



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 11, 2018 REPORT NO. HO-18-046

HEARING DATE: July 18, 2018

SUBJECT: VERIZON WIRELESS - WINTERWOOD. Process Three Decision

PROJECT NUMBER: [493456](#)

OWNER/APPLICANT: San Diego Unified School District/Verizon Wireless.

SUMMARY

Issue: Should the Hearing Officer approve a new Wireless Communication Facility (WCF) located at 10810 Parkdale Avenue (Challenger Middle School) in the Mira Mesa Community Plan?

Staff Recommendation: APPROVE Conditional Use Permit No. 2120730.

Community Planning Group Recommendation: On October 16, 2017, the Mira Mesa Community Planning Group [voted 17-0-0](#) to recommend approval of the proposed project without conditions/recommendations (Attachment 8).

Environmental Review: This project was determined to be [categorically exempt](#) from the California Environmental Quality Act (CEQA) pursuant to Section 15303, New Construction or Conversion of Small Structures. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 16, 2018, and the opportunity to appeal that determination ended April 30, 2018 (Attachment 7).

BACKGROUND

Verizon Wireless is proposing to install a new Wireless Communication Facility (WCF) at 10810 Parkdale Avenue on the playing field of the Challenger Middle School (Attachment 3). The property is zoned AR-1-1 and is located within the Mira Mesa Community Plan area which designates the property for a school site (Attachment 2). The site is surrounded with single family residences to the north and to the east, Winterwood Lane Park to the west, and open space to the south (Attachment 1). Verizon's application was deemed complete on August 21, 2017 and a total of 68 calendar days were used by staff to review this application. Pursuant to the Federal Communication Commission's (FCC) Section 332(c)(7)(B)(ii) local governments are required to act within a reasonable time, and the

FCC in its "Shot Clock" Order has defined the presumptively reasonable time for action in the case of a new WCF (150 days) or for installation on a collocation WCF (90 days). Therefore, this project is consistent with the FCC "Shot Clock" order for a new WCF installation.

DISCUSSION

Project Description

Verizon Wireless submitted a Conditional Use Permit (CUP) application for a new WCF that consists of concealing six antennas inside a 42-inch diameter radome on a replacement 100-foot tall athletic ball field light pole (Attachment 13). The radome is 30 feet, 7-inches long and supports six antennas, twelve remote radio units and six raycaps in addition to the mounting apparatus. The athletic ball field light pole is an existing vertical element and is a preferred solution for the following reasons: 1) This design will allow the school to continue to provide lighting to the existing playing field as a primary use; and 2) The proposed antenna height needed for Verizon's coverage objective would result in significant visual impact if a standalone vertical structure was proposed (faux tree, tower, etc...) since there are no other structures at this height on the school campus besides the athletic ball field light poles. The proposed 195-square foot equipment enclosure consists of an 8-foot tall concrete masonry unit wall with a chain link topper for safety and security. The enclosure will be located near the storage containers immediately outside of the playing field to minimize field disturbance. More specifically, the equipment location is near the center and most southerly portion of the Challenger Middle School property (Attachment 12).

Alternatively, Verizon considered a solution within the Winterwood Lane Park located at 7250 Winterwood Lane which is adjacent to the Challenger Middle School directly to the northwest. There is currently one WCF at this location however the park is limited in space and accommodating an additional 190 square feet may impact usable park space. Additionally, the collocation may also present concealment concerns, since the current WCF at this park location is a faux tree and an additional carrier may result in a negative visual impact which is an issue that City staff has experienced with in the past. Finally, the park location represents a Preference 4 location and is less desirable compared to the current Challenger Middle School which is a Preference 3 Location.

Wireless Communication Facility

San Diego Municipal Code (SDMC) 141.0420(e)(2) requires a Conditional Use Permit (CUP) for all WCFs in Agricultural zones. The proposed WCF is located on the Challenger Middle School property, on a replacement athletic ball field light pole on the most northwesterly portion of the field. The property is zoned AR-1-1 and as a result, a CUP Process 3, Hearing Officer decision is required.

Conclusion

The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations for the AR-1-1 zone and the Wireless Communication Facilities regulations Section 141.0420. The replacement athletic ball field light pole has been designed to integrate within the existing setting. The project is proposing to use existing vertical elements which will primarily provide lighting for the Challenger Middle School playing field with a secondary use as a wireless

facility. The antennas will be concealed inside a slim profile radome consistent with the [WCF Design Guidelines](#). The 195-square foot equipment enclosure is proposed near the storage containers immediately outside of the playing field to minimize field disturbance. The Findings to approve the project are attached (Attachment 5) and staff recommends approval of the proposed Verizon Wireless Winterwood project.

ALTERNATIVES

1. Approve CUP No. 2120730, with modifications.
2. Deny CUP No. 2120730, if the Hearing Officer makes written Findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Simon Tse', is written over a solid black horizontal line. The signature is somewhat stylized and loops around the line.

Simon Tse, Development Project Manager

Attachments:

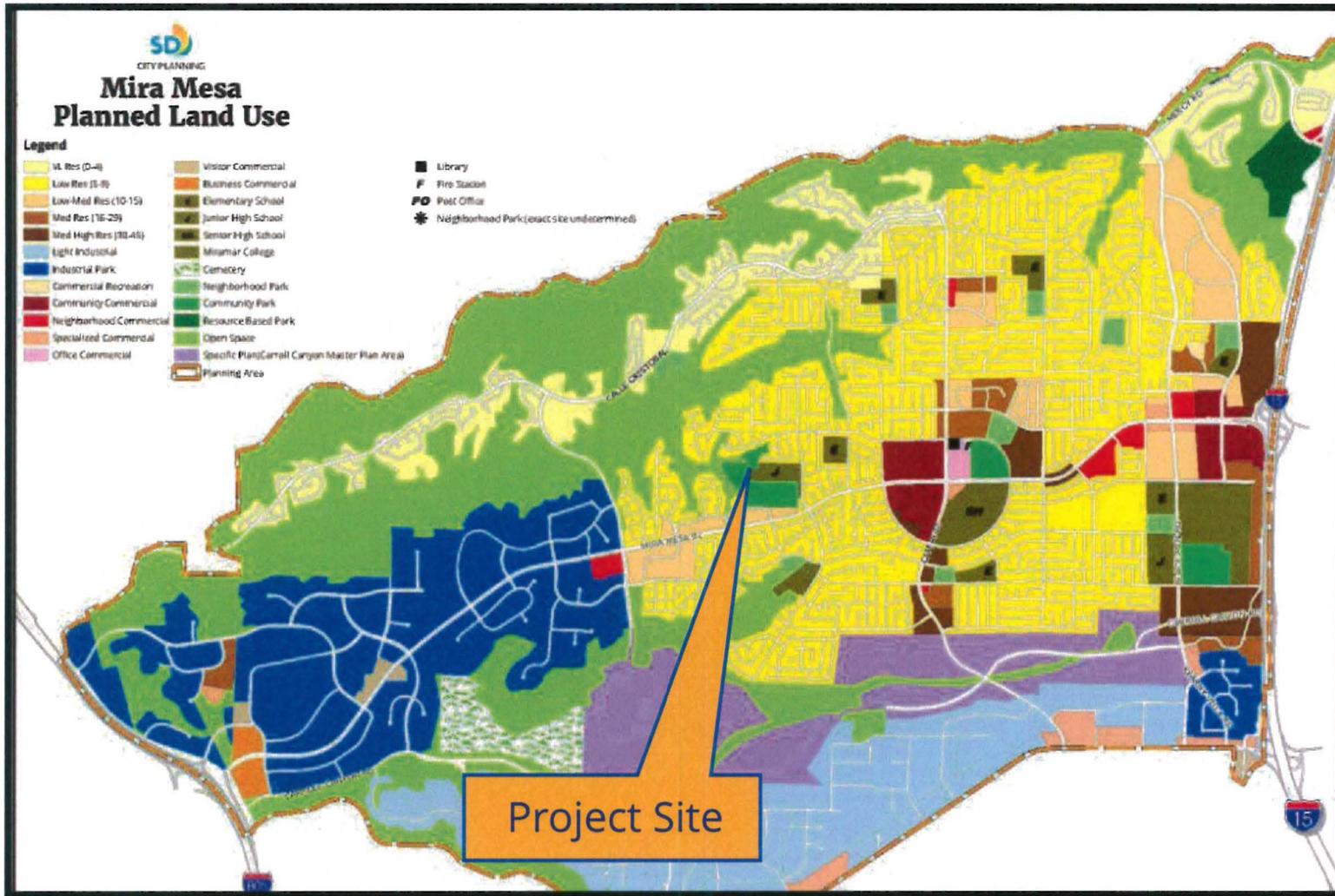
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Map
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Justification Analysis (Including Coverage Maps)
11. Photosurvey
12. Project Plans
13. Photosimulations



Project Location Map

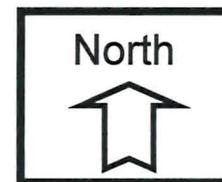
Verizon Wireless Winterwood / 10810 Parkdale Avenue
PROJECT No. 493456





Land Use Map

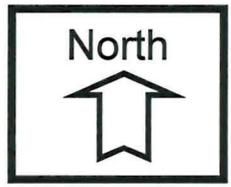
Verizon Wireless Winterwood / 10810 Parkdale Avenue
PROJECT No. 493456





Aerial Photo

Verizon Wireless Winterwood / 10810 Parkdale Avenue
PROJECT No. 493456



PROJECT DATA SHEET		
PROJECT NAME:	Verizon Wireless Winterwood	
PROJECT DESCRIPTION:	A Conditional Use Permit (Process 3) application for a Wireless Communication Facility located at 10810 Parkdale Avenue in the AR-1-1 zone of the Mira Mesa Community Plan. The WCF consists of one replacement 100-foot tall athletic ball field light pole supporting six antennas and associated Remote Radio Units all concealed inside a 42-inch diameter radome extending 30-feet, 7-inches in length. The equipment associated with this project is located inside a 190-square foot enclosure.	
COMMUNITY PLAN AREA:	Mira Mesa	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	School	
ZONING INFORMATION:		
	ZONE: AR-1-1	
	HEIGHT LIMIT: 30	
	FRONT SETBACK: 25 feet	
	SIDE SETBACK: 20 feet	
	REAR SETBACK: 25 feet	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Park and Residential/OP-1-1 & RS-1-14	Winterwood Lane Park and Residential
SOUTH:	Residential/ RS-1-14	Residential
EAST:	Residential/RS-1-14	Residential
WEST:	Open Space/OP-1-1	Open Space
DEVIATION REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 16, 2017, the Mira Mesa Community Planning Group <u>voted 17-0-0</u> to recommend approval of the proposed project without conditions/recommendations	

HEARING OFFICER RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 2120730
VERIZON WIRELESS WINTERWOOD - PROJECT NO. 493456

WHEREAS, SAN DIEGO UNIFIED SCHOOL DISTRICT, Owner, and VERIZON WIRELESS (VAW) LLC, d/b/a VERIZON WIRELESS, Permittee ("Verizon"), filed an application with the City of San Diego for a permit to install a new Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2120730);

WHEREAS, the project site is located at 10810 Parkdale Avenue in the AR-1-1 Zone of the Mira Mesa Community Plan;

WHEREAS, the project site is legally described as Parcel 1 that portion of Section 35, Township 14 South, Range 3 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California;

WHEREAS, on April 16, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303, New Construction or Conversion of Small Structures and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on July 18, 2018, the HEARING OFFICER of the City of San Diego considered CONDITIONAL USE PERMIT NO. 2120730 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the HEARING OFFICER of the City of San Diego, that it adopts the following findings with respect to CONDITIONAL USE PERMIT NO. 2120730:

A. CONDITIONAL USE PERMIT- 126.0301

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

Wireless Communication Facilities (WCFs) are separately regulated uses that are not identified in the Mira Mesa Community Plan. Instead, WCFs rely on the City's General Plan for wireless facilities design requirements. In the City's General Plan under section UD-A.15, all WCFs are required to minimize visual impacts using the following criteria. Each WCF shall be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend them into the surrounding area. The WCF design must be aesthetically pleasing and respectful of the neighborhood context. The equipment associated with the WCF must be concealed in underground vaults or unobtrusive structures.

Verizon's WCF design consists of a single 100-foot tall replacement athletic ball field light pole concealing a total of six antennas. Verizon is proposing to use an existing vertical element which complies with the General Plan requirements. The proposed replacement athletic light pole will continue to provide field lighting as the primary use for the Challenger Middle School with a secondary use as a wireless facility. In order to camouflage and screen the WCF, the antennas, remote radio units, raycaps and all associated mounting apparatus will be concealed inside a 42-inch diameter radome. Similar athletic light pole designs have been successfully implemented in City parks resulting in an aesthetically pleasing and well-integrated WCF.

The proposed 195-square foot equipment enclosure consists of an 8-foot tall concrete masonry unit wall with a chain link topper for safety and security. The enclosure will be located near the storage containers immediately outside of the playing field to minimize field disturbance. As designed, the equipment enclosure is consistent with the General Plan's requirement to conceal the WCF equipment in unobtrusive structures.

The WCF as a whole is consistent with the City's General Plan for wireless facilities and the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare;

The project consists of six antennas concealed inside a 100-foot tall replacement athletic ball field light pole located on the Challenger Middle School property, on the most northwesterly portion part of the field. The antennas, remote radio units, raycaps and all mounting apparatus shall be concealed inside a 42-inch radome

located on the uppermost portion of the replacement athletic ball field light pole. The proposed 195-square foot equipment enclosure includes an 8-foot tall concrete masonry unit wall with chain link topper for both safety and security reasons. This enclosure is proposed near the storage containers immediately outside of the playing field to minimize field disturbance.

The project will not have a significant effect on the environment, as was concluded in the initial study and then determined to be categorically exempt from the California Environmental Quality Act pursuant to Sections 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 16, 2018 and the opportunity to appeal that determination ended April 30, 2018.

The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare, including the requirement to obtain building permits which requires compliance with the applicable building, fire, mechanical, and plumbing codes and State and Federal disability access laws.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Verizon submitted an Electro-Magnetic Emission Analysis, which concluded that the project complies with FCC RF standards. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

Wireless Communication Facilities (WCFs) are required to comply with Land Development Code (LDC) Section 141.0420 which includes design requirements that supplement the purpose and intent of the City's General Plan for wireless facilities. Similar to the City's General Plan, Section 141.0420 requires all WCFs to utilize the smallest, least visually intrusive antennas, components and other necessary components. The applicant shall use all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape, and siting solutions.

Verizon's WCF design consists of one replacement 100-foot tall athletic ball field light pole concealing the antennas, remote radio units, raycaps and associated mounting

apparatus concealed inside a 42-inch diameter radome. The athletic ball field light pole designs tapers down from 42-inches to 21-inches with an 8-inch diameter pole supporting Musco lighting. This unique concealment design has been used for City parks to establish a slim profile appearance. Furthermore, the proposed design is utilizing an existing established vertical element which is encouraged especially at the current height. Other options like a new tower or faux tree would present a significant visual impact and would result in a standalone vertical element that would be difficult to support. Therefore, the proposed design complies with both LDC Sections 141.0420(g)(1) and 141.0420(g)(2) by limiting the number of antennas at this site to only six when a typical macro site supports up to twelve. Additionally, by using an existing vertical element, all reasonable means to minimize the visual impacts have been carefully considered.

The 195-square-foot equipment enclosure with an 8-foot tall concrete masonry unit wall, shall be located outside of the playing field, near the center and most southerly portion of the Challenger Middle School property. The equipment is also adjacent to an existing storage container. A chain link topper will be installed for both safety and security reasons.

In conclusion, the proposed Verizon WCF, as designed and located, complies with the regulations as it will be minimally visible through the use of architecture, landscape and siting solutions, and will comply with the applicable regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The proposed Verizon Wireless Communication Facility (WCF) project is proposed within a Preference 3 location as outlined in Council Policy 600-43 (CP 600-43). CP 600-43 includes guidelines for placement of WCF. The guidelines set forth four locational categories that correspond to the process levels contained within the WCF Regulations, LDC Section 141.0420. These categories establish a hierarchy from the most preferred location to the least preferred location. Applications for sites either in Preference 2, 3, or 4 locations should include additional information from the applicant substantiating why a lower preference location was not utilized.

For this project, Challenger Middle School was the primary candidate because, "it offered a non-residential zone and no residential use where an existing vertical element could be used to achieve the necessary coverage objective by using a previously approved design concept." Based on the aerial and the predominantly residential uses nearby, the proposed location is the only viable candidate that presented a design solution with minimal visual impact. Verizon's 100-foot-tall replacement athletic field light pole at the Challenger Middle School is appropriately designed and well-integrated with the existing school setting. Additionally, the proposed design focused on using an existing vertical element to minimize any additional visual impacts.

ATTACHMENT 5

The alternative candidate was adjacent to the school within the Winterwood Lane Park located at 7540 Winterwood Lane. There is currently one WCF at this location however the park is limited in space and accommodating an additional 190 square feet for a WCF could potentially impact usable park space. Additionally, the collocation may also present concealments concerns, since the current WCF at this park location is a faux tree and an additional carrier may result in a negative visual impact which is an issue that City staff has experienced within the past. Finally, the park location represents a Preference 4 location and is less desirable compared to a Process 3 Location.

Overall, Verizon's WCF replacement athletic ball field light pole design and the proposed WCF use is appropriate at the proposed location based on the site justification analysis and the project design and siting solutions within the current coverage objective.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the HEARING OFFICER, CONDITIONAL USE PERMIT NO. 2120730 is hereby GRANTED by the HEARING OFFICER to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2120730, a copy of which is attached hereto and made a part hereof.

Simon Tse
Development Project Manager
Development Services

Adopted on: July 18, 2018

IO#: 24006764

fm 7-17-17

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006764

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2120730
VERIZON WIRELESS WINTERWOOD PROJECT NO. 493456
HEARING OFFICER

This Conditional Use Permit No. 2120730 is granted by the Hearing Officer of the City of San Diego to San Diego Unified School District, Owner, and Verizon Wireless (VAW) LLC, d/b/a Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0301, 131.0301, and 141.0420. The site is located at 10810 Parkdale Avenue in the AR-1-1 zone(s) of the Mira Mesa Community Plan. The project site is legally described as Parcel 1 that portion of Section 35, Township 14 South, Range 3 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to install a new Wireless Communication Facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 18, 2018, on file in the Development Services Department.

The project shall include:

- a. A Wireless Communication Facility that consists of a 100-foot tall replacement athletic field light pole supporting six antennas with the following dimensions:
 - a. 72.9" by 11.9" by 7.1"; and
- b. A 42-inch diameter, 30-foot 7-inch long radome concealing six antennas, twelve remote radio units, and six raycaps; and
- c. A 194-square foot equipment enclosure with an 8-foot tall concrete masonry unit wall concealing one standby emergency generator, two MCE cabinets, and one step-down transformer with a chain-link topper.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has

been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 1, 2021.

2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on **August 1, 2028**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary permits through the Division of the State Architect.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

13. Every aspect of the athletic field light pole and the associated radome is considered an element of concealment, including (but not limited to) the dimensions, bulk and scale, color, materials, and texture. Any future modifications to this radome (including increase to the bulk and scale) must not be defeat concealment.

14. The radome and the entire light pole shall be painted to match.

15. This approval permits six (6) antennas with the following dimensions: 72.9" by 11.9" by 7.1";

16. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

17. The accuracy and validity of the Radio Frequency Compliance Report, submitted by the Owner/Permittee, shall be assured while the WCF is in operation.
18. All facilities and related equipment shall be maintained in good working order and free from trash, debris, graffiti and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
19. All coaxial conduits shall be routed up through the caisson and into the replacement athletic field light poles to the satisfaction of the Development Services Department. "Doghouse" cable housings are not permitted.
20. Any future modifications to the antennas must be approved by Development Services. The Owner/Permittee shall provide evidence demonstrating compliance with Federal standards for radio frequency emissions in accordance with the Telecommunications Act of 1996 and any subsequent amendments.
21. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition shall be required.
22. A Telecom Inspection is required upon completion of construction (on or before August 1, 2021).
23. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The City of San Diego reserves the right to rescind any approval made under Section 6409(a) or the Spectrum Act should any portion of Section 6409(a) or the Spectrum Act, of the FCC's interpretation thereof, be deemed unconstitutional by a court of law, the FCC or any other competent authority.
- Per LDC §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.
- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

ATTACHMENT 6

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 18, 2018 and [Approved Resolution Number].

ATTACHMENT 6

Conditional Use Permit No. 2120730
July 18, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

San Diego Unified School District
Owner

By _____
NAME
TITLE

**Verizon Wireless (VAW) LLC,
d/b/a Verizon Wireless**
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code**

section 1189 et seq.



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other WCF

Project Title

Project No. For City Use Only

Verizon: Winterwood

Project Address:

10810 Parkdale Avenue, San Diego, CA 92126

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title:
Verizon: Winterwood

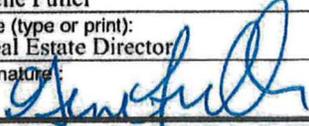
Project No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
San Diego Unified School District of San Diego County
 Owner Tenant/Lessee
Street Address:
4100 Normal Street
City/State/Zip:
San Diego, CA 92103
Phone No: _____ Fax No: _____
619-725-7045
Name of Corporate Officer/Partner (type or print):
Gene Fuller
Title (type or print):
Real Estate Director
Signature:  Date: _____
March 30, 2016

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : _____ Date: _____

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : _____ Date: _____

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : _____ Date: _____

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : _____ Date: _____

Corporate/Partnership Name (type or print):
 Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : _____ Date: _____

Mira Mesa Community Planning Group Meeting Minutes

1.	Robert Mixon	6.	Jeff Stevens	11.	Julia Schriber	16.	Bari Vaz
2.	Craig Radke	7.	Ted Brengel	12.	Wayne Cox	17.	Albert Lee
3.	Bruce Brown	8.	Marv Miles	13.	Tom Derr	18.	Chris Morrow
4.	Joe Punsalan	9.	Jon Labaw	14.	Craig Jackson	19.	
5.	Kent Lee	10.	Ralph Carolin	15.	Michael Linton	20.	

(HIGHLIGHTED INDICATES ATTENDANCE)

Mira Mesa Community Planning Group Minutes

Date/Time: Monday, October 16, 2017, 7:00pm

Location: Mira Mesa Public Library, 8405 New Salem Street, San Diego CA 92126

Call to Order/Confirm quorum: Quorum confirmed.

- 1) Non-Agenda Public Comments: 3 Minutes per speaker.
 - a) Joe – Notice that City of San Diego is planning on taking Community Park and Rec funds and moving them to the City General Fund
- 2) Modifications to the Agenda. None.
- 3) Adopt Previous Meeting Minutes. Approved.
- 4) Report of the Chair
 - a) Vacancy for Prop owner member on the board. Need nominations.
 - i) 2 appointed, 1 elected
 - b) At the October 9 meeting of the Mira Mesa Recreation Council, Assistant Park and Recreation Director Andy Field addressed the audience regarding the Park and Recreation Department's plan to remove all funding from community Recreation Councils and convert them to "Recreation Advisory Groups." Craig Jackson wrote a well stated letter of opposition
 - c) Special Event permit for San Diego Tet Festival February 16-18, 2018.
 - d) Request from Joe Punsalan to discuss Stop Sign / Traffic Calming at Flanders and Aderman (on agenda).
 - e) Chris Cates proposal for homeless situation – forwarded to members
- 5) Old Business
 - a) Stop sign at Westmore and Garde – Bruce Brown (Action item)
 - i) Bruce to motion to approve, Craig Jackson 2nd (17-0-0) approved

Mira Mesa Community Planning Group Meeting Minutes

- b) Mira Mesa Community Plan Update Status – Bernie Turgeon
 - i) Alex Ross – Sr Planner
 - ii) Status
 - (1) Plan update has not started
 - (2) Budgeted for July 2018
 - (3) Working on Existing Conditions report
 - (a) Contracting for traffic work
 - (b) Look at public engagement plan, outreach strategy
 - (c) Put together marketing brochure to provide update information
 - (d) Atlas, existing conditions study
 - (i) Land-use, zoning, traffic, mobility, safety, parks rec, etc.
 - (ii) Materials for next spring for the planning group
 - (e) Pg 13 of Planning Department work program brochure (provides background and context to the update)
 - (i) Also on website
 - (f) Provide what we would like to see as part of existing conditions. Give them some idea of what changes have happened in the community,
 - (g) Questions
 - (i) Michael Linton how long is process? 3 years
 - (ii) Joe Punsalan – Data for atlas done by city

6) New Business

- a) North City Pure Water Project - Genevieve Fong
 - i) Site Development Permit (Action item)
 - (1) Seeking approval for the corridor of the project in Mira Mesa on Miramar Road
 - (2) Will impact Vernal Pools
 - (3) Certain areas will be repaved. Most of the roads will be slurry sealed
 - (4) Construction will be 9pm to 5am
 - (5) Curb to Curb slurry
 - (6) Open House 10/21 10am to 3pm 4949 Eastgate Mall Road
 - ii) Pump Station and Pipeline Project update on parking impacts/alternatives at Miramar Reservoir (Information item)
 - iii) Environmental (Seeking action item)
 - (1) Prepared joint CEQA dept.
 - iv) Questions
 - (1) Recovery salts from brine, can it be salvaged? Cost recovery from the salt?
 - (2) Future use of groundwater – Working on ground water development. Small areas.
 - v) Ted Brengel, Craig Jackson 2nd motion to approve site development permit. (17-0-0) approved.
- b) Verizon Winterwood – Kerrigan Diehl (Action item)
 - i) Ted Brengel, Craig Jackson 2nd motion to approve. (17-0-0) approved.
- c) Traffic calming on Flanders near Aderman - Joe Punsalan (Action item)
 - i) 4-way Stop, crosswalk – North side of Flanders to South side of Flanders

Mira Mesa Community Planning Group Meeting Minutes

- ii) Salk Elementary walk to school, need traffic slowdown on Flanders
- iii) Craig Jackson, Ted Brengel 2nd motion to approve. (17-0-0) approved.

7) Elected Officials/Government Agencies

- a) San Diego – Mayor’s Office
 - i) Eric Young -Health and Education policy
- b) San Diego – City Council District 6
 - i) Homeless proposal – NFC open forum Black Mountain Gym
- c) MCAS Miramar
 - i) Next Year’s Sept 28-30 airshow

8) Announcements: 2 Minutes per speaker. Community groups are encouraged to promote awareness of their events at this point in the meeting

9) Reports

- a) Stone Creek Subcommittee – nothing to report
- b) Community Park Subcommittee
 - i) Passed General Plan for Salk/Maddox Park – CP One
 - ii) Meetings at Nov 14, at Wangenheim Elementary
- c) Sorrento Valley Coaster Station Subcommittee (joint with Torrey Pines) – no report
- d) Marijuana Dispensaries Subcommittee (joint with Torrey Pines)
 - i) Sorrento Valley Town Council preparing a letter to city for 4 marijuana dispensaries in SV road. Now can place 40 anywhere in city.
- e) Community Planners Committee
 - i) Changes to affordable housing regulations – most required by recent changes to state law. Some members wanted to increase required low income percentage to 25%.
 - ii) Changes to land development code – subcommittee went through in great detail and CPC approved their recommendations.
 - iii) Interim Park and Recreation Equivalency Regulations – in effect until Parks Master Plan is completed. Lots of concern about this one – especially using open space or regional parks to satisfy population-based acreage requirements of City General Plan. “City Staff will have the discretion to allocate a reduction in park requirements based upon the development’s ability to use existing regional park facilities.”
- f) Los Peñasquitos Canyon Preserve Citizens Advisory Committee
 - i) 4th grade class program

10) Adjourn

NOTICE OF EXEMPTION

(Check one or both)

TO: X Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

_____ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Verizon Winterwood

Project No.: 493456

Project Location-Specific: 10810 Parkdale Avenue, San Diego CA, 92126

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project is a Conditional Use Permit (CUP) to allow for a Wireless Communication Facility (WCF) consisting of a new 100-foot tall athletic field light pole supporting six antennas and 12 remote radio units concealed inside a radome. The equipment associated with this project is located inside a 190-square-foot equipment enclosure. The project site (Challenger Middle School) is located at 10810 Parkdale Avenue in the Mira Mesa Community Plan area and is zoned AR-1-1. The project also includes an emergency generator.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Kerrigan Diehl
PlanCom, Inc.
302 State Place, Second Floor
Escondido, CA 92029
(760) 587-3003

Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- () Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: CEQA Section 15303 (New Construction or Conversion of Small Structures)

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project, as described above, meets the criteria set forth in CEQA Section 15303 which addresses the construction and location of limited numbers of new, small facilities or structures. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Anna L. McPherson AICP

Telephone: (619) 446-5276

If filed by applicant:

- 1. Attach certified document of exemption finding.

2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

 Senior Planner

May 1, 2018

Signature/Title

Date

Check One:

(X) Signed By Lead Agency

Date Received for Filing with County Clerk or OPR:

() Signed by Applicant

SITE JUSTIFICATION

Verizon: Winterwood NCD
10810 Parkdale Avenue, San Diego, CA 92126

PROJECT DESCRIPTION

The project proposes to locate a wireless communication facility at Challenger Middle School located at 10810 Parkdale Avenue in the Mira Mesa Community Planning Area. The project will consist of six antennas concealed and associated RRUs within a stealth radome attached to a replacement light standard. The associated equipment necessary to operate the facility will be located at grade within a 10'x19' CMU enclosure. The property is zoned AR-1-1. The property is developed with the middle school and its multiple educational building and athletic/recreational fields.

SITE DESIGN

More specifically, the antennas will be configured in a vertically stacked orientation to accommodate 1 sector of 2 antennas at centerlines of 86' and 79' respectively and 1 RRU per antenna below. Please refer to the A2.2 Sheet for the plan view of the antenna/RRU layout within the 3'-6" x 30'-7" radome. The associated equipment necessary to operate the facility including an emergency back-up generator will be located within 190 sf outdoor equipment enclosure adjacent to the handball and basketball courts. Unlike other recent sites this design contemplates full concealment of the antennas and RRUs within a low profile radome, largely taking cues from the previously approved concepts like Golden Hill.

PREFERENCE 3 LOCATION:

The City's Wireless Communication Facility regulations, Land Development Code section 141.0420, allow these facilities in the AR-1-1 agricultural zones with a Conditional Use Permit under Process 3 review. There were no Preference 1 or 2 locations situated within the technical coverage objective. Challenger Middle School was chosen because it offered a non-residential zone and no residential use where existing vertical elements could be used to achieve the necessary coverage objective by using a previously approved design concept.

Additionally, there is a site that was approved and built at Christa McAuliffe Park during the processing of this application. While this is less preferred as a Preference 4 location due to proximity to residential we also understand that pursuant to Real Estate Assets policy, co-location at this location is not viable.

We believe that the facility as designed is consistent with all relevant regulations including the applicable Land Use Plan, General Plan and Land Development Code. As such, the project received a unanimous recommendation for approval by the Mira Mesa Community Planning Group at their October 2017 meeting.

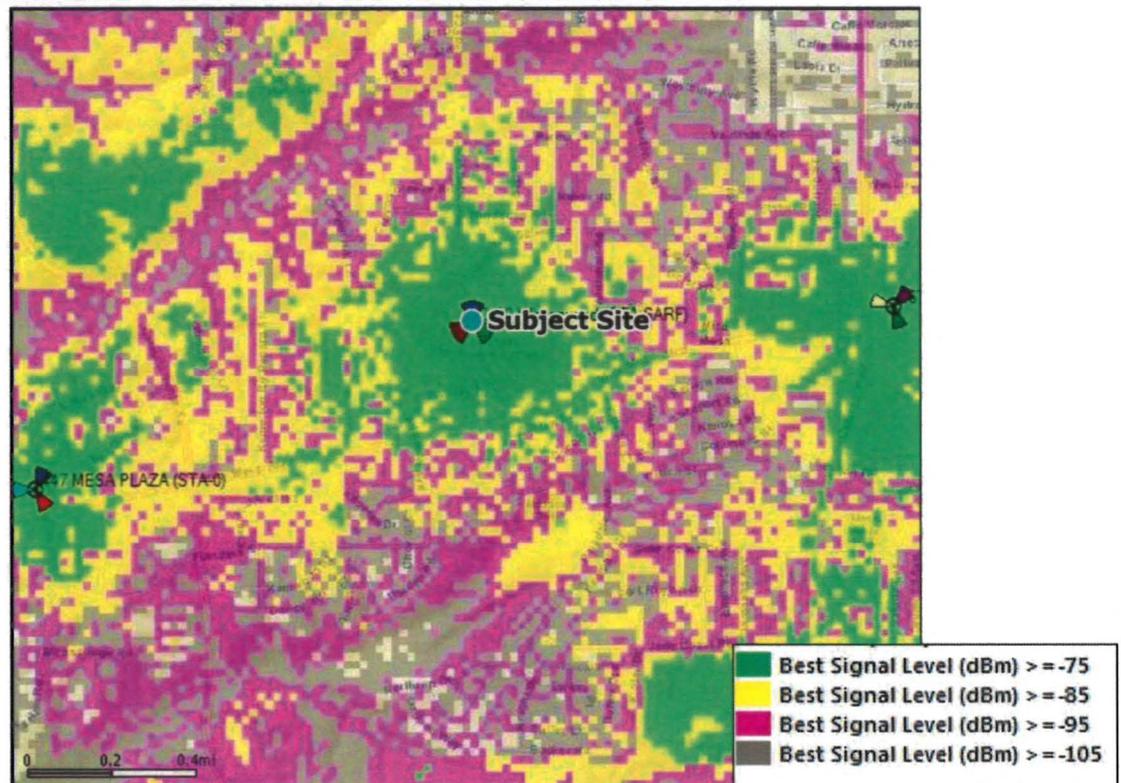
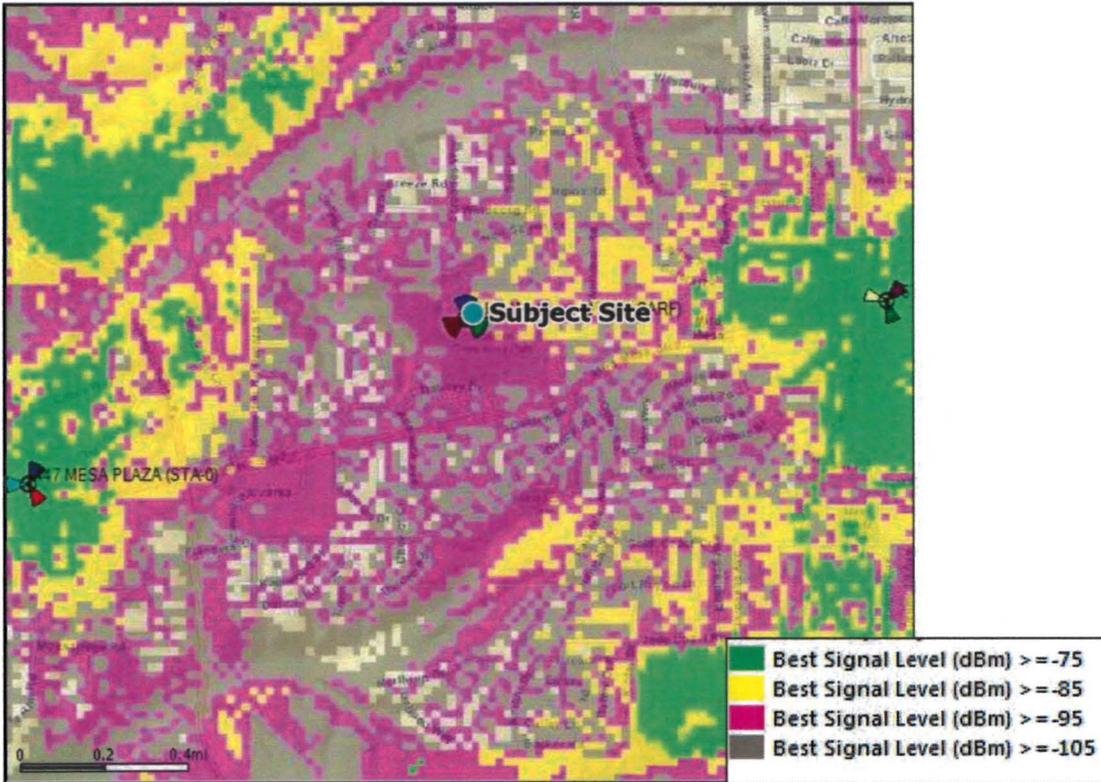
CO-LOCATION OF WIRELESS FACILITIES

There are no wireless carriers at this site at this time.

Winterwood (MCE)
10810 Parkdale Ave.
San Diego, CA 92126



Coverage without site



Coverage Levels:

- Excellent (Green)
- Good/Variable (Yellow)
- Poor (Grey)

5/26/2016

Coverage with site



PHOTO STUDY & KEY MAP

PROPOSAL TO ESTABLISH AND OPERATE A
NEW WIRELESS
COMMUNICATIONS FACILITY

Verizon Wireless
"Winterwood"
10810 Parkdale Avenue
San Diego, CA 92126

Prepared for:
City of San Diego
Development Services Department
1222 First Avenue
San Diego, CA 92101

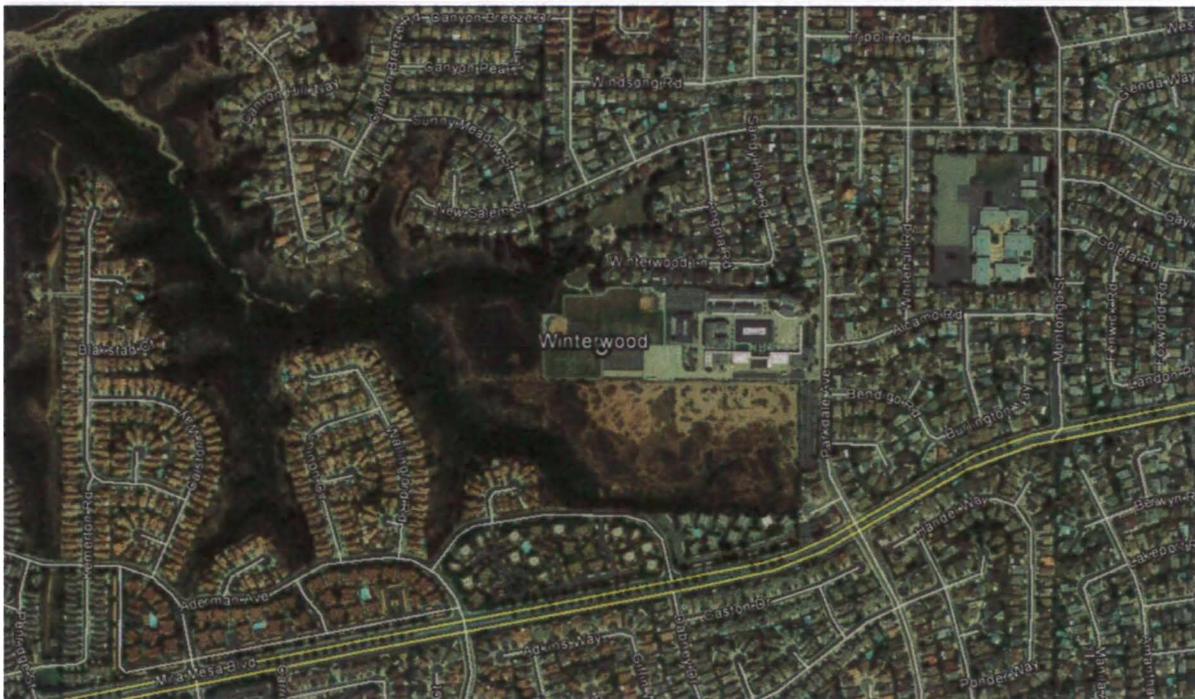
Prepared by:
PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Kerrigan Diehl, Planning Consultant
(760) 587-3003

June 1, 2018



Aerial View of Challenger Middle School Campus



Aerial view of Surrounding Land Uses



North Elevation (From Christa McAuliffe Park)



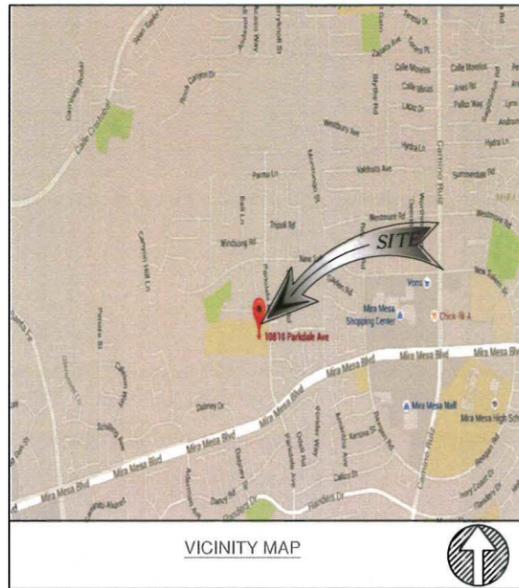
East Elevation (From Parkdale Avenue)



West Elevation (From Wallingford Road)



South Elevation (From Dabney Drive)



VICINITY MAP

SITE ADDRESS

10810 PARKDALE AVENUE, SAN DIEGO, CA 92126
 APN
 311-030-12, 32, 35

RECORD OWNER

SAN DIEGO UNIFIED SCHOOL DISTRICT OF SAN DIEGO COUNTY, AS TO PARCEL 1 AND
 SAN DIEGO UNIFIED SCHOOL DISTRICT OF SAN DIEGO COUNTY, CALIFORNIA, A POLITICAL SUBDIVISION,
 AS TO PARCEL 2

TITLE REPORT

A PRELIMINARY TITLE REPORT WAS PREPARED BY COMMONWEALTH LAND TITLE COMPANY FILE NO.
 08025749 DATED JULY 1, 2015.

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS PROPERTY IS THE EASTERLY LINE OF PARKDALE AVENUE AS
 ESTABLISHED BY THE 7.00 FOOT OFFSET POINTS PER MAP 7048 I.E. N0°27'34"E. SAID BEARING AND
 THE BEARINGS SHOWN HEREON ARE IN TERMS OF THE CALIFORNIA COORDINATE SYSTEM ZONE 6.
 QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID
 SYSTEM.

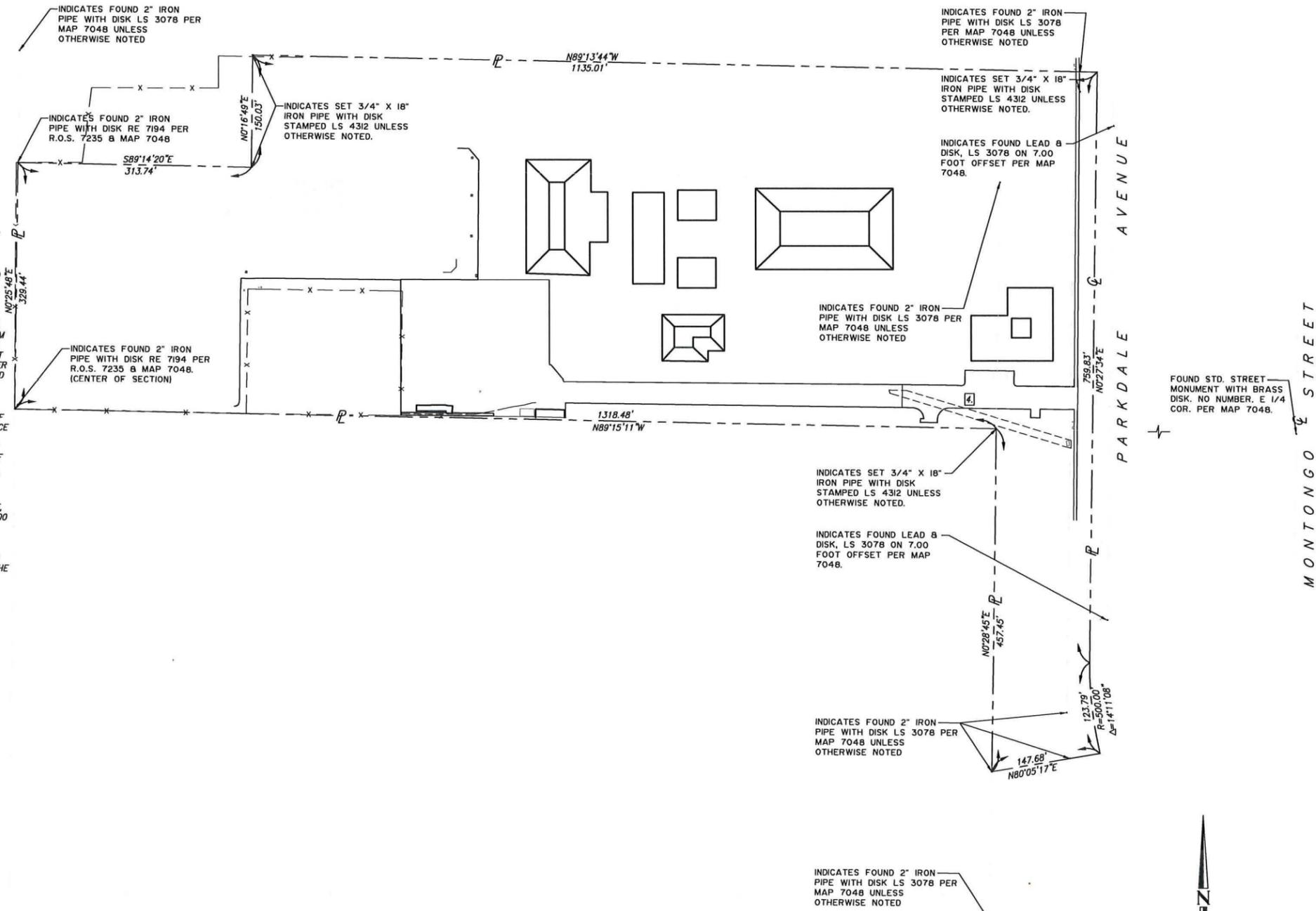
BENCH MARK

THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK "NEBP" ELEVATION = 416.506 FEET

FLOOD ZONE

SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. MAP NO. 06073C1342G EFFECTIVE
 DATE MAY 16, 2012.

BOUNDARY DETAIL



LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF
 CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
 THAT PORTION OF SECTION 35, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO
 BASE AND MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF
 CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID
 SECTION 35 THAT IS NORTH 00° 27' 22" EAST A DISTANCE OF 329.44 FEET ALONG SAID
 WEST LINE FROM THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE FROM
 SAID POINT OF BEGINNING NORTH 00° 27' 22" EAST ALONG SAID WEST LINE A DISTANCE
 OF 150.00 FEET TO THE SOUTHWEST CORNER OF LOT 2878 OF MIRA MESA VERDE UNIT
 NO. 17 AS SHOWN ON MAP NO. 7048, FILED IN THE OFFICE OF THE COUNTY RECORDER
 OF SAID COUNTY; THENCE SOUTH 89° 14' 22" EAST ALONG THE SOUTHERLY LINE OF SAID
 MIRA MESA VERDE UNIT NO. 17 A DISTANCE OF 313.35 FEET TO THE TRUE POINT OF
 BEGINNING OF THE PORTION TO BE DESCRIBED; THENCE FROM SAID TRUE POINT OF
 BEGINNING CONTINUING SOUTH 89° 14' 22" EAST ALONG SAID SOUTHERLY LINE (AND
 EASTERLY EXTENSION THEREOF) A DISTANCE OF 1,134.76 FEET TO THE CENTER LINE OF
 PARKDALE AVENUE AS SHOWN ON SAID MAP OF MIRA MESA VERDE UNIT NO. 17; THENCE
 ALONG SAID CENTER LINE SOUTHERLY ALONG THE ARC OF A 1,500.00 FOOT RADIUS
 CURVE CONCAVE WESTERLY THROUGH A CENTRAL ANGLE OF 01° 02' 05" A DISTANCE OF
 27.10 FEET; THENCE SOUTH 00° 27' 34" WEST ALONG SAID CENTER LINE A DISTANCE OF
 759.73 FEET TO A POINT OF TANGENCY WITH A 500.00 FOOT RADIUS CURVE CONCAVE
 EASTERLY; THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 14°
 10' 57" A DISTANCE OF 123.77 FEET; THENCE SOUTH 80° 05' 20" WEST A DISTANCE OF
 147.65 FEET; THENCE NORTH 00° 27' 34" EAST A DISTANCE OF 457.47 FEET; THENCE
 NORTH 00° 37' 45" EAST A DISTANCE OF 329.11 FEET; THENCE NORTH 89° 14' 22" WEST,
 A DISTANCE OF 1,005.98 FEET; THENCE NORTH 00° 27' 22" EAST, A DISTANCE OF 150.00
 FEET TO THE TRUE POINT OF BEGINNING OF THE PORTION DESCRIBED.

PARCEL 2:
 THE SOUTH 1/4 OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION
 35, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE
 CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO
 OFFICIAL PLAT THEREOF.

EASEMENT NOTES

- ITEMS A, B ARE TAXES RELATED
- ITEMS C, D ARE LIEN RELATED
- ITEMS 1, 2 ARE RIGHTS RELATED
- ITEMS 3, 6 ARE DISCREPANCIES RELATED
- ITEMS 5, 7-11 ARE MATTERS RELATED
- ITEM 12 IS CLAIMS RELATED

[4] EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS
 INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: CITY OF SAN DIEGO, A MUNICIPAL CORPORATION
 PURPOSE: STORM DRAIN OR DRAINS
 RECORDING DATE: OCTOBER 8, 1971
 RECORDING NO: AS INSTRUMENT NO. 233057 OF OFFICIAL RECORDS
 AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN.

JRA Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS
 SET OF CONSTRUCTION DOCUMENTS IS
 PROPRIETARY BY NATURE. ANY USE
 OR DISCLOSURE OTHER THAN THAT
 WHICH RELATES TO VERIZON
 WIRELESS IS STRICTLY PROHIBITED.

PREPARED FOR

 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

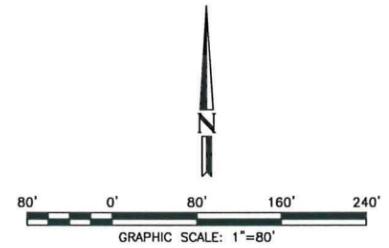
R.F.	
ZONING	
CONSTRUCTION	
SITE ACQUISITION	
OWNER APPROVAL	

SITE NAME
WINTERWOOD
 10810 PARKDALE AVENUE
 SAN DIEGO, CA 92126

DRAWING DATES
 07/27/15 PRELIMINARY SURVEY
 10/06/15 FINAL SURVEY

SHEET TITLE
TOPOGRAPHIC SURVEY

LS-1



LEGEND

---	CENTER LINE
- - - - -	PROPERTY LINE
-x-x-x-x-	CHAIN-LINK FENCE
-v-v-v-v-	WOOD FENCE
- - - - -	EASEMENT LINE
- - - - -	GAS LINE
- - - - -	SEWER LINE
- - - - -	WATER LINE
- - - - -	TELEPHONE CABLE
	WOOD WALL
	CMU WALL
---	EDGE OF PVM'T
---	FOUND
---	EXISTING GROUND
---	GUY
---	GUY WIRE ANCHOR
---	EP
---	EDGE OF PAVEMENT
---	FL
---	FLOW LINE
---	FS
---	FINISH SURFACE
---	HT
---	HEIGHT
---	NG
---	NATURAL GRADE
---	RF
---	ROOF GRADE
---	RP
---	RAISED PLATFORM
---	MB
---	MAIL BOX
---	PL
---	PROPERTY LINE
---	PP
---	POWER POLE
---	PB
---	PULL BOX
---	SSCO
---	SANTARY SEWAGE CLEANOUT

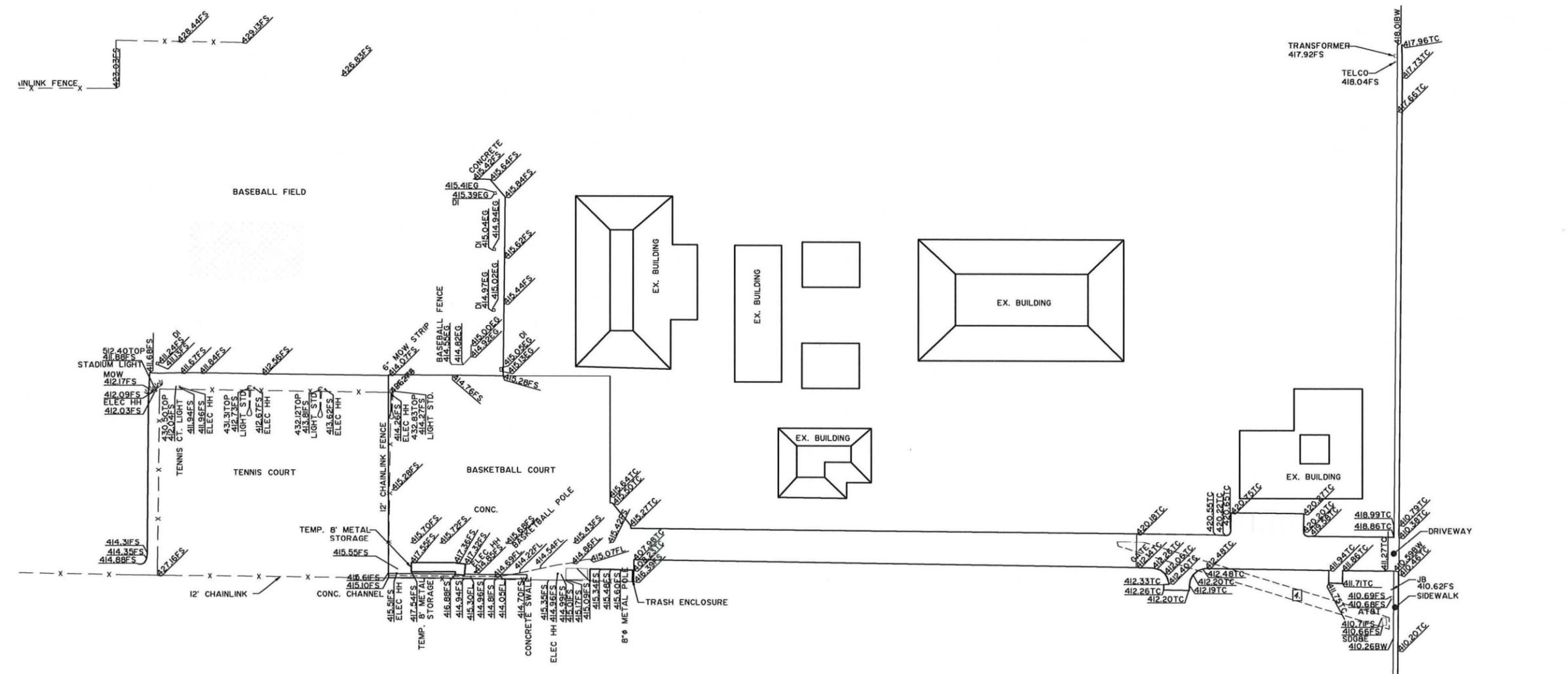
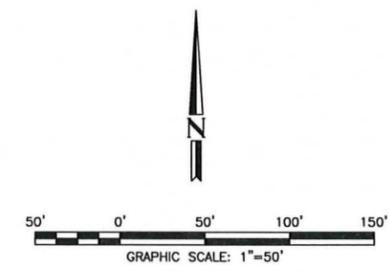
⊕	ROOF DRAIN
⊙	EXISTING TELE. MANHOLE
WM	EXISTING WATER METER
BP	EXISTING BACKFLOW PREVENTER
P	EXISTING SIGN
T	EXISTING TRAFFIC SIGNAL
ANT	EXISTING ANTENNA
MWD	EXISTING MICROWAVE DISH
SMH	EXISTING SEWER MANHOLE
PP	POWER POLE
GA	GUY WIRE ANCHOR
CB	CATCH BASIN
FH	FIRE HYDRANT
V	VALVE (UTILITY)
T	TREE
PT	PINE TREE
B	BUSH
PT	PALM TREE

SS	STREET SIGN/STOP SIGN
SDMH	STORM DRAIN MAN HOLE
SGN	SIGN
TC	TOP OF CURB
TW	TOP OF WALL
TA	TOP OF ANTENNA
UA	UNDERGROUND ACCESS
BFP	BACK FLOW PREVENTER
WM	WATER METER
WV	WATER VALVE
ELEC	EXISTING LIGHT
ELEC MH	EXISTING ELECTRICAL MH
POLE	EXISTING POLE
SL	EXISTING STREET LIGHT
SD	EXISTING SATELLITE DISH
COND	EXISTING CONDENSER
CONC	EXISTING CONCRETE
GRASS	EXISTING GRASS/TURF

MONUMENTS

MONUMENT FD.
(AS NOTED)

SURVEY DETAIL



Jra Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

PREPARED FOR

 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

R.F.	_____
ZONING	_____
CONSTRUCTION	_____
SITE ACQUISITION	_____
OWNER APPROVAL	_____

SITE NAME
WINTERWOOD
 10810 PARKDALE AVENUE
 SAN DIEGO, CA 92126

DRAWING DATES
 07/27/15 PRELIMINARY SURVEY
 10/06/15 FINAL SURVEY

SHEET TITLE
TOPOGRAPHIC SURVEY

LS-2

GENERAL NOTES

- A. SETBACKS
FRONT: 25'-0"
SIDE: 20'-0"
BACK: 25'-0"
- B. EASEMENTS
SEE SHEETS LS-1 AND LS-2
- C. FREQUENCY
OPERATING FREQUENCIES: 698-2360
- D. TOTAL IMPERVIOUS AREA BEFORE CONSTRUCTION: 44,342 SQ. FT.
TOTAL IMPERVIOUS AREA AFTER CONSTRUCTION: 44,342 SQ. FT.
- E. TOTAL AREA DISTURBED
WALL FOOTING: 176 SQ. FT.
UTILITY TRENCHING: 0 SQ. FT.
- F. PROPOSED EQUIPMENT LEASE AREA: 194 SQ. FT.
PROPOSED AREA AT PROPOSED LIGHT STANDARD: 20 SQ. FT.
TOTAL PROPOSED VZW LEASE AREA: 214 SQ. FT.
- G. A/C UNIT MANUFACTURER: N/A
- H. SITE CONTRACTOR TO CALL DIG ALERT (1-800-227-2600) TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- J. EXISTING LANDSCAPE: N/A
- K. THIS PROJECT IS ON SAN DIEGO UNIFIED SCHOOL DISTRICT PROPERTY. REVIEW AND APPROVAL FOR THE PROPOSED IMPROVEMENTS ARE UNDER THE JURISDICTION OF THE DIVISION OF THE STATE ARCHITECT.
- L. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
- M. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- N. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- O. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14 ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- P. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.

KEYNOTES

- 1 PROPOSED VZW EQUIPMENT ENCLOSURE AREA; SEE DETAIL 3/A-1.1.
- 2 EXISTING SDG&E TRANSFORMER #D116795 AND PROPOSED VZW POWER SOURCE.
- 2A PROPOSED 17"x30" PULL BOX AND PROPOSED VZW TELCO SOURCE (OPTION #1).
- 3 PROPOSED VZW TELCO BORE; APPROXIMATELY 520 LINEAR FEET.
- 4 EXISTING BUILDING, TYPICAL.
- 5 EXISTING PARKING LOT.
- 6 EXISTING PROPERTY LINE, TYPICAL.
- 7 EXISTING TREE, TYPICAL.
- 8 EXISTING TRASH ENCLOSURE.
- 9 PROPOSED VZW 100 AMP 277/480V ELECTRICAL METER PEDESTAL (WITHIN 30 FEET FROM EXISTING SDG&E TRANSFORMER).
- 10 PROPOSED VZW POWER BORE UNDER PAVEMENT; APPROXIMATELY 80 LINEAR FEET.
- 11 PROPOSED VZW JOINT POWER AND TELCO BORE; APPROXIMATELY 450 LINEAR FEET.
- 12 EXISTING AT&T TELCO PEDESTAL AND PROPOSED VZW TELCO SOURCE (OPTION #2).
- 13 EXISTING STORAGE CONTAINERS.
- 14 EXISTING INGRESS/EGRESS AND PROPOSED VZW ACCESS PATH.
- 15 PROPOSED VZW FIBER CABLE BORE; APPROXIMATELY 350 LINEAR FEET.
- 16 EXISTING STADIUM LIGHT STANDARD TO BE REMOVED, CUT EXISTING CAISSON 36" BELOW GRADE, RETURN POLE TO SAN DIEGO UNIFIED SCHOOL DISTRICT AND PATCH TO ORIGINAL CONDITION.

GRADING TABLE:

EQUIPMENT AREA	CUT/FILL: 19.56 C.Y.
EXPORT: 19.56 C.Y.	DEPTH OF FOOTING: 3'-0"
LIGHT STANDARD AREA	CUT/FILL: 13.70 C.Y.
EXPORT: 13.70 C.Y.	FOOTING DEPTH: 18'-6"

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P1	08/19/15	90% ZD'S	IB
P2	09/11/15	95% ZD'S	IB
P3	09/16/15	100% ZD'S	IB
P4	10/02/15	100% ZD'S	IB
P5	10/14/15	100% ZD'S	IB
P6	11/17/15	100% ZD'S	IB
P7	07/18/16	100% ZD'S	IB
P8	09/07/16	POLE RE-DESIGN	IB
P9	02/21/17	POLE RE-DESIGN	IB



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15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618



WINTERWOOD
10810 PARKDALE AVENUE
SAN DIEGO, CA 92126

SHEET TITLE:
SITE PLAN

A-0

Lessee's Certificate
Standard Wireless Facility Project
for Post Construction BMP's

I/we the undersigned as Lessee(s) of the property described as
10810 PARKDALE AVENUE, SAN DIEGO, CALIFORNIA 92126
(Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMP's.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design -

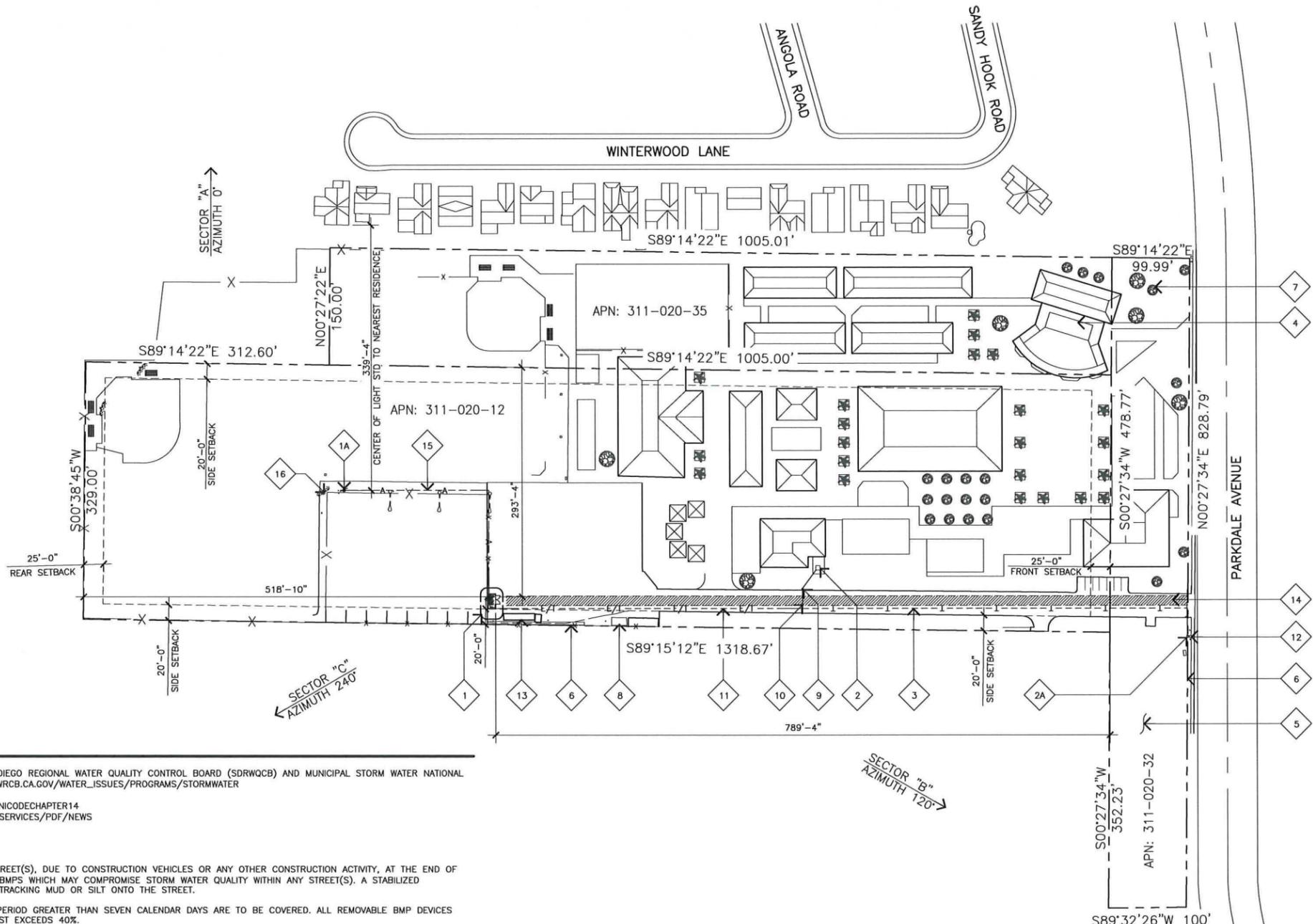
- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems.
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shutoff devices and flow reducers

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee: **Andriy Matoskin** Company Name: **Verizon Wireless**
Date: **7/25/14**



STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007 ([HTTP://WWW.SWRCB.CA.GOV/WATER_ISSUES/PROGRAMS/STORMWATER/CONSTRUCTION.SHTML](http://www.swrcb.ca.gov/WATER_ISSUES/PROGRAMS/STORMWATER/CONSTRUCTION.SHTML)) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE ([HTTP://DOCS.SANDIEGO.GOV/MUNICODE/MUNICODECHAPTER14/CH14ART02DIVISION02.PDF](http://docs.sandiego.gov/MUNICODE/MUNICODECHAPTER14/CH14ART02DIVISION02.PDF)) AND STORM WATER MANUAL ([HTTP://WWW.SANDIEGO.GOV/DEVELOPMENT-SERVICES/PDF/NEWS/STORMWATERMANUAL.PDF](http://www.sandiego.gov/DEVELOPMENT-SERVICES/PDF/NEWS/STORMWATERMANUAL.PDF))

- NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
 2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
 3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
 4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT-CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
 5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
 6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SITE PLAN

SCALE:
1"=80'



1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 36" X 48". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

JRA JOB NUMBER: 150623

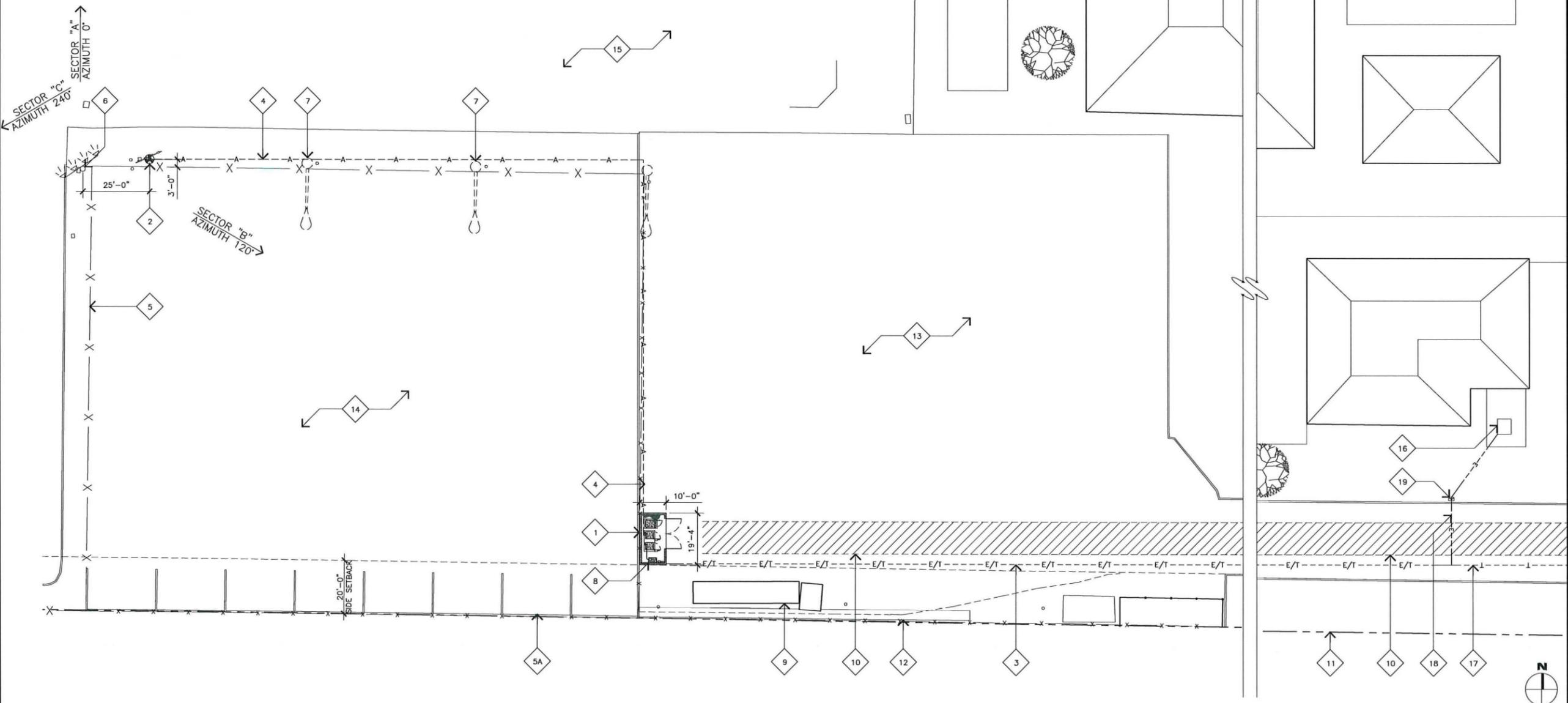
KEYNOTES

- 1 PROPOSED VZW CMU BLOCK WALL EQUIPMENT ENCLOSURE; SEE DETAIL 3/A-1.1.
- 2 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED MUSCO LIGHT STANDARD, (6 TOTAL).
- 3 PROPOSED VZW JOINT POWER AND TELCO BORE; APPROXIMATELY 450 LINEAR FEET.
- 4 PROPOSED VZW FIBER CABLE BORE; APPROXIMATELY 350 LINEAR FEET.
- 5 EXISTING CHAIN LINK FENCE.
- 5A EXISTING CMU BLOCK WALL WITH CHAIN LINK EXTENSION.
- 6 EXISTING STADIUM LIGHT STANDARD TO BE REMOVED, CUT EXISTING CAISSON 36" BELOW GRADE, RETURN POLE TO SAN DIEGO UNIFIED SCHOOL DISTRICT AND PATCH TO ORIGINAL CONDITION.
- 7 EXISTING LIGHTPOLE, TYPICAL.
- 8 PROPOSED VZW STEP-DOWN TRANSFORMER.
- 9 EXISTING STORAGE CONTAINERS.

- 10 EXISTING INGRESS/EGRESS AND PROPOSED VZW ACCESS PATH.
- 11 EXISTING PROPERTY LINE.
- 12 EXISTING DRAINAGE CHANNEL.
- 13 EXISTING BASKETBALL COURTS.
- 14 EXISTING TENNIS COURTS.
- 15 EXISTING MULTI-USE FIELD.
- 16 EXISTING SDG&E TRANSFORMER #D116795 AND PROPOSED VZW POWER SOURCE.
- 17 PROPOSED VZW TELCO BORE; APPROXIMATELY 520 LINEAR FEET.
- 18 PROPOSED VZW POWER BORE UNDER PAVEMENT; APPROXIMATELY 80 LINEAR FEET.
- 19 PROPOSED VZW 100 AMP 277/480V ELECTRICAL METER PEDESTAL (WITHIN 30 FEET FROM EXISTING SDG&E TRANSFORMER).

NOTES:

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.



ENLARGED SITE PLAN

SCALE:
1"=20'
0 10' 20'



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P1	08/19/15	90% ZD'S	IB
P2	09/11/15	95% ZD'S	IB
P3	09/16/15	100% ZD'S	IB
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P5	10/14/15	100% ZD'S	IB
P6	11/17/15	100% ZD'S	IB
P7	07/16/16	100% ZD'S	IB
P8	09/07/16	POLE RE-DESIGN	IB
P9	02/21/17	POLE RE-DESIGN	IB

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WINTERWOOD
 10810 PARKDALE AVENUE
 SAN DIEGO, CA 92126

SHEET TITLE:
ENLARGED SITE PLAN

A-1

KEYNOTES

- 1 PROPOSED VZW CMU BLOCK WALL EQUIPMENT ENCLOSURE WITH CHAIN LINK TOPPER PAINTED AND TEXTURED TO MATCH EXISTING WALL.
- 2 PROPOSED VZW D/C FIBER CABLE BORE; APPROXIMATELY 350 LINEAR FEET.
- 3 PROPOSED VZW STAND-BY GENERATOR.
- 4 PROPOSED VZW MCE CABINET.
- 5 PROPOSED VZW STUB-UPS.
- 6 PROPOSED VZW SOLID METAL ACCESS DOORS.
- 7 PROPOSED VZW STEP-DOWN TRANSFORMER.
- 8 PROPOSED VZW JOINT POWER & TELCO BORE; APPROXIMATELY 450 LINEAR FEET.
- 9 EXISTING CHAIN LINK FENCE TO BE REMOVED AT PROPOSED VZW CMU WALL AREA AND REPLACED ABOVE PROPOSED CMU WALL TO MATCH HEIGHT OF EXISTING CHAIN LINK FENCE.
- 10 PROPOSED TRANSFORMER DISCONNECT.
- 11 PROPOSED VZW POWER PANEL.
- 12 PROPOSED VZW CONCRETE HOUSEKEEPING PAD.
- 13 PROPOSED VZW GPS ANTENNA.

FREQUENCY (MHZ)	698 - 2360
GAIN	18.8 dBi
HORIZONTAL BW(°)	63-68
VERTICAL BW(°)	4.4-12.4
POLARIZATION	SLANT ±45°
VSWR	1.5 14.0
SIZE:LXWXD(INCH/MM)	72.0X13.8X8.2/1828X350X208
CONNECTOR TYPE	4.3-10 FEMALE
CONNECTOR LOCATION	BOTTOM

ANTENNA SCHEDULE								
SECTOR	QUANTITY	AZIMUTH	PROPOSED ANTENNAS SIZE	COAX	TOP OF ANTENNA	EST. LENGTH	TX/RX	DNTLT.
ALPHA	2	0° DEGREES	6'-0"	HYBRID	82.0FT/89.0FT	450FT	TX/RX	0° DEGREES
BETA	2	120° DEGREES	6'-0"	HYBRID	82.0FT/89.0FT	450FT	TX/RX	0° DEGREES
GAMMA	2	240° DEGREES	6'-0"	HYBRID	82.0FT/89.0FT	450FT	TX/RX	0° DEGREES

ANTENNA SCHEDULE SPECIFICATIONS

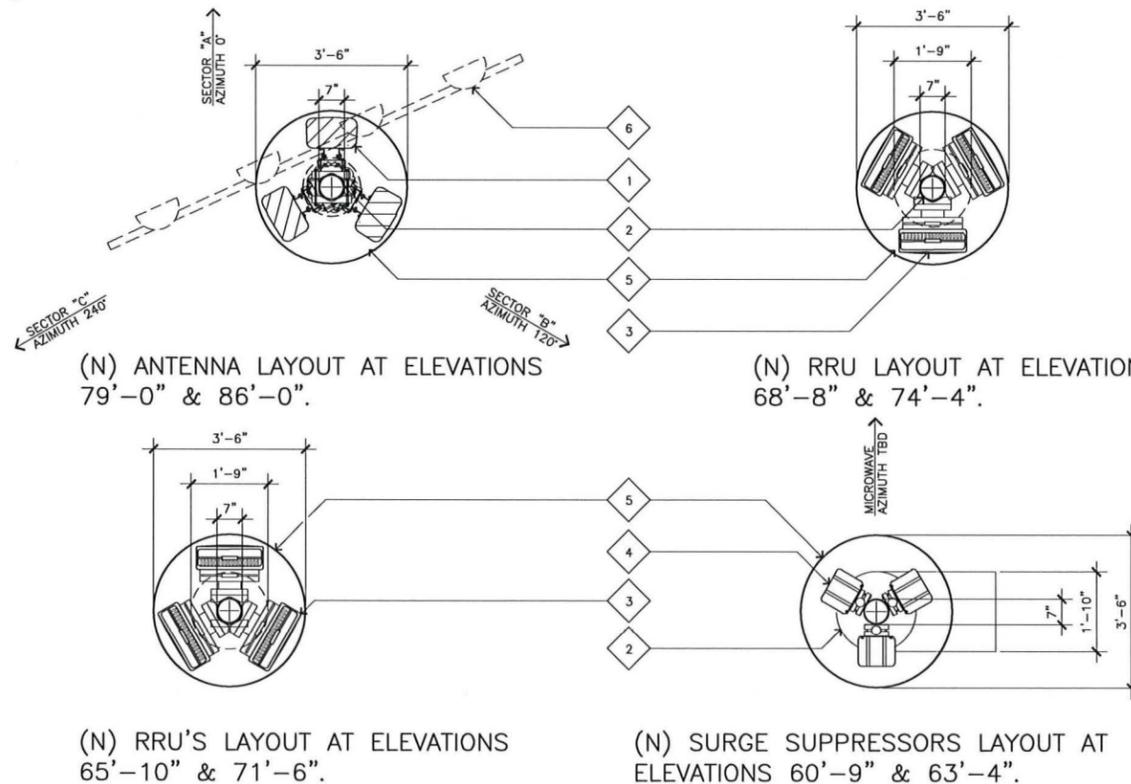
SCALE: **2**
NONE

KEYNOTES

- 1 PROPOSED VZW ANTENNAS (6 TOTAL).
- 2 PROPOSED VZW 100'-0" HIGH MUSCO LIGHT STANDARD.
- 3 PROPOSED VZW RRU'S (12 TOTAL).
- 4 PROPOSED VZW RAYCAP (6 TOTAL).
- 5 PROPOSED PERFORATED SHROUD, OPEN AT TOP.
- 6 PROPOSED SPOT LIGHTS ABOVE.

NOTES:

1. POLE AND SHROUD DIAMETER SUBJECT TO CHANGE BASED ON STRUCTURAL DRAWINGS AND CALCS.



NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 3/8" SCALE AND IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

ENLARGED EQUIPMENT PLAN

SCALE: **3**
3/8"=1'-0"

ANTENNA PLAN

SCALE: **1**
1/2"=1'-0"

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P1	08/19/15	90% ZD'S	IB
P2	09/11/15	95% ZD'S	IB
P3	09/16/15	100% ZD'S	IB
P4	10/02/15	100% ZD'S	IB
P5	10/14/15	100% ZD'S	IB
P6	11/17/15	100% ZD'S	IB
P7	07/16/16	100% ZD'S	IB
P8	09/07/16	POLE RE-DESIGN	IB
P9	02/21/17	POLE RE-DESIGN	IB



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WINTERWOOD
10810 PARKDALE AVENUE
SAN DIEGO, CA 92126

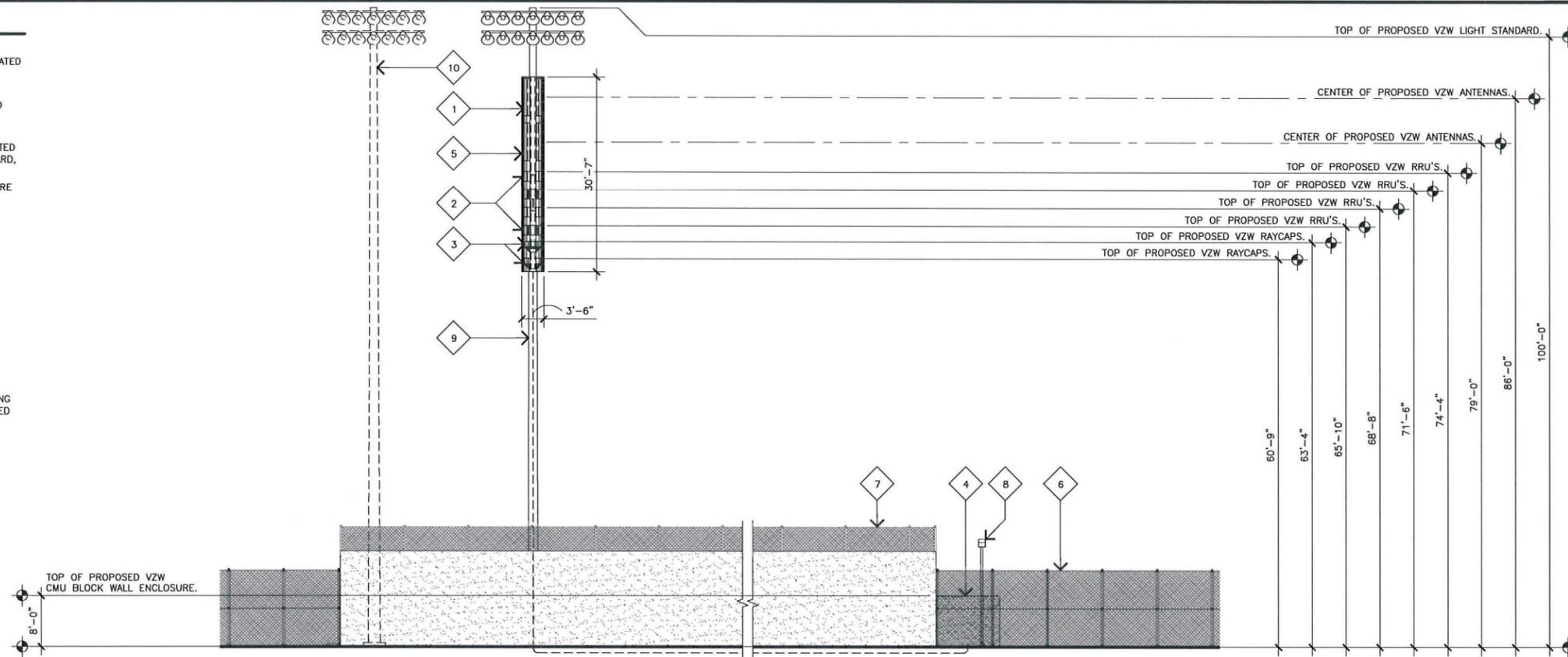
SHEET TITLE:
EQUIPMENT PLAN, ANTENNA PLAN, AND ANTENNA SCHEDULE SPECS

A-1.1

JRA JOB NUMBER: 150623

KEYNOTES

- 1 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" HIGH MUSCO LIGHT STANDARD, (6 TOTAL).
- 2 PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" HIGH MUSCO LIGHT STANDARD, (12 TOTAL).
- 3 PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" MUSCO LIGHT STANDARD, (6 TOTAL).
- 4 PROPOSED VZW CUSTOM CMU BLOCK WALL EQUIPMENT ENCLOSURE WITH CHAIN LINK TOPPER PAINTED AND TEXTURED TO MATCH EXISTING CMU WALL.
- 5 PROPOSED PERFORATED SHROUD, OPEN AT TOP.
- 6 EXISTING CHAIN LINK FENCE.
- 7 EXISTING CMU WALL WITH CHAIN LINK EXTENSION.
- 8 EXISTING LIGHT POLE, TYPICAL.
- 9 PROPOSED VZW 100'-0" HIGH MUSCO LIGHT STANDARD.
- 10 EXISTING STADIUM LIGHT STANDARD TO BE REMOVED, CUT EXISTING CAISSON 36" BELOW GRADE, RETURN POLE TO SAN DIEGO UNIFIED SCHOOL DISTRICT AND PATCH TO ORIGINAL CONDITION.

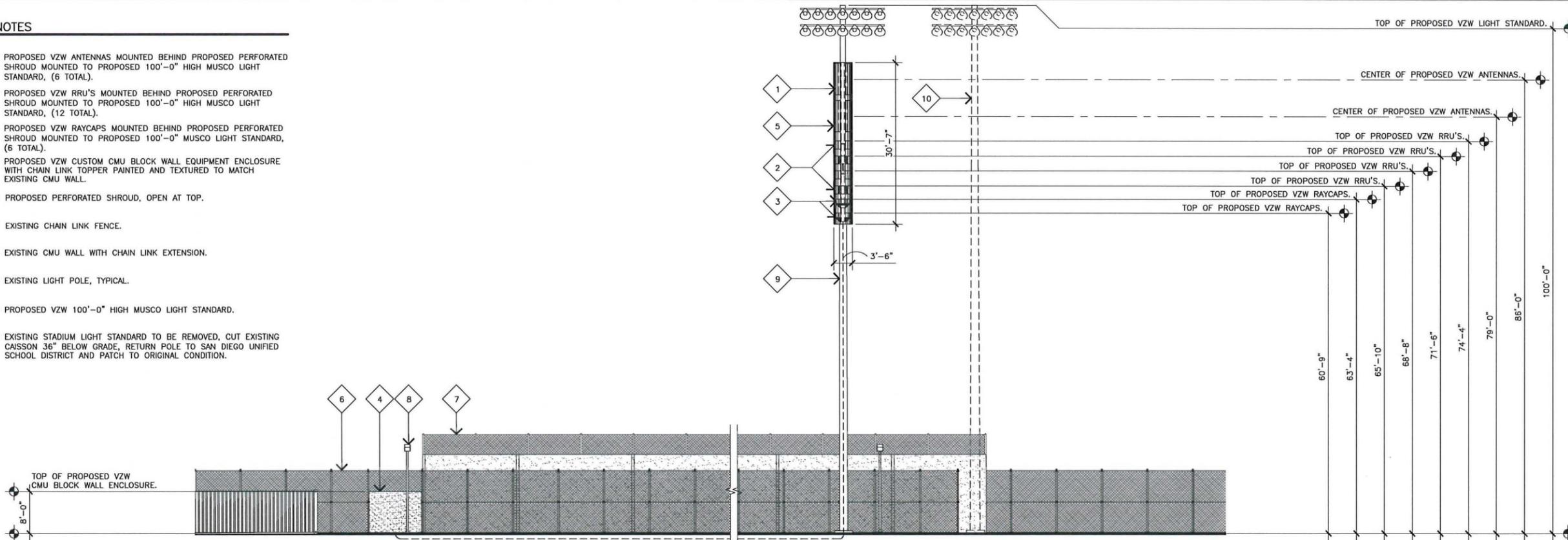


SOUTH ELEVATION

SCALE: 3/32"=1'-0" 0 3' 6' 12' **2**

KEYNOTES

- 1 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" HIGH MUSCO LIGHT STANDARD, (6 TOTAL).
- 2 PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" HIGH MUSCO LIGHT STANDARD, (12 TOTAL).
- 3 PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" MUSCO LIGHT STANDARD, (6 TOTAL).
- 4 PROPOSED VZW CUSTOM CMU BLOCK WALL EQUIPMENT ENCLOSURE WITH CHAIN LINK TOPPER PAINTED AND TEXTURED TO MATCH EXISTING CMU WALL.
- 5 PROPOSED PERFORATED SHROUD, OPEN AT TOP.
- 6 EXISTING CHAIN LINK FENCE.
- 7 EXISTING CMU WALL WITH CHAIN LINK EXTENSION.
- 8 EXISTING LIGHT POLE, TYPICAL.
- 9 PROPOSED VZW 100'-0" HIGH MUSCO LIGHT STANDARD.
- 10 EXISTING STADIUM LIGHT STANDARD TO BE REMOVED, CUT EXISTING CAISSON 36" BELOW GRADE, RETURN POLE TO SAN DIEGO UNIFIED SCHOOL DISTRICT AND PATCH TO ORIGINAL CONDITION.



NORTH ELEVATION

SCALE: 3/32"=1'-0" 0 3' 6' 12' **1**

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P1	08/19/15	90% ZD'S	IB
P2	09/11/15	95% ZD'S	IB
P3	09/18/15	100% ZD'S	IB
P4	10/02/15	100% ZD'S	IB
P5	10/14/15	100% ZD'S	IB
P6	11/17/15	100% ZD'S	IB
P7	07/18/16	100% ZD'S	IB
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P9	02/21/17	POLE RE-DESIGN	IB



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IRVINE, CA 92618



WINTERWOOD
10810 PARKDALE AVENUE
SAN DIEGO, CA 92126

SHEET TITLE:
ELEVATIONS

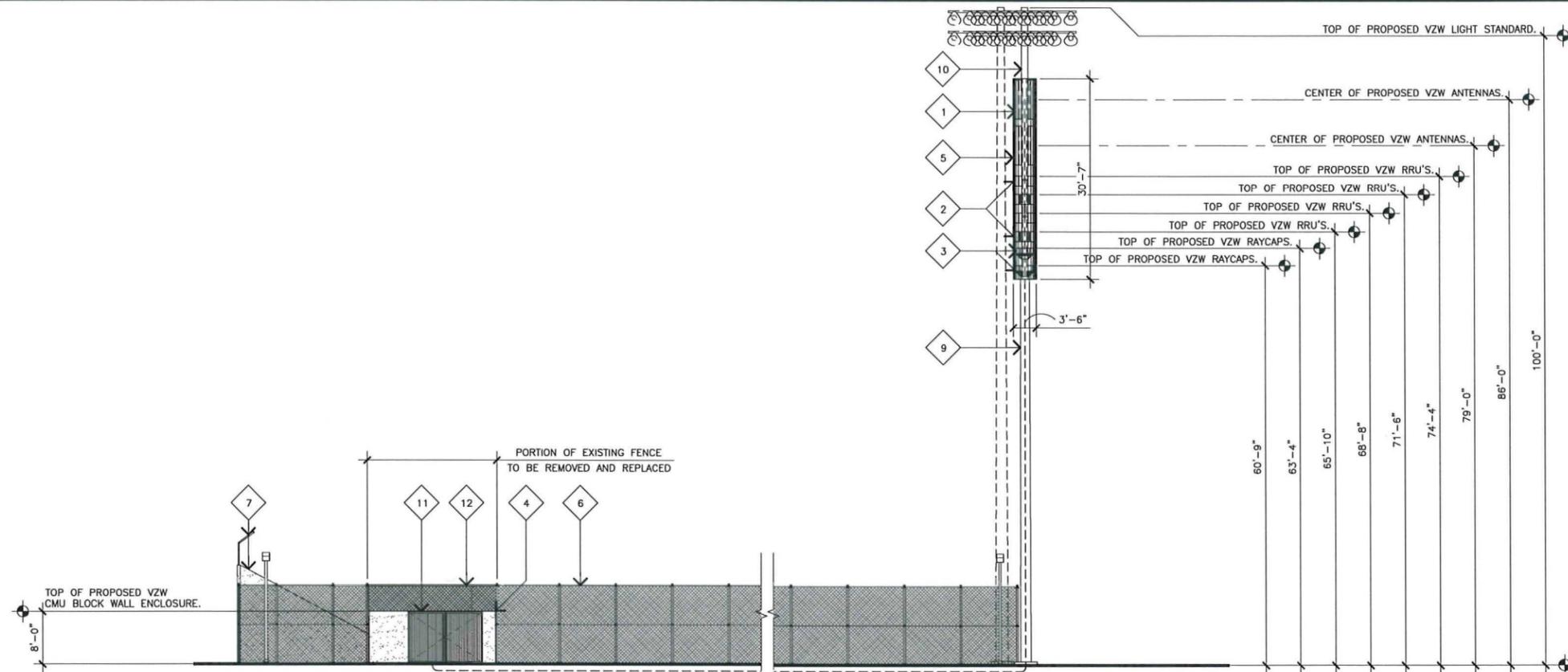
A-2

NOTE: THE ORIGINAL SIZE OF THE PLANS IS 36" X 48". SCALE (BARS) IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

JIRA JOB NUMBER: 150623

KEYNOTES

- 1 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" HIGH MUSCO LIGHT STANDARD, (6 TOTAL).
- 2 PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" HIGH MUSCO LIGHT STANDARD, (12 TOTAL).
- 3 PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" MUSCO LIGHT STANDARD, (6 TOTAL).
- 4 PROPOSED VZW CUSTOM CMU BLOCK WALL EQUIPMENT ENCLOSURE WITH CHAIN LINK TOPPER PAINTED AND TEXTURED TO MATCH EXISTING CMU WALL.
- 5 PROPOSED PERFORATED SHROUD, OPEN AT TOP.
- 6 EXISTING CHAIN LINK FENCE.
- 7 EXISTING CMU WALL WITH CHAIN LINK EXTENSION (BEYOND).
- 8 EXISTING LIGHT POLE, TYPICAL.
- 9 PROPOSED VZW 100'-0" HIGH MUSCO LIGHT STANDARD.
- 10 EXISTING STADIUM LIGHT STANDARD TO BE REMOVED, CUT EXISTING CAISSON 36" BELOW GRADE, RETURN POLE TO SAN DIEGO UNIFIED SCHOOL DISTRICT AND PATCH TO ORIGINAL CONDITION.
- 11 PROPOSED VZW SOLID METAL ACCESS DOORS.
- 12 PROPOSED CHAIN LINK FENCE ABOVE PROPOSED VZW CMU WALL TO MATCH EXISTING FENCE.



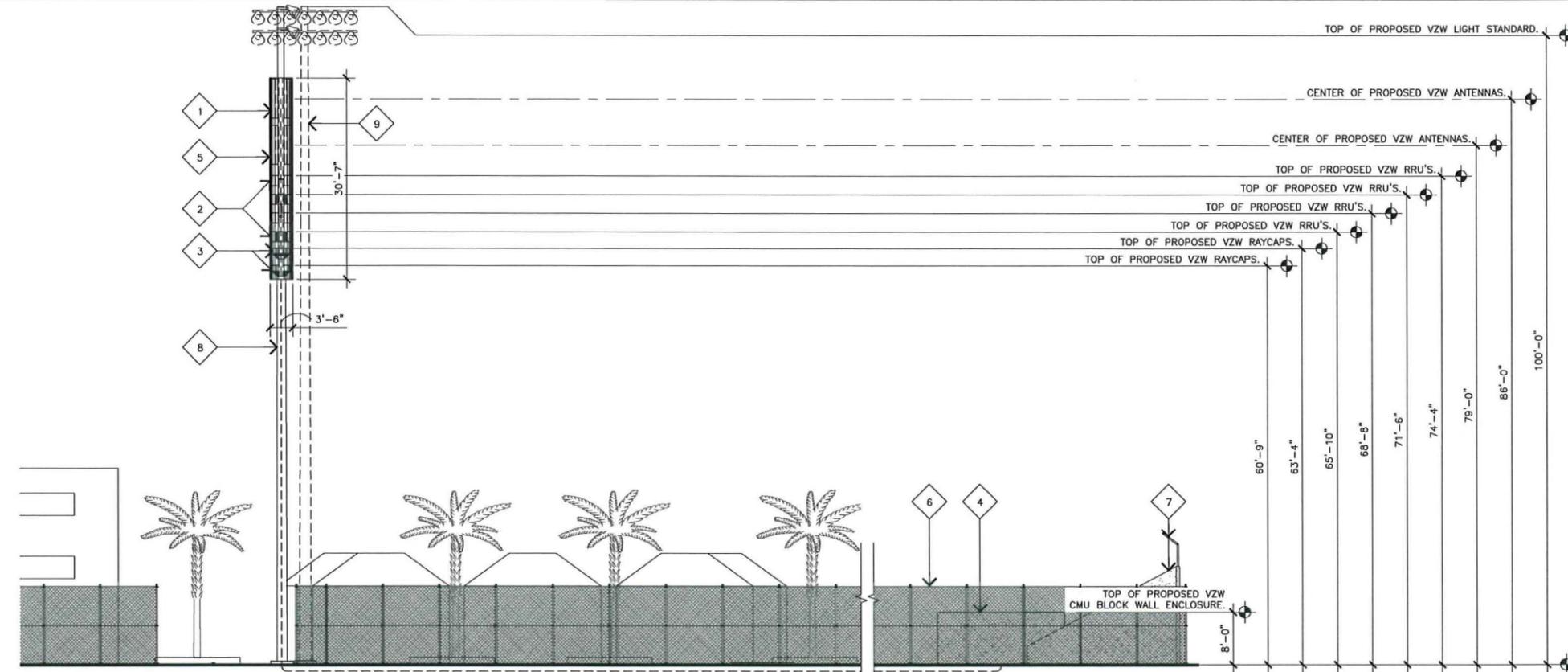
EAST ELEVATION

SCALE: 3/32"=1'-0" 0 3' 6' 12'

2

KEYNOTES

- 1 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" HIGH MUSCO LIGHT STANDARD, (6 TOTAL).
- 2 PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" HIGH MUSCO LIGHT STANDARD, (12 TOTAL).
- 3 PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 100'-0" MUSCO LIGHT STANDARD, (6 TOTAL).
- 4 PROPOSED VZW CUSTOM CMU BLOCK WALL EQUIPMENT ENCLOSURE WITH CHAIN LINK TOPPER PAINTED AND TEXTURED TO MATCH EXISTING CMU WALL.
- 5 PROPOSED PERFORATED SHROUD, OPEN AT TOP.
- 6 EXISTING CHAIN LINK FENCE.
- 7 EXISTING CMU WALL WITH CHAIN LINK EXTENSION (BEYOND).
- 8 PROPOSED VZW 100'-0" HIGH MUSCO LIGHT STANDARD.
- 9 EXISTING STADIUM LIGHT STANDARD TO BE REMOVED, CUT EXISTING CAISSON 36" BELOW GRADE, RETURN POLE TO SAN DIEGO UNIFIED SCHOOL DISTRICT AND PATCH TO ORIGINAL CONDITION.



WEST ELEVATION

SCALE: 3/32"=1'-0" 0 3' 6' 12'

1

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P1	08/19/15	90% ZD'S	IB
P2	09/11/15	95% ZD'S	IB
P3	09/16/15	100% ZD'S	IB
P4	10/02/15	100% ZD'S	IB
P5	10/14/15	100% ZD'S	IB
P6	11/17/15	100% ZD'S	IB
P7	07/16/16	100% ZD'S	IB
P8	09/07/16	POLE RE-DESIGN	IB
P9	02/21/17	POLE RE-DESIGN	IB

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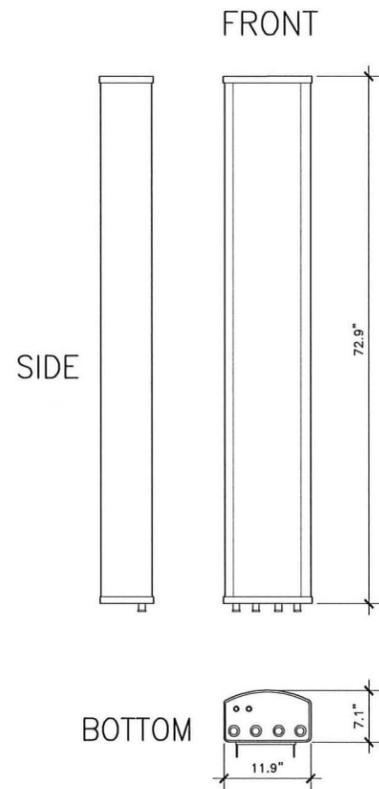
WINTERWOOD
 10810 PARKDALE AVENUE
 SAN DIEGO, CA 92126

SHEET TITLE:
ELEVATIONS

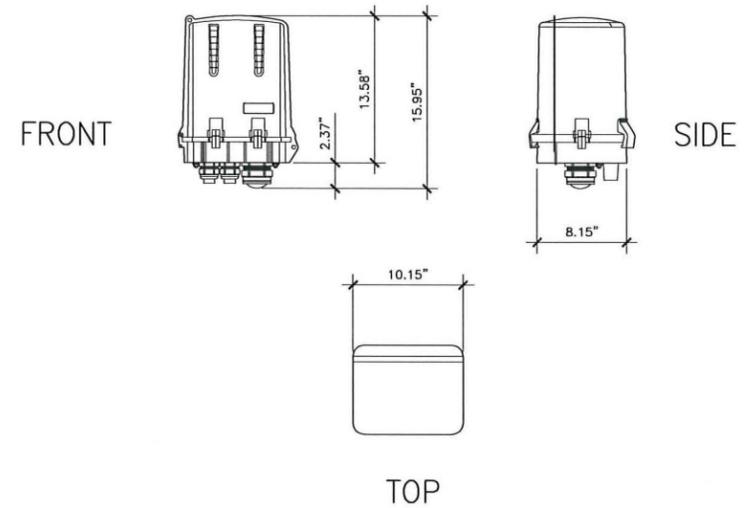
A-2.1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 30" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

ANTENNA MATERIAL: GRP
 ANTENNA COLOR: LIGHT GREY
 DIMENSIONS, HxWxD: (72.9"x11.9"x7.1")
 WEIGHT: 40.6 lbs
 WIND LOAD: 617.7 N @ 150 km/h
 138.9 lbf @ 150 km/h



COLOR: GRAY
 DIMENSIONS, HxWxD: 15.95"x10.15"x8.15"
 WEIGHT: 14.0 lbs



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P1	08/19/15	90% ZD'S	IB
P2	09/11/15	95% ZD'S	IB
P3	09/16/15	100% ZD'S	IB
P4	10/02/15	100% ZD'S	IB
P5	10/14/15	100% ZD'S	IB
P6	11/17/15	100% ZD'S	IB
P7	07/16/16	100% ZD'S	IB
P8	09/07/16	POLE RE-DESIGN	IB
P9	02/21/17	POLE RE-DESIGN	IB



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15505 SAND CANYON AVENUE, D1
 IRVINE, CA 92618



WINTERWOOD
 10810 PARKDALE AVENUE
 SAN DIEGO, CA 92126

SHEET TITLE:
EQUIPMENT DETAILS

A-3

JIRA JOB NUMBER: 150623

ANTENNA SPECIFICATIONS

SCALE: NONE **6**

NOT USED

SCALE: NONE **4**

RAYCAP

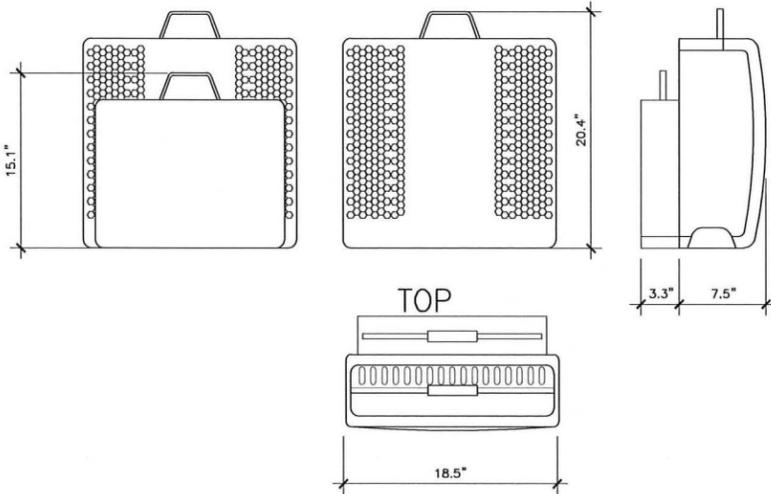
SCALE: NONE **2**

COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: 18.5"Hx20.4"Wx7.5"D
 WEIGHT: 58.0 LBS.

FRONT

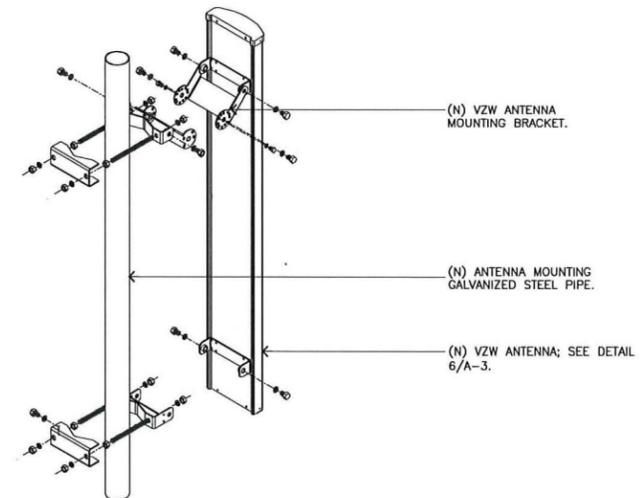
BACK

SIDE



NOTES:

1. ALL (N) STEEL TO BE HOT-DIPPED GALVANIZED.
2. SEE ANTENNA MANUFACTURER SPECS FOR COMPLETE ANTENNA AND BRACKET SPECIFICATIONS.



RRUS SPECIFICATIONS

SCALE: NONE **5**

NOT USED

SCALE: NONE **3**

ANTENNA / RRU / MOUNTING

SCALE: NONE **1**

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P1	08/19/15	90% ZD'S	IB
P2	09/11/15	95% ZD'S	IB
P3	09/16/15	100% ZD'S	IB
P4	10/02/15	100% ZD'S	IB
P5	10/14/15	100% ZD'S	IB
P6	11/17/15	100% ZD'S	IB
P7	07/16/16	100% ZD'S	IB
P8	09/07/16	POLE RE-DESIGN	IB
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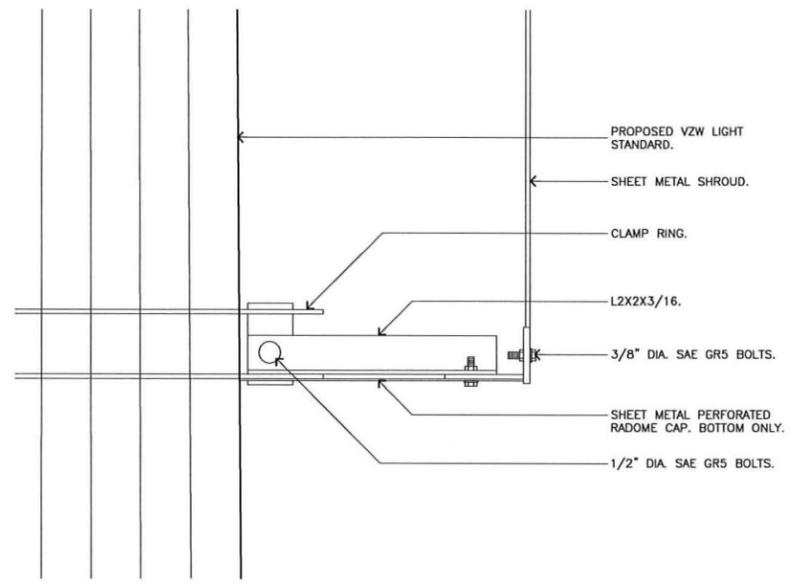
15505 SAND CANYON AVENUE, D1
 IRVINE, CA 92618



WINTERWOOD
 10810 PARKDALE AVENUE
 SAN DIEGO, CA 92126

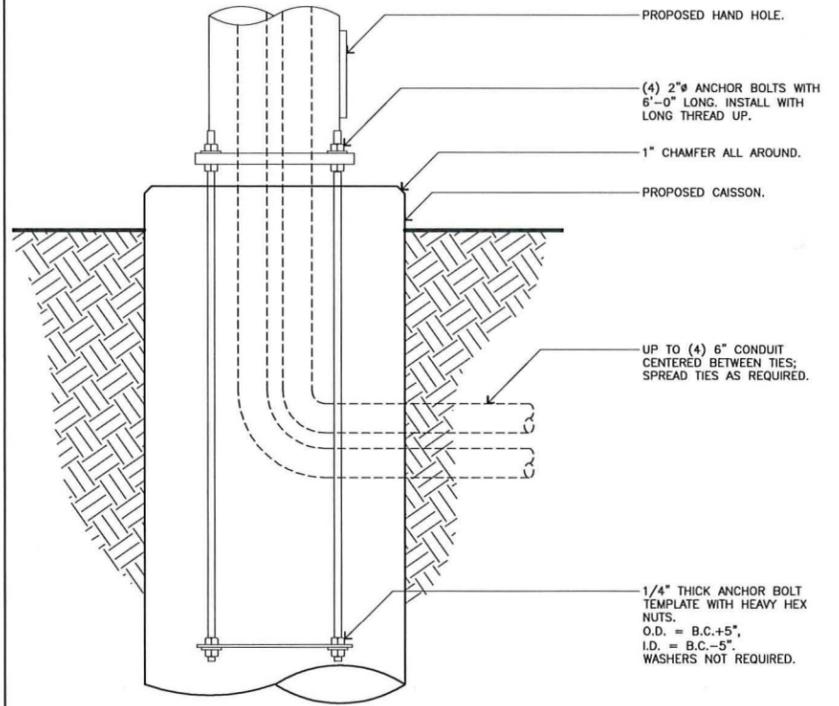
SHEET TITLE:
EQUIPMENT DETAILS

A-4



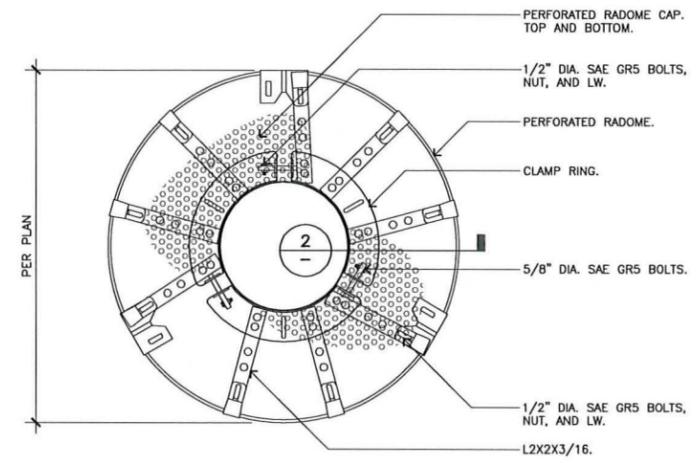
RADOME DETAIL - SECTION

SCALE:
 NONE **2**



CONDUIT ROUTE AT FOUNDATION

SCALE:
 NONE **4**



RADOME DETAIL - PLAN

SCALE:
 NONE **1**

NOT USED

SCALE:
 NONE **5**

NOT USED

SCALE:
 NONE **4**

NOT USED

SCALE:
 NONE **4**

CONDUIT ROUTE AT FOUNDATION

SCALE:
 NONE **3**

RADOME DETAIL - PLAN

SCALE:
 NONE **1**

NOTE: THE ORIGINAL SIZE OF THE PLANS IS 24\"/>

JRA JOB NUMBER: 150623



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings
8/7/2017



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8/7/2017

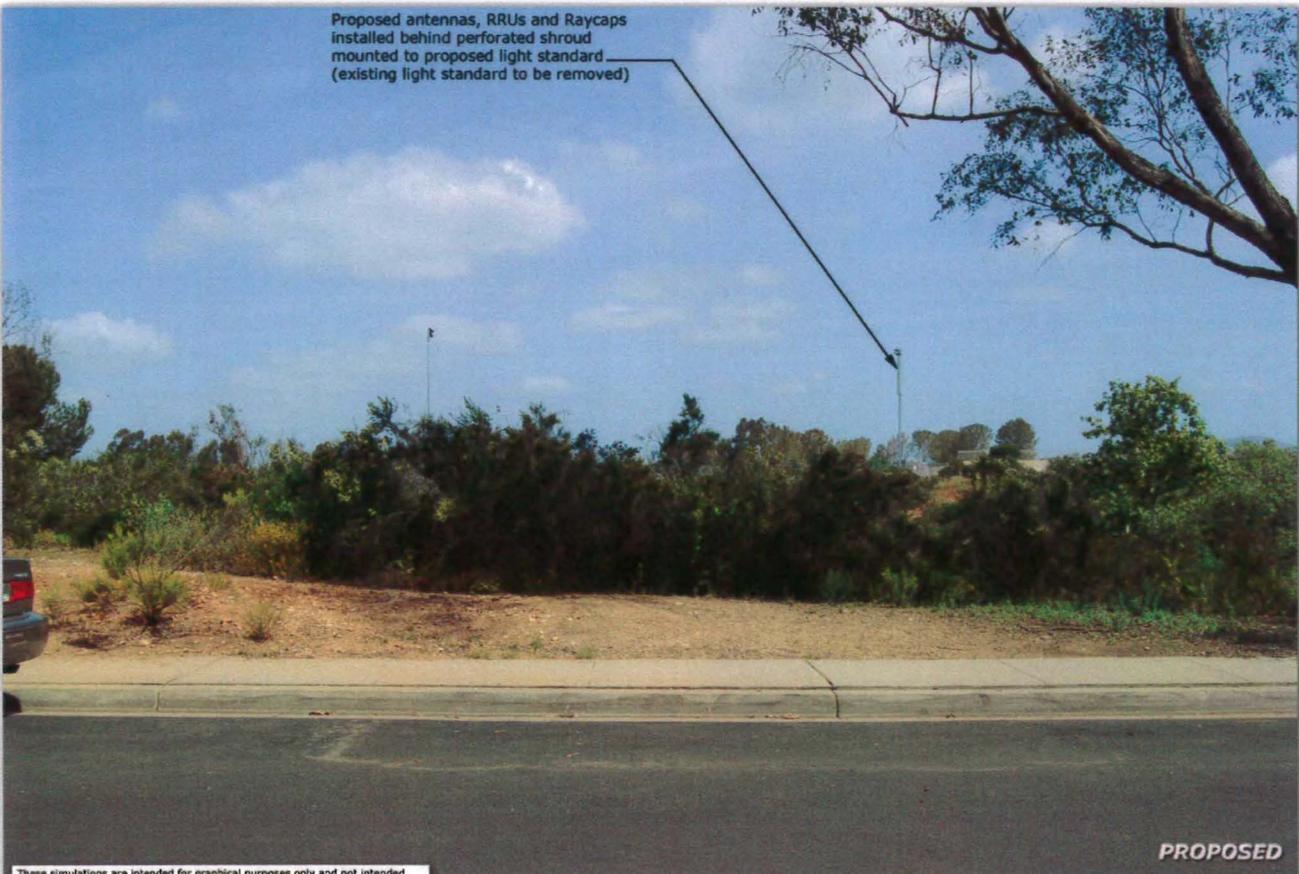


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8/7/2017

EXISTING



Proposed antennas, RRUs and Raycaps
installed behind perforated shroud
mounted to proposed light standard
(existing light standard to be removed)



PROPOSED