

THE CITY OF SAN DIEGO

### **Report to the Hearing Officer**

DATE ISSUED:	February 14, 2018	REPORT NO. HO-18-009
HEARING DATE:	February 21, 2018	
SUBJECT:	UNDERSTORY SDP - Process Three Decision	
PROJECT NUMBER:	<u>508313</u>	
OWNER/APPLICANT:	Mark Moushegian, HongJun Moushegian & Ki JLC Architecture, Applicant	rk Moushegian, Owners/

#### <u>SUMMARY</u>

<u>Issue:</u> Should the Hearing Officer approve the demolition of three residential units and the construction of a six-unit, multi-family structure at 3953, 3955 and 3957 9<sup>th</sup> Avenue within the Uptown Community Plan area?

Staff Recommendation: Approve Site Development Permit No. 1911146.

<u>Community Planning Group Recommendation</u>: On December 6, 2016, the Uptown Community Planning Group voted 12-0 to recommend approval of the project (Attachment 6).

<u>Environmental Review</u>: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303(b) (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 22, 2017, and the opportunity to appeal that determination ended January 9, 2018.

#### BACKGROUND

The 0.16-acre site is located on the east side of 9<sup>th</sup> Avenue between Washington Street and University Avenue. This segment of 9<sup>th</sup> Avenue is only one block long with no connectivity to other portions of 9th Avenue to the north or south. The site is located in the CC-3-8 zone, which is a city-wide Commercial zone that became effective for the site on February 4, 2017, in conjunction with an update to the Uptown Community Plan, which designates the site for Community Commercial development.

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When the project was deemed complete on September 19, 2016, the site was located in the NP-1 zone of the Mid-City Communities Planned District Ordinance (MCCPDO) and was covered by the 1988 Uptown Community Plan, which designated the site for Office/Residential at a density of 44-73 dwelling units per acre or 7-12 units allowed on this site. The NP-1 is a Neighborhood Professional zone that allows both office and residential uses at a density of one residential unit per 800 square feet of lot area, or a maximum of nine units allowed on this site with no minimum unit requirement. The applicant has elected to utilize their option to process this project under the NP-1 Zone and 1988 Uptown Community Plan.

The level project site is located in a developed, urban neighborhood and is bordered by the Highway 163 southbound off ramp to the north, the Highway 163 southbound slope and travel lanes to the east, mixed-use development to the west and multi-family units to the south. The site is developed with three, one-story, single-family units that were built in 1910, 1937 and 1951. The Historical Resources Board considered designation of the site on August 27, 2015, and determined the site and structures are not eligible for designation under any adopted designation criteria.

#### DISCUSSION

#### Project Description:

The applicant proposes to demolish the three existing residential structures and construct a three story, six-unit, 7,576-square-foot, multi-family apartment structure. The six units would include one studio and five one-bedroom units, ranging in size from 322 square feet to 1,488 square feet. The seven required parking spaces would be provided in three garage and four open parking spaces, with access provided from a single driveway on 9<sup>th</sup> Avenue. The project includes the addition of street trees and landscaped patio/deck areas on all three building levels. The applicant is requesting deviations to the front yard, street side yard and rear yard setbacks, as discussed below.

#### Required Approvals and Requested Deviations:

In accordance with San Diego Municipal Code (SDMC) Section 1512.0203(b)(4), a Process Three, Mid-City Communities Development Permit (processed as a Site Development Permit) is required to allow deviations greater than 20 percent. The requested deviations are as follows:

Deviation:	NP-1 Requirement	Proposed Dimension	Percent of Deviation
Front Yard Setback	10′	5′	50%
Rear Yard Setback	15′	10′	33%
Street Side Yard Setback	6′	0′	100%

The impact of the requested front yard setback deviation is limited by the design of the structure, which places only 19 linear feet of the structure along the front yard setback, leaving the remaining 40 feet of lot width open for driveway and landscaping. The requested rear and street side yard setback deviations are located adjacent to the Highway 163 slope and off ramp areas, therefore, no neighboring structures would be impacted. The requested deviations are consistent with the surrounding development, including the Monde mixed-use structure located across the street from the site at 3980 9<sup>th</sup> Avenue, which incorporates a zero-foot front yard and side yard setback.

These requested deviations are consistent with the developed neighborhood and the site's unique location adjacent to Highway 163. These deviations would not impact adjacent development and would help shield the interior courtyard of the project from Highway 163. Please see the Community Plan discussion below for additional setback deviation discussion.

#### Community Plan/General Plan Analysis:

The 1988 Uptown Community Plan designates the site for Office/Residential Density Range 5 (high intensity). This allows for either office or residential development at a density of 44-73 dwelling units per acre, or 7-12 units allowed on this project site. While the six units proposed falls one unit under the recommended density range, the project would provide three more residential units than the current development. This is a transitional, one-block neighborhood with commercial, residential, mixed-use development, and an under-construction fire station. Heights range from one to four stories with construction dates between the early 1900's and 2000's. The site is constrained by Highway 163 to the north and east and existing multi-family development to the south. Given the context and constraints of the site, six units where the Community Plan recommends at least seven is appropriate.

The applicant has requested deviations from the setback requirements. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, except to encourage upper-floor step backs to assist in addressing transitions and scale between new and existing development. The project has been designed in a "T" shape configuration, with the widest portion at the middle of the lot to reduce bulk and scale when viewed from the street. The requested setback deviations are offset by the modern/minimalist building design which incorporates multiple offsetting planes and roof pitches, varied building materials and textures, balconies, and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

The Urban Design Element of the General Plan recommends that patios, balconies, courtyards and other recreational amenities be provided to maximize useable open space. The project design includes a ground-level courtyard area, balconies and roof decks that provide useable open space and visual interest to the design. The project would meet the Urban Design Element objective of increasing the quality and quantity of landscaping in the public right-of-way by providing two street trees where there are none currently. The project design incorporates stucco, concrete and steel finishes in addition to multiple building offsets to add visual appeal to the streetscape and enhance the pedestrian experience, as recommended by the Urban Design Element. These features also serve to meet the 1988 Uptown Community Plan goal to preserve and enhance the pedestrian scale and human orientation within the Hillcrest area.

The Transportation Element of the Community Plan recommends that off-street parking should be screened from the public right-of-way and adjacent residences. Of the seven total parking spaces provided (three garage and four surface spaces) only one is visible from the public right-of-way due to the building configuration.

#### Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with the relevant adopted policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project (Attachment 3) and draft conditions of approval (Attachment 4). Staff recommends that the Hearing Officer approve the project as proposed.

#### **ALTERNATIVES**

- 1. Approve Site Development Permit No. 1911146, with modifications.
- 2. Deny Site Development Permit No. 1911146, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Paul Godwin, Development Project Manager

Attachments:

- 1. Aerial Photo
- 2. Community Plan Land Use Map
- 3. Draft Resolution with Findings
- 4. Draft Permit with Conditions
- 5. Environmental Exemption
- 6. Community Planning Group Recommendation
- 7. Ownership Disclosure Statement.
- 8. Project Plans

#### **ATTACHMENT 1**



North

Aerial Photo Understory SDP / 3953 9<sup>th</sup> Avenue PROJECT NO. 508313









### Land Use Map

Understory SDP/ 3953 9<sup>th</sup> Avenue PROJECT NO. 508313



#### HEARING OFFICER RESOLUTION NO. \_\_\_\_\_ SITE DEVELOPMENT PERMIT NO. 1911146 UNDERSTORY SDP - PROJECT NO. 508313 DRAFT

WHEREAS, MARK MOUSHEGIAN, HONGJUN MOUSHEGIAN AND KIRK MOUSHEGIAN, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish three residential units and construct a six-unit, 7,576-square-foot, multi-family, three-story structure with seven parking spaces (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 1911146), on portions of a 0.16-acre site;

WHEREAS, the project site is located at 3953, 3955 and 3957 9<sup>th</sup> Avenue, in the CC-3-8 zone of the Uptown Community Plan;

WHEREAS, the project site is legally described as Lot 10, excepting therefrom the north 16 feet, and all of Lots 8 and 9, in Block 16 of Estudillo and Capron's addition, according to Map No. 650, filed December 4, 1980;

WHEREAS, on December 22, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303(b) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 21, 2018, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1911146 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 21, 2018.

#### SITE DEVELOPMENT PERMIT - SDMC Section 126.0505

#### a. <u>Findings for all Site Development Permits:</u>

## 1. The proposed development will not adversely affect the applicable land use plan.

The proposed project would demolish three existing residential units and construct a six-unit, multi-family residential building with seven off-street parking spaces and setback deviations in a developed, urban neighborhood on a level project site located at 3953, 3955 and 3957 9<sup>th</sup> Avenue. When the project was deemed complete on September 19, 2016, the site was covered by the 1988 Uptown Community Plan.

On February 4, 2017, the Uptown Community Plan was updated, however the applicant has elected to utilize their option to process this project under the previous 1988 Uptown Community Plan.

The 1988 Uptown Community Plan designates the site for Office/Residential Density Range 5 (high intensity). This allows for either office or residential development at a density of 44-73 dwelling units per acre, or 7-12 units allowed on this project site. While the six units proposed falls one unit under the recommended density range, the project would provide three more residential units than the current development.

This is a transitional, one-block neighborhood with no connectivity to other portions of 9<sup>th</sup> Avenue to the north or south. Existing uses include commercial, residential, mixed-use development, and an under-construction fire station. Heights range from one to four stories with construction dates between the early 1900's and 2000's. The site is constrained by Highway 163 to the north and east and existing multi-family development to the south. Given the context and constraints of the site, six units where the Community Plan recommends at least seven is appropriate.

The applicant has requested deviations from the setback requirements. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, except to encourage upper-floor step backs to assist in addressing transitions and scale between new and existing development. The project has been designed in a "T" shape configuration, with the widest portion at the middle of the lot to reduce bulk and scale when viewed from the street. The requested setback deviations are offset by the modern/minimalist building design which incorporates multiple offsetting planes and roof pitches, varied building materials and textures, balconies, and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations areas adjacent to Highway 163.

The Urban Design Element of the General Plan recommends that patios, balconies, courtyards and other recreational amenities be provided to maximize useable open space. The project design includes a ground-level courtyard area, balconies and roof decks that provide useable open space and visual interest to the design. The project would meet the Urban Design Element objective of increasing the quality and quantity of landscaping in the public right-of-way by providing two street trees where there are none currently. The project design incorporates stucco, concrete and steel finishes in addition to multiple building offsets and varied roof angles and pitches to add visual appeal to the streetscape and enhance the pedestrian experience, as recommended by the Urban Design Element. These features also serve to meet the 1988 Uptown Community Plan goal to preserve and enhance the pedestrian scale and human orientation within the Hillcrest area.

The Transportation Element of the Community Plan recommends that off-street parking should be screened from the public right-of-way and adjacent residences.

Of the seven total parking spaces provided (three garage and four surface spaces) only one is visible from the public right-of-way due to the building configuration.

## 2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development would allow the demolition of three existing residential units and the construction of six residential apartment units in a developed, urban neighborhood on a level project site that is served by all existing utilities and the developed 9th Avenue right-of-way. The proposed development has been designed to conform with the City of San Diego's codes, policies and regulations whose primary focus is the protection of the public's health, safety and welfare.

The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project's compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by professional staff to ensure construction will comply with all relevant uniform building, fire, plumbing, electrical, mechanical and traffic control code regulations and permitting requirements.

Construction inspections, including final inspection and certificate of occupancy issuance are required to assure construction permits are implemented in accordance with the approved plans and will comply with all regulations. Additionally, the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15303(b). Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

#### 3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The site is located in the CC-3-8 zone, which is a city-wide Commercial zone that became effective for the site on February 4, 2017. When the project was deemed complete on September 19, 2016, the site was located in the NP-1 zone of the Mid-City Communities Planned District Ordinance (MCCPDO). The applicant has elected to utilize their option to process this project under the NP-1 zone. The NP-1 is a Neighborhood Professional zone that allows both office and residential uses at a density of one residential unit per 800 square feet of lot area, or a maximum of nine units allowed onsite with no minimum unit requirement. Therefore, the six proposed residential units comply with the NP-1 zone regulations. With the exception of the front, rear and street side yard setback deviation requests described below, the project meets all Land Development Code regulations, including height, floor area ratio, landscape, parking and open space requirements. In accordance with San Diego Municipal Code (SDMC) Section 1512.0203(b)(4), a Process Three, Mid-City Communities Development Permit (processed as a Site Development Permit) is required to allow deviations greater than 20 percent. The requested deviations are as follows:

Deviation:	NP-1 Requirement	Proposed Dimension	Percent of Deviation
Front Yard Setback	10′	5′	50%
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Street Side Yard Setback	6′	0′	100%

The impact of the requested front yard setback deviation is limited by the design of the structure, which places only 19 linear feet of the structure along the front yard setback, leaving the remaining 40 feet of lot width open for driveway and landscaping. The project has been designed in a "T" shape configuration, with the widest portion at the middle of the lot to reduce bulk and scale when viewed from the street. The requested setback deviations are offset by the modern/minimalist building design which incorporates multiple offsetting planes, varied building materials and textures, balconies, roof decks and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

The requested deviations are consistent with the surrounding development, including the Monde mixed-use structure located across the street from the site at 3980 9<sup>th</sup> Avenue, which incorporates a zero-foot front yard and side yard setback. These deviations would not impact adjacent development and would help shield the interior courtyard of the project from Highway 163. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

#### A. MID-CITY COMMUNITIES DEVELOPMENT PERMIT – SDMC SECTION 1512.0204

- 1. <u>Findings for all Mid-City Communities Development Permits</u>:
  - a. The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

The purpose and intent of the Mid-City Communities Planned District is to assist in implementing the goals and objectives of the Uptown Community Plan and to assist in implementation of the General Plan of the City of San Diego.

The 1988 Uptown Community Plan designates the site for Office/Residential Density Range 5 (high intensity). This allows for either office or residential development at a density of 44-73 dwelling units per acre, or 7-12 units allowed on this project site.

While the six units proposed falls one unit under the recommended density range, the project would provide three more residential units than the current development. This is a transitional, one-block neighborhood with commercial, residential, mixed-use development, and an under-construction fire station. Heights range from one to four stories with construction dates between the early 1900's and 2000's. The site is constrained by Highway 163 to the north and east and existing multi-family development to the south. Given the context and constraints of the site, six units where the Community Plan recommends at least seven is appropriate.

The applicant has requested deviations from the setback requirements. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, except to encourage upper-floor step backs to assist in addressing transitions and scale between new and existing development. The project has been designed in a "T" shape configuration, with the widest portion at the middle of the lot to reduce bulk and scale when viewed from the street. The requested setback deviations are offset by the modern/minimalist building design which incorporates multiple offsetting planes, varied building materials and textures, balconies, and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

The Urban Design Element of the General Plan recommends that patios, balconies, courtyards and other recreational amenities be provided to maximize useable open space. The project design incorporates ground-level courtyard area, balconies and roof decks that provide open space while providing visual interest to the design. The project would meet the Urban Design Element objective of increasing the quality and quantity of landscaping in the public right-of-way by providing two street trees where there are none currently. The project design incorporates stucco, concrete and steel finishes in addition to multiple building offsets and varied roof angles and pitches to add visual appeal to the streetscape and enhance the pedestrian experience, as recommended by the Urban Design Element. These features also serve to meet the 1988 Uptown Community Plan goal to preserve and enhance the pedestrian scale and human orientation within the Hillcrest area.

The Transportation Element of the Community Plan recommends that off-street parking should be screened from the public right-of-way and adjacent residences. Of the seven total parking spaces provided (three garage and four surface spaces) only one is visible from the public right-of-way due to the building configuration.

Therefore, the proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

b. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.

The applicant proposes to demolish the three existing residential structures and construct a three story, six-unit, 7,576-square-foot, multi-family apartment structure with deviations to the front, street side and rear yard setbacks. The proposed development would be compatible with the existing land use of the adjoining properties in that multi-family uses are located to the south and multi-family and mixed-use development is to the west. There are no structures located on the existing Highway 163 site to the north and east. The 1988 Uptown Community Plan designates this block of 9<sup>th</sup> Avenue for Office/Residential Density Range 5 (high intensity). This allows for either office or residential development at a density of 44-73 dwelling units per acre, or 7-12 units allowed on this project site. Given the context and constraints of the site, six units where the Community Plan recommends at least seven is appropriate.

This is a transitional, one-block neighborhood with no connectivity to other portions of 9th Avenue to the north or south. Existing uses on the block include commercial, residential, mixed-use and an under-construction fire station, with construction dates between the early 1900's and 2000's. Existing building heights range from one to four stories. The modern/minimalist building design incorporates multiple offsetting planes, varied building materials and textures, balconies, roof decks and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

In the context of this neighborhood of diverse uses, styles, construction dates and heights, the proposed development will be compatible with existing and planned land uses on adjoining properties and will not constitute a disruptive element to the neighborhood and community and architectural harmony with the surrounding neighborhood and community is a achieved as far as practicable.

#### c. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

The proposed development would allow the demolition of three existing residential units and the construction of six residential apartment units in a developed, urban neighborhood on a level project site that is served by all existing utilities and the developed 9th Avenue right-of-way. The proposed development has been designed to conform with the City of San Diego's codes, policies and regulations whose primary focus is the protection of the public's health, safety and welfare.

The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project's compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by professional staff to ensure construction will comply with all relevant uniform building, fire, plumbing, electrical, mechanical and traffic control code regulations and permitting requirements.

Construction inspections, including final inspection and certificate of occupancy issuance are required to assure construction permits are implemented in accordance with the approved plans and will comply with all regulations. Additionally, the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15303(b). Therefore, the proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

# d. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site.

An existing City-standard street light is located approximately 80 feet from the project site, across the street adjacent to 3964 9<sup>th</sup> Avenue. Therefore the project is in compliance with the Municipal Code and the current street light standards according to the City of San Diego Street Design Manual and Council Policy 200-18.

## e. The proposed use will comply with the relevant regulations in the San Diego Municipal Code.

The site was evaluated under the NP-1 zone regulations of the Mid-City Communities Planned District Ordinance, which was in effect when the project was deemed complete. The NP-1 is a Neighborhood Professional zone that allows both office and residential uses at a density of one residential unit per 800 square feet of lot area, or a maximum of nine units allowed on this site with no minimum unit requirement. With the exception of the development standard deviations to the front, rear and street side setbacks described in Site Development Permit Finding 126.0505(a)(3) above, the project would comply with all relevant regulations in the San Diego Municipal Code, including height, floor area ratio, parking and landscaping.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1911146 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 1911146, a copy of which is attached hereto and made a part hereof.

### **ATTACHMENT 3**

Paul Godwin Development Project Manager Development Services

Adopted on: February 21, 2018

IO#: 24006934

RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

#### WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24006934

SPACE ABOVE THIS LINE FOR RECORDER'S USE

#### SITE DEVELOPMENT PERMIT NO. 1911146 UNDERSTORY SDP - PROJECT NO. 508313 HEARING OFFICER DRAFT

This Site Development Permit No. 1911146 is granted by the Hearing Officer of the City of San Diego to Mark Moushegian, HongJun Moushegian & Kirk Moushegian, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] sections 126.5002 and 1512.0203. The 0.16-acre site is located at 3953, 3955 and 3957 9<sup>th</sup> Avenue, in the CC-3-8 zone of the Uptown Community Plan. The project site is legally described as: Lot 10, excepting therefrom the north 16 feet, and all of Lots 8 and 9, in Block 16 of Estudillo and Capron's addition, according to Map No. 650, filed December 4, 1980.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees to described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 21, 2018, on file in the Development Services Department.

The project shall include:

a. Demolition of three existing residential units and the construction of a six-unit, 7,576-square-foot, multi-family, three-story structure with seven parking spaces;

Deviation:	NP-1 Requirement	Proposed Dimension	Percent of Deviation
Front Yard Setback	10′	5′	50%
Rear Yard Setback	15′	10′	33%
Street Side Yard Setback	6′	0′	100%

b. Deviations to the front, rear and street side yard setback requirements as follows:

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;

e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

#### **STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 7, 2021.

2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **CLIMATE ACTION PLAN REQUIREMENTS:**

10. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

#### **AFFORDABLE HOUSING REQUIREMENTS:**

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

#### **AIRPORT REQUIREMENTS:**

12. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air

Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

#### **ENGINEERING REQUIREMENTS:**

13. The project proposes to export 10 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the landscaping and irrigation in the 9th Avenue right-of-way.

16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the proposed non-standard driveway located on 9th Avenue right-of-way.

17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 16-foot wide driveway, adjacent to the site on 9th Avenue, satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close all non-utilized driveways with current City Standard curb, gutter and sidewalk, adjacent to the site on 9th Avenue, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

#### LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Development Services Department.

### **ATTACHMENT 4**

22. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

23. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

24. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

#### PLANNING/DESIGN REQUIREMENTS:

27. Owner/Permittee shall maintain a minimum of seven off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

#### TRANSPORTATION REQUIREMENTS:

30. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

#### **PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

31. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

32. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

33. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

34. Prior to Final Inspection, all public water and sewer facilities, if required shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

35. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

#### **INFORMATION ONLY:**

• The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 21, 2018, and <mark>[Approved] Resolution Number].</mark>

### **ATTACHMENT 4**

Permit Type/PTS Approval No.: SDP No. 1911146 Date of Approval: February 21, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Paul Godwin Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By \_\_\_\_\_ Mark Moushegian

Owner/Permittee

By \_\_\_\_\_ HongJun Moushegian

Owner/Permittee

By \_\_\_\_\_ Kirk Moushegian

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

#### NOTICE OF EXEMPTION

(Check one or both)

TO:

- <u>X</u> Recorder/County Clerk P.O. Box 1750, MS A-33 1600 Pacific Hwy, Room 260 San Diego, CA 92101-2400
  - Office of Planning and Research 1400 Tenth Street, Room 121 Sacramento, CA 95814
- FROM: City of San Diego Development Services Department 1222 First Avenue, MS 501 San Diego, CA 92101

Project Name: Understory SDP

#### Project No. 508313/ SCH No.: N.A.

Project Location-Specific: 3953, 3955, and 3957 9th Avenue, San Diego, CA 92103

Project Location-City/County: San Diego/San Diego

**Description of nature and purpose of the Project: SITE DEVELOPMENT PERMIT (SDP) and MID-CITY COMMUNITIES DEVELOPMENT PERMIT** to demolish three single-family units, and to allow for the construction of 8,020-square-feet, 6 unit multi-dwelling structure for affordable/in-fill housing development, a new driveway location with associated curb cuts, landscaping, and fencing, on a 0.16 acre site. The project proposes deviations for front, rear, and street side setbacks, and a reduced driveway width from 20 feet to 12 feet.

#### Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Tyler Van Stright,

JLC Architecture (Firm), 337 S. Cedros Avenue, Suite J, Solana Beach, CA, 92075, (858) 436-7777

#### Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- () Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: CEQA Exemption 15303 (b) (New Construction or Conversion of Small Structures)

**Reasons why project is exempt:** The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303, which consists of construction or location of limited numbers of new, small facilities or structures. In urbanized areas, this exemption applies to apartments, duplexes, and similar structures designed for not more than six dwelling units. In addition, the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

Revised May 2016

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

WAL. MMuran Senior Planner/AICP

Signature/Title

January 10, 2018

Date

Check One: (X) Signed By Lead Agency ( ) Signed by Applicant

Date Received for Filing with County Clerk or OPR:

From:Leo WilsonTo:Godwin, PaulSubject:Re: Understory - PTS 508313 - CPG in December 2016Date:Thursday, February 08, 2018 3:41:27 PM

Here is the vote from the December 6, 2016 minutes.

"Motion Nakhshab / Thorsen motion to approve. Gahagan motions to amend with a recommendation to encourage the addition of artistic element on the north façade. Motion passes 11/0/1 Chair abstains (Rosas not voting as she was not present during the presentation)."

From: Leo Wilson <leo.wikstrom@sbcglobal.net> To: "Godwin, Paul" <PGodwin@sandiego.gov> Sent: Thursday, February 8, 2018 3:38 PM Subject: Re: Understory - PTS 508313 - CPG in December 2016

Hi Paul:

Sorry for the delay. I will send a memorandum of motion with the vote on the project to you by Monday.

Leo

#### **ATTACHMENT 7**

City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000	Ownership Disclosure Statement
Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Development Permit Site Development Permit Variance Tentative Map Vesting Tentative Map Map Waive	
Project Title	Project No. For City Use Only
Project Address:	50000
	SAN DIEGO , CA 92103
Part I - To be completed when property is held by individual(s)	
By signing the Ownership Disclosure Statement, the owner(s) acknowledge above, will be filed with the City of San Diego on the subject property, with below the owner(s) and tenant(s) (if applicable) of the above referenced p who have an interest in the property, recorded or otherwise, and state the ty individuals who own the property). A signature is required of at least one of from the Assistant Executive Director of the San Diego Redevelopment Age Development Agreement (DDA) has been approved / executed by the Cit Manager of any changes in ownership during the time the application is be the Project Manager at least thirty days prior to any public hearing on the information could result in a delay in the hearing process.	In the intent to record an encumbrance against the property. Please list roperty. The list must include the names and addresses of all persons type of property interest (e.g., tenants who will benefit from the permit, all of the property owners. Attach additional pages if needed. A signature ency shall be required for all project parcels for which a Disposition and y Council. Note: The applicant is responsible for notifying the Project ing processed or considered. Changes in ownership are to be given to
Additional pages attached T Yes T No	
Name of Individual (type or print): <u>MARK</u> <u>MOUSHEGIAN</u> Vowner Tenant/Lessee Redevelopment Agency	Name of Individual (type or print): <u>HONGTUN</u> <u>MOUSTEGIAN</u> VOwner Tenant/Lessee Redevelopment Agency
Street Address: 12783 VIA TERCETO	Street Address: 12783 VIA TERCETO
City/State/Zip: SAN DIEGO, CA 92130 Phone No: 858-242-0802 Fax No:	City/State/Zip: SAN DIEGO, CA 92130 Phone No: 858-242-0802 Fax No:
Signature : Date: Date: 8-20-2016	Signature : Date: Date: 3-20-2014
Name of Individual (type or print):   KIEK MDUSHEGIAN	Name of Individual (type or print):
VOwner Tenant/Lessee Redevelopment Agency	Owner Tenant/Lessee Redevelopment Agency
Street Address: 3955 9th AVENUE	Street Address:
City/State/Zip: SAN DIEGO, CA	City/State/Zip:
Phone No: 801-631-1751 Fax No:	Phone No: Fax No:
Signature MAA Date: 3/20/2016	Signature : Date:

Printed on recycled paper. Visit our web site at <u>www.sandiego.gov/development-services</u> Upon request, this information is available in alternative formats for persons with disabilities. DS-318 (5-05)

#### **GENERAL NOTES**

- All notes listed below are applicable unless otherwise noted within the construction documents or specifications. All work to be done in accordance with local codes, laws, ordinances, CAL-OSHA, city, county, state, and national standards and safety codes including but not limited to 2013 edition of the California Code or Regulations (Title24), which adopts the following model codes: 2013 IRC, 2013 IRC, 2013 UPC, 2013 UMC, 2013 NEC All Residential projects shall comply with the 2013 California Residential Code which adopts the following model codes: 2013 IRC, 2013 UPC, 2013 UMC, 2013 NEC Changes of the supercond devices and paceficians shall be made and but you ware appropriate codes: a super conditions and a paceficians shall be made and but you ware appropriate the following model codes: 2013 IRC, 2013 UPC, 2013 UMC, 2013 NEC Changes of the supercond devices and paceficians shall be made and but you ware appropriate the following model codes: 2013 IRC, 2013 UPC, 2013 UPC, 2013 NEC Changes of the supercond devices and paceficians shall be made and but you ware appropriate the following model codes: 2013 IRC, 2013 UPC, 2013 UPC, 2013 NEC Changes of the supercond devices and paceficians shall be made and but you ware appropriate the following model codes: 2013 IRC, 2013 UPC, 2013 UPC, 2013 NEC Changes of the supercond devices and paceficians shall be made and but you ware appropriate the following model codes: 2013 IRC, 2013 UPC, 2013 NEC Changes of the supercond devices and paceficians shall be model and but you ware appropriate the following model codes: 2013 IRC, 2013 UPC, 2013 UPC, 2013 NEC Changes of the supercond devices and paceficians shall be model and here the supercond devices the following model codes: 2013 IRC, 2013 UPC, 2013 UPC, 2013 NEC Changes of the supercond devices and paceficians shall be model and here the supercond devices the following model codes: 2013 IRC, 2013 UPC, 2013 UPC, 2013 NEC Changes of the supercond devices and paceficians shall be model and here the su

- the following model codes: 2013 IRC, 2013 UPC, 2013 UPC, 2013 NBC. Changes to the approved drawings and specifications shall be made only by owner approved addends or change order. The contractor shall verify in the field all dimensions, elevations, flow lines and points of connection with adjacent properties; any discrepancies shall be called to the architect's attention before proceeding with the work. The contractor shall determine the location of utility services in the area prior to excavation. The contractor shall adtermine the location of utility services in the area prior to excavation. The contractor shall adtermine the location of utility area or or existing utilities and pavement within the area of the work whether indicated on the drawings or not, unless otherwise noted. All utilities to be underground per utility company and local code requirements. Should any condition arise where the intent of the drawings is in doubt where there is a discrepancy or appears to be an error on the drawings between the drawings and the field conditions, the architect shall be notified as soon as reasonably possible for procedure to be followed.
- followed
- followed. Where details are not shown for any part of the work, the construction shall be similar to other similar work, or contact the architect for clarification. Workmanship throughout shall be of the best quality of the trade involved. D. Each subcontractor is considered a specialist in his respective field and shall, prior to the submission of bid or performance of work, notify the general contractor or owner of any work called out on the drawings in his trade that cannot be fully guaranteed. The contractor and/or subcontractors shall be responsible for the appropriate "hook-up" to all utilities required to
- Dermits, fees, taxes, licenses, and deposits shall be paid for and obtained by each sub-contractor and the general contractor as the yrelate to their work.
   These drawings do not include necessary components for construction safety of all parties

- These drawings do not include necessary components for construction safety of all parties present on the job site. This is the contractor's responsibility.
   The contractor shall protect adjacent properties and site work at all times.
   All dimensions are to face of studs, masony or centerline unless noted otherwise. Do not scale drawings. Dimensions prevail.
   Do not make connection, brace, or suppend any construction or equipment from the roof deck or jobs unless indicated on the drawings.
   Do not make connection, brace, or suppend any construction or equipment from the roof deck or jobs unless indicated on the drawings.
   Any periodic visits to the job site by the architect are for provisions of the contract documents.
   The contract documents.
   The contract documents.
   All construction and demolfion debris shall be removed from around the buildings, the driveways, sidewalks and landscaping at the end of each work day. The driveways and sidewalks and landscaping at the end of each work day. The driveways and sidewalks and landscaping at the end of each work day. The driveways and sidewalks and landscaping at the end of each work day. The driveways and sidewalks and landscaping at the end of each work day. The driveways and sidewalks and landscaping at the end of each work day. The driveways and sidewalks and landscaping at the end of each work day.
- driveways, sidevalks and landscaping at the end of each work cay. In errorways and sidevalks shall be swept clean. 9. The contractor shall limit the site storage of material, supplies or temporary structures to those areas as indicated on the drawings or as approved by the owner's representative. 0. The contractor shall repair or replace any items damaged during demolition or construction indicated to be reused or to remain, at no cost to the owners. 11. Building insulation shall be certified by the manufacturer to meet the California quality there is the insulation shall be certified by the manufacturer to meet the California quality the structure for the substance structure.

- Building insulation shall be certified by the manufacturer to meet the California quality standards for insulating materials.
   All new glazing will be installed will certifying label attached showing the "U" value.
   The contractor shall provide a separation or barrier between all dissimilar metals.
   All startior metal, including but not limited to weld plates, flashing ator, shall be primed and painted per the specification (copper shall be left unpainted, unless otherwise noted).
   Interior finishes shall conform to the requirements of Chapter 8, Unform Building Code (Starting Competition).
   Interior finishes shall conform to the requirements of Chapter 8, Unform Building Code (Starting Competition). b) NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT or ENGINEER ON RECORD: By using this permitted construction drawings for construction/infallation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction materialise testing and off-site fabrication of building components, contained in the statement of special inspections and as required by the California construction codes. NoTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-
- No TICE TO THE CONTRACT ON/BUILDER/INSTALLEN/SUB-CONTRACT ON/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and as required by the California construction codes.
- as required by the California construction codes. 28. Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting and other hot work shall be in conformance with CFC Chapter 35, 29. During construction, at least one extinguisher shall be provided on each floor level at each stativway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section
- 3315.1
- 3315.1. O. Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diago and CFC 308. I. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Section 50.1.2.

#### **CONTRACTOR FIELD** VERIFICATION

Before erection of structure and/or ordering of any building components, the General Contractor should field verify all horizontal, vertical dimensions and connections of existing/proposed components including, without being limited to:

building setbacks existing/proposed grade maximum allowable height at walls and ridges insulation requirements at walls, floors and roof structure windowidoor energy performance requirements mechanical equipment location and clearances trusses dimensions and alogo steel structure and components interior cabries, appliances, furniture plumbing futures and related code required clearances any similar components and or system(s)

#### SUSTAINABLE FEATURES

#### Planned sustainable measures:

 Reuse or recycle existing structures
 Optimized building orientation/design and deciduous trees for passive solar design 3. Improved Insulation R-values over Title 24 requirements 4. Filtered air whole house fans for natural ventilation 5. Roofing materials with a minimum 3-year aged solar reflection and thermal remittance 6. Drip irrigation and low-moderate water use plants High efficiency heat pump 8. Instant hot water heater 9. High efficiency and water saving appliances
10. Solar panels
11. Provide 1 Electric vehicle charging ready parking space

Other measures under consideration: . Rain water collection 2. Advanced sustainable building material 3. Minimize construction waste 4. Sky light

#### VICINITY MAP



Gross Floor Area				
Area Name	Area	Comments		
covered area below Unit 201	569 SF	N		
Garage	752 SF			
Rear Deck	585 SF	located on 2nd Level at rear of site		
Storage (all units)	113 SF			
Unit 101	1488 SF	A		
Unit 101 - phantom floor	452 SF			
Unit 102	322 SF			
Unit 201	1135 SF			
Unit 202	666 SF	includes mez bdrm level		
Unit 202 - phantom floor	133 SF			
Unit 203	523 SF	includes mez storage area		
Unit 203 - enclosed exterior balcony	53 SF	N		
Unit 203 - phantom floor	329 SF			
Unit 301	456 SF			
Grand total	7576 SF			

Area Name	Area	Comments
Unit 101	1488 SF	
Unit 102	322 SF	
Unit 201	1135 SF	
Unit 202	666 SF	includes mez bdrm level
Unit 203	523 SF	includes mez storage area
Unit 301	456 SF	· · · · · · · · · · · · · · · · · · ·
Grand total	4589 SF	

#### PARKING SUMMARY

Unit Type	# of Units	Spaces Rqrd	Total
Studio <400 sf	1	1.0	1.0
1 Bdrm/Studio >400 sf	5	1.25	6.25
2 Bdrm	0	1.75	0.0

Total Space Required 7 (per rounding standard) Total Spaces Provided 7

#### **FIRE HYDRANT LOCATIONS**



#### **PROJECT DATA**

#### 508313 **Project Number**

Address	3953, 3955 & 3957 9th Avenue
	San Diego, CA 92103
APN	444-690-26-00

#### Legal Description

Max Height

# of Stories Front Setback

**Rear Setback** 

Side Setback

Existing Use

Occupancy

Proposed Use

Landscape Area

Year Built

Lot 10 excepting therefrom the north 16 feet, and all of Lots 8 and 9, in block 16 of Estudillo and Capron's addition, in the city of San Diego, County of San Diego, State of California, according to Map thereof No. 650, filed in the office of the County Recorder Of San Diego County, December 4, 1980

Base Zone	NP-1	
Planned District	Mid-City Comm. Planned District	
Overlays	Airport Influence Area	
	Residential Tandem Parking	
	Transit Area	

#### Geological Hazard Category 52

Minumum Lot Size	50x100 (5,000 sf)	
Lot Size	59x120 (7,080 sf)	
Min Lot Coverage	20%	(7,080 x 0.2 = 1,416 sf)
Max Lot Coverage	50%	$(7,080 \times 0.5 = 3,540 \text{ sf})$
Proposed Lot Coverage	44.1%(3	,121 sf / 7,080 sf = 44.1%)

1.5 (7,080 x 1.5 = 10,620 sf) 1.07 (7,576 sf / 7,080 sf = 1.07) Max FAR Proposed FAR

Max # of Units per Lot Size 66 (lot depth > 100') Max # of Units per Density Proposed # of Units 7,080 sf / 800 sf = 8.85 units 50' (60' over enclosed parking)

**Proposed Height** 35'-4.25" (at most western portion of bldg)

10' per zone (5' proposed) 15' per zone (10' proposed) 6' per zone (zero yard option proposed at north PL, extending to rear PL)

3 Residences 6 Unit Apartment Building R-2 (dwellings) / U (garage) Construction Type Type V-B or V-A (decision pending)

Required (NFPA 13 proposed for Type VB Fire Sprinklers construction story increase

#### see landscape package

1910, 1937, 1951

#### **PROJECT SCOPE**

6 unit apartment building new driveway location w associated curb cut landscaping and fencing

#### **REQUESTED DEVIATIONS** DEVELOPMENT STANDARI

See separate write-up for detailed deviation request

- Zero Street Yard 2 - Reduced Rear Yard Setback 3 - Reduced Front Yard Setback

#### **RELATED APPLICATIONS**

Existing structures on site are not considered historic per previously completed study. Full Historic Report on file with city under project Nbr. 424072

#### DIRECTORY

OWNER Hongjun Moushegian, Mark Moushegian, Kirk Moushegian 3953 9th Ave. San Diego, CA 92103 858-877-1537 hongjuncfa@gmail.com

HISTORIC CONSULTANT Scott A. Moomijan, Attorney at Law 5173 Waring Road, #145 San Diego, CA 92120 Scott A. Moomijan, Attorney at Law San Diego, CA 92120 Scott A. Moomijan, Attorney at Law (619) 230-1770

SURVEYOR + CIVIL ENGINEER Sampo Engineering, Inc contact: Dallas Buckner 171 Saxony Road, Suite 213, Encinitas, CA., 92024 (760) 436-0660 x13 dallas@sampoengineering.com

SIL 



		ATTACH	IMENT 8
ed curb cut /IATIONS FROM STANDARDS viation request.	SHEET INDEX TITLE G001 Project Information SURVEY 1 sheet Survey of Existing Conditions CIVIL C101 Title Sheet C102 Drainage Plan C103 Erosion Control Plan ARCHITECTURAL A001 Axonometrics A002 Site Plan - Existing	C Architecture	337 South Cedros Avenue, Suite J Solana Beach, CA 92075 www.jlcarchitecture.com office 858 436 7777
ARCHITECT JLC Architecture contact: Tyler Van Stright 337 S Cedros Avenue Suite J Solana Beach, CA 92075 (858) 436-7777 x2# tyler@ilcarchitecture.com	A003Site Plan - NewA004Area PlansA101Floor PlansA102Floor PlansA103Floor PlansA104Roof PlanA201ElevationsA202ElevationsA203ElevationsA204Elevation DiagramsA301SectionsA302SectionsA303SectionsA304SectionsA304SectionsA304Sections	These drawings and property and copyright of the second se	ARCHINC CODUCTION
SOILS ENGINEER CW LaMonte Company, Inc. contact: Jerry Redolf 8265 Commercial Street, Suite 12 La Mesa, CA 91942 (619) 482-9861 LANDSCAPE John Beaudry 9405 Hilmer Drive La Mesa, CA 91942 619-929-9140 john@beaudrydesign.com	LANDSCAPE 3 sheets Landscape Package	The Understory	3953, 3955 & 3957 9th Avenue San Diego, CA 92103
			on Date

18



HIGHWAY 163 X1-SD-77SD

### **ATTACHMENT 8**

OWNER: MARK, HONGUN, AND KRK MOUSHEGAN STE ADDRESS: 3953, 3955, 3957 371 AVENUE, SAN DECO, CA 92103 ASSESSORS PARCEL NUMBER: 444-690-26 DATE OF SURVEY: JANUARY 4, 2017 LEGAL DESCRIPTION: 1010 EXCEPTING HEREFROM THE NI ALL OF LOTS 8 MID 91 NI BLOCK 16 OF ESTUDILO AND CAPRON CITY OF SAN DECO, CONTY OF SAN DECO, STATE OF CAUROR MAP THEREOF NO 850, ALLED NI THE OFTICE OF THE COUNTY RE DEGO COUNTY, DECOMBER 1, 940.

VERTICAL DENCHMARK: GITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK, VERMONT STREET AND PENNSYLVANIA AVENUE BENCHMARK. DATUM: NGVD 29 ELEVATION: 291.08

NOTES:

1. THIS IS NOT A BOUNDARY SURVEY. THE BASIS OF BEARINGS FOR THIS TOPOGRAPHIC PLAT ARE FER PARCEL MAP 2016. DISTANCES SHOWN HEREON ARE CACULATED PER MAP 630. IF PROPERT UNE SETBACKS TO STRUCTURES ARE CRITCAL FOR THIS PROJECT A BOUNDARY SURVEY IS RECOMMENDED.

2. A POLICY OF TITLE INSURANCE WAS PREPARED BY FIDELITY NATIONAL TITLE COMPANY ON 01/16/2014 AS ORDER NUMBER 00030238-992-SD1-D. NO CASEMENTS WERE FOUND IN SAID TITLE REPORT, HOWEVER THE FOLLOWING WAS WOTED

THE OWNERSHIP OF THE PROPERTY DOES NOT HAVE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY OR FREENAY ABUTTING SAID PROPERTY WAS RECORDED ON 2/26/1945 IN BOOK 1821, PAGE 413, OF OFTICAL RECORDS.

3. ELEVATIONS ABOVE GRADE SHOWN IN [ ]

ABBRE	MATIONS:
AC:	ASPHALT CONCRETE
AD:	AREA DRAIN
CONC:	CONCRETE
CLF:	CHAIN LINK FENCE
DIA:	DIAMETER
FL:	FLOW LINE
FF:	FINISH FLOOR
GM:	GAS METER
R/W:	RIGHT OF WAY
SMH:	SEWER MANHOLE
IC:	TOP OF CURB
TRESH:	THRESHOLD
WM:	WATER METER





#### GENERAL NOTES

1 APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL \*A PERMIT/ \*A NOTICE TO PROCEED HAS BEEN ISSUED.

2. The Approval of This plan or issuance of a permit by the city of San Dego does not authorize the subdivider and owner to violate any federal, state or city lans, ordinances, regulations, or poucies, including, but not limited to, the federal endandered species act of 1973 and amendments thereto (16 usc section 1531 et.seq.).

3. THE SOLS REPORT TITLED "REPORT OF LIMITED GEOTECHNICAL INVESTIGATION" PREPARED BY C.W. LA MONTE INC. DATED JANUARY 23 2017, SHALL BE CONSDERED AS A PART OF THIS GRADING PLAN. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN SAD REPORT.

A THE CONTRACTOR SINLL BE RESPONSEDE FOR SUPERY MOMMENTS MOV/OR VERTICAL CONTRAL BOROMARIS MOV ARE DISTRIBUTED OF DESTROYED BY CONSTRUCTION. A LAND SUPERIOR MUST PED LOCATE, BETERICE, MOVER RESSIRE ALL INSTRUCTULE ON MOMENTS FROM TO MAY BERTIMENTS WITH APPROPRIATE MOMMENTS. A COMER RECORD OR RECORD OF SUPERY AS APPROPRIATE, SHALL BE FLED AS RECORD BY THE PROFESSIONAL LAND SUPERIOR SACT SECTION BYTA OF THE MOMMENTS. A COMER RECORD OR RECORD OF SUPERY AS APPROPRIATE, SHALL BE FLED AS RECORD BY THE PROFESSIONAL LAND SUPERIOR SACT SECTION BYTA OF THE DISTRESS MOVE OF OF THE STIRE C. OWNER WITH VERTIL CONTRAL IS TO BE DISTRED OR DESTROYED. THE CONTENT AND THE PROFESSIONAL LAND SUPERY SCIENT MIST DISTRESS MOVE OF THE STIRE C. OWNERWISTINGTION. THE CONTRACTOR MILL BE RESPONSEDE FOR THE COST OF REPLACING ANY VERTICAL CONTRACTORS DESTROYED BY THE CONSTRUCTION. AND SPRICE TO THE CONSTRUCTION. THE CONTRACTOR MILL BE RESPONSEDE FOR THE COST OF REPLACING ANY VERTICAL CONTRACTORS DESTROYED BY THE CONSTRUCTION.

5. MPORTMIT HOTICE: SECTION 4216 OF THE CONFIRMENT CODE REQURES A DIG ALERT IDENTIFICATION MANGER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" MIL BE VALID. FOR YOUR DIG ALERT LD. NAMEER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE T-BOD-422-4133, THIO DAYS BEFORE YOU DIG.

6. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.

7. "PUBLIC IMPROVEMENT SUBJECT TO DESURTUDE OR DAMAGE." IF REPAR OR REPLICEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.

8 ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED LINDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL (CODE 9. PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTUITY MARK-OUTS AND SURFEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION WEETING WITH THE CITY OF SAN DECO FEED ENGNEETING DISSION (858) 627-3200.

10. Deviations from these signed plans will not be allowed unless a construction change is approved by the city engineer or the change is required by the city inspector.

11. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.

12. AN AS-GRADED GEDECHNICH, REPORT AND A SET OF THE REDLINE GRADING PLANS SIMLL BE SUBMITTED AT AREA 3 ON THE THIRD RLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENOMEER OF THE FIELD ENOMEERING DIVISION AT 9485 AERO DR.

13. ISSUANCE OF THE OTTY'S BUILDING PERMIT SHALL NOT RELEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQURREMENTS BY AGENCES INCLUMING BUT NOT LIMITED TO CHLIFORMIA REGIONAL MATER QUALITY CONTRAL BOARD, CHLIFORMIA DEPARTMENT OF FISH AND CAME, COMPLIANCE MAY INCLUDE OBTIANING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.

14. CONTRACTOR SHULL REMOVE AND REPLACE ALL UTUITY BOXES SERIING AS HANGHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED CONCRETE SURFACES. DAUAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE BENORED AND REPLACED WITH NEW BOXES, INCLUDING WITER, SENER, TRAFFIC SIGNAS, STREET LIGHTS, DRY UTUITES-SOCAE, COX, ECT. ALL NEW METAL LIDS SHALL BE SUP RESISTANT (FRICTION FACTOR >/= 0.50) AND INSTALLED RUSH WITH PROPOSED SDEWALK GRADE. IF A SUP RESISTANT METAL UD IS NOT COMMERCIALLY AVILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

15. ALL PROPOSED PRIVATE IMPROVEMENTS MUST BE WITHIN THE PROPERTY PERIMETER OR OBTAIN LETTER OF PERMISSION FROM ADJACENT PROPERTY OWNERS.

16. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MANTENANCE AGREEMENT FOR THE ONCOMO PERMANENT BMP MANTENANCE, SATISFACTORY TO THE CITY ENOMETR

17. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHULL WCORPORTE ANY CONSTRUCTION BEST MANAGUENT PRACTICES NECESSARY TO COMPLY MITH CHAPTER 14. ARTICLE 2, DIVISION 1 (GRADING RECULATIONS) OF THE SAN DEGO MANIAPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

#### GRADING NOTES

1 ANY GRADING SHALL BE IN CONFORMANCE WITH CURRENT STANDARD, SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN, DIEGO WINICIPAL CODE

2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142,0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS

3 GRADED, DISTURBED, OR ERCOED AREAS THAT MIL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX. GROUND COVER, OR EQUIVALENT MATERIAL, SEE HYDROSEEDING NOTES (THIS SHEET) FOR MIX AND SPECIFICATIONS.

4 INTERIM BINDER NOTE: GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/ TACKIFIER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 1.

5. All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently revegetated and irrigated as shown in table 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411, ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF COMPETITION OF GRADING OR DISTURBANCE.

#### GROUND WATER DISCHARGE NOTES

1. ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2008-0002 NPDES CAG919002.

2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.

3 ALL GROWN WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2007-0034 NPDES NO CAG919001

DRAINAGE PLANS FOR: MOUSHEGIAN RESIDENCE



#### DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AN THE ENGINEER OF WORK FOR THIS PROJECT. THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAMINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

WNCENT L. SAMPO	R.C.E. NO. 44173	EXP. 06-30-17

UNCERSAMPOENGINFERING COM

L CLFTGRO W. LA MONTE, A REGISTERED GEOTECHNICAL ENGINEER W THE STATE OF CALIFORMA, PRINCIPALLY DONG BUSINESS IN THE FIELD OF APPLED SOL MECHANICS, HEREBY CERTIFY THAT A SAMPLING AND STUDY OF THE SOL CONDITIONS PREVILUENT WITHIN THIS STUE NA MORE BY ME OF UNDER WITH DEFENSION ON JUNIARY 23, 2017. ONE COMPLETE COPY OF THE SOLS REPORT COMPLED FROM THIS STUDY, WITH MY RECOMMENDATIONS, NAS BEEN SUBMITTED TO THE GOTOR OF COMPLED FROM THIS STUEY, WITH MY RECOMMENDATIONS PLANS BEEN SUBMITTED TO THE GOTOR OF COMPLET FROM THEORE, INTO REVENTED THESE GOTORIG PLANS MOD CERTIFY THAT THE RECOMMENDATIONS INCLUED IN THE SOLS REPORT FOR THIS PROJECT HAVE BEEN MENDROPICTION IN THE GOTOR MEDIATIONS INCLUED IN THE SOLS REPORT FOR THIS PROJECT HAVE REEN INCORPORATED IN THE GRADING PLANS AND SPECIFICATION

SIGNED: \_\_\_\_\_\_\_\_CLIFFORD W. LA MONTE, GE NO.: 10495

JOB NO.: #16 6792

C.W. LA MONTE COMPANY INC 4400 PALM AVENUE, SUITE B LA MESA, CALIFORNIA 91941 (619) 462-9859

#### OWNER/APPLICANT

MARK, HONGJUN, AND KIRK MOUSHEGIAN 12783 WA TERCETO, SAN DIEGO, CA 92130

### SITE ADDRESS

3953 3955 3957 9TH AVENUE SAN DIEGO CA 92103

#### TOPOGRAPHY SOURCE

SAMPO ENGINEERING 171 SAXONY ROAD, STE. 213 ENCINITAS, CA 92024 FIELD TOPOGRAPHY SURVEY DATE OF SURVEY: 1/04/2017

#### BENCHMARK

CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK, VERMONT STREET AND PENNSYLVANIA AVENUE BENCHMARK. NE DATUM: NGVD 29 ELEV. = 291.08 FT.

#### TOTAL DISTURBED AREA

0.16 AC

16

1-24-17

#### GRADING QUANTITIES

GRADED AREA	0.16 [ACRES]	MAX. CUT DEPTH 0.5 [FT]
CUT QUANTITIES	60 [CYD]	MAX CUT SLOPE RATIO (2:1MAX) N/A
FILL QUANTITIES	50 [CYD]	MAX. FILL DEPTH 0.5 [FT]
EXPORT	10 [CYD]	MAX FILL SLOPE RATIO (2:1MAX) N/A
REMEDIAL GRADING	107 [CYD]	MAX FILL SLOPE RATIO (2:1MAX) N/A
TRENCH GRADING	56 [CYD]	MAX FILL SLOPE RATIO (2: IMAX) N/A

THIS PROJECT PROPOSES TO IMPORT 14 CUBIC YARDS OF MATERIAL TO THIS STE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL STE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT

#### ASSESSORS PARCEL NUMBER

444-690-26

#### EXISTING LEGAL DESCRIPTION

LOT 10 EXCEPTING THEREFROM THE NORTH 16 FEET, AND ALL OF LOTS 8 AND 9 IN LOI TO EXCEPTING TIMETRAM THE NORTH TO FEEL, AND ALL OF LOIS ON MOST HE BLOCK TO OF STUDILLO AND CARRON'S ADDITION IN THE OTTY OF SAN DEGO, COUNT OF SAN DEGO, STATE OF CULTORNIA, ACCORDING TO MAP THEREOF NO 650, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 4, 1980.

#### SHEET INDEX

SHEET DESCRIPTION SHEET DESCRIPTION CIVIL TITLE SHEET DRAINAGE PLAN SHEET #/RANGE

#### PRIVATE WATER AND WASTEWATER\*

THE PRIVATE WATER SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALLEGRNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATI PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.





SOILS ENGINEER'S CERTIFICATE

SAMPO ENGINEERING INC. 171 SAXONY ROAD, STE. 213 ENCINITAS CA. 92024 (760) 436-0660 (760) 436-0659

#### WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO. STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PITS070112-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS
	CONSTRUCTION (GREENBOOK), 2012 EDITION
PITS070112-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICHICRKS CONSTRUCTION (MHITEBOOK), 2012 EDITION
PITS070112-04	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012 EDITION
PITS070112-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S
	CUSTOWARY STANDARD SPECIFICATIONS, 2010 EDITION
STANDARD DRAMINGS:	
LEGEND	SYMBOL



" GRAVEL ENERGY DISSIPATER









Understory 0 Č

Avenue 103 9th 921 , 3955 & 3957 9 San Diego, CA 9 3953, Se

Date Description 14049 Project number

Drawn by M.D. VS Checked by

> C101 **Civil Title Sheet**





CONSTRUCTION NOTES

- 1. EXISTING TOPOGRAPHY AND BOUNDARIES WAS PREPARED BY SAMPO ENGINEERING DATED 01/04/2017
- A POUCY OF TITLE INSTRUCTE WAS PREPARED BY FORLITY NATIONAL TITLE COMPANY ON 01/16/2014 AS ORDER WINDER 0003028-8925-501-00, NO EASSUBENTS WERE FOUND IN SAID TITLE REPORT, HOWEVER THE FOLLOWING WAS NOTED:

(b) THE OWNERSAN OF THE PROPERTY DOES NOT HAVE RIGHTS OF ACCESS TO OR FROM THE STREET, MIGHINY OR FREEMAY ABUTTING SAD PROPERTY WAS RECORDED ON 2/26/1945 MOK 1821, PACE 413, OF OFFICIAL RECORDS ALL CN-STE STORM DRAM, DRAMAGE SWILES, MO BUT ABELS ARE PRIVATE AND SHALL BE MANTANED BY THE PROPERTY OWNER.

- STORM WATER SHALL NOT BE ALLOWED TO POND ON SITE OR DRAIN TOWARD BUILDING FOUNDATIONS.
- 4. UTILITY LINES SERVING THE SUBJECT PROPERTY SHALL BE INSTALLED UNDERGROUND.
- 5. SEE SHEET 3 FOR TEMPORARY EROSION CONTROL MEASURES AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- 6. ALL WORK PROPOSED ON THIS PLAN IS ENTIRELY WITHIN TH ALL WAR HERESOL ON INS FLAN IS EVINELY WITH THE APPLICATES PROPERTY & FAN DISTINGTICS TO ADJOINT PROPERTIES 5 AND AND ADJOINT AND ADJOINT PROPERTIES TO ADJOINT PROPERTIES 5 AND ADJOINT ADJOINT AND ADJOINT PROPERTY OWNER MADY TO PROFESSION FROM A RESOLUTION FOR THE ADJOINT PROPERTY OWNER MADY AND SOUTHEAST ON THE ADJOINT PROPERTY OWNER MADY THE GRAVE AND SOUTHEAST ON THE ADJOINT PROPERTY OWNER MADY THE GRAVE AND FOR HERE ON THE ADJOINT PROPERTY OWNER MADY THE ADJOINT AND FOR THE ADJOINT PROPERTY OWNER MADY FOR THE FORCE TO THE OTTO THE ADJOINT PROPERTY OWNER MADY THE THE FORCE TO THE OTTO THE ADJOINT PROPERTY OWNER MADY FOR THE FORCE TO THE OTTO THE ADJOINT PROPERTY OWNER ADJOINT THE FORCE TO THE OTTO THE ADJOINT OF THE ADJOINT PROVIDED TO THE FORCE TO THE
- PROPOSED WALLS AND FOOTINGS SHALL NOT ENCROACH ONTO ADJACENT PROPERTY OR PUBLIC RIGHT OF WAY.
- CONORETE SIDEWALK AND PATIOS SHALL BE NOT BE LESS THAN 4" P.C.C. OVER 2" CLEAN SAND OVER RECOMPACTED NATIVE SUBGRADE SOIL, UNLESS OF CLEANINGED OTHERMISE BY THE SOIL ENGINEER. AND REISTORCEMENT PER SOIL ENGINEER.
- NEW AND EXISTING STORM DRAIN, SENER, WATER, AND UTILITY PIPING SHOWN HEREON IS APPROXIMATE. CONTRACTOR TO VERIEY PRIOR TO CONSTRUCTOR.
- 10. SOLID WALL STORM DRAIN PIPES SHALL NOT BE CONNECTED TO PERFORATED SUB-DRAIN PIPES.
- 11. ALL RERGATION PIPING SHALL BE CONSTRUCTED PER THE LANDSCAFE ARCHTECTS FLAN FRAGR TO THE POLINING OF CONCRETE AND LATING PAVERS. ALL PLAVIETS MITH RERGATION STATUSS FER THE LANDSCAF ARCHTECTS FLAN SHALL HAVE RERGATION LATERALS INSTRUMENT MITER FRAGR SALL SLEVE FRAGRAT HE FLANDSCAFE RERGATION LATERAL SCAFES THAT ALL RANGED PLAVIERS REPER TO LANDSCAFE ARCHTECTS FLAN FOR ADDITIONAL RECOMPLEXATIONS.
- ALL DRY UTILITIES SHOWN HEREON ARE APPROXIMATE AND SUBJECT TO CHANGE CONTRACTOR TO COORDINATE WITH SDG&E PRIOR TO CONSTRUCTION
- 13. CONTRACTOR TO LOCATE EXISTING SEVER LATERAL AND SANITARY SEVER MAIN AND VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL GRADING SHALL BE SUPERVISED BY A GEOTECHNICAL ENGINEER WHO SHALL SUBMIT A FINAL COMPACTION REPORT AT PROJECT COMPLETION.
- Building Foundations and Piers to be designed by the structural Engineer per the recommendation of the soil report.
- 16. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUNOFF ONTO THE EXISTING HILLSIDE AREAS.
- 17. NO ACCESS GATE SHALL SWING OPEN INTO THE RIGHT-OF-WAY.
- 1. VISIDUTY TRANSIES: NO OBSTRUCTIONS INCLUDING LINDSCAPING OR SOLD WILLS ON THE PROPERTY SHILL EVCEED 3' IN HEIGHT EVCEPT FOR A 2' PORTION OF SHARED FENCE ON THE SOUTH SDE OF THE PROPERTY INHON IS 6' TALL











	Gross Floor Are		
Area Name	Area		
covered area below Unit 201	569 SF		
Garage	752 SF		
Rear Deck	585 SF	located or	
Storage (all units)	113 SF		
Unit 101	1488 SF		
Unit 101 - phantom floor	452 SF		
Unit 102	322 SF		
Unit 201	1135 SF		
Unit 202	666 SF	includes n	
Unit 202 - phantom floor	133 SF		
Unit 203	523 SF	includes n	
Unit 203 - enclosed exterior balcony	53 SF		
Unit 203 - phantom floor	329 SF		
Unit 301	456 SF		
Grand total	7576 SF		

	Unit Breakdown (Living S		
Area Name	Area		
Unit 101	1488 SF		
Unit 102	322 SF		
Unit 201	1135 SF		
Unit 202	666 SF	includes r	
Unit 203	523 SF	includes r	
Unit 301	456 SF		
Grand total	4589 SF		



4 working\_lot coverage

rea	
Comments	
on 2nd Level at rear of site	2
mez bdrm level	
mez storage area	
14 Y 4	
Space Only)	
Comments	
mez bdrm level	
mez storage area	

Lot Coverage as shown = 3,121 sf

THE NO.	337 South Cedros Avenue, Suite J Solana Beach, CA 92075	office 858 436 7777	8
The Understory	7/3/2017 CALLEY and specification ment with the Solution of the second seco	an Diego, CA 92103	
No         Description           Image: Description of the second seco		Date 14049 TVS JLC nary process	Export Date: 4/25/2017 5.07:40 PM sheet_05. of <u>18</u>






































## **ATTACHMENT 8**



## **ATTACHMENT 8**





# **ATTACHMENT 8**

## PROJECT INFORMATION

Date: 2/17/17

Project Applicant/Cuner: HongJun, Mark, & Kirk Moushegian 12783 Via Terceto San Diego CA 92130 858-242-0802

Project Address: 3953, 3955, 3957 9th Ave San Diego, CA 92103

Total landscape area: (square feet) 1256 Project type: NewConstruction

Water supply type: City of San Diego

l agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Alm Beandy Londscope Contractor License # 96927 6/26/17 Applicant's signature: Date:

Notes:

l) No access gates shall swing open into the right-of-way.

 2.) Encroachment Maintenance Removal Agreement uill be required for the landscaping and irrigation within the right=of way.
 3.) Final landscape plan uill label utility lines and required minimum tree separation. 4.) All landscape and irrigation whall conform to the standards of the City-Nide Landscape Regualtions and the City of San Diego Land Development Manu

5.) Minimum Tree Separation Disatance Traffic Signals / Stop Signs: 20 Feet Underground Utility Structures: 10 Feet Driveway Entries: 10 Feet Intersections (intersecting arb lines of two streets: 25 Feet Sewer Lines: 10 Feet

6.) Irrigations An automatic, electrically controlled irrigations system shall be provided as required by LDC 1420403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, desease-resistant condition. The design of the system shall provide adequate support for the fegetation selected. Also, indicate the type(s) of irrigation system(s) proposed, E spray, drip, etc.

Also, indicate the type(s) of angular system, system of the owner for hite property. All required landscape areas shall be maintained by the owner for hite property. Landscape and irrigation areas in the public right-of-way shall be maintained by the owner of the property. Landscape direas shall be maintained free of debris and litter, and all plant material shall be maintained

10. Although not required by city code, the project is providing additional planting area on upper levels of the project. Subtotals for additional landscape area are provided by by floor. Square footage and points allocated are provided on plant list.

						Advanture:	Points	pairie.					
anaby	Birs.	Bolanical Norve	Cummun Mate	Catogor	Please Factor	tome	par	sarned	YVA				
		Front Yard			1			-		1.1			
1	59	Agane Blas Gane	Blase Calcar Agreen	h two	0.7	1.1	2	\$4	1211123	14			
11	69	Alce strata	CORAL ALOE	ion .	0.2	1.1	2	22	Bould State	22			
6	19	Extenses gittillara 'Una Mesor'	Gield Hens and Chicks	verty knur	01	1.	1	6	North Ser	6			
1	36*	Kagorstroemia incida 'ZUNI'	PETITE ORCHID CRAPEMYRTLE	moderate	0.5	1	50	- 50	8.6725	50	0.00		
14	10	Marxin exelects	STICKY MONKEY FLOWER	very low	6.1	1	1	14	18.17.94	14	10000		
1	19	Stipa tenuisiena	Mexican Feelner Grass	low	0.2	1	1	7	ACCOLUMN STR	7			
14	10	Verberas Siacina De La Metal	De La Mina Verbena	moderate	0.2	. 5	1.	94	100.079	14	1.1.1		
		Street Tree							Rentering		1.1.1		
2	24*	Arbetus unedo	STRAWBERRY TREE	kow	02	2	1.1		6.6835		12		
		Front Yard							198295	-	ALC: NO		
14	10	Mirsias aurantinesia	STICKY MONKEY FLOWER	VETY XIM	0.1	3	1	\$4	001224	14			
1	6.0	Agree The Glow	Blae Glow Ageve	\$3w	62.	3	2	84	1000	14			
11	59	Aice strutia	CORAL ALOE	tow	0.2	3	2	22	1000	22	1.16		
1	15.0	Alycgyne hungus 'Banta Citur'	SANTA CRUZ BLUE HIBISCUS	low	07	3	10	10	Concernant of	10			
6	19	Echevena gotilitara 'Ursa Minor'	Giant Hons and Chicks	very the	01	3	1	6	Swall-	6			
		Prevent Yard							1000000		10000		
2	5.0	Agove attenuata	SPINELESS AGAVE	low	0.2	4	2	4	100.000	4	122705		
4	50	Agave generalizes	Two-ficker of Agave	10w	02	4	2	. 8	1.1.2.0.5		10-10-10-01		
	15.0	Cytostoma calitategoides	Lavender Trampet Vine	moderate	0.5	4	10	90	100000	10	2016-015		
1	10	Stips terviterma	Mexican Festiver Grass	12w	62	4	1	7		7	1.15		
14	1.9	Verbena liatans De La Mina'	De La Misa Verbena	moderate	0.5	-4	1	\$4	100000	14			
		Courtyard							10000				
4	10	Anomone = Nyorida 'Honorino Jobert'	Horiorine Jobert Japanesa Anemone	moderate	0.5	6	1	4	1.40.005		4		
4	19	Dianela taxmarica Varingata	VARIEGATA FLAX LILY	moderate	0.5	5	1		1000		4		
.11	39	Azaea George I. Taber	George Taber Azama	moderate	0.5	5	2	2	105112		2		
6	14	Hauchera 'Cresse Bruke'	Crowe Bruker Coral Bells	moderate	0.5	5	1	6	120000		6		
5	10	Heuchera Plum Publing	PLUM PUDDING CORAL BELLS	moderato	0.5	5	1	5	10000				
60	nat	Oshiopogon japohicus	MONDO CIRASS	modenato	0.5	8		0	120000		0		
2	10	Parthenocumus Incuspitate	BOSTON NY	rrundecade	0.5	5	1	1	20205		7		
3	10	Pendemon heterophylus 'Marganta Dop'	Margarita Dcp Pensiemon	moderate	0.5	5	1	3	1999		2		
12	But	Zoysia tematota	Korman Grann	materate	0.5	5		0	1000		0		
1	30"	Asaba pendula	Weeping Mavtai	modecato	0.5	5	50	50	1000		50		
	-	Light Well	and the second s			-		-	The second				
2	6.0	Agave attonuata	SPINELESS AGAVE	kow/	0.2	6	2	4			Г	4	
4	50	Carosa macrocarga 'Boxwood Basuty'	Borneout Beauty Natal Plure	kaw	0.2	0	2		1/2/101		1000		
2	59	Ovetes bicolor	FORTNIGHT LELY	kow	02	6	2	4	Contraction of the		10000	4	
2	50	Euphortia candelatrum 'Vanegata'	Variegaled African Candelatiza	very low	01	6	2	4	THE ST		211	4	
		Light Well			1	-	- A	-	10000			0	
2	50	Agave attenuata	SPINELESS AGAVE	low .	02	7	2	4	10.000		10000	4	
4	5.0	Carissa macrocarpa 'Borwood Beauly'	Bouwood Beauty Natal Phen	Anw	02	7	2		1000		Kall		
2	60	Ovetes bicolor	FORTNICHT LILY	low	02	7	2	4	NUS ST		1600	4	
2	59	Esphorbia candelabrum "Variegata"	Variegated Alrican Candelatina	very low	0.1	7	2	4	13622		2109 Store	4	
-	-	Side Yard			-	<u> </u>	t i		1000		10	-	
3	50	Tracherospermum jasminoudes	STAR JASMINE	moderate	0.5		2	6	22	6	103.04		
15	59	Trachelospennum jaaminoiden	STAR JACKINE	moderato	0.5	6	2	36	36				
		Characteria calinicateria	Carpender Transat Vene	Transferrate	0.5		10		30				

		2nd Floor Balconies									N. S. SHERRY	100 A 100	1000	0.0
2	5.9	Phoensian 'Yallow Wave'	Yelow Wave Plax	moderate	0.5	10	2	4	122.2.3	4	1.000			
1	50	Buddein 'Bue City'	Sike Chip Bullerly Bush	moderater	0.5	10	2	2	177.53 A	2	100000			
	64	Coarotrus 'Diamond Heights'	Disessond Heights California Like	moderale	0.5	10	2	10	1000	10	1			
2	1 g	Digiplexis 'Itamination Figms'	Humination Flame Foxplove	moderate	0.5	10	1	2	12.051		1000		2	
3	59	Phonesen osokiansen Black Adder	Ellera Ander fLAX	moderate	0.5	10	2	6	1000	6	The second			
2	10	Salvia 'Love and Wishes'	Love and Wishes Salva	moderate	0.5	10	1	2	0.0131		1000	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	2	
4	10	Lantana camara "Carryva"	Canival Lantana	kow	02	10	1	4	1000			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	4	
4	10	Lantana montovidensis 'Lavendor Gwir?	Lavender Swirl Lantans	low	0.2	10	1	4	12.05			1000	4	
4	50	Nandina Obsession	Obsession Heavenly Bamboo	moderate	0.5	10	2		4.4.15				8	
_		2nd Floor Roof Dack							1.00/12			100	100	
3	10	Astelia chathamios x nervosa 'Silver Shadow'	Saver Shadow Astelia	moderate	0.5	11	1	3					3	
2	6.0	Berberis thutborgii 'Orange Rocket'	Orange Rocket Barberry	kow	02	11	2	4	12/2010				4	
6	10	Carex oshmensis "Evergok"	Evergoid Sedge	hayn	07	11	1	0	1.000			1000	6	
2	8.9	Cordyine Design a Line Burgandy	Design a Line langundy Condvine	moderate	0.5	11	2	4	-A 242	4	In the second			
2	50	Contyline Design-a-Line Burgandy	Design-e-Line Durguedy Cordyline	moderate	0.5	11	2	4	0.1.86			200	4	
1	15.9	Lagerstreams x Pette Orchof	2UNI CRAPEMYRTLE	Incherate	0.5	11	10	10	1000		A MORE AND	1000	10	
2	50	Mationia 'Soft Caresa'	Soft Caresa Mattori	kow	0.2	11	2	4	110.00	4	1.0	100		
1	50	Ristonia Soll Caress'	Soft Caress Manore	ana/	02	11	2	2	12.68	2				
8	59	Mahonia 'Soft Caress'	Soft Carges Mahory	kow	0.2	11	2	16	1.1.2013		12.10	20 3	16	
2	5.9	Photosett Tellow Wave	Yebow Wave Flax	rticclerate	0.5	12	1	4	1	4	1.000	100		
1	10	Rosemary officinais Chef's Chevot'	Chef's Choice Resemany	40w	0.2	11	1	1	12 66 67		1	100	1	
2	10	x Fatshedera lizer 'Argyo Star'	Angyo Star English ky	incherate	0.5	11	1	2	1000		Contraction of the second	States I	2	
		3rd Floor Roof Deck							1.7.1		10.000			
1	00	Coariothus 'Diamond Heights'	Diamond Heights California Lass	moderate	0.5	12	2	14	112102		100000		F	14
2	50	Phoneium Yellow Wave	Yestew Wave Flax	moderate	0.5	12	2	4	1.412.33	4	The second second		1000	
2	15 g	Lagerstroetna x 'Pette Orchuf	ZUNI CRAPEMYRTLE	moderate	0.5	12	10	20	Low million		100000		100	20
1	15 g	Lagerstroemia x 'Peter Orchid'	ZUNI CRAPEMYRTLE	moderate	0.5	12	10	10	1000	10	1.3.1.2			
4	14	Lantana camata 'Canvyaf	Canval Lantana	kna	5.0	12	1	4	22000	4	100000000			
11	10	Lantania montevadensis "Lavander New?	Lavendor Saul Lantana	8344	0.2	12	1	. 11	0.1123	11	1000140			
7	50	Nandina Firt	Flet Heavenly Bamboo	low	0.2	12	2	14	1		1.1.1			14
5	60	Phormium cookianum Black Addor	filack Addor ILAX	moderate	0.5	12	2	10	- 1/15				100	10
9	50	Podocerpus 'one Blue'	Icee Blue Yellow-Wood	moderate	0.5	12	2	18	Nonia 1				100	10
*****	1					1	1	91					-	
	*******		Points Achieved				Annahid		1					
reet Y	fard Plar	stang Area	the second s	and the second second				307	1					
-	ine Yard	Planting Area	NAME OF TAXABLE PARTY AND ADDRESS OF TAXABLE PARTY.					76						

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft, of each parking space. (If paim trees are used, one paim ( 8 ft, brown trunk height) is required within 15 ft, of each parking space.)

City of San Diego Development Services 1222 First Ave., MS-501 San Diego, CA 92101-4154 (619) 446-5000

VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]

Landscape Calculations Worksheet

Vehicular Use Areas (VUA)

Hydrozone # / Planting Description <sup>(a)</sup>	Plant Factor (PF)	Irrigation Method <sup>(b)</sup>	Irrigation Efficiency (IE) <sup>(C)</sup>	ETAF (PF/IE)	Landscape Area In Square Feet	ETAF x Area	Estimated Total Water Use (ETWU) <sup>(d)</sup>
Regular Landscape	Areas						
# 1, North Front Yard (RW)	.5	Drip	.9	.55	63	35	1010
# 2. Parkway Trees (RW)	.2	Drip	.9	.22	81	18	519
# 3, South Front Yard	.2	Drip	.9	.22	128	28	821
# 4, Outside Courtyard	.5	Drip	.9	.55	44	24	705
# 5, Courtyard	.5	Drip	.9	.55	135	74	2164
#6, West Light Well	.2	Drip	.9	.22	32	7	205
#7, East Light Well	.2	Drip	.9	.22	38	8	244
# 8. Driveway Fenceline	.5	Drip	.9	.55	210	116	3366
# 9, 2nd Floor Balcony	.5	Drip	.9	.55	43	24	689
# 10, 2nd Floor Front Deck	.5	Drip	.9	.55	50	28	801
# 11, 2nd Floor Rear Deck	.5	Drip	.9	.55	92	51	1474
# 12, 3rd Floor Roof Deck	.5	Drip	.9	.55	340	187	5449
#							

	Totals (A) 1256 (B) 599	17447				
Special Landscape Areas						
#	1.0					
#	1.0					
#	1.0					
#	1.0					
	Totals (C) 0 (D) 0	0				
	Estimated Total Water Use (ETWU) Total	17447				
Maximum Water Allowance (MAWA) <sup>(e)</sup>						
Irrigation Efficiency (IE) Average**						

\*\*Average Irrigation Efficiency for overall irrigation system shall meet or exceed 0.75 (total of all efficiency ratings divided by number of hydrozones).

ETAF CALCULATIONS

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas and 0.45 or below for non-residential areas. Provide Totals based on Information calculated in Worksheet above.

Regular Landscape Areas		Totals	All Landsca	ape Areas	Totals	
al ETAF x Area	(B) =	599	Total ETAF x Area	(B+D) =	599	
al Area	(A) =	1256	Total Area	(A+C) =	1256	
arage ETAF	(B) ÷ (A) =	.48	Site wide ETAF	(B+D) ÷ (A+C) =	.48	

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Landscape Calculations Worksheet Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. STREET YARD

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Planting Area Required: provide 40 sq. ft. per tree ( with no dimension le	ss than 5' )		A minimum 40 sq. ft. planting area shall be provided for all trees, with no di     At least one-half of the required planting points shall be achieved with trees	nension less than 5 ft.		The project design goal is to bring the nature back to a bustling urban
Plant Points Required	Plant Points Provided	Excess Points Provided	Planting Area Required [142.0404]	lanting Area Provided	Excess Area Provided	center. Plant selection and irrigation design support the sustainable design and build principals. As shown in the artistic rendering of the oreliminary
Total VUA: 2,995 sq. ft. x 0.05 = 150 points	159 points	9 points	Total Area 1.127 sq. ft. x 50%= 564 sq. ft. 45	sq. ft.	sq. ft.	design, the building structure opens to the street with cascading planting areas on the balconies and roof top contributing visually to the streetscape.
Points achieved through trees (at least half): 0 points			Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided	Therefore, these upper story planting areas count towards the required street yard area and points. Excess plant points in the street yard make up
VEHICULAR USE AREA (26,000 st) [142.0406 - 142.0407]			Total Area 1,127 sq. ft. x 0.05= 56 points 3	5 points	259 points	for the deficit in planning area per SDMC 142.0405 (a)(3).
Required Planting Area	Planting Area Provided	Excess Area Provided	Points achieved with trees: 50 points # Excess plan	t points to make up	the plating area deficit	
VUA inside Street Yard:sq. ft. x 0.05 ≈sq. ft.	sq. ft.	sq. ft.	Planting Area allowable as hardscape or unattached unit pavers [142.0405(b)(1)(B)]	Provided	1	
VUA outside Street Yard:sq. ft. x 0.03 =sq. ft.	sq. ft.	sq. ft.	Total Area sq. ft. x 10%= sq. ft.	sq. ft.		
Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)	REMAINING YARD - 2 Dwelling Units			
VUA inside Street Yard: sq. ft. x 0.05 = points	points	points	Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)	
VUA outside Street Yard:sq. ft. x 0.03 =points	points	points	60 points in the remaining yard	points	Points	A State of the second second second
TEMPORARY VEHICULAR USE AREA [142.0408]		. 2011	REMAINING YARD - 3 or more Dwolling Units			
Required Planting Area	Planting Area Provided	]	Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)	
Right-of-Way adjacent to VUA:ft. x 3 ft. =sq. ft.	sq. ft.		60 points x 1 # of buildings 76	points	50 Points	Addulta enderlega (filosiga concept
Provide planting area between Public Right-of-Way and VUA.     Plant with evergreen shrubs.     Shrubs must achieve a minimum height of 30° within 2 years of installa     ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENT     If any of the requirements of Landscape Regulations, Section 142.0405	5		VEHICULAR USE AREA (VUA) - See separate worksheet (DS-5) ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS If any of the requirements of Landscape Regulations, Section 142 0405 (a) 1, summary explaining how requirements are non met.	2. or 3 apply to your proj	ect, provide a written	
summary explaining how requirements are being met.						
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www.beaudrydesign.com						John Beaudry L -2.2

Design Statement

VEHICULAR USE AREA (≥6,000 st) [142.0406 - 142.0407]			Total Area 1,127 sq. ft. x 0.05= 56 points	315 points	259 points		lanning area per SDMC 142.040	
Required Planting Area	Planting Area Provided	Excess Area Provided		plant points to make up	the plating area deficit.			and the second of
VUA inside Street Yard:sq. ft. x 0.05 =sq. ft.	sq. ft.	sq. ft.	Planting Area allowable as hardscape or	Provided	1	E Share		
VUA outside Street Yard: sq. ft. x 0.03 = sq. ft.	sq. ft.	sq. ft.	unattached unit pavers [142.0405(b)(1)(B)] Total Area sg. ft. x 10%= sg. ft.	Artestation and a second				
Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)	Total Area sq. fl. x 10%= sq. fl.	sq. ft,				and the second s
VUA inside Street Yard:sq. ft. x 0.05 =points	points	points	Plant Points Required	Plant Points Provided	Points Achieved with		Sal Prover	
VUA outside Street Yard: sq. fl. x 0.03 = points	points	points	60 points in the remaining yard	points	trees (at least 50%) Points			
TEMPORARY VEHICULAR USE AREA [142.0408]			REMAINING YARD - 3 or more Dwelling Units				A Parental A	
Required Planting Area	Planting Area Provided	<b>п</b> – Г	Plant Points Required	Plant Points Provided	Points Achieved with	Can		MI STATE
Length of Public Right-of-Way adjacent to VUA; fl. x 3 fl. = sq. fl.	sq. ft.		60 points x 1 # of buildings	76 points	trees (at least 50%) 50 Points	Arthat's rendering of design conce		
Plant with evergreen shrubs.     Shrubs must achieve a minimum height of 30" within 2 years of install.     ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENT     If any of the requirements of Landscape Regulations, Section 142.0405 summary explaining how requirements are band met.	S		ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS If any of the requirements of Landscape Regulations, Section 142 0405 summary explaining how requirements are being met.	a) 1, 2. or 3 apply to your proj	ect, provide a written			
Printed on recycled paper. Visit our web site at www Upon request, this information is available in alterna	sandiego.gov/development-se ive formats for persons with dr	ervices sabilities	Printed on recycled paper. Visit our web site at www. Upon recuest, this information is available in alternat	sandiego.gov/development-si	ervices			
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Tota Tota Ave UITE 110, SAN DIEGO, CA 92123 • (858) 5 www.sandlegocounty.gov/pds/ PAGE 2 of 2 PDS-405 (Rev. 03/25/16)

County of San Diego, PDS, Zoning Division WATER EFFICIENT LANDSCAPE WORKSHEET REFERENCE EVAPOTRANSPIRATION (ETo) 47 vdrozo

a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the condition of the permit, 8.) A minimum root zone of 40 sf in area shall be provided for all trees. The minimum dimension for the area shall be 5 feet, per SDMC 1420403(b)
 9.) All plant beds shall be mulched with 3<sup>d</sup> shredded bark mulch.