



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 11, 2018 REPORT NO. HO-18-019

HEARING DATE: April 18, 2018

SUBJECT: VOLTAIRE CDP/SDP, Process Three Decision

PROJECT NUMBER: [490282](#)

OWNER/APPLICANT: Tuong Kien Truong, Owner/Applicant.

SUMMARY

Issue: Should the Hearing Officer approve a mixed-use development located at 4294 Voltaire Street within the Peninsula Community Planning area?

Staff Recommendations:

1. Approve Coastal Development Permit No. 1729356 and Site Development Permit No. 1729358.

Community Planning Group Recommendation: On March 15, 2018, the Peninsula Community Planning Group voted 8:1:5 to recommend approval of the proposed project with concerns about parking (Attachment 1).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 1, 2018 and the opportunity to appeal that determination ended February 15, 2018.

BACKGROUND

The site is located within the Peninsula Community Plan and designated for commercial land uses (Attachment 2). Located at 4294 Voltaire Street (Attachment 3), the site is within the Ocean Beach Highlands neighborhood, which extends east of Ocean Beach between Froude Street, Nimitz Boulevard, Catalina Boulevard and W. Point Loma Avenue. The property is zoned CC-3-5 which allows commercial and residential development. The site is currently vacant, undeveloped land, sloping steeply to the east (Attachment 4). Adjacent land uses include commercial to the north,

south and west with residential to the east. The neighborhood commercial uses form the focus of development along Voltaire Street. This neighborhood consists of single- and multi-family structures, many of which predate 1940. The streets are generally quite wide and there are a number of large trees scattered throughout the neighborhood. Since the neighborhood slopes westward toward Ocean Beach, there is a strong visual association between this neighborhood and the Ocean Beach community. The Voltaire Street Commercial District is included in this area. Although the majority of Peninsula consists of stable residential communities, several areas are experiencing some type of transition or have a high potential for future transition. The Voltaire/Nimitz residential area has the potential for future transition from single to multi-family residential.

Located within the Coastal Overlay Zone, the proposed project requires approval of a Coastal Development Permit. The site is also within the Community Plan Implementation Overlay Zone which requires the project to obtain a Site Development Permit.

DISCUSSION

The Voltaire CDP/SDP project (Project) proposes development on each of the two existing lots (Attachment 5). Each lot would have a single building with commercial space at the street level for office or retail use and a garage and two one-bedroom dwelling units below the commercial use. The proposed twin buildings would follow the existing grade and slope down from the street. The commercial units at street level would be approximately 717 square feet each and have a 312-square-foot garage each. Each building would have two residential dwelling units, one unit of 1,380 square feet and a second unit of 1,358 square feet. The total size of the development would be approximately 7,534 square feet on the combined lot area of 8,229 square feet. The CC-3-5 Zone allows for a maximum Floor Area Ratio (FAR) of 2.0 and the Project proposes an FAR of 0.9.

The Project would provide a total of eight parking spaces for automobiles, two of which would be reserved for disabled drivers, two motorcycle spaces and six bicycle spaces. The Project would provide one shared driveway access due to the sub-standard width of the existing lots. Raised concrete pedestrian walkways, one on each lot, would be provided from the public sidewalk to the buildings outside of and separated from the vehicular use area.

As the Project design proposes to follow the existing natural grade of the site, grading would be the least amount practical. Approximately 302 cubic yards of excavation and 660 cubic yards of embankment would require the import of approximately 358 cubic yards to the site. Two concrete block retaining walls, a maximum of five feet high, would be constructed to step the development down the steep slope. No manufactured slopes would be created or required for the proposed design.

The flat roofed buildings would employ a variety of materials and colors. The roof cap would be a galvanized metal painted white, the walls would be light brown cement board siding and light brown stucco. A steel trellis painted red, brown cultured stone siding, colored concrete block, painted downspouts, a colored concrete block three-foot high garden wall and transparent glazing would be included to create the low profile building (Attachment 6).

The Project would also include other site improvements and landscaping, such as street trees and ground cover in the public right-of-way, bicycle racks, a pedestrian walkway separated from the parking area, colored stamped concrete pavement, concrete block retaining walls, small flowering trees and other shrubs and ground covers (Attachment 7). All drainage from the vehicular use area would be directed to the public right-of-way storm drain system.

Peninsula Community Planning Group

The Peninsula Community Planning Group took action on March 15, 2018 voting 8:1:5 to recommend approval with concerns regarding parking and the possible conversion of the proposed office to a bedroom.

Staff reviewed the proposed project against all relevant regulations in effect as of August 19, 2016, the date the application was deemed complete. Relative to parking, the project proposes development of two existing lots with one building each. According to the Land Development Code, the project requires two disabled parking spaces, six standard parking spaces, two motorcycles and six bicycle spaces. The project meets this requirement. There is an office space indicated on levels 1 and 2 of the floor plans. These rooms may not be converted to function as a bedroom. If this were to occur, the Owner would be in violation of the Coastal Development Permit and Site Development Permit.

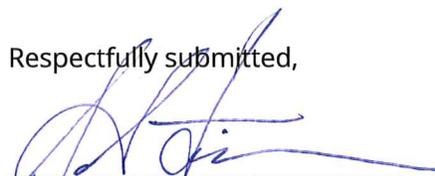
Conclusion

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The design of the proposed Project complies with all development regulations of the CC-3-5 zone and no deviations are required to approve the project. Staff has provided draft findings (Attachment 8) to support the proposed development and draft conditions of approval (Attachment 9). Staff is recommending the Hearing Officer approve the Project as presented.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1729356, Site Development Permit No. 1729358, with modifications.
2. Deny Coastal Development Permit No. 1729356, Site Development Permit No. 1729358, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



John S. Fisher
Development Project Manager

Attachments:

1. Community Planning Group Recommendation
2. Community Plan Land Use Map
3. Project Location Map
4. Aerial Map
5. Site Plan
6. Elevation Plans
7. Landscape Plan
8. Draft Resolution with Findings
9. Draft Permit with Conditions
10. Environmental Exemption
11. Ownership Disclosure Statement
12. Remaining Project Plans
13. Project Data Sheet

Fisher, John

From: Don Sevens <donsevens@rocketmail.com>
Sent: Friday, March 16, 2018 3:49 PM
To: Fisher, John; Kien Truong; Don Sevens
Subject: 4294 Voltaire Street CDP/SDP Applicant: ie Truong

4294 Voltaire St. CDP/SDP -- Project No 490282, 4294 Voltaire St., Zone C-3-5. Coastal Development Permit and Site Development Permit for the construction of a new 6,752 square foot mixed-use building on a 0.19 acre site. Coastal (non-appealable) overlay zone. Applicant: Kien Truong.

Note: One member absent, one resigned, four members in different room handling the election (excused).

The board took an initial vote to approve the project. That did not carry with four voting for approval, five voting against.

There was considerable board discussion focusing on the adequacy of parking and whether these were one-bedroom units or whether an additional room could be converted easily to make them two-bedroom units.

Mark Krencik, Project Review Chair, said project met parking requirements with an interpretation on ADA requirements being a possible issue. He said units would need a door and closet in another room for it to be considered a bedroom.

Moved by David Dick, seconded by Don Sevens to approve project with condition that city review the adequacy of parking in consideration of configuration of residential units which appear to be equivalent to two bedrooms with two bathrooms, suggesting the need for more parking.

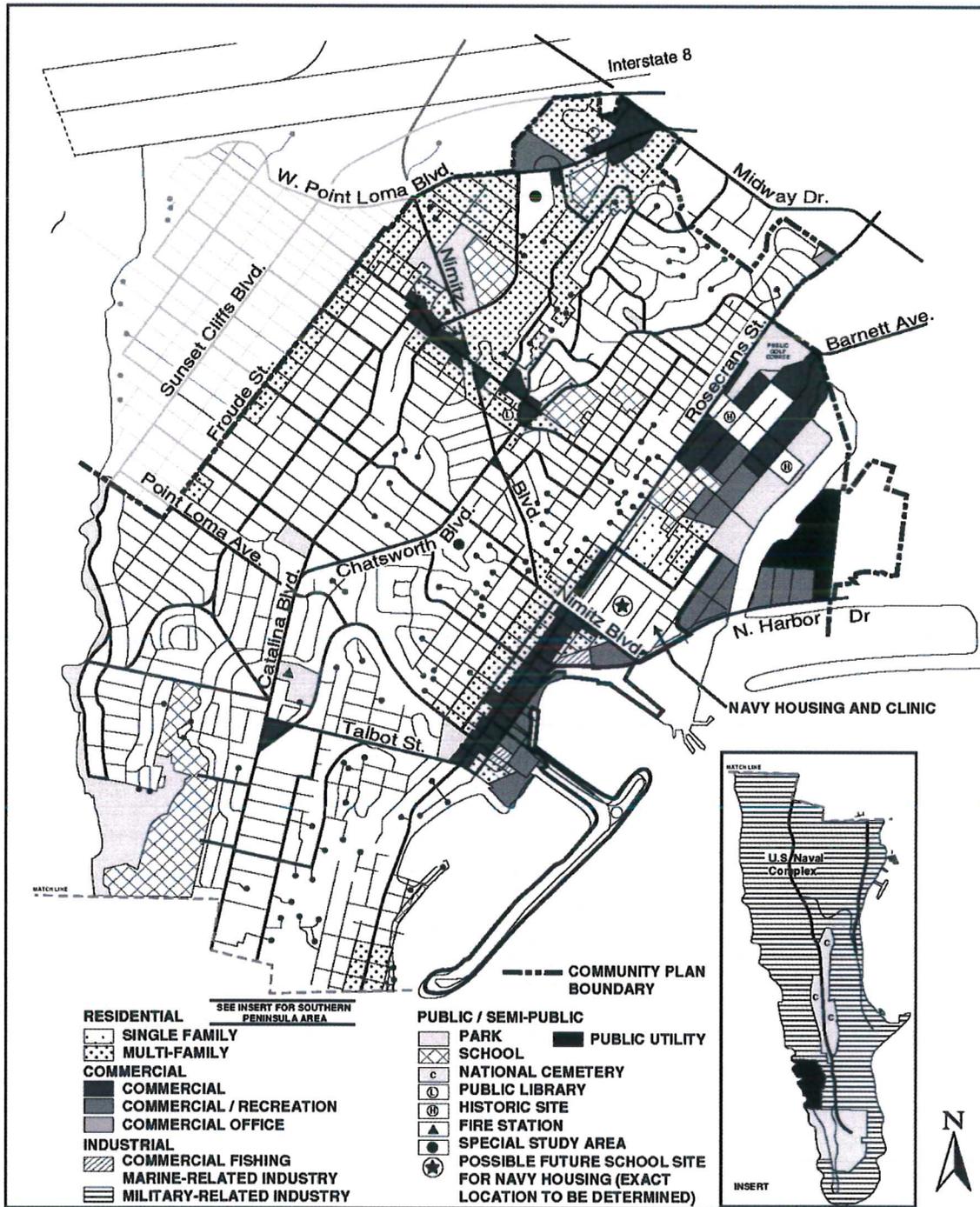
Motion carried, 8 - 1 - 5

Voting yes: Patricia Clark, David Dick, Robert Goldyn, Jim Hare, Joe Holasek, Mark Krencik, Don Sevens, Margaret Virissimo

Voting no: Julia Quinn

Absent: Bruce Coons, Brad Herrin (election), Fred Kosmo (election), Jerry Lohla (election), Laura Miller (resigned)

Not voting: Jon Linney (chair)



Land Use Peninsula Community Plan
 CITY OF SAN DIEGO • PLANNING DEPARTMENT

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 05/25/06 JAA

5. Land Use Plan

Development Services Department Project Management Division



Development Services Department Project Management Division



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 1729356 and SITE DEVELOPMENT PERMIT NO. 1729358
VOLTAIRE CDP/SDP - PROJECT NO. 490282

WHEREAS, TOUNG KIEN TRUONG and ANH TUYET TROUNG, Husband and Wife as Community Property, Owner/Permittee, filed an application with the City of San Diego for a permit to construct two individual buildings, one on each of the two lots, with one 717-square-foot commercial unit at street level with a 312-square-foot garage and two residential dwelling units; one unit of 1,380 square feet and a second unit of 1,358 square feet, for a project total of approximately 7,534 square feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1729356 and 1729358), on portions of a 0.19-acre site; and

WHEREAS, the project site is located at 4294 Voltaire Street in the CC-3-5 and Community Plan Implementation Overlay Zone 'B' of the Peninsula Community Plan and Local Coastal Program Land Use Plan; and

WHEREAS, the project site is legally described as Lots 29 and 30, Block 12 of Loma Alta No. 1, according to Map thereof No. 1078, filed August 28, 1907;

WHEREAS, on February 1, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on April 18, 2018, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1729356 and Site Development Permit No. 1729358 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 18, 2018.

COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

(a) Finding for all Coastal Development Permits

(1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The Voltaire CDP/SDP project proposes to construct two individual buildings, one on each of the two lots, with one 717-square-foot commercial unit at street level with a 312-square-foot garage and two residential dwelling units; one unit of 1,380 square feet and a second unit of 1,358 square feet, for a project total of approximately 7,534 square feet on two existing legal lots at 4294 Voltaire Street in the CC-3-5 and Community Plan Implementation Overlay Zone 'B' of the Peninsula Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The site is approximately 0.74 miles from the nearest coastal body of water, the San Diego River, approximately 1 mile from the Pacific Ocean, and approximately 1.5 miles from San Diego Bay. There are no existing or proposed accessways identified in the Community Plan, legally or illegally used by the public, across the project site. Therefore, the project will not encroach upon any existing or proposed physical accessway as none exist nor are proposed to exist. The proposed coastal development will neither enhance and protect or detract from nor endanger any public views to and along the ocean and other scenic coastal areas as specified in the Community Plan in that from the site at 4294 Voltaire Street, there are no existing public views to and along the ocean and other scenic coastal areas. The proximity of the project and the intervening existing development between the site and these bodies of water is substantial and prevents any view of the ocean or any other scenic coastal area.

(2) The proposed coastal development will not adversely affect environmentally sensitive lands.

The location of the Voltaire CDP/SDP project is 4294 Voltaire Street in the CC-3-5 Zone and Community Plan Implementation Overlay Zone 'B' of the Peninsula Community Plan. The site is an undeveloped, urban infill property surrounded completely by existing commercial and residential development. There are no existing environmentally sensitive lands on the site nor on the immediately adjacent properties. The site does not contain any sensitive biology, steep hillsides, sensitive coastal bluffs, coastal beaches or special flood hazard areas. The existing vegetation on the site is non-native ruderal species and non-native shrubs. The site contains no steep hillsides, no sensitive vegetation and is not in or adjacent to any part of the Multi-Habitat Planning Area. Therefore, as the site is devoid of any environmentally sensitive lands, the proposed coastal development will not adversely affect environmentally sensitive lands.

(3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The site is located within the Peninsula Community Plan and designated for commercial land uses. Neighborhood commercial uses form the focus of development along Voltaire Street. The site is specifically located at 4294 Voltaire Street in the Ocean Beach Highlands, which extends east of Ocean Beach between Froude Street, Nimitz Boulevard, Catalina Boulevard and W. Point Loma Avenue. This neighborhood consists of single- and multi-family structures, many of which predate World War II. The streets are generally quite wide and

there are a number of large trees scattered throughout the neighborhood. Since the neighborhood slopes westward toward Ocean Beach, there is a strong visual association between this neighborhood and the Ocean Beach community. The Voltaire Street commercial district is included in this area. Although a majority of the Peninsula community consists of stable residential communities, several areas are experiencing some type of transition or have a high potential for future transition. The Voltaire/Nimitz residential area has the potential for future transition from single to multi-family residential. The proposed project is a mixed-use development consisting of commercial uses at the street level and two residential units below the commercial uses. The development will step down the natural slope. The project is consistent with the overall goals of the Peninsula Community Plan.

The certified Implementation Program of the Peninsula Community Plan outlines the policy goals of the Peninsula Community Plan and identifies objectives of the community plan to achieve the policy goals. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

(4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The location of the Voltaire CDP/SDP project is 4294 Voltaire Street in the CC-3-5 Zone and Community Plan Implementation Overlay Zone 'B' of the Peninsula Community Plan. The site is approximately 0.74 miles from the nearest coastal body of water, the San Diego River, approximately 1 mile from the Pacific Ocean, and approximately 1.5 miles from San Diego Bay. The site is not between a public road and the sea nor the shoreline of any body of water located within the Coastal Overlay Zone. In recognition of the fact that the site is not between the nearest public road and the sea nor the shoreline of any body of water located within the Coastal Overlay Zone, the proposed project will not be inconsistent with the public access and public recreation policies of Chapter 3 of the California Coastal Act. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

(a) Findings for all Site Development Permits

(1) The proposed development will not adversely affect the applicable land use plan.

The Voltaire CDP/SDP project proposes to construct two individual buildings, one on each of the two lots, with one 717-square-foot commercial unit at street level with a 312-square foot garage and two residential dwelling units; one unit of 1,380 square feet and a second unit of 1,358 square feet, for a project total of approximately 7,534 square feet on two existing legal lots at 4294 Voltaire Street in the CC-3-5 and Community Plan Implementation Overlay Zone 'B' of the Peninsula Community Plan.

The site is located within the Peninsula Community Plan and designated for commercial land uses. Neighborhood commercial uses form the focus of development along Voltaire Street. The site is specifically located at 4294 Voltaire Street in the Ocean Beach Highlands neighborhood, which extends east of Ocean Beach between Froude Street, Nimitz Boulevard, Catalina Boulevard and W. Point Loma Avenue. This neighborhood consists of single- and multi-family structures, many of which predate World War II. The streets are generally quite wide and there are a number of large trees scattered throughout the neighborhood. Since the neighborhood slopes westward toward Ocean Beach, there is a strong visual association between this neighborhood and the Ocean Beach community. The Voltaire Street commercial district is included in this area. Although the majority of Peninsula consists of stable residential communities, several areas are experiencing some type of transition or have a high potential for future transition. The Voltaire/Nimitz residential area has the potential for future transition from single to multi-family residential. The proposed project is a mixed-use development consisting of commercial uses at the street level and two residential units below the commercial uses. The development will step down the natural slope. The proposed project is consistent with the overall goals of the Peninsula Community Plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

The Voltaire CDP/SDP project proposes to construct two individual buildings, one on each of the two lots, with one 717-square-foot commercial unit at street level with a 312-square foot garage and two residential dwelling units; one unit of 1,380 square feet and a second unit of 1,358 square feet, for a project total of approximately 7,534 square feet on two existing legal lots at 4294 Voltaire Street in the CC-3-5 and Community Plan Implementation Overlay Zone 'B' of the Peninsula Community Plan.

The Voltaire CDP/SDP project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the Project for this site contains specific conditions addressing compliance with the City's codes, policies, and regulations, as well as other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations, and the inspection of construction to assure construction permits are implemented in accordance with the approved plans, and that the final construction will comply with all regulations. Therefore, the proposed development will not be detrimental to the health, safety, or general welfare of persons residing or working in the area.

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The Voltaire CDP/SDP project proposes to construct two individual buildings, one on each of the two lots, with one 717-square-foot commercial unit at street level with a 312-square foot

garage and two residential dwelling units; one unit of 1,380 square feet and a second unit of 1,358 square feet, for a project total of approximately 7,534 square feet on two existing legal lots at 4294 Voltaire Street in the CC-3-5 and Community Plan Implementation Overlay Zone 'B' of the Peninsula Community Plan. The design of the proposed project complies with all development regulations of the CC-3-5 zone and no deviations are requested or required to approve the project. Therefore, the proposed development will comply with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1729356 and Site Development Permit No. 1729358 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1729356 and 1729358, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: April 18, 2018

IO#: 24006711

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006711

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1729356 and SITE DEVELOPMENT PERMIT NO. 1729358

VOLTAIRE CDP/SDP - PROJECT NO. 490282

HEARING OFFICER

This Coastal Development Permit No. 1729356 and Site Development Permit No. 1729358 (Permit) is granted by the Hearing Officer of the City of San Diego to TOUNG KIEN TRUONG and ANH TUYET TROUNG, Husband and Wife as Community Property, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0505 and 126.0708. The 0.19-acre site is located at 4294 Voltaire Street in the CC-3-5 and Community Plan Implementation Overlay Zone 'B' of the Peninsula Community Plan. The project site is legally described as Lots 29 and 30, Block 12 of Loma Alta No. 1, according to Map thereof No. 1078, filed August 28, 1907.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct two individual buildings, one on each lot, with one 717-square-foot commercial unit at street level with a 312-square-foot garage and two residential dwelling units; one unit of 1,380 square feet and a second unit of 1,358 square feet, for a project total of approximately 7,534 square feet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 18, 2018, on file in the Development Services Department.

The project shall include:

- a. Construction of two individual buildings, one on each lot with one 717-square-foot commercial unit at street level with a 312-square-foot garage and two residential dwelling units; one unit of 1,380 square feet and a second unit of 1,358 square feet, for a project total of approximately 7,534 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this Permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this Permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This Permit must be utilized by May 2, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

12. Prior to the issuance of any construction permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying the structures do not require Federal Aviation Administration notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

ENGINEERING REQUIREMENTS:

14. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the 3/4 inch polyvinyl chloride pipe in the Voltaire Street Right-of-Way.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new driveway per current City Standards, adjacent to the site on Voltaire Street, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Voltaire Street, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing curb and gutter, per current City Standard, adjacent to the site on Voltaire Street, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate additional right-of-way to provide a ten-foot curb-to-property-line distance, satisfactory to the City Engineer.

22. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Owner/Permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

24. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2, Construction BMP Standards, Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

25. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and the Exhibit "A."

26. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a forty-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

27. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A." Construction plans shall provide a forty-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC § 142.0403(b)(5).

28. In the event a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with the Exhibit "A." These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

30. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

31. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
32. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations.
33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

34. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new driveway per current City Standards, adjacent to the site on Voltaire Street, satisfactory to the City Engineer.
35. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Voltaire Street, satisfactory to the City Engineer.
36. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

37. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
38. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. Back flow prevention devices shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
39. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

40. Prior to final inspection of the building's construction permit, all public water and sewer facilities shall be complete and operational, in a manner satisfactory to the Public Utilities Director and the City Engineer.

41. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 18, 2018 by Resolution No.

Coastal Development Permit No. 1729356
Site Development Permit No. 1729358
Date of Approval: April 18, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Tuong Kien Truong and Anh Tuyet Truong,
Husband and Wife as Community Property
Owner/Permittee

By _____
Toung Kien Truong
Owner

Tuong Kien Truong and Anh Tuyet Truong,
Husband and Wife as Community Property
Owner/Permittee

By _____
Anh Tuyet Truong
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: Voltaire CDP/SDP

Project No. / SCH No.: 490282

Project Location-Specific: 4294 Voltaire Street

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit and Site Development Permit for the construction of two 717 square-foot commercial units at street level and four new residential dwelling units; 2 units at 1,380 square-feet and 2 units at 1,358 square-feet for a project total of 7,534 square-feet.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Kien Truong
 2006 W Lake Sammamish Parkway
 Redmond, Washington, 98052
 (206) 304-0387

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Section 15303 (New Construction)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review and determined that the project would qualify to be exempt from CEQA pursuant to CEQA Section 15303. The section applies to projects that consist of the construction of a limited number of new small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the of the structure. Both lots are vacant but they have both been previously disturbed. Based upon review by City staff it was determined that a CEQA exemption was appropriate and the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Szymanski

Telephone: (619) 446-5324

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Courtney Howard / Associate Planner
Signature/Title

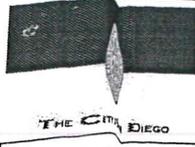
~~3~~ 4/2/18
Date

Check One:

Signed By Lead Agency

Signed by Applicant

Date Received for Filing with County Clerk or OPR:



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Name:

4294 Vaire

Project No. For City Use Only

490282

Project Address:

4294 Vaire St, San Diego CA 92107

Part I - To be completed when property is held by Individual(s)

By signing this Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional Pages attached Yes No

Name of Individual (type or print):

Tuong Kien Truong

Owner Tenant/Lessee Redevelopment Agency

Street Address:

2006 W Lk Sammamish Pkwy NE

City/State/Zip:

Redmond WA 98052

Phone No:

(206) 304 0387

Fax No:

Signature:

Tuong Truong

Date:

5/16/2016

Name of Individual (type or print):

Anh Truong

Owner Tenant/Lessee Redevelopment Agency

Street Address:

2006 W Lk Sammamish Pkwy NE

City/State/Zip:

Redmond WA 98052

Phone No:

(206) 650-1243

Fax No:

Signature:

Anh Truong

Date:

5/16/2016

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Signature:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

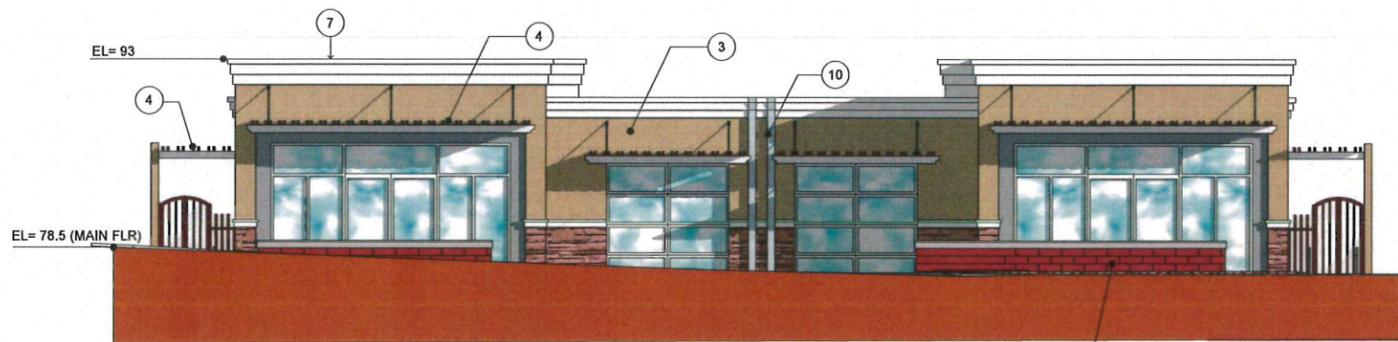
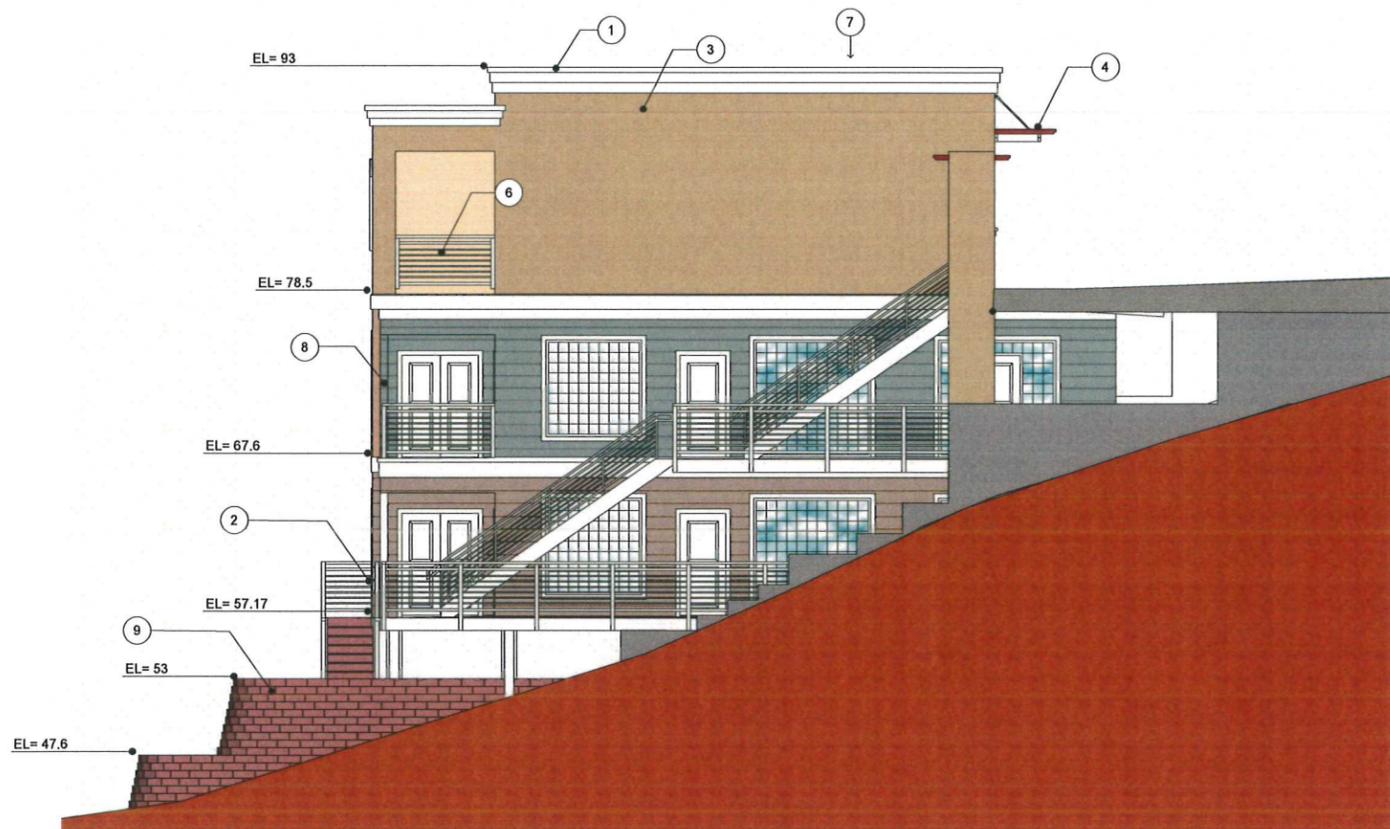
City/State/Zip:

Phone No:

Signature:

PROJECT DATA SHEET

PROJECT NAME:	Voltaire CDP/SDP	
PROJECT DESCRIPTION:	Coastal Development Permit and Site Development Permit for the construction of two 717 square-foot commercial units at street level and four new residential dwelling units; 2 units at 1,380 square-feet and 2 units at 1,358 square-feet for a project total of 7,534 square-feet.	
COMMUNITY PLAN AREA:	Peninsula	
DISCRETIONARY ACTIONS:	Coastal Development Permit and Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial	
<u>ZONING INFORMATION:</u>		
ZONE: CC-3-5		
HEIGHT LIMIT: 30-foot-maximum-height in Coastal Overlay Zone.		
LOT SIZE: 2,500 square-foot minimum lot size.		
FLOOR AREA RATIO: 2.0		
FRONT SETBACK: Zero feet or optional maximum 10 feet.		
SIDE SETBACK: 10 or optional 0 feet.		
REAR SETBACK: 10 or optional 0 feet.		
PARKING: 2.5 parking spaces required per 1,000 square feet.		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Commercial	Commercial
SOUTH:	Commercial	Commercial
EAST:	Commercial / Residential Multi-Family	Commercial / Residential Multi-Family
WEST:	Commercial	Commercial
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 15, 2018, the Peninsula Community Planning Group voted 8:1:5 to recommend approval of the proposed project with concerns about parking.	



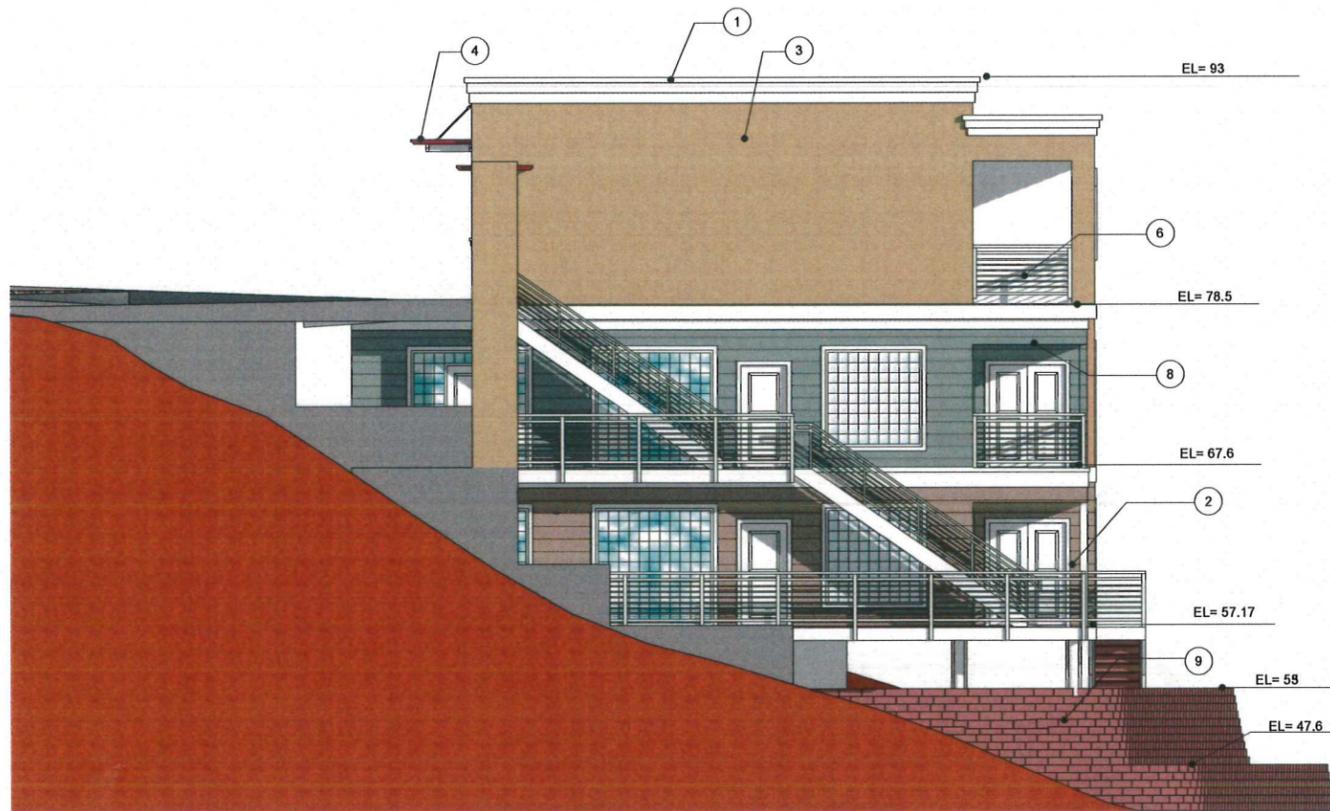
1 WEST ELEVATION (Front Street view)
Scale: 3/16" = 1'-0"

- 1 GALVANIZED METAL ROOF CAP, PAINTED WHITE
- 2 LIGHT BROWN (EARTH TONE) HARDIE CEMENT BOARD SIDING
- 3 LIGHT BROWN EARTHTONE COLOR, SMOOTH CONVENTIONAL STUCCO
- 4 RED PAINTED, OPENING STEEL TRELLIS CANOPY
- 5 BROWN (EARTH TONE) CULTURE STONE OR BRICK
- 6 1.5" DIA. STEEL GUARDRAIL, NAVY BLUE PAINTED
- 7 WHITE VVNYL ROOFING
- 8 CEMENT GRAY COLOR HARDIE PANEL
- 9 COLOR CONCRETE ALLAN BLOCK RETAINING WALL
- 10 4"X6" METAL DOWNSPOUT, EVERGREEN PAINTED
- 11 COLOR CONCRETE BLOCK GARDEN WALL (3 FT HIGH MAX.)



3 SOUTH-EAST PERSPECTIVE VIEW (with trees and trellis)
Not to scale

Applicant / Owner: Kien Truong Cell: 206-304-0387, Email: Kienbhen@gmail.com		REV. No.	Remark	Date
4294 VOLTAIRE PROJECT 4294 Voltaire Street San Diego, CA 92107				
WEST & NORTH ELEVATIONS				
Dwg date: 08/01/2016		Sheet No. 9		
		Sheet 9 of 12		
		Scale as shown		



1 SOUTH ELEVATION
Scale: 3/16" = 1'-0"



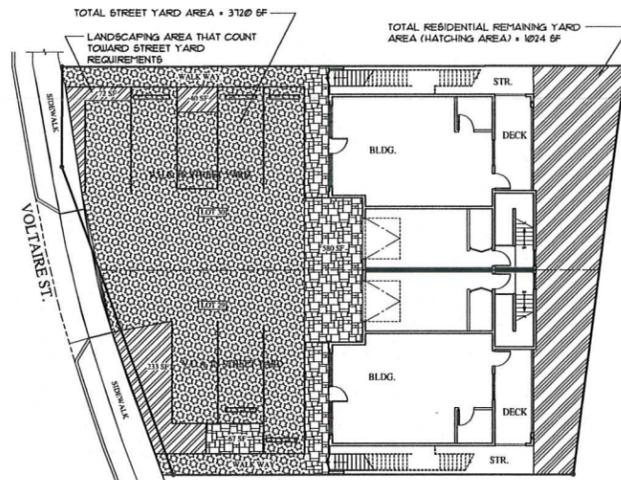
2 EAST ELEVATION
Scale: 3/16" = 1'-0"



3 NORTH-WEST PERSPECTIVE VIEW (shown trellis without trees)
Not to Scale

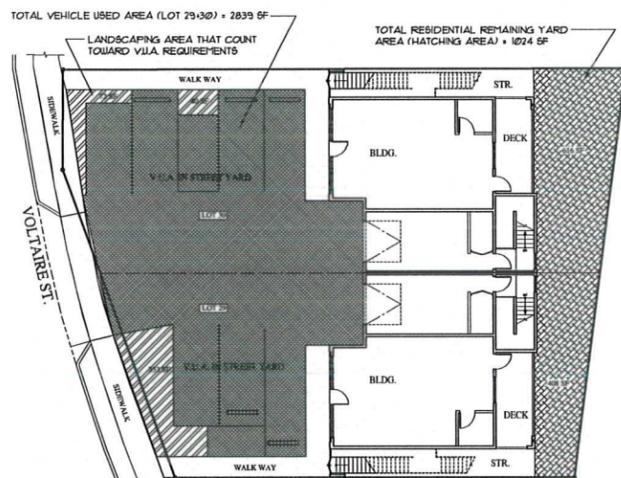
- 1 GALVANIZED METAL ROOF CAP, PAINTED WHITE
- 2 LIGHT BROWN (EARTH TONE) HARDIE CEMENT BOARD SIDING
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- 10 4"X6" METAL DOWNSPOUT, EVERGREEN PAINTED
- 11 COLOR CONCRETE BLOCK GARDEN WALL (3 FT HIGH MAX.)

Applicant / Owner: Kien Truong Cell: 206-304-0387, Email: Kienbien@gmail.com		Date
REV. No.	Remark	
4294 VOLTAIRE PROJECT 4294 Voltaire Street San Diego, CA 92107		
SOUTH & EAST ELEVATION		
Dwg. date: 08/01/2016	Sheet No. 10	
	Sheet 10 of 12	
	Scale as shown	



STREET YARD AREA DIAGRAM
SCALE: 1/8" = 1'-0"

LANDSCAPING AREA THAT COUNT TOWARD STREET YARD REQUIREMENTS
STREET YARD AREA
LANDSCAPING AREA THAT COUNT TOWARD STREET YARD REQUIREMENTS
RESIDENTIAL REMAINING AREA



V.U.A. AREA DIAGRAM
SCALE: 1/8" = 1'-0"

LANDSCAPING AREA THAT COUNT TOWARD V.U.A. REQUIREMENTS (233'x12'40" = 345 SF)
VEHICLE USED AREA
LANDSCAPING AREA THAT COUNT TOWARD RESIDENTIAL REMAINING YARD REQUIREMENT

MINIMUM TREE SEPARATION DISTANCE (TABLE 142-04E)

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FT
UNDERGROUND UTILITY LINES	5 FT
SEWER LINES	10 FT
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMER, HYDRANTS, UTILITY POLES, ETC.)	10 FT
SEWER LINES	10 FT
INTERSECTIONS / INTERSECTING CURB LINES OF TWO STREETS	25 FT

STREET YARD

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]		Planting Area Provided		Excess Area Provided	
Total Area	3,720 sq. ft. x 25% = 930 sq. ft.	992 sq. ft.	67 sq. ft.		

Planting Points Required [142.0401]		Plant Points Provided - To be achieved with trees only		Excess Points Provided	
Total Area	930 sq. ft. x 0.05 = 46.5 points	100 points	53.5 points		

NOTES:
PLANTING AREA PROVIDED = 345 SF
HARDSCAPE (COLOR STAMP CONCRETE FINISH) AREA PROVIDED = 647 SF
TOTAL LANDSCAPING AREA = 992 SF

LOT 29 430 STREET YARD AREA: TREE & SHRUB SCHEDULE:

COMMON NAME	BOTANICAL NAME	PLANT TYPE	QUANTITY	SPACING	PLANT SIZE	POINT PROVIDED
HONGKONG ORCHID TREE	BAUHINIA BLAKEANA	TREE	2	30' MAX. * O.C.	36-INCH BOX (50 POINTS)	50x2x100
TUSCAN BLUE	ROSMARINUS OFFICINALIS	SHRUB	42	24' * O.C.	1-GALLON (1 POINT)	1x42x42
PIGEON POINT	BACCHARIS PILLULARIS	GROUND COVER	3	6 FT * O.C.	1-GALLON (1 POINT)	N/A

POINTS REQUIRED = 142, POINTS PROVIDED = 142

VEHICULAR USE AREA (< 6,000 sq ft) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required		Plant Points Provided		Excess Points Provided	
Total VUA:	2,839 sq. ft. x 0.05 = 142 points	142 points	0 points		

Points achieved through trees (at least half): 100 points

LOT 29 430 VEHICLE USED AREA: TREE & SHRUB SCHEDULE:

COMMON NAME	BOTANICAL NAME	PLANT TYPE	QUANTITY	SPACING	PLANT SIZE	POINT PROVIDED
HONGKONG ORCHID TREE	BAUHINIA BLAKEANA	TREE	2	30' MAX. * O.C.	36-INCH BOX (50 POINTS)	50x2x100
TUSCAN BLUE	ROSMARINUS OFFICINALIS	SHRUB	42	24' * O.C.	1-GALLON (1 POINT)	1x42x42
PIGEON POINT	BACCHARIS PILLULARIS	GROUND COVER	3	8 FT * O.C.	1-GALLON (1 POINT)	N/A

POINTS REQUIRED = 142, POINTS PROVIDED = 142

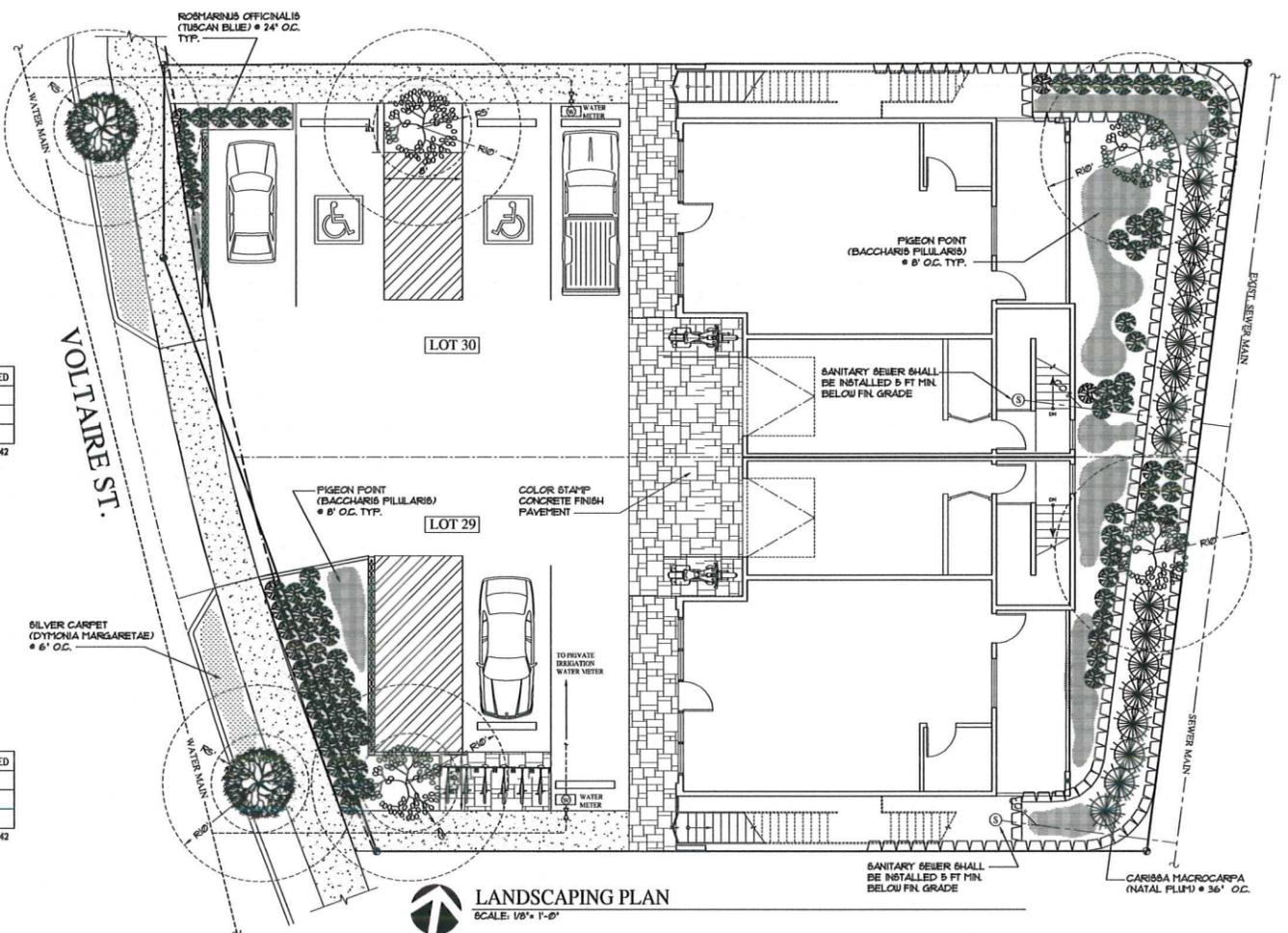
REMAINING YARD - 3 or more Dwelling Units

Plant Points Required		Plant Points Provided		Points Achieved with trees (at least 50%)	
60 points x 2	# of buildings = 120	156 points	100 points		

LOT 29 430 RESIDENTIAL REMAINING YARD: TREE & SHRUB SCHEDULE:

COMMON NAME	BOTANICAL NAME	PLANT TYPE	QUANTITY	SPACING	PLANT SIZE	POINT PROVIDED
HONGKONG ORCHID TREE	BAUHINIA BLAKEANA	TREE	2	30' MAX. * O.C.	36-INCH BOX (50 POINTS)	50x2x100
TUSCAN BLUE	ROSMARINUS OFFICINALIS	SHRUB	36	24' * O.C.	1-GALLON (1 POINT)	1x36x36
NATAL PLUM	CARISSA MACROCARPA	SHRUB	18	36' * O.C.	1-GALLON (1 POINT)	1x18x18
PIGEON POINT	BACCHARIS PILLULARIS	GROUND COVER	9	8 FT * O.C.	1-GALLON (1 POINT)	N/A

POINTS REQUIRED = 120 FOR 3 BUILDING, POINTS PROVIDED = 156
PROVIDE 1 TREE PER LOT (50 POINTS/LOT)



LANDSCAPING PLAN
SCALE: 1/8" = 1'-0"

LEGEND:

- RAYWOOD ASH (FRAXINUS OXYCARPA)
- HONGKONG ORCHID TREE (BAUHINIA BLAKEANA)
- PIGEON POINT (BACCHARIS PILLULARIS) (GROUND COVER)
- SILVER CARPET (DYTMONIA MARGARETAE) (GROUND COVER)
- ROSMARINUS OFFICINALIS (TUSCAN BLUE)
- CARISSA MACROCARPA (NATAL PLUM)

TREE

COMMON NAME	BOTANICAL NAME	FORM	TYPE	HEIGHT	SPREAD	DROUGHT	NATIVE
RAYWOOD ASH	FRAXINUS OXYCARPA	BC (small canopy)	DECIDUOUS & FLOWERING	25 FT	20 FT	YES	NO
HONGKONG ORCHID	BAUHINIA BLAKEANA	BC (small canopy)	DECIDUOUS & FLOWERING	25 FT	20 FT	YES	NO

SHRUB

COMMON NAME	BOTANICAL NAME	FORM	TYPE	HEIGHT	SPREAD	DROUGHT	NATIVE	SPACING
TUSCAN BLUE	ROSMARINUS OFFICINALIS	SHRUB	EVERGREEN & FLOWERING	5 FT	4 FT	YES	YES	2 FT
NATAL PLUM	CARISSA MACROCARPA	SHRUB	EVERGREEN & FLOWERING	5 FT	5 FT	YES	NO	3 FT

GROUND COVER

COMMON NAME	BOTANICAL NAME	FORM	TYPE	HEIGHT	SPREAD	DROUGHT	NATIVE	SPACING
PIGEON POINT	BACCHARIS PILLULARIS	GROUND COVER	EVERGREEN & FLOWERING	2 FT	8 FT	YES	YES	8 FT
SILVER CARPET	DYTMONIA MARGARETAE	GROUND COVER	EVERGREEN & FLOWERING	2'	12'	YES	YES	6'

LANDSCAPING NOTES:

- The minimum required dimension for planting area does not apply to the existing parkway strip in the Right-of-Way.
- All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet. However, the minimum required dimension for planting area does not apply to the existing parkway strip in the Right-of-Way.
- All required landscape areas shall be maintained by Owner/Permittee
- All landscape and irrigation areas in the ROW shall be maintained by Owner/Permittee
- The landscape areas shall be maintained free of debris, weed and litter, and all plant material shall be maintained in a healthy condition.
- All trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread. Diseased or dead plant material shall be satisfactorily treated or replaced in kind and equivalent size within 30 days of damage or a final landscape inspection.
- The proposed trees in the street yard will be planted in the ground (earth, not in planter)
- All bushes shall contain native or naturalized vegetation and be least flammable
- No trees or shrubs exceeding 3 feet in height at maturity shall be installed within 10 feet of any water and sewer facilities

4294 VOLTAIRE PROJECT
4294 Voltaire Street
SAN DIEGO, CA 92107

Contact: Kien Tuong, Owner
Cell: 206-304-0387

LANDSCAPING PLAN

Rev. #	Remark	Date
2	Cycle 2	03/20/2017
3	Cycle 8	07/31/2017

DWG. DATE: AUG 01, 2016

Sheet No. **11**
Sheet 11 of 12

4294 VOLTAIRE PROJECT SITE & COASTAL DEVELOPMENT PERMIT 4294 Voltaire Street, San Diego, CA 92107

PROJECT INFORMATION:	
Municipality	City of San Diego
Project Name	4294 Voltaire
Project Number	490282
Project Address	4294 Voltaire St, San Diego CA 92107
Owner	Kien Truong, 206-304-0387, kienbtr@gmail.com
Architect	MTN Architect, Redmond WA 98052
Civil Engineer	Tri-Dimensional Engineering, Poway CA 92074
Legal Description	Lots 29 & 30 in Block 12 of Loma Alta No. 1, Map 1078 CR 19776
Parcel Numbers	APN # 449-102-18 (Lot 30) and #449-102-19 (Lot 29)
Project Description	New construction of two identical but separate buildings on two adjacent vacant lots. Each lot has office space at street level and two 1-bedroom units below the office space.
Community Plan Area	Peninsula
Zoning	CC-3-5
Land Use Designation	Commercial with Multiple Dwelling Units per Table 131-05B
Number of Stories	3
Allowable Building Height	30 ft
Setback Requirements	0 ft front setback, 10 ft rear setback, 0 ft side setback
Permits	Site Development and Coastal Development Permits
Climate Zone	7
Airport Noise Zone	65 dB CNEL. Noise reduction measures to achieve 45 dB interior noise
Applicable Codes	2014 California Building Code 2014 Title 24 Energy Conservation Standards
Overlays	Airport Approach, Airport Influence Area, Coastal Height Limit, Coastal City, Parking Impact, Community Plan Implementation
Type of Construction	V-B
Occupancy Classification	Business Group B, S2 and Residential Group R-3
Site & Floor Area	Lot 29 with 3,694 sq ft of site area and 3540 sq ft of total floor area on 3 levels Lot 30 with 4,535 sq ft of site area and 3540 sq ft of total floor area on 3 levels
Proposed Use	Mixed Use of one office/retail unit and two dwelling units per lot
Geologic Hazard Category	52 (Favorable geologic structure, Low Risk)
Parking Requirement	Four off street spaces per lot, turnaround space, and disable van access
DS-302 Parcel Information	Not within Environmental Sensitive Lands, Biological Resources Not within Coastal Beaches, Beach Impact & Campus Impact Areas Not within Steep Hillides, Sensitive Coastal Bluffs Not within Flood Plain, Historic District, View Corridor Not within Geo Hazard (within Cat. 52 Favorable Geologic, Low Risk)

PROJECT DATA SHEET:	
PROJECT DESCRIPTION: The development is on two vacant lots (lots 29 & 30). Two separate but identical buildings will be built on these two adjacent lots. Due to the down slope nature in CC-3-5 zone, each lot will have: 1. One commercial unit (small office or retail space) at the street level 2. Two 1-bedroom dwelling units below the commercial unit 3. Full off-street parking spaces and accessibility as required 4. Floor Area Ratio is less than half of allowed maximum density 5. Development will be constructed entirely within private property	
COMMUNITY PLAN: Peninsula DISCRETIONARY ACTIONS: Site Development Permit COMMUNITY PLAN LAND USE DESIGNATION: CC-3-5 Commercial with Multiple Dwelling Units per Table 131-05B CURRENT ZONING INFORMATION: ZONE: CC-3-5 HEIGHT LIMIT: max= 30 feet LOT SIZE: min= 5,000 sq ft FLOOR AREA RATIO: max= 2.0 SIDE SETBACK: zero REAR SETBACK: 10' PARKING: 4 spaces per lot required, plus 1 reserved for turnaround, plus 1 reserved for van accessibility. Total 10 spaces.	
ADJACENT PROPERTIES: NORTH: Commercial CC-3-5 SOUTH: Commercial CC-3-5 EAST: Residential RM-2-5 WEST: Commercial CC-3-5 DEVIATION OR VARIANCE: NONE COMMUNITY PLANNING GROUP RECOMMENDATION: Peninsula Community Planning Board	
LOT 29 Lot 29 Area: 3694 SF Lot Coverage: 2042 SF (55% of Lot) Floor Area Ratio: 3467 / 3694 = 1 (FAR Max Allowed = 2.0) Commercial Floor Area at Street level: 717 SF Residential Area under Street level 1: 1380 SF Residential Area under Street level 2: 1358 SF Total all 3 Floor Area: 3455 SF Garage Area: 312 SF Roof Area: 1367 SF	LOT 30 Lot 30 Area: 4535 SF Lot Coverage: 2042 SF (45% of Lot) Floor Area Ratio: 3767 / 4535 = 0.8 (FAR Max Allowed = 2.0) Commercial Floor Area at Street level: 717 SF Residential Area under Street level 1: 1380 SF Residential Area under Street level 2: 1358 SF Total all 3 Floor Area: 3455 SF Garage Area: 312 SF Roof Area: 1367 SF

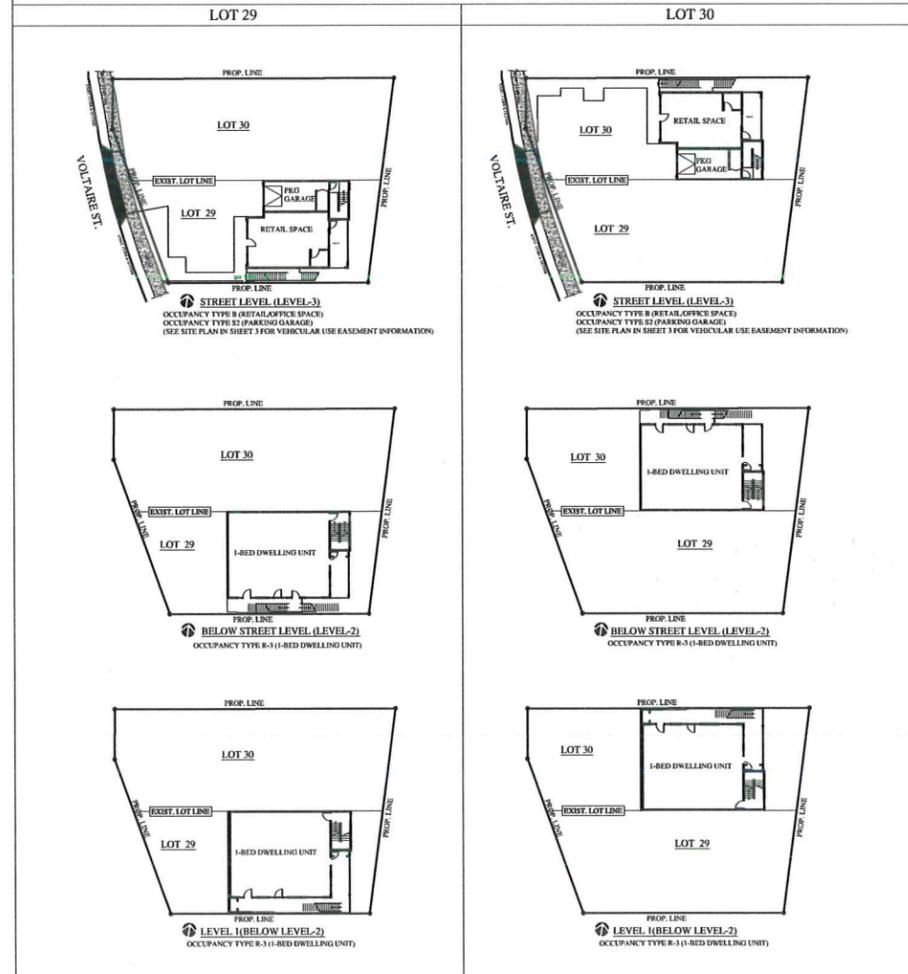


DRAWING INDEX:	
SHEET 1	COVER SHEET
SHEET 2	TOPOGRAPHIC SURVEY MAP
SHEET 3	SITE PLAN & CAR TURNING PATH
SHEET 4	PROPOSED EASEMENT & UTILITY SITE PLAN
SHEET 5	LEVEL 3 FLOOR PLAN (STREET LEVEL) & BLDG. ROOF PLAN
SHEET 6	LEVEL 2 FLOOR PLAN (below street level) & LEVEL 1 FLOOR PLAN (below level 2)
SHEET 7	BUILDING FOUNDATION PLAN
SHEET 8	BUILDING SECTIONS, DETAILS
SHEET 9	WEST & NORTH BUILDING ELEVATIONS & 3D PERSPECTIVE
SHEET 10	EAST & SOUTH BUILDING ELEVATIONS & 3D PERSPECTIVE
SHEET 11	PROPOSED LANDSCAPING PLAN
SHEET 12	IRRIGATION DIAGRAM

ATTACHMENTS:	
DS-303 Parcel Information	Cycle 4 Additions:
DS-318 Ownership Disclosure	Response to Cycle 2 Issues Report
San Diego Grant Deed Recording	Preliminary Drainage Study
DS-303 General Application	Water Quality Study
DS-560 Storm Water (3 copies)	Update Geotech Report
DS-530 Affordable Housing Checklist	Climate Action Plan Checklist
IB-512 300 feet Radius Public Notice Package	Shared Driveway Easement
DS-3035 Supplemental Discretionary	No FAA Notification Self Certification
DS-3342 Deposit Account	
CD of Photographs (Figures 18 - 24)	
Figure 1: Parcel Map	Figure 15: Sewer Connection Map
Figure 2: Zoning Map	Figure 16: Water Connection Map
Figure 3: Vicinity Map	Figure 17: Foundation Model
Figure 4: Coastal Zone Boundary Map	Figure 18: Photo of Street View
Figure 5: Peninsula Community Land Use Map	Figure 19: Aerial Photo
Figure 6: Beach Impact Parking Overlay Zone	Figure 20: Photo Survey Key Map
Figure 7: Coastal View Corridor Map	Figure 21: Photo NorthWest
Figure 8: Boundary Survey Map	Figure 22: Photo NorthEast
Figure 9: Geotechnical Survey Report	Figure 23: Photo SouthEast
Figure 10: Transportation Circulation Map	Figure 24: Photo SouthWest
Figure 11: Neighborhood Topography Map	Figure 25: Parking Turn Around Exhibition
Figure 12: Airport Noise Contour Map	Figure 26: Utility Map
Figure 13: CNEL Map Close up	
Figure 14: Easement Map	

SITE ANALYSIS	
The site is within the Coastal Overlay Zone but is not within First Public Roadway, not within or near any environmental sensitive area, historic district, earth quake fault buffer, beaches or flood zone. The project site does not encroach on physical or visual access to the ocean and is not within Beach Impact or Campus Impact areas. The project is a consistent land use as designated in the Precise Plan.	
The site is not within or adjacent to any of the zones that may be detrimental to public health, safety, or welfare: Environmentally Sensitive Lands Sensitive Biological Resources, Steep Hillides, Coastal Beaches, Sensitive Coastal Bluffs, Flood plain, Historic District, Designated Historic, Earthquake Fault Buffer, View Corridor, Beach Impact, Campus Impact.	
a) Conditions and land uses surrounding the site. (PLEASE SEE ATTACHMENT FOR THE FIGURE EXHIBITION) Figure 19 Aerial Photo shows the site is completely surrounded by commercial and residential buildings. b) Circulation system in the neighborhood Figure 10 Transportation Circulation shows site is on bus route #923 and on Class III bicycle network c) Topography of the site and neighboring properties Sheet 2 shows the site topographic survey, Figure 11 shows the Neighborhood Topography d) Drainage pattern Sheet 4 shows the cross sections, the site naturally drains West to East due to the slope The building cross sections show the roof drain and parking drain all connected to street storm drain e) Soil types & condition Figure 9 shows the Geotechnical Survey. Soil is silty sand and sandy clay, with excellent load bearing. Existing soil condition: Soil is previously graded and disturbed f) Location and identification of existing vegetation Figures 20 show a few bushes. There is no big tree. g) Existing use of the site and the location and size of any existing structures Vacant lots with no existing structure. There are fences all around the property h) Location of existing utilities (water, sewer, drainage, fire hydrant) All utilities are available on the street and 10 ft sewer/lines easement at the back (bottom) of the site Figure 15 shows the Sewer Connection and Figure 16 shows the water main connection on the street Figure 1 Parcel Map shows three Fire Hydrants within 500 ft of the site i) View corridor to and from the site. Figure 7 shows the site is not part of any view corridor j) Known easements on and adjacent to the property Figure 14 Easement shows 10 feet sewer easement at the bottom of the site Figure 15 Sewer Connection shows the sewer main is outside of sewer easement and outside of property line k) Each building is estimated to generate approximately 40 trips per day. A traffic study is not required. The daily trips are calculated as follows: Dwelling units: 2 units x 6 trips/unit = 12 trips; Office/Retail unit: 700 s.f. x 40 trips/1000 s.f. = 28 trips* l) All onsite water and sewer facilities will be private and shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.	
The project is within the 65 dB CNEL noise contour as shown in Figures 12 and 13. Per SDMC 132.1510 Noise Compatibility Table 132-15D, multiple dwelling is permitted in this zone with interior noise at 45 dB maximum, and commercial interior space at 50 dB maximum. As a permit condition, an Aviation Easement shall be granted to the airport operator for airport noise. Under the existing Lindbergh Field Comprehensive Land Use (CLUP), a recorded Aviation Easement would make this a compatible land use.	
The site has Geologic Hazard Category 52: Favorable geologic structure, Low Risk The site is not classified as Steep Hillides because the slope length is less than 50 ft.	

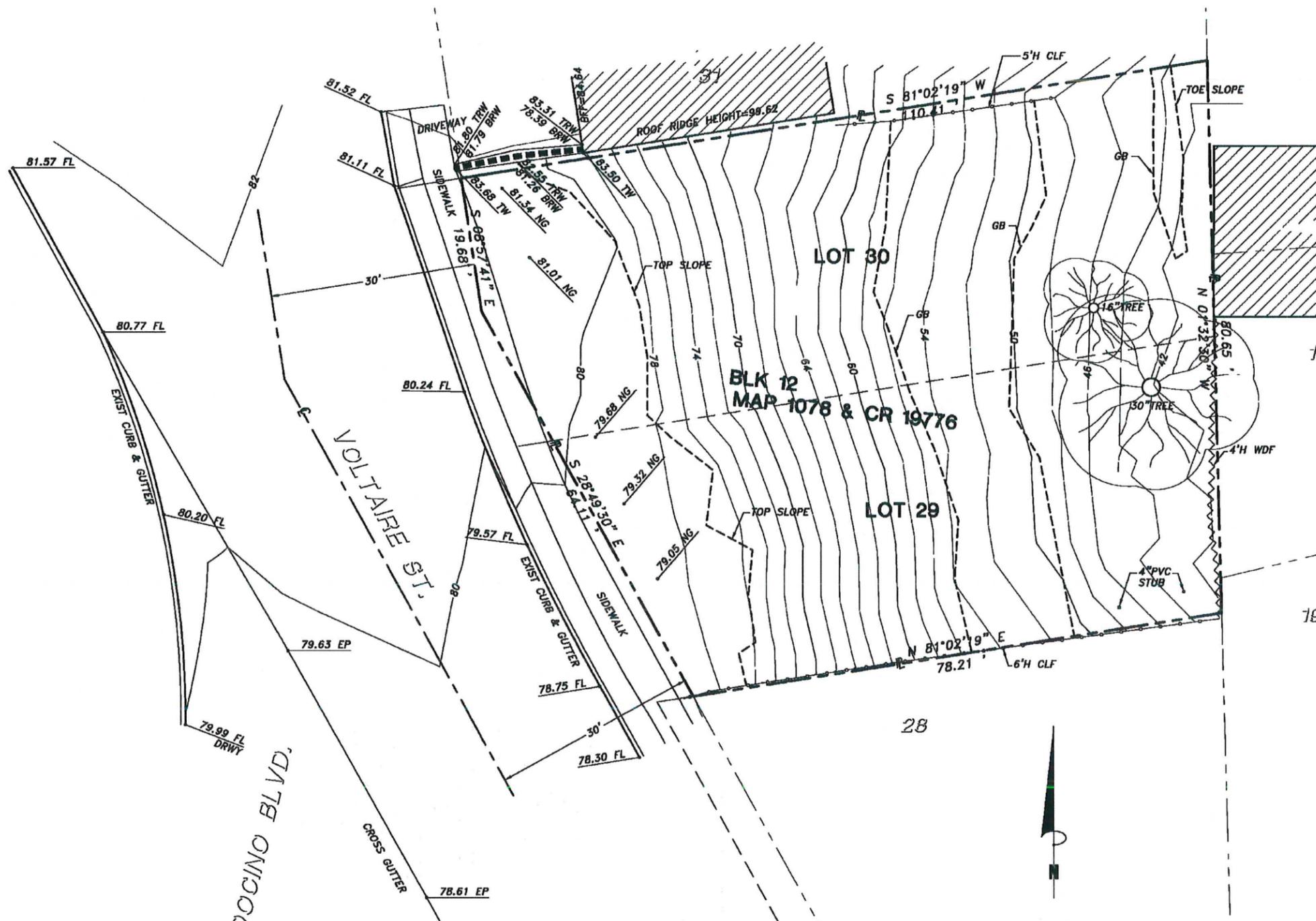
SITE MAP DEVELOPMENT:



PROJECT COMPLIANCE MATRIX:				
OVERLAY ZONES	Requirement	Compliance		
Regulation				
Airport Overlay -Height Limit	30 ft	Complied		
Airport Overlay -Indoor Noise	45 dB	Complied		
Coastal Overlay -Height Limit	30 ft	Complied		
Coastal Overlay -Parking Impact	N/A (not within Beach & Campus areas)	Complied		
Section 131.0530 Table 131-05E Development Regulations for CC-3-5 commercial zone				
Regulation	Requirement	Compliance		
Max residential density	1 unit per 1500 sq ft of lot area	Complied		
Supplemental per 131.0540	Residential use prohibited on ground floor	Complied		
Min lot area	2500 SF	Complied		
Min lot width / street frontage	25 ft	Complied		
Min lot depth	N/A	Complied		
Min front setback	N/A	Complied		
Min optional side setback	0	Complied		
Min rear setback	10 ft	Complied		
Max structure height	30 ft Coastal Height Limit	Complied		
Min lot coverage	35%	Complied		
Max floor area ratio (FAR)	2 (net floor area over total lot area)	Complied		
Max FAR bonus for mixed use	2/50	Complied		
Min Pedestrian path width	4 ft per 131.0550	Complied		
Min Transparency	50% Per 131.0552	Complied		
Building articulation	Per 131.0554	Complied		
Parking lot orientation	N/A	Complied		
Refuse material storage	Per 142.0805	Complied		
Section 142.8530 Table 142-85E Parking Regulations for CC-3-5 commercial zone				
Table 142-85E Mixed Use Parking for CC-3-5 Zone (per 1000 SF Living Space)	Office / Retail	2nd Dwelling Unit	Total	Compliance
Lot 29 - Habitable Area	751	1389	1358	3498 SF
Lot 29 - Min Off-street Spaces			4 cars	Complied
Lot 30 - Habitable Area	751	1389	1358	3498 SF
Lot 30 - Min Off-street Spaces			4 cars	Complied
Section 142.8560 Table 142-85F Parking Regulations for CC-3-5 commercial zone				
Regulation	Requirement	Compliance		
Nonresidential Min Driveway Width	20 ft	Complied		
Nonresidential Min Driveway Length	35 ft	Complied		
Driveway space between perpendicular parking spaces	25 ft	Complied		
Turnaround space to allow vehicles to exit front first	8' x 20'	Complied		
Accessible space for handicap van & wheel chairs	8' x 20'	Complied		
Parking Analysis for Mixed Use Development in CC-3-5 Zone (SDMC 9-2014 Rev.)				
Per Table 142-05A, Sections 142.0510, 142.0530, and 142.0560 are applicable for any nonresidential development, including mixed use development				
Per 142.0560 (a) (1), In computing the required number of off-street parking spaces and bicycle spaces, a remaining fraction of one-half or more parking space is deemed a whole parking space; a remaining fraction of less than one-half is disregarded.				
Per 142.0560 (a) (2), For mixed uses on the same premises, the required parking spaces shall be (A) The sum of the requirements for each individual use computed separately				
Per 142.0560 (4), Parking areas with fewer than 5 spaces are not required to be delineated (except for the delineated Disability Parking for retail/office spaces).				
Per Section 142.0560, Table 142-05K, 8'-3" wide x 18' long is required for unobstructed parking space for retail use, and 8'-0" wide x 18'-0" long for all other uses (e.g. residential).				
Per Section 142.0560 (b)(6), The maximum gradient in any direction within a surface parking facility shall be 6 percent.				
Per Section 142.0560 (j)(9)(A), maximum driveway slope is 5% with no transition.				
Per Section 142.0560 (j), Table 142-05N for Nonresidential Use, 20 ft minimum driveway width is required for lots with 50 ft or less in width.				
Per Section 142.0530, Table 142-05H, Parking Ratio for Mixed Use Development in CC-3-5 zone. And per City of San Diego's Transportation Department preliminary review:				
	Required Parking Spaces	Lot #29	Lot #30	Total
Retail/Office	1 per 1000 s.f.	1	1	2
Multiple Dwellings	1.5 for each 1-BR unit	3	3	6
Able for Van Accessibility		0	1	1
Reserved for Turn Around	1	1	0	1
Bicycles		3	3	6
Motorbike		1	1	2
Other Land Development Code affecting Driveway and Parking Spaces: -Retail/office and multiple dwelling units use Permitted Use for CC-3-5 per Table 131-05B. -Specific development in commercial Zone CC-3-5 is regulated by Section 131.0531 Table 131-05E. -Per 131.0550 (a), Commercial tenant space shall be accessible from an abutting public street by a raised pedestrian path that is at least 4 feet wide				

DEVELOPMENT GOALS		
The project proposes for each lot a commercial space (office or retail) at street level and two 1-bedroom dwelling units below the commercial space. The proposed twin buildings, one on each lot, employ many principles and conservation efforts that are consistent with the City of San Diego General Plan. The project is also consistent with the Peninsula Community Plan that encourages mixed use development in the Voltaire Business District. The project is a new construction project on substantial vacant lots within the CC-3-5 zone. The project proposes two historic image buildings on the two contiguous lots. The buildings will use conventional stepped foundations similar to the Reaction net door who has the exact same site topography.		
The project will provide four off-street parking spaces per lot as required plus two reserved non-parking spaces for accessibility and turn-around. For a total of ten spaces. Pedestrian paths are raised and sloped properly for accessibility. The applicant has worked with the City's transportation department for a year and obtained approval for shared driveway by private easement between the two lots, due to the substantial 40 ft width of each lot. The project faade shall add to the neighborhood feel and be of Ocean Beach and Peninsula Community. The site is not within any view corridor and there is no potential public view.		
Further, the project shall incorporate the following sustainable building practices, as a minimum: 1. Sustainable fiber-cement siding 2. Cool roof 30-year commercial 60-mil white PVC roofing 3. Dual pane, Low-E glass windows 4. Efficient thermal exterior wall insulation 5. Noise damping materials to ensure 45 dB interior noise in a 65 dB CNEL zone 6. High efficient LED and compact fluorescent lightings 7. Energy Star appliances 8. Use of Low VOC paints and low emitting adhesives 9. Use of engineering sustainable wood products such as bamboo flooring 10. Natural cooling & ventilation with operable windows		
PROJECT REMARKS: REQUIRED PERMITS: Site Development Permit: Required per SDMC 132.1402(b) because the project is within the Community Plan Implementation Overlay Zone B (CPIO-B). This permit will be decided according to Decision Process Three, with the Hearing Officer as the decision maker. Coastal Development Permit: Required per SDMC 126.0702(a) because the project is within the Coastal Overlay Zone. This permit will be decided according to Decision Process Two, with Staff as the decision maker. Per the Feb. 2013 San Diego City Report No. PC-13-019 in the Planning Commission, the City clarifies in Issue No.33 that Coastal Parking Overlay Zone does not apply to this site since it is not within the Beach Impact and not within the Campus Impact areas (Figures C4 & C5 of this submittal package). However, it is within the Coastal boundary so a combined Coastal Development Permit and Site Development Permit is required. No variance is requested. Project is compliant to all current codes & regulations. The proposed development will be constructed entirely within private property."		
CHECK LIST		
Submittal Requirements for Coastal Development Permit and Site Development Permit	Done	
Item	Description	Done
General Application	DS-3032 Part 1	Yes
Deposit Account DS -3242	Visa or check to City Treasurer	Yes
Ownership Disclosure	DS-318	Yes
Proof of Ownership	Grant Deed	Yes
Storm Water Reqs DS-560	3 copies	Yes
Photographic Survey	Color from boundaries of all 4 sides, with on & off site views Also submit JPG files in a CD labeled Photos with Project Number	Yes
Key Map	Indicate location & direction of each photo	Yes
Drawing Sheets	Size 24" X36" - Indicate Scale, North direction for each drawing. Fold to 8" X11" with the title block facing out.	Yes
Site Plan	Title Block On the lower right of each sheet. Sheet title, sheet #, Dwg date, Revisions.	Yes
Project Data & Development Summary Table on the 1st sheet.		Yes
Cross section for each lot		Yes
Show distances & direction of property lines.		Yes
Include Setbacks & Easements		Yes
Notes Enticing, Proposed, Name		Yes
Off street parking & parking calculation		Yes
Driveway slope compliance		Yes
Driveway length, width, turnaround exhibits		Yes
Refuse and Recycling area		Yes
Drainage and Landscaping		Yes
Landscaping Plan	Landscaping plan, irrigation plan, brush management plan	Yes
Floor Plans	Ceiling heights, fence height. Label each room, floor level, exterior dimensions, doors, windows, stairways Finished SF calculation, ingress egress compliant	Yes
Elevation Plans & Sections	N, S, E, W. Finished floor elevations, Finished Grades. Indicate exterior materials and colors Building Height calculation (10ft datum is 5ft away from footing)	Yes
Foundation Plan	Spot Elevations	Yes
Roof Plan	Spot Elevations	Yes
3D Perspectives	Faade Articulation, Roof, Foundation, North, South, West, East	Yes

AIRPORT AUTHORITY NOTES	
(1) Adequate noise attenuation will be provided to ensure an interior noise level of 45 dB CNEL for all residential units, and 50 dB CNEL for commercial units. (2) A recorded Aviation Easement shall be granted to the airport operator for airport noise.	
FAA Self Certification I, Kien Truong do hereby certify that the structures shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required Signature: _____ Date: _____	
GENERAL NOTES 1. Public water, gas, electricity, phone are on Voltaire Street fronting the property 2. This project will not discharge any increase in storm water run-off to adjacent property 3. The structure does not impact any public views and is mostly hidden down the slope 4. Rear yard 10 ft easement for public sewer at bottom of property 02/25/1953 in Book 4760 5. Adequate noise attenuation will be provided to ensure an interior noise level of 45 dB CNEL for all habitable rooms within residential units and 50 dB CNEL for commercial spaces. 6. A recorded Aviation Easement shall be granted to the airport operator for airport noise 7. Provide building address numbers, visible and legible from the street fronting the property per FHPS Policy P-60-6 (UPC 901.4.4)	
PRELIMINARY REVIEWS Planning Review Project #360352 Parking Review Project #370013 Per Cycle Issues L64A-003A: "The applicant may process this project as one project on both lots at the same time with the same fees paid for a single project"	
VICINITY MAP VICINITY MAP NO SCALE THOMAS BROS. PAGE 12K7-B8	
DWC. DATE: AUG 01, 2016	
4294 VOLTAIRE PROJECT 4294 Voltaire Street SAN DIEGO, CA 92107	
Rev. # Remark Date 2 Cycle 2 03/20/2017 3 Cycle 8 07/31/2017	
COVER SHEET	
Sheet No. 1 Sheet 1 of 12	



LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		N45°45'45"W
STREET CENTERLINE		
EXISTING SPOT ELEVATION		100.00
EXISTING CONTOUR		90
EXISTING TREE	(2) Mature Eucalyptus Trees to be removed	
CMU RETAINING WALL		
EXISTING FENCE		
BUILDING FOOTPRINT		
EXISTING SLOPE		

ABBREVIATIONS:

CL	CENTER LINE
PL	PROPERTY LINE
NG	NATURAL GROUND
POS	POINT ON SLOPE
FS	FINISHED SURFACE
TW	TOP OF WALL
TRW	TOP RETAINING WALL
BRW	BOTTOM RETAINING WALL
SMH	SEWER MANHOLE
CLF	CHAIN LINK FENCE
WDF	WOOD FENCE

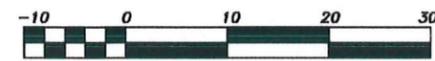
LEGAL

LOT 30 BLOCK 12
 PARCEL MAP No. 1078
 IN THE COUNTY OF SAN DIEGO
 STATE OF CALIFORNIA
 APN: 449-102-19

VICINITY MAP
 NO SCALE
 THOMAS BROS. PAGE 1267-86

PLAN

SCALE: 1/8" = 1'-0" (APPROX.)



Tri-Dimensional Engineering, Inc.
 ENGINEERING • PLANNING • SURVEYING
 P.O. BOX 781 POWAY, CA 92074 (858)748-8333 FAX (858)748-8412

BENCH MARK	
DESCRIPTION:	WBP
LOCATION:	VOLTAIRE ST AND VENICE ST.
RECORD FROM:	CITY OF SAN DIEGO
ELEVATION:	85.893 DATUM: M.S.L.

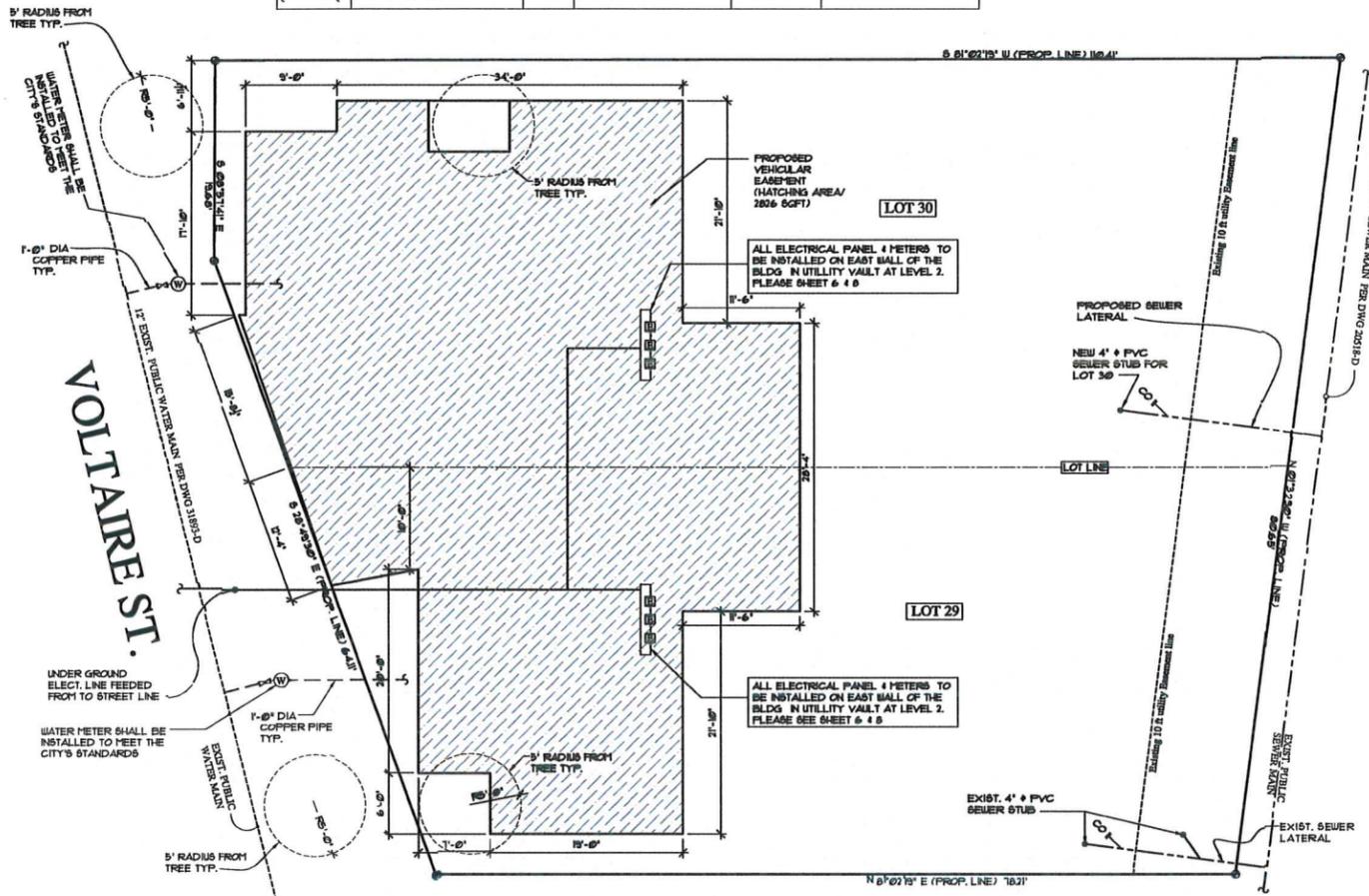
Topographic Map of
 4294 Voltaire Street,
 San Diego CA 92107



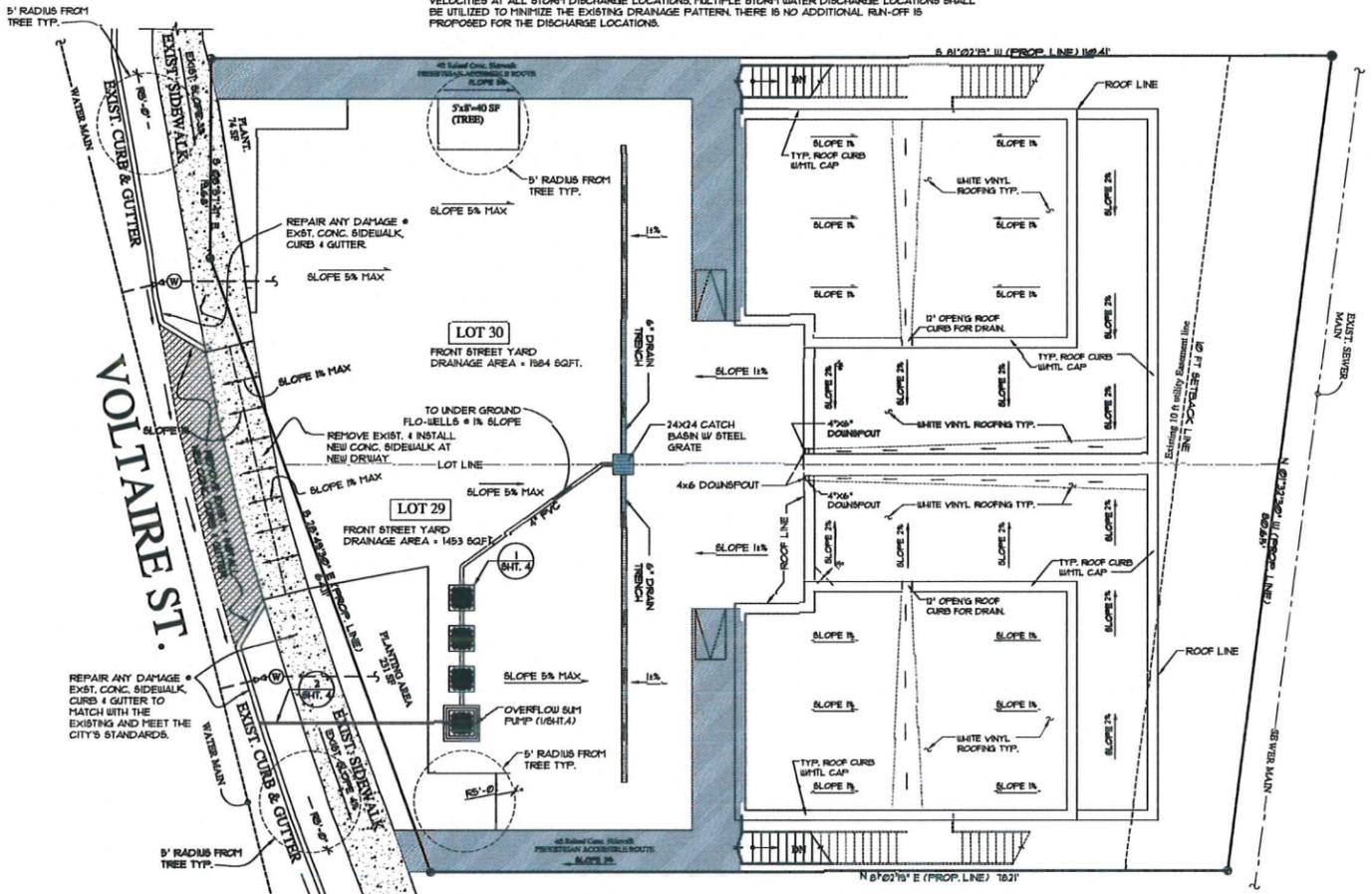
DATE OF SURVEY: 08/23/05
 SURVEYOR: D. SNIPES
 DRAWN BY: A. ROSETE
 SCALE: AS SHOWN
 JOB NUMBER: 2005-089
 SHEET 1 OF 1

4294 VOLTAIRE PROJECT	
4294 Voltaire Street SAN DIEGO, CA 92107	
TOPOGRAPHIC MAP	Contact: Kim Truong kienbinh@gmail.com
Rev. #	Date
2	03/20/17
Remark	Cycle
4	4
DWG. DATE:	Sheet No.
AUG 01, 2016	2
	Sheet 2 of 12

LEGEND:			
	UNDER GROUND ELEC. LINE		ELECTRICAL METER
	WATER SUPPLY LINE		WATER METER
	SANITARY SEWER LINE		SHUT OFF VALVE
	PROPOSED VEHICULAR EASEMENT		CLEAN OUT



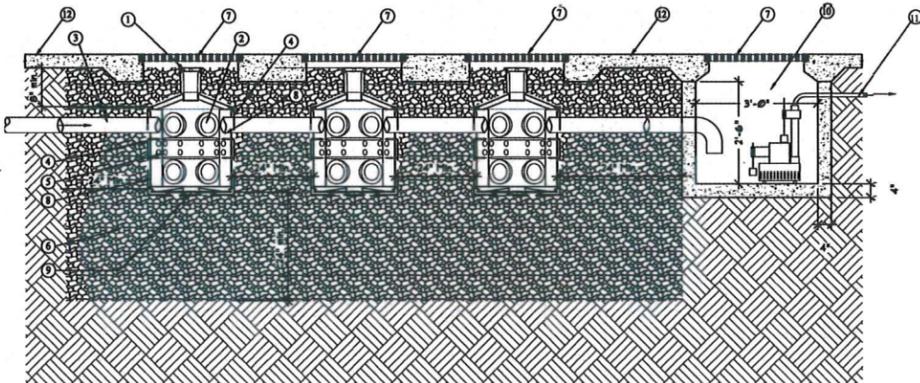
PROPOSED VEHICULAR USE EASEMENT & UTILITY PLAN
SCALE: 1/8" = 1'-0"



PROPOSED DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

Total Hard Surface Area of both lots (concrete walks, driveway, parking): 3346 sq.ft.
 Total Roof Area of both lots: 2738 sq.ft.
 Total Impervious Surface of both lots: 3346+2738=6084 sq.ft.
 Total Landscaping Area: 345 sq.ft.

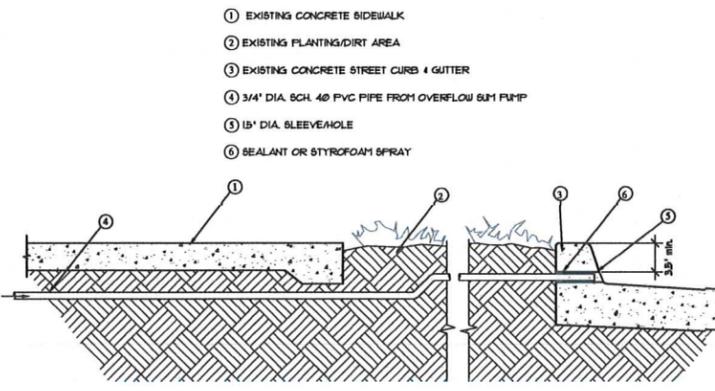
- 1) 4" SCH 40 PVC PIPE SURFACE DRAIN INLET WITH GRATE
- 2) 4" DIA. KNOCK-OUT DRAINAGE CONNECTION HOLES. UTILIZE HOLES AS NEEDED FOR INLETS AND OUTLETS.
- 3) 4" PVC INLET W/ 1% MIN. SLOPE.
- 4) POROUS FILTER FABRIC WRAP.
- 5) 1" DIA. PERCOLATION HOLE KNOCK OUTS. SCORE AND KNOCK OUT ALL HOLES BEFORE WRAPPING THE FLOW WELL WITH LANDSCAPE FABRIC.
- 6) 3/4" TO 1 1/2" CLEAN GRAVEL BACKFILL. RECOMMENDED.
- 7) 30" DIA. CAST IRON GRATE (FOR MAINTENANCE)
- 8) RUF63 (3) FLOW WELL SIDE PANELS
- 9) RUF24 24" DIA. FLOW WELL BOTTOM
- 10) CONCRETE OVERFLOW SUM PUMP FIT (30"x36"x36")
- 11) 3/4" DIA. SCH. 40 PVC PIPE (SUM PUMP OUTLET)
- 12) 4" CONC. ON GRADE PARKING



NOTES:
 (1) MUST BE INSTALLED 10' AWAY FROM TREES, STRUCTURE OR FOUNDATION.
 (2) RUF63 KIT DOES NOT COME WITH RUF24 BTM.
 (3) REFERENCE FLO-Well CALCULATOR ON NSDPRO.COM
 (4) INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

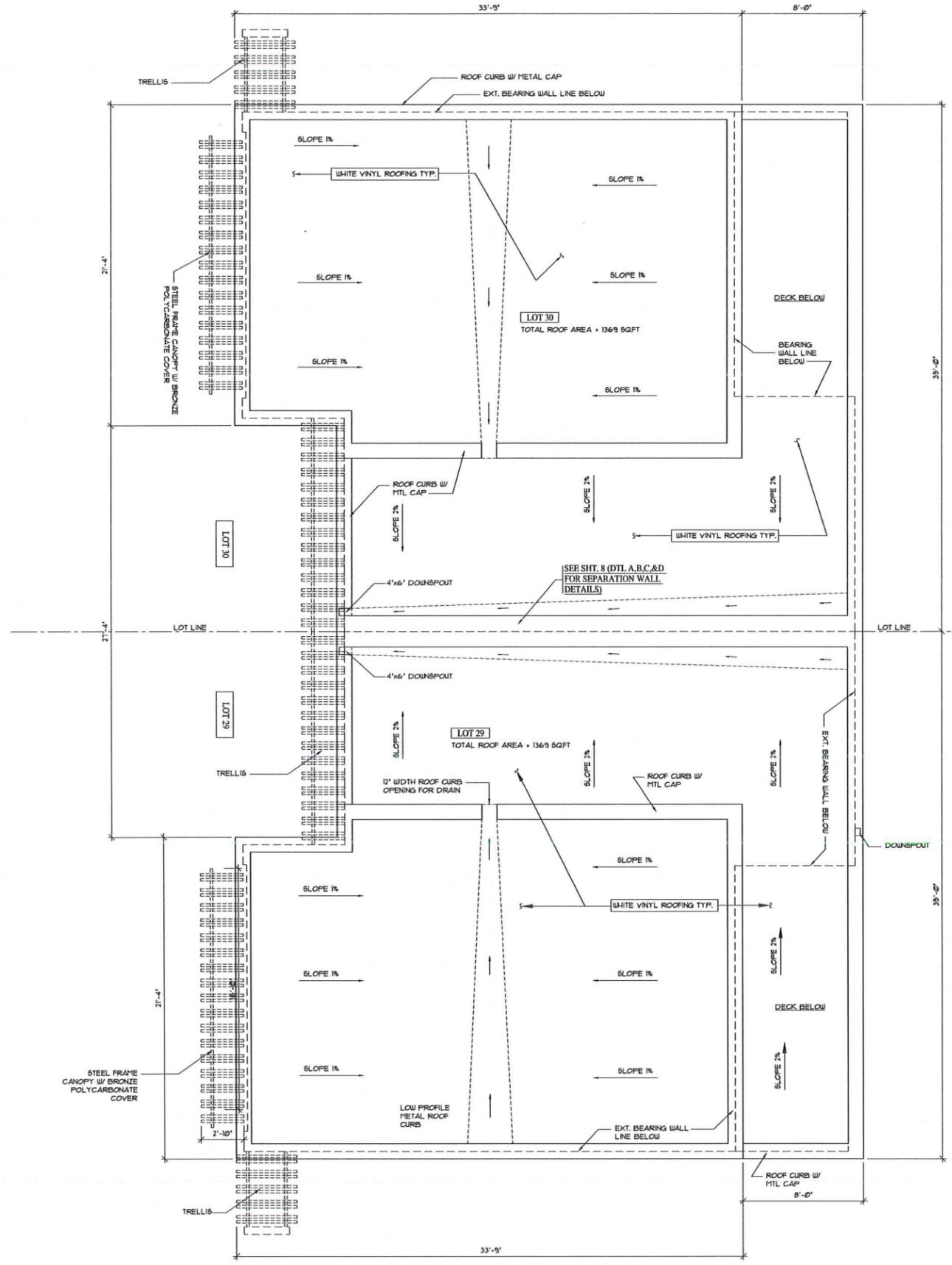
DRAINED AREA (SQFT)	COEFFICIENT OF RUN OFF	100 YEAR RAINFALL	LIQUID FLOW (GPM)	REQ'D DRAIN PIPE @ 1% SLOPE
6048 SF	1 (Conc./Roof)	0.5"HR	313 GPM	3" PVC (Smooth wall) or 4" corrugated pipe

DRAINED AREA (SQFT)	COEFFICIENT OF RUN OFF	100 YEAR RAINFALL	GRAVEL BACKFILL BENEATH FLO-Well	GRAVEL BACKFILL AROUND FLO-Well	RUN OFF RATE	VOL. OF WATER TO BE STORED	NUMBER OF FLO-WellS NEEDED
6084 SF (Impervious)	1	0.5"HR	24" (2 FT)	24" (2 FT)	3324 GPM (@.00 CFS)	9672 GAL/1033 Cu.Ft.	3
345 SF (Landscape)	0.35 (Soil Type D)						

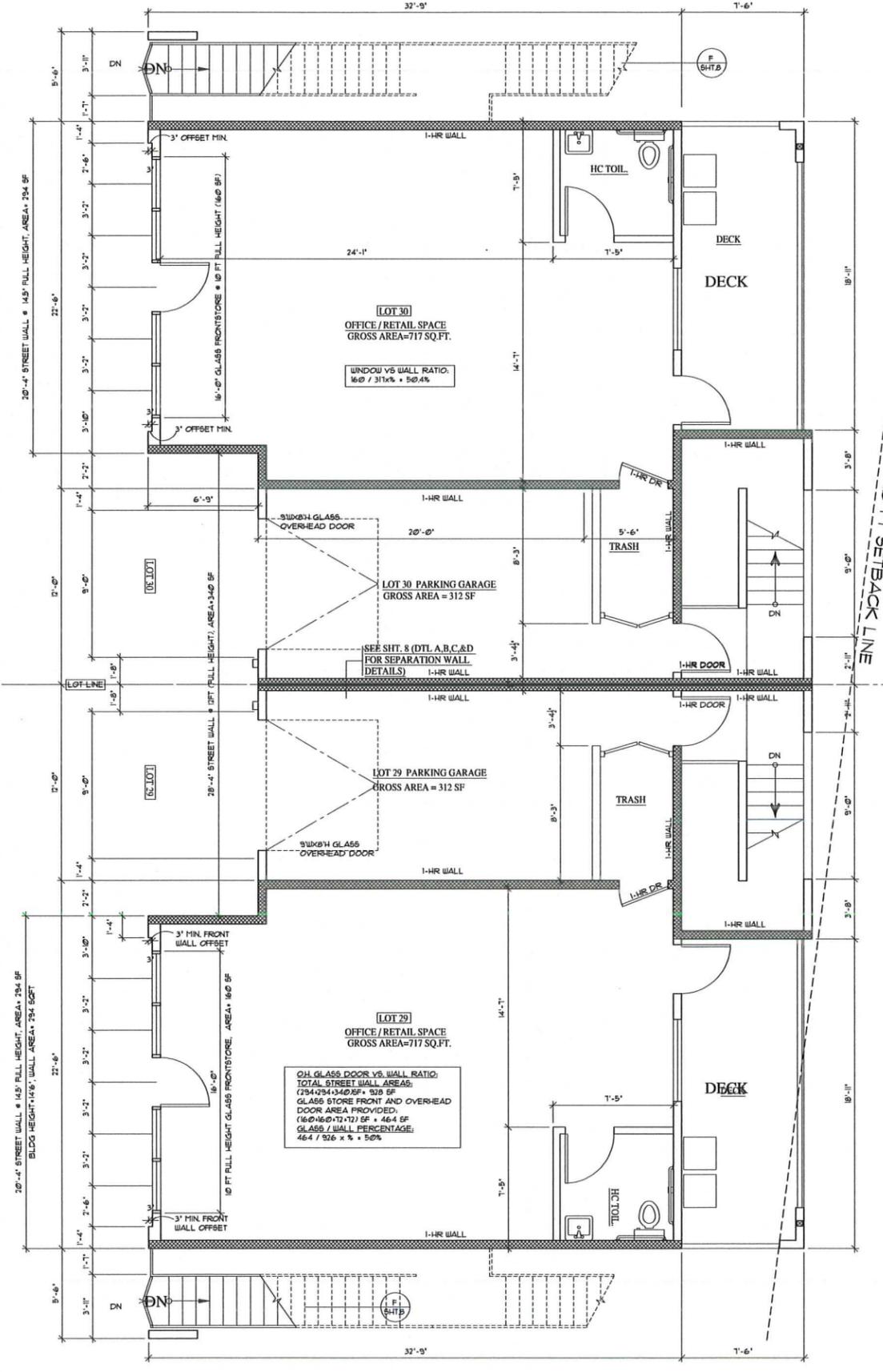


2 3/4" PVC PIPE FROM SUM PUMP TO STREET GUTTER
SCALE: 1" = 1'-0"

4294 VOLTAIRE PROJECT		Contact: Kien Tuong, Owner Cell: 206-304-0387	
DWG. DATE: AUG 01, 2016	Sheet No. 4	Rev. # 2 3	Date 03/20/2017 07/31/2017
PROPOSED SITE EASEMENT, DRAINAGE & UTILITY PLANS		Sheet 4 of 12	

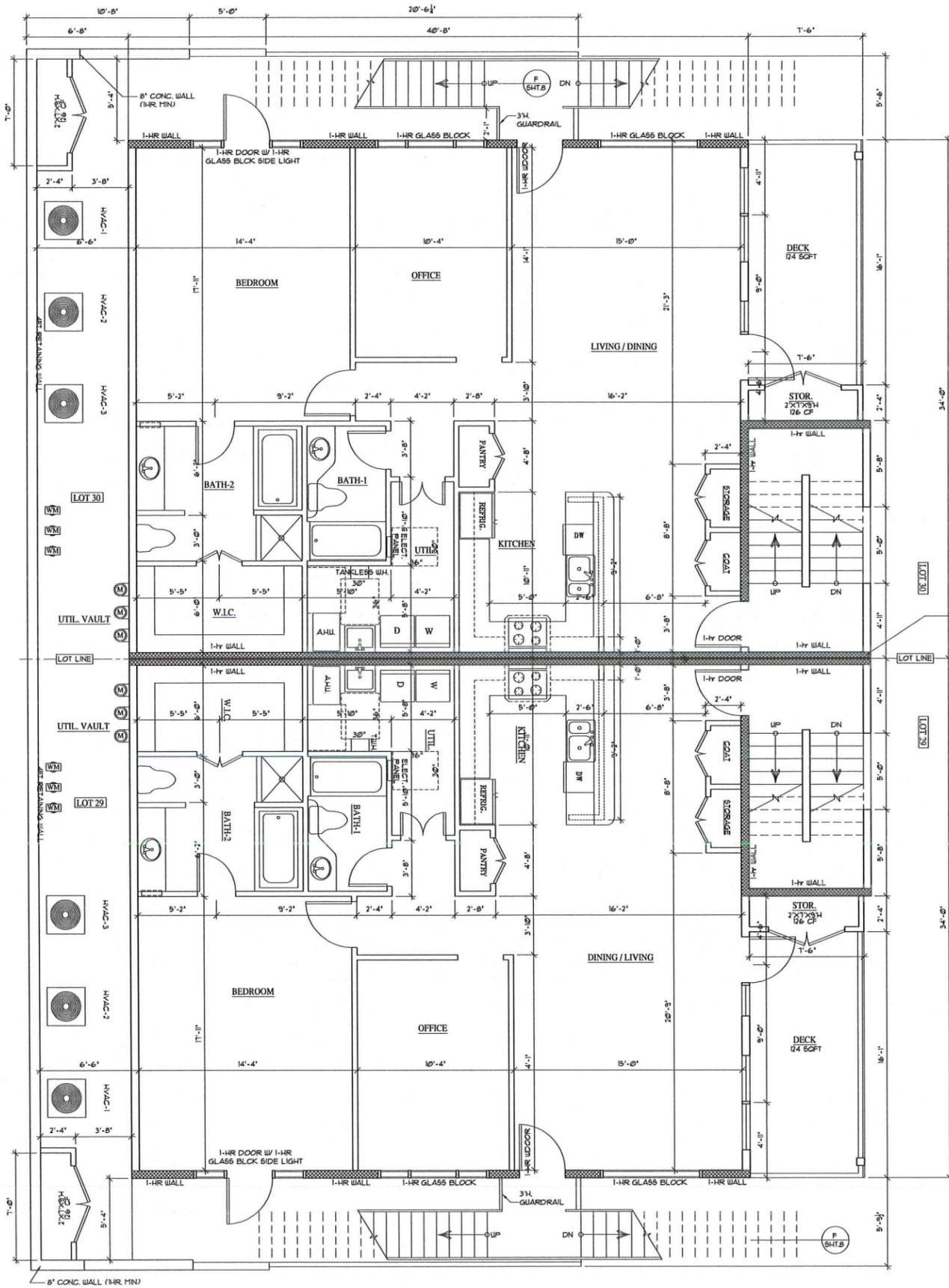


ROOF PLAN
SCALE: 1/4" = 1'-0"

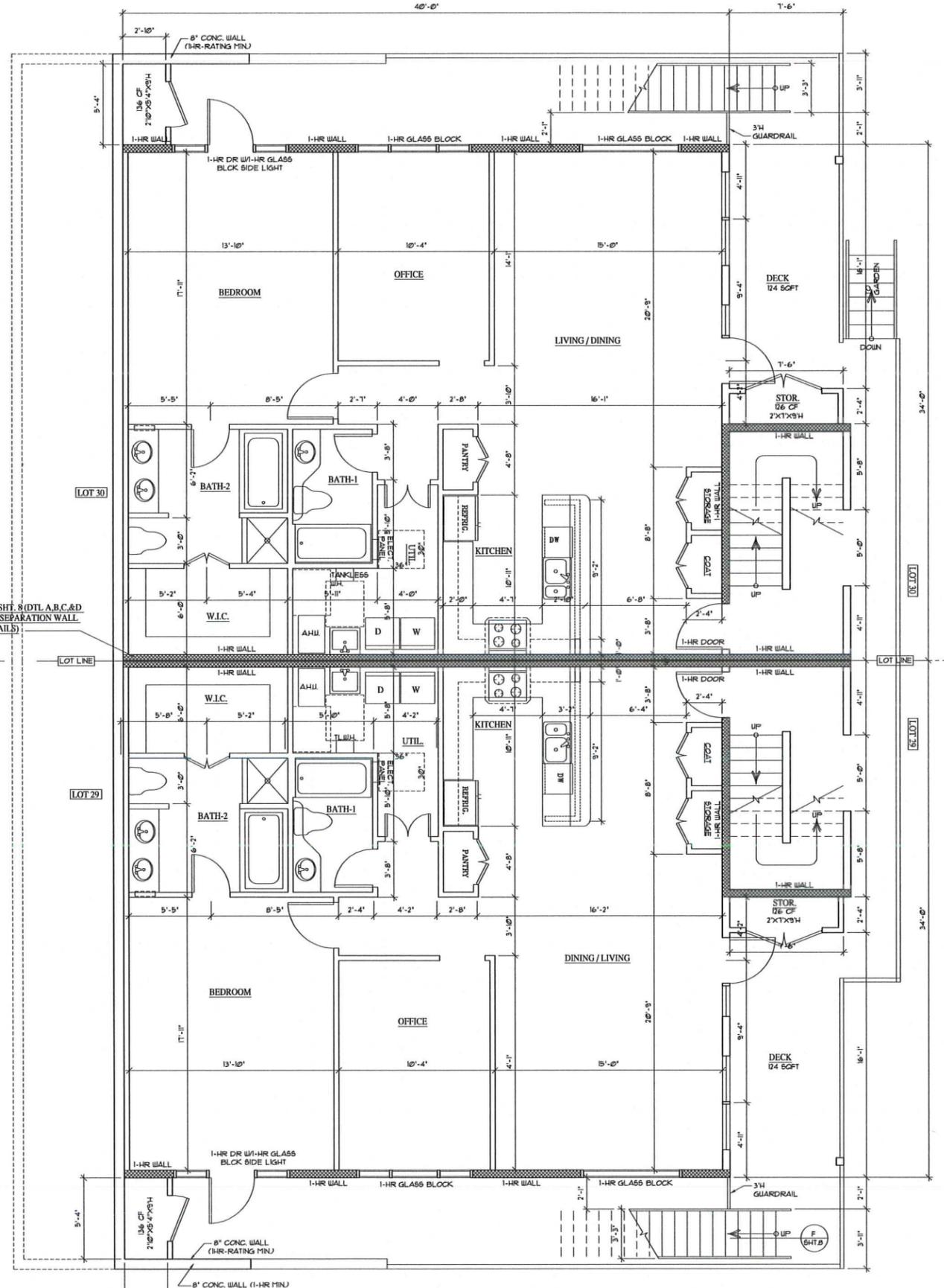


LEVEL 3 FLOOR PLAN (STREET LEVEL)
SCALE: 1/4" = 1'-0"

4294 VOLTAIRE PROJECT		Contact: Kien Tuong, Owner Cell: 206-304-0387	
4294 Voltaire Street SAN DIEGO, CA 92107			
DWG. DATE: AUG 01, 2016	Sheet No. 5	Rev. #	Date
		2	03/20/2017
		3	07/31/2017
		4	10/28/2017
		Remark	
		Cycle 2	
		Cycle 8	
		Cycle 10	
		LEVEL 3 FLOOR PLAN (@STREET LEVEL) & ROOF PLAN	



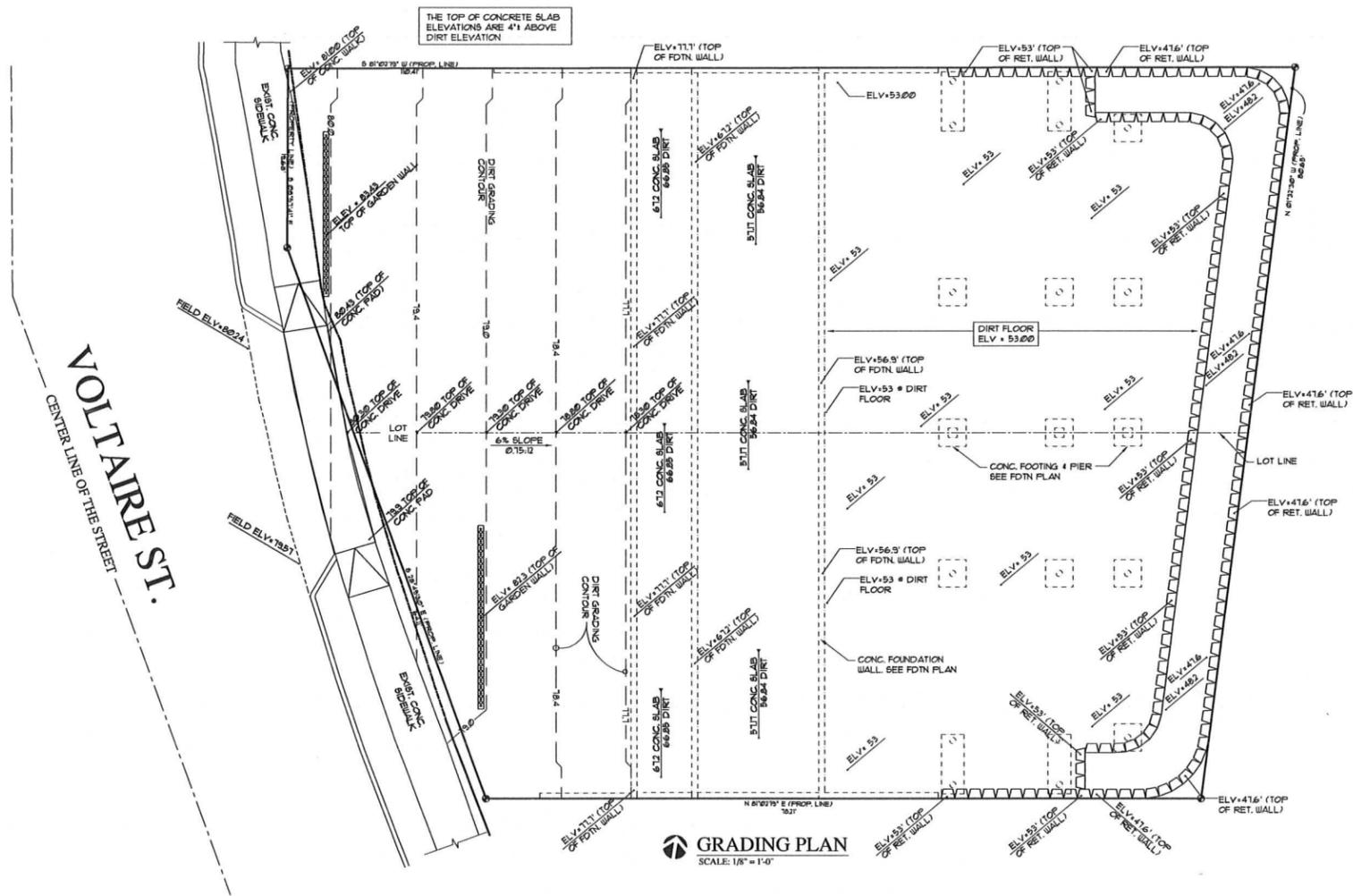
LEVEL 2 FLOOR PLAN (BELOW STREET LEVEL)
 SCALE: 1/4" = 1'-0"
 EACH UNIT HAS 252 CU.FT STORAGE & 124 SF DECK



LEVEL 1 FLOOR PLAN (BELOW LEVEL 2)
 SCALE: 1/4" = 1'-0"
 EACH UNIT HAS 262 CU.FT STORAGE & 124 SF DECK

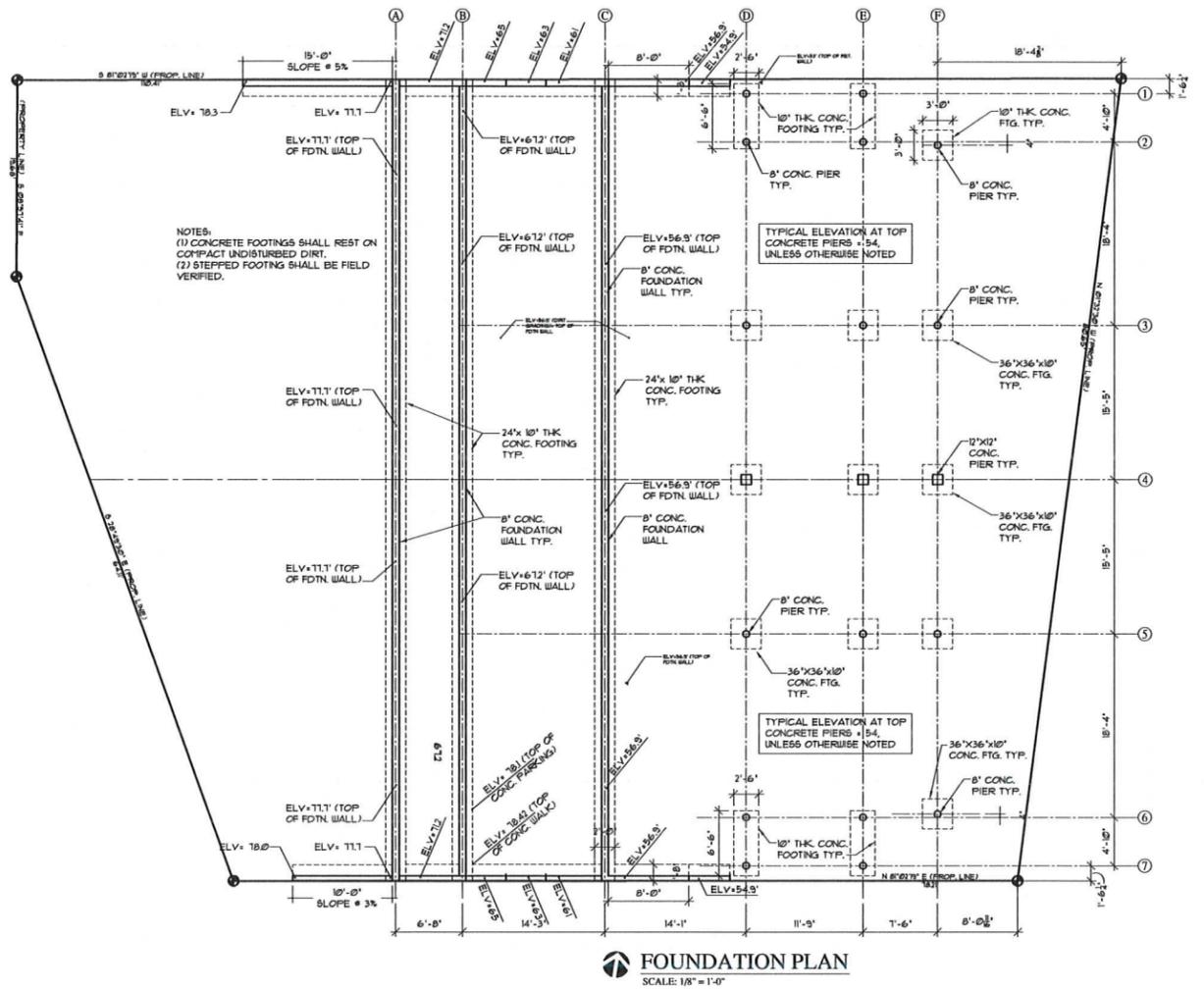
SEE SHEET 8 (UTIL. A.B.C. & D FOR SEPARATION WALL DETAILS)

4294 VOLTAIRE PROJECT		Contact: Kien Tuong, Owner Cell: 206-304-0387	
DWG. DATE:	4294 Voltaire Street SAN DIEGO, CA 92107	Rev. #	Remark
AUG 01, 2016		2	Cycle 2
		3	Cycle 8
		4	Cycle 10
		Date	
		03/20/2017	
		07/31/2017	
		10/28/2017	
LEVEL 2 LEVEL 1 FLOOR PLAN		Sheet No.	
6		6	
		Sheet 6 of 12	



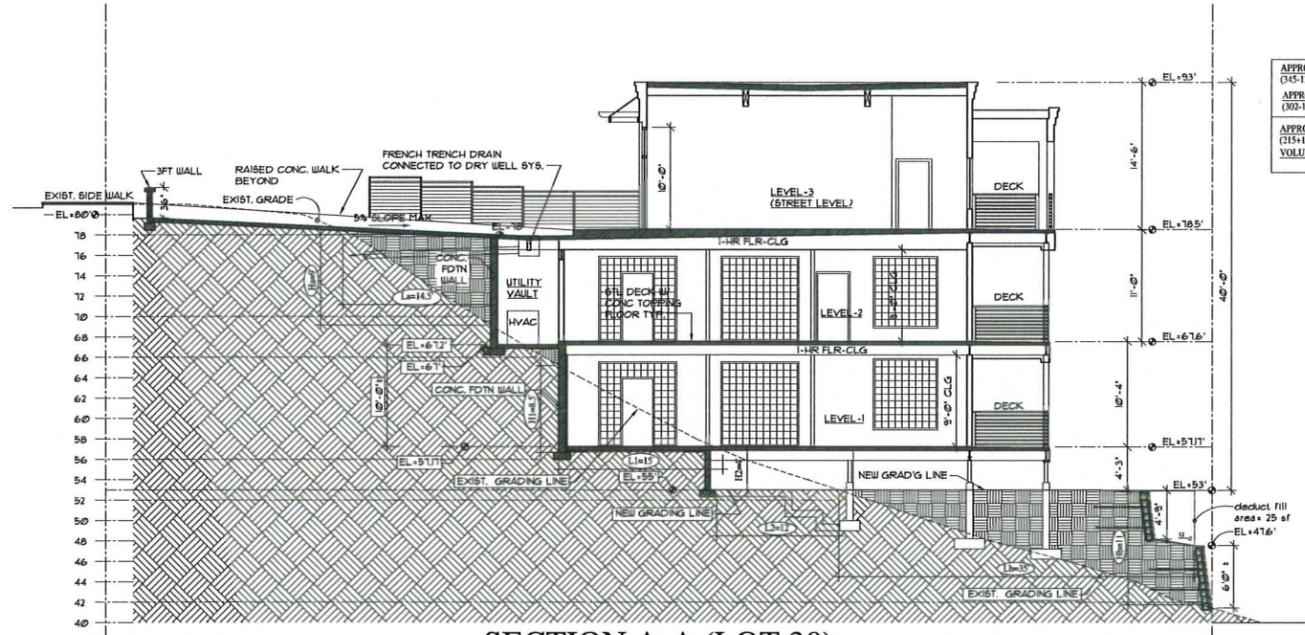
GRADING PLAN
SCALE: 1/8" = 1'-0"

ESTIMATE CUT & FILL VOLUME OF DIRT AT LOT 29 & 30:
 AVERAGE OF SECTION CUT AREA: (114-80)/2 = 107.50 FT
 ESTIMATED DIRT VOLUME CUT: 107.50 FT x 80 FT x 8.66 FT (362 CUYARD)
 AVERAGE OF SECTION FILL AREA: (62-46.6-31-18)/2 = 233.50 FT
 ESTIMATED DIRT VOLUME CUT: 233.50 FT x 80 FT x 11.64 FT (666 CUYARD)
 ESTIMATED DIRT VOLUME TO IMPORT: 666-362 = 304 CUYARD



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

4294 VOLTAIRE PROJECT		Contact: Kien Tuong, Owner Cell: 206-304-0387	
4294 Voltaire Street SAN DIEGO, CA 92107		Rev. #	Date
FOUNDATION & GRADING PLAN		2	03/20/2017
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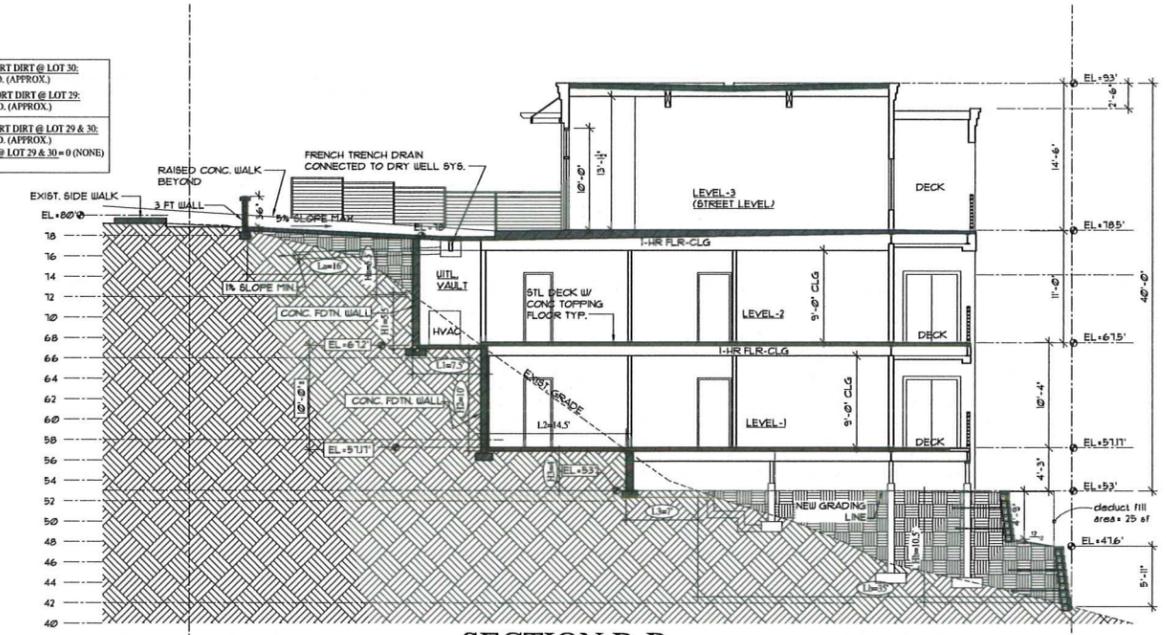


SECTION A-A (LOT 30)
SCALE: 1/8" = 1'-0"

ESTIMATE CUT @ LOT 30
 $A = \text{Area of cut section} = 0.5(H \times L)$
 Volume of removed dirt = $A \times D$
 where:
 D = distance of cutting (LOT WIDTH)
 Max. Cut Deep H1 = 8.5'
 Cut deep H2 = 4'
 $A = 0.5(H1 \times L1) + (H2 \times L2)$
 $A = 0.5(8.5 \times 15) + (4 \times 12) = 0.5(127.5) \text{ sq. ft.} = 87.75 \text{ Sq. Ft.}$
TOTAL APPROX. VOLUME OF DIRT CUT:
 $A \times D = 87.75 \text{ SF} \times 40 \text{ FT} = 3510 \text{ CU.FT} = 130 \text{ CU.YD. (APPROX.)}$

APPROX. VOLUME OF IMPORT DIRT @ LOT 30:
 (345-130) Cu.Yd. = 215 CU.YD. (APPROX.)
VOLUME OF EXPORT DIRT @ LOT 30 = 0

ESTIMATE FILL @ LOT 30
 $A = \text{Area of cut section} = 0.5(H \times L)$
 Volume of filled dirt = $A \times D$
 where:
 D = distance of filling (LOT WIDTH)
 $A = 0.5(H1 \times L1) + (H2 \times L2)$
 $A = 0.5(14.5 \times 15) + (11.5 \times 5) \text{ sq. ft.} = 257.75 \text{ sq. ft.} = 232.75 \text{ sq. ft.}$
TOTAL APPROX. VOLUME OF DIRT FILL:
 $A \times D = 232.75 \text{ SF} \times 40 \text{ FT} = 9310 \text{ CU.FT} = 345 \text{ CU.YD. (APPROX.)}$

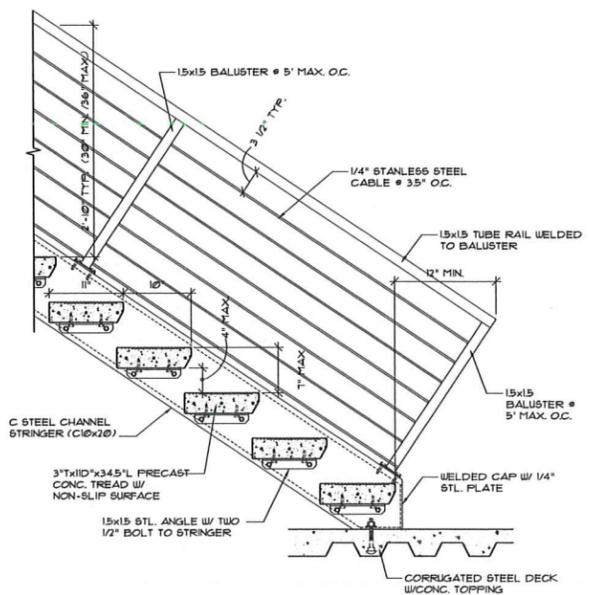


SECTION B-B
SCALE: 1/8" = 1'-0"

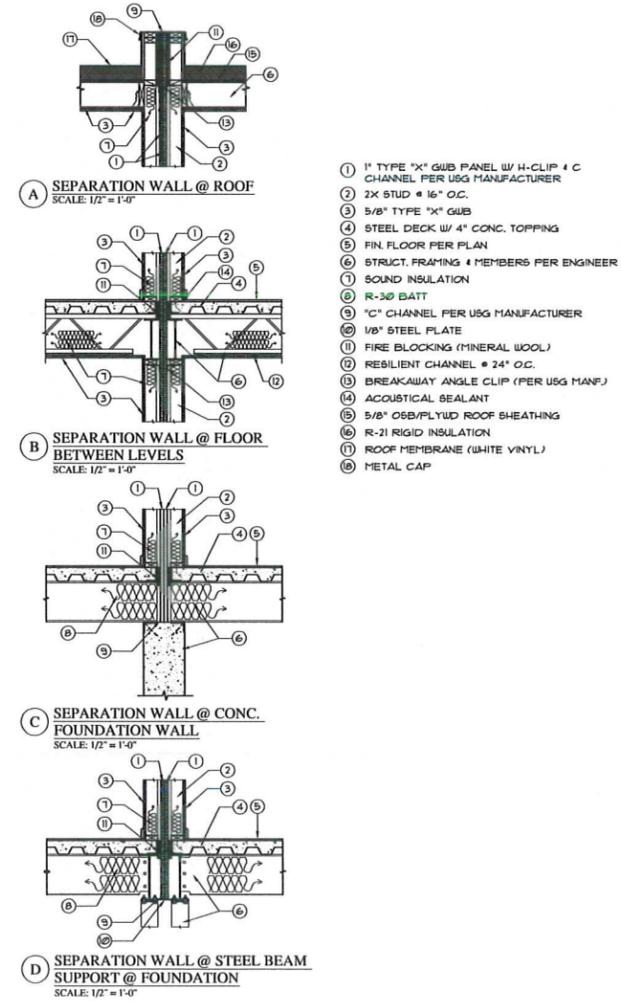
ESTIMATE CUT @ LOT 29
 $A = \text{Area of cut section} = 0.5(H \times L)$
 Volume of cut dirt = $A \times D$
 where:
 D = distance of cutting (LOT WIDTH)
 Cut Deep H1 = 5.5', H2 = 4'
 Max. Cut deep H2 = 10'
 $A = 0.5(H1 \times L1) + (H2 \times L2)$
 $A = 0.5(5.5 \times 7.5) + (4 \times 7) = 0.5(41.25) \text{ sq. ft.} = 107.125 \text{ Sq. Ft.}$
TOTAL APPROX. VOLUME OF DIRT CUT:
 $A \times D = 107.125 \text{ SF} \times 40 \text{ FT} = 4285 \text{ CU.FT} = 159 \text{ CU.YD. (APPROX.)}$

APPROX. VOLUME OF IMPORT DIRT @ LOT 29:
 (302-159) Cu.Yd. = 143 CU.YD. (APPROX.)
VOLUME OF IMPORT DIRT @ LOT 29 = 0

ESTIMATE FILL @ LOT 29
 $A = \text{Area of cut section} = 0.5(H \times L)$
 Volume of filled dirt = $A \times D$
 where:
 D = distance of filling (LOT WIDTH)
 $A = 0.5(H1 \times L1) + (H2 \times L2)$
 $A = 0.5(5.5 \times 7.5) + (10.5 \times 7) = 0.5(48.25) \text{ sq. ft.} = 229.125 \text{ sq. ft.} = 204.125 \text{ Sq. Ft.}$
TOTAL APPROX. VOLUME OF DIRT FILL:
 $A \times D = 204.125 \text{ SF} \times 40 \text{ FT} = 8165 \text{ CU.FT} = 302 \text{ CU.YD. (APPROX.)}$



F TYPICAL STAIR DETAIL
SCALE: 1" = 1'-0"



SECTION C-C
SCALE: 1/8" = 1'-0"

4294 VOLTAIRE PROJECT		Contact: Ken Tuong, Owner Cell: 206-304-0387	
4294 Voltaire Street SAN DIEGO, CA 92107			
DWG. DATE: AUG 01, 2016	Rev. #	Remark	Date
	2	Cycle 2	03/20/2017
	3	Cycle 8	07/31/2017
BUILDING & SITE SECTIONS & DETAILS			
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