



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 14, 2018 REPORT NO. HO-18-015

HEARING DATE: March 21, 2018

SUBJECT: LOUGHRIDGE RESIDENCE CDP/NDP, Process Three Decision

PROJECT NUMBER: [562051](#)

OWNER/APPLICANT: Chris Loughridge Trust

SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit located at 1002 West Briarfield Drive in the Pacific Beach Community Plan and Local Coastal Program area?

Staff Recommendation:

1. Approve an application for a Coastal Development Permit No. 1984402 and Neighborhood Development Permit No. 2097304;

Community Planning Group Recommendation: On September 27, 2017, the Pacific Beach Community Planning Group voted 13-0-1 to recommend approval of the proposed project without conditions.

Environmental Review:

The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15301 (Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 18, 2018, and the opportunity to appeal that determination ended February 2, 2018.

BACKGROUND

The project site is located at 1002 West Briarfield Drive, south of Pacific Beach Drive (Attachment 1) in the RS-1-7, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, and the Parking Impact (Beach and Coastal) and Residential Tandem Overlay Zones within the Pacific Beach Community Plan and Local Coastal Program (Community Plan) area. The Community Plan's land use designation for the project site is Very Low Density Residential at 2 to 5 dwelling units per acre

(Attachment 2). The project site can accommodate one dwelling unit based on the Community Plan land use designation and the single family zone. The surrounding properties have been previously graded and developed with single dwelling units (Attachment 3).

The existing single family dwelling unit was constructed in 1956, and contains five-bedrooms and two bathrooms. A historical assessment was performed and City staff (Project No. 553456) has determined that the property is not eligible for historic designation.

The project, as currently proposed, requires the processing of a Coastal Development Permit per SDMC Section 126.0704 (Process 3) for demolition of a structure and construction of a new residence within the First Public Roadway and the Coastal Appealable area. A Neighborhood Development Permit is required per SDMC 126.0402(b) & Table 143-01A (Process 2) for development within the FEMA Floodways & Floodplains Overlay Zone (100 year floodplain, category AE). This is considered a form of Environmentally Sensitive Lands per SDMC 143.0110(a)(5) as Special Flood Hazard Area. All actions are consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in Municipal Code Section 112.0103.

DISCUSSION

The project proposes the demolition of the existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site. The proposed ground floor would include a family room, living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square-foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck.

The project site is located directly adjacent to Bayside Walk and Mission Bay at the sites western property line and located approximately 1,594 feet eastward of the Pacific Ocean. The site is within the First Public Roadway parallel to the sea. The property is not within a designated view shed or scenic overlook and designated in the Community Plan, but does contain unobstructed views southward to the Mission Bay.

The site is approximately six feet above Mean Sea Level (MSL) and is located within the 100-year floodplain. The development complies with the special flood plain regulation of SDMC Section 143.0145 and 143.0146 and is therefore not an Environmentally Sensitive Lands impact. The project proposes a maximum building height of 27 feet and nine inches and below the 30-foot height limit allowed by the Coastal Height Limitation Overlay Zone. The project as proposed will observe a front yard setback of 15 feet, street side setback of 10 feet, side yard setback of 4 feet, and rear yard setback of 5 feet.

The Community Plan's Residential Design Standards recommends the preservation of waterfront resources through terraced second and third stories of new oceanfront and bayfront development or articulated oceanfront facades to minimize a walled effect along the water and adjacent walkways. Additionally the Residential Standard seeks to ensure that new residential structures are designed to maintain public views of the beaches and bay. The project is a contemporary beach house highlighted by large windows, projecting roof eaves and trellises, and indoor/outdoor living

created with gardens, terraces, and roof decks. The building materials include hand troweled smooth stucco with a Santa Barbara finish, aluminum doors and windows, glass guardrails, and trellises with steel frames and wood slats. The project as proposed incorporates various horizontal and vertical off setting planes, stepped back the second story, and second story and roof decks. The residence and garage are harmonious with other structures in the surrounding area. The project will be developed wholly within the private property and observe the prescribed development setbacks.

Conclusion:

Staff has reviewed the proposed project, and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the Land Development Code. Staff has provided draft conditions of approval (Attachment 6) and draft findings to support approval of the project (Attachment 5). Staff recommends that the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1984402 and Neighborhood Development Permit No. 2097304, with modifications.
2. Deny Coastal Development Permit No. 1984402 and Neighborhood Development Permit No. 2097304, if the findings required to approve the project cannot be affirmed.

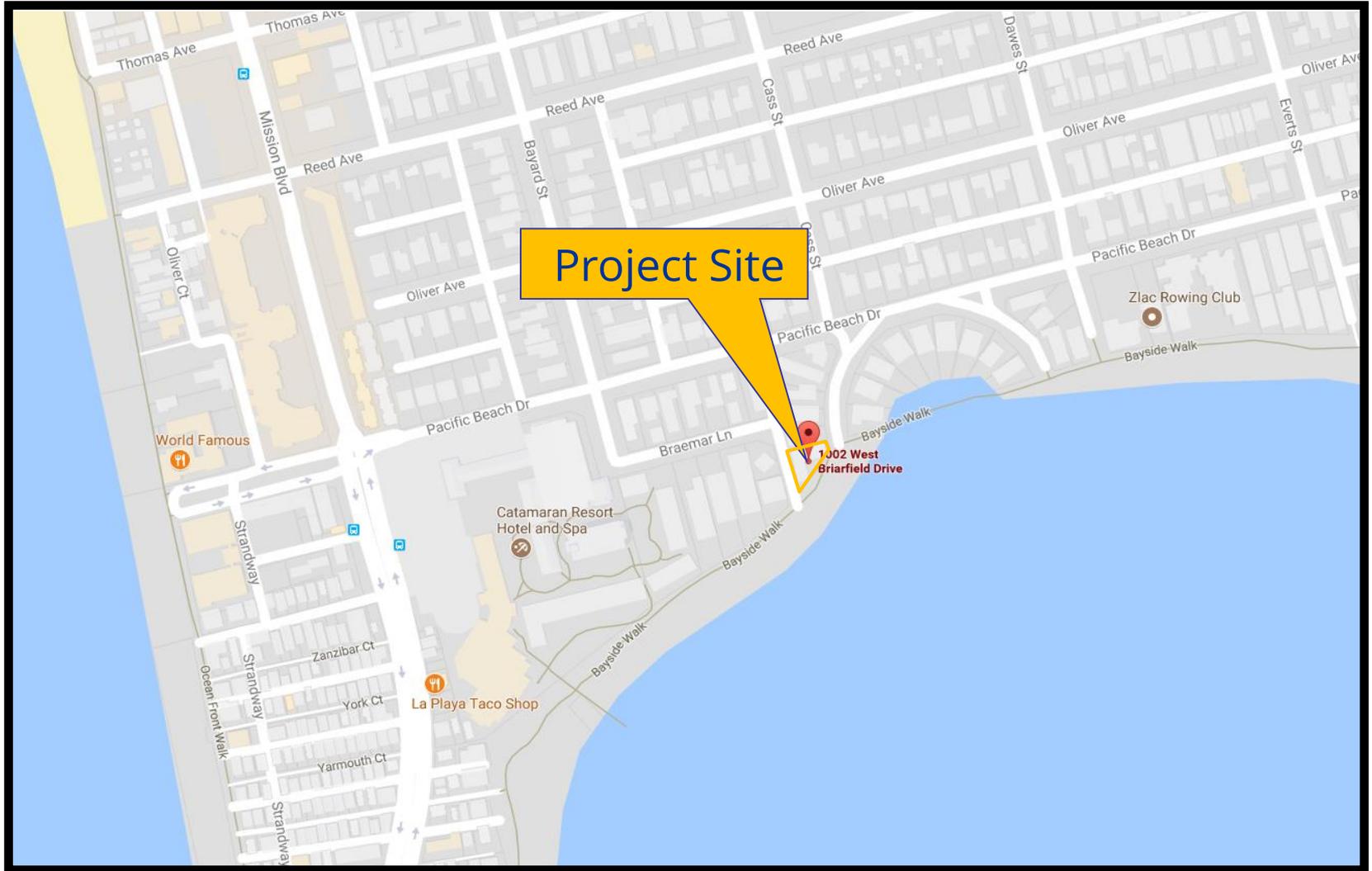
Respectfully submitted,



Karen Bucey, Development Project Manager

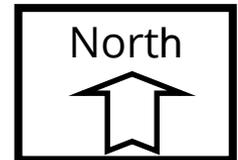
Attachments:

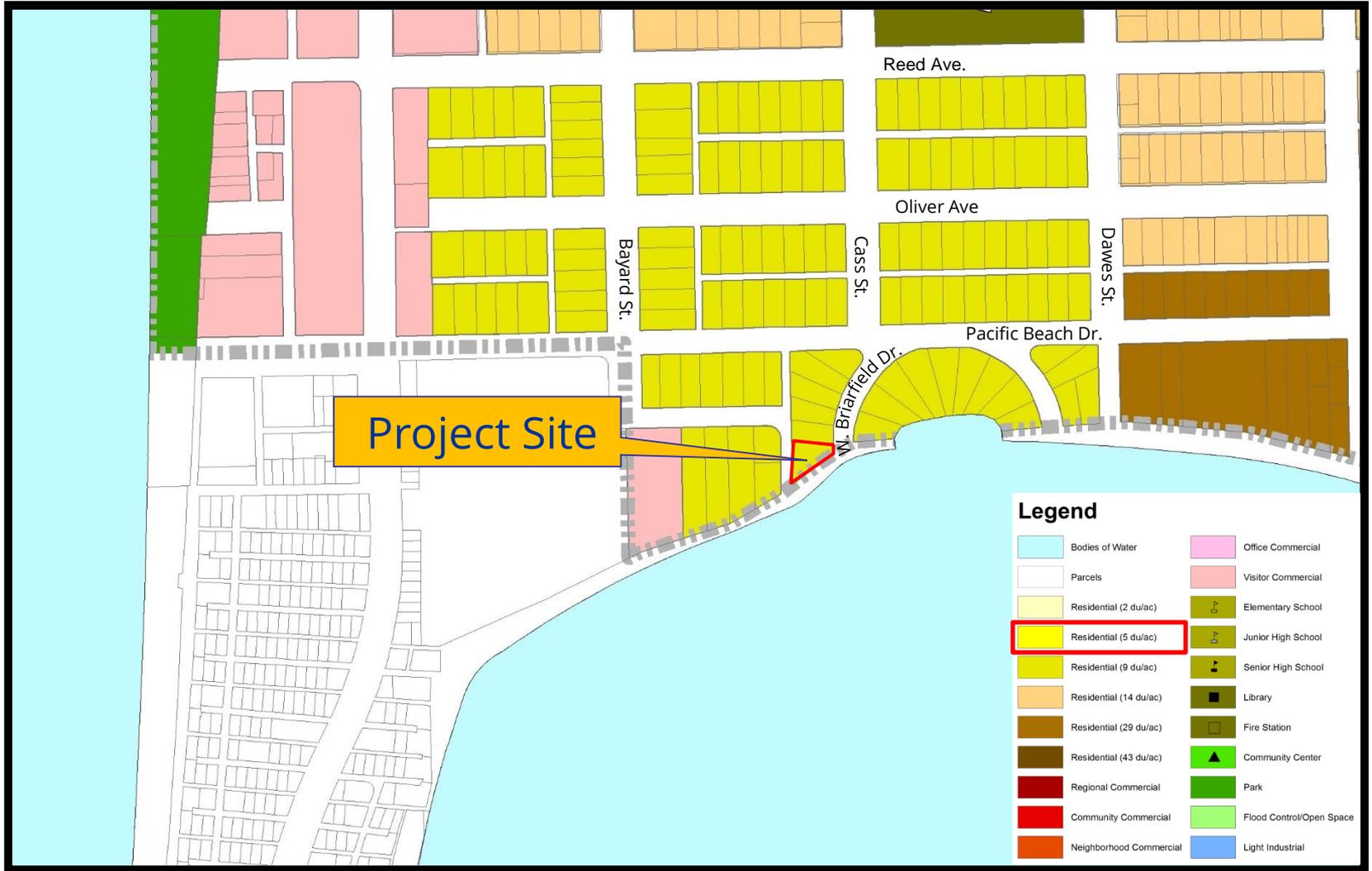
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



Location Map

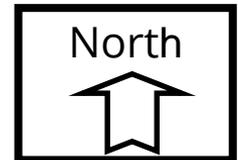
Loughridge Residence; Project No. 562051
1102 West Briarfield Drive

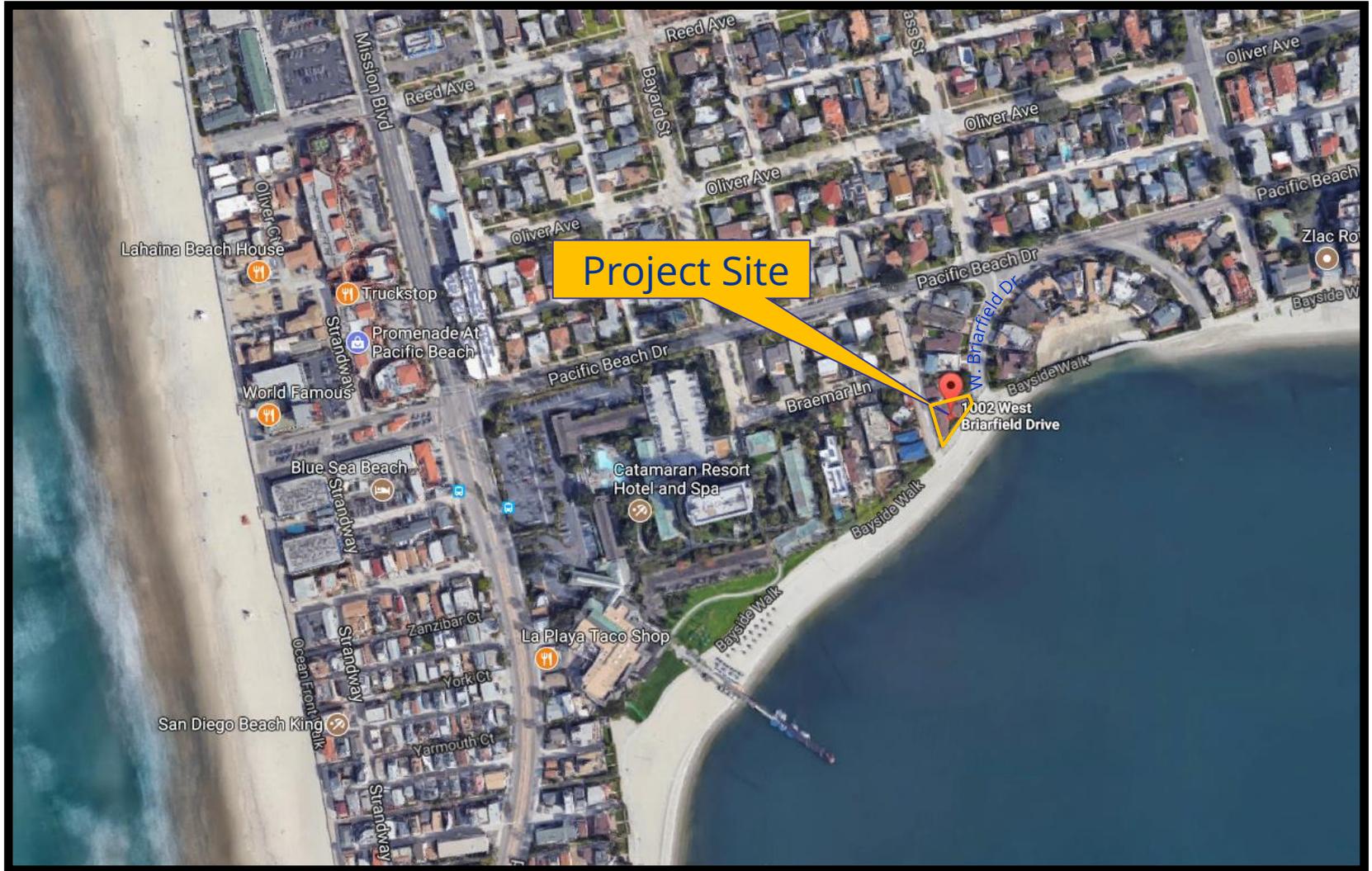




Pacific Beach Community Plan Land Use Map

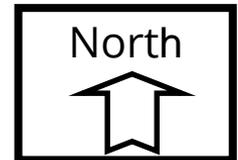
Loughridge Residence; Project No. 562051
1102 West Briarfield Drive





Aerial Photograph

Murphy Residence; Project No. 501936
7927 El Paseo Grande



PROJECT DATA SHEET

PROJECT NAME:	Loughridge Residence – Project No. 562051	
PROJECT DESCRIPTION:	Permit for the demolition of an existing two-story dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site. The proposed ground floor would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape, and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck.	
COMMUNITY PLAN AREA:	Pacific Beach Community Plan and Local Coastal Program	
DISCRETIONARY ACTIONS:	Coastal Development Permit / Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Density Residential (2-5 dwelling units per acre)	
ZONING INFORMATION:		
Zone:	RS-1-7	
Height Limit:	30-foot maximum Coastal Height.	
Lot Size:	0.15-acres	
Floor Area Ratio:	0.58	
Front Setback:	15 feet	
Side Setback:	4 feet	
Streetside Setback:	10 feet	
Rear Setback:	5 feet	
Parking:	2	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Very Low Density Residential (2-5 DU/AC); RS-1-7	Single Family Residential
SOUTH:	Mission Bay	Mission Bay
EAST:	Very Low Density Residential (2-5 DU/AC); RS-1-7	Single Family Residential
WEST:	Very Low Density Residential (2-5 DU/AC); RS-1-7	Single Family Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On, September 27, 2017 the Pacific Beach Community Planning Group voted 13/0/1 (Chair abstaining) to recommend approval of the proposed project without conditions.	

HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 1984402
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2097304
LOUGHRIDGE RESIDENCE PROJECT NO. 562051

WHEREAS, CHRIS LOUGHRIDGE TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish the existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit and 470-square-foot carport (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.'s 1984402 and 2097304), on portions of a 0.15-acre site;

WHEREAS, the project site is located at 1002 West Briarfield Drive in the RS-1-7 Zone of the Pacific Beach Community Plan and Local Coastal Program;

WHEREAS, the project site is legally described as Lot 1 in Block 9 of Braemar Extension, in the City of San Diego, County of San Diego, State of California, according to the map thereof No. 1927, filed in the Office of San Diego County July 12, 1926 ;

WHEREAS, on January 18, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15301 (Existing Facilities) and 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on March 21, 2018, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1984402 and Neighborhood Development Permit No. 2097304 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 21, 2018.

A. Coastal Development Permit - SDMC Section 126.0708

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes the demolition of the existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a

0.15-acre site located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck. The exterior will include a 470-square-foot carport, landscape and hardscape improvements.

The project is located south of Pacific Beach Drive and is directly adjacent to Bayside Walk and 120 feet from Mission Bay at the sites western property line and located approximately 1,595 feet eastward of the Pacific Ocean. The site is within the First Public Roadway and less than 300 feet from the inland extent of the beach and the mean high tide line. The property is not within a designated view shed or scenic overlook as designated in the Pacific Beach Community Plan, but does contain unobstructed views southward to the bay.

The Pacific Beach Community Plan's Residential Design Standards recommend the preservation of waterfront resources through terraced second and third stories of new oceanfront and bayfront development or articulated oceanfront facades to minimize a walled effect along the water and adjacent walkways. Additionally the Residential Policy seeks to ensure that new residential structures are designed to maintain public views of the beaches and bay. The project is a contemporary beach house highlighted by large windows, projecting roof eaves and trellises, and indoor/outdoor living created with gardens, terraces, and roof decks. The project as proposed incorporates various horizontal and vertical off setting planes, stepped back the second story, and second story and roof decks. The project will be developed wholly within the private property and provide a 10-foot view corridor over the front yard setback. All landscaping in the view corridors shall be selected with a maturity height or maintained to be no taller than three-feet. Trees shall be maintained to have a canopy no lower than eight-feet to allow public view across the site to Mission Bay.

Therefore, the project is will not encroach upon any existing or proposed physical accessway, and will enhance and protect public views to and along the ocean and other scenic coastal areas consistent with the certified Local Coastal Program.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project proposes the demolition of the existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square-foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck.

The subject property is 120 feet from Mission Bay, 1,595 feet from the Pacific Ocean, six feet above Mean Sea Level, located within the 100-year floodplain, and within the first public roadway and less than 300 feet from the inland extent of the beach and the mean high tide line. However development complies with the special flood plain regulation of SDMC Section 143.0145 and 143.0146 and is therefore not an Environmentally Sensitive Lands impact. The site is not within, or adjacent to, the Multiple Species Conservation Program/Multi-Habitat Planning Area (MSCP/MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code Section 113.0103. Therefore, it has been determined that the proposed coastal development will not adversely affect Environmental Sensitive Lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes the demolition of an existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site, located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck. The site is in the Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, and the Parking Impact (Beach and Coastal), and Residential Tandem Overlay Zones.

The Pacific Beach Community Plan and Local Coastal Program designates the site Very Low Density Residential at 2-5 dwelling units per acre. The existing development of one dwelling unit is in conformance with the land use density and the RS-1-7 zone. The development of a two-story single dwelling unit with roof deck will not impact the land use consistency.

The Pacific Beach Community Plan Residential Element goals and policies call for new construction to maintain the residential scale of Pacific Beach to ensure that properties reflect the scale and character of the established neighborhood. Additionally, development should be designed to maintain public views of the beaches and bay. The structure as designed is articulated at the first and second floors. The second floor is stepped back and provides above grade patio areas. Further the residence is in an L-shape opening up to Bayside Walk and Mission Bay reducing the bulk and scale of the development and retaining view opportunities across the front and rear setbacks.

The project is not requesting nor does it require any deviations or variances from the applicable regulations of the Certified Implementation Program. Therefore the development is in conformity with the Certified Local Coastal Program land use plan and certified implementation program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes the demolition of an existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site, located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck. The site is in the Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, and the Parking Impact (Beach and Coastal), and Residential Tandem Overlay Zones.

The subject property is 120 feet from Mission Bay, 1,595 feet from the Pacific Ocean, six feet above Mean Sea Level, located within the 100-year floodplain, and within the first public roadway and less than 300 feet from the inland extent of the beach and the mean high tide line.

The proposed development does not contain public access crossing the site but does front on West Briarfield Drive to the east, and unnamed alley to the west, and Bayside Walk a pedestrian and bicycle accessway to the south. The development will be entirely within private property and not encroach on formal or informal accessway to the shore or recreational opportunities. Therefore, the development is in it conformity with the public access and public recreation policies of the California Coastal Act.

B. Neighborhood Development Permit - SDMC Section 126.0404

1. Findings for all Neighborhood Development Permits

- a. The proposed development will not adversely affect the applicable land use plan;**

The project proposes the demolition of an existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site, located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck.

The Pacific Beach Community Plan and Local Coastal Program designates the site Very Low Density Residential at 2-5 dwelling units per acre. The existing development of one dwelling unit is in conformance with the land use density and the RS-1-7 zone. The development of a two-story single dwelling unit with roof deck will not impact the land use consistency.

The Pacific Beach Community Plan Residential Element goals and policies call for new construction to maintain the residential scale of Pacific Beach to ensure that properties reflect the scale and character of the established neighborhood. Additionally, development should be designed to maintain public views of the beaches and bay. The structure as designed is articulated at the first and second floors. The second floor is stepped back and provides above grade patio areas. Further the residence is in an L-shape opening up to Bayside Walk and Mission Bay reducing the bulk and scale of the development and retaining view opportunities across the front and rear setbacks.

The project is not requesting, nor does it require, any deviations or variances from the policy documents, applicable regulations, and is consistent with the recommended land use designation and development standards in effect for the site.

b. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project proposes the demolition of an existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site, located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck.

The subject property is 120 feet from Mission Bay, 1,595 feet from the Pacific Ocean, six feet above Mean Sea Level, located within the 100-year floodplain, and within the first public roadway and less than 300 feet from the inland extent of the beach and the mean high tide line. The development complies with the special flood plain regulation of SDMC Section 143.0145 and 143.0146 and is therefore not an Environmentally Sensitive Lands impact. The site is not within or adjacent to the MSCP/ MHPA and does not contain any other type of Environmental Sensitive Lands as defined in San Diego Municipal Code Section 113.0103.

The permit for the project includes conditions relevant to achieving project compliance with the applicable regulations in effect for this project. The permit conditions, and storm water best management practices have been determined to be necessary to avoid adverse impacts upon the health, safety, and general welfare of persons residing or working in the surrounding area. Prior to the

Owners/Permittees obtaining grading, public improvement, and building permits the proposed development will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing, and Fire Code requirements.

The project is not requesting, nor does it require, any deviations or variances from the applicable regulations and policy documents, and is consistent with development standards in effect for the site. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes the demolition of an existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site, located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck. The site is within the RS-1-7 zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, and the Parking Impact (Beach and Coastal), and Residential Tandem Overlay Zones.

The 0.15-acre site could accommodate one dwelling unit based on the applicable community plan land use designation and implementing zone. The project conforms to the Coastal Height Limitation Overlay through a design height of 27-foot, nine-inches consistent with the height limit allowed by the Coastal Height Limitation Overlay Zone. The site will conformance with the San Diego Municipal Code Sections 142.0520 and 142.0521 for parking standards through the provision of off-street parking.

The project is not requesting, nor does it require, any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation and development standards in effect for the site. Therefore, the proposed development will not adversely affect the applicable land development code.

2. Supplemental Findings--Environmentally Sensitive Lands – Section 126.0404(b)

(1) The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project proposes the demolition of an existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site, located at 1002 West Briarfield Drive. The proposed ground floor

would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck. The site is within the RS-1-7 zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, and the Parking Impact (Beach and Coastal), and Residential Tandem Overlay Zones.

The subject property is 120 feet from Mission Bay, 1,595 feet from the Pacific Ocean, six feet above Mean Sea Level, located within the 100-year floodplain, and within the first public roadway and less than 300 feet from the inland extent of the beach and the mean high tide line. The site is not within or adjacent to the MSCP/ MHPA and does not contain any other type of Environmental Sensitive Lands as defined in San Diego Municipal Code Section 113.0103.

The project has been designed and sited to minimum disturbance to environmentally sensitive lands by locating the dwelling unit in a similar footprint to the existing dwelling. In addition, the proposed finish floor is raised two feet above the low point to an elevation of eight feet above mean sea level consistent with SDMC Section 143.0146(b)(2). Therefore, the proposed development will minimize disturbance to environmentally sensitive lands.

(2) The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project proposes the demolition of an existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site, located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck. The site is within the RS-1-7 zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, and the Parking Impact (Beach and Coastal), and Residential Tandem Overlay Zones.

The project proposes 220 cubic yards of fill on the site to raise the finished floor two feet above base flood elevation. In order to reduce risk from geologic and erosional forces and flood hazards, the building foundation is anchored and storm water quality basins are proposed within the subject property, consistent with SDMC Section 143.0146(b)(5). Therefore, the proposed development will minimize alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

(3) The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands; and

The project proposes the demolition of an existing two-story single family dwelling unit and the construction of a new two-story 3,700-square-foot dwelling unit on a 0.15-acre site, located at 1002 West Briarfield Drive. The proposed ground floor would include a family room, Living room, dining room, kitchen, laundry room, three-bedrooms, three-bathroom, and powder room. The exterior will include a 470-square foot carport, landscape and hardscape improvements. The proposed second floor would include three-bedrooms, three-bathrooms, and three-decks. The third floor roof will include a deck. The site is within the RS-1-7 zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, and the Parking Impact (Beach and Coastal), and Residential Tandem Overlay Zones.

The subject property is 120 feet from Mission Bay, 1,595 feet from the Pacific Ocean, six feet above Mean Sea Level, located within the 100-year floodplain, and within the first public roadway and less than 300 feet from the inland extent of the beach and the mean high tide line. The site is not within or adjacent to the MSCP/ MHPA and does not contain any other type of Environmental Sensitive Lands as defined in SDMC Section 113.0103.

The project has been designed and sited to minimum disturbance to environmentally sensitive lands by locating the dwelling unit in a similar footprint to the existing dwelling. The proposed development will be contained entirely within private property and will not encroach onto any adjacent environmentally sensitive lands. The development will be designed and constructed consistent with SDMC Section 143.0146(c) Regulations for Special Flood Hazard Areas Standards. The proposed lowest floor of building structure shall be elevated 2 feet above the base flood elevation and the building structure shall be anchored to prevent flotation, collapse, or lateral movement from flood. All equipment for mechanical, electrical, and plumbing and other service facilities will be designed and located to resist flooding. Therefore, the proposed development will minimize disturbance to environmentally sensitive lands.

(4) The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

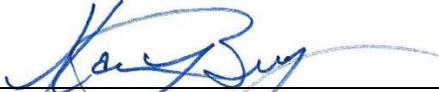
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ATTACHMENT 5

The project site is not located in or adjacent to Multiple Species Conservation Program lands and the project site will not be subject to ESL Sensitive Biological resources regulations as the Unvegetated Beach Habitat is separated by the Bayside Walk and some patchy grass. Therefore the proposed development will not be subject to the MSCP Subarea Plan.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1984402 / Neighborhood Development Permit No. 2097304 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.'s 1984402 and 2097304, a copy of which is attached hereto and made a part hereof.



Karen Bucey
Development Project Manager
Development Services

Adopted on: March 21, 2018

IO#: 24007385

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

**WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

INTERNAL ORDER NUMBER: 24007385

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1984402
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2097304
LOUGHRIDGE RESIDENCE PROJECT NO. 562051
HEARING OFFICER

This Coastal Development Permit No. 1984402 and Neighborhood Development Permit No. 2097304 is granted by the Hearing Officer of the City of San Diego to CHRIS LOUGHRIDGE TRUST, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0704 and 126.0404. The 0.15-acre site is located at 1002 West Briarfield Drive in the RS-1-7, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, and the Parking Impact (Beach and Coastal) and Residential Tandem Overlay Zones within the Pacific Beach Community Plan and Local Coastal Program. The project site is legally described as Lot 1 in Block 9 of Braemar Extension, in the City of San Diego, County of San Diego, State of California, according to the map thereof No. 1927, filed in the Office of San Diego County July 12, 1926.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee to demolish existing single dwelling unit and construction a new single dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 21, 2018, on file in the Development Services Department. The project shall include:

- a. The demolition of the existing single dwelling unit and construction of a new 3,700-square-foot two-story dwelling unit with roof deck. The residence consists of three-bedrooms, three-bathrooms, laundry room, kitchen, dining room, and living room on the first floor. The second floor consists of three-bedrooms and three-bathrooms.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Carport and off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 18, 2021 (pending California Coastal Commission appeal period).
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private landscaping and irrigation in Briarfield Drive.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged sidewalk and gutter with current City Standard gutter and sidewalk maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Briarfield Drive.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall remove and replace the adjacent alley, full width, with current City Standard, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
18. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

21. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
23. Prior to the issuance of any construction permits, the Owner/Permittee shall record a 10-foot wide View Corridor Easement along the Eastern property front yard setback area as shown on Exhibit "A," in accordance with SDMC section 132.0403.
24. Open fencing and landscaping may be permitted within the visual corridor, provided such improvements and landscaping do not significantly obstruct public views of the ocean. Landscape within the side yard view corridors shall be planted and maintained to preserve and enhance public views to the ocean.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

ATTACHMENT 6

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 21, 2018 and [Approved Resolution Number].

ATTACHMENT 6

CDP No. 1984402/NDP No. 2097304
Date of Approval: March 21, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Bucey
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Chris Loughridge Trust
Owner/Permittee

By _____
Christopher L. Loughridge
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: LOUGHRIDGE RESIDENCE CDP SDP

Project No. / SCH No.: 562051/N.A.

Project Location-Specific: 1002 West Briarfield Drive, San Diego, CA 92109

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: COASTAL DEVELOPMENT PERMIT (CDP) and NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) to demolish an existing single dwelling unit and construction of a new single dwelling unit of 3,700 square feet located at 1002 West Briarfield Drive. Project proposal includes the demolition of existing two-story single family residence and exterior hardscape, and construction of a new two-story single family residence, site retaining walls, and exterior hardscaping. The 0.15 acre site project site is located within the RS-1-7 zone, the First Public Roadway, the Coastal Overlay Zone (CST-APP), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (PIOZ-Coastal-Impact & PIOZ-Beach-Impact), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, is within the Pacific Beach Local Coastal Program and Community Plan Area, Council District 2. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with all public utilities in place to serve the residence.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Chris Loughridge
 3565 Riviera Drive
 San Diego, CA, 92109
 858-272-4600

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15301 (Existing facilities) and 15303 (New construction or conversion of small structures)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) and 15303 (New Construction). The exemption is appropriate because 15301 allows for the demolition of one single family residence and 15303 allows for the construction of up to three single-family residences. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; and the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.



Pacific Beach Planning Group

www.pbplanning.org

Pacific Beach Taylor Library

4275 Cass Street, San Diego, CA 92109

Wednesday, September 27, 2017: 6:30-9:03 pm

MINUTES

- Item 1 - **Call to Order, Quorum**
- Item 2 - **Non-Agenda Public Comments**
- Item 3 - **Current Agenda** – Approved – 13-0-0
- Item 4 - **Minutes** – Approved – 9-0-4
- Item 5 - **PBPG Chair's Report**
- Item 6 - **Councilmember Zapf Representative**
- Item 7 - **PB Community Updates**
- Item 8 - **Code Compliance**
- Item 9 - **Special Events**
- Item 10 - **Streets and Sidewalks Subcommittee**
- Item 11 - **CRMS**

- a. **554713– 844 Opal Street** Motion to deny Victor/Kunysz
- b. **562051–** Loughridge Residence - Motion to approve Kunysz/? 13/0/1

Scott Maas of Safdie Rabines Architects presented. Said the project is preserving the footprint of the current ell-shaped residence. Master suite on ground floor. Stepping back from the boardwalk a lot in order to reduce mass. Planters up above. Beachy, friendly. Repurposing the currently planted roses. An issue that has come up with the California Coastal Commission: They want the view corridors preserved. But none are mapped. So they met, and now the view corridor has been opened up more. Parking is a detached, single-story carport.

Board Comments and Questions:

- Ryan: What's the fence on the boardwalk? Maas: Short wall with open stakes on top.
- Gallagher: Currently there's a white picket fence and roses. Maas: Keeping the roses. Fence will still be white, though metal.
- Kunysz: How will the planters above be watered? Maas: Irrigation. Water will be pumped up (probably gray water).
- Maas: There are lots of windows and cross-ventilation. Trellises will be above the windows, and they may use photovoltaic glass above the windows.
- Victor: Will the photovoltaics offset the power usage of the home? Maas: Don't know. Victor: Previous tiling? Maas: Yes.
- Triplett: What will the owner do with the residence? Maas: Live in it.
- Gallagher: It's a beautiful design; modern; could be iconic potentially. Do the neighbors think there will be view obstructions?
- Victor: Yes, it could be iconic. Great potential for EcoDistrict principles to be used.
- Olson: He is a neighbor, and he sees the property all the time. Said Maas is doing a really good job. But please: during the construction phase don't allow graffiti on the screening.
- Nordstrom: She is also a neighbor. Asked if any of the existing walls would be used in the construction, since the new home will be on the footprint of the older home. Maas: The original electrical, lighting, etc., was a mess and it would be cost-prohibitive.

Public Attendee Comments and Questions:

- Public attendee: Likes the design but is hearing a lot of "we'll look into that" and "maybe we could address that." Doesn't think we should vote on a project where issues aren't settled.
- Another public attendee: Will there be security lights? Maas: Yes.
- Another public attendee: Lives next door and is thrilled that the owner will actually live there. Owner has assured him that all regulations have been followed, including those regarding height. But there are some issues, including height and view corridors, that don't seem solved. Perhaps it is premature to vote on this project before they are resolved. He would feel more comfortable. The assessment letter has 11 pages.
- Rand: Called the project manager and discussed the issues. The project manager felt there was nothing of concern. She was surprised, however, that in PB the view corridor concerns are for views that are east-west but not north-south.
- Olson: Looked at the community plan. When you look at the view corridors, it's about public right of way, not about private property. But he might be wrong. Maas: He met with the Coastal Commission. They did include setbacks in their assessment, and alterations were made to the plan.
- The neighbor said it would be nice if they would make these corrections to the plans before the plans are approved. The neighbor just wants them to be in compliance.
- Victor: With the 11 pages of issues, why are you here tonight instead of next month or the following month? Rand: Had asked the project manager if this was really a good time to review the project, and she said yes.

- c. **568186 – Replace old sign with new 28' LED display sign** - Motion to approve Kunysz/Morrison 12-1-1
- d. **De Anza Cove Revitalization plans Letter of displeasure.**

Information Item:

- a. *Pro and con for Soccer City,*
- Item 12 - **Other Subcommittees and Reports**
- Item 13 - **Adjournment** - 9:03 pm.

Next PBPG Meeting: Wednesday, October 25, 2017 6:30-8:30 pm



THE CITY OF SAN DIEGO

City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title

Loughridge Residence

Project No. For City Use Only

562051

Project Address:

1002 West Briarfield Dr. San Diego, CA 92109

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Chris Loughridge

 Owner Tenant/Lessee Redevelopment Agency

Street Address:

3565 Riviera Drive

City/State/Zip:

San Diego, CA 92109

Phone No:
858-272-4400

Fax No:

Signature :

Date:

6/27/17

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title:

Project No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

- Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
- Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):

- Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

- Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

- Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

- Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

- Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

- Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

LOUGHRIDGE RESIDENCE

New Building
1002 WEST BRIARFIELD DR.,
SAN DIEGO, CA 92109

APN: 423-350-14-00

Architect
SAFDIE RABINES ARCHITECTS
925 Fort Stockton Drive
San Diego, CA 92103
P (619) 297-6153
F (619) 299-6072
www.safdie-rabines.com

Civil Engineer
Stevens Cresto Engineering, INC.
9665 Chesapeake Dr.,
San Diego, CA 92123
858.694.5660

Soils Engineer
Christian Wheeler
3980 Home Avenue
San Diego, CA 92105
619.550.1700

Structural Engineer
xxx

Landscape
Precision Landscape Maintenance, INC.
5730 Kearny Villa Rd.,
San Diego, CA 92123

LOUGHRIDGE RESIDENCE

1002 WEST BRIARFIELD DR., SAN DIEGO, CA 92109

COASTAL DEVELOPMENT PERMIT / NEIGHBORHOOD DEVELOPMENT PERMIT

PROJECT TEAM:

OWNER
CHRIS LOUGHRIDGE
3565 RIVIERA DRIVE,
SAN DIEGO, CA 92109
619.840.7721

ARCHITECT
SAFDIE RABINES ARCHITECTS
925 FT. STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

CIVIL ENGINEER
STEVENS CRESTO ENGINEERING, INC.
9665 CHESAPEAKE DR.,
SAN DIEGO, CA 92123
858.694.5660

SOILS ENGINEER
CHRISTIAN WHEELER
3980 HOME AVENUE
SAN DIEGO, CA 92105
619.550.1700

STRUCTURAL ENGINEER
xxx

LANDSCAPE
PRECISION LANDSCAPE
MAINTENANCE, INC.,
5730 KEARNY VILLA RD.,
SAN DIEGO, CA 92123

DEVELOPMENT SUMMARY:

PROJECT SCOPE:
DEMOLITION OF EXISTING TWO-STORY SINGLE FAMILY RESIDENCE AND EXTERIOR HARDSCAPING. CONSTRUCTION OF A NEW TWO (2) STORY SINGLE FAMILY RESIDENCE, SITE RETAINING WALLS, AND EXTERIOR HARDSCAPING.

REQUIRED DISCRETIONARY PERMITS/APPROVALS:
COASTAL DEVELOPMENT PERMIT

PROJECT ADDRESS:
1002 WEST BRIARFIELD DR., SAN DIEGO, CA 92109

APN:
423-350-14-00

LOT SIZE:
6400 SF

LEGAL DESCRIPTION:
LOT 1 IN BLOCK 9 OF BRAEMAR EXTENSION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1927, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 12, 1926, EXCEPTING THEREFROM ANY PORTION THEREOF, HEREOF, HEREBY OR NOW LYING BELOW THE MEAN HIGH TIDE LINE OF MISSION OR FALSE BAY.

OVERLAY ZONE:
FIRST PUBLIC ROADWAY, COASTAL OVERLAY, COASTAL HEIGHT LIMIT, PARKING IMPACT (WITHIN BEACH IMPACT AREA), RESIDENTIAL TANDEM PARKING, TRANSIT

ENVIRONMENTALLY SENSITIVE LANDS:
100-YEAR FLOODPLAIN

GEOLOGIC HAZARD CATEGORY:
S2

JURISDICTIONAL AUTHORITIES:
CITY OF SAN DIEGO

COMMUNITY PLAN:
PACIFIC BEACH COMMUNITY PLAN

BASE ZONE:
RS-1-7

EXISTING USE:
SINGLE FAMILY RESIDENCE, BUILT IN 1957

PROPOSED USE:
SINGLE FAMILY RESIDENCE

APPLICABLE BUILDING CODE:
2016 CALIFORNIA RESIDENTIAL CODE (CRC)

TYPE OF CONSTRUCTION:
TYPE VB

GENERAL NOTES:

OCCUPANCY CLASSIFICATION:
R-3, U-1

SPRINKLER:
AUTOMATIC - NFPA 13

NUMBER OF STORIES:
2

REQUIRED SETBACKS:
STREET SIDE: 10'
FRONT: 15'
SIDE: 4' (SEE NOTE IN SETBACK CALCULATION DIAGRAM)
REAR: 5' (SEE NOTE IN SETBACK CALCULATION DIAGRAM)

MAX BUILDING HEIGHT:
30' (45 DEGREE BUILDING ANGLE ENVELOP IS REQUIRED AT 24' HEIGHT AT FRONT / SIDE SETBACK)

PROPOSED BUILDING HEIGHT:
27'-9"

REQUIRED PARKING:
2

PROPOSED PARKING:
2

FLOOR AREA RATIO:
3680 SF / 6400 SF = 0.58

PROPOSED FRONT YARD LANDSCAPE AREA (MAX. HARDSCAPE AREA 60%):
TOTAL 514 SF OF HARDSCAPE AND LANDSCAPE AT FRONT YARD
- HARDSCAPE: 148 SF
- LANDSCAPE: 366 SF

HARDSCAPE AREA CALCULATION:
148 SF / 514 SF = 0.287 = 29% (71% LANDSCAPE AREA)

MAX F.A.R.:
0.58 (3,712 SF ALLOWED)

CARPORT (EXCLUDED):
470 SF

LEVEL 1 FLOOR AREA:
2,342 SF

LEVEL 2 FLOOR AREA:
1,358 SF

TOTAL FLOOR AREA:
3,700 SF

FLOOR AREA RATIO:
3,700 SF / 6,400 SF = 0.58

SHEET INDEX:

1_GENERAL	
T1.0	TITLE
T1.1	SETBACK & AREA CALCULATION
T1.2	SITE SURVEY
2_CIVIL	
C1	PRELIMINARY GRADING AND DRAINAGE PLAN
C2	PRELIMINARY GRADING AND DRAINAGE PLAN
3_LANDSCAPE	
L1.0	LANDSCAPE PLAN
L1.2	LANDSCAPE REVEGETATION
4_ARCHITECTURAL	
A1.0	SITE PLAN
A2.0	FLOOR PLAN - LEVEL 1
A2.1	FLOOR PLAN - LEVEL 2
A2.2	ROOF PLAN
A3.0	BUILDING ELEVATION - NORTH
A3.1	BUILDING ELEVATION - EAST
A3.2	BUILDING ELEVATION - SOUTH
A3.3	BUILDING ELEVATION - WEST
A3.4	CARPORT ELEVATIONS
A4.0	SITE SECTION
A4.1	SITE SECTION
A4.2	BUILDING SECTION
A4.3	BUILDING SECTION

DEFERRED SUBMITTALS:

1. FIRE SPRINKLER SYSTEM 2013 CFC 903 AND 2013 NFPA.

SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED DOCUMENTS HAVE BEEN REVIEWED & THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY BUILDING OFFICIAL.

VICINITY MAP:



BUILDING HEIGHT NOTE:

HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMIT AS OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG 5-4.



REVISIONS

No.	Description	Date
01	COASTAL DEVELOPMENT PERMIT	07/28/2017
02	CDP - RESUBMITTAL	10/20/2017
03	CDP - FINAL SUBMITTAL	12/22/2017

Issue Date: 10/20/17
Scale:
SRA Project Number: 1705

TITLE

T1.0

LOUGHRIDGE RESIDENCE

New Building
1002 WEST BRIARFIELD DR.,
SAN DIEGO, CA 92109

APN: 423-350-14-00

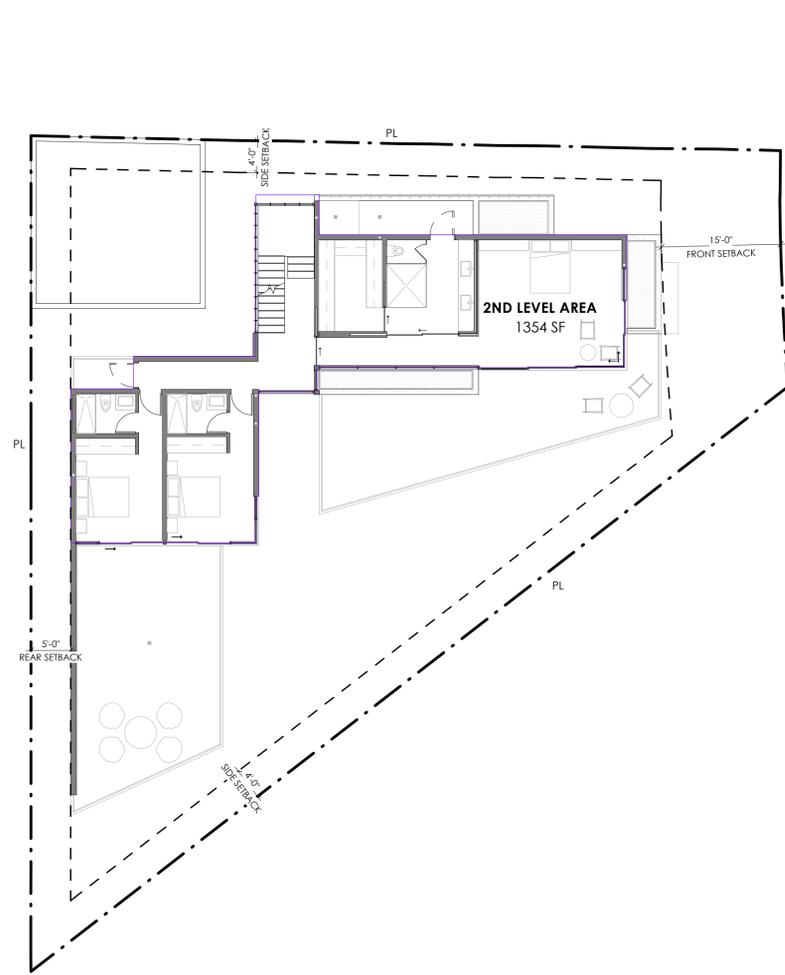
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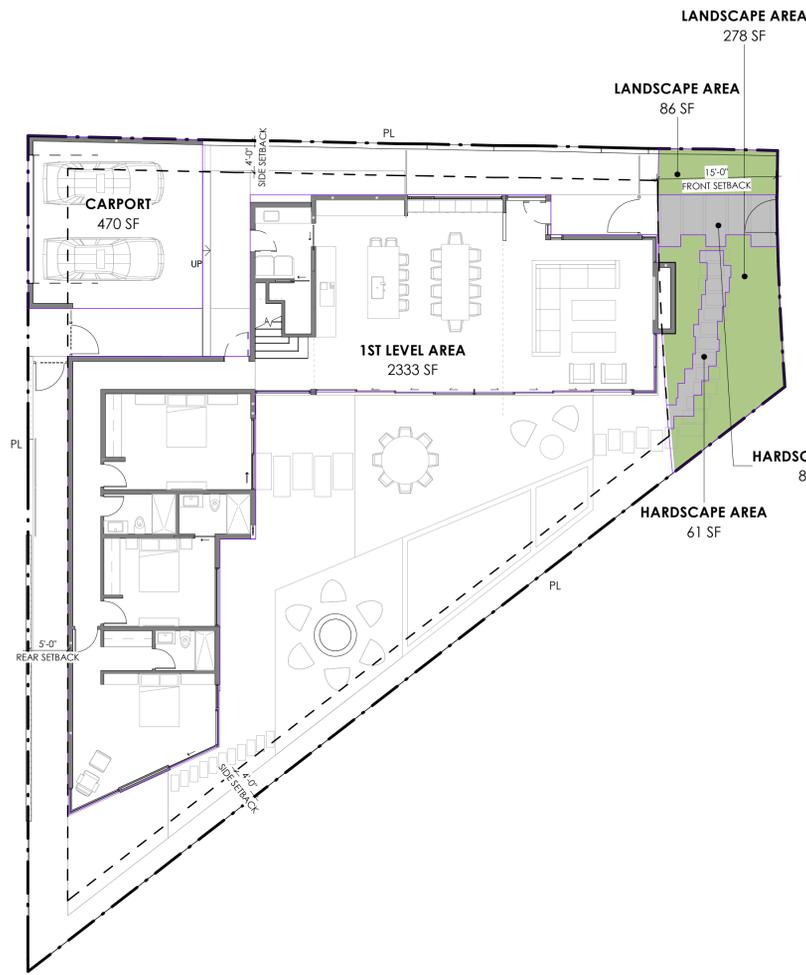
Soils Engineer
Christian Wheeler
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619.550.1700

Structural Engineer
Xxx

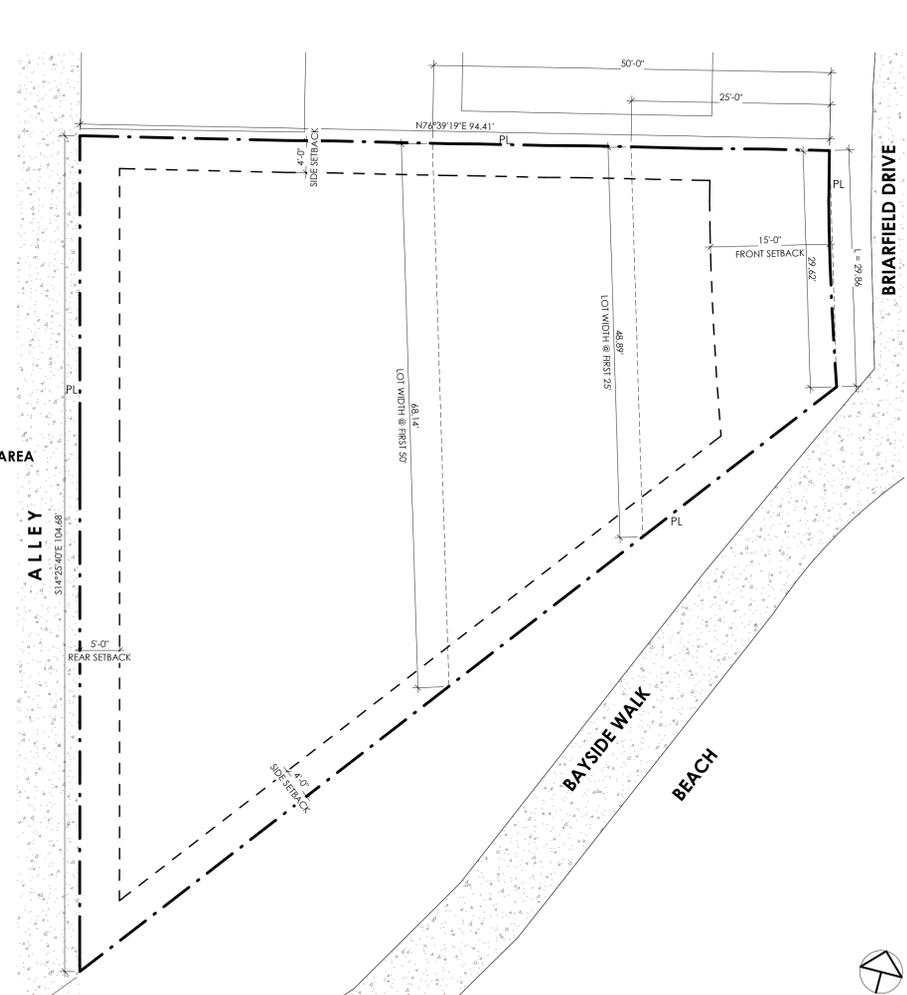
Landscape
Precision Landscape Maintenance, INC.
5730 Kearny Villa Rd.,
San Diego, CA 92123



AREA PLAN - 2ND LEVEL - PERMIT
3/32" = 1'-0" 3



AREA PLAN - 1ST LEVEL - PERMIT
3/32" = 1'-0" 2



SETBACK CALCULATION DIAGRAM
3/32" = 1'-0" 1

AREA CALCULATION:

MAX F.A.R.:
0.58 (3,712 SF ALLOWED)

PROPOSED HABITABLE AREA:
1ST LEVEL - 2,333 SF
2ND LEVEL - 1,354 SF

EXCLUDED AREA:
CARPORT - 470 SF

TOTAL FLOOR AREA:
3,687 SF

FLOOR AREA RATIO:
3687 SF / 6400 SF = 0.58

PROPOSED FRONT YARD LANDSCAPE AREA (MAX. HARDSCAPE AREA 40%):
TOTAL 514 SF OF HARDSCAPE AND LANDSCAPE AT FRONT YARD
- HARDSCAPE: 149 SF
- LANDSCAPE: 365 SF

HARDSCAPE AREA CALCULATION:
149 SF / 514 SF = 0.289 = 29% (71% LANDSCAPE AREA)

SETBACK CALCULATION:

LOT WIDTH CALCULATION
(29.62 + 48.89 + 68.14) / 3 = 48.9' (LOT WIDTH)

SETBACK REQUIREMENTS

FRONT SETBACK: 15'
SIDE SETBACK: 4' (REF NOTE 1 & 2)
REAR SETBACK: 48.9' (LOT WIDTH) x 0.08 = 3.9' (3'11")
REAR SETBACK: 5' (REF NOTE 3)

NOTE:

- PER SDMC SEC. 131.0243(C), FOR IRREGULARLY SHAPED LOTS, SUCH AS PIE SHAPED LOTS, THE LOT WIDTH IS DETERMINED BY CALCULATING THE AVERAGE LOT WIDTH FOR THE FIRST 50 FEET OF LOT DEPTH.
- PER SDMC SEC. 131.0443, FOR LOTS EXCEEDING 50 FEET IN WIDTH, EACH SIDE SETBACK SHALL BE AT LEAST THE DIMENSION SHOWN IN TABLES 131-04C AND 131-04D OR 10 PERCENT OF THE WIDTH OF THE LOT, WHICHEVER IS GREATER, EXCEPT ONE SIDE SETBACK MAY OBSERVE THE MINIMUM DIMENSION SHOWN IN TABLES 131-04C AND 131-04D AS LONG AS THE COMBINED DIMENSIONS OF BOTH SIDE SETBACKS EQUALS AT LEAST 20 PERCENT OF THE LOT WIDTH.
- PER SDMC SEC. 131.0443, WHERE A REAR YARD ABUTS AN ALLEY, ONE-HALF OF THE ALLEY WIDTH, BUT NOT MORE THAN 10 FEET, MAY BE COUNTED TOWARD THE REQUIRED REAR SETBACK. IN NO CASE SHALL A REAR SETBACK USING THIS PROVISION BE LESS THAN 5 FEET ON THE PREMISES.



REVISIONS

No.	Description	Date
01	COASTAL DEVELOPMENT PERMIT	07/28/2017
02	CDP - RESUBMITTAL	10/20/2017
03	CDP - FINAL SUBMITTAL	12/22/2017

Issue Date: 10/20/17
Scale: 3/32" = 1'-0"

SRA Project Number: 1705

SETBACK & AREA CALCULATION

T1.1

LOUGHRIDGE RESIDENCE

New Building
1002 WEST BRIARFIELD DR.,
SAN DIEGO, CA 92109

APN: 423-350-14-00

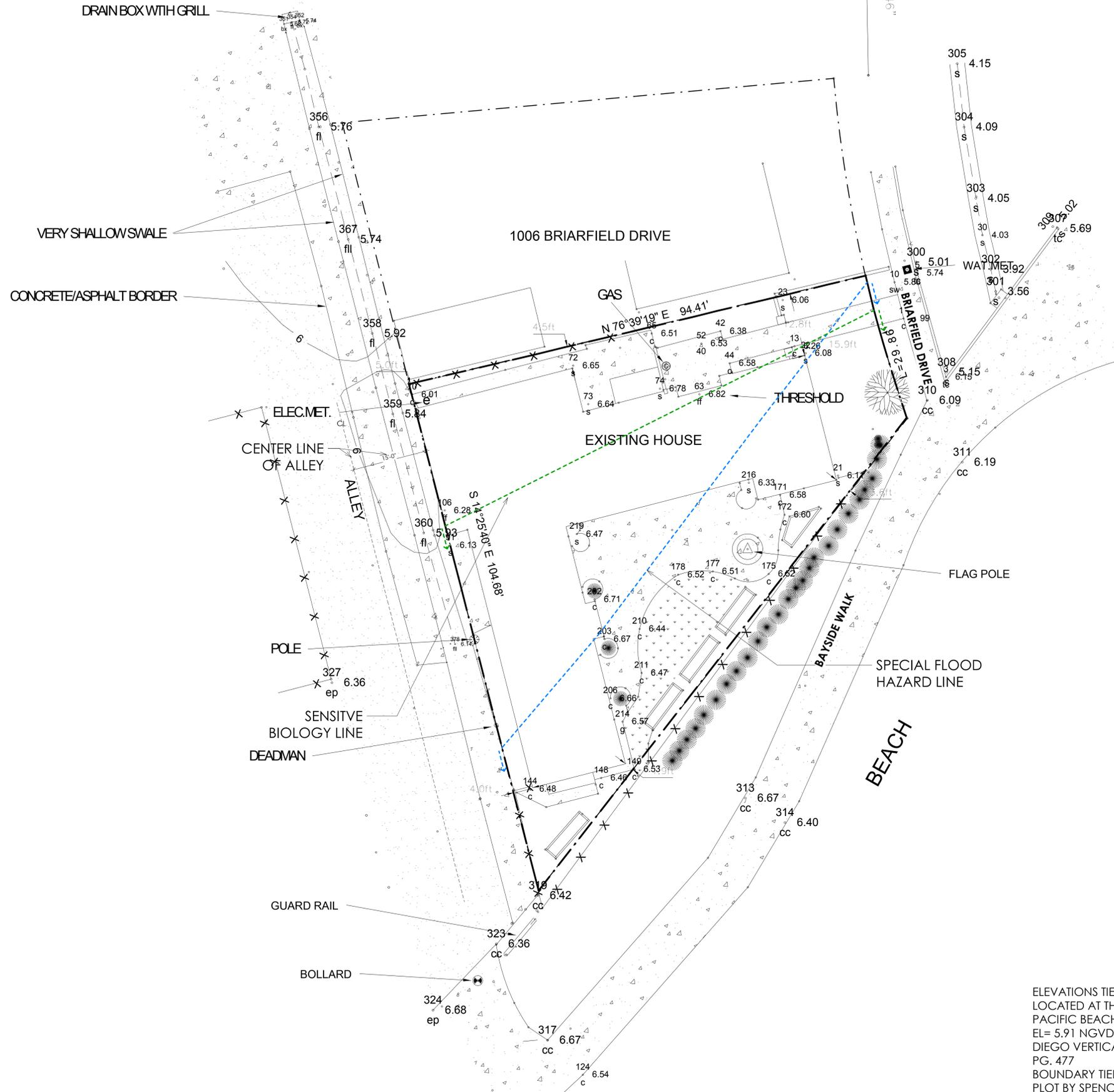
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ELEVATIONS TIED TO BRASS PLUG LOCATED AT THE INTERSECTION OF PACIFIC BEACH DR. AND DAWES ST. EL= 5.91 NGVD 29 PER CITY OF SAN DIEGO VERTICAL CONTROL BOOK PG. 477 BOUNDARY TIED TO MAP 1927. PLOT BY SPENCER-LUEY SURVEY

SURVEY PLAN NOTE:
1. NO EXISTING EASEMENT CAN BE FOUND IN THE LOT
2. NO EXISTING TRANSIT STOPS IS ADJACENT TO THE LOT



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SITE SURVEY

T1.2

LOUGHRIDGE RESIDENCE

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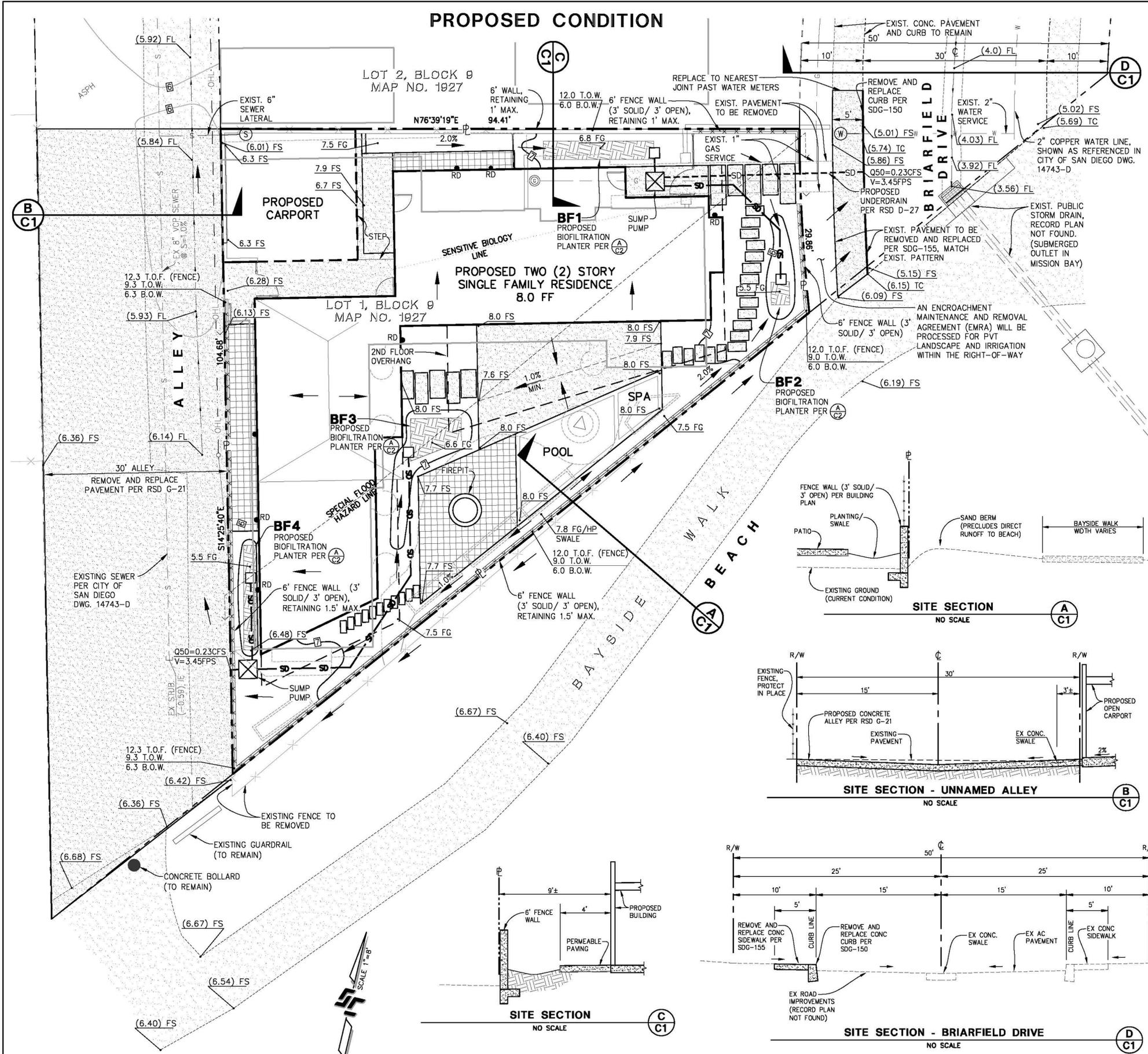
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Structural Engineer:
Xxx

Landscape:
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5730 Kearny Villa Rd.,
San Diego, CA 92123

PROPOSED CONDITION



LEGEND

DESCRIPTION	SYMBOL
PROPERTY LINE	---
EXISTING SPOT ELEVATION	(6.01) FS
PROPOSED SPOT ELEVATION	(6.3) FS
DIRECTION OF SURFACE RUNOFF	→
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING CURB	---
PROPOSED CURB	---
EXISTING CONCRETE SIDEWALK	---
PROPOSED CONC PAVEMENT	---
PROPOSED PERMEABLE PAVING	---
PROPOSED BUILDING	---
PROPOSED BIOFILTRATION PER DETAIL A, SHEET C2	---
PROPOSED SIDEWALK UNDERDRAIN (PVT)	---
PROPOSED STORM DRAIN (PVT)	---
PROPOSED ROOF DRAIN (PVT)	---
PROPOSED STORM DRAIN SUMP PUMP (PVT)	---
EXISTING GAS SERVICE	---
EXISTING SEWER SERVICE	---
EXISTING WATER SERVICE	---
EXISTING CURB INLET	---
EXISTING STORM DRAIN	---
EXISTING SEWER MAIN	---
EXISTING WATER MAIN	---
EXISTING OVERHEAD LINE	---
EXISTING GAS LINE	---

GRADING TABULATIONS

ONSITE GRADING	0.147 AC.
TOTAL AREA ONSITE TO BE GRADED:	0.147 AC.
% OF TOTAL SITE TO BE GRADED:	100%
AMOUNT OF FILL:	220 CUBIC YARDS
AMOUNT OF CUT:	NEGLECTIBLE CUBIC YARDS
AMOUNT OF IMPORT:	220 CUBIC YARDS
AMOUNT OF EXPORT:	0 CUBIC YARDS
MAX. VERTICAL DEPTH OF CUT:	0 FEET
MAX. OVERALL HEIGHT OF CUT SLOPE:	0 FEET, 2:1 MAX. SLOPE RATIO
MAX. VERTICAL DEPTH OF FILL:	2 FEET
MAX. OVERALL HEIGHT OF FILL SLOPE:	0 FEET, 2:1 MAX. SLOPE RATIO
RETAINING/CRIB WALLS:	LENGTH: 230 LF, MAX. RETAINING HEIGHT: 1.5 FEET

*NOTE: QUANTITIES SHOWN DO NOT INCLUDE EXCAVATION FOR REMEDIAL GRADING OR ADJUSTMENTS DUE TO BULKING/SHRINKAGE.

SOURCE OF EXISTING CONDITION SITE SURVEY: SPENCER-LUEY SURVEY, 5/08/2017

BENCH MARK: ELEVATIONS TIED TO BRASS PLUG LOCATED AT THE INTERSECTION OF PACIFIC BEACH DR. AND DAWES ST. EL= 5.97 PER CITY OF SAN DIEGO VERTICAL CONTROL BOOK PG. 477

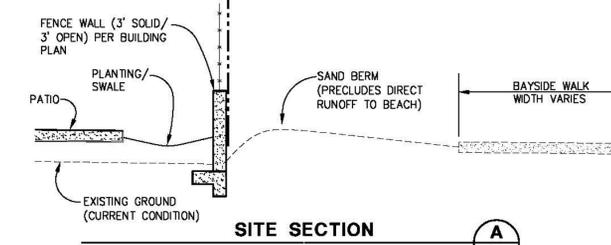
BASIS OF BEARINGS: BOUNDARY TIED TO MAP 1927

EASEMENTS

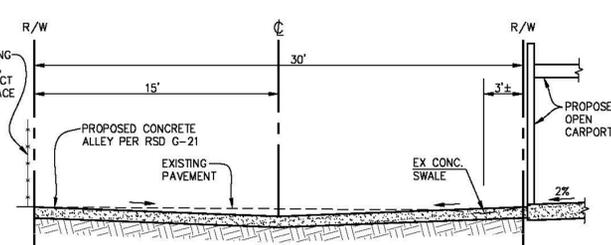
NO EASEMENTS OF RECORD HAVE BEEN IDENTIFIED WITHIN THE PROJECT BOUNDARY, AND NO EASEMENTS ARE CURRENTLY PROPOSED BY THE PROJECT.

GENERAL NOTES:

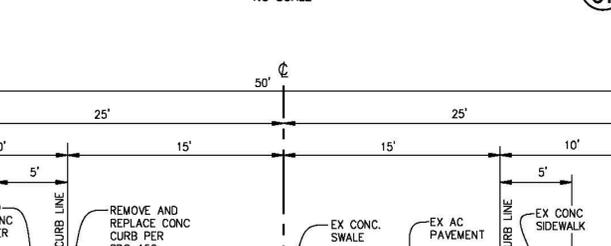
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
- BUILDING ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, PER FHPS POLICY P-00-6 (UFC 901.4.4).
- IF AN EXISTING SEWER LATERAL IS UTILIZED, THE LATERAL SHALL BE INSPECTED USING A CLOSED-CIRCUIT TELEVISION (CCTV) BY A CALIFORNIA LICENSED PLUMBING CONTRACTOR TO VERIFY THE LATERAL IS IN GOOD WORKING CONDITION AND FREE OF ALL DEBRIS.
- EXISTING UTILITIES ARE SHOWN BASED ON RECORD PLAN DOCUMENTS AND FIELD OBSERVATIONS; SURVEY AND/OR POTHOLE VERIFICATION MAY BE REQUIRED PRIOR TO CONSTRUCTION.



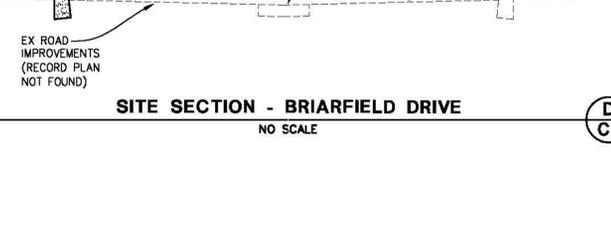
SITE SECTION A-C1
NO SCALE



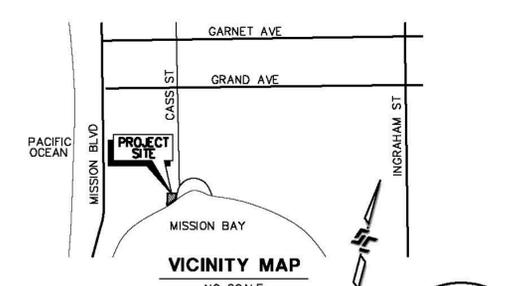
SITE SECTION - UNNAMED ALLEY B-C1
NO SCALE



SITE SECTION C-C1
NO SCALE

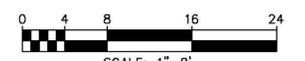


SITE SECTION - BRIARFIELD DRIVE D-C1
NO SCALE



VICINITY MAP
NO SCALE

ENGINEER OF WORK
BRYAN T. HILL
R.C.E. 69339
DATE: 12/21/17



REVISIONS

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03	CDP - RESUBMITTAL	12/21/2017

Issue Date: _____ Scale: 1" = 8'
SRA Project Number: 1705
Project Number: 17005.01

PRELIMINARY GRADING AND DRAINAGE PLAN

C1

LOUGHRIDGE RESIDENCE

New Building
1002 WEST BRIARFIELD DR.,
SAN DIEGO, CA 92109

APN: 423-350-14-00

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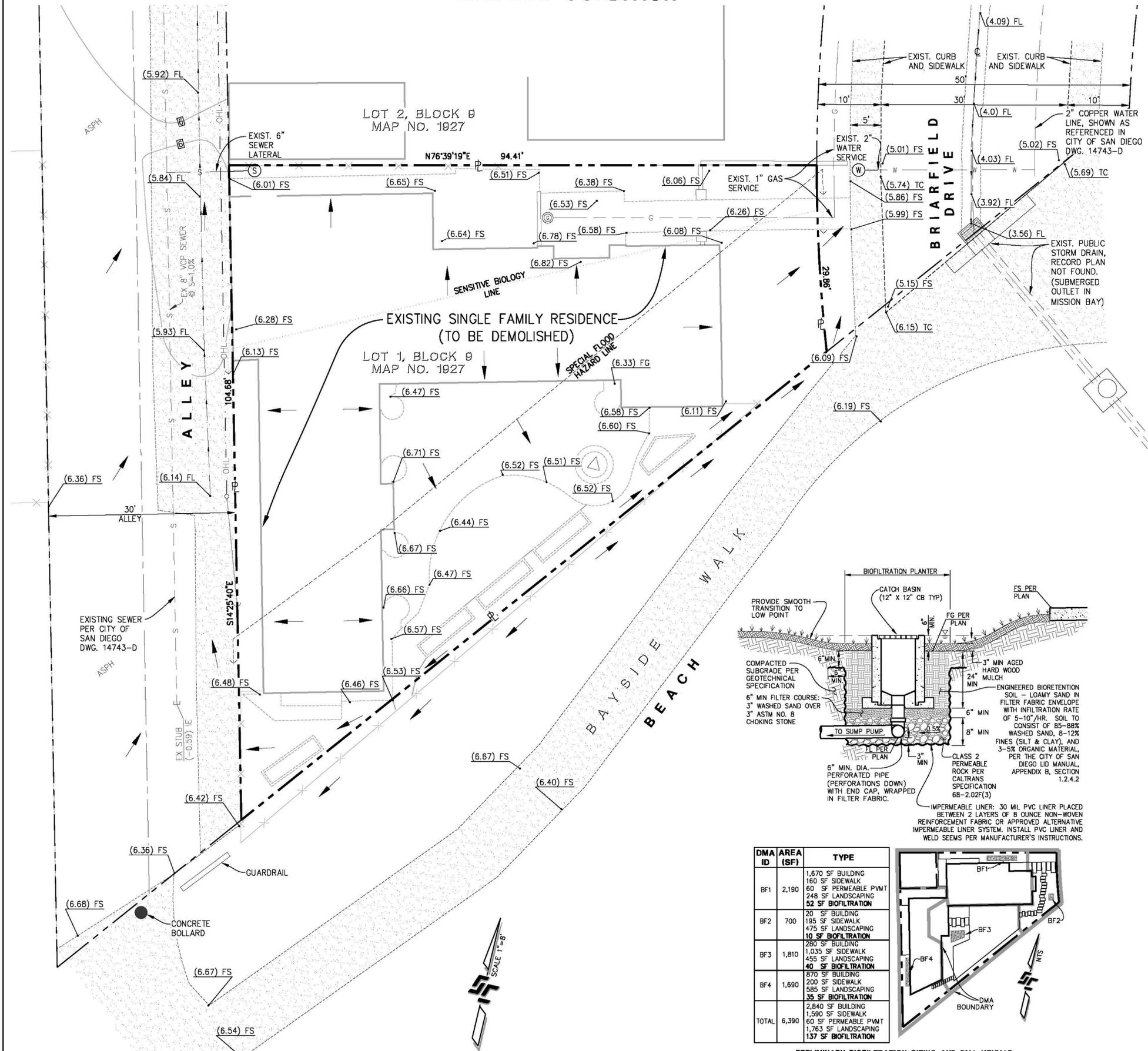
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Structural Engineer
Xxx

Landscape
Frederick Landscape Maintenance, INC.
5730 Kearny Villa Rd.
San Diego, CA 92123

EXISTING CONDITION



LEGEND

DESCRIPTION	SYMBOL
PROPERTY LINE	---
EXISTING SPOT ELEVATION	(6.01) FS
PROPOSED SPOT ELEVATION	(6.01) FS
DIRECTION OF SURFACE RUNOFF	→
EXISTING CURB	---
EXISTING CONCRETE SIDEWALK	▨
EXISTING BUILDING	▭
EXISTING GAS SERVICE	⊙
EXISTING SEWER SERVICE	⊙
EXISTING WATER SERVICE	⊙
EXISTING CURB INLET	⊠
EXISTING STORM DRAIN	---SD---
EXISTING SEWER MAIN	---S---
EXISTING WATER MAIN	---W---
EXISTING OVERHEAD LINE	---OHL---
EXISTING GAS LINE	---G---

STORM WATER QUALITY NOTES / CONSTRUCTION BMP'S

- THIS PROJECT SHALL COMPLY WITH ALL APPROPRIATE REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO, ORDER NO. 2009-0009-DWG, NPDES NO. CAS00002, (AVAILABLE AT http://www.swrcb.ca.gov/water_issues/programs/stormwater) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE (<http://derkdoc.sannet.gov/legtrain/mc/MuniCodeChapter14/Ch14Ar102Division02> AND <http://www.sandiego.gov/development-services/industry/stormwater.shtml>). NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.
- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCKPILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
- ALL EROSION / SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT

THE LOUGHRIDGE RESIDENCE PROJECT PROPOSES APPROXIMATELY 0.23 ACRE OF SOIL DISTURBANCE. AS SUCH, THE PROJECT IS NOT SUBJECT TO COVERAGE UNDER STATE WATER RESOURCES CONTROL BOARD ORDER NO. 2009-0009-DWG. IN ACCORDANCE WITH THE CITY OF SAN DIEGO STORM WATER STANDARDS, A WATER POLLUTION CONTROL PLAN (WPCP) WILL BE PREPARED FOR THE PROJECT PRIOR TO ISSUANCE OF A GRADING PERMIT.

PRIORITY DEVELOPMENT DETERMINATION

THE LOUGHRIDGE RESIDENCE PROPOSES APPROXIMATELY 4,430 SF OF NEW REPLACEMENT IMPERVIOUS SURFACE AND DISTURBS APPROXIMATELY 0.23 ACRE (9,900 SF). THE PROJECT IS LOCATED ADJACENT TO MISSION BAY AND WITHIN AN ENVIRONMENTALLY SENSITIVE AREA (ESA). AS SUCH, AND PER THE CITY OF SAN DIEGO STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST, THE PROJECT IS A PRIORITY DEVELOPMENT PROJECT.

- PROJECT TOTALS: AREA = 9,900 SF (0.23AC)
PRE-PROJECT IMPERVIOUS SURFACE = 8,160 SF (0.19AC)
POST-PROJECT IMPERVIOUS SURFACE (INCL. APPR. 3,500SF ALLEY/SIDEWALK REPAIR) = 7,930 SF (0.18AC)

PERMANENT POST-CONSTRUCTION BMP NOTES

AS A PRIORITY DEVELOPMENT PROJECT, POST-CONSTRUCTION TREATMENT CONTROL BMP'S ARE PROPOSED AT THE PROJECT. BIOFILTRATION PLANTERS WILL BE USED TO PROVIDE WATER QUALITY MITIGATION FOR THE NEW IMPERVIOUS SURFACE AREA. DUE TO THE CLOSE PROXIMITY TO THE SHALLOW GROUNDWATER AT THE SITE, PROPOSED BIOFILTRATION PLANTERS WILL CONTAIN SUBDRAINS AND BE LINED WITH IMPERMEABLE LINERS. AS SUCH, AND PER THE CITY OF SAN DIEGO STORMWATER STANDARDS, PROPOSED BIOFILTRATION PLANTERS WILL BE SIZED TO TREAT 150% OF THE DESIGN CAPTURE VOLUME (DCV). SEE THE PROJECT SWQMP FOR SIZING CALCULATIONS.

PERMANENT POST-CONSTRUCTION BMP MAINTENANCE NOTES

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWDMCA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

HYDROMODIFICATION MITIGATION (EXEMPTION)

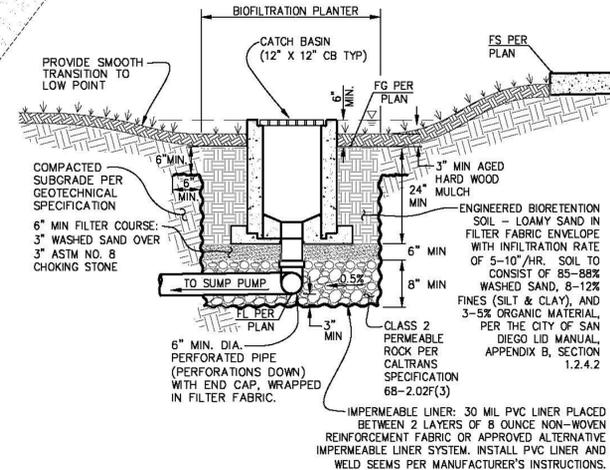
THE PROJECT IS EXEMPT FROM HYDROMODIFICATION BASED ON THE FOLLOWING CRITERIA:
• THE PROPOSED PROJECT WILL DISCHARGE RUNOFF DIRECTLY TO EXISTING UNDERGROUND STORM DRAINS DISCHARGING DIRECTLY TO WATER STORAGE RESERVOIRS, LAKES, ENCLOSED EMBAYMENTS, OR THE PACIFIC OCEAN. THE PROJECT IS IMMEDIATELY ADJACENT TO STORM DRAIN SYSTEMS THAT DISCHARGE DIRECTLY TO MISSION BAY AND THE PACIFIC OCEAN.

SOURCE CONTROL BMP'S

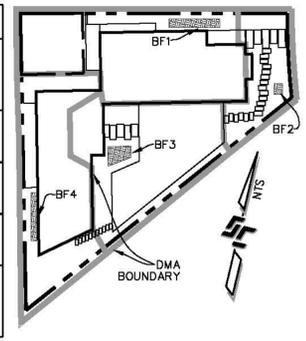
SOURCE CONTROL BMP'S PROPOSED AT THE PROJECT INCLUDE THE FOLLOWING: INCORPORATION OF NATIVE AND DROUGHT TOLERANT PLANT SPECIES TO REDUCE THE NEED FOR FERTILIZERS AND PESTICIDE.

LOW IMPACT DEVELOPMENT (LID) DESIGN

LID SITE DESIGN BMP'S PROPOSED AT THE PROJECT INCLUDE THE FOLLOWING: MINIMIZATION OF IMPERVIOUS FOOTPRINT (TOTAL IMPERVIOUS AREA IS REDUCED), DISCONNECTION OF IMPERVIOUS SURFACES, USE OF PERMEABLE MATERIALS FOR LOW TRAFFIC AREAS, AND LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT PLANT SPECIES.



DMA ID	AREA (SF)	TYPE
BF1	2,190	1,670 SF BUILDING 160 SF SIDEWALK 60 SF PERMEABLE PWMT 248 SF LANDSCAPING 52 SF BIOFILTRATION
BF2	700	20 SF BUILDING 195 SF SIDEWALK 475 SF LANDSCAPING 10 SF BIOFILTRATION
BF3	1,810	280 SF BUILDING 1,035 SF SIDEWALK 455 SF LANDSCAPING 40 SF BIOFILTRATION
BF4	1,690	870 SF BUILDING 200 SF SIDEWALK 585 SF LANDSCAPING 35 SF BIOFILTRATION
TOTAL	6,390	2,840 SF BUILDING 1,590 SF SIDEWALK 60 SF PERMEABLE PWMT 1,763 SF LANDSCAPING 137 SF BIOFILTRATION



PRELIMINARY BIOFILTRATION SIZING AND DMA KEYMAP
TYPICAL BIOFILTRATION PLANTER DETAIL AND PRELIMINARY DMA CALCULATIONS

ENGINEER OF WORK

BRYAN T. HILL
R.C.E. 69339
DATE: 12/21/17



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Issue Date _____ Scale _____
1" = 8'
SRA Project Number 1705
Project Number 17005.01

EXISTING CONDITION AND STORM WATER DETAILS AND NOTES

C2

LOUGHRIDGE RESIDENCE

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LANDSCAPE NOTES

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

PLANTING, PAVING AND IRRIGATION ARE WITHIN THE MAXIMUM APPLIED WATER ALLOWANCE CALCULATIONS FOR NEW AND REHABILITATED LANDSCAPE AS PUT FORTH BY THE DEPARTMENT OF WATER RESOURCES IN THE STATE OF CALIFORNIA.

DRIP IRRIGATION TO BE INSTALLED THROUGHOUT LANDSCAPE.
AMEND ALL PLANTING AREAS BY FOLLOWING THE RECOMMENDATIONS OF THE SOIL TESTING AND MANAGEMENT REPORT. INCORPORATE THE RECOMMENDED SOIL AMENDMENTS AS SPECIFIED IN THE REPORT

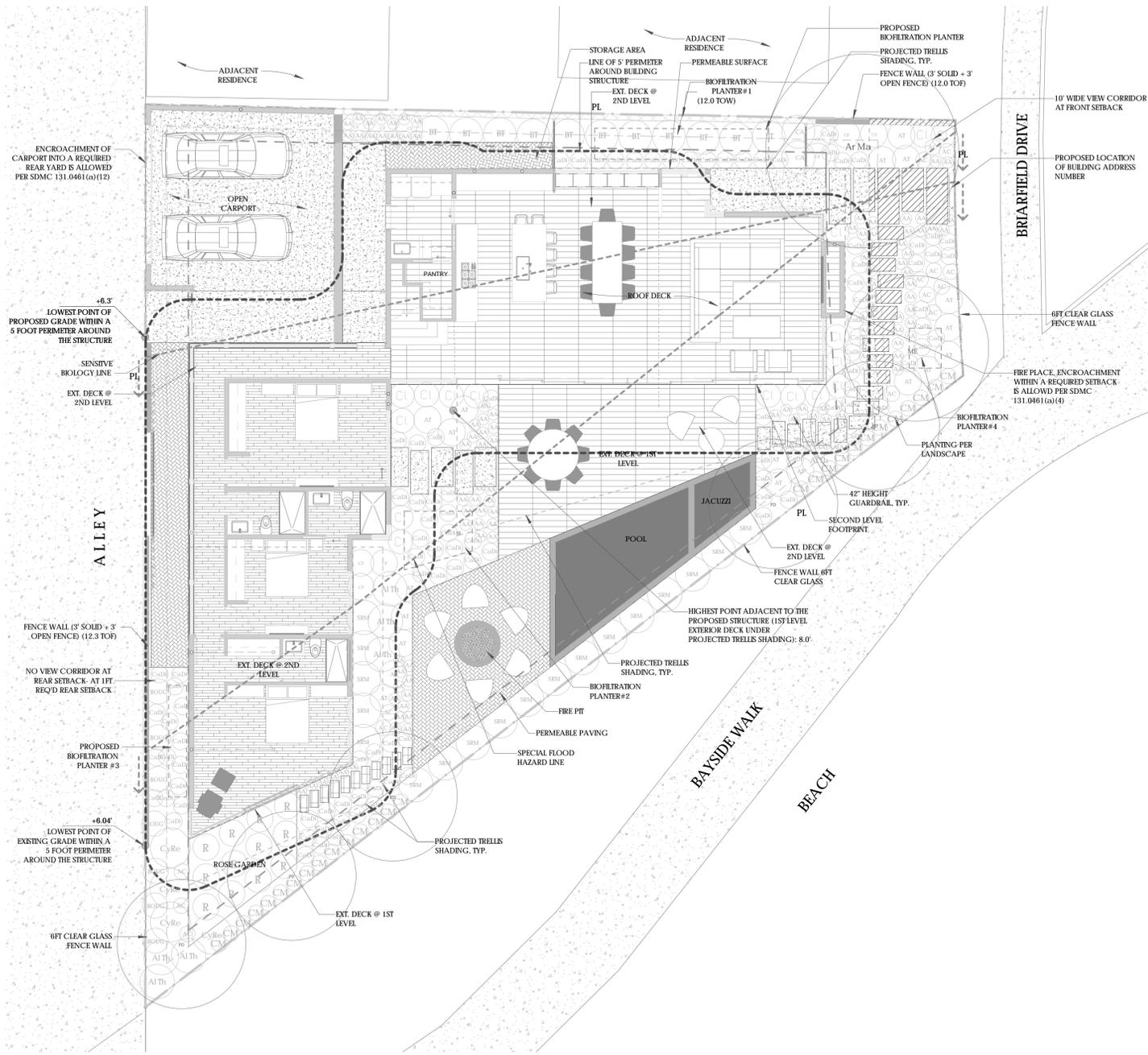
CONTRACTOR SHALL PROVIDE A 3" THICK LAYER OF FIR BARK OR FOREST FINES MULCH IN ALL NON-TURF OR PEBBLE AREAS AS PER MUNICIPAL CODE 142.0411

ALL LANDSCAPING IN FRONT YARD SETBACK WILL NOT EXCEED A GROWTH POTENTIAL OF 3 FEET IN HEIGHT AND WILL NOT BE PLANTED WITHIN FIREPLACE ENCROACHMENT SPACE.

VISUAL CORRIDORS WITHIN THE FRONT AND REAR SETBACKS HAVE BEEN OUTLINED PER COASTAL OVERLAY REGULATION.

10-FOOT WIDE VIEW CORRIDOR WITHIN THE FRONT YARD SETBACK IS SHOWN AND IDENTIFIED ON L1.0. ALL PLANT MATERIAL WITHIN THE VIEW CORRIDOR OTHER THAN TREES ARE NO MORE THAN 3 FEET IN HEIGHT. CYCAS REVOLUTA HAS BEEN OMITTED FROM 10-FOOT WIDE FRONT YARD VIEW CORRIDOR.

ALL TREES ALONG WEST BRIARFIELD ARE CONSISTENT WITH COMMUNITY TREE DISTRICT 1 AS SET FORTH IN THE PB COMMUNITY PLAN. TREE BRANCHING SHALL BE MAINTAINED AT A MINIMUM 8-FT ABOVE GRADE CLEARANCE IN ORDER TO PRESERVE FRONT YARD VIEW CORRIDOR SETBACK.



SITE PLAN
1/8" = 1'-0"

PLANTING LEGEND

TREE LIST		MATURE SIZE (HxS)		WUCOLS PLANT FACTOR		FORM AND FUNCTION		
Symbol	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE SIZE (HxS)	TYPE	FORM AND FUNCTION	
ArMa	1	36" BOX	ARBUTUS MARINA	MARINA STRAWBERRY TREE	40' x 30'	T	Low	Medium size tree with broad dense crown for structure and shade
CA	3	15G	CORDYLINE AUSTRALIS	GRASS PALM	20' x 8'	T	Low	Medium size grass palm with thin trunk as accent planting
CyRe	8	24" BOX	CYCAS REVOLUTA	SAGO PALM	10' x 10'	Pm	Moderate/ Medium	Slow growing Cycad with dark, coarse leather like foliage for accent planting
PD	5	36" BOX	PHOENIX DACTYLIFERA	DATE PALM	80' x 40'	Pm	Low	Tall silhouette palm with thin grey green leather like foliage for accent planting
RE	5	15G	RHAPS EXCELSA	LADY PALM	15' x 15'	Pm	Moderate/ Medium	Bushy clumping low growing vibrant green palm for tropical looking backdrop
SaCa	1	36" BOX	METROSIDEROS EXCELSUS	NEW ZEALAND CHRISTMAS TREE	30' x 25'	T	Moderate/ Medium	Soft grey green foliage with red powderpuff foliage to be consistent with Community Tree Dist. 1 PB/CP

PLANT LIST		MATURE SIZE (HxS)		WUCOLS PLANT FACTOR		FORM AND FUNCTION		
Symbol	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE SIZE (HxS)	TYPE	FORM AND FUNCTION	
AA	102	1G	ACORUS GRAMINEUS OGON	GOLDEN SWEET FLAG	12" x 12"	P	High	Low growing yellow green clumping grass to soften edges
AC	24	1G	AEONIUM ARBOREUM 'CYCLOPS'	GIANT RED AEONIUM	4' x 4'	P Su	Low	Shrub like succulent with thick fleshy bronze rosette for lush, low massing
AT	19	5G	AGAVE ATTENUATA	FOX TAIL AGAVE	4' x 8'	P S	Low	Large, light mint green rosette foliage for accent planting
AlTh	7	24" BOX	ALOE THRASKI	DUNE ALOE	10' x 5'	S Su	Low	Tree type Aloe with sculptural trunk and bright orange blooms for accent planting
BT	11	15G	BAMBUSA TEXTILIS	WEAVER'S BAMBOO	25' x 3'	Bo S	Moderate/ Medium	Medium scale clumping bamboo for privacy screening
BOUG	5	15G	BOUGAINVILLEA 'SAN DIEGO RED'	RED BOUGAINVILLEA	8' x 10'	Gc S	Low	Dense, vibrant, colorful vining shrub for coverage on west facing fence
CaDi	103	1G	CAREX DIVULSA	BERKELEY SEDGE	2' x 2'	P	Low	Medium size clumping grass with vibrant tufts of dark green foliage for softening edges
CM	27	5G	CARISSA MACROCARPA	NATAL PLUM	3' x 3'	Gc S	Low	Dense, fragrant dark green thorny shrub to serve as verdant protective border
CL	19	5G	CLIVIA MINIATA	KAFFIR LILY	2' x 2'	P	Moderate/ Medium	Medium height grass with strappy, dark green leaves for low massing
CF	10	5G	CORDYLINE FRUTICOSA	HAWAIIAN TI PLANT	4' x 3'	S	High	Small scale vibrant, magenta colored, palm like accent plant
R	12	5G	ROSA SPECIES	ROSES-TRANSPLANT EXISTING	3' x 3'	S	Moderate/ Medium	Existing roses to be transplanted to new locations to commemorate previous homeowner
SRM	18	5G	STREPTILITIA REGINAE 'DWARF'	DWARF BIRD OF PARADISE	3' x 3'	P	Moderate/ Medium	Dwarf Small Btd of Paradise for tropical massing and promotion of humming bird foraging

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PLANTING PERCENTAGE		
Size	count	%
36"	7	1.81%
24"	15	3.88%
15GAL	24	6.20%
5GAL	105	27.13%
1GAL	236	60.98%



REVISIONS		
No.	Description	Date
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02	CDP- RESUBMITTAL	10/20/2017
03	CDP- RESUBMITTAL	12/21/2017

Issue Date: _____ Scale: As indicated
SRA Project Number: 1705

LANDSCAPE PLAN

L1.0

LOUGHRIDGE RESIDENCE

New Building
1002 WEST BRIARFIELD DR.,
SAN DIEGO, CA 92109

APN: 423-350-14-00

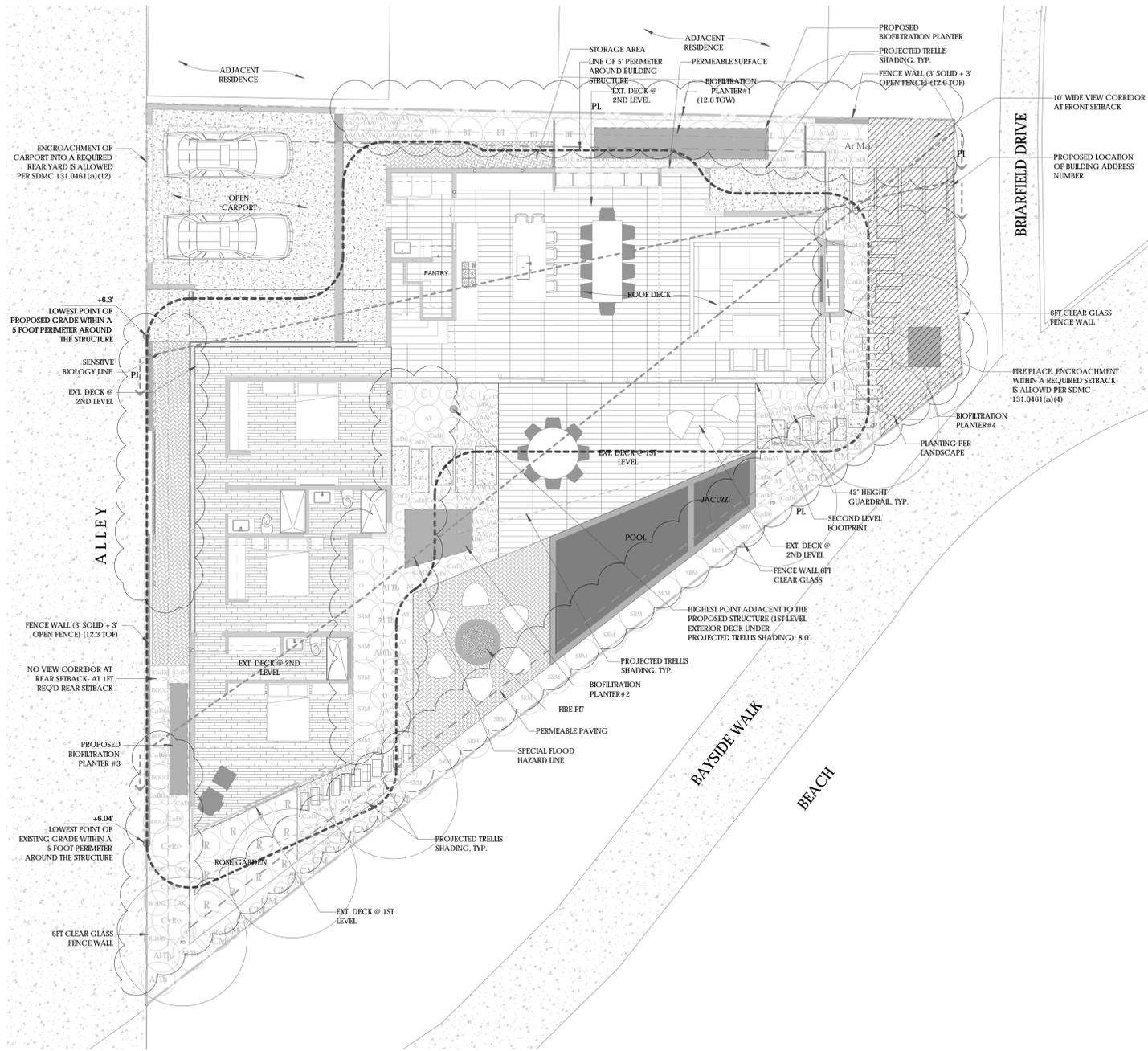
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LANDSCAPE NOTES

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

PLANTING, PAVING AND IRRIGATION ARE WITHIN THE MAXIMUM APPLIED WATER ALLOWANCE CALCULATIONS FOR NEW AND REHABILITATED LANDSCAPE AS PUT FORTH BY THE DEPARTMENT OF WATER RESOURCES IN THE STATE OF CALIFORNIA.

DRIP IRRIGATION TO BE INSTALLED THROUGHOUT LANDSCAPE.

AMEND ALL PLANTING AREAS BY FOLLOWING THE RECOMMENDATIONS OF THE SOIL TESTING AND MANAGEMENT REPORT. INCORPORATE THE RECOMMENDED SOIL AMENDMENTS AS SPECIFIED IN THE REPORT

SYMBOL LEGEND



SITE PLAN 1
1/8" = 1'-0"

REVISIONS		
No.	Description	Date
01	COASTAL DEVELOPMENT PERMIT	07/28/2017
02	CDP- RESUBMITTAL	10/20/2017
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Issue Date _____ Scale _____
As indicated

SRA Project Number
1705

LANDSCAPE REVEGETATION AND EROSION CONTROL

L1.2

LOUGHRIDGE RESIDENCE

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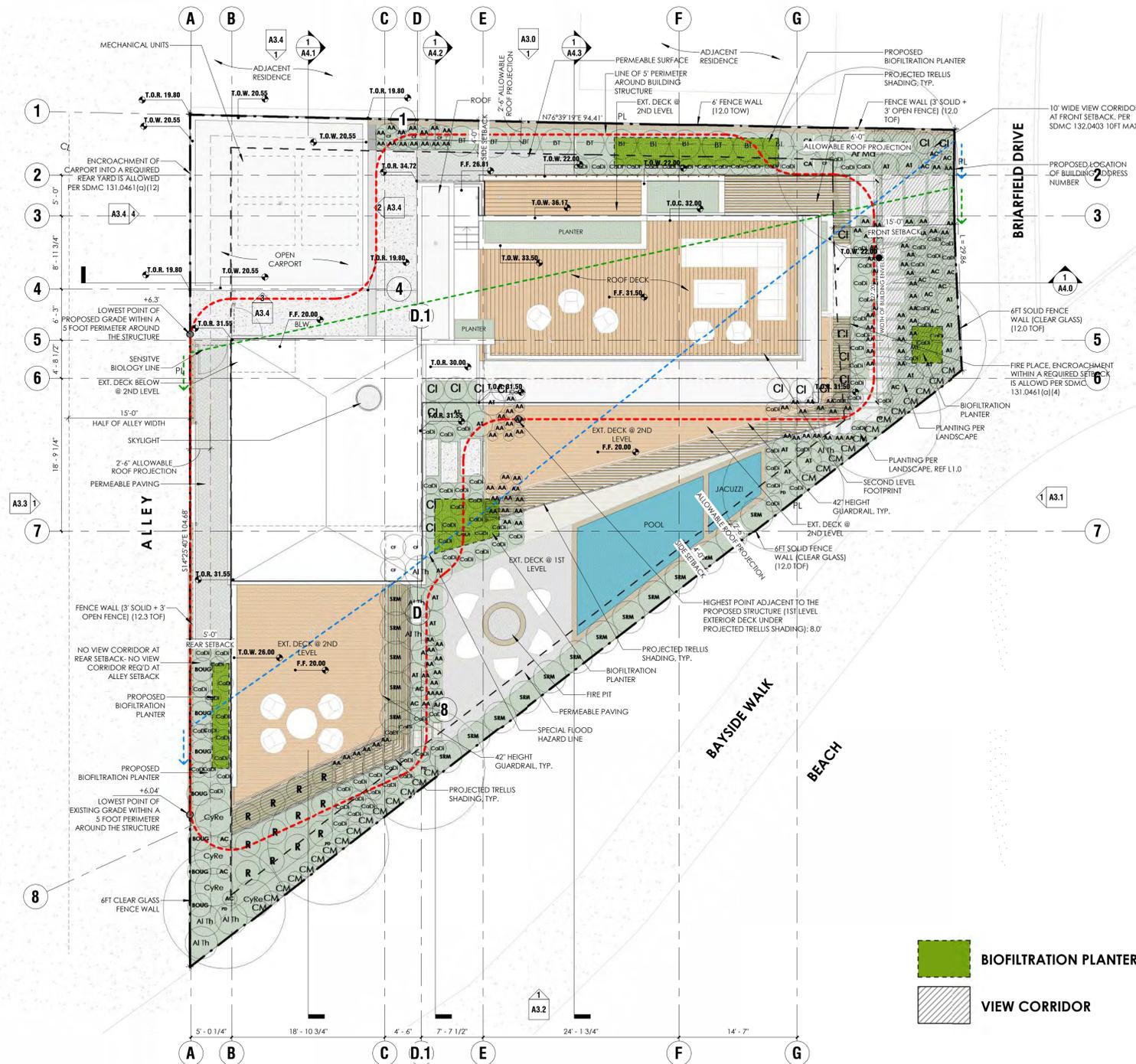
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SITE PLAN
1/8" = 1'-0" 1

SITE PLAN NOTE:

- NO NEW EASEMENT IS PROPOSED.
- NO NEW TRANSIT STOPS IS PROPOSED TO ADJACENT TO THE LOT
- NEW BUILDING ADDRESS NUMBERS IS PROVIDED AT MAIN ENTRY ON BRIARFIELD DRIVE, AND IS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- REF. CIVIL FOR STREET IMPROVEMENTS
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE OWNER/PERMITTEE SHALL RECORD A 5 FOOT VIEW CORRIDOR EASEMENT ALONG THE WESTERN PROPERTY REAR YARD SETBACK AREAS AND 15 FOOT WIDE VIEW CORRIDOR EASEMENT ALONG THE EASTERN PROPERTY FRONT YARD SETBACK AREA AS SHOWN ON A1.0 SITE PLAN, IN ACCORDANCE WITH SDMC SECTION 132.0403.
- OPEN FENCING AND LANDSCAPING MAY BE PERMITTED WITHIN THE VISUAL CORRIDOR, PROVIDED SUCH IMPROVEMENTS AND LANDSCAPING DO NOT SIGNIFICANTLY OBSTRUCT PUBLIC VIEWS OF THE OCEAN. LANDSCAPE WITH THE SIDE YARD VIEW CORRIDORS SHALL BE PLANTED AND MAINTAINED TO PRESERVE AND ENHANCE PUBLIC VIEWS TO THE OCEAN.
- ALL TREES ALONG WEST BRIARFIELD DRIVE ARE CONSISTENT WITH COMMUNITY TREE DISTRICT 1 AS SET FORTH IN THE PB COMMUNITY PLAN. TREE BRANCHING SHALL BE MAINTAINED AT A MINIMUM 8-FT ABOVE GRADE CLEARANCE IN ORDER TO PRESERVE VIEW CORRIDOR AT THE FRONT SETBACK.

SYMBOL LEGEND:

0	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	◇	WALL TAG
⊠	BUILDING ELEVATION	⊗	FLOOR TAG / ROOF TAG
⊠	INTERIOR ELEVATION	----	OVERHEAD LINE
⊠	BUILDING SECTION	----	HIDDEN / BELOW LINE
⊠	SPOT ELEVATION	F.F.	FINISH FLOOR
⊠	KEYNOTE	T.O.W.	TOP OF WALL
⊠	DOOR TAG	T.O.R.	TOP OF ROOF
⊠	WINDOW TAG	T.O.P.	TOP OF PROJECTION
		T.O.F.	TOP OF FENCE
		T.O.G.	TOP OF GUARDRAIL



REVISIONS

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Scale
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SITE PLAN

A1.0

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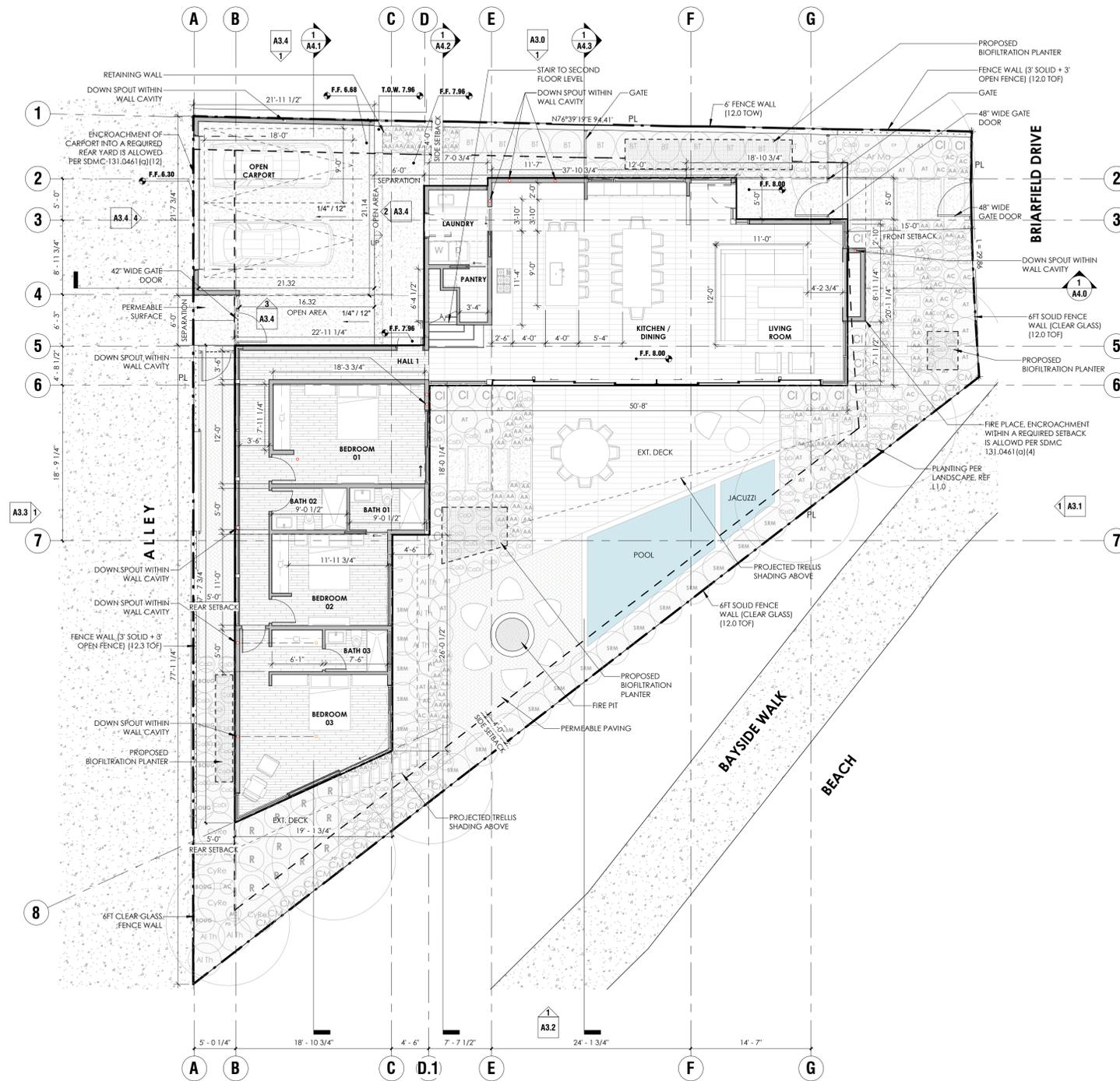
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1ST LEVEL FLOOR PLAN
1/8" = 1'-0"

SYMBOL LEGEND:

0	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	X	WALL TAG
X XXXX	BUILDING ELEVATION	X	FLOOR TAG / ROOF TAG
X XXXX	INTERIOR ELEVATION	----	OVERHEAD LINE
X XXXX	BUILDING SECTION	----	HIDDEN / BELOW LINE
SPOT	SPOT ELEVATION	F.F.	FINISH FLOOR
X	KEYNOTE	T.O.W.	TOP OF WALL
XXX	DOOR TAG	T.O.R.	TOP OF ROOF
XX	WINDOW TAG	T.O.P.	TOP OF PROJECTION
		T.O.F.	TOP OF FENCE
		T.O.G.	TOP OF GUARDRAIL

REVISIONS

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FLOOR PLAN - LEVEL 1

A2.0

LOUGHRIDGE RESIDENCE

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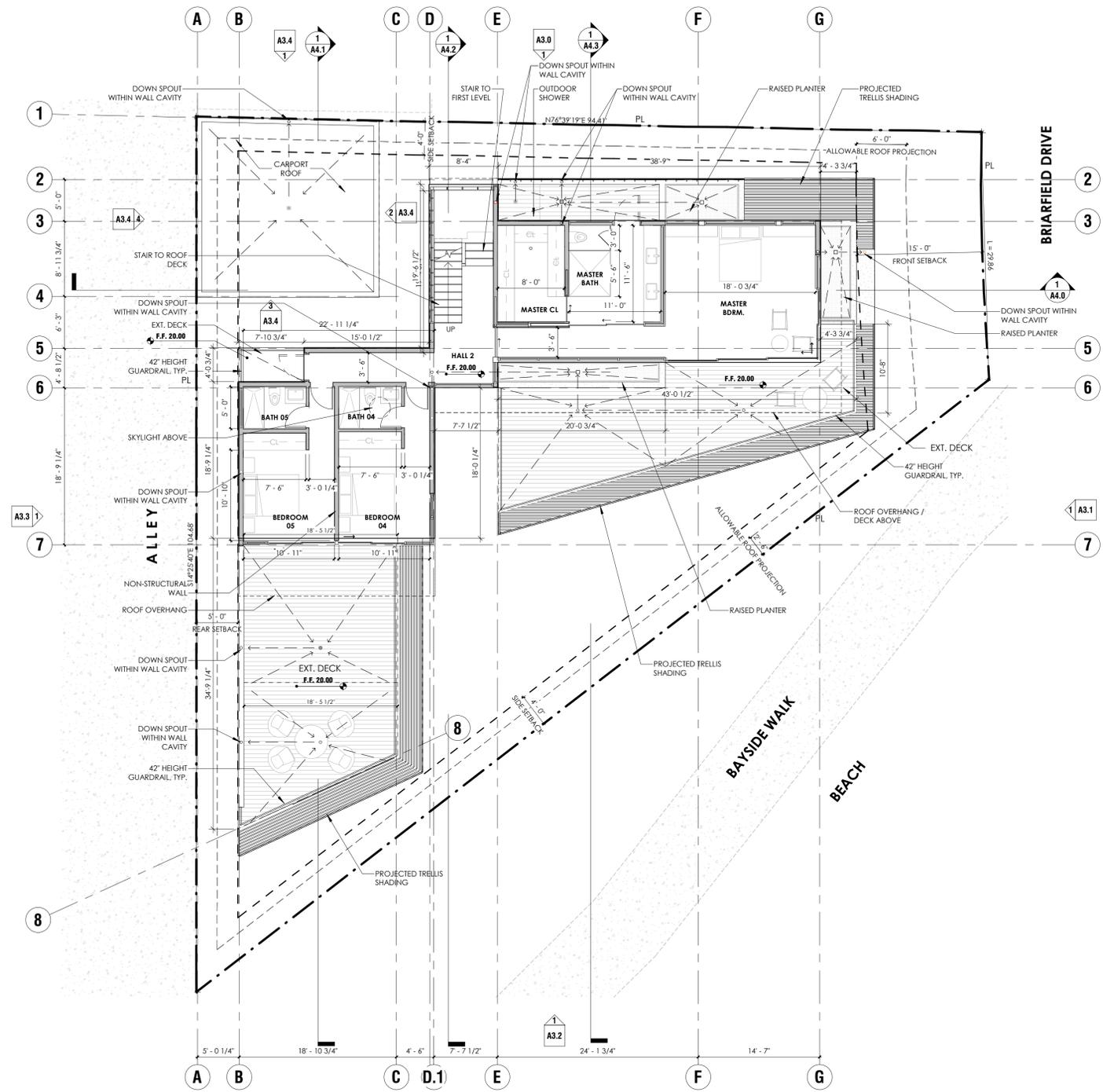
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2ND LEVEL FLOOR PLAN
1/8" = 1'-0"

SYMBOL LEGEND:

--- 0 ---	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	◇	WALL TAG
◇ XXX ◇	BUILDING ELEVATION	⊗	FLOOR TAG / ROOF TAG
◇ XXX ◇	INTERIOR ELEVATION	----	OVERHEAD LINE
◇ XXX ◇	BUILDING SECTION	----	HIDDEN / BELOW LINE
●	SPOT ELEVATION	F.F.	FINISH FLOOR
● X	KEYNOTE	T.O.W.	TOP OF WALL
XXX	DOOR TAG	T.O.R.	TOP OF ROOF
XX	WINDOW TAG	T.O.P.	TOP OF PROJECTION
		T.O.F.	TOP OF FENCE
		T.O.G.	TOP OF GUARDRAIL

REVISIONS

No.	Description	Date
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FLOOR PLAN - LEVEL 2

A2.1

LOUGHRIDGE RESIDENCE

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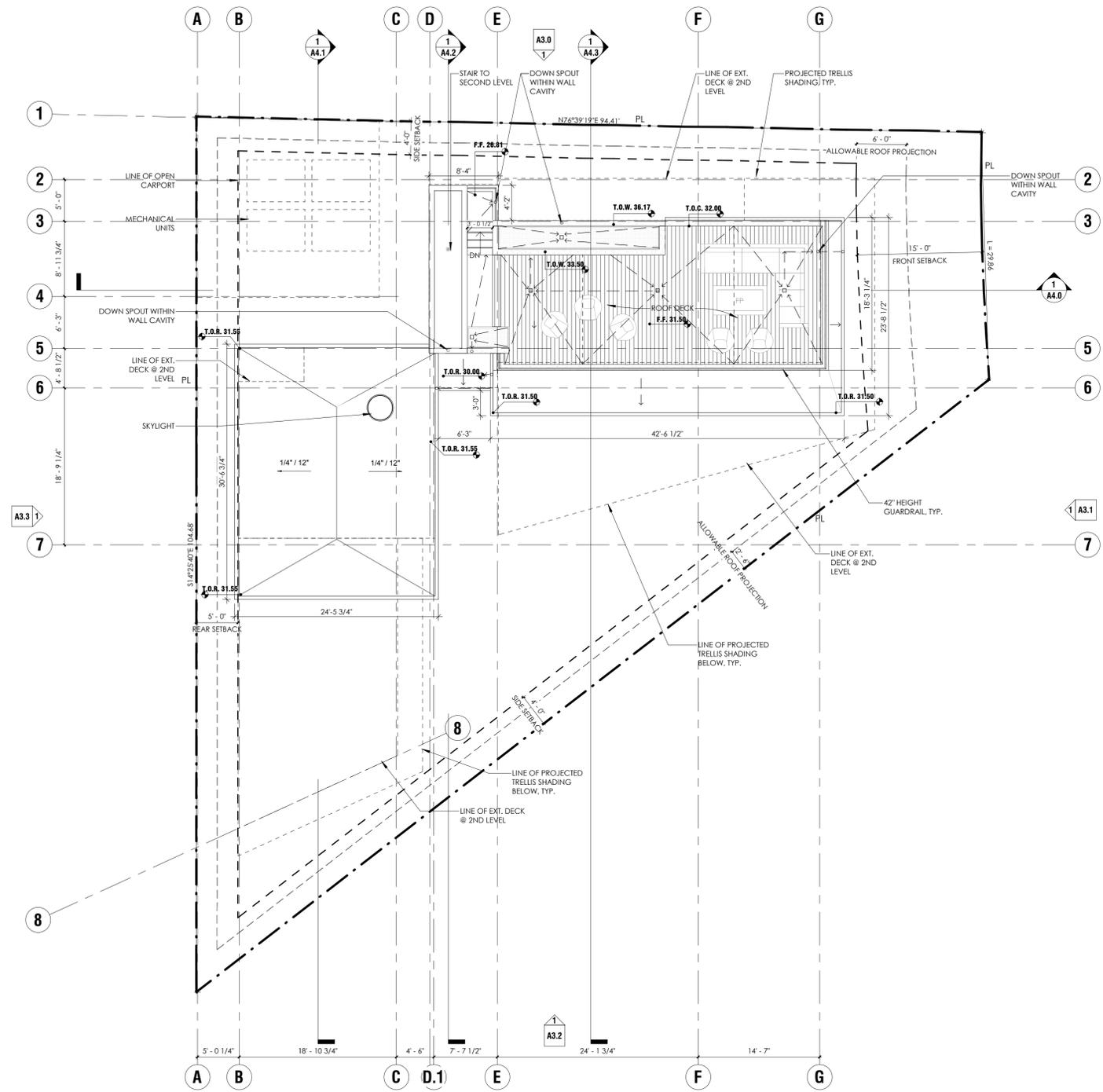
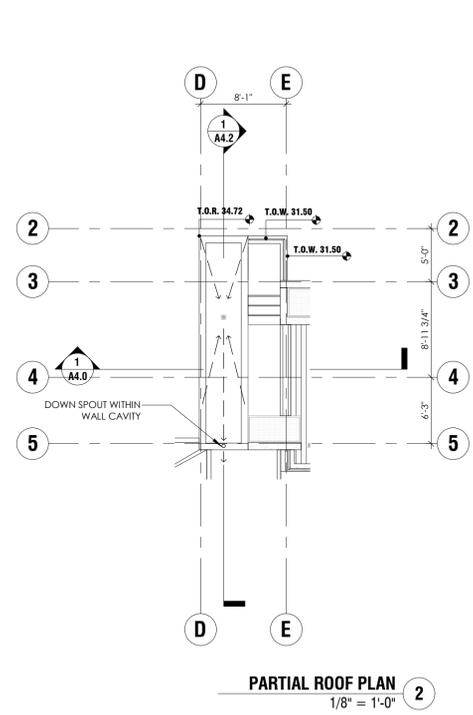
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ROOF DECK LEVEL FLOOR PLAN
1/8" = 1'-0"

SYMBOL LEGEND:

0	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	X	WALL TAG
X XXXX	BUILDING ELEVATION	X	FLOOR TAG / ROOF TAG
X XXXX	INTERIOR ELEVATION	----	OVERHEAD LINE
X XXXX	BUILDING SECTION	----	HIDDEN / BELOW LINE
SPOT	SPOT ELEVATION	F.F.	FINISH FLOOR
X	KEYNOTE	T.O.W.	TOP OF WALL
XXX	DOOR TAG	T.O.R.	TOP OF ROOF
XX	WINDOW TAG	T.O.P.	TOP OF PROJECTION
		T.O.F.	TOP OF FENCE
		T.O.G.	TOP OF GUARDRAIL



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No.	Description	Date
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ROOF PLAN

A2.2

LOUGHRIDGE RESIDENCE

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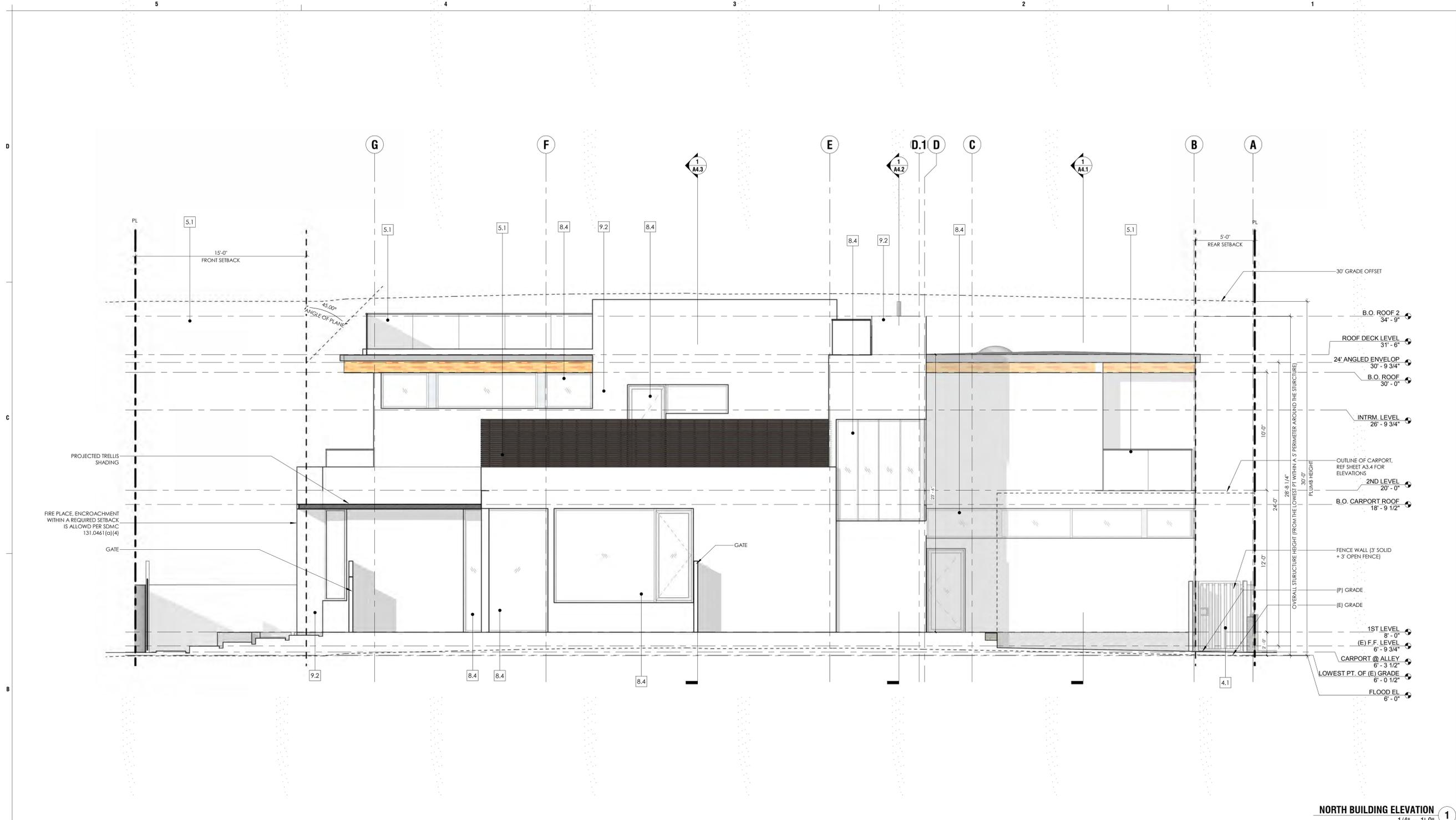
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NORTH BUILDING ELEVATION 1
1/4" = 1'-0"

BUILDING HEIGHT NOTE:

HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMIT AS OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG 5-4.

KEYNOTE:

- 4.1 CONCRETE MASONRY UNIT - EXPOSED W/SEALER
- 5.1 GLASS GUARDRAIL SYSTEM
- 8.4 DOOR SYSTEM; REF. SCHED.
- 9.2 CEMENT PLASTER STUCCO - SANTA BARBARA FINISH - STUCCO-1

SYMBOL LEGEND:

- 0 GRID
- LEVEL
- BUILDING ELEVATION
- INTERIOR ELEVATION
- BUILDING SECTION
- SPOT ELEVATION
- KEYNOTE
- DOOR TAG
- WINDOW TAG
- XX WINDOW WALL TAG
- WALL TAG
- FLOOR TAG / ROOF TAG
- OVERHEAD LINE
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- T.O.W. TOP OF WALL
- T.O.R. TOP OF ROOF
- T.O.P. TOP OF PROJECTION
- T.O.F. TOP OF FENCE
- T.O.G. TOP OF GUARDRAIL



No.	Description	Date
01	COASTAL DEVELOPMENT PERMIT	07/28/2017
02	CDP - RESUBMITTAL	10/20/2017
03	CDP - FINAL SUBMITTAL	12/22/2017

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Scale: 1/4" = 1'-0"
SRA Project Number: 1705

BUILDING ELEVATION - NORTH

A3.0

LOUGHRIDGE RESIDENCE

New Building
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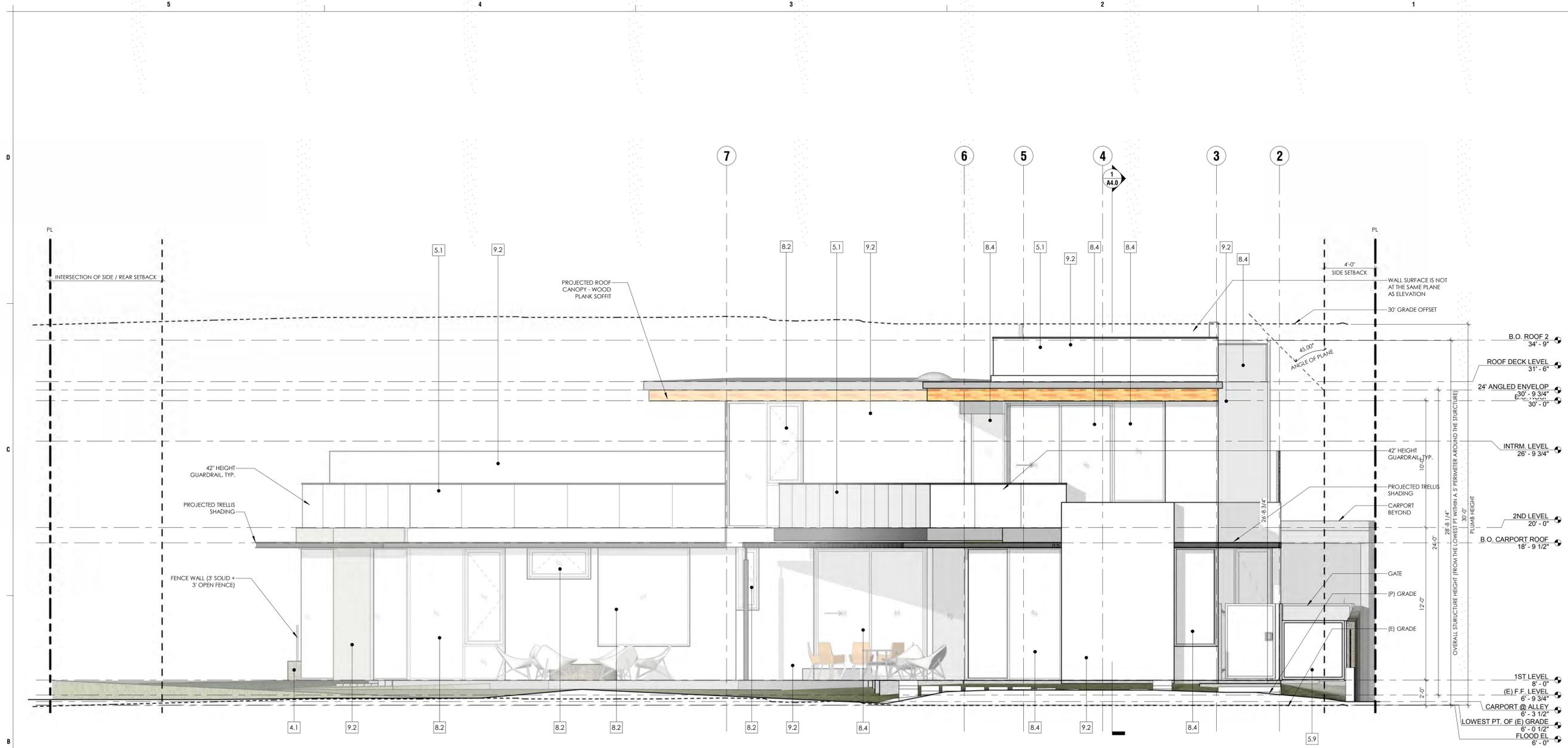
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PER SDMC 131.0461(g)(1)(D), A ROOF DESIGN ELEMENT, WHICH COMPLY WITH FOLLOWING LIST, MAY PROJECT INTO THE SPACE ABOVE THE REQUIRED ANGLED BUILDING ENVELOPE PLANE:
1. FACES THE FRONT YARD
2. DOES NOT ENCR OACH INTO ANY REQUIRED YARD
3. COMPLY WITH ALL APPLICABLE STRUCTURE HEIGHT LIMITS IN ACCORDANCE WITH SECTION 113.0270
4. THE ROOF DESIGN ELEMENT IS LIMITED TO A MAX. OF 33% OF THE WIDTH OF THE BUILDING ENVELOPE FACING THE FRONT YARD, AND A MAXIMUM DEPTH EQUAL TO OR LESS THAN ITS WIDTH.

EAST BUILDING ELEVATION 1
1/4" = 1'-0"



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Issue Date 10/20/17 Scale 1/4" = 1'-0"
SRA Project Number 1705

BUILDING HEIGHT NOTE:

HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMIT AS OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG 5-4.

KEYNOTE:

- 4.1 CONCRETE MASONRY UNIT - EXPOSED W/SEALER
- 5.1 GLASS GUARDRAIL SYSTEM
- 5.9 DECORATIVE METAL GATE
- 8.2 ALUM. WINDOW SYSTEM; REF. SCHED.
- 8.4 DOOR SYSTEM; REF. SCHED.
- 9.2 CEMENT PLASTER STUCCO - SANTA BARBARA FINISH - STUCCO-1

SYMBOL LEGEND:

- 0 GRID
- LEVEL
- BUILDING ELEVATION
- INTERIOR ELEVATION
- BUILDING SECTION
- SPOT ELEVATION
- KEYNOTE
- DOOR TAG
- WINDOW TAG
- XX WINDOW WALL TAG
- WALL TAG
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- F.F. FINISH FLOOR
- T.O.W. TOP OF WALL
- T.O.R. TOP OF ROOF
- T.O.P. TOP OF PROJECTION
- T.O.F. TOP OF FENCE
- T.O.G. TOP OF GUARDRAIL

BUILDING ELEVATION - EAST

A3.1

LOUGHRIDGE RESIDENCE

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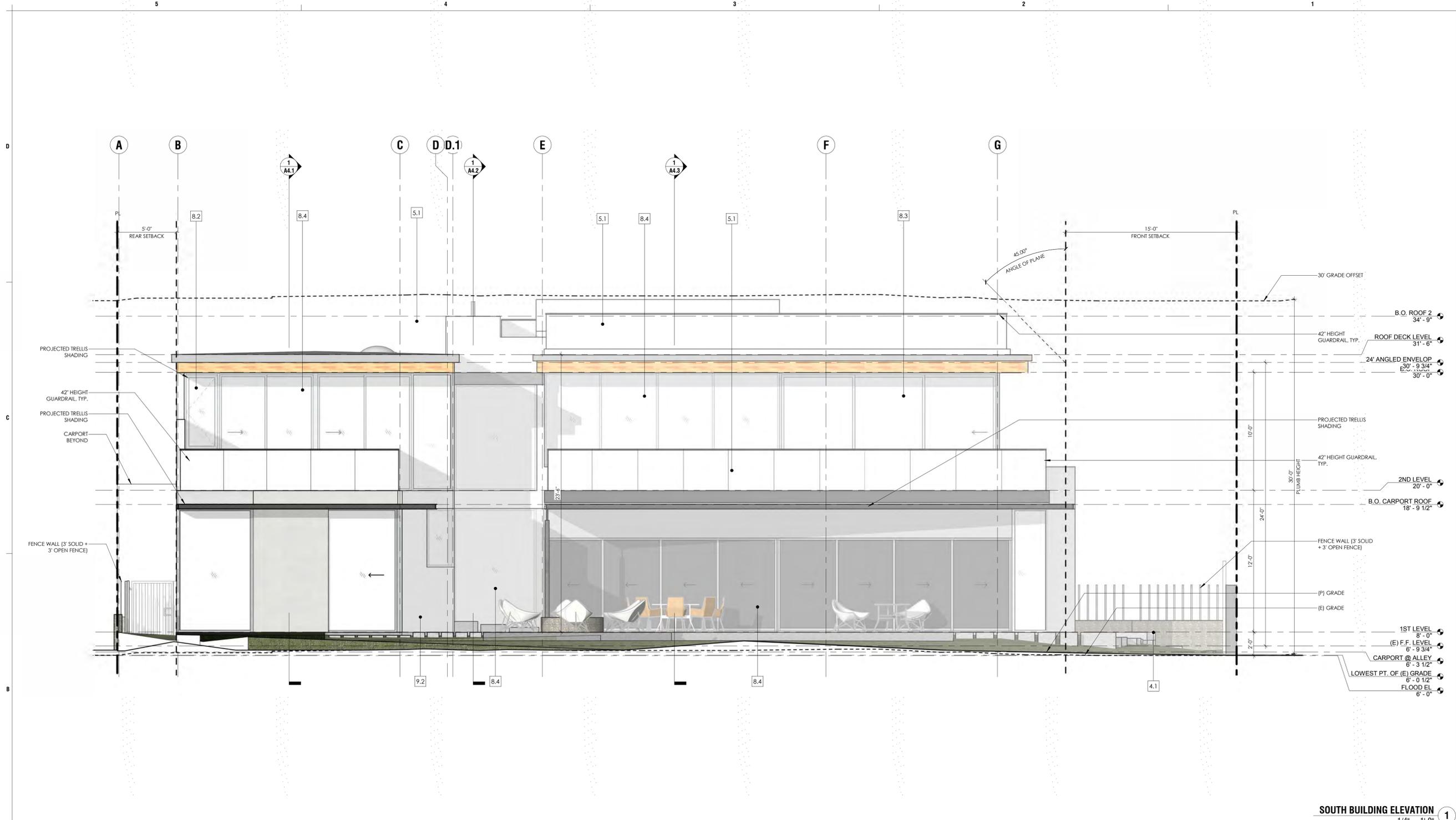
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SOUTH BUILDING ELEVATION 1
1/4" = 1'-0"

BUILDING HEIGHT NOTE:

HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMIT AS OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG 5-4.

KEYNOTE:

- 4.1 CONCRETE MASONRY UNIT - EXPOSED W/SEALER
- 5.1 GLASS GUARDRAIL SYSTEM
- 8.2 ALUM. WINDOW SYSTEM; REF. SCHED.
- 8.3 ALUM. STOREFRONT DOOR SYSTEM; REF. SCHED.
- 8.4 DOOR SYSTEM; REF. SCHED.
- 9.2 CEMENT PLASTER STUCCO - SANTA BARBARA FINISH - STUCCO-1

SYMBOL LEGEND:

- 0 GRID
- LEVEL
- BUILDING ELEVATION
- INTERIOR ELEVATION
- BUILDING SECTION
- SPOT ELEVATION
- KEYNOTE
- DOOR TAG
- WINDOW TAG
- XX WINDOW WALL TAG
- WALL TAG
- FLOOR TAG / ROOF TAG
- OVERHEAD LINE
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- F.F. FINISH FLOOR
- T.O.W. TOP OF WALL
- T.O.R. TOP OF ROOF
- T.O.P. TOP OF PROJECTION
- T.O.F. TOP OF FENCE
- T.O.G. TOP OF GUARDRAIL



REVISIONS

No.	Description	Date
01	COASTAL DEVELOPMENT PERMIT	07/28/2017
02	CDP - RESUBMITTAL	10/20/2017
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Issue Date: 10/20/17
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SRA Project Number: 1705

BUILDING ELEVATION - SOUTH

A3.2

LOUGHRIDGE RESIDENCE

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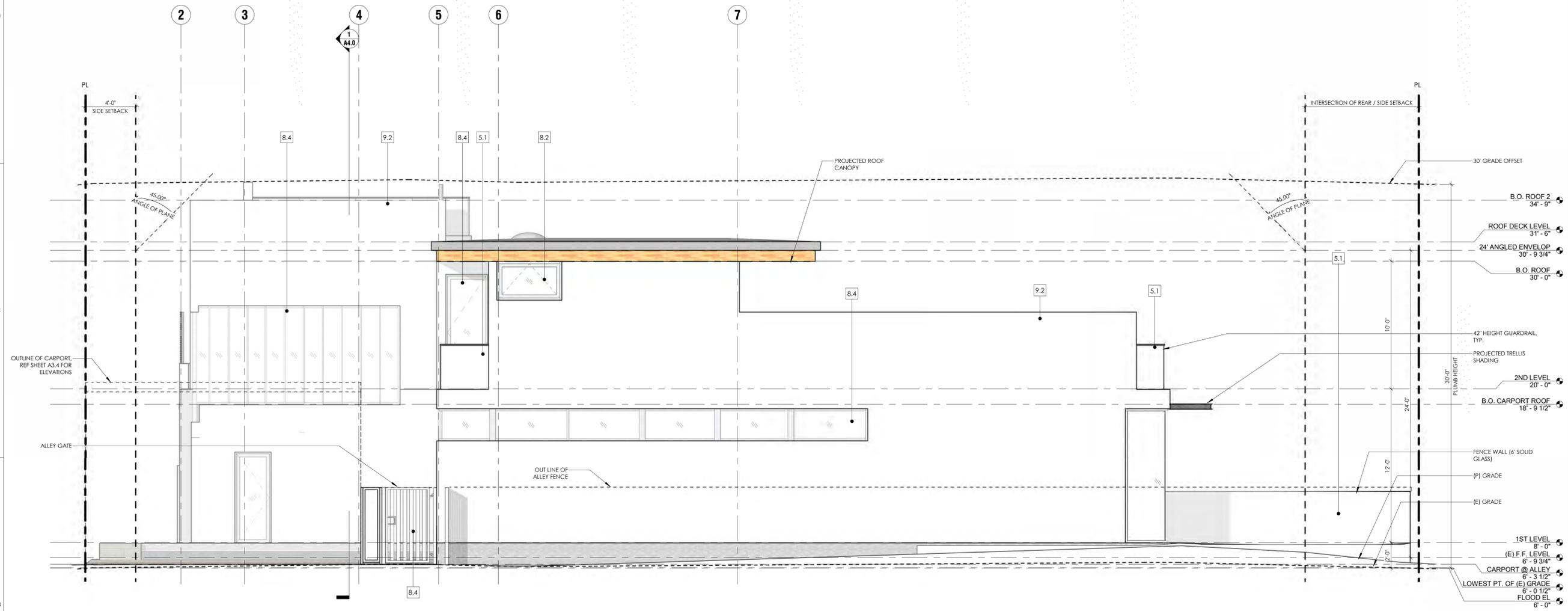
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WEST BUILDING ELEVATION 1
1/4" = 1'-0"

BUILDING HEIGHT NOTE:

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KEYNOTE:

5.1	GLASS GUARDRAIL SYSTEM
5.3	DECORATIVE METAL FENCE SYSTEM
8.2	ALUM. WINDOW SYSTEM; REF. SCHED.
8.4	DOOR SYSTEM; REF. SCHED.
9.2	CEMENT PLASTER STUCCO - SANTA BARBARA FINISH - STUCCO-1

SYMBOL LEGEND:

0	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	X	WALL TAG
X XXX X	BUILDING ELEVATION	X	FLOOR TAG / ROOF TAG
X XXX X	INTERIOR ELEVATION	---	OVERHEAD LINE
X SIM X	BUILDING SECTION	---	HIDDEN / BELOW LINE
SPOT	SPOT ELEVATION	F.F.	FINISH FLOOR
X	KEYNOTE	T.O.W.	TOP OF WALL
XXX	DOOR TAG	T.O.R.	TOP OF ROOF
XX	WINDOW TAG	T.O.P.	TOP OF PROJECTION
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		T.O.G.	TOP OF GUARDRAIL



REVISIONS

No.	Description	Date
01	COASTAL DEVELOPMENT PERMIT	07/28/2017
02	CDP - RESUBMITTAL	10/20/2017
03	CDP - FINAL SUBMITTAL	12/22/2017

Issue Date: 10/20/17
Scale: 1/4" = 1'-0"
SRA Project Number: 1705

BUILDING ELEVATION - WEST

A3.3

LOUGHRIDGE RESIDENCE

New Building
1002 WEST BRIARFIELD DR.,
SAN DIEGO, CA 92109

APN: 423-350-14-00

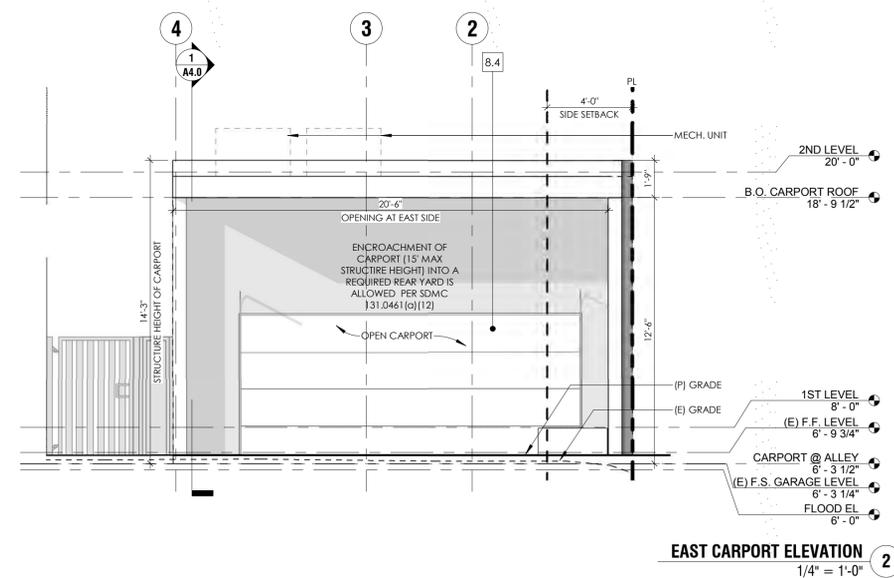
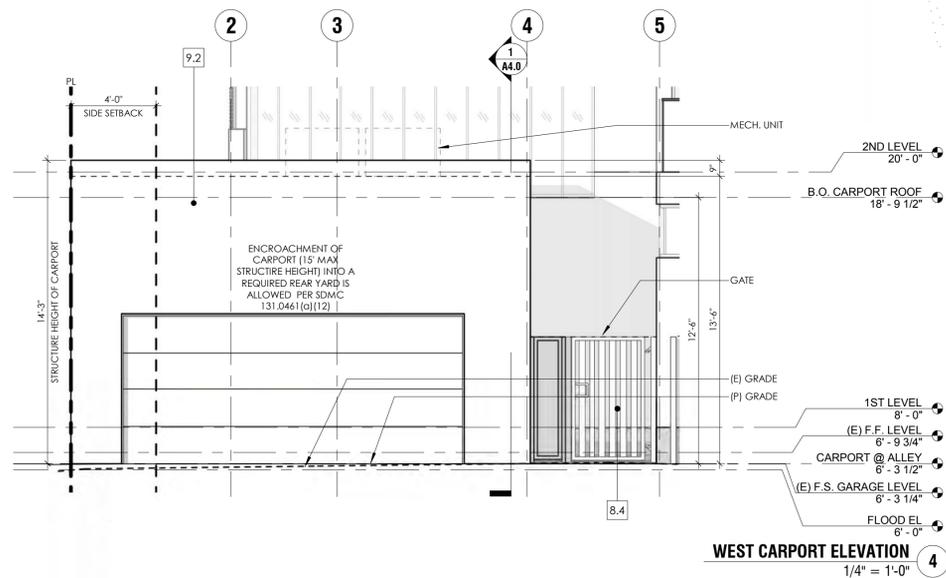
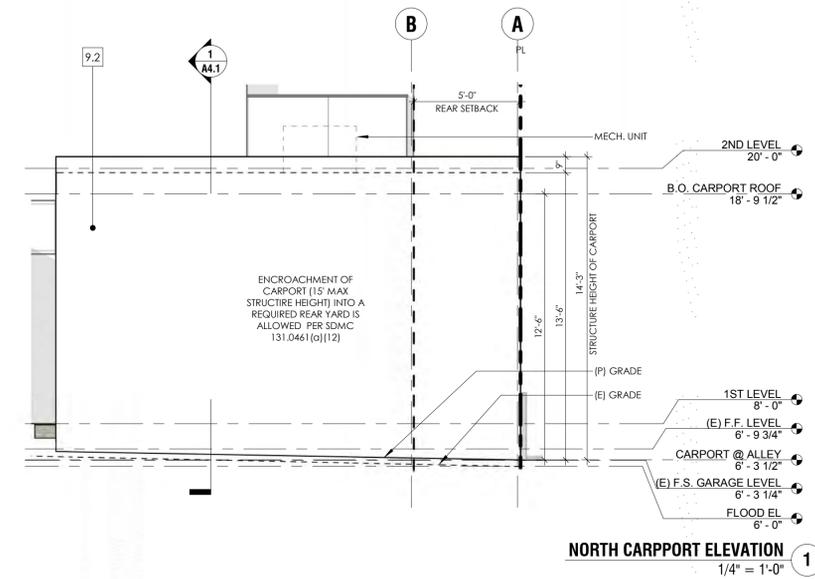
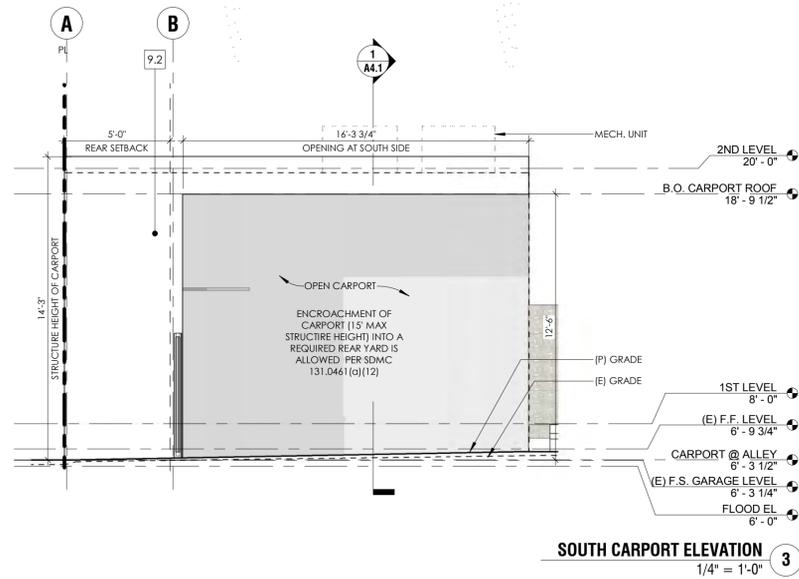
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858.694.5660

Soils Engineer
Christian Wheeler
3880 Home Avenue
San Diego, CA 92105
619.550.1700

Structural Engineer
Xxx

Landscape
Precision Landscape Maintenance, INC.
5730 Kearny Villa Rd
San Diego, CA 92123



BUILDING HEIGHT NOTE:

HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMIT AS OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG 5-4.

KEYNOTE:

- 8.4 | DOOR SYSTEM; REF. SCHED.
- 9.2 | CEMENT PLASTER STUCCO - SANTA BARBARA FINISH - STUCCO-1

SYMBOL LEGEND:

- | | | | |
|-------------------|--------------------|-----|--------------------------|
| 0 | GRID | XX | WINDOW WALL TAG |
| Name
Elevation | LEVEL | X | WALL TAG |
| X XXX X | BUILDING ELEVATION | X | FLOOR TAG / ROOF TAG |
| X XXX X | INTERIOR ELEVATION | --- | OVERHEAD LINE |
| X SIM X XXX X | BUILDING SECTION | --- | HIDDEN / BELOW LINE |
| SPOT ELEVATION | F.F. | --- | FINISH FLOOR |
| KEYNOTE | T.O.W. | --- | TOP OF WALL |
| XXX | DOOR TAG | --- | T.O.R. TOP OF ROOF |
| XX | WINDOW TAG | --- | T.O.P. TOP OF PROJECTION |
| | | --- | T.O.F. TOP OF FENCE |
| | | --- | T.O.G. TOP OF GUARDRAIL |



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SRA Project Number: 1705

CARPORT ELEVATIONS

A3.4

LOUGHRIDGE RESIDENCE

New Building
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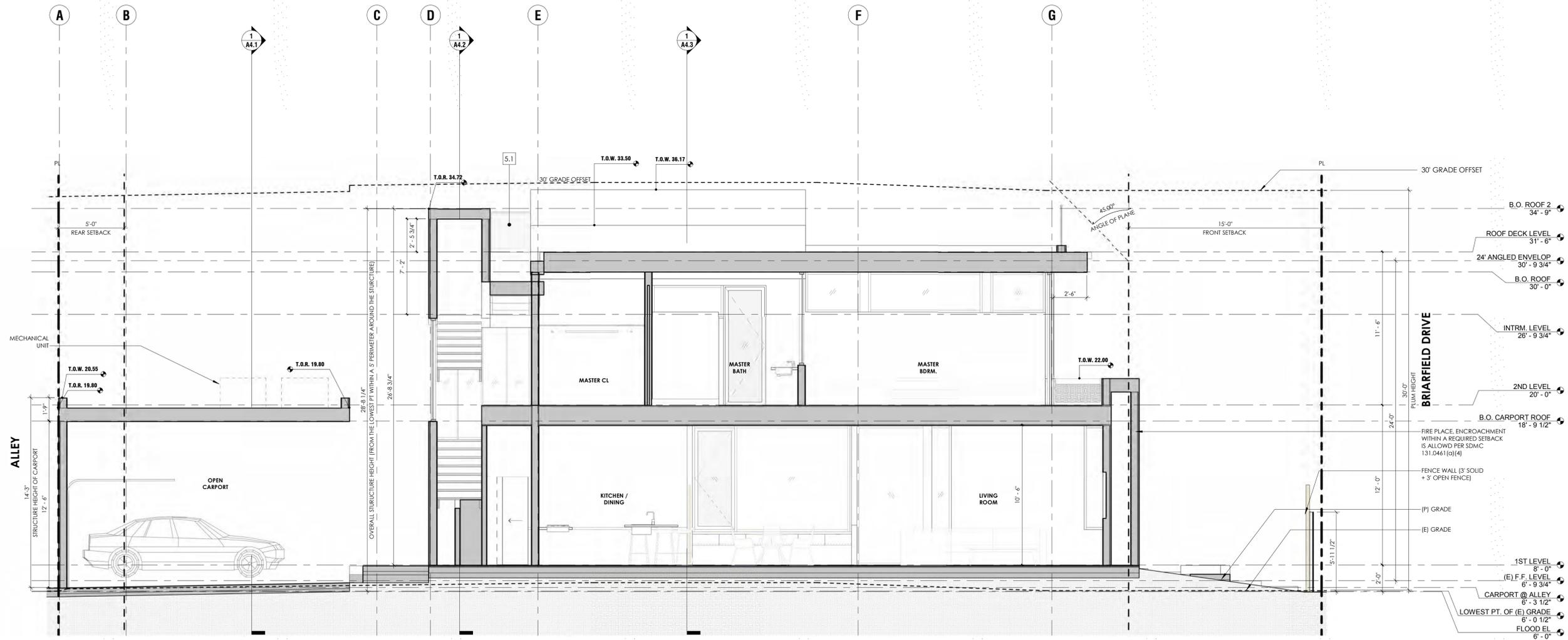
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San Diego, CA 92123



SITE SECTION 1
1/4" = 1'-0"

SYMBOL LEGEND:

--- 0 ---	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	◇	WALL TAG
◇ XXX ◇	BUILDING ELEVATION	⊗	FLOOR TAG / ROOF TAG
◇ XXX ◇	INTERIOR ELEVATION	---	OVERHEAD LINE
◇ SIM XXX ◇	BUILDING SECTION	---	HIDDEN / BELOW LINE
⊙	SPOT ELEVATION	F.F.	FINISH FLOOR
⊙	KEYNOTE	T.O.W.	TOP OF WALL
XXX	DOOR TAG	T.O.R.	TOP OF ROOF
XX	WINDOW TAG	T.O.P.	TOP OF PROJECTION
		T.O.F.	TOP OF FENCE
		T.O.G.	TOP OF GUARDRAIL



REVISIONS

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Issue Date
10/20/17
Scale
1/4" = 1'-0"
SRA Project Number
1705

SITE SECTION

A4.0

LOUGHRIDGE RESIDENCE

New Building
1002 WEST BRIARFIELD DR.,
SAN DIEGO, CA 92109

APN: 423-350-14-00

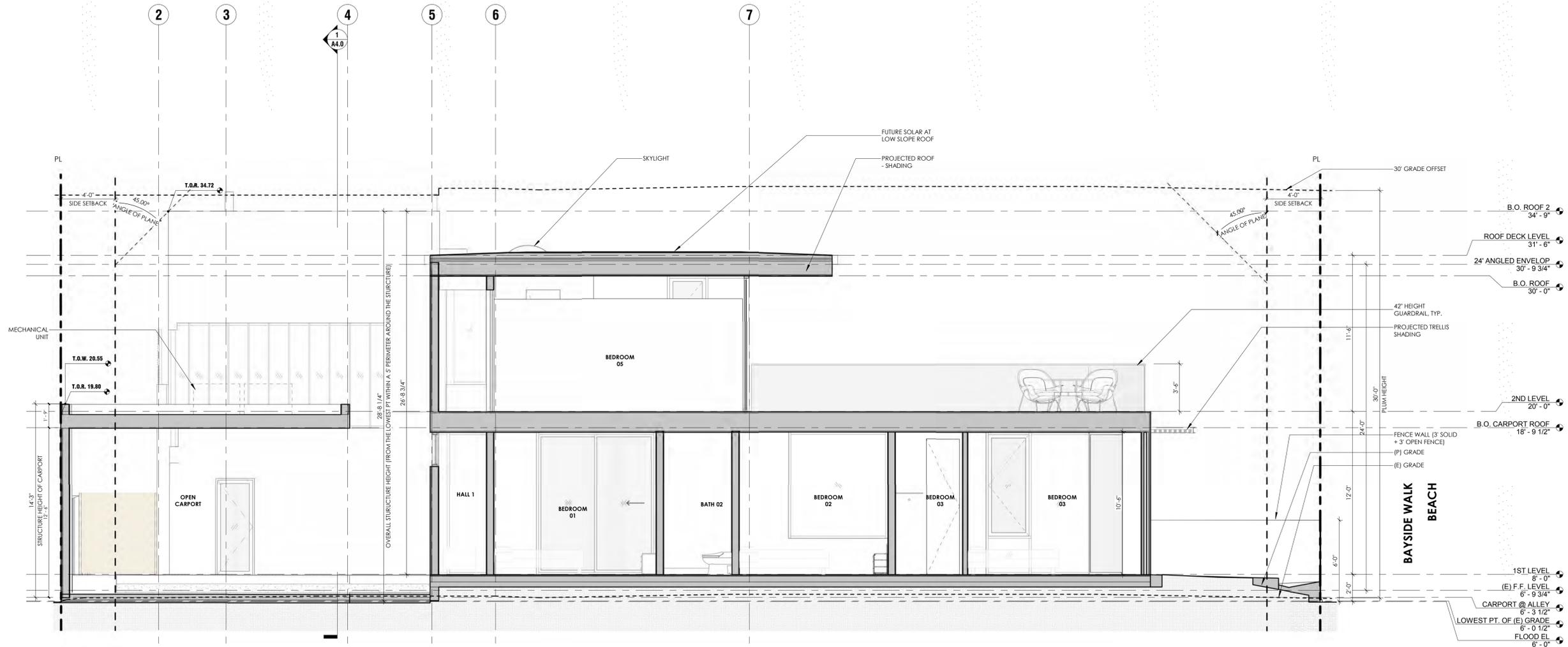
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San Diego, CA 92123



SITE SECTION 2
1/4" = 1'-0" 1

SYMBOL LEGEND:

0	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	◇	WALL TAG
⊠ XXX	BUILDING ELEVATION	⊗	FLOOR TAG / ROOF TAG
⊠ XXX	INTERIOR ELEVATION	---	OVERHEAD LINE
⊠ SIM XXX	BUILDING SECTION	---	HIDDEN / BELOW LINE
⊠	SPOT ELEVATION	F.F.	FINISH FLOOR
⊠	KEYNOTE	T.O.W.	TOP OF WALL
XXX	DOOR TAG	T.O.R.	TOP OF ROOF
XX	WINDOW TAG	T.O.P.	TOP OF PROJECTION
		T.O.F.	TOP OF FENCE
		T.O.G.	TOP OF GUARDRAIL



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SITE SECTION

LOUGHRIDGE RESIDENCE

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SAN DIEGO, CA 92109

APN: 423-350-14-00

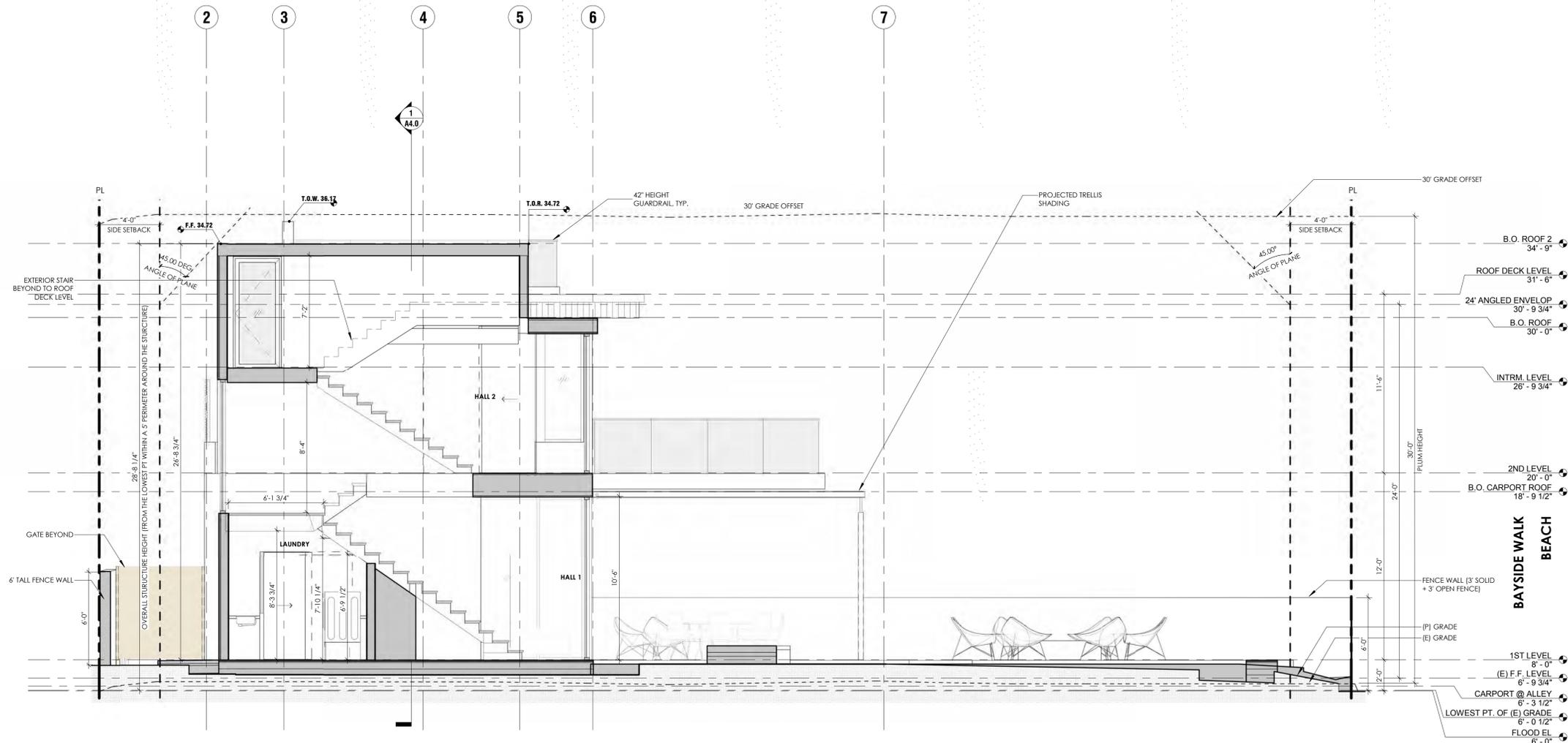
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San Diego, CA 92123



BUILDING SECTION 1 - PERMIT
1/4" = 1'-0" **1**

SYMBOL LEGEND:

0	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	◇	WALL TAG
⊠ XXX	BUILDING ELEVATION	⊗	FLOOR TAG / ROOF TAG
⊠ XXX	INTERIOR ELEVATION	----	OVERHEAD LINE
⊠ SIM XXX	BUILDING SECTION	----	HIDDEN / BELOW LINE
⊠	SPOT ELEVATION	F.F.	FINISH FLOOR
⊠	KEYNOTE	T.O.W.	TOP OF WALL
XXX	DOOR TAG	T.O.R.	TOP OF ROOF
⊠	WINDOW TAG	T.O.P.	TOP OF PROJECTION
		T.O.F.	TOP OF FENCE
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BUILDING SECTION

A4.2

LOUGHRIDGE RESIDENCE

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SAN DIEGO, CA 92109

APN: 423-350-14-00

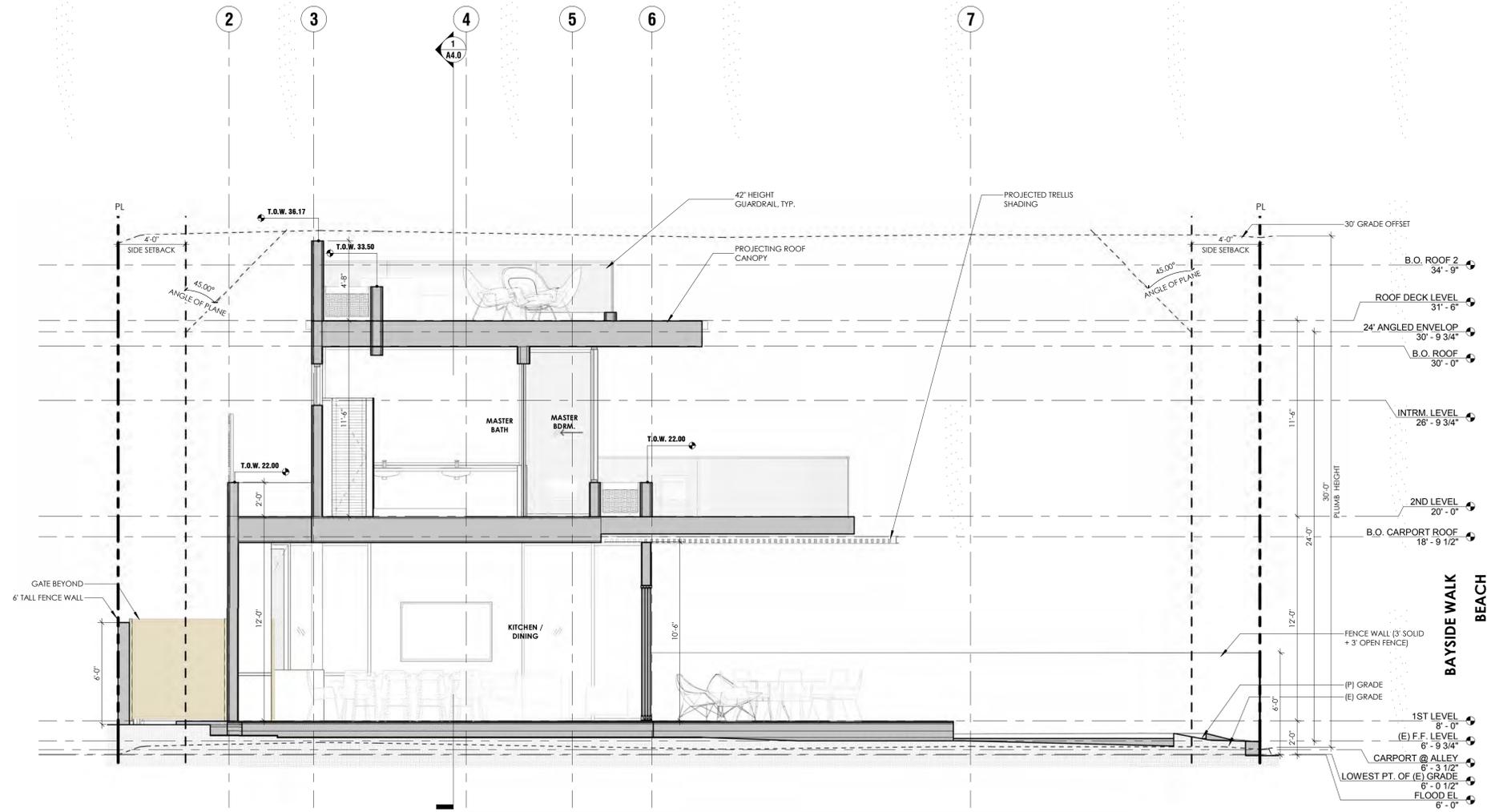
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BUILDING SECTION 2
1/4" = 1'-0" 1

SYMBOL LEGEND:

--- 0 ---	GRID	XX	WINDOW WALL TAG
Name Elevation	LEVEL	◇	WALL TAG
◇ XXX ◇	BUILDING ELEVATION	⊗	FLOOR TAG / ROOF TAG
◇ XXX ◇	INTERIOR ELEVATION	---	OVERHEAD LINE
◇ SIM XXX ◇	BUILDING SECTION	---	HIDDEN / BELOW LINE
●	SPOT ELEVATION	F.F.	FINISH FLOOR
□	KEYNOTE	T.O.W.	TOP OF WALL
XXX	DOOR TAG	T.O.R.	TOP OF ROOF
◇	WINDOW TAG	T.O.P.	TOP OF PROJECTION
		T.O.F.	TOP OF FENCE
		T.O.G.	TOP OF GUARDRAIL



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BUILDING SECTION

A4.3