



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: January 31, 2018 REPORT NO. HO-18-011

HEARING DATE: February 7, 2018

SUBJECT: Bremerton Residence - SDP. Process Three Decision.

PROJECT NUMBER: [549333](#)

OWNER/APPLICANT: Dostart Family Trust, Owner
Joseph Reid, IS Architecture, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of a one-story, single dwelling and construction of a two-story, single dwelling located at 3115 Bremerton Place within the La Jolla Community Planning area?

Staff Recommendation: Approve Site Development Permit No. 1931752.

Community Planning Group Recommendation: On September 7, 2017, the La Jolla Community Planning Association voted 16-0-1 to recommend approval of the proposed project without recommendations.

La Jolla Shores Advisory Board: On July 17, 2017, the La Jolla Shores Advisory Board voted 4-0-2 to recommend approval of the proposed project without recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 (Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 22, 2018, and the opportunity to appeal that determination ends February 5, 2018.

BACKGROUND/DISCUSSION

The 0.345-acre site contains an existing single dwelling built in 1960 and is located east of La Jolla Scenic Way, at 3115 Bremerton Place (Attachments 1-3). The site is designated for Very Low Density Residential uses within the La Jolla Community Plan and is within the SF-Zone of the La Jolla Shores Planned District, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones. The surrounding properties are fully developed and form a well-established single dwelling residential neighborhood. The subject property was determined to be ineligible for historic designation.

The proposal includes the demolition of the existing dwelling and the construction of a two-story, 5,103-square-foot single dwelling with attached two-car garage. A Site Development Permit is required by San Diego Municipal Code Section 151.0201(c) for major development within the La Jolla Shores Planned District. The project site contains Environmentally Sensitive Lands (ESLs) in the form of Steep Hillides as defined by the San Diego Municipal Code. The proposed development on the property, however, is limited to previously disturbed areas and therefore does not encroach into ESL. The proposed demolition and construction will occur westward of existing site retaining walls that serve as a buffer between development and ESL. A Site Development Permit is not required for ESL.

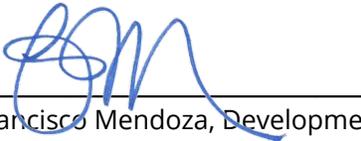
As required by the La Jolla Shores Planned District, a neighborhood survey of the existing development pattern and bulk and scale was submitted for the analysis of the project. The proposed dwelling was found to be in general conformity with setbacks and bulk and scale as required by the La Jolla Shores Planned District Ordinance SF Zone, and meets all other applicable regulations and is consistent with all policy documents.

Staff supports a determination that the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site pursuant to the adopted La Jolla Community Plan, San Diego Municipal Code, and the General Plan. Staff has prepared draft findings and draft conditions of approval, and recommends approval of the project as proposed.

ALTERNATIVES

1. Approve Site Development Permit No. 1931752, with modifications.
2. Deny Site Development Permit No. 1931752, if the findings required to approve the project cannot be affirmed.

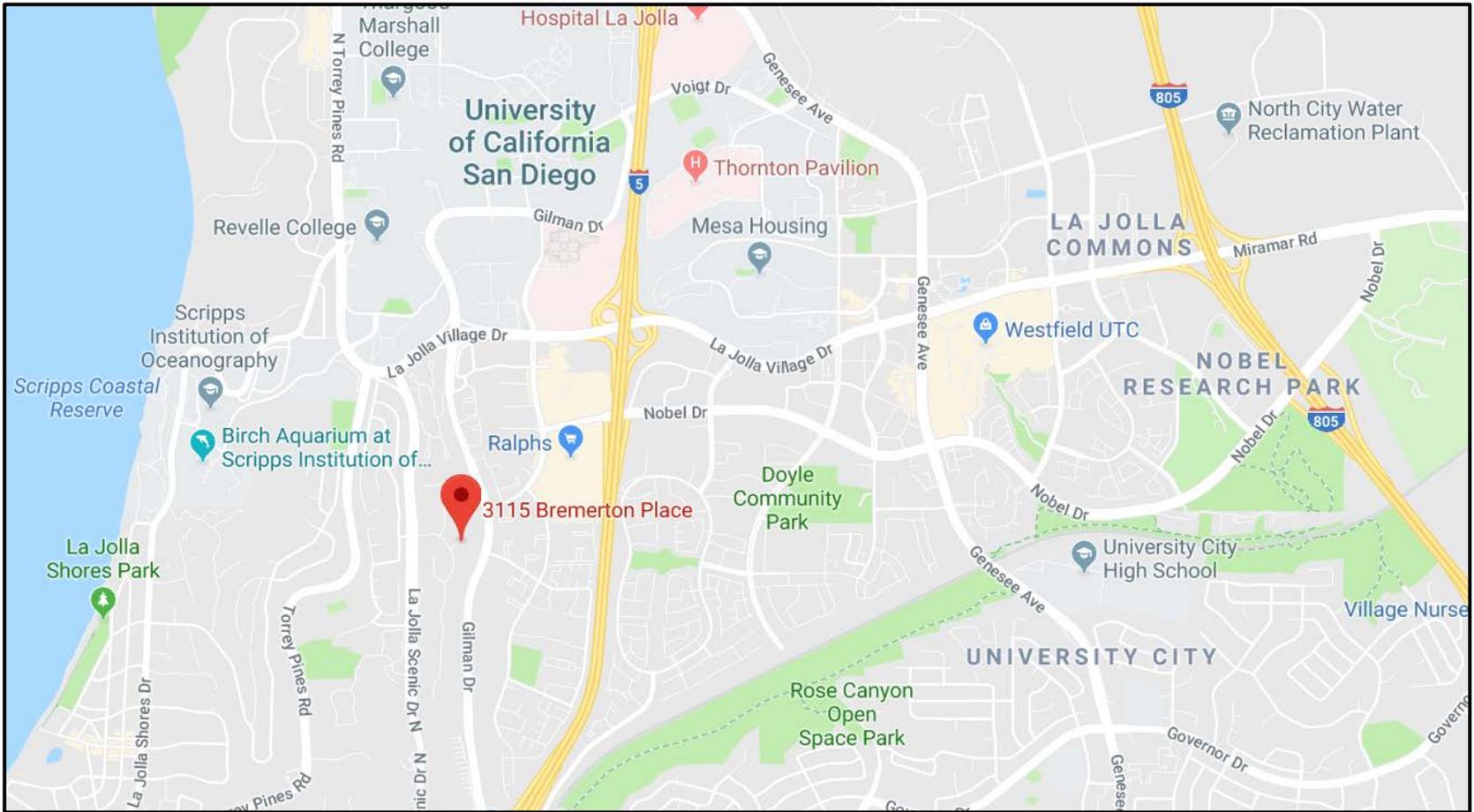
Respectfully submitted,



Francisco Mendoza, Development Project Manager

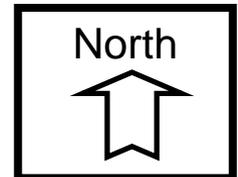
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendations
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

Bremerton Residence - SDP / 3155 Bremerton Place
PROJECT NO. 549333

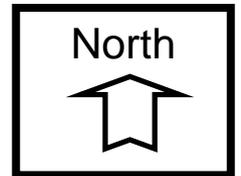


United States, CA, San Diego
La Jolla Heights



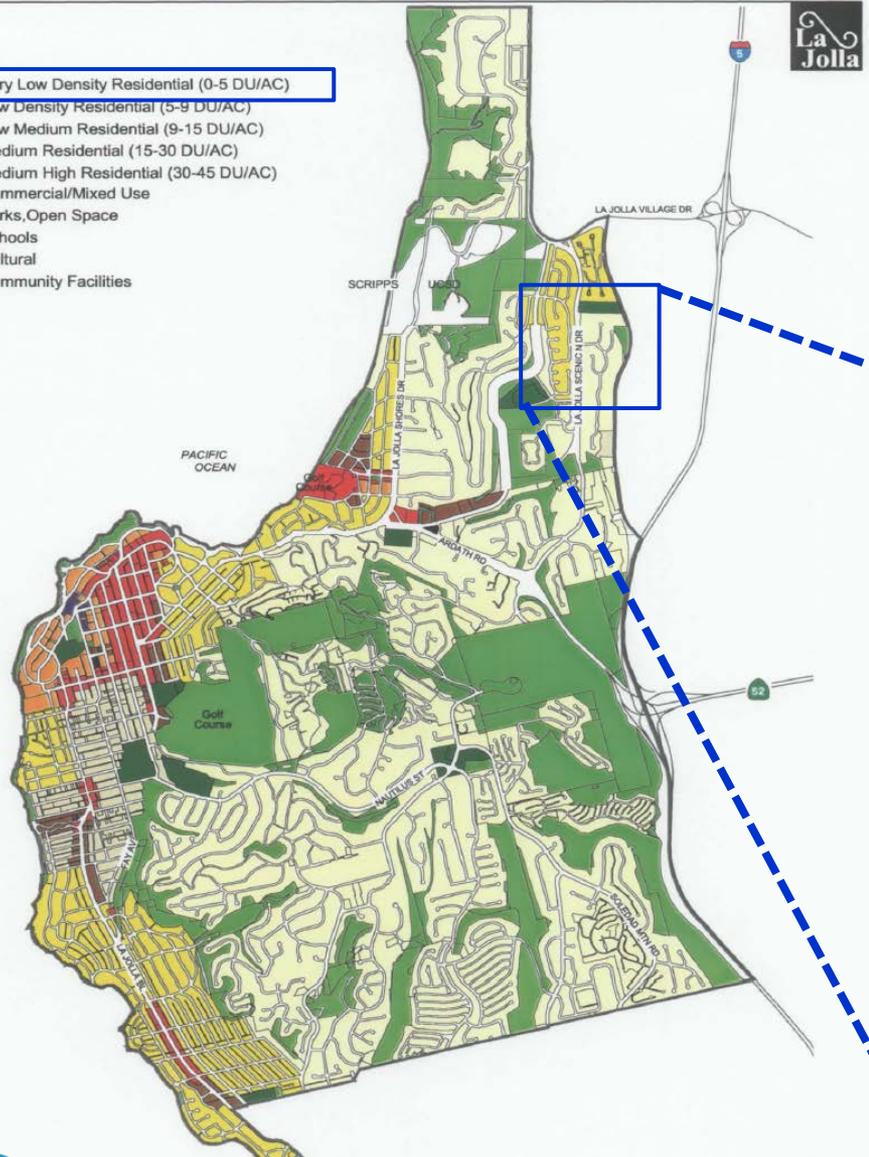
Aerial Photograph

Bremerton Residence - SDP / 3155 Bremerton Place
PROJECT NO. 549333

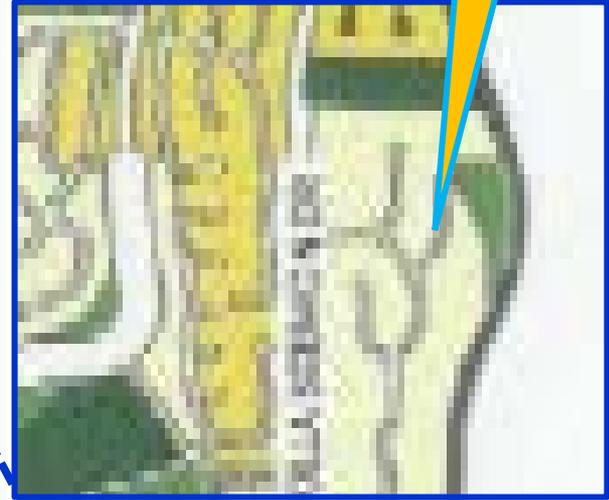


Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

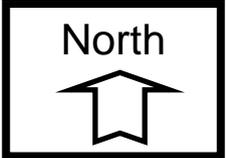


Project Site



Land Use Map

Bremerton Residence - SDP / 3155 Bremerton Place
PROJECT NO. 549333



HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. 1931752
BREMERTON RESIDENCE - PROJECT NO. 549333

WHEREAS, the DOSTART FAMILY TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a single dwelling unit and construct a two-story, 5,103-square-foot single dwelling unit with an attached two-car garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1931752), on portions of a 0.345-acre property;

WHEREAS, the project site is located at 3115 Bremerton Place, in the SF Zone of the La Jolla Shores Planned District, the Coastal Height Limitation and Parking Impact Overlay Zones within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as, Lot 30, La Jolla Scenic Heights, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4382, filed in the office of the County Recorder of San Diego County, October 29, 1959;

WHEREAS, on January 22, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000, et seq.) under CEQA Guideline Sections 15301(Existing Facilities) and 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 7, 2018, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1931752, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 7, 2018.

Site Development Permit - Municipal Code Section 126.0505

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes to demolish an existing single dwelling unit and construct a new 5,103-square-foot, two-story, single dwelling unit with an attached two-car garage in approximately the same location on the lot as the existing structure. The proposed project is located in an area identified as Very Low Density (0-5 DU/acre) Residential within the La Jolla Community Plan (LJCP). The construction of one residential unit on the 0.345-acre property results in a density of 2.9 du/ac, consistent with the land use designation and density. The Bremerton Place street frontage will remain with improved public right-of-way. Project development will

be fully contained within the existing legal lot area. Based on a submitted neighborhood survey of the existing development pattern, bulk and scale comparisons, the proposed single dwelling unit was found to be in general conformity of setbacks, bulk and scale as encouraged by the LJCP. The proposed single dwelling unit was found consistent with the SF Zone of the La Jolla Shores Planned District development regulations, allowed density and design recommendations. Thus, this single residential dwelling unit redevelopment will not adversely affect the La Jolla Community land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District. The project is one dwelling unit replacing an existing dwelling unit and thus will not have any impact on the provision of essential public services. The Bremerton Place street frontage will be improved with a dedication of 2.875 feet and a City standard sidewalk, which will benefit public safety. The permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to building permit issuance to determine the development of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure development is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed demolition of an existing single dwelling unit and construction of a new 5,103-square-foot, two-story, single dwelling unit with an attached two-car garage, will comply with the development regulations of the SF Zone of the La Jolla Shores Planned District. Based on a submitted neighborhood survey of the existing development pattern, bulk and scale comparisons, the proposed single dwelling unit was found to be in general conformity of setbacks, bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance's SF Zone. The project site contains Environmentally Sensitive Lands (ESLs) in the form of Steep Hillside as defined by the San Diego Municipal Code (SDMC). The proposed development on the property, however, is limited to previously disturbed areas and therefore does not encroach into ESL. The proposed demolition and construction will occur westward of existing site retaining walls that serve as a buffer between development and ESL. Therefore, the proposed project is exempt from ESL regulations.

There are no proposed variances or deviations to the development regulations of the Land Development Code. City staff reviewed the building setbacks, drainage, lot coverage, building mass, building height, landscaping, public views, public access, and found that the

project will comply with all of the required development regulations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1931752, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1931752, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on: February 7, 2018

IO#: 24007278

fm 7-17-17

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007278

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1931752
BREMERTON RESIDENCE - PROJECT NO. 549333
HEARING OFFICER

This Site Development Permit No. 1931752 (Permit) is granted by the Hearing Officer of the City of San Diego to the DOSTART FAMILY TRUST, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 151.0201(c). The 0.345-acre site is located at 3115 Bremerton Place, in the SF Zone of the La Jolla Shores Planned District and within the La Jolla Community Plan area. The project site is legally described as: Lot 30, La Jolla Scenic Heights, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4382, filed in the office of the County Recorder of San Diego County, October 29, 1959;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for demolition of the existing single dwelling and construction of a new, two-story, single dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 7, 2018, on file in the Development Services Department.

The project shall include:

- a. Demolition of existing single dwelling and construction of a two-story, single dwelling totaling 5,103 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Existing site walls, retaining walls, fences and patio area; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 23, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

10. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 144 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains in the Bremerton Place Right-of-Way.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 12-foot wide driveway, adjacent to the site on Bremerton Place, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Bremerton Place, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional 2.875 feet on Bremerton Place to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.
19. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Owner/Permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

26. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 7, 2018, by Resolution No. _____.

ATTACHMENT 5

Site Development Permit No. 1931752
Date of Approval: February 7, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Francisco Mendoza
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

DOSTART FAMILY TRUST
Owner/Permittee

By _____
Paul J. Dostart,
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: January 22, 2018

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007278

PROJECT NAME / NUMBER: Bremerton Residence/ 549333

COMMUNITY PLAN AREA: La Jolla Community Plan

COUNCIL DISTRICT: 1

LOCATION: 3115 Bremerton Place, La Jolla CA, 92037

PROJECT DESCRIPTION: Site Development Permit (SDP) for the demolition an existing 2,681 square foot single story residence and the construction of a new 5,103 square foot two story residence with an attached two car garage and covered patio. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with the public utilities in place to serve the proposed structure. The 15,007 square foot site is located within the Single Family (LJSPD-SF) zone of the La Jolla Shores Planned District within the La Jolla Community Plan. Also, it is within the Coastal Height Overlay Zone and Parking Impact Overlay Zone.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorical Exemption Section 15301 (Existing Facilities) and 15303 (New Construction)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego, Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review and determined that since the project would be located within a previously developed site lacking sensitive resources that environmental impacts would not occur. Therefore, the project would qualify to be categorically exempt from CEQA pursuant to Sections 15301 (Existing Facilities) which allows for the demolition of single-family residences and 15303(b)(New Construction) which allows for the construction of single family residential structures where the exceptions listed in CEQA Section 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER: Glenn Gargas
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 446-5142 / ggargas@sandiego.gov

On January 22, 2018 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice and therefore the appeal would end on February 5, 2018. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



La Jolla Community Planning Association

Date: September 18, 2017

To: *Gaetano Martedi*

Cc: *Joseph Reid*

RE: Dostart Residence---LICPA Vote 16-0-1

On *September 7, 2017* at the Regular Meeting of the La Jolla Community Planning Association (LICPA) Trustees reviewed the Dostart Residence as an Action item on the Consent Agenda.

10.8 Project # 54933 (Process 3) Site Development Permit for the demolition of an existing 2,681 sq. ft. single story, single family home and construction of a new 5,103 sq. ft. two-story single family residence with an attached garage and covered rear patio on a 15,007 sq. ft. lot.

PRC Motion: Findings can be made for the Site Development Permit (SDP) and Coastal Development Permit (CDP) for project #549333. 5-0-2/

The LICPA voted on consent to accept the recommendation of the PRC.

Sincerely,

Helen Boyden, Vice President

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: - PTS 549333 - Bremerton Residence CDP/SDP - ACTION ITEM

Item: C

Date: 7/17/17

Presenter: Joseph Reid, jreid@isarchitecture.com, (858) 456-8555

Address: 3115 Bremerton Place

Description:

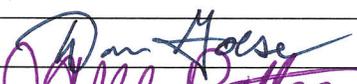
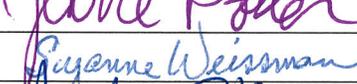
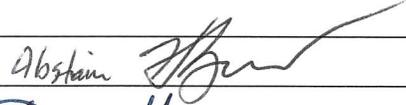
Proposal to demolish existing 2,681 sf single-story home and construct a new 5,103 sf two-story home with attached two-car garage and covered patio on a 15,007 sf lot.

Recommendation:

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only _____

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Andrea Moser		
Herbert Lazerow		

Absentees:



Chairperson



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 BREMERTON RESIDENCE **549333**

Project Address:
 3115 BREMERTON PLACE, LA JOLLA, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No *← SPOUSES →*

Name of Individual (type or print): PAUL J. DOSTART
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 3115 BREMERTON PL
 City/State/Zip: LA JOLLA CA 92037
 Phone No: 858 922-5701 Fax No: 858 623-4299
 Signature: *Paul J. Dostart* Date: _____

Name of Individual (type or print): JOYCE S. DOSTART
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 3115 BREMERTON PL
 City/State/Zip: LA JOLLA CA 92037
 Phone No: 858-455-5553 Fax No: 858 623-4299
 Signature: *Joyce S. Dostart* Date: _____

~~Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____~~

~~Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____~~

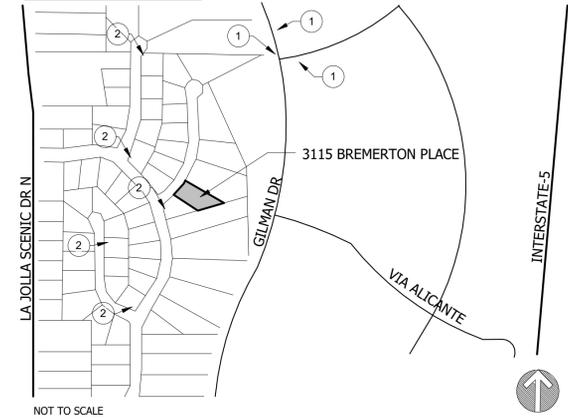
BREMERTON RESIDENCE

**3115 BREMERTON PLACE
LA JOLLA, CA 92037**

KEYNOTES

- ① BUS STOP LOCATIONS:
(NORTHBOUND) GILMAN DRIVE & VILLA LA JOLLA DRIVE
(SOUTHBOUND) GILMAN DRIVE & VILLA LA JOLLA DRIVE
(EASTBOUND) VILLA LA JOLLA DRIVE & GILMAN DRIVE
- ② FIRE HYDRANT LOCATIONS:
8601 KILBOURN DRIVE
8641 KILBOURN DRIVE
(EAST SIDE) CORNER OF BREMERTON PL & SUGARMAN DR
3169 BREMERTON PLACE
3084 CRANBROOK CT
3048 CRANBROOK CT

VICINITY MAP



NOT TO SCALE



DRAWING SHEET INDEX

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A0-03	PROJECT NOTES
A0-04	PUBLIC NOTICING
TS1	TOPOGRAPHIC SURVEY
A1-01	DEMOLITION PLAN
A1-02	SITE PLAN
A2-01	FIRST FLOOR PLAN
A2-02	SECOND FLOOR PLAN
A2-03	ROOF PLAN
A3-01	EXTERIOR ELEVATION
A3-02	EXTERIOR ELEVATION
A4-01	SITE SECTIONS
A4-02	BUILDING SECTIONS
A4-03	BUILDING SECTIONS
C1.0	CIVIL SITE PLAN
C2.0	GRADING PLAN
L-1	CONCEPT PLAN
L-2	LANDSCAPE AREA DIAGRAM
L-3	HYDROZONE PLANS AND CALCULATIONS
Grand total: 20	

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IONE R. STIEGLER, FAIA

5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V: 858.456.8555 F: 858.456.8566
www.isarchitecture.com

LICENSED ARCHITECT
IONE R. STIEGLER
NO. C19425
REN 10/31/14
STATE OF CALIFORNIA

DIGITALLY SIGNED BY IONE R. STIEGLER

IS ARCHITECTURE EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF IS ARCHITECTURE.

BREMERTON PLACE

3115 BREMERTON PLACE
LA JOLLA, CA 92037

REVISIONS

NO.	NAME	DATE

PROJECT NUMBER
2015.30

PROJ. MNGR. JMR	DRAWN MPH
--------------------	--------------

ISSUE DATE
12/12/2017

COVER SHEET

A0-01

PROJECT DIRECTORY

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LA JOLLA, CA 92037
V: 858.455.5553
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E: joycedostart@gmail.com

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E: nick@delorenzo-intl.com

**SITE DEVELOPMENT PERMIT
PTS: 549333**

ABBREVIATIONS

@	AT	GA	GAUGE	QT	QUARRY TILE
#	NUMBER/POUND	GALV	GALVANIZED	R	RISER/RADIUS
AB	ANCHOR BOLT	GB	GYPSUM BOARD	RA	RETURN AIR
ABC	AGGREGATE BASE COURSE	GC	GENERAL CONTRACTOR	RB	RUBBER BASE
AC	ASPHALT CONCRETE / AIR CONDITIONING	GI	GALVANIZED IRON	RCP	REFLECTED CEILING PLAIN
AD	ACCESS DOOR / AREA DRAIN	GL	GLASS / GLAZING	RD	ROOF DRAIN
ADD	ADDENDUM OR ADDITION	GLB	GLU-LAM BEAM	RE	REFER / REFERENCE
ADJ	ADJACENT / ADJUSTABLE	GR	GRADE	REFL	REFLECTED / REFLECTIVE
AEFF	ABOVE EXISTING FINISH FLOOR	GYP	GYPSUM	REINF	REINFORCING
AFF	ABOVE FINISHED FLOOR	GYPBD	GYPSUM WALLBOARD	REQD	REQUIRED
ALT	ALTERNATE	HB	HOSE BIB	RESIL	RESILIENT
ALUM	ALUMINUM	HC	HOLLOW CORE	RET	RETAINING
ANOD	ANODIZED	H CONC	HARDENED CONCRETE	REV	REVISION / REVISED
ARCH	ARCHITECT(URAL)	HDCP	HANDICAPPED	S/F	RAISED FLOOR
ASPH	ASPHALT	HDR	HEADER	RFG	ROOFING
AT	ACOUSTICAL TILE	HDWD	HARDWOOD	RM	ROOM
AV	AUDIO VISUAL	HDWR	HARDWARE	RO	ROUGH OPENING
		HM	HOLLOW METAL	ROW	RIGHT OF WAY
BD	BOARD	HORIZ	HORIZONTAL	R T DPL	RECESSED TRASH DISPOSAL
BFC	BELOW FINISH CEILING	HR	HOUR	R TOW D	RECESSED TOWEL DISPENSER
BLDG	BUILDING	HT	HEIGHT	SAC	SUSPENDED ACOUSTICAL CEILING
BLK(G)	BLOCK(ING)	HTG	HEATING	SAT	SUSPENDED ACOUSTICAL TILE
BM	BEAM	HVAC	HEATING, VENTILATION, AIR CONDITIONING	SB	SPLASH BLOCK
B.M.	BENCH MARK	HW	HOT WATER	SC	SOLID CORE
B.O.	BOTTOM OF	HWH	HOT WATER HEATER	SCHED	SCHEDULE
BOC	BOTTOM OF CONCRETE	HZ	HORIZONTAL	S CONC	SEALED CONCRETE
BOT	BOTTOM	ID	INSIDE DIAMETER	SD	STORM DRAIN
BTWN	BETWEEN	IN	INCH	SECT	SECTION
BRG	BEARING	INCL	INCLUDED	SF	SQUARE FEET
BUR	BUILT-UP ROOF(ING)	INSUL	INSULATION/INSULATING	SHT	SHEET
		INT	INTERIOR	SIM	SIMILAR
CMU	CONCRETE BLOCK	INV	INVERT	SND	SANITARY NAPKIN DISPENSER
CER	CERAMIC	JAN	JANITOR	SNDPL	SANITARY NAPKIN DISPOSAL
CHAN	CHANNEL	JST	JOIST	SPECS	SPECIFICATIONS
CI	CAST IRON	JT	JOINT	SQ	SQUARE
CIP	CAST IN PLACE	KIT	KITCHEN	SS	STAINLESS STEEL
CI	CONTROL JOINT	KJ	KEYED JOINT	S/S	SERVICE SINK
CL	CENTERLINE	KO	KNOCKOUT	STAGG	STAGGERED
CLG	CEILING	LAM	LAMINATE(D)	STD	STANDARD
CO	CLEAN OUT	LAV	LAVATORY	STL	STEEL
COORD	COORDINATE	LH	LEFT HAND	STRUC	STRUCTURAL
COR	CORRIDOR	LL	LIVE LOAD	SUSP	SUSPENDING
CLOS	CLOSET	LLH	LONG LEG HORIZONTAL	SYM	SYMMETRICAL
CLD	CLEAR	LLV	LONG LEG VERTICAL	SYST	SYSTEM
CMP	CORRUGATED METAL PIPE	LP	LOW POINT	T	TREAD
CMU	CONCRETE MASONRY UNIT	LQ	LIGHTWEIGHT CONCRETE	T&B	TOP AND BOTTOM
COL	COLUMN	LWC	MASONRY	T&G	TONGUE AND GROOVE
CONC	CONCRETE	MAS	MASONRY	TBD	TO BE DETERMINED
CONN	CONNECTION	MATL	MATERIAL	TD	TRASH DISPOSAL
CONST	CONSTRUCTION	MAX	MAXIMUM	TEL	TELEPHONE
CONT	CONTINUOUS	MECH	MECHANICAL	TEMP	TEMPERED
CONTR	CONTRACTOR	MEM	MEMBRANE	THK	THICK
CPT/C	CARPET	MFR	MANUFACTURER	TI	TENANT IMPROVEMENT
CS	COUNTERSUNK	MH	MAN HOLE	TJ	TOOLED JOINT
CT	CERAMIC TILE	MIN	MINIMUM	TLT	TOILET
CTR	CENTER	MISC	MISCELLANEOUS	TN	TOE NAILED
		MO	MASONRY OPENING	TOC	TOP OF CONCRETE
DBL	DOUBLE	MTD	MOUNTED	TOM	TOP OF MASONRY
DET	DETAIL	MTL	METAL	TOS	TOP OF STEEL
DF	DRINKING FOUNTAIN	N	NORTH	TOW	TOP OF WALL
DIA	DIAMETER	NA	NOT APPLICABLE	TWL D	TOWEL DISPENSER
DIAG	DIAGONAL	NIC	NOT IN CONTRACT	TWL DPL	TOWEL DISPOSAL
DIFF	DIFFUSER	NGM	NOMINAL	TRANS	TRANSFORMER/TRANSVERSE
DIM	DIMENSION	N-COM	NON-COMBUSTIBLE	TYP	TYPICAL
DL	DEAD LOAD	NTS	NOT TO SCALE	UBC	UNIFORM BUILDING CODE
DN	DOWN	OC	ON CENTER	UL	UNDERWRITER'S LABORATORY
DP	DAMP PROOFING	OD	OVERFLOW DRAIN / OUTSIDE DIAMETER	UNO	UNLESS NOTED OTHERWISE
DR	DOOR	OFOI	OWNER FURNISHED OWNER INSTALLED	UTIL	UTILITY
DS	DOWN SPOUT	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	VB	VAPOR BARRIER
DTL	DETAIL	OH	OPPOSITE HAND	VCT	VINYL COMPOSITION TILE
DWG	DRAWING	OPNG	OPENING	VENT	VENTILATOR/VENTILATION
DWR	DRAWER	OPP	OPPOSITE	VERT	VERTICAL
		OVHD	OVERHEAD	VIF	VERIFY IN FIELD
(E)	EXISTING	PART	PARTITION	VR	VAPOR RETARDER
EA	EACH	PARTBD	PARTICLE BOARD	VT	VERTICAL
EB	EXPANSION BOLT	PC	PRECAST CONCRETE	VIF	VERIFY IN FIELD
EC	EXPOSED CONSTRUCTION	PD	PLANTER DRAIN	VR	VAPOR RETARDER
EJ	EXPANSION JOINT	PERP	PERPENDICULAR	VT	VERTICAL
EL	ELEVATION	PIP	PIPED IN PLACE	VTR	VENT THROUGH ROOF
ELEC	ELECTRICAL	PL	PLATE	VWC	VINYL WALL COVERING
ELEV	ELEVATOR	PLAM	PLASTIC LAMINATE	W	WITH
EMER	EMERGENCY	PLAS	PLASTER	W/O	WITHOUT
ENC	ENCLOSURE	PLAST	PLASTIC	WC	WATER CLOSET
EQ	ELECTRICAL PANEL	PLYWD	PLYWOOD	WD	WOOD
EQ	EQUAL	PNL	PANEL	WDW	WINDOW
EQUIP	EQUIPMENT	PR	PAIR	WR	WATER HEATER
EXP	EXPANSION	PSF	POUNDS PER SQUARE FOOT	WF	WALL FABRIC
EXST	EXISTING	PSI	POUNDS PER SQUARE INCH	WP	WATERPROOFING
EXT	EXTERIOR	PFC	FIRE EXTINGUISHER CABINET	WPJ	WEAKENED PLANE JOINT
		FF	FINISH FLOOR	WR	WATER RESISTANT
FA	FRESH AIR	FG	FINISH GRADE	WT	WEIGHT
FB	FLAT BAR	FHC	FIRE HOSE CABINET	WWF	WELDED WIRE FABRIC
FD	FLOOR DRAIN	FIN	FINISHED	WWM	WELDED WIRE MESH
FDN	FOUNDATION	FLR	FLOOR(ING)		
FEC	FIRE EXTINGUISHER CABINET	FLUOR	FLUORESCENT		
FF	FINISH FLOOR	FO	FINISHED OPENING / FACE OF		
FG	FINISH GRADE	FOC	FACE OF CONCRETE		
FHC	FIRE HOSE CABINET	FOM	FACE OF MASONRY		
FIN	FINISHED	FOW	FACE OF WALL		
FLR	FLOOR(ING)	FP	FIREPROOF		
FLUOR	FLUORESCENT				
FO	FINISHED OPENING / FACE OF				
FOC	FACE OF CONCRETE				
FOM	FACE OF MASONRY				
FOW	FACE OF WALL				
FP	FIREPROOF				

SYMBOLS LEGEND

	DOOR NUMBER		WINDOW TYPE
	NORTH ARROW		SECTION INDICATOR
	DETAIL INDICATOR		LEVEL
	REVISION CLOUD		SPOT ELEVATION
	STRUCTURAL GRID		REVISION NUMBER
			ROOM TAG

OVERLAY ZONES

- STRUCTURAL OBSERVATION
- AIRPORT INFLUENCE AREA (AIA)
- (CUPD) FACILITY-DEFICIENT NEIGHBORHOODS
- CLAIREMONT MESA HEIGHT LIMIT
- COASTAL HEIGHT LIMIT
 - CITY
 - STATE
- COASTAL:
 - A
 - B
- COMMUNITY PLAN IMPLEMENTATION:
 - A
 - B
- FIRE BRUSH ZONES 300 FOOT BUFFER
- FIRE HAZARD SEVERITY ZONE
 - FIRST PUBLIC ROAD-WAY
 - MISSION TRAILS DESIGN DISTRICT
 - MOBILE HOME PARK
 - PARKING IMPACT
 - PRIME INDUSTRIAL LAND
 - RESIDENTIAL TANDEM PARKING
 - SENSITIVE COASTAL
 - TRANSIT AREA
 - URBAN VILLAGE
 - NO OVERLAY ZONES

SPECIAL INSPECTION & OFFSITE FABRICATION

SPECIAL INSPECTION: YES NO

SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:
 NAILING, BOLTING AND ANCHORING WHEN ROOF, FLOOR, OR WALL SHEATHING FASTENER SPACING IS 4" O.C. OR CLOSER.

REFER TO SHEET S2 FOR "SPECIAL INSPECTION PROGRAM".

- A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
 - OFF-SITE FABRICATION: YES NO
 - A. OFF-SITE FABRICATION OF TWO STEEL BEAMS
- AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
- A CERTIFICATION OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.
- THE SPECIAL INSPECTOR MUST BE APPROVED BY THE CITY OF SAN DIEGO.
- THE TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN DIEGO.
- A PROPERTY OWNER'S FINAL REPORT OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OF RECORD, ARCHITECT OF RECORD, OR ENGINEER OF RECORD AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
- AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
- THE SPECIAL INSPECTIONS IDENTIFIED ARE IN ADDITION TO THOSE REQUIRED BY SEC. 108 OF THE BUILDING CODE AS AMENDED. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR INSPECTION BY A CITY INSPECTOR.

STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION: YES NO

AUTOMATIC FIRE SPRINKLER SYSTEM

- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, INSTALLED IN ACCORDANCE WITH NFPA 13D OR CRC SECTION R313, IS REQUIRED IN ALL ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES, INCLUDING WITHIN CARPORTS WITH HABITABLE SPACE ABOVE AND ATTACHED GARAGES.
- THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED.
- THE FIRE SPRINKLER WILL BE SERVED THROUGH THE DOMESTIC WATER SERVICE, MAXIMUM GALLONS PER MINUTE (GPM) 43.
- FIRE SERVICE WET TAP - NOT APPLICABLE.
- TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING/ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT:

OWNER SIGNATURE: _____

BASIS FOR STRUCTURAL DESIGN

DESIGN LOADS:			
DESIGN DEAD LOAD:	ROOF 22	FLOOR	14
DESIGN LIVE LOAD:	ROOF 20	FLOOR	40
TOTAL LOAD:	ROOF 42	FLOOR	54
EXTERIOR WALL (STUCCO)		16 PSF	
INTERIOR WALL		7 PSF	
SEISMIC CRITERIA:			
SEISMIC DESIGN CATEGORY:		D	
SEISMIC IMPORTANCE FACTOR:		1.0	
OCCUPANCY CATEGORY:		II	
SITE CLASS		D	
DESIGN WIND:			
EXPOSURE CATEGORY		B	

FOUNDATIONS / SOILS CRITERIA:

- EXPANSION INDEX HAS BEEN DETERMINED TO BE GREATER THAN 20 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER HAVE BEEN INCORPORATED INTO THESE PLANS.
- AS A LICENSED ARCHITECT/ENGINEER, I HAVE CLASSIFIED THE UNDISTURBED NATIVE SOILS TO BE CL, ML, MH, & CH AND PER TABLE 1804.2 OF THE 2013 CBC I HAVE ASSIGNED A FOUNDATION PRESSURE OF 1,500 PSE FOR THE DESIGN OF THE FOUNDATION RELATED TO THIS PROJECT:
 - SIGNATURE: _____ LICENSED ARCHITECT LICENSED ENGINEER

- THE STRUCTURE WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGICAL INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.
 - SIGNATURE: _____ OWNER LICENSED ARCHITECT LICENSED ENGINEER

GENERAL PROJECT NOTES

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87(UFC/CFC SEC. 8701).
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (UFC/CFC SEC. 901.4.4, FHPS POLICY P-00-6).
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION. (CAL CODE REGS., TIT. 19, SEC. 3.08, 3.21, UFC/CFC SEC. 2501.5.)
- ALL REQUIRED APPROVALS MUST BE OBTAINED FROM THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THE BUILDING IS OCCUPIED.
- PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS, AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THIS EQUIPMENT IS INSTALLED.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO BUILDING ELEVATION SHEETS FOR BUILDING HEIGHT DOCUMENTATION.

CITY OF S.D. GENERAL NOTES

- "NOTICE TO THE APPLICANT / OWNER'S AGENT / ARCHITECT OR ENGINEER OF RECORD: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES."
- "NOTICE TO THE CONTRACTOR / BUILDER / INSTALLER SUB-CONTRACTOR / OWNER-BUILDER: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING, AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES."

ENVIRONMENTALLY SENSITIVE LANDS

- CHECK IF PROPOSED SITE IS ON OR ADJACENT TO:
- SENSITIVE BIOLOGICAL RESOURCES
 - COASTAL BEACHES
 - STEEP HILLSIDES
 - SENSITIVE COASTAL BLUFFS
 - 100 YEAR FLOODPLAIN

PROJECT DATA

PROJECT NAME:	BREMERTON RESIDENCE
PROJECT ADDRESS:	3115 BREMERTON PLACE LA JOLLA, CA 92037
HISTORIC:	NO - POTENTIALLY HISTORIC
U.R.M.	NO
DATE BUILT:	1960
BASE ZONE:	LJSPD - SF
COMMUNITY PLAN:	LA JOLLA SHORES
GEOLOGICAL HAZARDS:	52, 25
EARTHQUAKE BUFFER:	YES
FLOOD FEMA:	NO
MAP NUMBER:	439
BLOCK NUMBER:	-
LOT NUMBER:	30
A.P.N.:	346-782-02-00

LEGAL DESCRIPTION

LOT 30 OF LA JOLLA SCENIC HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 4382, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 29 1959.

PROJECT DESCRIPTION

DEMOLISH EXISTING 2, 681 SQFT ONE-STORY SINGLE FAMILY HOME AND CONSTRUCT A NEW 5, 103 SQFT TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED TWO-CAR GARAGE AND COVERED REAR PATIO ON A 15, 007 SQFT LOT.

SCOPE OF WORK

FIRST FLOOR: TWO CAR GARAGE, LIVING, DINING, KITCHEN, OFFICE, LAUNDRY, STORAGE, POWDER, TWO BEDROOMS, TWO BATHS, COVERED PORCH, AND COVERED PATIO.

SECOND FLOOR: TWO BEDROOMS, TWO BATHS.

FLOOR AREA ANALYSIS

LOT SIZE:	15, 007 SQ. FT.
EXISTING F.A.R.:	.18
NEW F.A.R.:	.34
LOT COVERAGE:	34%

NOTE: FLOOR AREA RATIO IS NOT REGULATED BY THE LA JOLLA SHORES PLANNED DISTRICT. STATED FAR IS FOR INFORMATIONAL PURPOSES ONLY

SQUARE FOOTAGE

	EXISTING	NEW TOTAL
FIRST FLOOR	2,175	3,461
SECOND FLOOR	0	1,018
GARAGE	506	624
TOTAL	2,681 SQ. FT.	5,103 SQ. FT.

PORCH: 105 SQ. FT.
COVERED PATIO: 754 SQ. FT.

BUILDING SETBACKS

OBSERVING ESTABLISHED SETBACKS FROM ORIGINAL STRUCTURE:
 FRONT 20'-0"
 SIDE NORTH 8'-10"
 SIDE SOUTH 8'-11"
 FRONT PORCH ENCROACHES 6'-0" INTO FRONT YARD SETBACK

BUILDING CODE DATA

TYPE OF CONSTRUCTION:	TYPE V-B	SPRINKLERED: YES
OCCUPANCY CLASSIFICATION:	R-3	
NUMBER OF STORIES:	2	
BUILDING HEIGHT:	24'-10 1/4"	
GOVERNING CODES:	CALIFORNIA BUILDING CODE	2016 EDITION
	CALIFORNIA RESIDENTIAL CODE	2016 EDITION
	CALIFORNIA ELECTRICAL CODE	2016 EDITION
	CALIFORNIA ENERGY CODE	2016 EDITION
	CALIFORNIA FIRE CODE	2016 EDITION
	CALIFORNIA MECHANICAL CODE	2016 EDITION
	CALIFORNIA PLUMBING CODE	2016 EDITION
	CALIFORNIA HISTORIC BLDG. CODE	2016 EDITION
	CALIFORNIA EXISTING BLDG. CODE	2016 EDITION
	CALIFORNIA GREEN BLDG. STANDARD	2016 EDITION
	SAN DIEGO LAND DEVELOPMENT CODE	2000+
REQUIRED APPROVALS:	SITE DEVELOPMENT	

CITY OF S.D. STEEL FABRICATOR NOTES

- FABRICATOR MUST BE REGISTERED AND APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES FOR THE FABRICATION OF MEMBERS AND ASSEMBLIES ON THE PREMISES OF THE FABRICATOR'S SHOP.
- FABRICATOR SHALL SUBMIT AN "APPLICATION TO PERFORM OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO THE COMMENCEMENT OF FABRICATION.
- FABRICATOR SHALL SUBMIT A "CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF FABRICATED ITEMS AND ASSEMBLIES.

IS ARCHITECTURE
 JONE R. STIEGLER, FAIA

5649 LA JOLLA BLVD. LA JOLLA, CA 92037
 V. 858.456.8555 F. 858.456.8566
 www.isarchitecture.com

LICENSED ARCHITECT
 JONE R. STIEGLER
 NO. C19425
 REN 10/31/16
 STATE OF CALIFORNIA

DIGITALLY SIGNED BY JONE R. STIEGLER

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BREMERTON PLACE
3115 BREMERTON PLACE
LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER 2015.30	
PROJ. MNGR. JMR	DRAWN JMR
ISSUE DATE 12/12/2017	

PROJECT NOTES

A0-03

2016 - CAL-GREEN BUILDING GENERAL NOTES

- LAVATORY FAUCETS: PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE.
- SHOWER HEADS: PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE.
- PER 2016 CGBSC SEC 4.303.1.3.2 WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME; HAND HELD SHOWERS ARE CONSIDERED SHOWER HEADS.
- TOILETS: PROVIDE TOILETS WITH A MAXIMUM OF 1.28 GALLONS PER FLUSH.
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2016 CGBSC SEC. 4.303.1.
- PER 2016 CGBSC SEC. 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
- PER 2016 GREEN CODE SEC 4.506.1, MECHANICAL AND EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
- PER SECTION 4.406.1, JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- PER SECTION 4.408.1 AND CITY ORDINANCE, A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE.
- PER SECTION 4.504.1, DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- PER 2016 GREEN CODE SEC. 4.5.03.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION, LIMITS WHERE APPLICABLE. WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- PER SECTION 4.410.1, BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH.
- THE MANUAL SHOULD INCLUDE, IN ADDITION TO OTHER ASPECTS, THE FOLLOWING:
 - DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
 - ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 - LANDSCAPE IRRIGATION SYSTEMS
 - WATER RE-USE SYSTEMS
 - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
 - PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 - EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS.
- INFORMATION ABOUT WATER-CONSERVATION LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
- INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
- INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING BUT NOT LIMITED TO CAULKING, PAINTING, AND MAINTAINING PROPER GRADE AROUND THE BUILDING.
- INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
- A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
- A COPY OF A COMPLETE OPERATIONS AND MAINTENANCE MANUAL AS OUTLINED IN THE NOTES ABOVE WILL BE DELIVERED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
- AN OWNER MANUAL CERTIFICATE SHOULD BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED/RECEIVED TO THE BUILDING OWNER. A COPY OF THE CERTIFICATION FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- PER SECTION 4.504.2.2 AND TABLE 4.504.3, PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- PER SEC 4.504.2.1 ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- PER SECTION 4.504.2.2 AND TABLE 4.504.3, AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.
- A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES, COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE.
- PER SECTION 4.504.3, CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR, SUBCONTRACTOR, AND/OR THE BUILDING OWNER CERTIFYING THAT THE MATERIAL USED COMPLIES WITH THE CALIFORNIA GREEN BUILDING CODE.
- EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
 - PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOL PROGRAM.
 - CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
 - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
- PER SECTION 4.504.5 AND TABLE 4.504.5, HARDWOOD PLYWOOD, PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND COMPOSITE WOOD USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD.
- A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD/PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER.
- VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS. SHOW ONE OF THE FOLLOWING METHODS ON THE PLANS:
 - 4 INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH ADDRESS BLEEDING, SHRINKAGE, AND CURING SHALL BE USED. (ACI 302.2 R-02)
 - A SLAB DESIGN BY A LICENSED DESIGN PROFESSIONAL. (SEC 4.505.2.1)

<p>City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000</p>	<p>Storm Water Requirements Applicability Checklist</p>	<p>FORM DS-560 OCTOBER 2016</p>
	<p>Project Address: 3115 Bremerton Place, La Jolla, CA 92037</p> <p>Project Number (for City Use Only): 549333</p>	<p>SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.</p> <p>For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.</p> <p>PART A: Determine Construction Phase Storm Water Requirements.</p> <ol style="list-style-type: none"> Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.) <input type="checkbox"/> Yes; SWPPP required, skip questions 2-4 <input checked="" type="checkbox"/> No; next question Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and contact with storm water runoff? <input checked="" type="checkbox"/> Yes; WPCP required, skip 3-4 <input type="checkbox"/> No; next question Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement) <input type="checkbox"/> Yes; WPCP required, skip 4 <input type="checkbox"/> No; next question Does the project only include the following Permit types listed below? <ul style="list-style-type: none"> Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit. Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service. Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. <input type="checkbox"/> Yes; no document required <p>Check one of the boxes below, and continue to PART B:</p> <p><input type="checkbox"/> If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B</p> <p><input checked="" type="checkbox"/> If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.</p> <p><input type="checkbox"/> If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.</p>
<p>1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml</p> <p>Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities.</p>		

<p>Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist</p> <p>PART B: Determine Construction Site Priority This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.</p> <p>Complete PART B and continued to Section 2</p> <ol style="list-style-type: none"> <input type="checkbox"/> ASBS a. Projects located in the ASBS watershed. <input type="checkbox"/> High Priority a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed. b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed. <input type="checkbox"/> Medium Priority a. Projects 1 acre or more but not subject to an ASBS or high priority designation. b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed. <input checked="" type="checkbox"/> Low Priority a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation. <p>SECTION 2. Permanent Storm Water BMP Requirements. Additional information for determining the requirements is found in the Storm Water Standards Manual.</p> <p>PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redeveloping projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.</p> <p>If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".</p> <p>If "no" is checked for all of the numbers in Part C continue to Part D.</p> <ol style="list-style-type: none"> Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 	<p>Clear Page 2</p>
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<p>City of San Diego • Development Services • Storm Water Requirements Applicability Checklist Page 3 of 4</p> <p>PART D: PDP Exempt Requirements. PDP Exempt projects are required to implement site design and source control BMPs.</p> <p>If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."</p> <p>If "no" was checked for all questions in Part D, continue to Part E.</p> <ol style="list-style-type: none"> Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that: <ul style="list-style-type: none"> Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or; Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or; Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? <input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; next question Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual? <input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; project not exempt. <p>PART E: Determine if Project is a Priority Development Project (PDP). Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).</p> <p>If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project".</p> <p>If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project".</p> <ol style="list-style-type: none"> New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 	<p>Clear Page 3</p>
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<p>Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist</p> <ol style="list-style-type: none"> New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No New development or redevelopment projects of a retail gasoline outlet (RGO) that creates and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <p>PART F: Select the appropriate category based on the outcomes of PART C through PART E.</p> <ol style="list-style-type: none"> The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS. <input type="checkbox"/> The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. <input checked="" type="checkbox"/> The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. <input type="checkbox"/> The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management <input type="checkbox"/> <p>Joseph M Reid - IS Architecture Project Manager - Agent Name of Owner or Agent (Please Print) Title Signature 12/5/2017 Date</p>	<p>Clear Page 4 Clear Form</p>
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BREMERTON PLACE
3115 BREMERTON PLACE
LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER
2015.30
PROJ. MNGR. DRAWN
JMR MPH
ISSUE DATE
12/12/2017

PUBLIC NOTICING

A0-04

300' RADIUS SITE BOUNDARY
PROJECT APN: 346-782-02-00



- LIST OF APN'S THAT FALL WITHIN 300' RADIUS OF SITE
- 346-771-19-00 8558 SUGARMAN DR.
 - 346-773-04-00 8611 KILBOURN DR.
 - 346-773-05-00 8601 KILBOURN DR.
 - 346-773-06-00 8551 SUGARMAN DR.
 - 346-773-07-00 3120 BREMERTON PL.
 - 346-773-08-00 3140 BREMERTON PL.
 - 346-773-09-00 3154 BREMERTON PL.
 - 346-773-10-00 3166 BREMERTON PL.
 - 346-773-15-00 3157 BREMERTON PL.
 - 346-773-16-00 3143 BREMERTON PL.
 - 346-781-01-00 8550 SUGARMAN DR.
 - 346-781-02-00 8542 SUGARMAN DR.
 - 346-781-03-00 8534 SUGARMAN DR.
 - 346-781-04-00 8526 SUGARMAN DR.
 - 346-782-01-00 3129 BREMERTON PL.
 - 346-782-03-00 8543 SUGARMAN DR.
 - 346-782-04-00 8533 SUGARMAN DR.
 - 346-782-05-00 8527 SUGARMAN DR.
 - 346-782-06-00 8519 SUGARMAN DR.

SETBACK SURVEY									
APN	ADDRESS	CITY	STATE	ZIP CODE	FRONT YARD SETBACK	SIDE YARD SETBACK	REAR YARD SETBACK	LOT SIZE	HOUSE SIZE
346-771-19-00	8558 SUGARMAN DR	LA JOLLA	CA	92037	20'-0"	8'-0"	25'-0"	10,000 SQ.FT.	2,030 SQ.FT.
346-773-04-00	8611 KILBOURN DR	LA JOLLA	CA	92037	18'-0"	11'-0"	18'-0"	11,100 SQ.FT.	3,070 SQ.FT.
346-773-05-00	8601 KILBOURN DR	LA JOLLA	CA	92037	20'-0"	11'-0"	18'-0"	12,100 SQ.FT.	2,195 SQ.FT.
346-773-06-00	8551 SUGARMAN DR	LA JOLLA	CA	92037	15'-0"	7'-0"	16'-2"	11,100 SQ.FT.	5,366 SQ.FT.
346-773-07-00	3120 BREMERTON PL	LA JOLLA	CA	92037	20'-0"	7'-0"	53'-6"	11,200 SQ.FT.	2,203 SQ.FT.
346-773-08-00	3140 BREMERTON PL	LA JOLLA	CA	92037	20'-0"	10'-0"	67'-6"	10,900 SQ.FT.	1,676 SQ.FT.
346-773-09-00	3154 BREMERTON PL	LA JOLLA	CA	92037	20'-0"	10'-0"	41'-8"	11,100 SQ.FT.	2,158 SQ.FT.
346-773-10-00	3166 BREMERTON PL	LA JOLLA	CA	92037	20'-0"	10'-0"	42'-6"	10,800 SQ.FT.	1,676 SQ.FT.
346-773-15-00	3157 BREMERTON PL	LA JOLLA	CA	92037	20'-0"	8'-0"	54'-0"	14,400 SQ.FT.	2,789 SQ.FT.
346-773-16-00	3143 BREMERTON PL	LA JOLLA	CA	92037	20'-0"	8'-0"	97'-0"	27,300 SQ.FT.	2,195 SQ.FT.
346-781-01-00	8550 SUGARMAN DR	LA JOLLA	CA	92037	18'-0"	8'-0"	40'-0"	10,300 SQ.FT.	1,676 SQ.FT.
346-781-02-00	8542 SUGARMAN DR	LA JOLLA	CA	92037	16'-6"	7'-0"	40'-0"	10,300 SQ.FT.	2,195 SQ.FT.
346-781-03-00	8534 SUGARMAN DR	LA JOLLA	CA	92037	16'-0"	7'-0"	45'-0"	11,100 SQ.FT.	1,676 SQ.FT.
346-781-04-00	8526 SUGARMAN DR	LA JOLLA	CA	92037	20'-0"	7'-0"	75'-0"	10,600 SQ.FT.	1,676 SQ.FT.
346-782-01-00	3129 BREMERTON PL	LA JOLLA	CA	92037	20'-0"	7'-0"	98'-0"	33,300 SQ.FT.	3,396 SQ.FT.
346-782-03-00	8543 SUGARMAN DR	LA JOLLA	CA	92037	17'-0"	12'-0"	32'-0"	10,300 SQ.FT.	1,778 SQ.FT.
346-782-04-00	8533 SUGARMAN DR	LA JOLLA	CA	92037	20'-0"	12'-0"	OVER 100'-0"	34,700 SQ.FT.	2,759 SQ.FT.
346-782-05-00	8527 SUGARMAN DR	LA JOLLA	CA	92037	20'-0"	10'-0"	OVER 100'-0"	52,800 SQ.FT.	2,519 SQ.FT.
346-782-06-00	8519 SUGARMAN DR	LA JOLLA	CA	92037	20'-0"	9'-0"	OVER 100'-0"	38,900 SQ.FT.	3,018 SQ.FT.





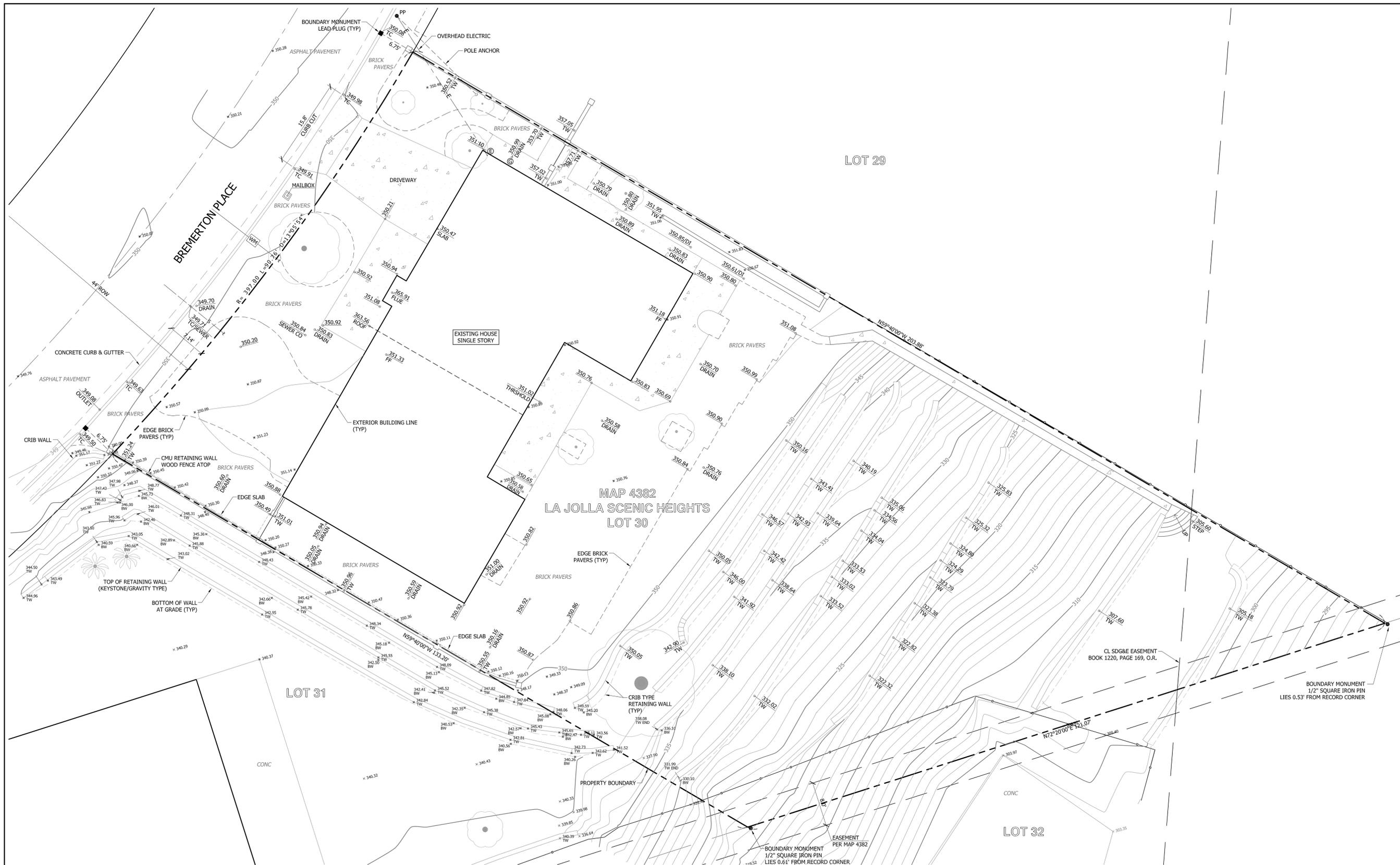
METROPOLITAN MAPPING
3712 30TH STREET
SAN DIEGO, CA 92104
(619) 431-5250
metromap.sd@gmail.com

REVISIONS:

TOPOGRAPHIC SURVEY
DOSTART RESIDENCE
3115 BREMERTON PLCE
LA JOLLA, CA 92037

REVISED: 01/24/17
ADDED ADJACENT
RETAINING WALL
& GRADES
SURVEY DATE
FEBRUARY 3, 2016
MAP/DRAWING DATE
FEBRUARY 8, 2016
SCALE: 1/8"=1'-0"
DRAWN BY: VF
JOB No:

SHEET TITLE:
TOPOGRAPHIC
SURVEY
TS1



PROPERTY LEGAL DESCRIPTION
LOT 30, MAP 4382 (LA JOLLA SCENIC HEIGHTS)

ASSESSORS PARCEL NUMBER
346-782-02

BASIS OF ELEVATIONS
CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB (NEBP)
LOCATION: NORTHEAST CORNER OF SUGARMAN DRIVE & NOTTINGHAM PLACE
DATUM: MEAN SEA LEVEL
ELEVATION: 406.55 FEET

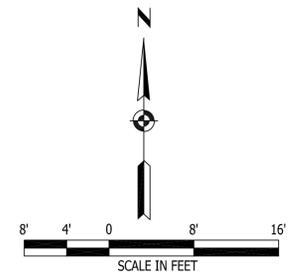
NOTE
THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEPICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

ABBREVIATIONS	
AP	ANGLE POINT
BLDG	BUILDING
BW	BOTTOM OF WALL
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
DI	DRAIN INLET
EL	ELEVATION
FL	FINISHED FLOOR
FL	FLOWLINE
GB	GRADE BREAK
GRND	GROUND
MH	MANHOLE
PP	UTILITY POLE
(R)	RADIAL BEARING
ROW	RIGHT OF WAY
TC	TOP OF CURB
TYP	TYPICAL
WM	WATER METER
WV	WATER VALVE

LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	EASEMENT
	EDGE OF CONCRETE
	EDGE OF BRICK
	WOOD FENCE
	CHAIN-LINK FENCE
	CURB & GUTTER
	CMU WALL
	GRAVITY RETAINING WALL
	CONCRETE SURFACE
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
	(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)
	SPOT ELEVATION
	TREE (TRUNK DRAWN TO SCALE)



KEYNOTES - DEMOLITION

- 1 REMOVE EXISTING CONCRETE DRIVEWAY.
- 2 REMOVE BRICK PAVING.
- 3 REMOVE EXISTING WALKWAYS.
- 4 REMOVE EXISTING GATES AND FENCES.
- 5 EXISTING RETAINING WALL SHALL REMAIN.
- 6 EXISTING RETAINING WALL SHALL BE REMOVED.
- 7 EXISTING SLUMP STONE FENCE WALL SHALL REMAIN.
- 8 REMOVE EXISTING FENCE.
- 9 EXISTING TURF AND LANDSCAPING SHALL BE REMOVED.
- 10 EXISTING LANDSCAPING SHALL REMAIN.
- 11 EXISTING PLANTER WALL SHALL REMAIN.

GENERAL NOTES - DEMOLITION

1. THE CONTRACTOR SHALL PROVIDE FINISHED AND STRUCTURALLY SOUND TERMINATIONS AT DEMOLISHED AREAS. ALL ABANDONED EXISTING UTILITIES SHOULD BE PROPERLY CAPPED OFF.
2. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITY SERVICES, DIMENSIONS AND ELEVATIONS PRIOR TO STARTING DEMOLITION. SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
3. CONTRACTOR IS RESPONSIBLE TO PROTECT THE BUILDING AND BUILDING SITE DURING CONSTRUCTION TO AVOID INTRUSION BY UNAUTHORIZED PEOPLE, BIRDS, RODENTS AND PESTS.
4. CONTRACTOR TO PROVIDE PROTECTION AT ALL POTENTIAL FALLING HAZARDS DURING CONSTRUCTION PERIOD.

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BREMERTON PLACE

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 LA JOLLA, CA 92037

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NO.	NAME	DATE

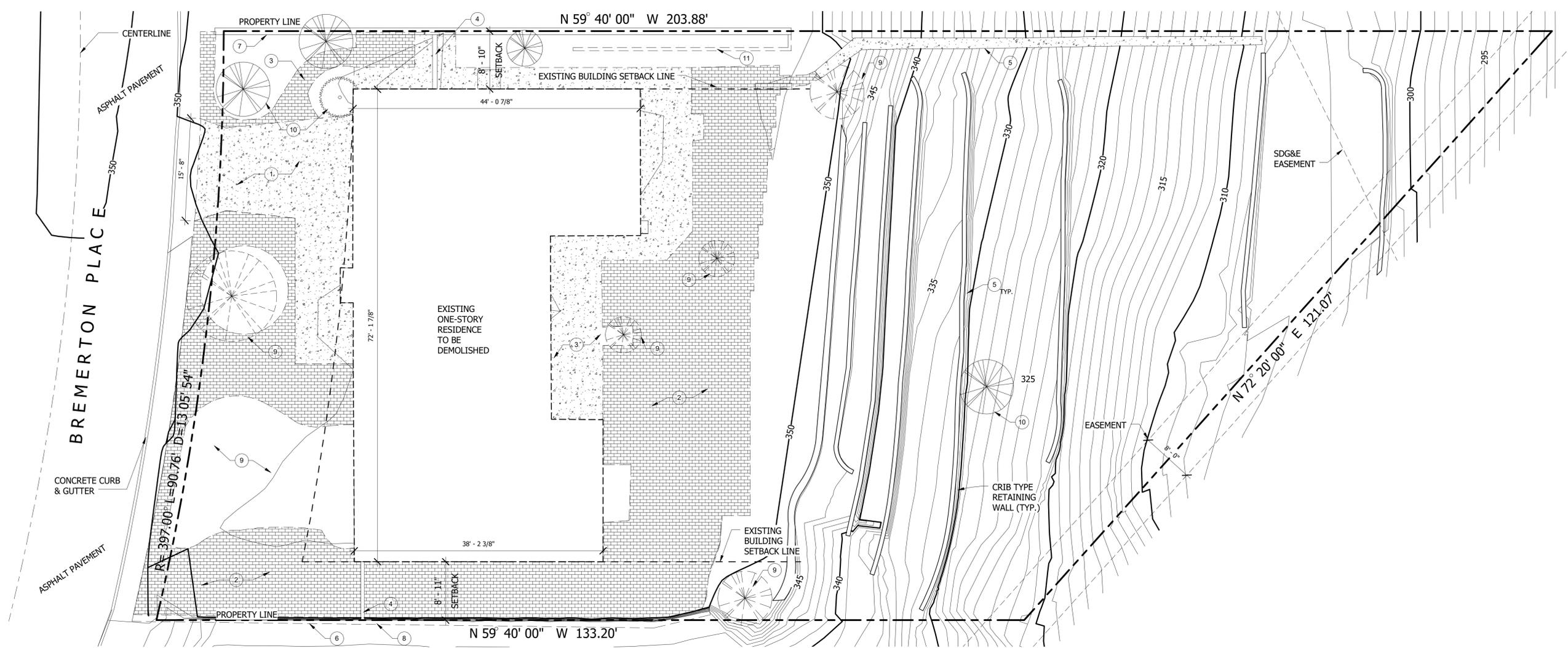
PROJECT NUMBER
 2015.30

PROJ. MNGR. DRAWN
 JMR JMR

ISSUE DATE
 12/12/2017

DEMOLITION PLAN

A1-01



1 DEMOLITION PLAN
 1/8" = 1'-0"

WALL LEGEND

EXISTING CONSTRUCTION TO REMAIN
 —————

EXISTING CONSTRUCTION TO BE REMOVED
 - - - - -

EXISTING DOOR TO BE REMOVED

EXISTING WINDOW TO BE REMOVED

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STORM WATER QUALITY NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON THE SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SITE PLAN - GENERAL NOTES

1. THIS PROJECT COMPLIES WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505). HIGHEST POINT OF ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
2. PER SDMC SECTION 142.0740 (e)(2), ALL OUTDOOR LIGHTING, INCLUDING SEARCH LIGHTS, SHALL BE TURNED OFF BETWEEN 1:00 P.M. AND 6:00 A.M. EXCEPT OUTDOOR LIGHTING USED FOR SECURITY PURPOSES.
3. LOCATION OF RAIN DOWNSPOUT FROM ROOF, DENOTED AS "DS".
4. LOCATION OF ROOF DRAIN DOWNSPOUTS IN TIGHTLINE, DENOTED AS "RD".
5. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 OF THE SAN DIEGO MUNICIPAL CODE, INTO CONSTRUCTION PLANS OR SPECIFICATION.
6. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
7. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
8. ALL BUILT SITE FEATURES ARE EXISTING, UNLESS NOTED OTHERWISE.
9. GRADING PERMIT NOT REQUIRED. ANY GRADING CUT OR FILL WILL BE UNDER 5'-0," UNLESS NOTED OTHERWISE.
11. ROOF DRAINAGE BY GUTTER AND DOWNSPOUTS INTO SURROUNDING LAWN AND PLANTERS.
12. NO EXISTING OR PROPOSED STORM DRAINS STRUCTURES WITHIN 50 FEET OF CONSTRUCTION.
13. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
14. EXISTING SEWER SERVICE TO REMAIN.
15. NO DECK OR BALCONY DRAINS. FOR ROOF DRAINS REFER TO SHEET C2.0.
16. NEW UPGRADED WATER SERVICE AND METER REQUIRED.

SITE PLAN - KEYNOTES

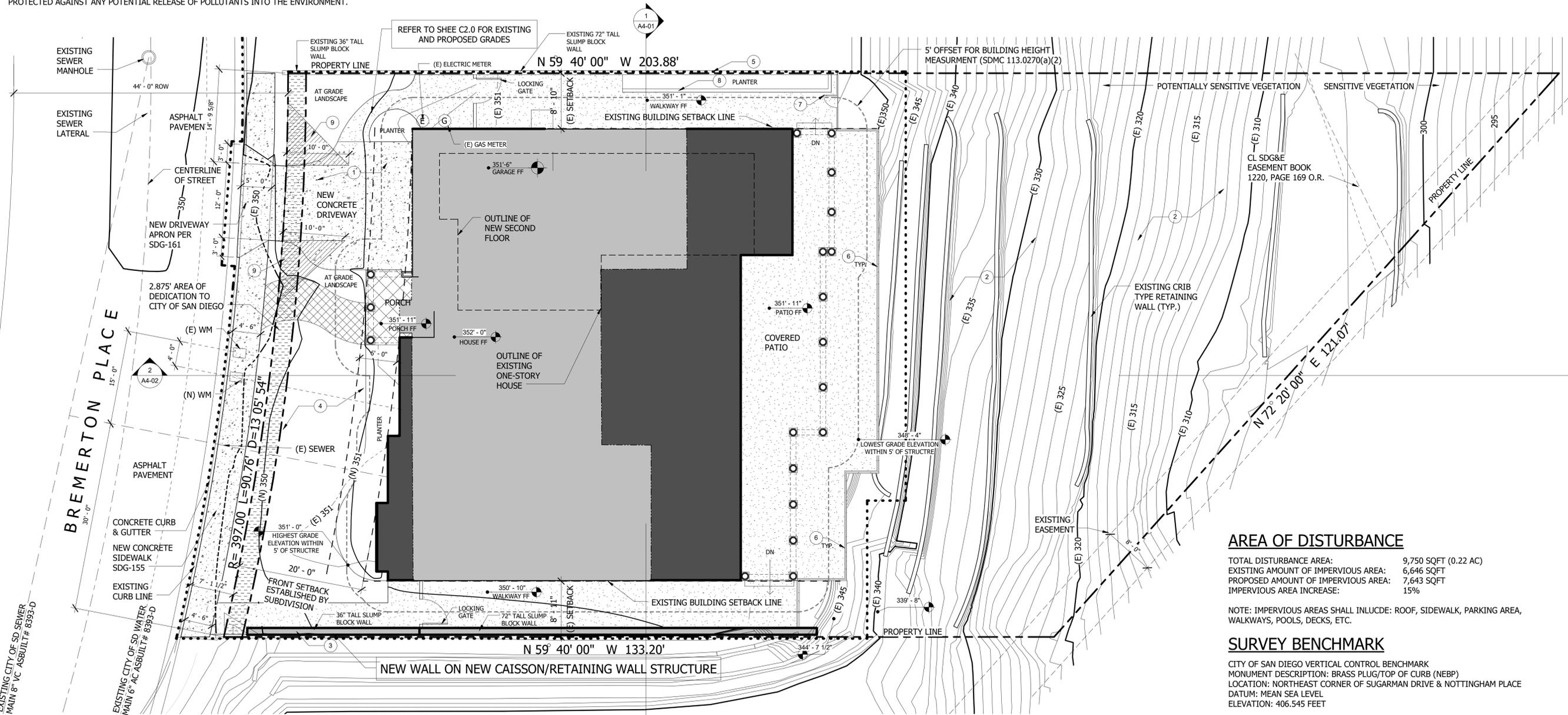
- 1 COLORED CONCRETE, TOPCAST FINISH LEVEL 03
- 2 EXISTING SLOPE AND RETAINING WALLS, TO REMAIN.
- 3 NEW SITE WALL AND FENCE, DESIGN TO MATCH EXISTING SLUMP STONE FENCE WALL.
- 4 LANDSCAPE AREA.
- 5 EXISTING SLUMP STONE FENCE WALL.
- 6 NEW PATIO RAILING +/4'-0", TYP.
- 7 NEW PATIO GATE TO CONCRETE STAIRWAY TO LOWER YARD.
- 8 18" TALL EXISTING PLANTER WALL.
- 9 VISIBILITY AREAS. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN THE VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

SITE SETBACKS & MEASUREMENTS

OBSERVING ESTABLISHED SETBACKS FROM ORIGINAL STRUCTURE:
 FRONT 20'-0"
 SIDE NORTH 8'-10"
 SIDE SOUTH 8'-11"
 FRONT PORCH ENCROACHES 6'-0" INTO FRONT YARD SETBACK

SITE PLAN - LEGEND

- PROPERTY LINE
- - - SETBACK
- RIGHT OF WAY (R/W)
- - - CENTER LINE
- - - EASEMENT
- NEW CONCRETE CURB
- ▨ BLOCK WALL (EXISTING)
- ▨ BLOCK WALL (NEW)
- (E) 300 EXISTING GROUND CONTOUR
- (N) 300 NEW GROUND CONTOUR
- (E) 300 REMOVED GROUND CONTOUR
- AREA OF DISTURBANCE



AREA OF DISTURBANCE

TOTAL DISTURBANCE AREA: 9,750 SQFT (0.22 AC)
 EXISTING AMOUNT OF IMPERVIOUS AREA: 6,646 SQFT
 PROPOSED AMOUNT OF IMPERVIOUS AREA: 7,643 SQFT
 IMPERVIOUS AREA INCREASE: 15%

NOTE: IMPERVIOUS AREAS SHALL INCLUDE: ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, DECKS, ETC.

SURVEY BENCHMARK

CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
 MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB (NEBP)
 LOCATION: NORTHEAST CORNER OF SUGARMAN DRIVE & NOTTINGHAM PLACE
 DATUM: MEAN SEA LEVEL
 ELEVATION: 406.545 FEET

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PROJECT NUMBER 2015.30	
PROJ. MNGR. JMR	DRAWN MPH
ISSUE DATE 12/12/2017	

SITE PLAN

A1-02

1 SITE PLAN
 1/8" = 1'-0"

FLOOR PLAN KEYNOTES

FLOOR PLAN - GENERAL NOTES

- PROVIDE MINIMUM 36" DEEP FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOOR, WITH A SLOPE NOT EXCEEDING 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%). THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR. (CRC R311.3)
- ENCLOSED SPACE UNDER THE STAIRS SHALL BE PROTECTED WITH 5/8" TYPE X GYPSUM WALL BOARD ON THE ENCLOSED SIDE.
- STAIR HANDRAIL. REFER TO DETAIL. HEIGHT SHALL BE 34"-38" ABOVE STAIR NOSING.
- PROVIDE 34"-38" HIGH HANDRAIL, HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING. (CRC 311.7.8.1) PROVIDE HANDRAIL ON AT LEAST ONE SIDE OF EACH STAIR FLIGHT WITH FOUR OR MORE RISERS (CRC R311.7.8)
- CLOTHES WASHER, REFER TO EQUIPMENT SCHEDULE. RECESS HOT AND COLD WATER CONNECTIONS INTO WALL.
- CLOTHES DRYER, REFER TO EQUIPMENT SCHEDULE. VENT TO OUTSIDE AIR, PROVIDE WEATHER HOOD WITH DAMPER AT FINISH OF EXTERIOR WALL. FOUR INCH DIAMETER SMOOTH GALVANIZED METAL EXHAUST DUCT. TOTAL VERTICAL AND HORIZONTAL RUN IS LIMITED TO 14'-0" WITH A MAXIMUM OF TWO ELBOWS. USE RECESSED DRYER VENT. IN-O-VATE TECHNOLOGIES, INC. VERIFY WALL THICKNESS AND EXHAUST DIRECTION FOR CORRECT BOX TO USE.
- CO2 WATER SYSTEM.
- PROVIDE A/C SYSTEM ABLE TO INCREASE HUMIDITY.
- PROVIDE SOLAR PANEL SYSTEM CONTROLS.
- DISHWASHER, PER PLUMBING SCHEDULE.
- CABINERY. REFER TO INTERIOR ELEVATIONS AND FINISH MATERIAL SCHEDULE.
- 54" REFRIGERATOR-FREEZER CHERRY WOOD PANELS TO MATCH CABINETS.
- KITCHEN SINK AND PULLOUT SPRAY FAUCET WITH INSINKERATOR GARBAGE DISPOSAL.
- TRASH BIN.
- 36" INDUCTION COOKTOP. REQUIRES CONTROLLED ELECTRICAL CIRCUIT.
- 36" DOWNDRAFT EXHAUST.
- 30" CONVECTION WALL OVEN. 24" MICROWAVE OVEN MOUNTED ABOVE WALL OVEN.
- 24" MICROWAVE OVEN MOUNTED UNDER COUNTER.
- EVERPURE EXUBERA CARBONATED AND REVERSE OSMOSIS WATER WITH DUAL HEAD DISPENSER.
- HEATED TOWEL BAR PER PLUMBING SCHEDULE.
- RADIANT HEATED FLOORS.
- PLUMBING FIXTURES. REFER TO PLUMBING SCHEDULE AND INTERIOR ELEVATIONS.
- HEATED MIRRORS.
- 3-WAY HINGED MIRROR.
- CLOSET BUILT-INS. FINAL CLOSET CONFIGURATION SHALL BE DETERMINED BY OWNER.
- BUILT-IN CABINERY, UPPER LINEN STORAGE ADJUSTABLE SHELVES. LOWER PORTION LOCKABLE DRAWERS.
- BUILT-IN CABINERY, ADJUSTABLE SHELVES. REFER TO INTERIOR ELEVATIONS AND FINISH MATERIAL SCHEDULE.
- GAS PATIO HEATER, SUNPAK OR EQUAL.
- STEEL SECURITY SCREEN.
- 10" ROUND COLUMN, TUSCAN CAP AND BASE. VENTURA CASE STONE, INC. 10" TUSCAN ENTASIS.
- 12" ROUND COLUMN, TUSCAN CAP AND BASE. VENTURA CASE STONE, INC. 12" TUSCAN ENTASIS.
- 42" HIGH METAL GUARDRAIL POLISHED NICKEL FINISH, TYP.
- HINGED MIRROR.
- GATE TO CONCRETE STAIRWAY TO LOWER YARD.
- THE PROPOSED STRUCTURE IS LOCATED WITHIN A VERY HIGH FIRE SEVERITY ZONE. THE MATERIALS AND METHODS OF CONSTRUCTION USED FOR THE STRUCTURE, INCLUDING ATTACHED ACCESSORY BUILDINGS (EG: GARAGES) AND STRUCTURES (EG: PATIO COVERS) SHALL BE IN ACCORDANCE WITH CRC SECTION R327. AS ADOPTED AND AMENDED BY THE CITY OF SAN DIEGO [SDMC 149.0327(a); 55.5001].
- NEW EXTERIOR WALLS SHALL BE CONSTRUCTED FOR A MINIMUM OF 1-HOUR FIRE RESISTANCE RATING. WALL SHALL BE MINIMUM 2 X4 @ 16" OC, HAVE A MINIMUM 5/8" TYPE "X" GYPSUM WALL BOARD ON THE INTERIOR; 7/8" CEMENT PLASTER EXTERIOR FINISH. PLASTER MIX 1:4 FOR SCRATCH COAT AND 1:5 FOR BROWN COAST, BY VOLUME, CEMENT TO SAND, IN ACCORDANCE WITH CBC 2013 TABLE 721.1(2).
- FIRE RESISTIVE WALL CONSTRUCTION SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE UNDERSIDE OF THE PROTECTED EAVE, OR TO THE UNDERSIDE OF THE ROOF SHEATHING WHEN HEAVY TIMBER CONSTRUCTION IS USED AT THE EAVES, IN ACCORDANCE WITH CBC 2013 SECTION 707A.
- REFER TO WINDOW AND DOOR SCHEDULE FOR GLAZING. PROJECTS LOCATED IN A HIGH FIRE SEVERITY ZONE SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
- GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILINGS, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SWIMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
- WHERE DOORS SWING OUTWARD, THE FINISHED SURFACE OF THE EXTERIOR LANDING OR DECK SHALL BE WITHIN 1/2" OF THE DOOR THRESHOLD PER CBC 1008.1.6.
- ALL RESTROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS PROVIDE A MECHANICAL VENTILATION SYSTEM (EXHAUST FANS) CAPABLE OF PROVIDING FIVE COMPLETE AIR CHANGES PER HOUR AND DISCHARGING TO THE EXTERIOR OF THE BUILDING NOT CLOSER THAN 3 FEET FROM ANY EXTERIOR OPENING. VENT EXHAUST FANS TO OUTSIDE AIR WITH BACK-DRAFT DAMPER.
- MINIMUM CLEARANCE FROM THE CENTER LINE OF WATER CLOSET TO FACE OF ADJACENT WALL TO BE 15" MIN. AND 24" CLEAR IN FRONT OF WATER CLOSET.
- PLUMBING FIXTURES AND HARDWARE SHALL COMPLY WITH CURRENT WATER CONSERVATION REQUIREMENTS. BACKFLOW PREVENTER TO BE PER C.P.C.
- LOW FLOW TOILETS: 1.28 GALLONS PER FLUSH SHOWER HEADS: 2.0 GALLONS PER MINUTE LAVATORY FAUCETS: 1.5 GALLONS PER MINUTE KITCHEN FAUCETS: 1.8 GALLONS PER MINUTE
- PROVIDE MINIMUM R-19 INSULATION AT EXTERIOR WALLS, R-13 INSULATION AT PLUMBING WALLS AND INTERIOR WALLS SURROUNDING BATHROOMS FOR SOUND ATTENUATION, R-19 FOR FLOORS, AND R-30 INSULATION IN ALL NEW ATTICS, PER CALIFORNIA'S ENERGY CODE TITLE 24, PART 6 REQUIREMENTS, UNLESS OTHERWISE NOTED.
- CHIMNEYS, FLUES, OR STOVE PIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE, OR OTHER SOLID LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.
- ATTIC/UNDER FLOOR INSTALLATION OF MECHANICAL EQUIPMENT SHALL COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CMC.
- WALKING SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE AN IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4A AND SFM STANDARD 12-7A-5, OR BE NON-COMBUSTIBLE.
- PER SMITH SHADES:
 - ROLLER SHADES FOR WINDOWS SHALL HAVE CONCEALED POCKETS IN CEILING. (DETAILS SHALL BE PROVIDED)
- PROVIDE SOLAR PANELS.
- CRAWL SPACE TO BE FILLED IN WITH CONCRETE RAT SLAB.

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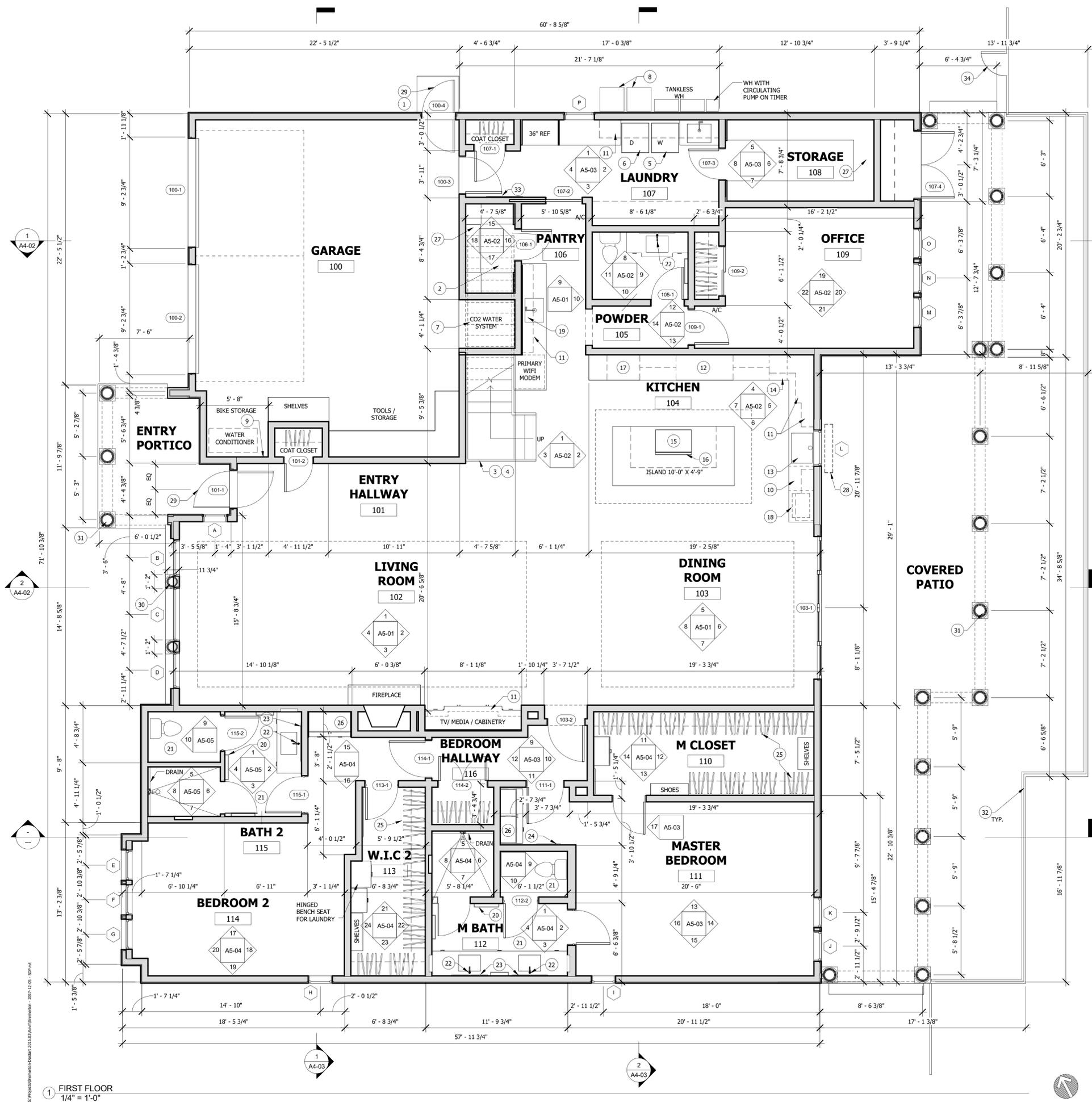
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LA JOLLA, CA 92037

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NO.	NAME	DATE

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PROJ. MNGR. JMR	DRAWN MPH
ISSUE DATE 12/12/2017	

FIRST FLOOR PLAN

A2-01



1 FIRST FLOOR
1/4" = 1'-0"

3/16/2018 10:00 AM
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2017.12.05 - 09:04

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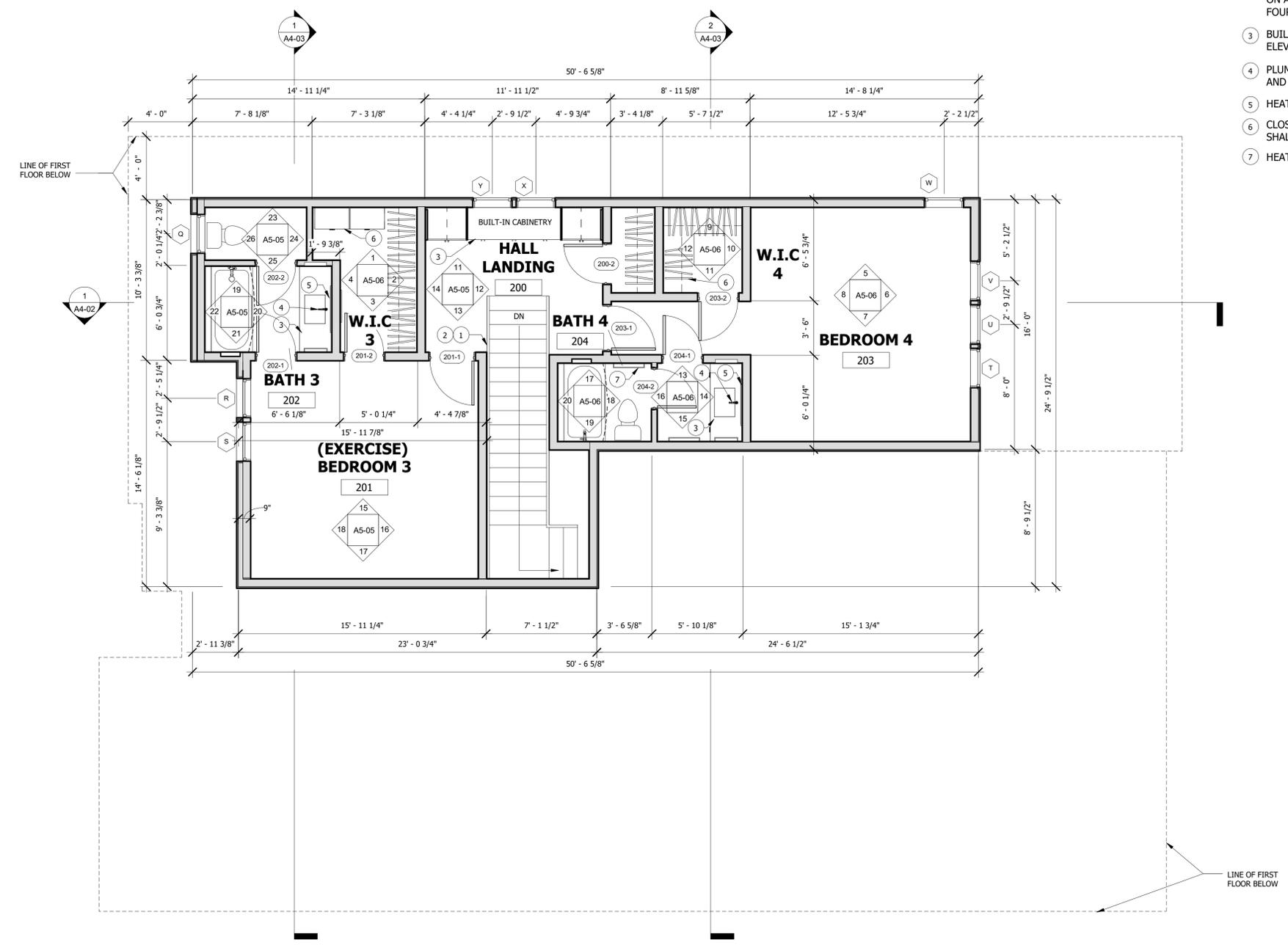
SECOND FLOOR PLAN

FLOOR PLAN KEYNOTES

1. STAIR HANDRAIL. REFER TO DETAIL. HEIGHT SHALL BE 34"-38" ABOVE STAIR NOSING.
2. PROVIDE 34"-38" HIGH HANDRAIL, HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING. (CRC 311.7.8.1) PROVIDE HANDRAIL ON AT LEAST ONE SIDE OF EACH STAIR FLIGHT WITH FOUR OR MORE RISERS (CRC R311.7.8)
3. BUILT-IN CABINETS. REFER TO INTERIOR ELEVATIONS AND FINISH MATERIAL SCHEDULE.
4. PLUMBING FIXTURES. REFER TO PLUMBING SCHEDULE AND INTERIOR ELEVATIONS.
5. HEATED MIRRORS.
6. CLOSET BUILT-INS. FINAL CLOSET CONFIGURATION SHALL BE DETERMINED BY OWNER.
7. HEATED TOWEL BAR PER PLUMBING SCHEDULE.

FLOOR PLAN - GENERAL NOTES

1. THE PROPOSED STRUCTURE IS LOCATED WITHIN A VERY HIGH FIRE SEVERITY ZONE. THE MATERIALS AND METHODS OF CONSTRUCTION USED FOR THE STRUCTURE, INCLUDING ATTACHED ACCESSORY BUILDINGS (EG: GARAGES) AND STRUCTURES (EG: PATIO COVERS) SHALL BE IN ACCORDANCE WITH CRC SECTION R327. AS ADOPTED AND AMENDED BY THE CITY OF SAN DIEGO [SDMC 149.0327(a); 55.5001].
2. NEW EXTERIOR WALLS SHALL BE CONSTRUCTED FOR A MINIMUM OF 1-HOUR FIRE RESISTANCE RATING. WALL SHALL BE MINIMUM 2 X4 @ 16" OC, HAVE A MINIMUM 5/8" TYPE "X" GYPSUM WALL BOARD ON THE INTERIOR; 7/8" CEMENT PLASTER EXTERIOR FINISH. PLASTER MIX 1:4 FOR SCRATCH COAT AND 1:5 FOR BROWN COAST, BY VOLUME, CEMENT TO SAND, IN ACCORDANCE WITH CBC 2013 TABLE 721.1(2).
3. FIRE RESISTIVE WALL CONSTRUCTION SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE UNDERSIDE OF THE PROTECTED EAVE, OR TO THE UNDERSIDE OF THE ROOF SHEATHING WHEN HEAVY TIMBER CONSTRUCTION IS USED AT THE EAVES, IN ACCORDANCE WITH CBC 2013 SECTION 707A.
4. REFER TO WINDOW AND DOOR SCHEDULE FOR GLAZING. PROJECTS LOCATED IN A HIGH FIRE SEVERITY ZONE SHALL: BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
5. GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILINGS, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SWIMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
6. WHERE DOORS SWING OUTWARD, THE FINISHED SURFACE OF THE EXTERIOR LANDING OR DECK SHALL BE WITHIN 1/2" OF THE DOOR THRESHOLD PER CBC 1008.1.6.
7. ALL RESTROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS PROVIDE A MECHANICAL VENTILATION SYSTEM (EXHAUST FANS) CAPABLE OF PROVIDING FIVE COMPLETE AIR CHANGES PER HOUR AND DISCHARGING TO THE EXTERIOR OF THE BUILDING NOT CLOSER THAN 3 FEET FROM ANY EXTERIOR OPENING. VENT EXHAUST FANS TO OUTSIDE AIR WITH BACK-DRAFT DAMPER.
8. MINIMUM CLEARANCE FROM THE CENTER LINE OF WATER CLOSET TO FACE OF ADJACENT WALL TO BE 15" MIN. AND 24" CLEAR IN FRONT OF WATER CLOSET.
9. PLUMBING FIXTURES AND HARDWARE SHALL COMPLY WITH CURRENT WATER CONSERVATION REQUIREMENTS. BACKFLOW PREVENTER TO BE PER C.P.C.
10. LOW FLOW TOILETS: 1.28 GALLONS PER FLUSH
 SHOWER HEADS: 2.0 GALLONS PER MINUTE
 LAVATORY FAUCETS: 1.5 GALLONS PER MINUTE
 KITCHEN FAUCETS: 1.8 GALLONS PER MINUTE
11. PROVIDE MINIMUM R-19 INSULATION AT EXTERIOR WALLS, R-13 INSULATION AT PLUMBING WALLS AND INTERIOR WALLS SURROUNDING BATHROOMS FOR SOUND ATTENUATION, R-19 FOR FLOORS, AND R-30 INSULATION IN ALL NEW ATTICS, PER CALIFORNIA'S ENERGY CODE TITLE 24, PART 6 REQUIREMENTS, UNLESS OTHERWISE NOTED.
12. CHIMNEYS, FLUES, OR STOVE PIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE, OR OTHER SOLID LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.
13. ATTIC/UNDER FLOOR INSTALLATION OF MECHANICAL EQUIPMENT SHALL COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CMC.
14. WALKING SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE AN IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7-4A AND SFM STANDARD 12-7A-5, OR BE NON-COMBUSTIBLE.
15. PER SMITH SHADES:
 - A. ROLLER SHADES FOR WINDOWS SHALL HAVE CONCEALED POCKETS IN CEILING. (DETAILS SHALL BE PROVIDED)
16. PROVIDE SOLAR PANELS.
17. CRAWL SPACE TO BE FILLED IN WITH CONCRETE RAT SLAB.



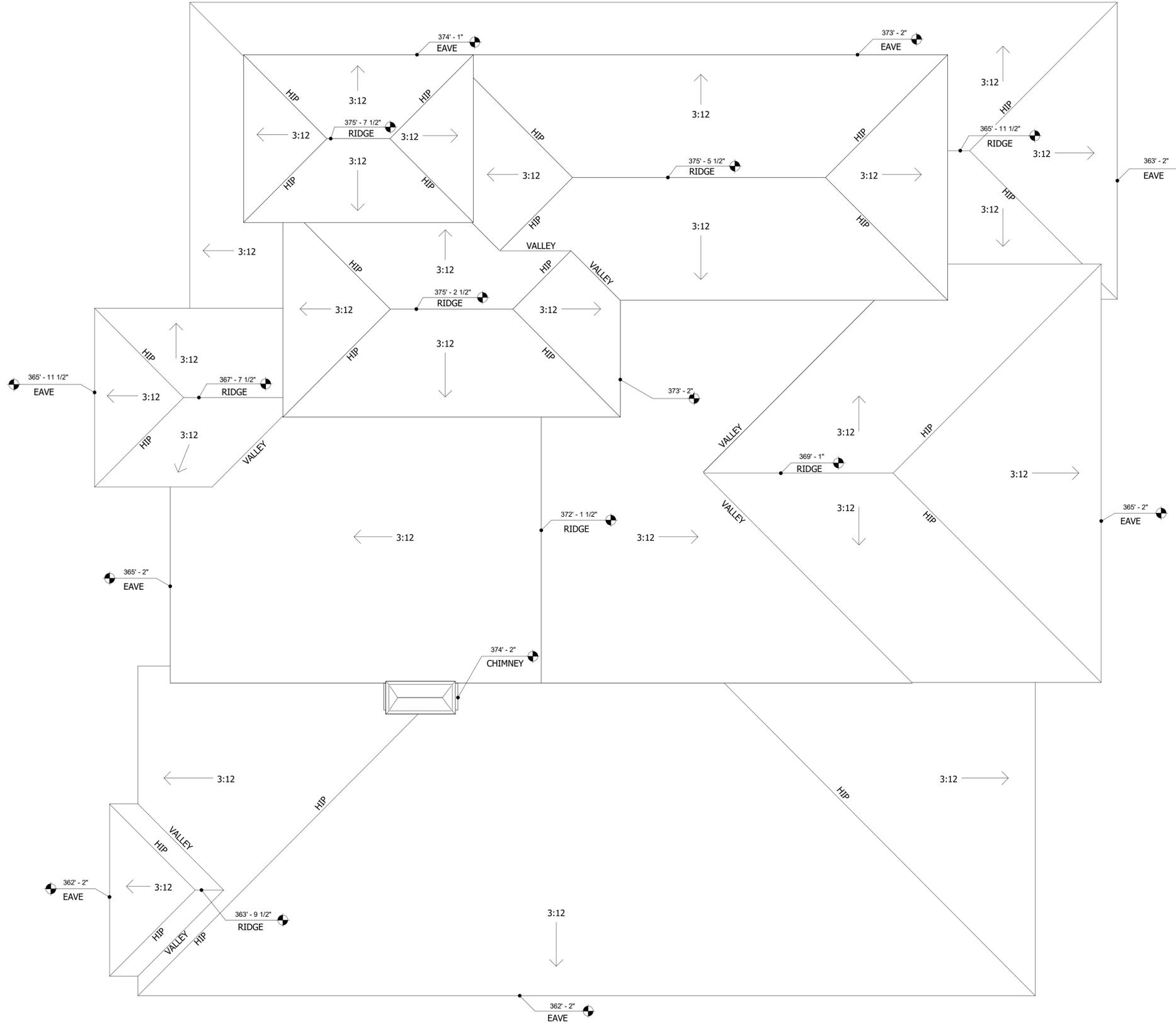
1 SECOND FLOOR
 1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

1. NEW CLASS "A" ROOFING THROUGHOUT.
2. PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS.
3. PROVIDE FIRE STOP AT EAVE ENDS TO PREVENT ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIALS.
4. VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT SUCK VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATE IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE. COORDINATE LOCATIONS WITH ARCHITECT.
5. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.
6. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN (OR SNOW). THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
7. ROOF MATERIAL FASTENERS SHALL BE RATED TO SUSTAIN A MINIMUM WIND OF 80 M.P.H.
8. USE CORROSION RESISTIVE NAILS AND FASTENERS. AVOID CONTACT BETWEEN DISSIMILAR METALS.
9. FURNACES INSTALLED IN THE ATTIC SPACE MUST BE POSITIONED SO THAT THE REQUIRED FLUE LENGTH FROM THE FURNACE TO THE CAP IS PROVIDED WITHIN THE ATTIC, ALLOWING THE CAP TO BE A MINIMUM HEIGHT ABOVE THE FINISHED ROOFING ALLOWED BY CODE.
10. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. (CRC R327.5.4).
11. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE (CRC R327.5.5).
12. VALLEY FLASHING SHALL BE NOT LESS THAN 0.19 INCH (NO. 26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 6 INCH WIDE UNDERLAYMENT CONSISTING OF ONE SHEET OF NO.72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (CRC R327.5.3).
13. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS (CRC R327.6.3).
14. ALL VENT OPENINGS (ATTIC, UNDERFLOOR, COMBUSTION AIR, ETC.) PROTECTED BY NONCOMBUSTIBLE, CORROSION RESISTANT MESH THAT MEETS THE FOLLOWING REQUIREMENTS PER CRC R327.6:
 - A. INDIVIDUAL OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES.
 - B. THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". MATERIALS SHALL BE NONCOMBUSTIBLE AND CORROSION RESISTANT.
15. ATTIC VENTILATION OPENINGS SHALL NOT BE LOCATED IN SOFFITS, EAVE OVERHANGS, BETWEEN RAFTERS AT EAVES, OR IN OTHER OVERHANG AREAS. (CRC R327.6.3).

MAXIMUM HEIGHT NOTE:

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. [SDMC SECTION 132.0505]



1 ROOF PLAN
1/4" = 1'-0"

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ISSUE DATE 12/12/2017	

ROOF PLAN

A2-03

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PROJECT NUMBER
 2015.30

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 JMR MPH

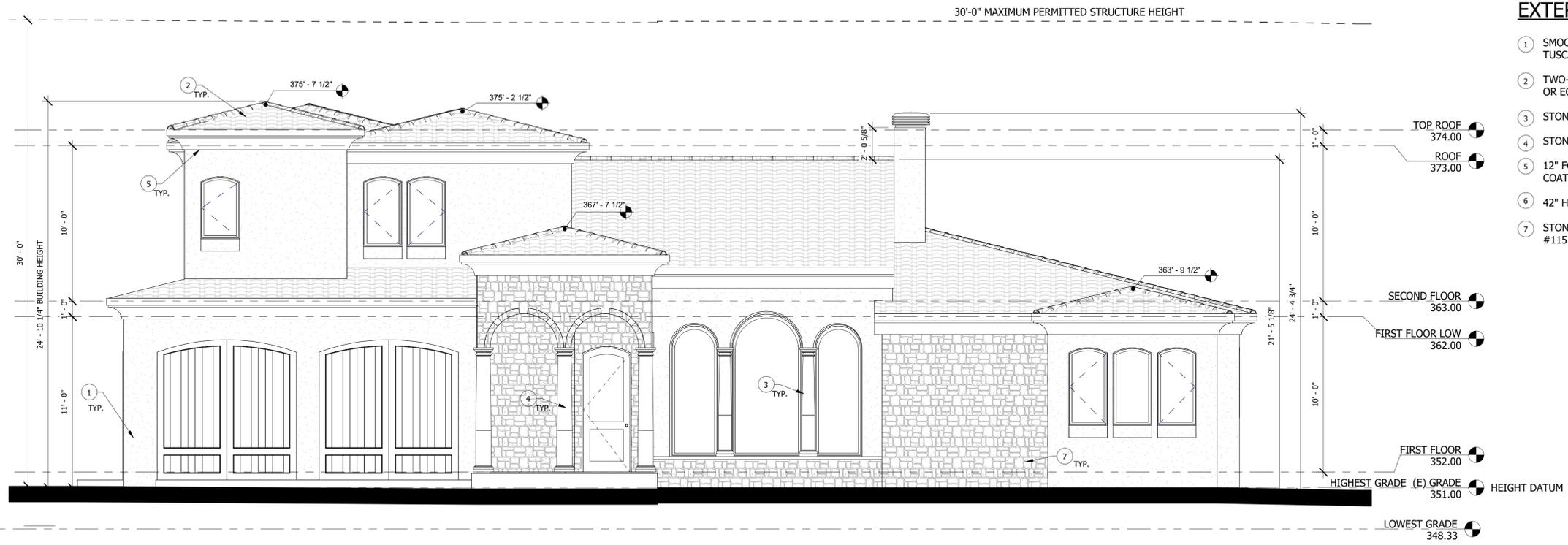
ISSUE DATE
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EXTERIOR ELEVATION

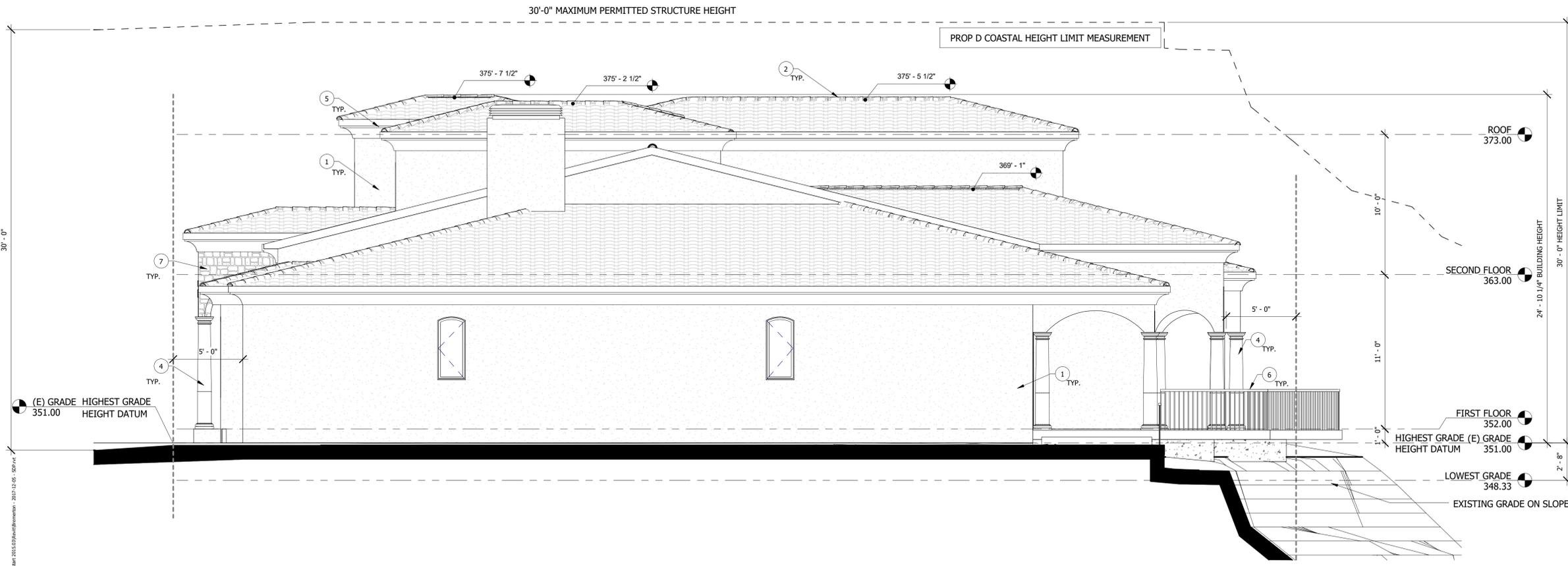
A3-01

EXTERIOR ELEVATION KEYNOTES

- SMOOTH SANTA BARBARA FINISH STUCCO. COLOR: TUSCANY BROWN.
- TWO-PIECE MISSION, RED CLAY TILE ROOF. BORAL US TILE OR EQUAL.
- STONE 10" ROUND COLUMN, TUSCAN CAP AND BASE, TYP.
- STONE 12" ROUND COLUMN, TUSCAN CAP AND BASE, TYP.
- 12" FOAM MOLDING AT ROOF EAVES. STUCCO AND COLOR COATED, TYP.
- 42" HIGH METAL GUARDRAIL POLISHED NICKEL FINISH.
- STONE VENNER: SALADO QUARRY - TUSCANY AUTUMN #115. SOURCE UNIQUE STONE IMPORTS.



1 WEST EXTERIOR ELEVATION-FRONT
 1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION-LEFT
 1/4" = 1'-0"

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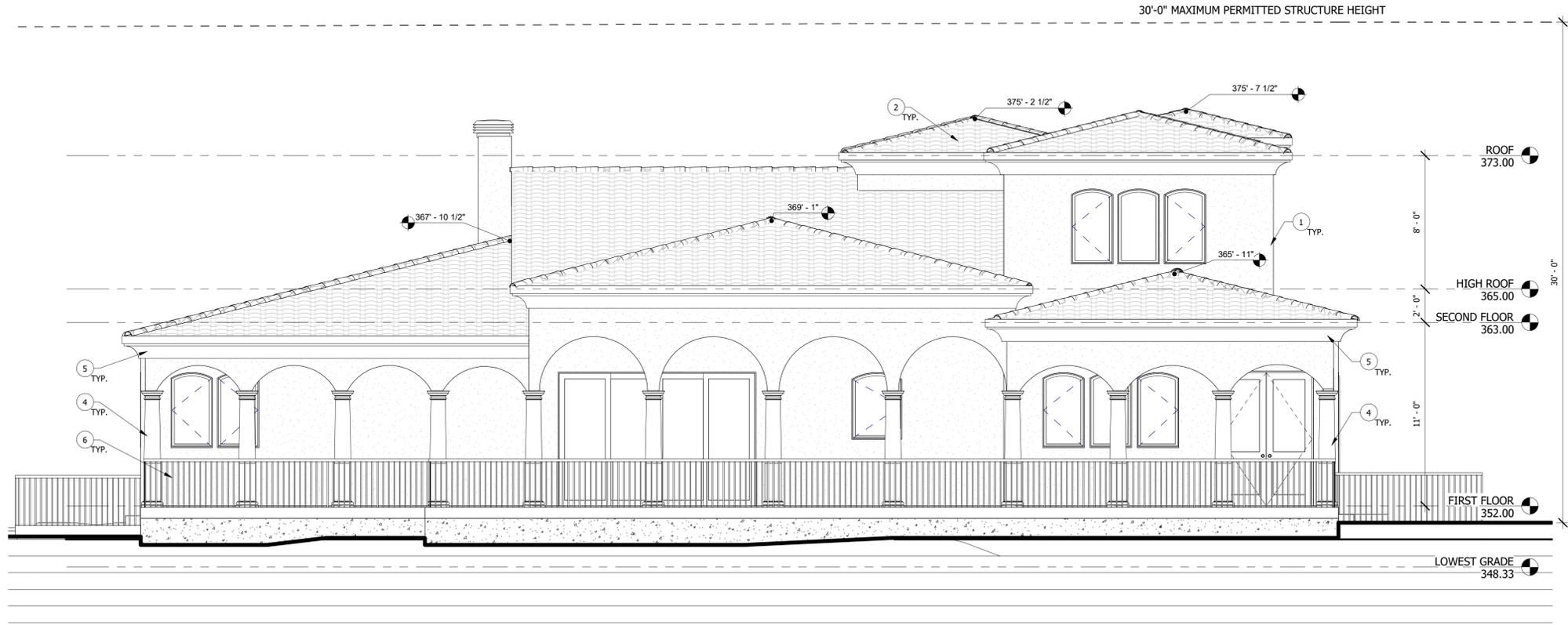
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EXTERIOR ELEVATION

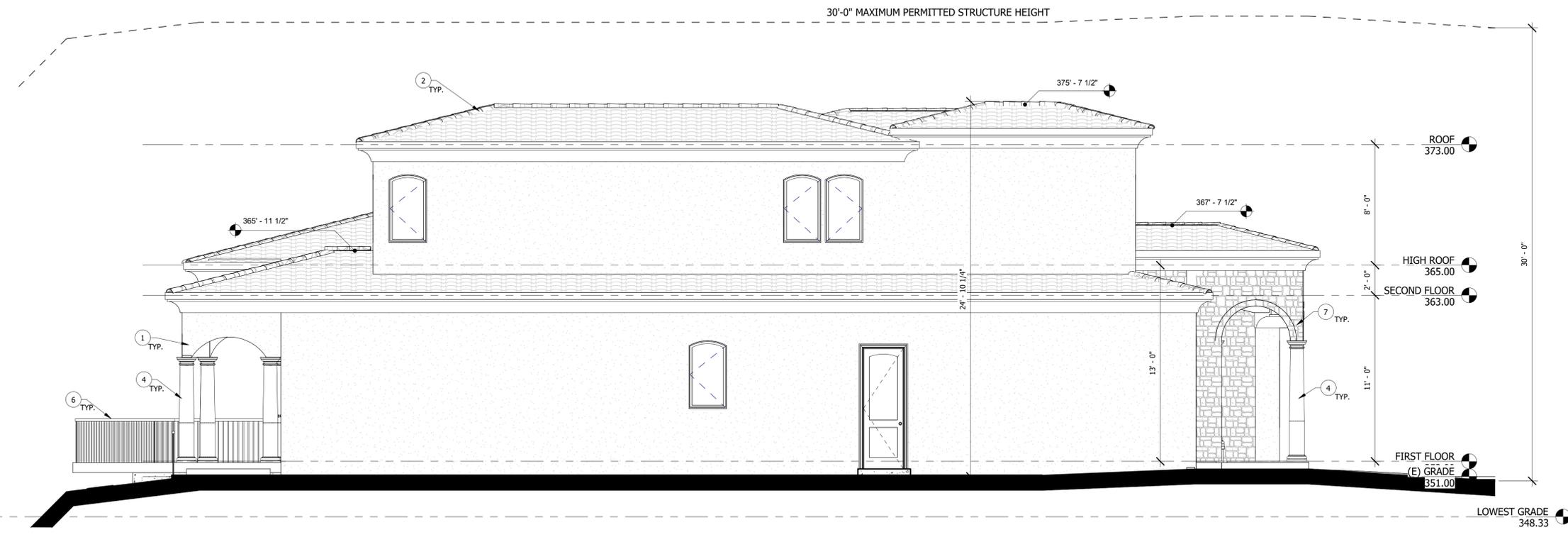
A3-02

EXTERIOR ELEVATION KEYNOTES

- SMOOTH SANTA BARBARA FINISH STUCCO. COLOR: TUSCANY BROWN.
- TWO-PIECE MISSION, RED CLAY TILE ROOF. BORAL US TILE OR EQUAL.
- STONE 10" ROUND COLUMN, TUSCAN CAP AND BASE, TYP.
- STONE 12" ROUND COLUMN, TUSCAN CAP AND BASE, TYP.
- 12" FOAM MOLDING AT ROOF EAVES. STUCCO AND COLOR COATED, TYP.
- 42" HIGH METAL GUARDRAIL POLISHED NICKEL FINISH.
- STONE VENNER: SALADO QUARRY - TUSCANY AUTUMN #115. SOURCE UNIQUE STONE IMPORTS.



1 EAST EXTERIOR ELEVATION-BACK
 1/4" = 1'-0"

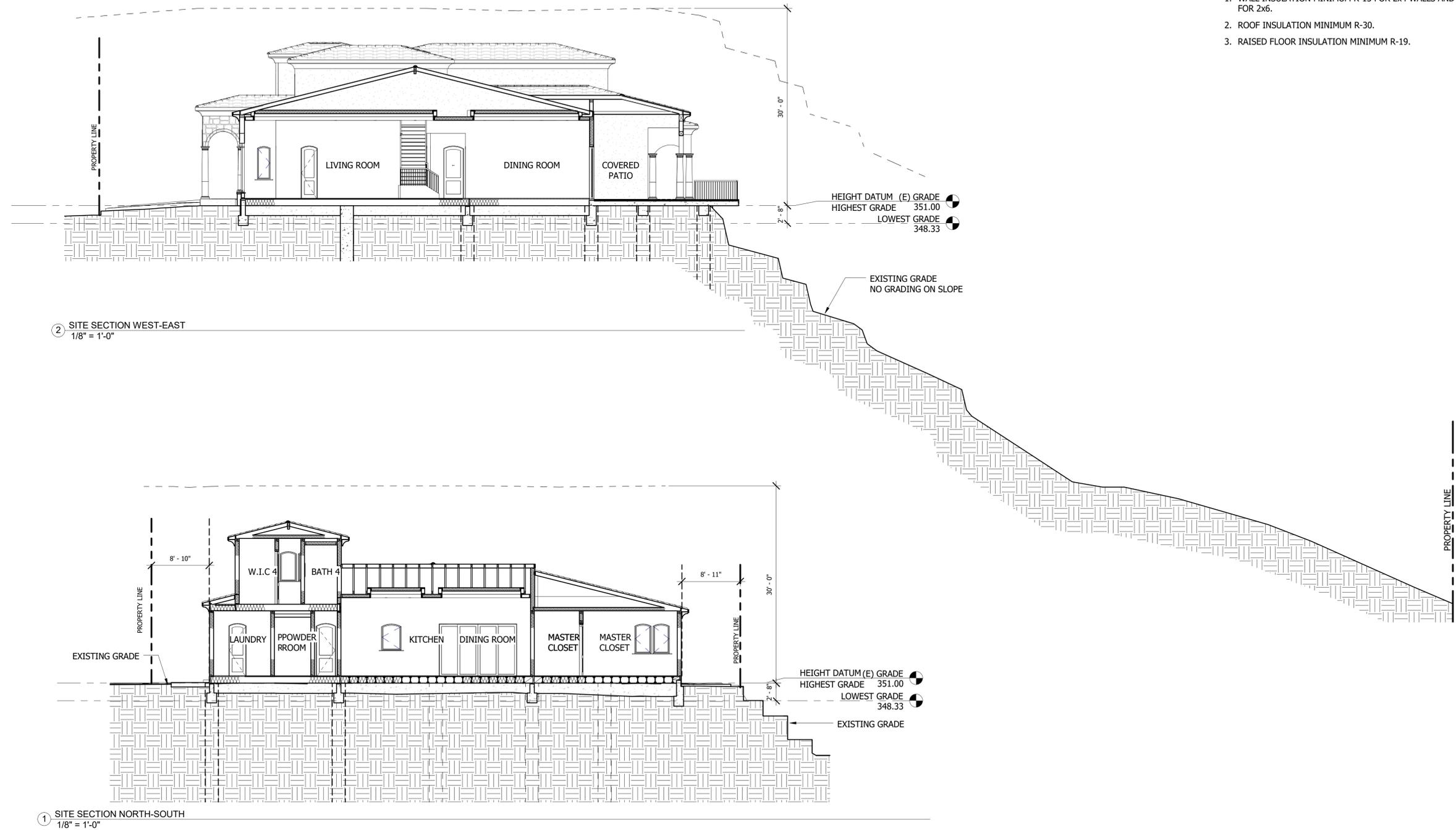


2 NORTH EXTERIOR ELEVATION-RIGHT
 1/4" = 1'-0"

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GENERAL NOTES

1. WALL INSULATION MINIMUM R-13 FOR 2x4 WALLS AND R-19 FOR 2x6.
2. ROOF INSULATION MINIMUM R-30.
3. RAISED FLOOR INSULATION MINIMUM R-19.



HEIGHT NOTES - SAN DIEGO MUNICIPAL CODE

113.0270 (a)(1) STRUCTURE HEIGHT OF BUILDINGS AND STRUCTURES THE MAXIMUM PERMITTED STRUCTURE HEIGHT IS SPECIFIED IN THE APPLICABLE ZONE AND DEFINES THE UPPER LIMITS OF THE BUILDINGS ENVELOPE FOR A PREMISE. IT IS MEASURED VERTICALLY FROM THE EXISTING GRADE OR PROPOSED GRADE, WHICHEVER IS LOWER, TO FORM AN IMAGINARY PLANE THAT IS PARALLEL TO GRADE, BELOW WHICH ALL BUILDINGS AND STRUCTURES MUST BE LOCATED, EXCEPT AS OTHERWISE DESCRIBED IN 113.0270 (a)(4).

(2) A TWO PART CALCULATION IS REQUIRED TO MEASURE STRUCTURE HEIGHT INCLUDING:
(A) PLUMB LINE MEASUREMENT. THE STRUCTURE HEIGHT IS MEASURED FROM ALL POINTS ON TOP OF A STRUCTURE TO EXISTING GRADE OR PROPOSED GRADE, WHICHEVER IS LOWER, DIRECTLY BELOW EACH POINT, EXCEPT AS DESCRIBED IN SECTION 113.0270 (A)(4). THIS MEASUREMENT IS TAKEN VERTICALLY THROUGH THE STRUCTURE AT EACH POINT WHERE STRUCTURE HEIGHT IS BEING MEASURED.

113.0270 (A)(2) (B) OVERALL HEIGHT MEASUREMENT. THE OVERALL STRUCTURE HEIGHT IS MEASURED FROM THE LOWEST POINT OF EXISTING GRADE OR PROPOSED GRADE WITHIN 5 FEET OF THE STRUCTURE'S PERIMETER (BUILDING WALL, BALCONY, BAY WINDOW, OR SIMILAR ARCHITECTURAL PROJECTION) OR AT THE PROPERTY LINE, WHICHEVER IS CLOSER, TO THE HIGHEST POINT OF THE STRUCTURE, PROJECTED HORIZONTALLY TO DIRECTLY ABOVE THIS LOWEST POINT OF GRADE. THE OVERALL STRUCTURE HEIGHT SHALL NOT EXCEED THE MAXIMUM PERMITTED STRUCTURE HEIGHT OF THE APPLICABLE ZONE PLUS AN AMOUNT EQUAL TO EITHER THE MAXIMUM GRADE DIFFERENTIAL WITHIN THE STRUCTURE'S FOOTPRINT OR 10 FEET, WHICHEVER IS LESS. THE STRUCTURE HEIGHT SHALL NOT EXCEED THE MAXIMUM ALLOWED BY THE APPLICABLE ZONE AT ANY ONE POINT.

SDMC 113.0270 (A)(4)(B)
(i) MEASURING STRUCTURE HEIGHT FOR SUBTERRANEAN AREAS. INTERIOR SUBTERRANEAN AREAS, WHERE A BASEMENT, UNDERGROUND PARKING STRUCTURE, INTERIOR COURT, OR OTHER SIMILAR INTERIOR SUBTERRANEAN AREA IS PROPOSED, THE PLUMB LINE MEASUREMENT TO THE LOWER OF EXISTING GRADE OR PROPOSED GRADE SHALL BE MEASURED TO AN IMAGINARY PLANE THROUGH THE BUILDING THAT CONNECTS THE ADJACENT GRADE ELEVATIONS ON BOTH SIDES OF THE STRUCTURE AS SHOWN IN DIAGRAM 113-02NN.
(ii) EXTERIOR SUBTERRANEAN AREAS. THE OVERALL STRUCTURE HEIGHT MEASUREMENT SHALL NOT INCLUDE SUBTERRANEAN VEHICULAR ACCESS, EXTERIOR SUBTERRANEAN PEDESTRIAN ACCESS OR VENTILATION TO A BASEMENT. OVERALL STRUCTURE HEIGHT SHALL INSTEAD BE MEASURED FROM AN IMAGINARY PLANE CONNECTING TO THE LOWEST ADJACENT GRADE IMMEDIATELY ABOVE THE EXTERIOR SUBTERRANEAN SPACE.

SDMC 113.0270 (A)(4)(D) STRUCTURE HEIGHT OF BUILDINGS SUBJECT TO COASTAL HEIGHT LIMIT IN ACCORDANCE WITH SECTION 132.0505(1)
(i) THE HEIGHT OF A BUILDING IS MEASURED TO THE UPPERMOST POINT OF THE STRUCTURE OR ANY APPURTENANCE PLACED UPON THE ROOF THEREOF, INCLUDING SIGNS, PENTHOUSES, MECHANICAL EQUIPMENT, CHIMNEYS, VENT STACKS, SPIRES OR STEEPLES, OR OTHER PROJECTIONS.
(ii) THE BASE OF THE MEASUREMENT SHALL BE TAKEN FROM FINISHED GRADE IN ACCORDANCE WITH THE 1970 UNIFORM BUILDING CODE. THE HEIGHT SHALL BE MEASURED FROM THE HIGHEST ADJOINING SIDEWALK OR GROUND SURFACE WITHIN 5 FEET OF THE STRUCTURE, PROVIDED THAT THE HEIGHT MEASURED FROM THE LOWEST ADJOINING SURFACE SHALL NOT EXCEED SUCH MAXIMUM HEIGHT BY MORE THAN 10 FEET.
(iii) STRUCTURE HEIGHT OF BUILDINGS SUBJECT TO THE COASTAL HEIGHT LOMOT SHALL ALSO COMPLY WITH THE HEIGHT MEASUREMENT CALCULATIONS FOR PLUMB LINE IN SECTION 113.0270(A)(2)(A) AND OVERALL HEIGHT IN SECTION 113.0270 (A)(2)(B).

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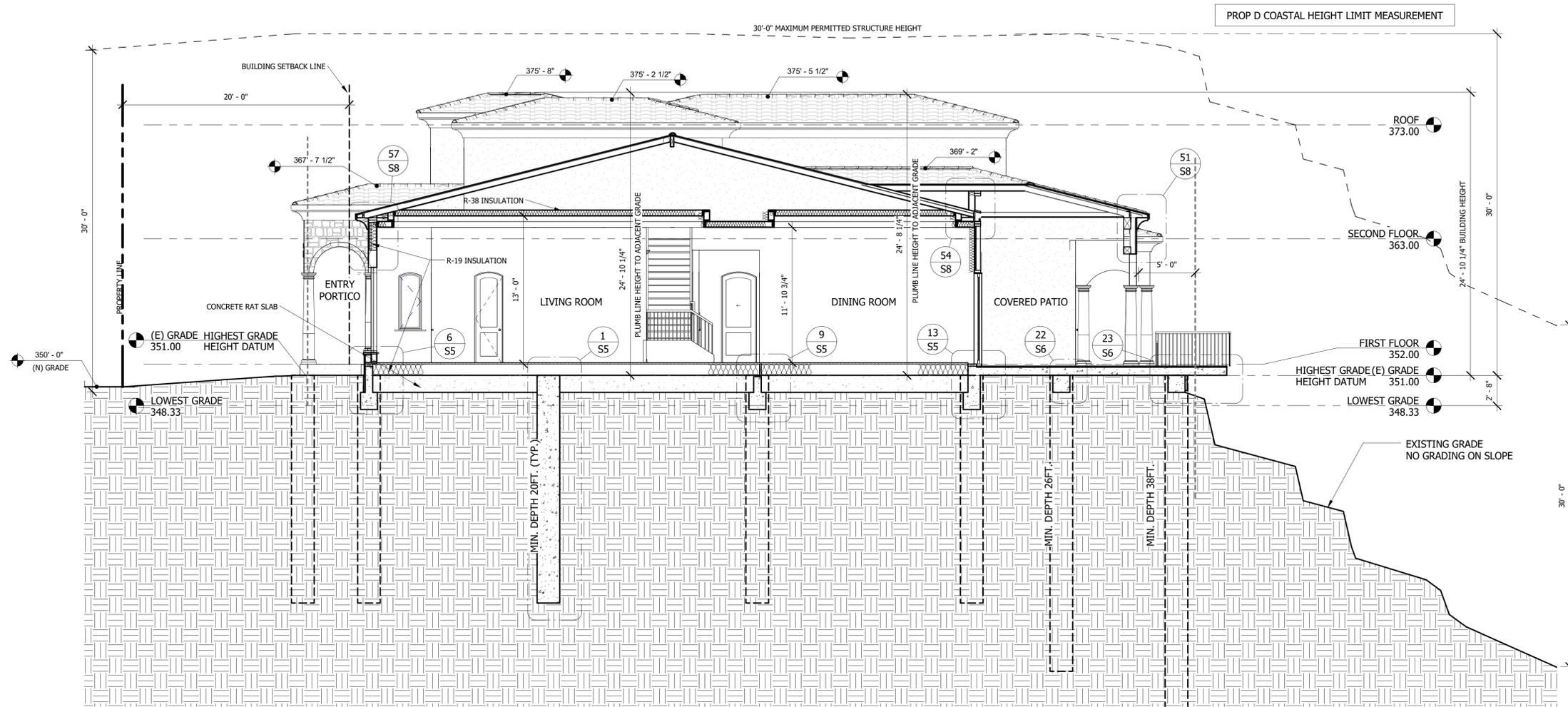
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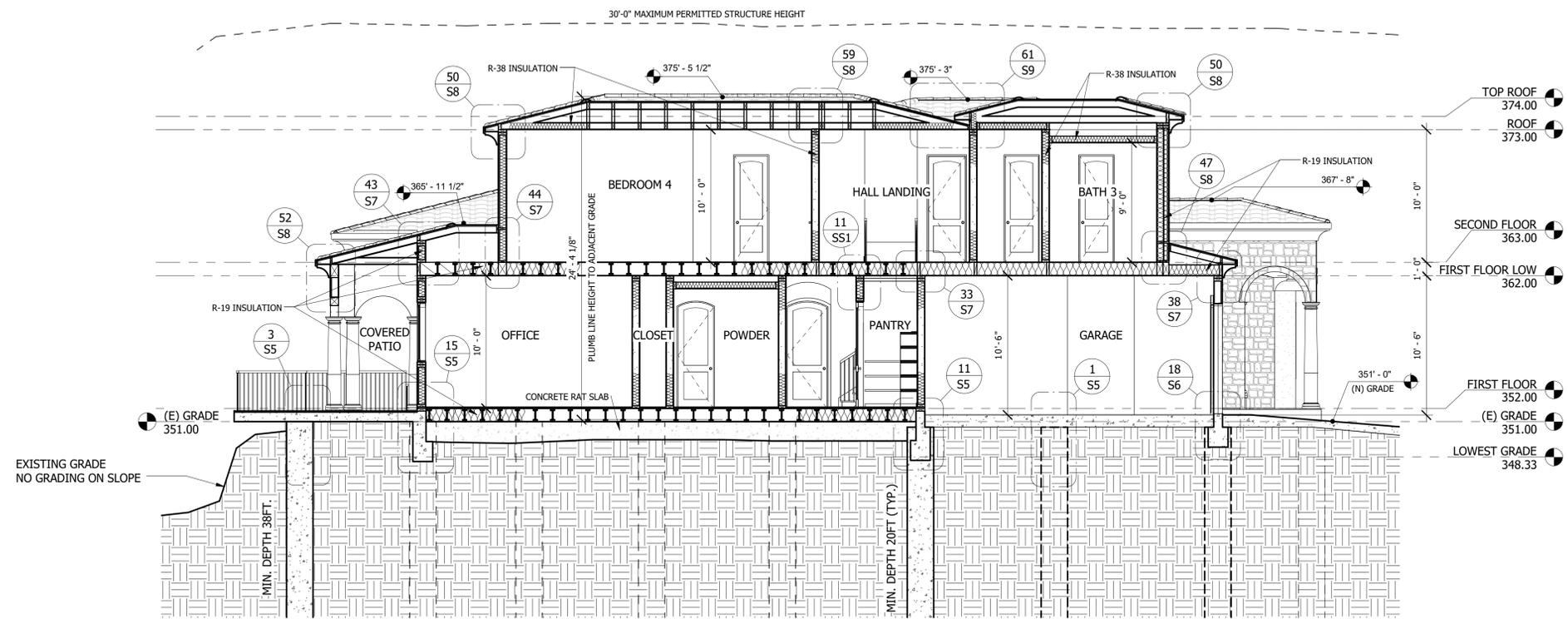
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PROJ. MNGR. JMR	DRAWN JMR
ISSUE DATE 12/12/2017	

SITE SECTIONS

A4-01



2 WEST-EAST SECTION
3/16" = 1'-0"



1 EAST-WEST SECTION
3/16" = 1'-0"

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BUILDING SECTIONS

A4-02

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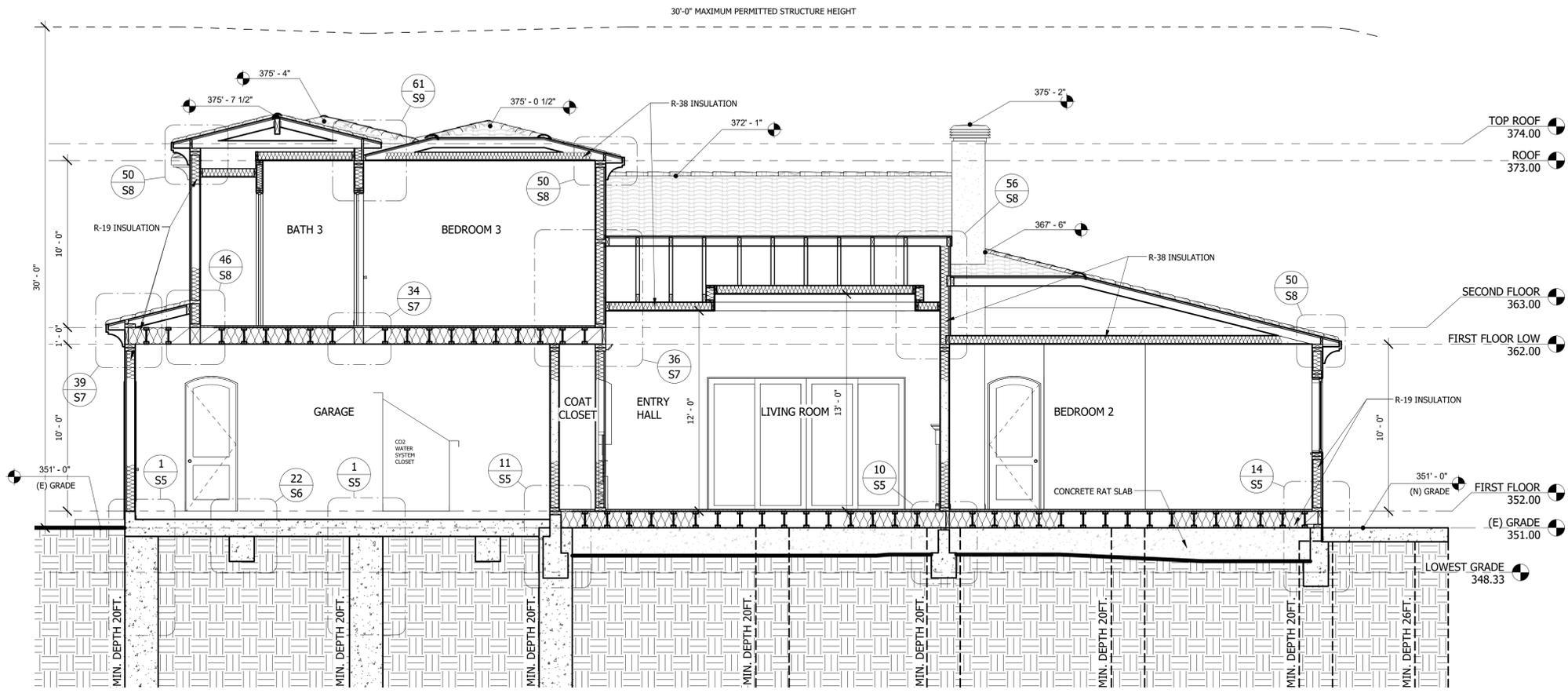
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PROJ. MNGR. DRAWN
 JMR MPH

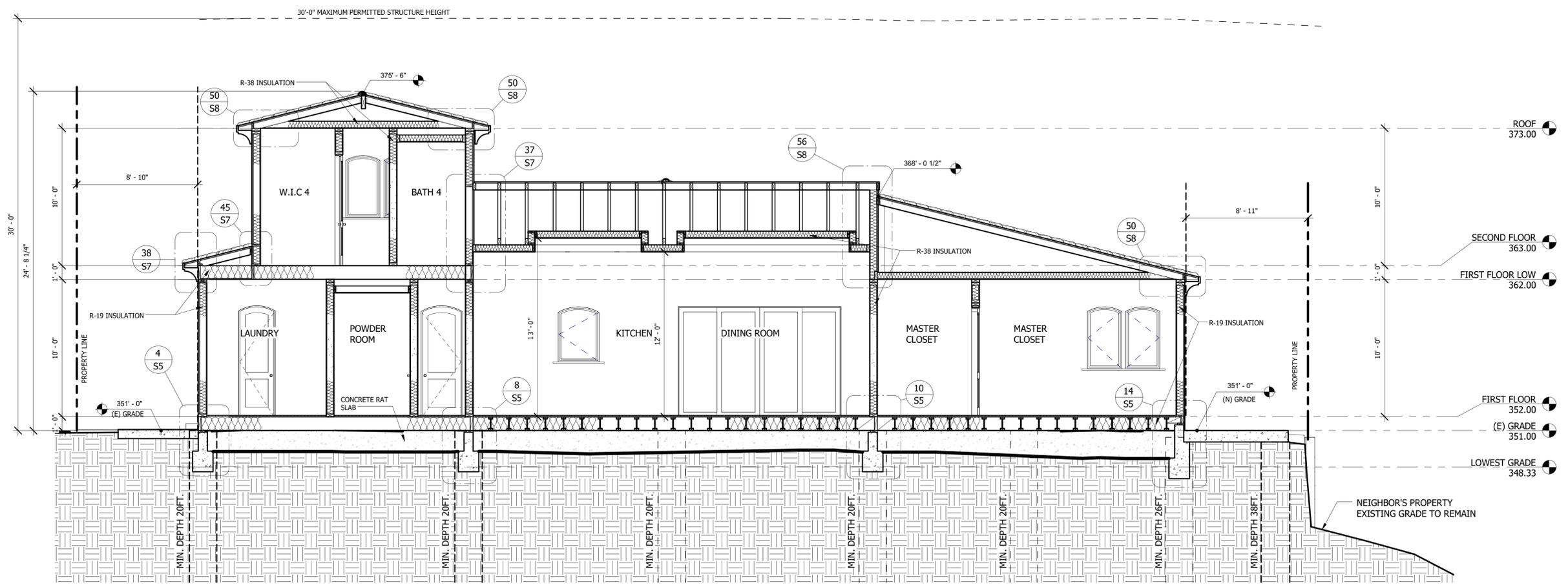
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BUILDING SECTIONS

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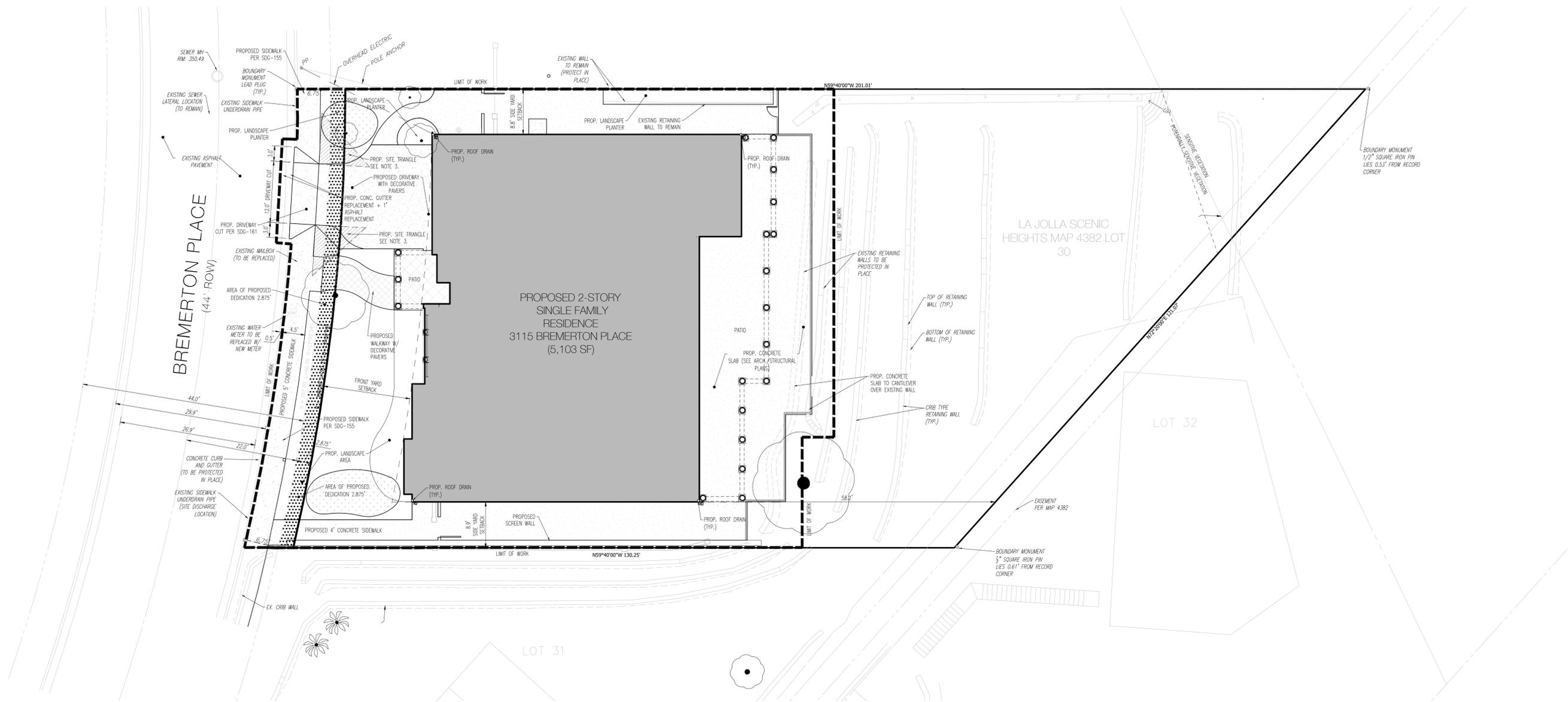


1 NORTH-SOUTH SECTION
 1/4" = 1'-0"



2 NORTH-SOUTH SITE SECTION
 1/4" = 1'-0"

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DRAWING LEGEND

	INDICATES WATER METER		CONCRETE
	NEW ROOF DRAIN		AREA OF DEDICATION
	EXISTING SPOT ELEVATION		PROPERTY LINE
	EXISTING GAS METER		EXISTING RETAINING WALL
	EXISTING SEWER CLEANOUT		EXISTING FENCE
	PROPOSED SIDEWALK PER SDG-155		

GENERAL SITE NOTES:

- 1) THIS DRAWING REFERENCES A PLAN BY:
A.) METROPOLITAN MAPPING
3712 30TH STREET
SAN DIEGO, CA 92104
(619) 431-6290
metromap.sdi@gmail.com
DATED: 2-3-2016
SHEET 1 OF 1
- 2) SPECIFIC RESOURCES, TECHNICAL REPORTS, DESIGN DOCUMENTS, ETAL RELATED TO THIS PROJECT ARE AS FOLLOWS:
A.) REPORT OF GEOTECHNICAL INVESTIGATION TERRAPACIFIC CONSULTANTS, INC.
4010 MORENA BLVD
LA JOLLA, CA 92037
DATED 4/28/2016.
B.) CITY OF SAN DIEGO STANDARD DRAWINGS, 2016 EDITION.
- 3) SIGHT TRIANGLE AREAS: NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN THE VISIBILITY AREAS SHALL NOT EXCEED 24" IN HEIGHT, MEASURED FROM TOP OF ADJACENT CURB.
- 4) THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
- 5) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- 6) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

LEGAL DESCRIPTION:

LOT 30, MAP 4382 (LA JOLLA SCENIC HEIGHTS)

APN:

346-782-02

NOTE:

THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEDICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

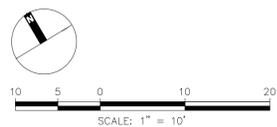
BASIS OF ELEVATIONS

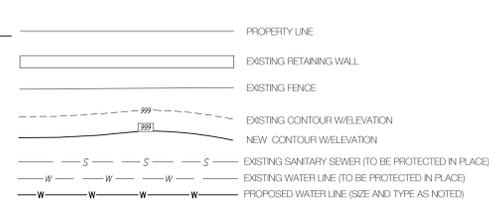
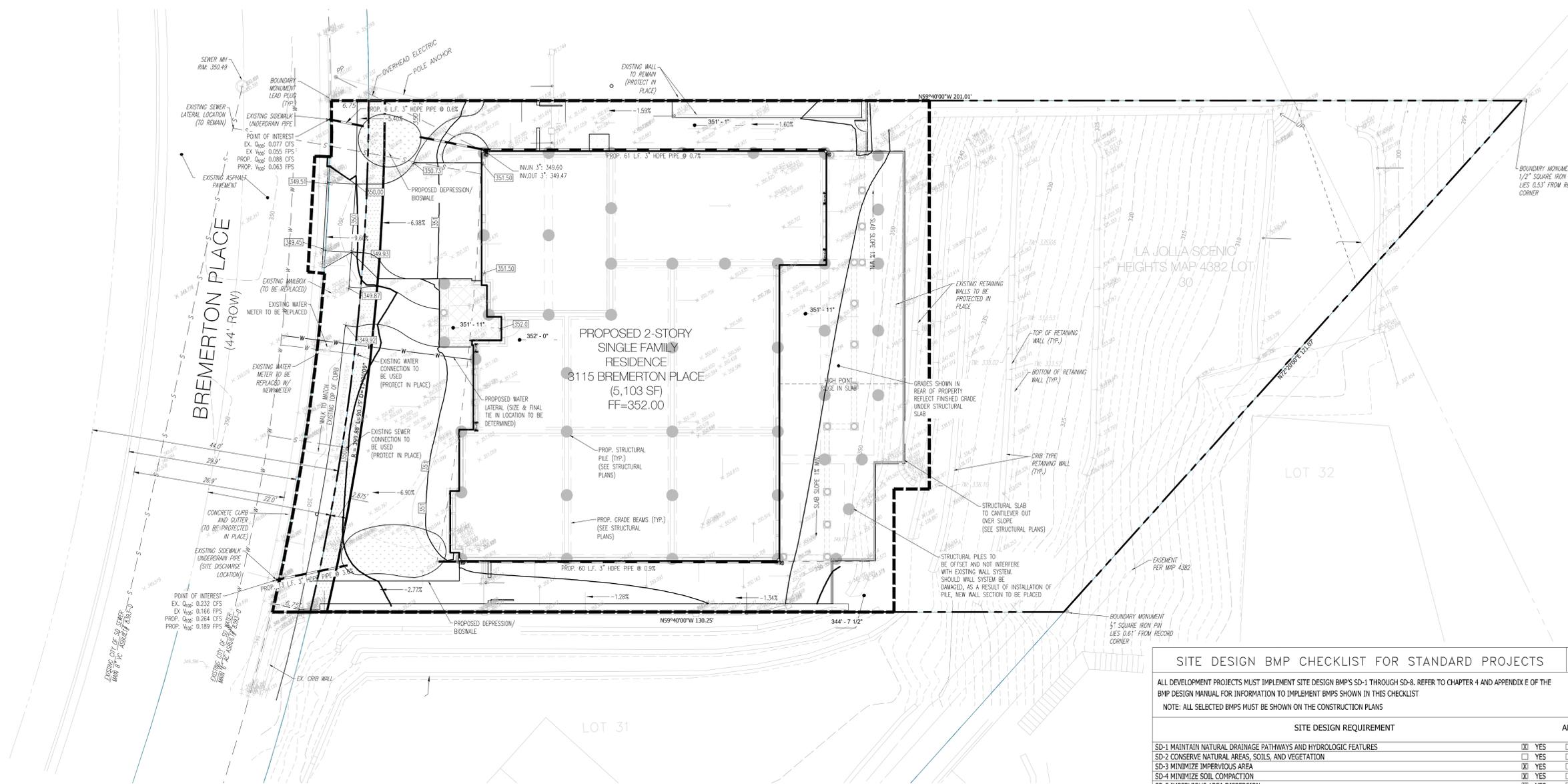
CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB (NEB)
LOCATION: NORTHEAST CORNER OF SUGARMAN DRIVE & NOTTINGHAM PLACE
DATUM: MEAN SEA LEVEL
ELEVATION: 406.545 FEET

SITE STATISTICS

	AREA (SF)	AREA (AC.)
TOTAL DISTURBED AREA	9,750	0.22

Date: 11/16/2017
Drawn by: Z.P.
Checked by: Z.P.
Scale: 1" = 10'
Scale: 1/4"





GENERAL GRADING NOTES:

- NO DECK OR BALCONY DRAINS ARE PROPOSED FOR THIS PROJECT.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUNOFF TO EXISTING HILLSIDE AREAS.
- SIGHT TRIANGLE AREAS: NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT. PLANT MATERIAL OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN THE VISIBILITY AREAS SHALL NOT EXCEED 24" IN HEIGHT, MEASURED FROM TOP OF ADJACENT CURB.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
- THE EXISTING SEWER SERVICES TO REMAIN. NEW WATER SERVICE IS PROPOSED.

OPEN GRADING QUANTITIES

	QTY. (CY)	MAX. HT. (FT)
CUT	30	2.60
FILL	44	2.00
IMPORT	14	

CAISSON GRADING QUANTITIES

	QTY. (CY)	MAX. HT. (FT)
CUT	144	38" (CAISSON DEPTH)
FILL	0	0.00
EXPORT	144	

*GRADING QUANTITIES ARE FOR PERMITTING PURPOSES ONLY - NO FILL OR CUT FACTORS APPLIED, QUANTITIES ARE CALCULATED TO FINISHED GRADE

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS FORM I-5

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S SD-1 THROUGH SD-8. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST

NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SITE DESIGN REQUIREMENT	APPLIED?		
SD-1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SD-3 MINIMIZE IMPERVIOUS AREA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-6 RUNOFF COLLECTION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:
SD-8 - HARVESTING FOR SITE IS NOT FEASIBLE FROM A LAYOUT PERSPECTIVE. HOWEVER, THE MAJORITY OF THE LANDSCAPING IS WITHIN THE BIOSWALE AND RUNOFF WILL SUPPLY WATER DURING STORMS TO THE LANDSCAPING ON SITE.

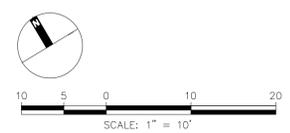
SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS FORM I-4

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S SC-1 THROUGH SC-8. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST

NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SOURCE CONTROL REQUIREMENT	APPLIED?		
SC-1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SC-2 STORM DRAIN STENCILING OR SIGNAGE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SC-6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS			
ON-SITE STORM DRAIN INLETS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INTERIOR PARKING GARAGES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FOOD SERVICE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REFUSE AREAS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INDUSTRIAL PROCESSES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FUEL DISPENSING AREA	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LOADING DOCKS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FIRE SPRINKLER TEST WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:





DeLorenzo International
Landscape Architecture
+
Land Planning
3990 Old Town Ave.
Suite A-204
San Diego, CA 92110
619.295.5115

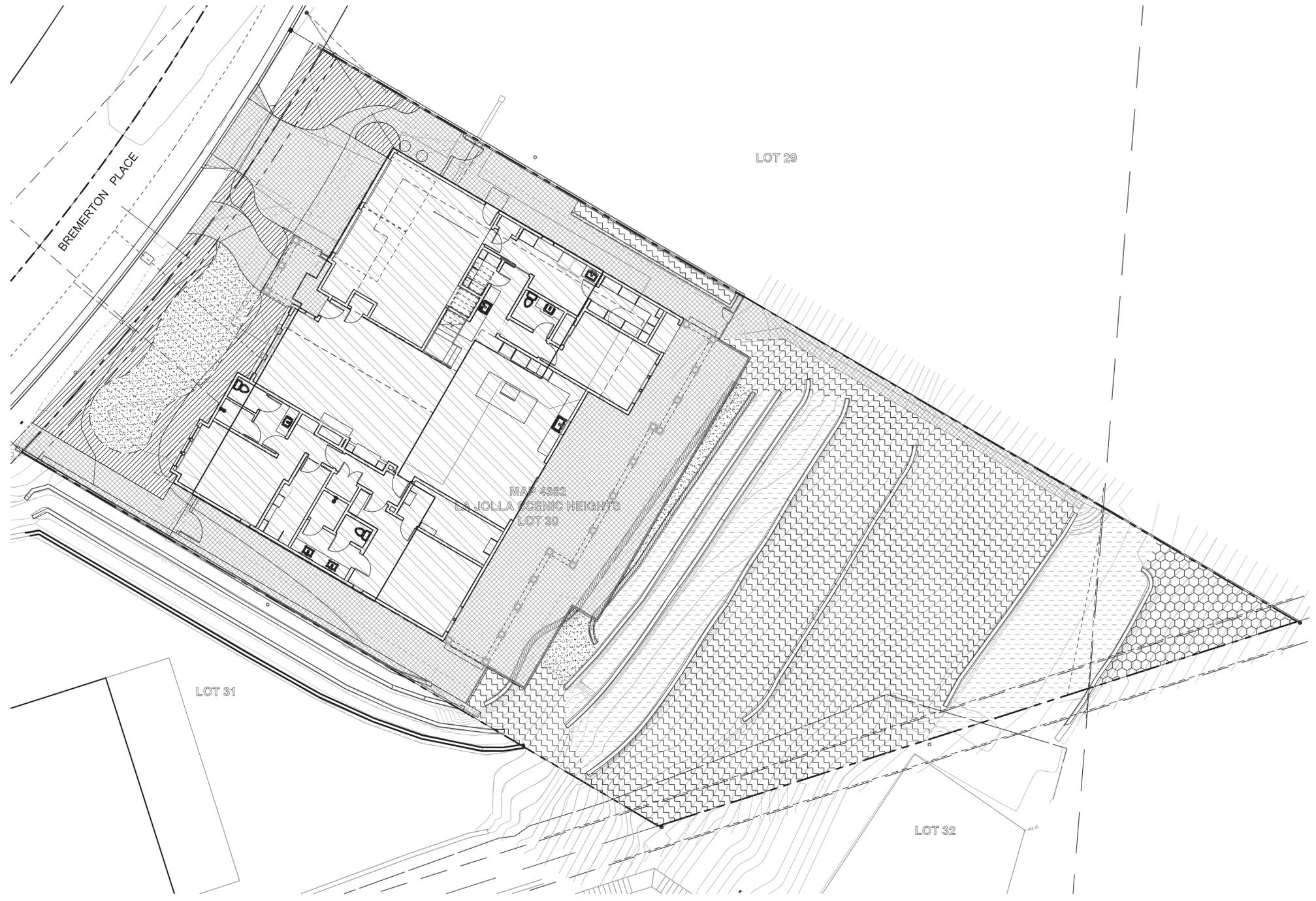


LANDSCAPE AREA
DIAGRAM

DOSTART RESIDENCE
3115 BREMERTON PLACE
LA JOLLA, CA 92037

LANDSCAPE DIAGRAM LEGEND

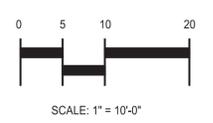
LANDSCAPE AREA		
	EXISTING IRRIGATED AREA TO REMAIN	3,649 SQ. FT.
	NEW LANDSCAPE AREA	876 SQ. FT.
TOTAL LANDSCAPE AREA		4,525 SQ. FT.
NON-LANDSCAPE AREA		
	IMPERVIOUS PAVING	3,461 SQ. FT.
	ARCHITECTURE	4,182 SQ. FT.
	EXISTING ARTIFICIAL TURF TO REMAIN	1,843 SQ. FT.
	NEW ARTIFICIAL TURF	613 SQ. FT.
	EXIST. DISTURBED COASTAL SAGE SCRUB	383 SQ. FT.
TOTAL NON-LANDSCAPE AREA		10,482 SQ. FT.
TOTAL AREA		15,007 SQ. FT.
LANDSCAPE AS A PERCENTAGE OF TOTAL AREA		30.1%



Revision/Description	Date
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△	
△	
△	
△	

Drawn By: KF
Reviewed By: MS
Project Mgr.: MS

Job No: 17-024
Date: 12/4/2017
Scale: As Shown



SCALE: 1" = 10'-0"

**WATER EFFICIENT LANDSCAPE
WATER BUDGET WORKSHEET**

PROJECT INFORMATION:

PROJECT NAME: Dostart/Bremerton Residence
 PROJECT ADDRESS: 3115 Bremerton Place, La Jolla, CA
 WORKSHEET PREPARER: Kaori Fukuyama, DeLorenzo International
 PREPARER'S PHONE NO.: (619) 295-5115 x224

PROJECT #: 17-024
 PROJECT ETO: 41.0
 Eto ZONE: La Jolla
 DATE: 10/19/17

WATER BUDGET (MAWA)

Eto = 41.0 ETAF = 0.55 LA = 4,451 SLA = 0

MAWA = (Eto)(0.62)[(ETAF X LA) + ((1-ETAF) X SLA)]
 MAWA = **62,229 Gal. per Year**

ESTIMATED TOTAL WATER USE (ETWU)

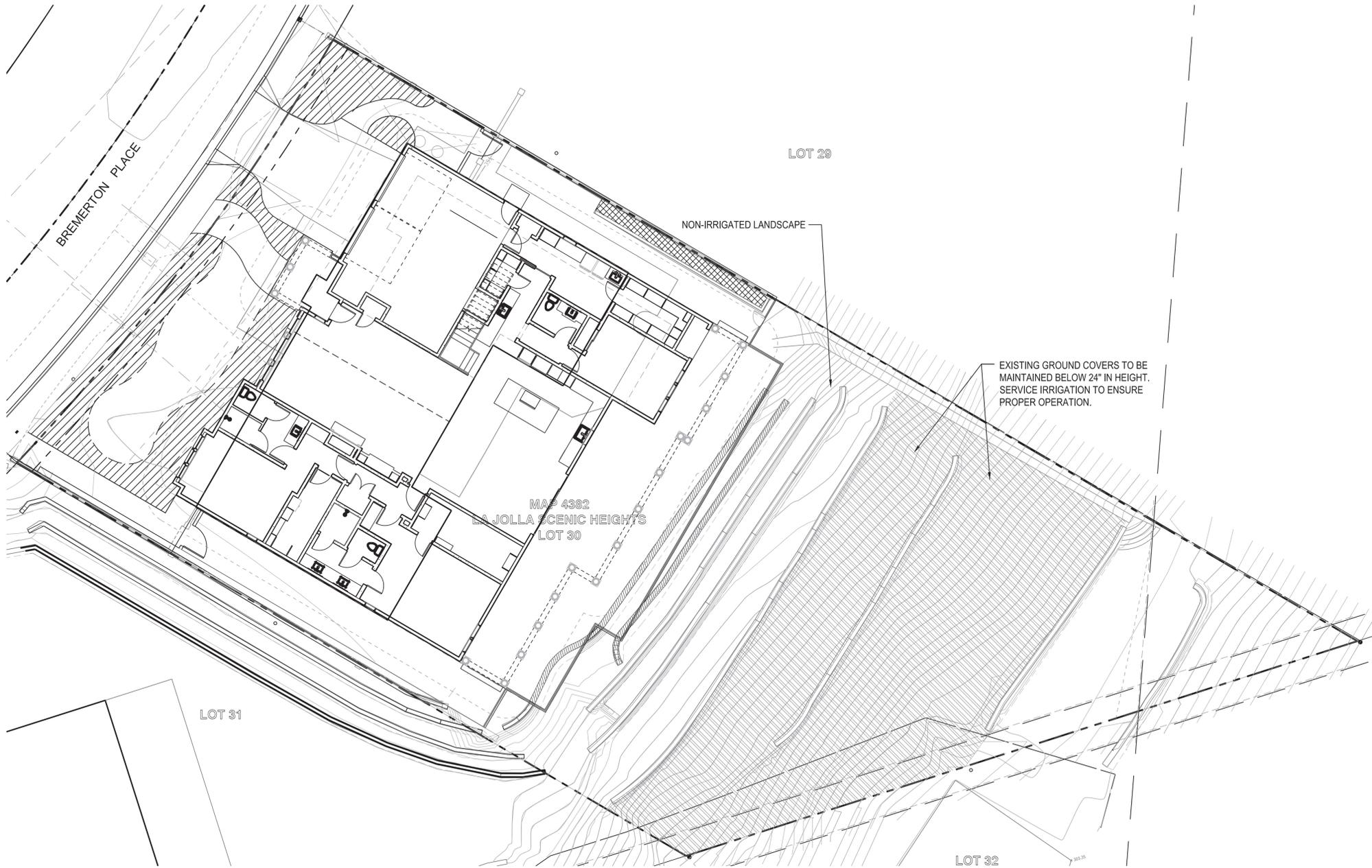
CONTROLLER NO.	HYDROZONE NO.	VALVE CIRCUIT	PLANT FACTOR (PF)	HYDROZONE AREA IN S.F. (HA)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	% TOTAL LANDSCAPE AREA
A	1	A-1	0.50	300	Bubbler	0.81	7%
A	2	A-2	0.50	876	Drip	0.81	20%
A	3	A-3	0.50	76	Bubbler	0.81	2%
A	4	A-4	0.20	3,199	MP Rotator	0.70	72%
				TOTAL			100%

CONTROLLER NO.	ETWU = [(Eto)(0.62)][(PF/IE) X HA] + SLA	RESULT IN GALLONS PER YEAR
A-1	Zone 1 - Tree Irrigation, bubblers	4,707
A-2	Zone 2 - Foundation and accent shrubs, part sun, on-grade drip	13,746
A-3	Zone 3 - Ex. Tacomaria espallier, bubblers	1,193
A-4	Zone 4 - Ex. Acacia 'Desert Carpet'/ buckwheat, Brush Management Zone 1, MP rotators	23,234
ETWU TOTAL		42,879

HYDROZONE DIAGRAM LEGEND

SYMBOL	DESCRIPTION	WUCOLS
NOT SHOWN	HYDROZONE 1 NEW TREES - TREE BUBBLERS	M
	HYDROZONE 2 NEW LANDSCAPE AREA - DRIP IRRIGATION	M
	HYDROZONE 3 EXISTING ESPALLIER - BUBBLERS	M
	HYDROZONE 4 EXISTING GROUNDCOVERS - MP ROTATOR	VL

NOTE:
 TREE BUBBLERS ARE NOT SHOWN ON HYDROZONE DIAGRAM BUT INCLUDED IN THE WATER EFFICIENT LANDSCAPE WATER BUDGET WORKSHEET.



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HYDROZONE PLAN AND CALCULATIONS

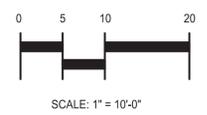
DOSTART RESIDENCE
 3115 BREMERTON PLACE
 LA JOLLA, CA 92037

Revision/Description Date

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- △
- △
- △
- △

Drawn By: KF
 Reviewed By: MS
 Project Mgr.: MS

Job No: 17-024
 Date: 12/4/2017
 Scale: As Shown



L-3