatible with existing and planned land use on adjoining properties, and will not constitute a disruptive element to the neighborhood and community. Architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.

The Uptown Community Plan encourages mixed-use corridors and commercial areas with multiple-uses along arterial and collector streets that connect to commercial and neighborhood villages. India Street is designated as a mixed-use corridor (pg. LU-38). A hotel is compatible with the commercial uses expected to be found in a mixed-use corridor. Therefore, the proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

Conclusion:

Staff has reviewed the proposed project, and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the Land Development Code. Staff has provide draft findings to support approval of the project (Attachment 5) and draft conditions of approval (Attachment 6). Staff recommend the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Site Development Permit No. 1814735, with modifications.
2. Deny Site Development Permit No. 1814735, if the findings required to approve the project cannot be affirmed.

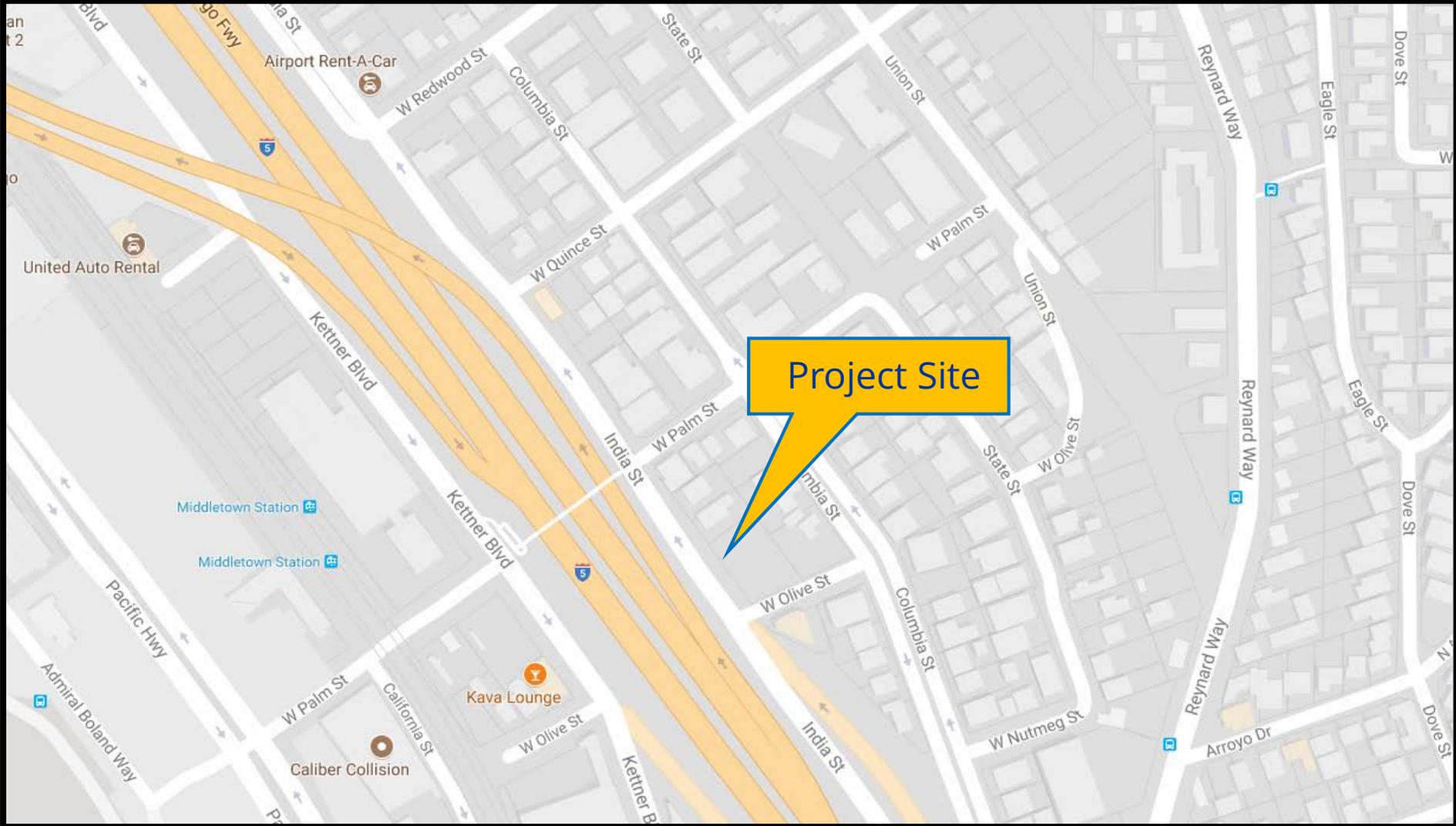
Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'D.J.', is written above a horizontal line.

Derrick Johnson (D.J.), Development Project Manager

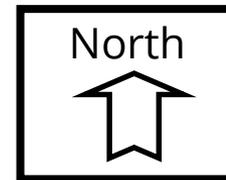
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans

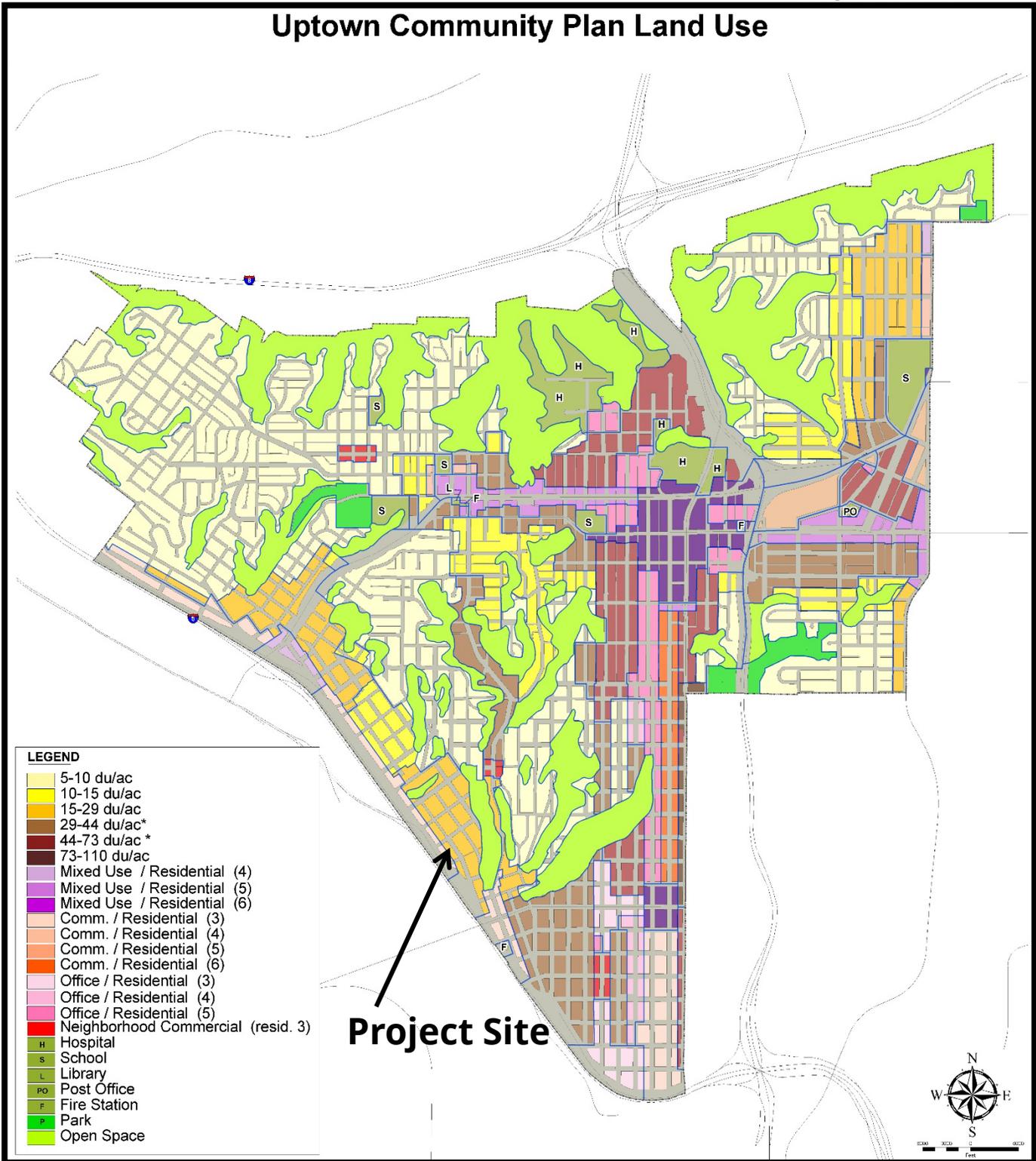


Project Location Map

Stay Site Development Permit / 2801 India Street
PROJECT NO. 514920



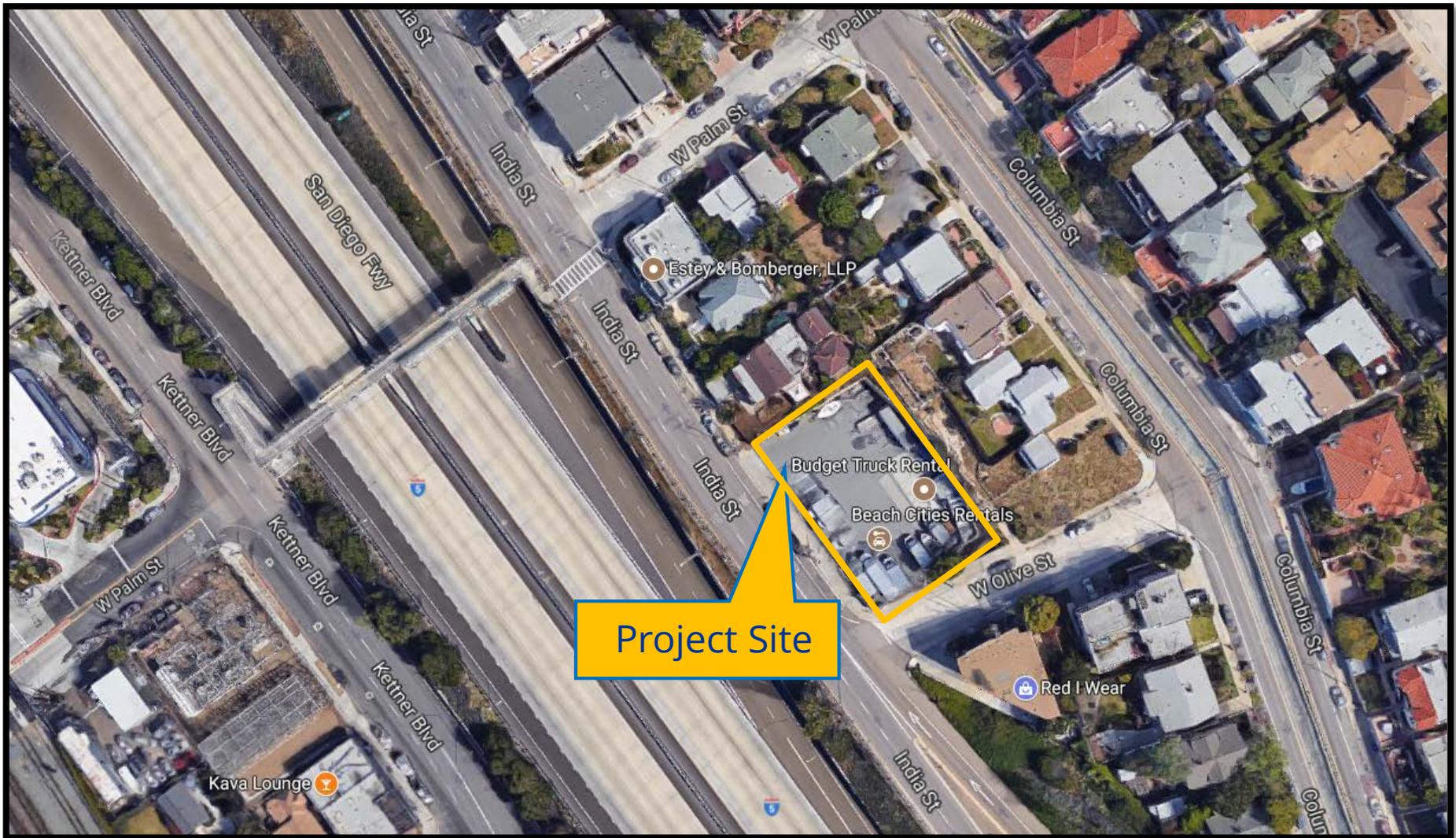
Uptown Community Plan Land Use



Land Use Map

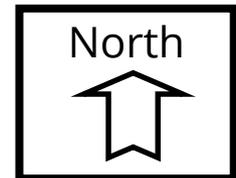
Stay Site Development Permit / 2801 India Street
PROJECT NO. 514920





Aerial Photo

Stay Site Development Permit / 2801 India Street
PROJECT NO. 514920



PROJECT DATA SHEET

PROJECT NAME:	Stay Hotel (Project No. 514920)	
PROJECT DESCRIPTION:	Demolish an existing trailer/shed and parking lot, to allow for the construction of a three-story hotel consisting of 25 suites with balconies, a new roof deck and a subterranean garage	
COMMUNITY PLAN AREA:	Uptown	
DISCRETIONARY ACTIONS:	Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Community Commercial	
<u>ZONING INFORMATION:</u>		
ZONE: MCCPD-CL-6		
HEIGHT LIMIT: 30 feet maximum permitted		
LOT SIZE: 5,000 square-foot minimum required		
FLOOR AREA RATIO: 2.00 maximum permitted		
FRONT SETBACK: 0 feet allowed – India St.		
SIDE SETBACK: 0 feet allowed – opposite Olive St.		
STREETSIDE SETBACK: 0 feet allowed – Olive St.		
REAR SETBACK: 4 feet minimum – opposite India St.		
PARKING: 1/guest room or 25 spaces		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Commercial-Residential/CC 3-4	Residential
SOUTH:	Commercial-Residential/CC 3-4	Residential/Commercial
EAST:	Commercial-Residential/RM 2-5	Residential
WEST:	Commercial-Residential/CC 3-4	Interstate 5
DEVIATIONS OR VARIANCES REQUESTED:	A deviation from the required height limit; to allow the proposed elevator shaft to project 3 ft. 6 in. above the 30 ft. permitted height; 2). A deviation to allow for a reduced front yard setback to allow the third floor stairs to project 26" into required 9 ft. yard	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On April 4, 2017, the Uptown Planners voted 16-0-1 to recommend approval, without conditions.	

HEARING OFFICER
RESOLUTION NO. [REDACTED]
SITE DEVELOPMENT PERMIT No. 1814735
STAY SDP – PROJECT No. 514920

WHEREAS, City 24, L.P., a California Limited Partnership, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing trailer/shed and parking lot on a 0.35 acre site , and to construct a 22,141 square-foot, three-story hotel consisting of 25 suites with balconies, a new roof deck, and 28 parking spaces located in a subterranean garage(as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No.1814735);

WHEREAS, the project site is located at 2801 India Street in the MCCPD-CL-6 Zone, Mid-City Community Planned District, Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone, within the Uptown Community Planning area;

WHEREAS, the project site is legally described as Lots 4, 5, & 6, Block 102 of Middletown, According to Map Thereof Made by J.E. Jackson, County of San Diego;

WHEREAS, on November 20, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an environmental determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (In-Fill Development Projects), and there was no appeal of the environmental determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 13, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1814735, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 13, 2017.

Mid-City Communities Development Permit Findings - SDMC Section 1512.0204:

- 1. Conformance with Community Plan. The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.**

The project site is located at 2801 India Street, within the Uptown Community Plan area. The Community Plan was updated on February 6, 2017, after this project application was deemed complete on December 7, 2016.

The applicant has elected to process the project under the previous 1988 version of the Community Plan, which is allowed because the application was deemed complete prior to the effective date of the Community Plan update. All further plan references in this resolution are to that previous version. The project would demolish an existing trailer/shed and parking lot to allow for the construction of a 22,141-square-foot, three-story hotel consisting of 25 suites with balconies, a new roof deck, and 28 parking spaces located in a subterranean garage.

The 1988 Uptown Community Plan land use designation for this site is community commercial. Community commercial zones accommodate community-wide commercial services and retail uses. The plan describes India Street as primarily a specialized commercial center with a focus on restaurants which make up the International Restaurant Row. The policies in the Uptown Community Plan support business establishments that are more community oriented. A hotel is a business that is compatible with commercial service and retail uses expected to be found along India Street. The project would facilitate the Community Plan's objective to develop adequate community commercial service establishments for local residents and visitors.

The proposed project would implement both the Community Plan's objective to locate high occupancy projects in commercial areas near transit and higher volume traffic corridors and the General Plan Urban Design Element's strategy to direct growth into commercial areas where a high level of activity already exists. The site is located along the India Street commercial corridor in an established, mixed-use, urban neighborhood which includes a wide variety of uses, including office, commercial, retail and eating/drinking establishments. The site is also served by existing Metropolitan Transit System bus lines.

The Uptown Community Plan does not provide specific recommendations regarding particular development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. The project design incorporates balconies, glazing area, multiple offsetting planes, and materials and finishes that will provide visual interest and reduce the perceived bulk and scale of the structure. The Uptown Community Plan encourages mixed-use corridors and commercial areas with multiple-uses along arterial and collector streets that connect to commercial and neighborhood villages. India Street is designated as a mixed-use corridor (pg. LU-38). The hotel is a compatible with the commercial uses expected to be found in a mixed-use corridor. Therefore, the proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

- 2. Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community.**

In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.

The project would demolish an existing trailer/shed and parking lot to allow for the construction of a 22,141-square-foot, three-story hotel consisting of 25 suites with balconies, a new roof deck, and 28 parking spaces located in a subterranean garage.

The site is bounded by Olive Street to the south, India Street to the west and various residential properties to the north and east. The site is located along the India Street commercial corridor in an established, mixed-use, urban neighborhood which includes a wide variety of uses, including residential, office, commercial, retail and eating/drinking establishments. Substantial landscaping will be installed along India Street and Olive Avenue, with planters adjacent to the sidewalks and a landscaped street-level courtyard along the west side of the new structure. In addition, the site would be accessed from a single driveway on India Street and has been conditioned to install current City-standard curb, gutter, and sidewalk along the frontage of India Street. The project will also be required to close an existing driveway along Olive Street and to install current City-standard curb, gutter, and sidewalk along the frontage of Olive Street. All necessary public improvements are included as project conditions, and all public utilities required to service the site are available. Therefore, the project will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. The hotel will feature flat roofs and rectangular buildings consistent the existing design of the immediate neighborhood. The project will also provide extensive landscaping to assist with the visual transition from the single family residences to east. Architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.

3. Adequate Lighting. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site.

The property is served by an existing street light located along the India Street frontage. The site is also within 100 feet of an existing street light on Olive Street. Therefore, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided. The proposed use complies with the relevant regulations in and is consistent with the provisions of the San Diego Municipal Code.

Site Development Permit Findings - SDMC Section 126.0505:

1. The proposed development will not adversely affect the applicable land use plan.

As noted above, the applicant is processing this project under the 1988 version of the Uptown Community Plan because the application was deemed complete prior to the recent February 6, 2017 Community Plan update.

The Community Plan designates the 0.35-acre site for Community Commercial, the project site is

developed with an existing trailer/shed and a paved surface parking lot. The project would demolish an existing trailer/shed and parking lot to allow for the construction of a 22,141-square-foot three-story hotel consisting of 25 suites with balconies, a new roof deck, and 28 parking spaces located in a subterranean garage.

The 1988 Uptown Community Plan land use designation for this site is community commercial. Community commercial zones accommodate community-wide commercial services and retail uses. The plan describes India Street as primarily a specialized commercial center with a focus on restaurants which make up the International Restaurant Row. The policies in the Uptown Community Plan support business establishments that are more community oriented. A Hotel is a business that is compatible with commercial service and retail uses expected to be found along India Street. The project would facilitate the Community Plan's objective to develop adequate community commercial service establishments for local residents and visitors.

The proposed project would implement both the Community Plan's objective to high occupancy projects to commercial areas near transit and higher volume traffic corridors and the General Plan Urban Design Element's strategy to direct growth into commercial areas where a high level of activity already exists. The site is located along the India Street commercial corridor in an established, mixed-use, urban neighborhood which includes a wide variety of uses, including office, commercial, retail and eating/drinking establishments. The site is also served by existing Metropolitan Transit System bus lines.

The Uptown Community Plan does not provide specific recommendations regarding particular development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. The project design incorporates balconies, glazing area, multiple offsetting planes, and materials and finishes that will provide visual interest and reduce the perceived bulk and scale of the structure. The Uptown Community Plan encourages mixed-use corridors and commercial areas with multiple-uses along arterial and collector streets that connect to commercial and neighborhood villages. India Street is designated as a mixed-use corridor (pg. LU-38). The hotel would be compatible with the commercial uses expected to be found in a mixed-use corridor. Therefore, the proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project site is currently developed with an existing trailer and a paved surface parking lot. The project would demolish the existing trailer/shed and parking lot to allow for the construction of a 22,141-square foot, three-story hotel consisting of 25 suites with balconies, a new roof deck, and 28 parking spaces located in a subterranean garage. The proposed development will require a demolition permit for the existing trailer and parking lot.

Ministerial building permits will be required for construction of the hotel. Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical

Code, Electrical Code, Fire Code, seismic requirements, and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. In addition, the Fire Access Plan for the proposed development demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access.

The project was determined to be exempt pursuant to CEQA Guidelines Section 15332 (In-Fill Development Projects), and there was no appeal of the environmental determination filed within the time period provided by San Diego Municipal Code Section 112.0520. The permit for the project includes conditions of approval and exhibits to achieve project compliance with the SDMC regulations applicable to this project. Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area.

Therefore, the proposed hotel development, because of conditions that have been applied to it, will not be detrimental to the public health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 2801 India Street, in the Mid-City Communities Planned District (MCCPD)-CL-6 Zone of the Mid-City Community Planned District. The site is also located in Transit Area Overlay Zone, Airport Influence Area (AIA) - Review Area 1 for the San Diego International Airport, and the Airport Approach Overlay Zone (AAOZ), within the Uptown Community Planning area. The CC-3-4 Zone became effective for the site on February 6, 2017, in conjunction with an update to the Uptown Community Plan. When the project application was deemed complete on December 7, 2016, the site was located in MCCPD-CL-6 Zone of the MCCPD. The applicant has elected to process the project under the previous MCCPD-CL-6 Zone regulations, which is allowed because the application was deemed complete prior to the zone change.

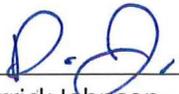
The project is requesting two deviations from the applicable regulations: 1) a deviation from the required height limit to allow the proposed elevator shaft to project 42 inches above the 30 foot permitted height; and 2) a deviation from the minimum 9-foot front yard setback to allow the third floor stairs to project an additional 26 inches into the yard.

Despite these deviations, as proposed, the project would be consistent with the SDMC and overall policies for commercial development related to the Land Use, Urban Design, Mobility, and Noise Elements contained in the General Plan. The purpose of the community commercial (CC) zones is to accommodate community-serving commercial services, retail uses, and limited industrial uses of

moderate intensity and small to medium scale. The CC zones are intended to provide for a range of development patterns from pedestrian-friendly, commercial streets to shopping centers and auto-oriented strip commercial streets. Some of the CC zones may include residential development. Property within the CC zones will be primarily located along collector streets, major streets, and public transportation lines. The hotel is a use commercial use consistent with the Community Commercial Land Use Designation. With the exception of the requested deviations, the project meets all applicable development regulations, floor area ratio, offsetting planes, upper floor step back, parking and landscape standards. Therefore, the proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1814735 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 1814735, a copy of which is attached hereto and made a part hereof.



Derrick Johnson
Development Project Manager
Development Services

Adopted on: December 13, 2017

IO#: 24007033

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007033

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT No. 1814735

STAY SDP - PROJECT No. 514920

HEARING OFFICER

This Site Development Permit No. 1814735 ("Permit") is granted by the Hearing Officer of the City of San Diego to City 24, L.P., a California Limited Partnership, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0522 and 1512.0204. The 0.35-acre site is located at 2801 India Street in the MCCPD-CL-6 Zone, Mid-City Community Planned District, Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone, within the Uptown Community Planning area. The project site is legally described as: Lots 4, 5, & 6, Block 102 of Middletown, According to Map Thereof Made by J.E. Jackson, County of San Diego.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing trailer/shed and paving, to allow for the construction of a 22,141-square foot, three-story hotel consisting of 25 suites with balconies, a roof deck and 28 parking spaces in a subterranean garage, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 13, 2017, on file in the Development Services Department.

The project shall include:

- a. Demolish existing trailer/shed and associated paving;
- b. Construction of a 22,141-square foot, three-story hotel consisting of 25 suites with balconies and a new roof deck;
- c. Landscaping (planting, irrigation, and landscape-related improvements);
- d. Off-street parking in a subterranean parking;
- e. Retaining walls, fences, signs, lighting and,
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this Permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this Permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 28, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit.

The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department

AIRPORT REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures

do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 750 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition, and Regional Supplement Amendments adopted by Regional Standards Committee.
14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the 18" RCP private storm drain pipe encroaching in the India Street Right-Of-Way.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the removal of the non-utilized driveway adjacent to the site on Olive Street and replace with current City Standard curb, gutter and sidewalk, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk, curb, and gutter, adjacent to the site on India Street with current City Standard, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct 24' driveway per current City Standard adjacent to the site on India Street, satisfactory to the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate, and assure by permit and bond, the improvement of an additional Right-Of-Way at the corner of Olive Street and India Street to maintain a minimum of 10' curb to property line, satisfactory to the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct a curb ramp adjacent to site at the corner of Olive Street and India Street, with current City Standard, satisfactory to the City Engineer.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC into the construction plans or specifications.
22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

23. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

25. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this Permit (including environmental conditions) and Exhibit 'A,' on file in the Development Services Department.

26. Prior to issuance of any engineering permits for Right-Of-Way improvements, the Owner/Permittee shall submit complete landscape construction documents for Right-Of-Way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

27. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC Section 142.0403(b)(5).

28. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area."

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the Right-Of-Way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition

or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

31. Owner/Permittee shall maintain a minimum of 25-off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

33. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

35. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

36. Prior to the issuance of any Building Construction Permit, all proposed "PRIVATE" sewer lines within the public Right-Of-Way or public easement must be located and labeled on an approved Construction Record Drawing (D-sheet) so as to clearly convey the following: the sewer line's identity as "PRIVATE", the diameter, the type of material, its approximate location relative to the nearest property line and MH, and the approved EMRA.

37. Prior to the issuance of any Certificate of Occupancy, all public water and/or sewer facilities necessary to serve the development (including services and laterals) shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

Prior to the issuance of any Building Construction Permit, the Owner/Permittee is required to ensure that the private sewer service laterals serving the separately titled Lots (#7, 8, 9 & 10), which currently traverse over the subject property, get rerouted and reconnected to the public sewer

system in a manner satisfactory to the Public Utilities Director; and, that the continued operation and maintenance of any shared sewer facilities will be provided for in perpetuity.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 13, 2017 and Resolution No.

ATTACHMENT 6

Site Development Permit No. 1814735
December 13, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Derrick Johnson (D.J.)
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

City 24, L.P.
Owner/Permittee

By _____
Dana Balsi
Managing Member

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: Stay Site Development Permit **Project No. 514920/SCH No.:** N/A

Project Location-Specific: 2801 India Street, San Diego, CA 92103

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: **SITE DEVELOPMENT PERMIT (SDP)** to demolish an existing trailer and paving, and to allow for the construction of a 3-story hotel consisting of 25 suites with roof decks and subterranean parking, on a 0.35-acre site. The project is located at 2801 India Street in the MCCPD-CL-6 zone within the Uptown Community Planning area, Mid-City Community Planned District, Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Dominique Houriet, Oo-d-a Studio (Firm), 1051 Johnson Avenue, San Diego, CA 92103, (619) 454-7306

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: CEQA Exemption 15332 (In-Fill Development Projects)

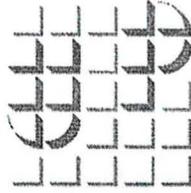
Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15332. The project's proposal to hotel use would be consistent with the existing land use designation (Community Commercial), and all applicable general plan policies as well as with the applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no more than five acres and is substantially surrounded by urban uses. The project site has no value as habitat for endangered, rare or threatened species. The project would not result in any significant effects related to air quality, noise, traffic or water quality. The site can be adequately serviced by all required utilities and public services. In addition, the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No



UPTOWN PLANNERS
MEMORANDUM OF MOTION
MOTION APPROVED ON APRIL 4, 2017
BY THE BOARD OF UPTOWN PLANNERS

Motion Approved By Uptown Planners on April 4, 2017:

The board of Uptown Planners passed the following motion regarding the 2810 India Street project, "The Stay", at its April 4, 2017 meeting. The project was noticed on the agenda as indicated below:

2810 INDIA STREET SDP ("STAY SDP") – Process Three – Middletown – Site Development
Permit to demolish existing shed and construct a 3-story hotel; with subterranean parking totaling 39,294 sq. ft. The 0.35-acre site is located at 2801 India Street;

A presentation was made by the applicant and his architect, after which there was public comment, including from several individuals who owned property adjacent to the project site. After questions and discussion, the board of Uptown Planners passed a motion recommending approval of the project as presented by a unanimous vote..

Voting YES 16 Voting NO 0 Abstain 1 (non-voting chair)

Leo Wilson
Chair, Uptown Planners

	<p>City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000</p>	<p>Ownership Disclosure Statement</p>	<p>FORM DS-318</p> <p>October 2017</p>
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • **Other** _____

Project Title: SPAN SDP **Project No. For City Use Only:** _____
Project Address: INDIA OLIVE 2801 INDIAN STREET
SAN DIEGO CA 92101

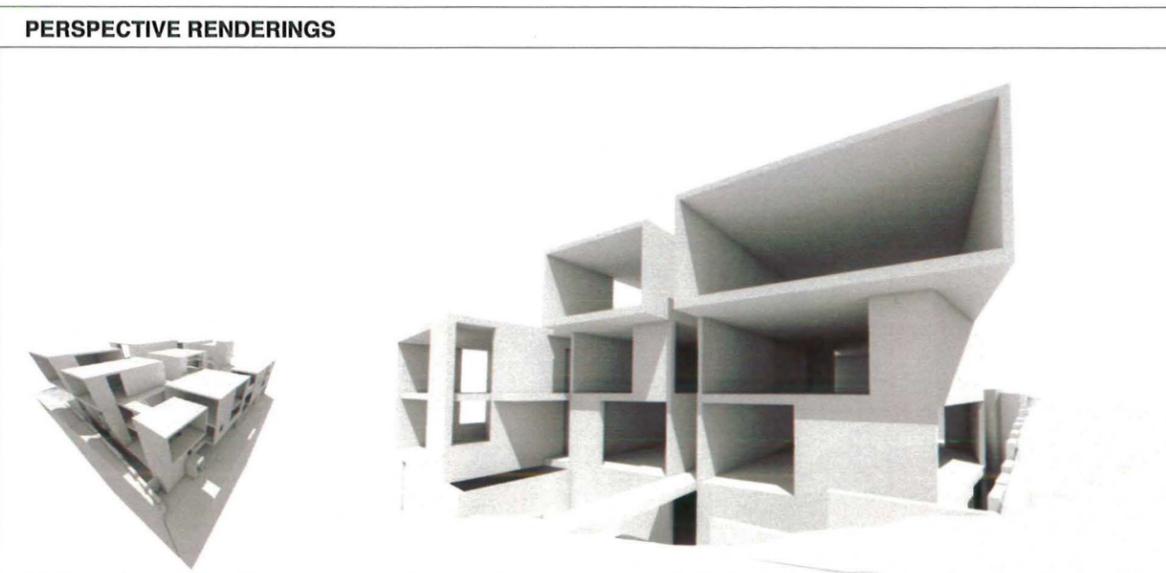
Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
Name of Individual: CITY 24 LP Owner Tenant/Lessee Successor Agency
Street Address: 202 Island Ave #126
City: San Diego State: CA Zip: 92101
Phone No.: 619 709 4103 Fax No.: 619 238 5650 Email: Dana Blasi R Johnson
Signature: [Signature] Date: 11/29/2017
Additional pages Attached: Yes No

Applicant
Name of Individual: Dana Blasi, Manager, Member Owner Tenant/Lessee Successor Agency
Street Address: 202 Island Ave #126
City: San Diego State: CA Zip: 92101
Phone No.: 619 709 4103 Fax No.: 619 238 5650 Email: Dana Blasi @ Johnson
Signature: [Signature] Date: _____
Additional pages Attached: Yes No

Other Financially Interested Persons
Name of Individual: _____ Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: Yes No



SCOPE OF WORK	
PROPOSED TYPE 1A (R-1): 1) REMOVE EXISTING MOBILE STRUCTURE AND PAVING, 2) CONSTRUCT 25 SUITES WITH ENCLOSED SUBTERRANEAN PARKING, LOBBY, HOST, DIRECTORS OFFICE, UTILITY ROOM & STORAGE	
PERMIT APPLICATIONS	
DEVELOPMENT:	PTS#514920
HISTORICAL CLEARANCE:	N/A
DEMOLITION:	TBD
BUILDING:	TBD
RIGHT-OF-WAY:	TBD
FIRE SPRINKLER:	DEFERRED SUBMITTAL
FAA:	TBD
DEFERRED SUBMITTALS:	FIRE SPRINKLER
ALTERNATE METHODS:	N/A
BUILDING CODE DATA	
TYPE OF CONSTRUCTION:	TYPE 1A
OCCUPANCY CLASSIFICATION / USE:	R-1 / HOTEL
AUTOMATIC FIRE SPRINKLER:	NFPA 13 - THE SUBMITTAL OF FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED.
NUMBER OF STORIES:	1 BASEMENT + 3 FLOOR LEVELS ABOVE
MAX BUILDING HEIGHT ALLOWED:	10'-0" BASEMENT + 30'-0"
PROPOSED BUILDING HEIGHT:	40'-0"
GOVERNING CODES:	2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA ELECTRIC CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE 2013 CALIFORNIA RESIDENTIAL CODE (BASED ON 2012 IRC PUBLISHED BY ICC) 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA ENERGY CODE
REQUEST FOR ALTERNATE METHODS:	N/A

DEVELOPMENT SUMMARY	
1. EXISTING USE:	COMMERCIAL RENTAL CAR SERVICE PARKING LOT & TEMPORARY SHED YEAR BUILT = N/A (PARKING LOT TO BE DEMOLISHED)
2. PROPOSED USE:	COMMERCIAL HOTEL NUMBER OF UNITS DETERMINED BY 1 PARKING STALL PER HOTEL UNIT & MAX FLOOR AREA RATIO (30,098 SF) ENCLOSED PARKING - 28 PARKING SPACES 25 SUITES PROPOSED
3. ZONING CLASSIFICATION:	MCCPD-CL-6 OVERLAY ZONES: AIRPORT INFLUENCE AIRPORT OVERLAY ZONE TRANSIT AREA TANDEM PARKING OVERLAY
4. SITE AREA:	15,049 SQUARE FEET (100.06' X 150.39')
5. COVERAGE DATA:	GROUND LEVEL FOOTPRINT = N/A LOT COVERAGE = N/A
6. FLOOR AREA RATIO (FAR):	ALLOWED MAX = 2.0 (30,098 SF) PROPOSED GROSS FLOOR AREA = 22,141 SF PROPOSED FAR = 1.47
7. SETBACKS (COMMERCIAL):	FRONT: MIN 0' INTERIOR SIDE: 0' SIDE: MIN 0' REAR: MIN 6' (9' ABOVE SECOND, MAX 15')
8. BUILDING HEIGHT:	ALLOWED = 40'-0" OVERALL PROPOSED = 43'-0" OVERALL
9. CONDITION OF SOIL:	(ASSUMED) POTENTIALLY COMPRESSIBLE UNDOCUMENTED FILL AND COLLUVIAL SOILS, TBD
10. GRADING QUANTITIES (CUBIC YARDS):	CUT = (TBD) FILL = (TBD) CUT EXPORT = 0 FILL IMPORT = 0
11. GEOLOGIC HAZARD CATEGORY	52

SHEET INDEX	
GENERAL	T1 TITLE SHEET
REFERENCE	R2.0 FAA
GRADING	C-1 TOPOGRAPHIC SURVEY C-2 GRADING PLAN C-3 BMP
ARCHITECTURAL	A0.0 SITE PLAN A1.0 BASEMENT PLAN A1.1 FIRST LEVEL PLAN A1.2 SECOND LEVEL PLAN A1.3 THIRD LEVEL PLAN A1.4 ROOFTOP LEVEL PLAN A2.1 EAST & WEST ELEVATIONS A2.2 NORTH & SOUTH ELEVATIONS A3.1 SECTIONS A3.2 TRANSPARENCY CALCULATIONS A4.2 SITE PHOTOS
LANDSCAPE	L1 LANDSCAPE CONCEPT PLAN L2 LANDSCAPE CONCEPT PLAN

CONTACTS	
OWNER:	DANA BLASI 2801 INDIA STREET SAN DIEGO, CA 92103
DESIGNER:	DOMINIQUE HOURIET 2828 HOWARD AVENUE SAN DIEGO, CA 92104 PHONE: 619 454 7306 CONTACT: DOMINIQUE HOURIET EMAIL: dominique@oo-d-a.com
CIVIL:	K&S ENGINEERING 7801 MISSION CENTER COURT, SUITE 100 SAN DIEGO, CA 92108 PHONE: 619 296 5565 x120 CONTACT: HOSSEIN ZOMORRODI EMAIL: h.zomorrodi@ks-emgr.com
GEOTECHNICAL/ SOILS ENGINEER:	LEIGHTON & ASSOCIATES 3980 HOME AVENUE SAN DIEGO, CA 92105 PHONE: 619 550-1700 CONTACT: TROY S. WILSON EMAIL: twilson@christianwheeler.com
LANDSCAPE ARCHITECT:	STONE GROVE LANDSCAPE ARCHITECTS 200 N. CEDROS AVENUE SOLANA BEACH, CA 92075 PHONE: 858 345-1499 CONTACT: BRIAN GROVE EMAIL: brian@stone-grove.co

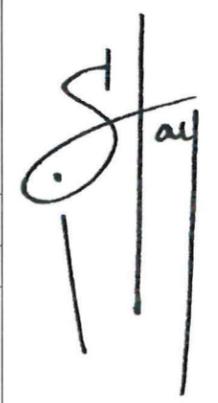
PARKING ANALYSIS:	
PARKING SUMMARY NOTES:	PER SDMC TABLE 142-050 FOR PROJECT WITHIN THE TRANSIT AREA.
PARKING REQUIREMENTS: 1 GUEST ROOM PER TABLE 142-050G (COMMERCIAL SERVICES-VISITOR ACCOMMODATIONS)	PROVIDING: -28 PARKING SPACES INCLUDING 2 ACCESSIBLE SPACES -2 ELECTRIC CAR CHARGING STATIONS -2 MOTORCYCLE SPACES -6 BICYCLE SPACES
REQUIRED: 25 UNITS X 1 GUEST ROOM = 25 PARKING SPACES 2 MOTORCYCLE SPACES 2 BICYCLE SPACES	
SITE DEVELOPMENT PERMIT:	
THIS PROPOSAL FOR A SITE DEVELOPMENT PERMIT (SDP)-PROCESS 3 IS TO REQUEST 2 DEVIATIONS:	
1) TO ALLOW THE PROPOSED BUILDING TO ENCRoACH TO A HEIGHT OF 43'-0" (+151.00' ABOVE MSL) INSTEAD OF 40'-0" (+148.00' ABOVE MSL). 2) REDUCED SETBACK AT 3RD FLOOR STAIRS, TO ENCRoACH 26" INTO THE REQUIRED 9 FT SIDE YARD SETBACK.	
DEFERRED SUBMITTAL NOTES:	
TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING / ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.	
IT IS UNDERSTOOD THAT PLANS FOR THE PROJECT HAVE, AT THIS TIME, BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE STATE AND CITY REGULATIONS, AND THAT THE PROJECT AS A WHOLE HAS BEEN APPROVED BY THE CITY, WITH THE EXCEPTION OF THE DEFERRED SUBMITTAL ITEMS LISTED. WE UNDERSTAND THAT WE WILL NOT BE AUTHORIZED ANY INSPECTION OF THE DEFERRED ITEMS PROPOSED PRIOR TO SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS. COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CFG 901.2	

CONTEMPORARY ARCHITECTURAL FEATURES:	
#1) A MINIMUM OF 1 TRANSOM WINDOW	
#2) AN ENTRY PORCH	
#3) WINDOWS RECESSED AT LEAST 2 INCHES	
#4) EAVES WITH A MINIMUM OF 18 INCH OVERHANG	
#5) A CLERESTORY WINDOW	

FLOOR AREA ANALYSIS (PER 113.0234)		AREA (SQUARE FEET)	
UNIT TABULATION (25 GUEST SUITES)		19,613 SF	
2 BDRM, 2.75 BATH UNIT 202 = 1,008 SF UNIT 204 = 1,094 SF UNIT 206 = 1,128 SF UNIT 209 = 1,093 SF UNIT 302 = 1,123 SF UNIT 304 = 1,094 SF UNIT 306 = 1,092 SF UNIT 309 = 1,093 SF UNIT 404 = 1,129 SF UNIT 406 = 1,024 SF	1 BDRM, 1.75 BATH UNIT 205 = 692 SF UNIT 207 = 719 SF UNIT 305 = 692 SF UNIT 307 = 719 SF UNIT 405 = 698 SF UNIT 407 = 822 SF	1 BDRM, 2 BATH UNIT 203 = 545 SF UNIT 208 = 566 SF UNIT 301 = 338 SF UNIT 303 = 546 SF UNIT 308 = 556 SF UNIT 403 = 565 SF UNIT 408 = 572 SF	1 BDRM, 1 BATH UNIT 101 = 367 SF UNIT 201 = 338 SF
10,878 SF	4,342 SF	3,688 SF	705 SF
BUILDING AREA SUMMARY		22,141 SF	
SUITES	19,613 SF		
LOBBY	301 SF		
HOST	193 SF		
DIRECTORS OFFICE	134 SF		
HOUSEKEEPING	345 SF		
WET UTILITY / MPOE	181 SF		
RESTROOM	95 SF		
ELEVATOR SHAFT (ALL LEVELS)	322 SF		
GARAGE STORAGE / LOCKERS & CARTS	581 SF		
TRASH, CHUTES, SERVICE & VENDING	377 SF		
PARKING (NOT INCLUDED IN FAR)		8,006 SF	
ENCLOSED PARKING	6,532 SF		
ENCLOSED VISITOR PARKING	1,474 SF		
OPEN SPACE (NOT INCLUDED IN FAR)		7,867 SF	
PATIOS (PRIVATE)	5,333 SF		
COMMON COURTYARDS	593 SF		
VESTIBULE ENTRY	411 SF		
ROOF DECKS	1,540 SF		
CIRCULATION (EXTERIOR WALKWAYS NOT INCLUDED IN FAR)		3,620 SF	
EXTERIOR WALKWAYS (ALL LEVELS)	3,055 SF		
ENCLOSED STAIRS (ALL LEVELS)	565 SF		
MAX ALLOWABLE AREA (PER STORY) FOR TYPE 1A PER (CBC SEC 503) = UNLIMITED SF / 4 STORIES = OK. PROPOSED MAX BUILDING AREA IN TYPE 1A (PER STORY) FOR BUILDING = UNLIMITED SF / 4 STORIES = OK.			

oo-d-a studio, inc.
2828 Howard Ave. San Diego, CA 92104
www.oo-d-a.com

STAY
2801 INDIA

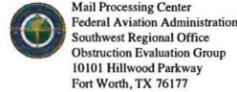


REVISIONS:

NOT FOR CONSTRUCTION
TITLE SHEET

PRINTED DATE: 11/29/17
TYPE: DISCRETIONARY

T1



Aeronautical Study No. 2016-AWP-7042-OE

Issued Date: 08/29/2016

dominique houriet (oo-d-a) studio, inc. 1051 johnson avenue San Diego, CA 92103

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building SW Corner of 2801 India Street
Location: San Diego, CA
Latitude: 32-43-59.70N NAD 83
Longitude: 117-10-20.70W
Heights: 108 feet site elevation (SE) 48 feet above ground level (AGL) 156 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

At least 10 days prior to start of construction (7460-2, Part 1)
[X] Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

Any height exceeding 48 feet above ground level (156 feet above mean sea level), will result in a substantial adverse effect and would warrant a Determination of Hazard to Air Navigation.



Aeronautical Study No. 2016-AWP-7043-OE

Issued Date: 08/29/2016

dominique houriet (oo-d-a) studio, inc. 1051 johnson avenue San Diego, CA 92103

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building NW Corner of India Street
Location: San Diego, CA
Latitude: 32-44-00.80N NAD 83
Longitude: 117-10-21.60W
Heights: 108 feet site elevation (SE) 48 feet above ground level (AGL) 156 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

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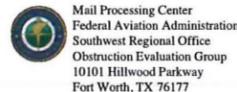
At least 10 days prior to start of construction (7460-2, Part 1)
[X] Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

Any height exceeding 48 feet above ground level (156 feet above mean sea level), will result in a substantial adverse effect and would warrant a Determination of Hazard to Air Navigation.



Aeronautical Study No. 2016-AWP-7041-OE

Issued Date: 08/29/2016

dominique houriet (oo-d-a) studio, inc. 1051 johnson avenue San Diego, CA 92103

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building SE Corner of 2801 India Street
Location: San Diego, CA
Latitude: 32-44-00.30N NAD 83
Longitude: 117-10-19.40W
Heights: 125 feet site elevation (SE) 31 feet above ground level (AGL) 156 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

At least 10 days prior to start of construction (7460-2, Part 1)
[X] Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

As a result of this structure being critical to flight safety, it is required that the FAA be kept apprised as to the status of the project. Failure to respond to periodic FAA inquiries could invalidate this determination.

This aeronautical study included evaluation of a structure that exists at this time. Action will be taken to ensure aeronautical charts are updated to reflect the most current coordinates, elevation and height as indicated in the case description.

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.



Aeronautical Study No. 2016-AWP-7040-OE

Issued Date: 08/29/2016

dominique houriet (oo-d-a) studio, inc. 1051 johnson avenue San Diego, CA 92103

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building NE Corner of 2801 India Street
Location: San Diego, CA
Latitude: 32-44-01.50N NAD 83
Longitude: 117-10-20.40W
Heights: 132 feet site elevation (SE) 24 feet above ground level (AGL) 156 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

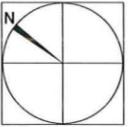
At least 10 days prior to start of construction (7460-2, Part 1)
[X] Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

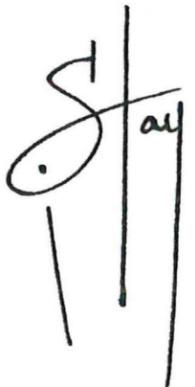
This determination expires on 03/01/2018 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
(b) extended, revised, or terminated by the issuing office.
(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within



[oo-d-a] studio, inc. 2828 Howard ave. san diego, ca 92104 www.oo-d-a.com

STAY 2801 INDIA



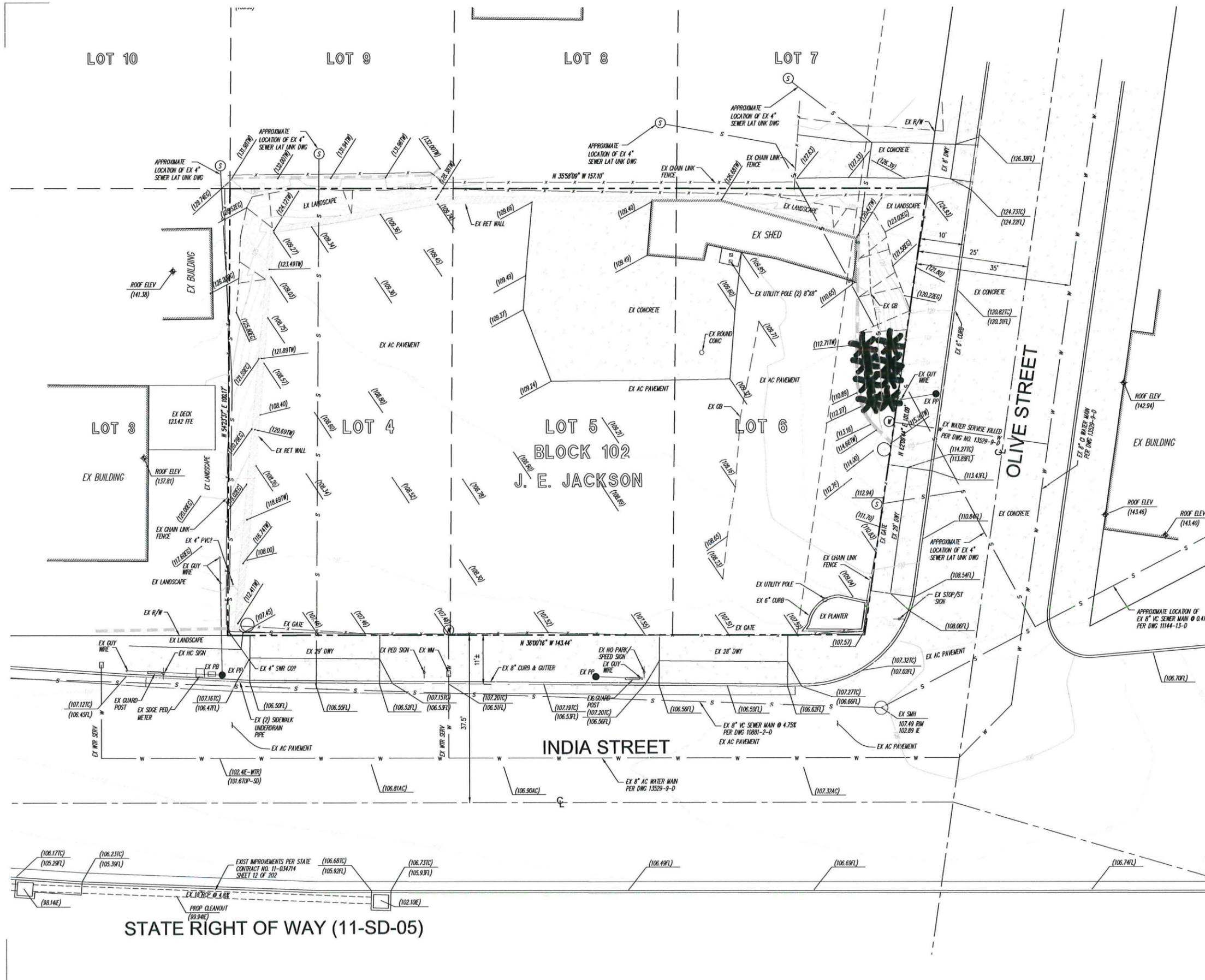
REVISIONS:

NOT FOR CONSTRUCTION

FAA

PRINTED DATE: 10/4/17 TYPE: DISCRETIONARY

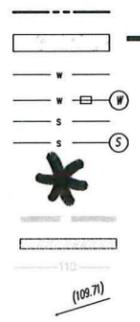
R2.0



LEGEND

- ITEM**
- INDICATES PROPERTY BOUNDARY
 - CONCRETE SURFACE
 - WATER MAIN
 - WATER METER
 - SEWER MAIN
 - SEWER LATERAL
 - PALM
 - RETAINING WALL (TALL)
 - RETAINING WALL (MASONRY)
 - CONTOUR
 - SPOT ELEVATION

SYMBOL



ABBREVIATIONS

- | | |
|------|------------------------|
| AC | ASPHALT |
| C | CENTER LINE |
| CO | CLEANOUT |
| DWY | DRIVEWAY |
| EG | EXISTING GROUND |
| ELEV | ELEVATION |
| EX | EXISTING |
| FFE | FINISH FLOOR ELEVATION |
| FL | FLOW LINE |
| GB | GRADE BRAKE |
| PED | PEDESTRIAN |
| R/W | RIGHT OF WAY |
| SMR | SEWER |
| TC | TOP OF CURB |
| TW | TOP OF WALL |
| WM | WATER METER |

SITE ADDRESS

2801 INDIA STREET, SAN DIEGO, CA 92103

APN:

451-661-18-00

LEGAL DESCRIPTION

LOTS 4, 5 & 6, BLOCK 105 OF J.E. JACKSON MAP 1874

EASEMENT NOTES

EASEMENT TO CITY OF SAN DIEGO FOR PRIVATE SEWER LATERAL REC 4/27/1927 IN BOOK 122, PAGE 27 OF DEED. EFFECTS LOT 4 OF BLK 102. THE EXACT LOCATION IS NOT DISCLOSED OF RECORD

TOPOGRAPHY SOURCE:

K & S ENGINEERING, INC.
TEL: (619) 296-5565
DATED MAY 19, 2016

BENCH MARK

DESCRIPTION: S.W. BRASS PLUG
LOCATION: COLUMBIA STREET AND REDWOOD STREET
ELEVATION: 147.243
DATUM: MEAN SEA LEVEL

K & S ENGINEERING, INC.
Professional Engineer - Surveying
7801 Mission Center, Suite 200, San Diego, CA 92108
(619) 296-5565 Fax: (619) 296-5564

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2801 INDIA

REVISIONS:

NOT FOR CONSTRUCTION

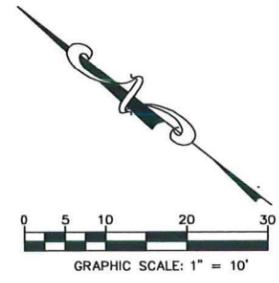
TOPOGRAPHIC SURVEY

8/28/17

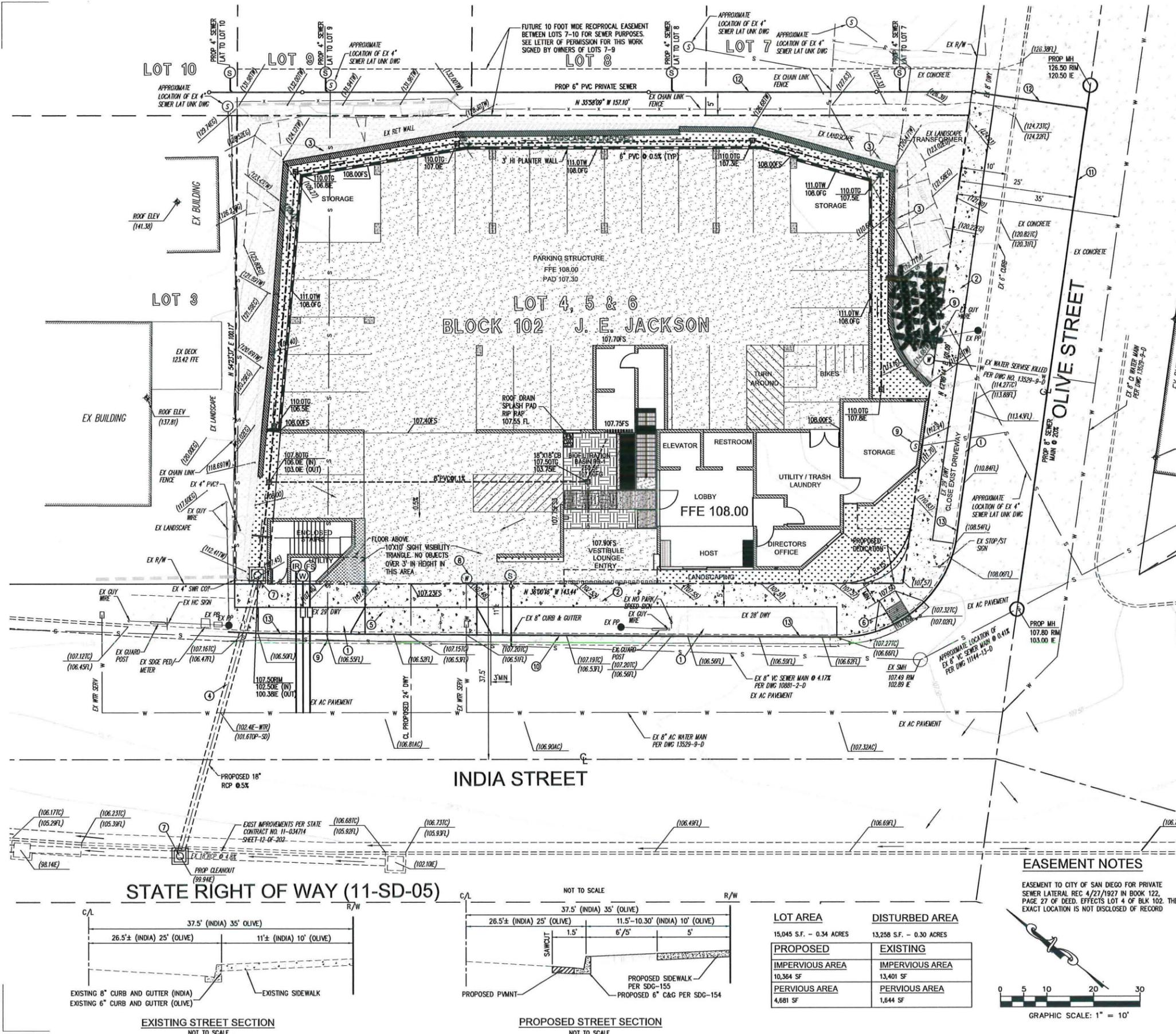
TYPE: DISCRETIONARY

C-1

SUBMITTAL DATE: 11/21/2016
SHEET OF



STATE RIGHT OF WAY (11-SD-05)



LEGEND

ITEM	SYMBOL
FINISH SURFACE	108.00FS
EXISTING GRADE	(120.82E)
BIOFILTRATION (BIORETENTION W/ PARTIAL RETENTION)	[Symbol]
PROPOSED CONCRETE SURFACE	[Symbol]
PROPOSED LANDSCAPING	[Symbol]
DIRECTION OF DRAINAGE	[Symbol]
BUILDING WALL	[Symbol]
EXISTING RETAINING WALL	[Symbol]
PVT 2" WATER SERVICE WITH BFP	[Symbol]
PVT 1" IRRIGATION SERVICE WITH BFP	[Symbol]
PVT 4" FIRE SERVICE WITH FDC/BFP	[Symbol]
PVT 6" SEWER LATERAL WITH CLEANOUT	[Symbol]
CURB RAMP W/DETECTABLE/TACTILE WARNING TILE	[Symbol]
CATCH BASIN (SIZE PER PLAN)	[Symbol]
STORM DRAIN CLEANOUT (PVT)	[Symbol]
18" STORM DRAIN PIPE (PVT)	[Symbol]

- ### CONSTRUCTION NOTES
- CLOSE EXISTING DRIVEWAY AND REPLACE WITH FULL HEIGHT C&G PER CURRENT CITY STD PER CURRENT CITY STD
 - REMOVE EXISTING SIDEWALK RECONSTRUCT AS SHOWN ON TYPICAL SECTION HEREON PER CURRENT CITY STD
 - EXISTING RETAINING WALL TO REMAIN
 - CONSTRUCT 18" RCP PRIVATE STORM DRAIN PIPE. CONNECT TO EXISTING STORM DRAIN SYSTEM WEST SIDE OF INDIA STREET
 - CONSTRUCT 24" WIDE DRIVEWAY PER G-159
 - CONSTRUCT CURB RAMP PER SDG-130 AND SDG-132 WITH DETECTABLE /TACTILE WARNING TILE
 - CONSTRUCT STORM DRAIN CLEANOUT TYPE A PER D-09 WITH EMRA
 - EXISTING WATER SERVICES TO BE DISCONNECTED AND KILLED AT THE MAIN
 - EXISTING SEWER LATERAL SHALL BE ABANDONED AND PLUGGED AT THE PROPERTY LINE
 - CURB TO BE PAINTED RED FOR "NO PARKING"
 - CONSTRUCT 6" PVC PUBLIC SEWER MAIN
 - CONSTRUCT 6" PRIVATE SEWER MAIN TO SERVE NEIGHBORING PROPERTIES. LOTS 7-10
 - CONSTRUCT 6" CURB & GUTTER PER SDG-151

GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:
 AREA 0.30 AC. % OF TOTAL SITE 88
 AMOUNT OF CUT: 800 CUBIC YARDS
 MAXIMUM DEPTH OF CUT: 4.5 FEET
 AMOUNT OF FILL: 0 CUBIC YARDS
 MAXIMUM DEPTH OF FILL: 0 FEET
 MAXIMUM HEIGHT OF FILL SLOPE: 0 FEET
 SLOPE RATIO: 0 FEET
 MAXIMUM HEIGHT OF CUT SLOPE: 0 FEET
 SLOPE RATIO: 0 FEET
 AMOUNT EXPORT SOIL: 750 CUBIC YARDS
 RETAINING WALL:
 MASONRY: LENGTH _____ FEET. MAXIMUM HEIGHT _____ FEET.

REMEDIAL GRADING, REMOVAL AND RECOMPACTION TO A DEPTH OF 5 FEET, AS RECOMMENDED BY THE SOIL ENGINEER, IS APPROX. 2,400 CY WITHIN THE BUILDING FOOTPRINT. EARTHWORK QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE, LOSSES DUE TO CLEARING OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR SHOULD VERIFY QUANTITIES PRIOR TO BIDDING.

- ### SPECIAL NOTES
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT, PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
 - PROPOSED STORM DRAIN IN THE PUBLIC RIGHT OF WAY SHALL BE A MIN. 18" RCP.
 - NO STAIRWAY DOOR OR ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC ROW.
 - NO VEHICLE ACCESS GATES SHALL BE INSTALLED THAT CAUSE A WAITING VEHICLE TO BLOCK ANY PORTION OF THE PUBLIC STREET. ANY VEHICLE GATES SHALL BE LOCATED A MINIMUM OF 20 FEET FROM THE PROPERTY LINE.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATION) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.
 - ALL ONSITE SEWER FACILITIES SHALL BE PRIVATE.
 - THE APPLICANT SHALL DEDICATE AND IMPROVE ADDITIONAL RIGHT OF WAY AT THE CORNER OF OLIVE STREET AND INDIA STREET TO PROVIDE A MINIMUM 10' WIDE PARKWAY SATISFACTORY TO THE CITY ENGINEER.
 - NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' OR GREATER AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.



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 Planning Engineering Surveying
 7801 Mission Center Court, Suite 100 San Diego, CA 92108
 (619) 296-5564

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 2801 INDIA

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REVISIONS:

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GRADING PLAN

8/28/17
 TYPE: DISCRETIONARY

C-2

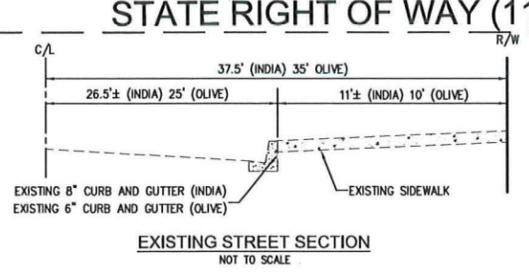
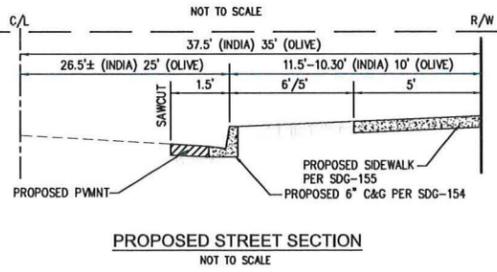
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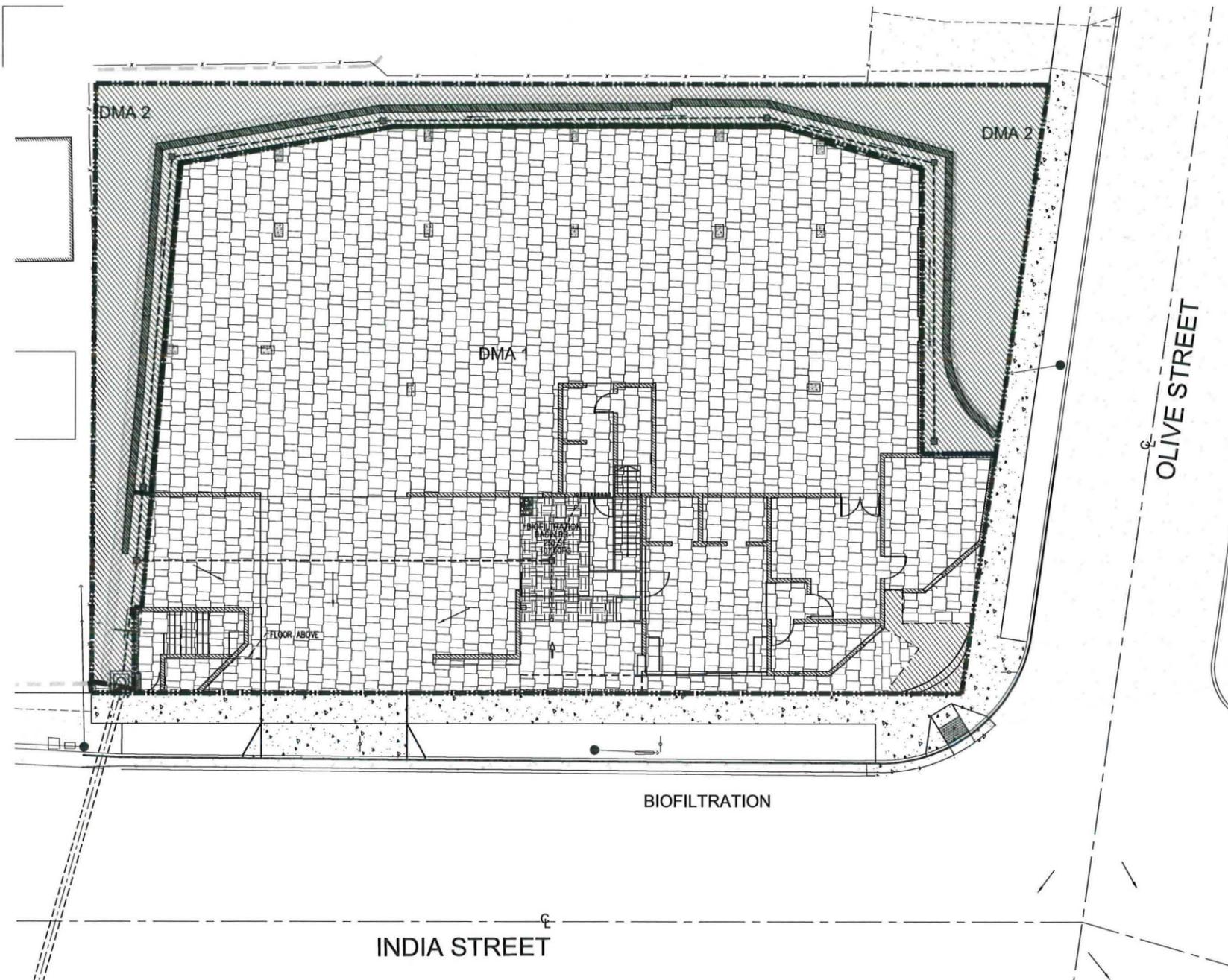
EASEMENT NOTES

EASEMENT TO CITY OF SAN DIEGO FOR PRIVATE SEWER LATERAL REC 4/27/1927 IN BOOK 122, PAGE 27 OF DEED. EFFECTS LOT 4 OF BLK 102. THE EXACT LOCATION IS NOT DISCLOSED OF RECORD



LOT AREA		DISTURBED AREA	
PROPOSED	EXISTING	PROPOSED	EXISTING
15,045 S.F. - 0.34 ACRES	13,258 S.F. - 0.30 ACRES	10,364 SF	13,401 SF
IMPERVIOUS AREA	IMPERVIOUS AREA	PERVIOUS AREA	PERVIOUS AREA
4,681 SF	1,644 SF		





LEGEND:

ITEM	SYMBOL
DRAINAGE MANAGEMENT AREA	[Hatched pattern]
ACCESS FOR STRUCTURAL BMP INSPECTION AND MAINTENANCE	[Arrow symbol]
BIOFILTRATION (PARTIAL INFILTRATION)	[Grid pattern]
DRAINAGE DIRECTION	[Dashed line]
DMA1	[Hatched pattern]
DMA2	[Hatched pattern]

BMP CATEGORY/TYPE

BIOFILTRATION BMP (PR-1) PARTIAL RETENTION BY BIOFILTRATION WITH PARTIAL RETENTION

STORM WATER QUALITY MANAGEMENT PLAN (SWQMP)

FOR - STAY
DATE - NOVEMBER 2, 2016
PREPARED BY - K&S ENGINEERING, INC.

MAINTENANCE AGREEMENT DOCUMENT

FOR - DANA M. BLASI TRUST DTD DANA BLASI TRUST
DATE - NOVEMBER 2, 2016
PREPARED BY - K&S ENGINEERING, INC.
SEE SWQMP ATTACHMENT 3

OPERATIONS AND MAINTENANCE PLAN

FOR - STAY
DATE - NOVEMBER 2, 2016
PREPARED BY - K&S ENGINEERING, INC.
SEE SWQMP ATTACHMENT 3

RESPONSIBLE PARTY INFORMATION

DANA M. BLASI TRUST DTD DANA BLASI
CONTACT: DANA BLASI
202 ISLAND AVENUE
SAN DIEGO, CA 92101

MEASURES TO ACCESS THE STRUCTURAL BMP

1. THE BMP MUST BE ACCESSIBLE TO EQUIPMENT NEEDED FOR MAINTENANCE. ACCESS REQUIREMENTS FOR MAINTENANCE WILL VARY WITH THE TYPE OF FACILITY SELECTED.
2. INFILTRATION BMPs, BIOFILTRATION BMPs AND MOST ABOVE-GROUND DETENTION BASINS AND SAND FILTERS WILL TYPICALLY REQUIRE ROUTINE LANDSCAPE MAINTENANCE USING THE SAME EQUIPMENT THAT IS USED FOR GENERAL LANDSCAPE MAINTENANCE. AT TIMES THESE BMPs MAY REQUIRE EXCAVATION OF CLOGGED MEDIA (E.G. BIORETENTION SOIL MEDIA, OR SAND FOR THE SAND FILTER), AND SHOULD BE ACCESSIBLE TO APPROPRIATE EQUIPMENT FOR EXCAVATION AND REMOVAL/REPLACEMENT OF MEDIA.
3. ABOVE-GROUND DETENTION BASINS SHOULD INCLUDE ACCESS RAMPS FOR TRUCKS TO ENTER THE BASIN TO BRING EQUIPMENT AND TO REMOVE MATERIALS.
4. UNDERGROUND BMPs SUCH AS DETENTION VAULTS, MEDIA FILTERS, OR GROSS POLLUTANT SEPARATORS USED AS FOREBAYS TO OTHER BMPs, TYPICALLY REQUIRE ACCESS FOR A VACTOR TRUCK TO REMOVE MATERIALS PROPRIETARY BMPs SUCH AS MEDIA FILTERS OR GROSS POLLUTANT SEPARATORS MAY REQUIRE ACCESS BY A FORKLIFT OR OTHER TRUCK FOR DELIVERY AND REMOVAL OF MEDIA CARTRIDGES OR OTHER INTERNAL COMPONENTS. ACCESS REQUIREMENTS MUST BE VERIFIED WITH THE MANUFACTURER OF PROPRIETARY BMPs.
5. VACTOR TRUCKS ARE LARGE, HEAVY, AND DIFFICULT TO MANEUVER. STRUCTURAL BMPs THAT ARE MAINTAINED BY VACTOR TRUCK MUST INCLUDE A LEVEL PAD ADJACENT TO THE STRUCTURAL BMP, PREFERABLY WITH NO VEGETATION OR IRRIGATION SYSTEM (OTHERWISE VEGETATION OR IRRIGATION SYSTEM MAY BE DESTROYED BY THE VACTOR TRUCK).

PLANTING NOTES:

NATIVE PLANTS RESILIENT TO VARIABLE FLOW, TOLERANT TO SUMMER DROUGHT AND SATURATED SOIL CONDITIONS. IE: THINGRASS, YERBA MANZA, MARSH BACCAHRIS, CALIFORNIA FIELD SEDGE, SAN DIEGO SEDGE, RUSTY SEDGE, SALT GRASS, MEXICAN RUSH, CALIFORNIA GREY RUSH, CANYON PRINCE WILD RYE, NEVNS' BARBERRY, DEERGRASS AND LOW BULLRUSH, FULLY VEGETATE BOTTOM OF BASIN.

GROUNDWATER

GROUNDWATER (GW) WAS NOT ENCOUNTERED PER GEOTECHNICAL INVESTIGATION BY LEIGHTON CONSULTING, INC. DATED NOVEMBER 2, 2016 PROJECT NO. 11413.001. THERES IS NO GROUND WATER ONSITE PER GAMA TRACKER.

WDID NO:

NOT APPLICABLE, DISTURBED AREA IS 0.30ACRES

STORM WATER PRIORITY:

LOW PRIORITY, NOT LOCATED IN THE ASBS WATERSHED



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Planning - Engineering - Surveying
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(619) 296-5565 Fax: (619) 296-5564

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2801 INDIA

REVISIONS:

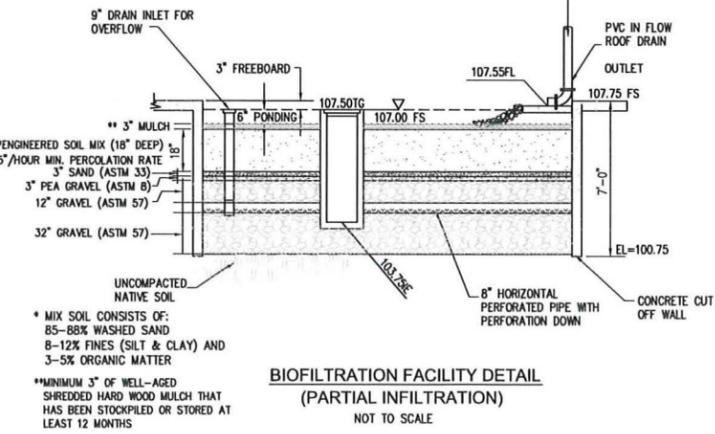
NOT FOR CONSTRUCTION

BMP

8/28/17
TYPE: DISCRETIONARY

C-3

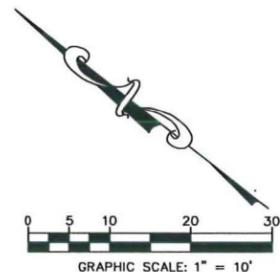
SUBMITTAL DATE: 11/21/2016
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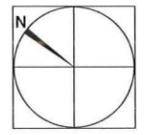


IMP AREA CALCULATION FACILITY (FOR WATER QUALITY ONLY)

LOW IMPACT DEVELOPMENT DESIGN (LID) SUMMARY TABLE

DRAINAGE MANAGEMENT AREA (DMA)	BMP
DMA-1	BIOFILTRATION PR-1
DMA-2	SELF-TREATING (PERVIOUS)
TOTAL	15,045 SF





oo-d-a studio, inc.
2828 Howard Ave. San Diego, CA 92104
www.oo-d-a.com

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2801 INDIA

Stay

REVISIONS:

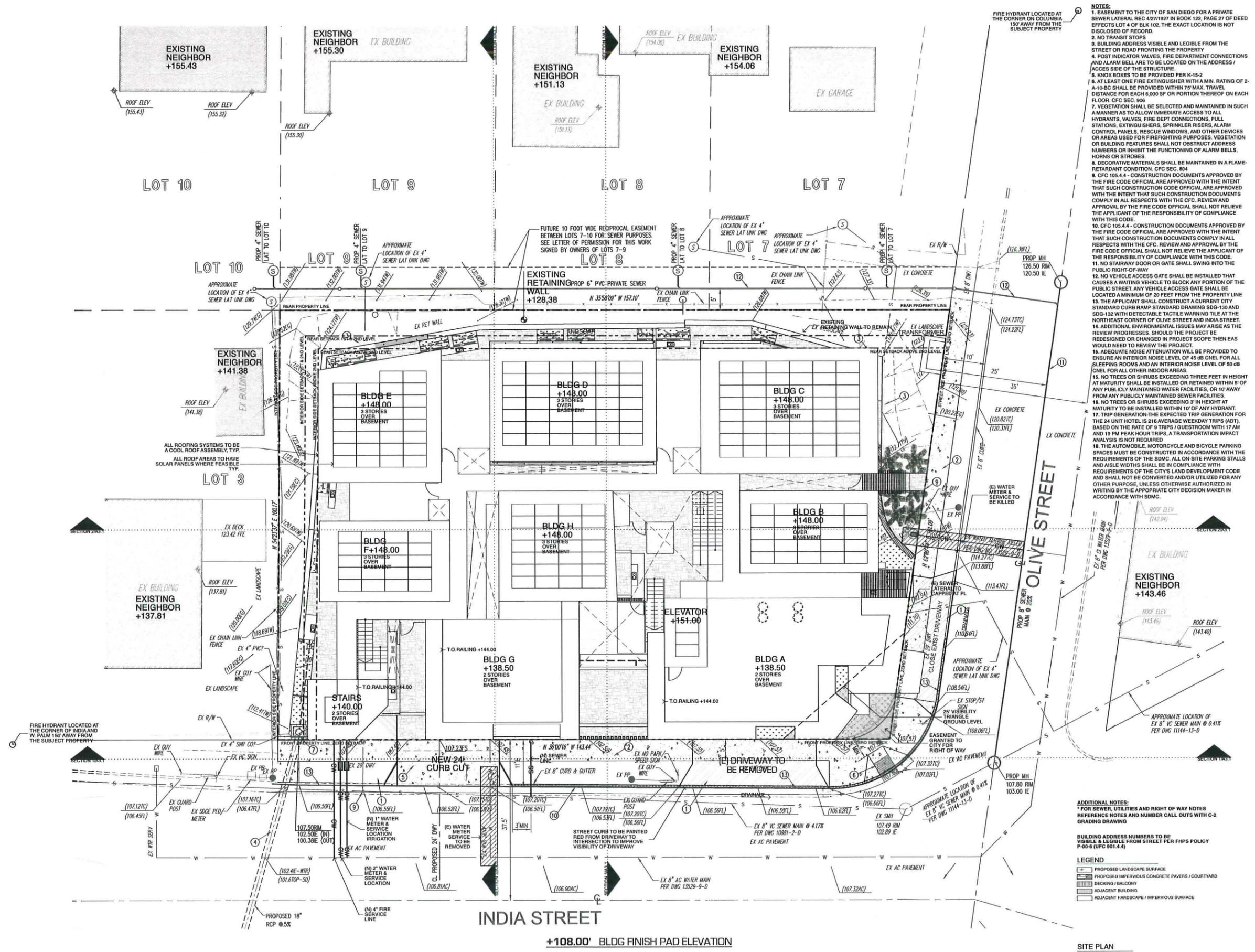
NOT FOR CONSTRUCTION

SITE PLAN & FIRE ACCESS PLAN

PRINTED DATE: 10/9/17
TYPE: DISCRETIONARY

A0.0

SUBMITTAL DATE: 09/13/2016
SHEET 04 OF 15



- NOTES:
- EASEMENT TO THE CITY OF SAN DIEGO FOR A PRIVATE SEWER LATERAL REC 4/27/1927 IN BOOK 122, PAGE 27 OF DEED EFFECTS LOT 4 OF BLK 102, THE EXACT LOCATION IS NOT DISCLOSED OF RECORD.
 - NO TRANSIT STOPS
 - BUILDING ADDRESS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
 - POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS / ACCESS SIDE OF THE STRUCTURE
 - KNOX BOXES TO BE PROVIDED PER K-15-2
 - AT LEAST ONE FIRE EXTINGUISHER WITH A MIN. RATING OF 2-A-10-BC SHALL BE PROVIDED WITHIN 75' MAX. TRAVEL DISTANCE FOR EACH 6,000 SF OR PORTION THEREOF ON EACH FLOOR. CFC SEC. 906
 - VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
 - DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. CFC SEC. 904
 - CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
 - NO STAIRWAY DOOR OR GATE SHALL SWING INTO THE PUBLIC RIGHT-OF-WAY
 - NO VEHICLE ACCESS GATE SHALL BE INSTALLED THAT CAUSES A WAITING VEHICLE TO BLOCK ANY PORTION OF THE PUBLIC STREET. ANY VEHICLE ACCESS GATE SHALL BE LOCATED A MINIMUM OF 20 FEET FROM THE PROPERTY LINE
 - ADDITIONAL ENVIRONMENTAL ISSUES MAY ARISE AS THE REVIEW PROGRESSES. SHOULD THE PROJECT BE REDESIGNED OR CHANGED IN PROJECT SCOPE THEN EAS WOULD NEED TO REVIEW THE PROJECT.
 - ADAPTURE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL FOR ALL SLEEPING ROOMS AND AN INTERIOR NOISE LEVEL OF 50 dB CNEL FOR ALL OTHER INDOOR AREAS.
 - NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES, OR 10' AWAY FROM ANY PUBLICLY MAINTAINED SEWER FACILITIES.
 - ADDITIONAL ENVIRONMENTAL ISSUES MAY ARISE AS THE REVIEW PROGRESSES. SHOULD THE PROJECT BE REDESIGNED OR CHANGED IN PROJECT SCOPE THEN EAS WOULD NEED TO REVIEW THE PROJECT.
 - TRIP GENERATION-THE EXPECTED TRIP GENERATION FOR THE 24 UNIT HOTEL IS 216 AVERAGE WEEKDAY TRIPS (ADT), BASED ON THE RATE OF 9 TRIPS / GUESTROOM WITH 17 AM AND 19 PM PEAK HOUR TRIPS, A TRANSPORTATION IMPACT ANALYSIS IS NOT REQUIRED
 - THE AUTOMOBILE, MOTORCYCLE AND BICYCLE PARKING SPACES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SDMC. ALL ON-SITE PARKING STALLS AND AISLE WIDTHS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE CITY'S LAND DEVELOPMENT CODE AND SHALL NOT BE CONVERTED AND/OR UTILIZED FOR ANY OTHER PURPOSE, UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE APPROPRIATE CITY DECISION MAKER IN ACCORDANCE WITH SDMC.

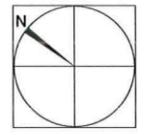
ADDITIONAL NOTES:
* FOR SEWER, UTILITIES AND RIGHT OF WAY NOTES REFERENCE NOTES AND NUMBER CALL OUTS WITH C-2 GRADING DRAWING

BUILDING ADDRESS NUMBERS TO BE VISIBLE & LEGIBLE FROM STREET PER FHPS POLICY P-00-6 (UFC 901.4.4)

- LEGEND
- PROPOSED LANDSCAPE SURFACE
 - PROPOSED IMPERVIOUS CONCRETE PAVERS / COURTYARD
 - DECKING / BALCONY
 - ADJACENT BUILDING
 - ADJACENT HARDSCAPE / IMPERVIOUS SURFACE

SITE PLAN
SCALE: 1" = 10'

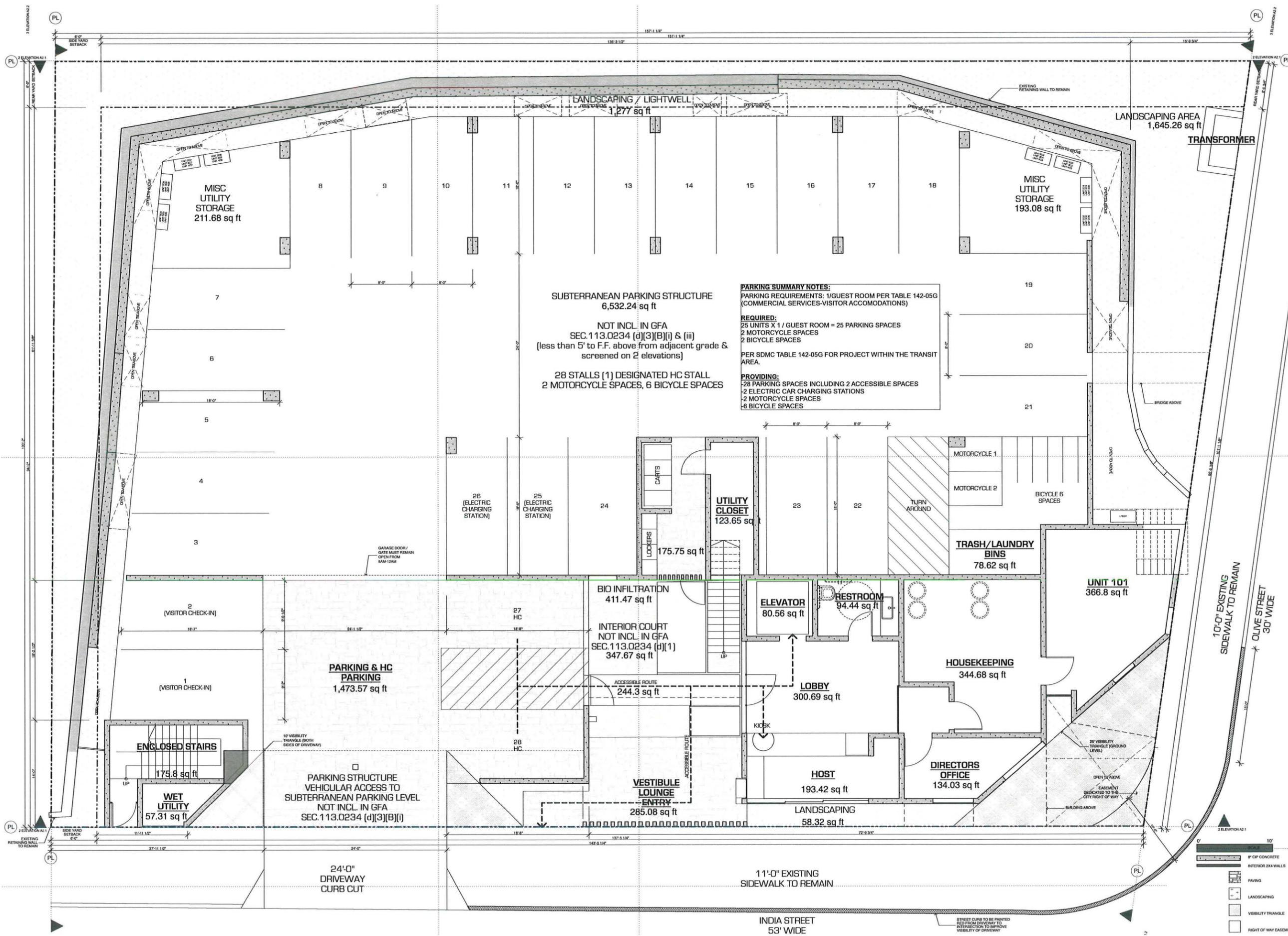
+108.00' BLDG FINISH PAD ELEVATION



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www.oo-d-a.com

STAY
2801 INDIA

Stay



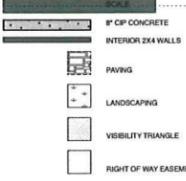
PARKING SUMMARY NOTES:
PARKING REQUIREMENTS: 1/GUEST ROOM PER TABLE 142-05G (COMMERCIAL SERVICES-VISITOR ACCOMMODATIONS)
REQUIRED:
25 UNITS X 1 / GUEST ROOM = 25 PARKING SPACES
2 MOTORCYCLE SPACES
2 BICYCLE SPACES
PER SDMC TABLE 142-05G FOR PROJECT WITHIN THE TRANSIT AREA.
PROVIDING:
28 PARKING SPACES INCLUDING 2 ACCESSIBLE SPACES
2 ELECTRIC CAR CHARGING STATIONS
2 MOTORCYCLE SPACES
6 BICYCLE SPACES

REVISIONS:

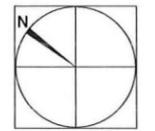
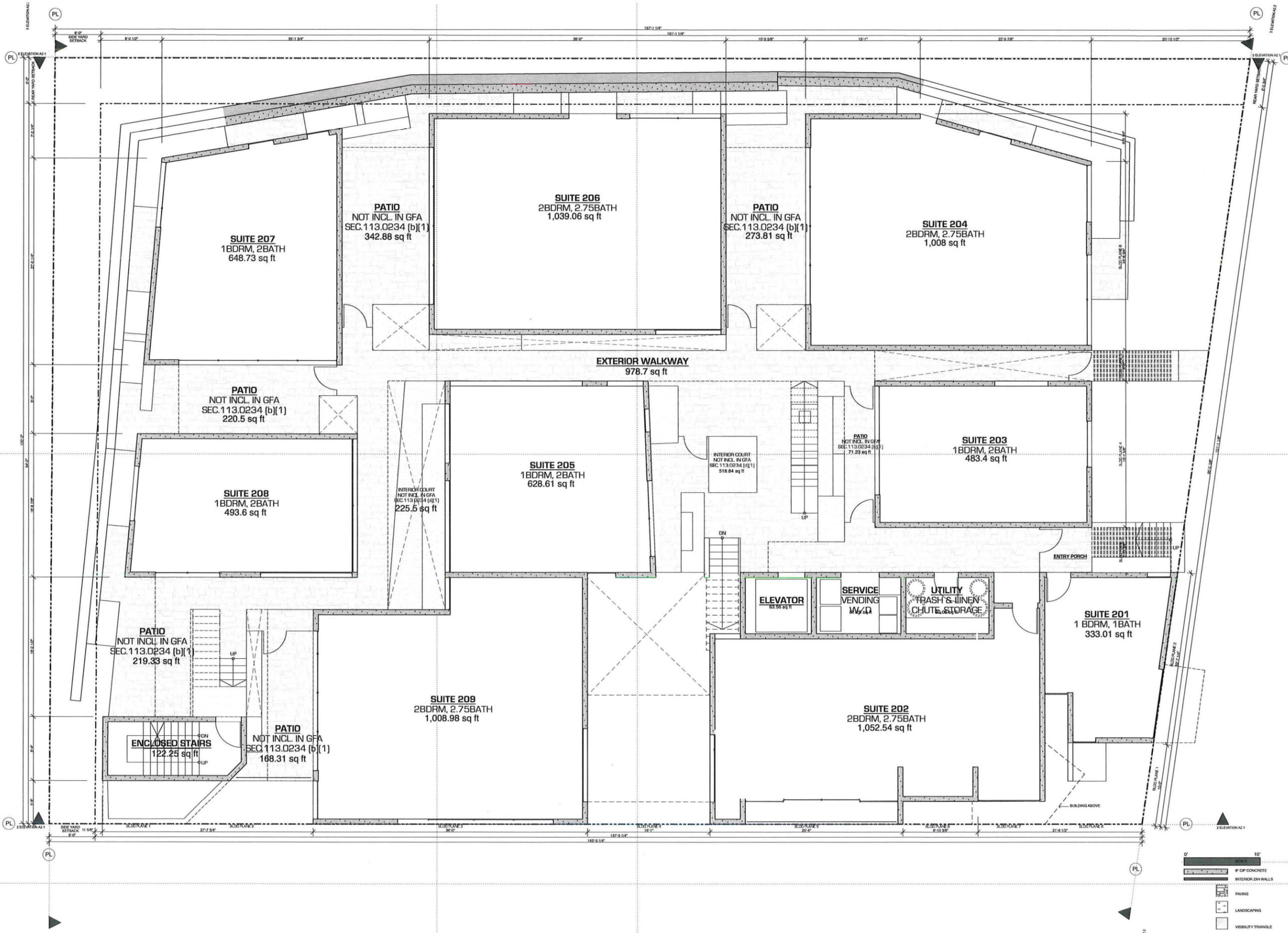
NOT FOR CONSTRUCTION
BASEMENT FLOOR PLAN

PRINTED DATE: 11/29/17
TYPE: DISCRETIONARY

A1.0
SUBMITTAL DATE: 09/13/2016
SHEET 05 OF 15

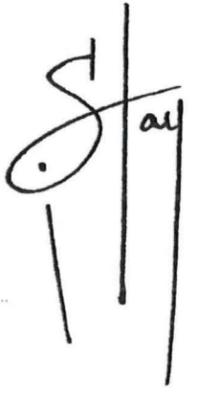


STREET CURB TO BE PAINTED RED FROM DRIVEWAY TO INTERSECTION TO IMPROVE VISIBILITY OF DRIVEWAY



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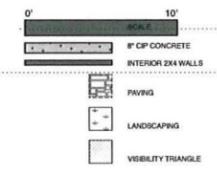
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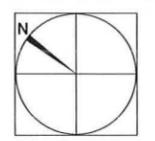
FIRST FLOOR PLAN

PRINTED DATE: 10/9/17
TYPE: DISCRETIONARY

A1.1

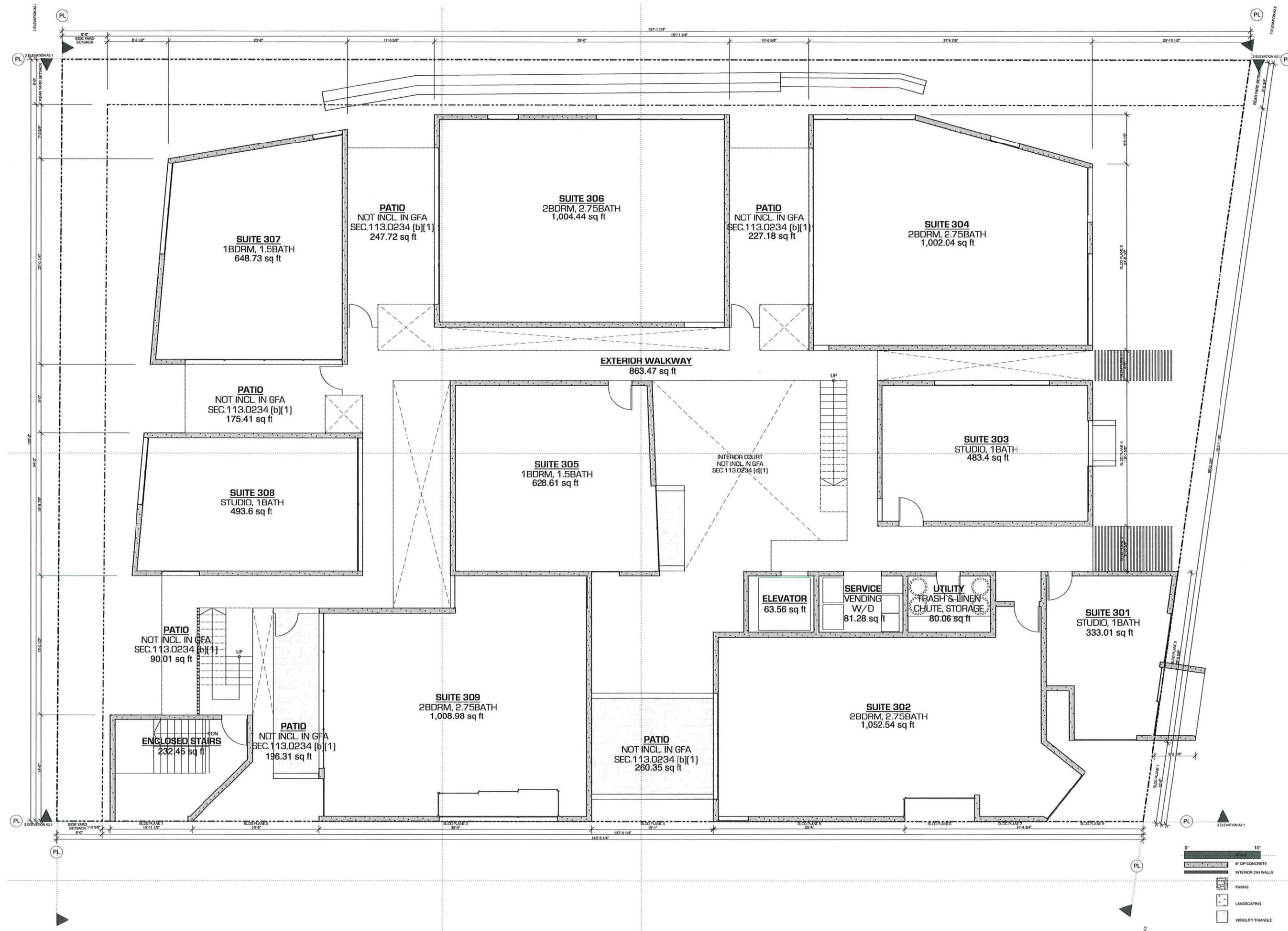
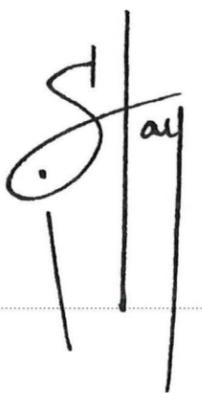
SUBMITTAL DATE: 09/13/2016
SHEET 06 OF 15





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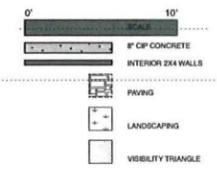
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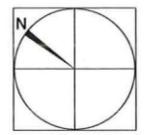
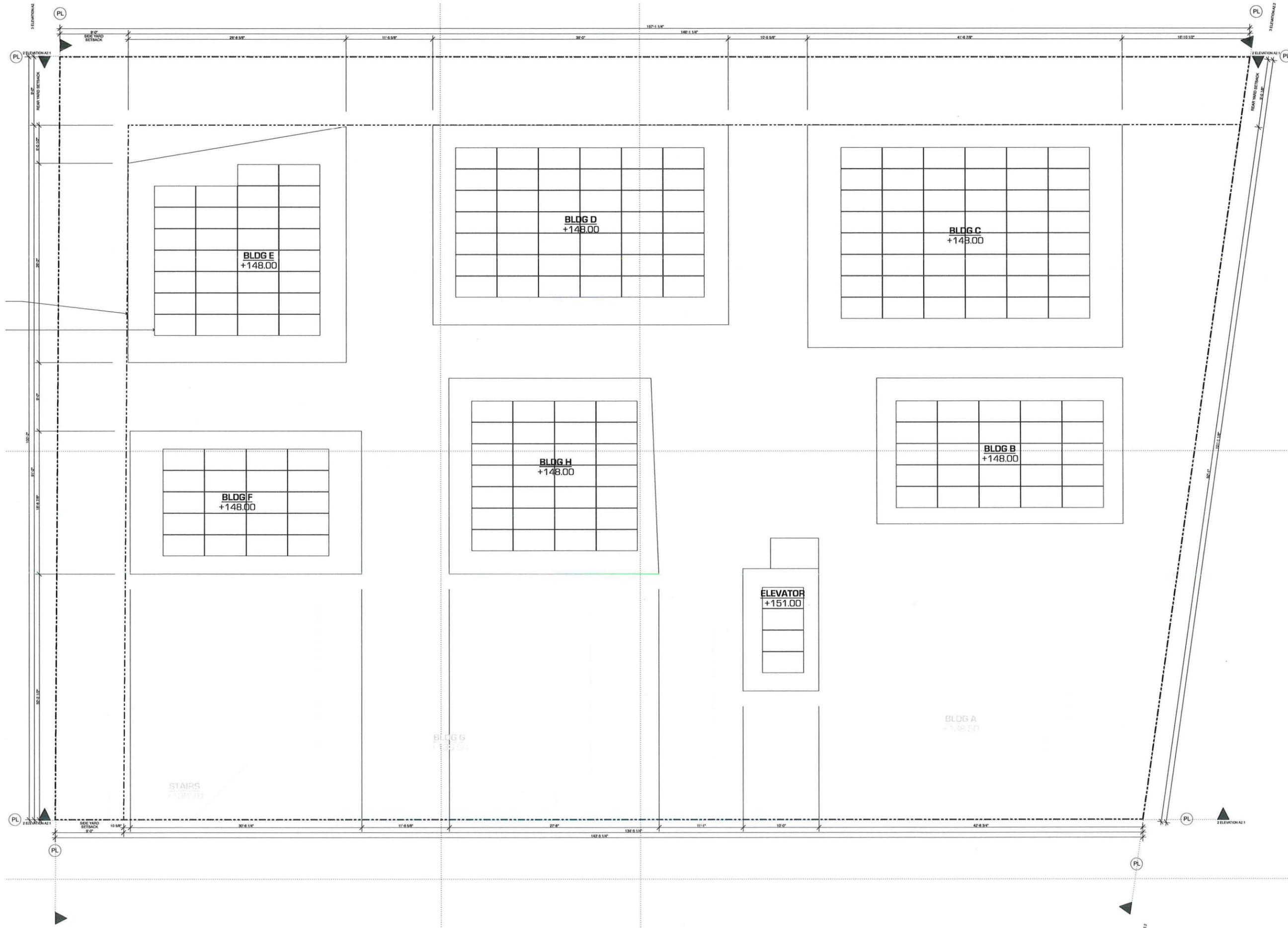
SECOND FLOOR PLAN

PRINTED DATE: 10/9/17
TYPE: DISCRETIONARY

A1.2

SUBMITTAL DATE: 09/13/2016
SHEET 07 OF 15





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Stay

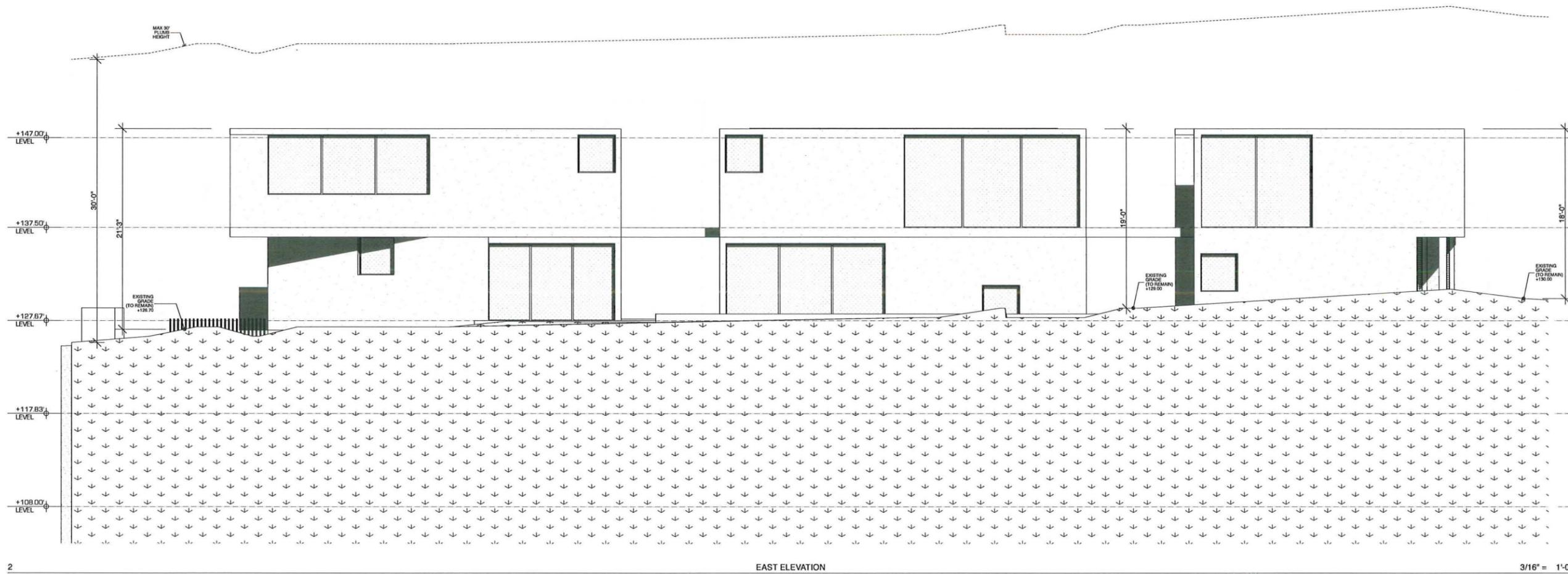
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ROOF

PRINTED DATE: 10/9/17
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A1.4

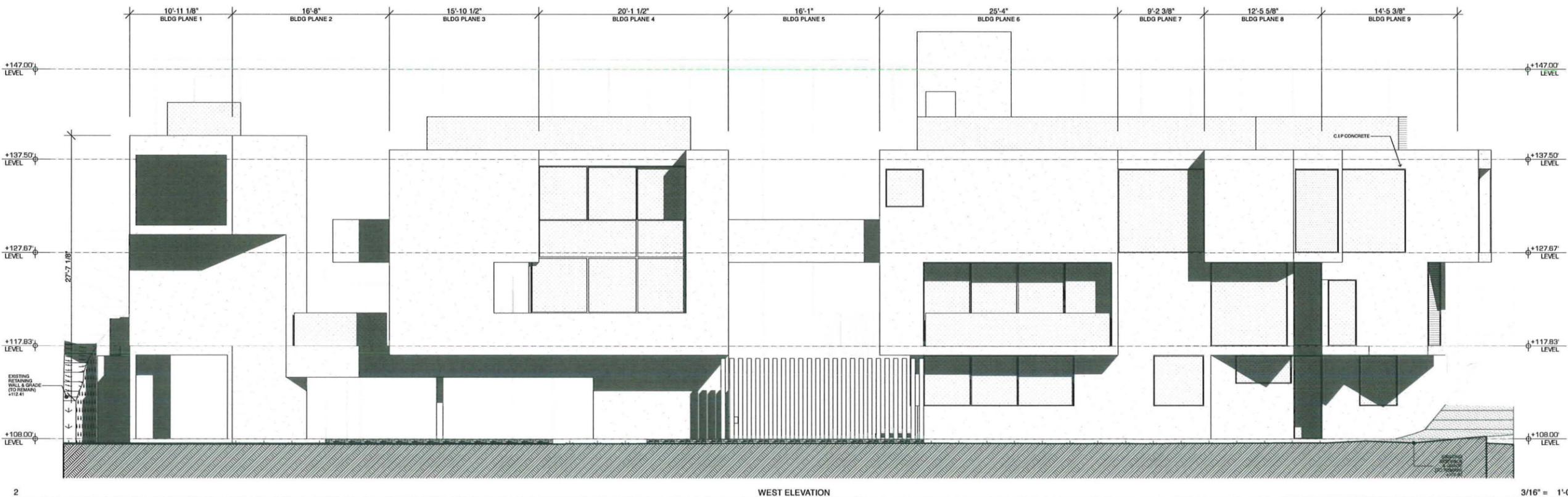
SUBMITTAL DATE: 09/13/2016
 SHEET 09 OF 15



2

EAST ELEVATION

3/16" = 1'-0"



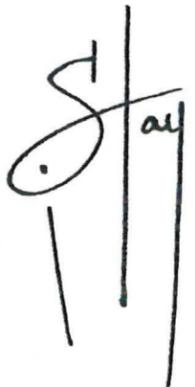
2

WEST ELEVATION

3/16" = 1'-0"

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REVISIONS:

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ELEVATIONS

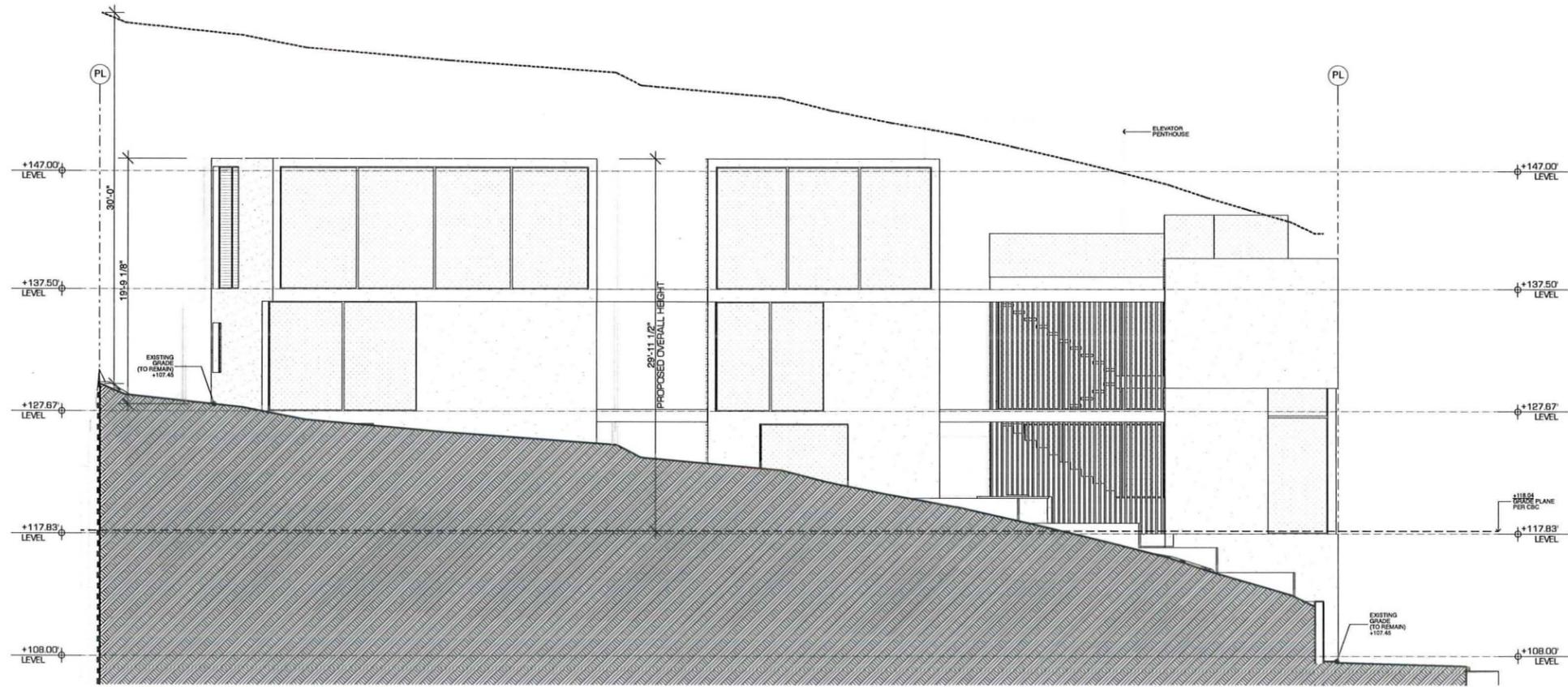
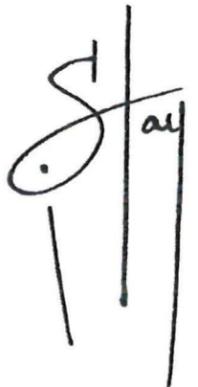
PRINTED DATE: 10/9/17
TYPE: DISCRETIONARY

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SUBMITTAL DATE: 09/13/2016
SHEET 10 OF 15

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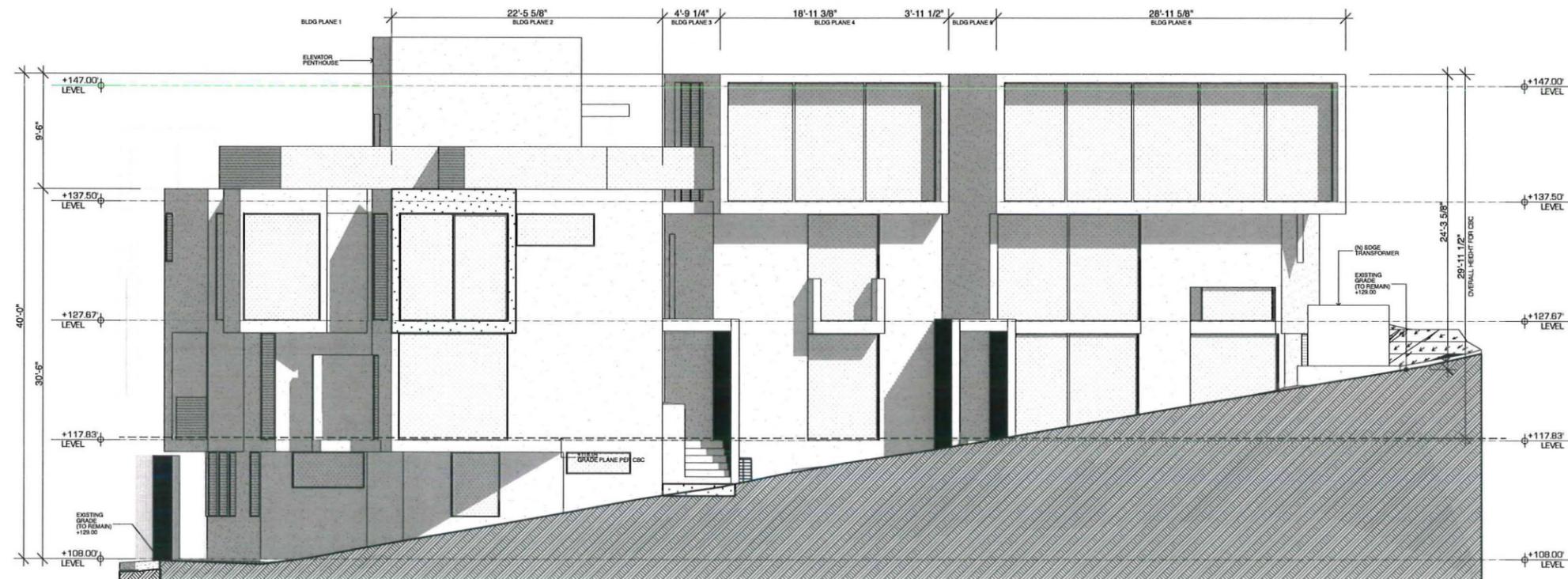
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NORTH ELEVATION

3/16" = 1'-0"

3



SOUTH ELEVATION

3/16" = 1'-0"

3

REVISIONS:

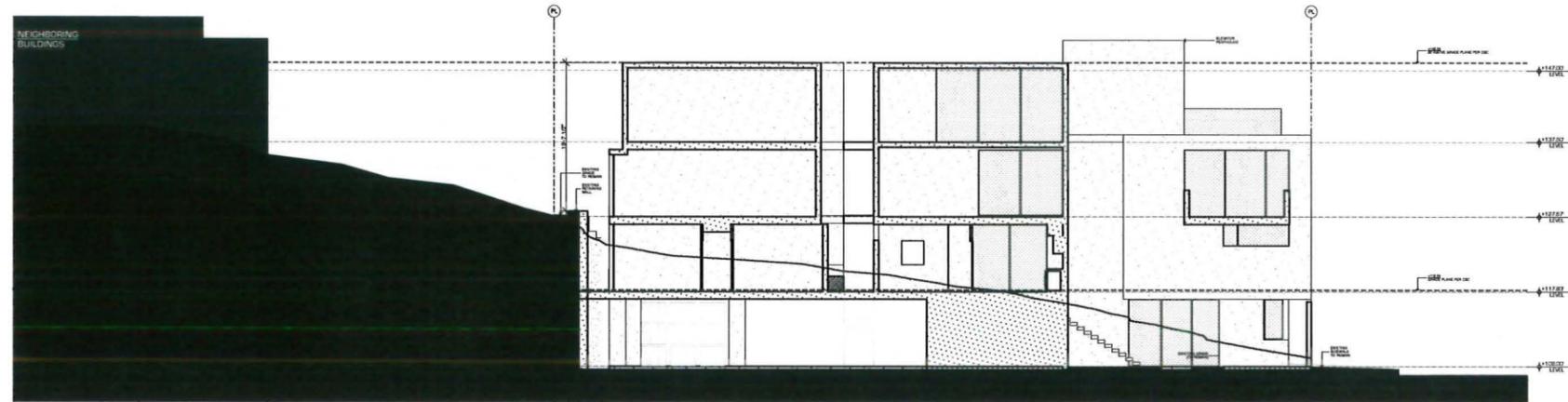
**NOT FOR
CONSTRUCTION**

ELEVATIONS

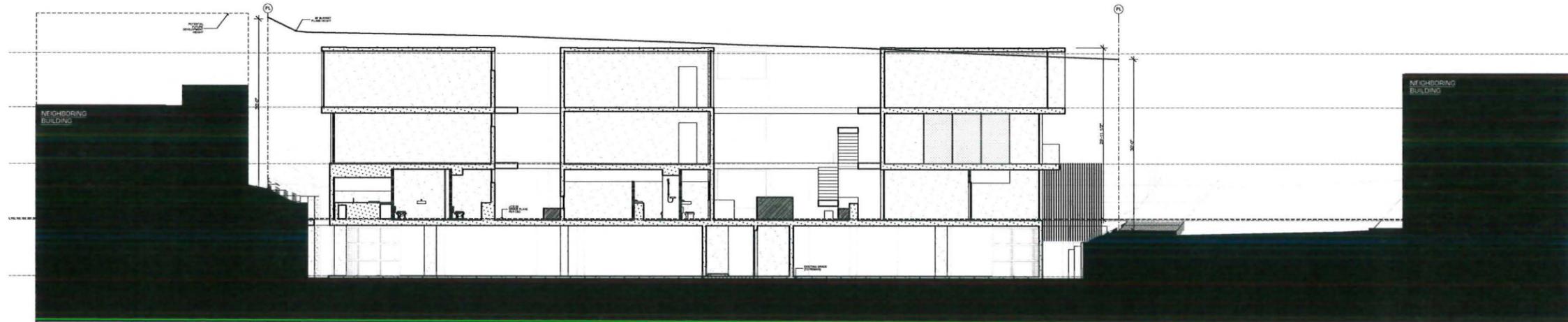
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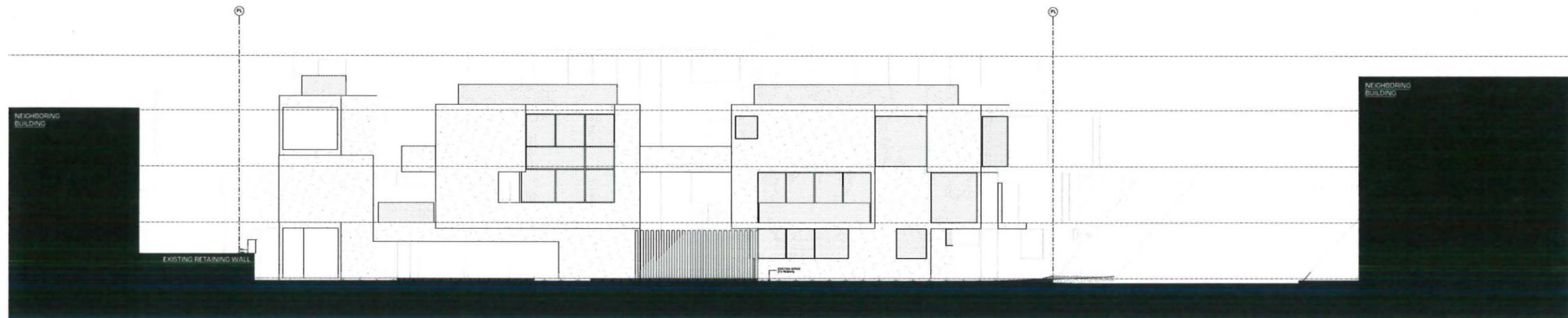
SUBMITTAL DATE: 09/13/2016
SHEET 11 OF 15



3 SECTION 1" = 10'



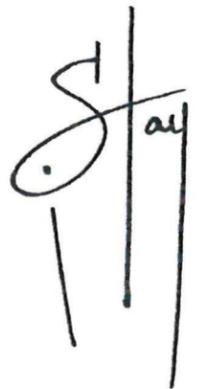
2 SECTION 1" = 10'



1 LONG ELEVATION 1" = 10'

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REVISIONS:

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CONSTRUCTION

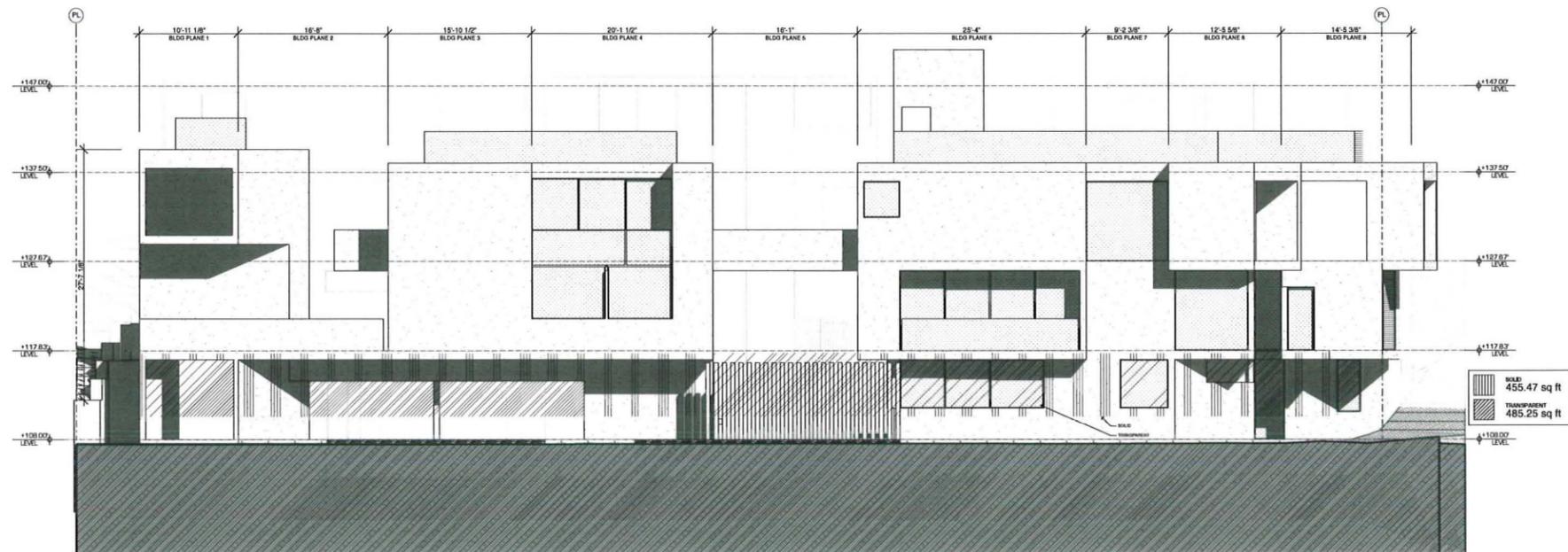
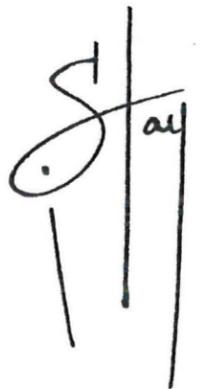
SECTION

PRINTED DATE: 10/9/17
TYPE: DISCRETIONARY

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1

WEST ELEVATION

1/8" = 1'-0"

REVISIONS:

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TRANSPARENCY CALCULATION

PRINTED DATE: 11/29/17
TYPE: DISCRETIONARY

A3.2

SUBMITTAL DATE: 09/13/2016
SHEET 12 OF 15



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SUMMARY OF LANDSCAPE CALCULATIONS (COMMERCIAL)
 *WHERE POINTS ARE DEFICIENT, REFER TO SECTION 142.0403 (b)(3) OF THE SAN DIEGO MUNICIPAL CODE FOR THE USE OF EXCESS POINTS TO COMPENSATE FOR DEFICIENT AREAS.

STREET TREES
 INDIA (130 L.F.) REQUIRED: 3 PROVIDED: 0
 OLIVE (97 L.F.) REQUIRED: 3 PROVIDED: 3

STREET YARD
 TOTAL AREA: 4,766 S.F.
 PLANTING AREA REQUIRED: 4,766 x .25 = 1,191 S.F. PROVIDED: 2,685 S.F.
 EXCESS AREA PROVIDED: +1,494 S.F.
 PLANTING POINTS REQUIRED: 4,766 x .05 = 238 PROVIDED: 988
 9 - 36" box tree @ 50 pts. each = 450 pts.
 6 - 24" box tree @ 20 pts. each = 120 pts.
 4 - 15 gal. shrub @ 10 pts. each = 40 pts.
 88 - 5 gal. shrub @ 2 pts. each = 176 pts.
 260 - 1 gal. shrub @ 1 pts. each = 260 pts.
 EXCESS POINTS PROVIDED: 750
 POINTS ACHIEVED THROUGH TREES: 570

VEHICULAR USE AREA
 TOTAL AREA: 0 S.F.
 ALL COVERED / UNDERGROUND.

REMAINING YARD
 TOTAL AREA: 1,382 S.F.
 PLANTING AREA REQUIRED: 1,382 x .3 = 415.0 S.F. PROVIDED: 1,382.0 S.F.
 EXCESS AREA PROVIDED: +967 S.F.
 PLANTING POINTS REQUIRED: 1,382 x .05 = 69 PROVIDED: 407

1 - 36" box tree @ 50 pts. each = 50 pts.
 1 - 24" box tree @ 20 pts. each = 20 pts.
 20 - 15 gal. tree @ 10 pts. each = 200 pts.
 64 - 5 gal. shrubs @ 2 pts. each = 128 pts.
 9 - 1 gal. shrubs @ 1 pts. each = 9 pts.
 EXCESS POINTS PROVIDED: 338
 POINTS ACHIEVED THROUGH TREES: 270

ADDITIONAL YARD REQUIREMENTS
 TOTAL AREA: 1,251 S.F.
 LENGTH OF PROPERTY LINE: 136 LN. FT. x .5 = 68.0 S.F. BUFFER REQUIRED
 EXCESS AREA PROVIDED: +571 S.F.
 PLANTING POINTS REQUIRED: 1,251 x .05 = 63.0 PROVIDED: 336

1 - 36" box tree @ 50 pts. each = 50 pts.
 1 - 24" box tree @ 20 pts. each = 20 pts.
 8 - 15 gal. tree @ 10 pts. each = 80 pts.
 53 - 5 gal. shrub @ 2 pts. each = 106 pts.
 80 - 1 gal. shrub @ 1 pts. each = 80 pts.
 EXCESS POINTS PROVIDED: 273
 POINTS ACHIEVED THROUGH TREES: 150

GENERAL NOTES

ROOT BARRIERS
 NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. DO NOT WRAP ROOT BARRIER AROUND ROOT BALL.

LANDSCAPE
 ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

MAINTENANCE
 ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

IRRIGATION
 AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS. IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

VEHICULAR USE AREA
 TOTAL AREA: 0 S.F.
 ALL COVERED / UNDERGROUND.

REMAINING YARD
 TOTAL AREA: 1,382 S.F.
 PLANTING AREA REQUIRED: 1,382 x .3 = 415.0 S.F. PROVIDED: 1,382.0 S.F.
 EXCESS AREA PROVIDED: +967 S.F.
 PLANTING POINTS REQUIRED: 1,382 x .05 = 69 PROVIDED: 407

1 - 36" box tree @ 50 pts. each = 50 pts.
 1 - 24" box tree @ 20 pts. each = 20 pts.
 20 - 15 gal. tree @ 10 pts. each = 200 pts.
 64 - 5 gal. shrubs @ 2 pts. each = 128 pts.
 9 - 1 gal. shrubs @ 1 pts. each = 9 pts.
 EXCESS POINTS PROVIDED: 338
 POINTS ACHIEVED THROUGH TREES: 270

ADDITIONAL YARD REQUIREMENTS
 TOTAL AREA: 1,251 S.F.
 LENGTH OF PROPERTY LINE: 136 LN. FT. x .5 = 68.0 S.F. BUFFER REQUIRED
 EXCESS AREA PROVIDED: +571 S.F.
 PLANTING POINTS REQUIRED: 1,251 x .05 = 63.0 PROVIDED: 336

1 - 36" box tree @ 50 pts. each = 50 pts.
 1 - 24" box tree @ 20 pts. each = 20 pts.
 8 - 15 gal. tree @ 10 pts. each = 80 pts.
 53 - 5 gal. shrub @ 2 pts. each = 106 pts.
 80 - 1 gal. shrub @ 1 pts. each = 80 pts.
 EXCESS POINTS PROVIDED: 273
 POINTS ACHIEVED THROUGH TREES: 150

GENERAL NOTES

ROOT BARRIERS
 NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. DO NOT WRAP ROOT BARRIER AROUND ROOT BALL.

LANDSCAPE
 ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

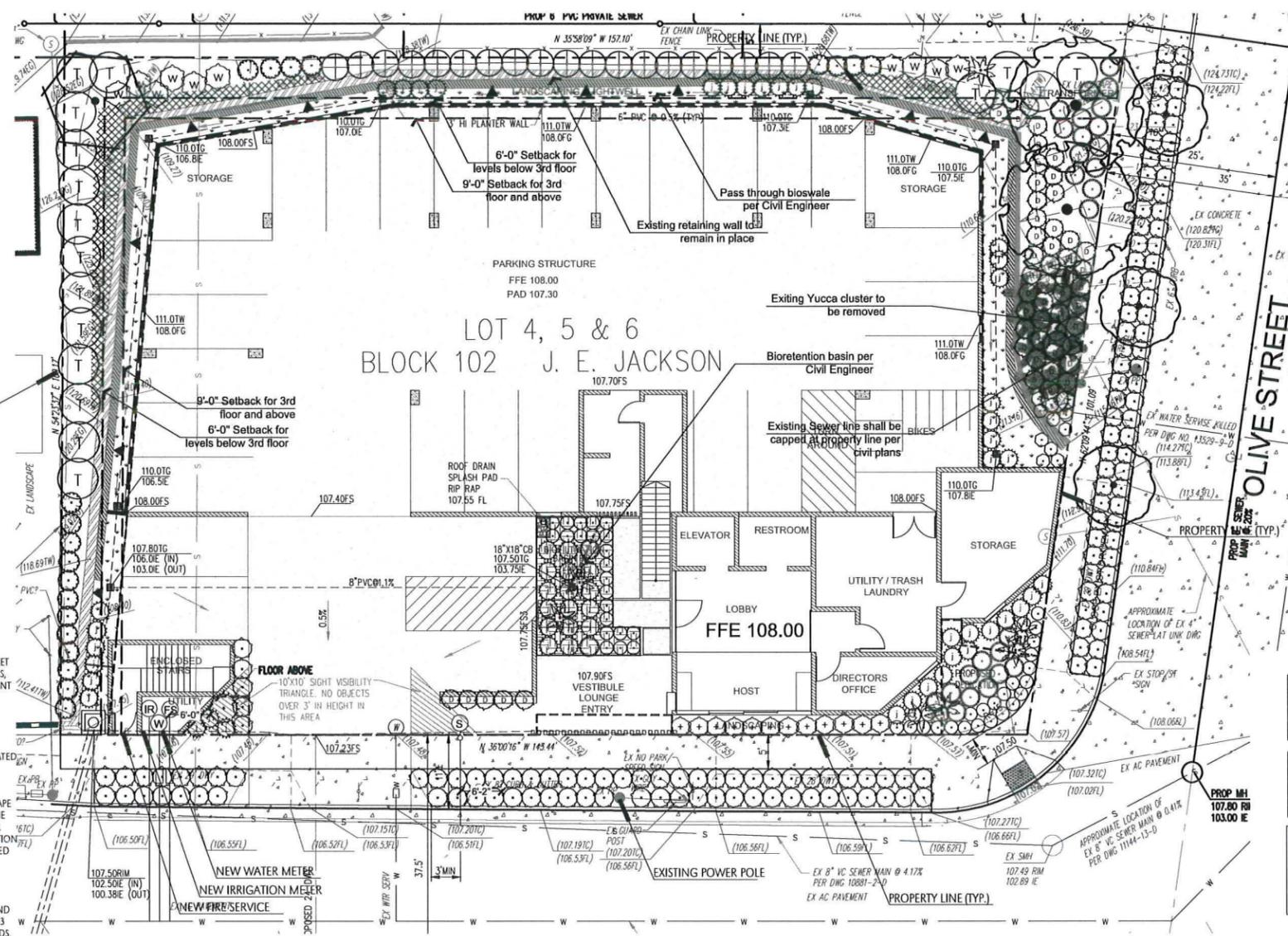
MAINTENANCE
 ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

IRRIGATION
 AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS. IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ALOE BAINESII / ALOE	36"BOX	8
	CERCIDIUM X "DESERT MUSEUM" / THORNLESS PALO VERDE	24"BOX	1
	DRACAENA DRACO / DRAGON TREE	24"BOX	3
	PYRUS CALLERYANA "CHANTICLEER" / CALLERY PEAR	24"BOX	3
	QUERCUS AGRIFOLIA / COAST LIVE OAK MULTI-TRUNK	36"BOX	2
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	AGAVE ATTENUATA / AGAVE	5 GAL	28
	ANIGOZANTHOS X "BUSH SUNSET" / RED KANGAROO PAW	5 GAL	12
	CAREX DIVULSA / BERKELEY SEDGE	1 GAL	50
	DIANELLA TASMANICA "VARIEGATA" / FLAX LILY	1 GAL	53
	HETEROMELES ARBUTIFOLIA / TOYON	5 GAL	17
	JUNCLIS PATENS / CALIFORNIA GRAY RUSH	5 GAL	57

	MUHLENBERGIA EMERLEYI "EL TORO" / BULLGRASS	1 GAL	146	
	PITTIOSPORUM TENUIFOLIUM / TAWHIWHI	5 GAL	19	
	PODOCARPUS X "ICEE BLUE" / ICEE BLUE PODOCARPUS	15 GAL	20	
	SENECIO VITALIS / BLUE CHALK FINGERS	1 GAL	10	
	WESTRINGIA FRUTICOSA / COAST ROSEMARY	5 GAL	10	
VINE/ESPALIER	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	FICUS REPENS / CREEPING FIG	5 GAL	10	
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	CAREX DIVULSA / BERKELEY SEDGE	1 GAL	24" o.c.	303
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	ROSMARINUS OFFICINALIS "HUNTINGTON CARPET" / HUNTINGTON CARPET ROSEMARY	1 GAL	30" o.c.	233 SF



ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411

ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE OWNER IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND STANDARDS.

IF ANY LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLAN IS DAMAGE OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

MAWA CALCULATIONS

MAWA WATER BUDGET = (Eto)(0.62)((0.45)(LA)+(0.55)SLA)
 MAWA WATER BUDGET = (47.0)(0.62)((0.45)(4,218)+(0.55)(0.0))
 MAWA WATER BUDGET = (55,310.63)

SYMBOL DESCRIPTION OF SYMBOL
 Eto EVAPOTRANSPIRATION (INCHES PER YEAR);
 0.62 CONVERSION FACTOR TO GALLONS.
 ETAF EVAPOTRANSPIRATION ADJUSTMENT FACTOR
 0.55 FOR RESIDENTIAL LANDSCAPE AREAS
 0.45 FOR NON-RESIDENTIAL LANDSCAPE AREAS
 LA LANDSCAPE AREA (SQUARE FEET)
 SLA SPECIAL LANDSCAPE AREA (SQUARE FEET)

MINIMUM TREE SEPARATION DISTANCE

TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (except sewer)	5 FEET
SEWER	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS)	25 FEET

A MINIMUM ROOT ZONE FO 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403 (b)(10).



REVISIONS:

NOT FOR CONSTRUCTION
 Landscape Concept Plan

PRINTED DATE: 12/06/16
 TYPE: DISCRETIONARY

L-1

SUBMITTAL DATE: 12/7/2016
 SHEET XX OF XX



STAY
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SUMMARY OF LANDSCAPE CALCULATIONS (COMMERCIAL)
WHERE POINTS ARE DEFICIENT, REFER TO SECTION 142.0405 (b)3 OF THE SAN DIEGO MUNICIPAL CODE FOR THE USE OF EXCESS POINTS TO COMPENSATE FOR DEFICIENT AREAS.

STREET TREES
INDIA (130 L.F.) REQUIRED: 3 PROVIDED: 0
OLIVE (97 L.F.) REQUIRED: 3 PROVIDED: 3

STREET YARD
TOTAL AREA: 4,766 S.F.
PLANTING AREA REQUIRED: 4,766 x .25 = 1,191 S.F. PROVIDED: 2,685 S.F.
EXCESS AREA PROVIDED: +1,494 S.F.
PLANTING POINTS REQUIRED: 4,766 x .05 = 238 PROVIDED: 988
9 - 36" box tree @ 50 pts. each = 450 pts.
6 - 24" box tree @ 20 pts. each = 120 pts.
4 - 15 gal shrub @ 10 pts. each = 40 pts.
88 - 5 gal shrub @ 2 pts. each = 176 pts.
260 - 1 gal shrub @ 1 pts. each = 260 pts.
EXCESS POINTS PROVIDED: 750
POINTS ACHIEVED THROUGH TREES: 570

VEHICULAR USE AREA
TOTAL AREA: 0 S.F.
ALL COVERED / UNDERGROUND.

REMAINING YARD
TOTAL AREA: 1,382 S.F.
PLANTING AREA REQUIRED: 1,382 x 3 = 415.0 S.F. PROVIDED: 1,382.0 S.F.
EXCESS AREA PROVIDED: +967 S.F.
PLANTING POINTS REQUIRED: 1,382 x .05 = 69 PROVIDED: 407

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20 - 15 gal shrub @ 10 pts. each = 200 pts.
64 - 5 gal shrubs @ 2 pts. each = 128 pts.
9 - 1 gal shrubs @ 1 pts. each = 9 pts.
EXCESS POINTS PROVIDED: 338
POINTS ACHIEVED THROUGH TREES: 270

ADDITIONAL YARD REQUIREMENTS

TOTAL AREA: 1,251 S.F.
LENGTH OF PROPERTY LINE: 136 LN FT. x 5 = 680 S.F. BUFFER REQUIRED
EXCESS AREA PROVIDED: +571 S.F.
PLANTING POINTS REQUIRED: 1,251 x .05 = 63.0 PROVIDED: 336

1 - 36" box tree @ 50 pts. each = 50 pts.
1 - 24" box tree @ 20 pts. each = 20 pts.
8 - 15 gal tree @ 10 pts. each = 80 pts.
53 - 5 gal shrubs @ 2 pts. each = 106 pts.
80 - 1 gal shrub @ 1 pts. each = 80 pts.
EXCESS POINTS PROVIDED: 273
POINTS ACHIEVED THROUGH TREES: 150

GENERAL NOTES:

ROOT BARRIERS:
NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. DO NOT WRAP ROOT BARRIER AROUND ROOT BALL.

LANDSCAPE:
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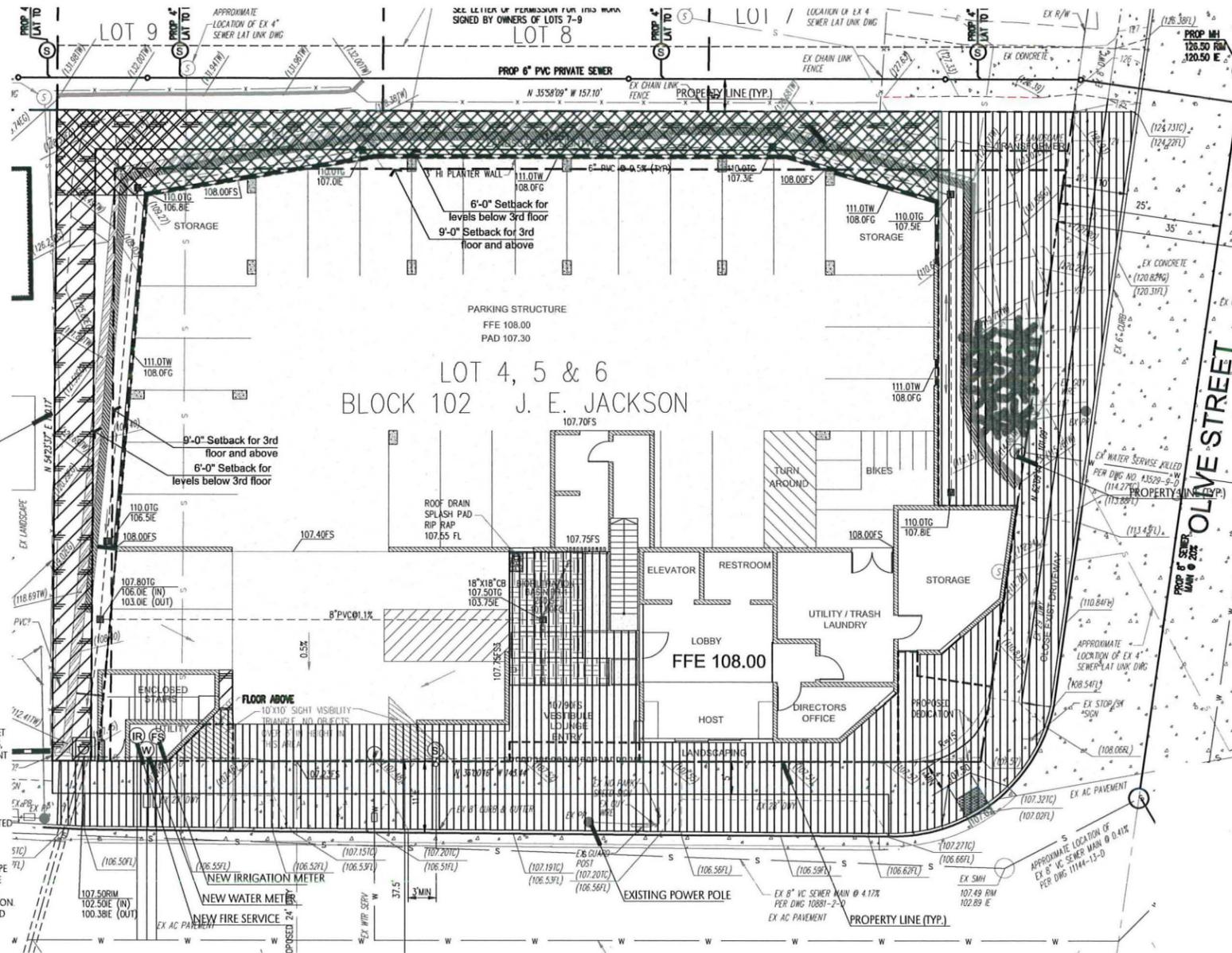
MAINTENANCE:
ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

IRRIGATION:
AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS. IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411

ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE OWNER IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND STANDARDS.

IF ANY LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLAN IS DAMAGE OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.



- STREET YARD AREA COMMERCIAL = 4,766.0 S.F.
- VEHICLE USE AREA COMMERCIAL = 0.00
- REMAINING YARD AREA COMMERCIAL = 1,382.0 S.F.
- ADDITIONAL YARD REQ. AREA COMMERCIAL = 1,251.0 S.F.

MAWA CALCULATIONS

MAWA WATER BUDGET = (E_{to}) (0.62) [(0.45)(LA) + (0.55)(SLA)]

MAWA WATER BUDGET = (47.0)(0.62) [(0.45)(4,218) + (0.55)(0.0)]

MAWA WATER BUDGET = (55,310.63)

SYMBOL	DESCRIPTION OF SYMBOL
E _{to}	EVAPOTRANSPIRATION (INCHES PER YEAR);
0.62	CONVERSION FACTOR TO GALLONS.
ETAF	EVAPOTRANSPIRATION ADJUSTMENT FACTOR
0.55	FOR RESIDENTIAL LANDSCAPE AREAS
0.45	FOR NON-RESIDENTIAL LANDSCAPE AREAS
LA	LANDSCAPE AREA (SQUARE FEET)
SLA	SPECIAL LANDSCAPE AREA (SQUARE FEET)



REQUIRED YARD DIAGRAM PLAN

Landscape Calculations Worksheet
Industrial Development in RM and C Zones
Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points provided in the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required (142.0405)	Planting Area Provided	Excess Area Provided
Total Area 4,766 sq. ft. x 0.25% = 1,191 sq. ft.	2,685 sq. ft.	1,494 sq. ft.

Planting Points Required (142.0405)	Plant Points Provided	Excess Points Provided
Total Area 4,766 sq. ft. x 0.05% = 238 points	988 points	750 points

Auto Service Stations Only:

Planting Area Required (142.0405)	Planting Area Provided	Excess Area Provided
Total Area 0 sq. ft. x 0.25% = 0 sq. ft.	0 sq. ft.	0 sq. ft.

Plant Points Required (142.0405)	Plant Points Provided	Excess Points Provided
Total Area 0 sq. ft. x 0.05% = 0 points	0 points	0 points

Note: All required Street Tree planting areas located outside the Vehicular Use Area (VUA) except for auto service stations may consist of landscape or unshaded and paved, including the minimum area required for trees. (142.0403)(18)

Minimum Yard:

Planting Area Required (142.0405)	Planting Area Provided	Excess Area Provided
Total Area 1,382 sq. ft. x 0.25% = 415 sq. ft.	1,382 sq. ft.	967 sq. ft.

Plant Points Required (142.0405)	Plant Points Provided	Excess Points Provided
Total Area 1,382 sq. ft. x 0.05% = 69 points	407 points	338 points

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CS-4 (03/04)

Page 2 of 3 City of San Diego - Development Services Department - Industrial Development in RM and C - Commercial Development in All Zones

Industrial, Trade, Retail, and Professional Office Buildings, Industrial, and Zones:

Planting Area Buffer Balance Areas	Buffer Area Provided	Excess Area Provided
Length of Property Buffer Area 136 ft. x 5 ft. = 680 sq. ft.	1,382 sq. ft.	671 sq. ft.

Plant Points Required in Buffer	Plant Points Provided	Excess Points Provided
Total Area 680 sq. ft. x 0.05% = 34 points	336 points	302 points

Note: Plant Points required are in addition to those required in the remaining yard. (142.0405)(18)

Minimum Yard (VUA): See separate worksheet (03/04)

Industrial, Trade, Retail, and Professional Office Buildings, Industrial, and Zones:

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written statement explaining how requirements are being met.

VUA: Calculate the Street Tree:



LANDSCAPE CALCULATOR AREA DIAGRAM (Provide on Plans)

- MINIMUM TREE SEPARATION DISTANCE**
- TRAFFIC SIGNAL, STOP SIGN 20 FEET
 - UNDERGROUND UTILITY LINES (except sewer) 5 FEET
 - SEWER 10 FEET
 - ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC) 10 FEET
 - DRIVEWAYS 10 FEET
 - INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) 25 FEET

A MINIMUM ROOT ZONE FO 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403 (b)(10).

REVISIONS:

NOT FOR CONSTRUCTION

Landscape Concept Plan

PRINTED DATE: 12/06/16
TYPE: DISCRETIONARY

L-2

SUBMITTAL DATE: 12/7/2016
SHEET XX OF XX