



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 25, 2018 REPORT NO. HO-18-048

HEARING DATE: August 1, 2018

SUBJECT: CHEROKEE SOUTH LOT SDP/TM - Process Three Decision

PROJECT NUMBER: [548558](#)

OWNER/APPLICANT: Bryan and Karina Jones, Owners/Brett Farrow, Applicant

SUMMARY

Issues: Should the Hearing Officer approve a Site Development Permit and Tentative Map to allow the subdivision of a 0.16-acre site into three single-family residential lots and the development of one new residential unit, with two existing residential units to remain, at 4044-4046 Cherokee Avenue, in the RM-1-2 and Central Urbanized Planned District CT-5-4 zones, within the City Heights neighborhood of the Mid-City Communities Plan?

Staff Recommendations:

1. Approve Tentative Map No. 1946071.
2. Approve Site Development Permit No. 1946072.

Community Planning Group Recommendation: On January 4, 2018, the City Heights Area Planning Committee voted 12-2 to recommend approval of the project with no conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303(b) (New Construction) and 15315 (Minor Land Divisions). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 21, 2018, and the opportunity to appeal that determination ended June 4, 2018.

BACKGROUND

The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District (CUPD) CT-5-4 zone. Both zones allow for multi-family development with up to three units allowed onsite.

The site is located in the City Heights neighborhood of the Mid-City Communities Plan, which designates the site for multi-family residential development at a density of 16-20 dwelling units per acre, or three units allowed onsite. The site is located in the Federal Aviation Administration (FAA) Part 77 Noticing Area, San Diego International Airport Influence Review Area 2, Transit Area Overlay Zone and is within a Transit Priority Area. The level, graded site is located in a developed, urban neighborhood, surrounded on all sides by similar residential development and is served by existing water, sewer, gas and electrical utility infrastructure.

The site is currently developed with two detached one-story residential units. The three-bedroom unit which fronts on Cherokee Avenue is 968 square feet and was built in 1929. The one-bedroom unit adjacent to the alley at the rear of the site is 631 square feet and was built in 1960. City staff reviewed the project site and determined the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, no historical research report was required.

DISCUSSION

The project would retain the two existing residential units and construct one additional unit, for a total of three units onsite. The new three-story, two-bedroom, 1,131-square-foot unit would include an attached two-car garage and would be located at the middle of the site between the two existing units, with alley access. A total of five parking spaces are required for the three units and five spaces are provided. As proposed the project complies with all setback, height, floor area ratio, landscape and exterior open space requirements and no deviations are requested. The three units proposed comply with the Mid-City Communities Plan land use designation and the RM-1-2 and CT-5-4 zone requirements for development type and density.

The applicant is requesting the approval of a Tentative Map (TM), per San Diego Municipal Code (SDMC) Section [125.0410](#) to allow the subdivision of two parcels into three residential lots. Lot 1 would be 3,167 square feet and contain the existing three-bedroom unit; Lot 2 would be 2,325 square feet and contain the new two-bedroom unit and Lot 3 would be 1,508 square feet and contain the existing one-bedroom unit. The project is considered a small lot subdivision and therefore requires approval of a Site Development Permit (SDP) in accordance with SDMC section [143.0365](#), "Supplemental Site Development Permit Regulations for Small Lot Subdivisions". As proposed and conditioned, staff recommends approval of the requested TM and SDP as the project complies with all required San Diego Municipal Code and State Subdivision Map Act requirements.

There are existing overhead utility lines serving the project, which are located offsite in the alley right-of-way opposite the project site. SDMC Section [144.0240](#) allows the subdivider to apply for a waiver from the requirement to underground existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined that the requested waiver qualifies under the guidelines of SDMC Section [144.0242\(c\)\(1\)\(B\)](#) as the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. Notwithstanding the requested waiver, the project is required to underground any new service run to any new or proposed structures within the subdivision per the Tentative Map Conditions (Attachment 7). The City's Undergrounding Master Plan designates the site within Block 301, which is currently allocated for project funding in 2046.

CONCLUSION

City staff has reviewed the application for a SDP and TM and has determined that the application is consistent with the Mid-City Communities Plan land use designation and development regulations in effect for this site per the SDMC and the State Subdivision Map Act. Staff recommends that the Hearing Officer approve the SDP and TM, including a waiver of the requirement to underground the existing offsite overhead utilities.

ALTERNATIVES

1. Approve Tentative Map No. 1946071 and Site Development Permit No. 1946072, with modifications.
2. Deny Tentative Map No. 1946071 and Site Development Permit No. 1946072, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Paul Godwin, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution
5. Draft Permit Conditions
6. Draft Map Resolution
7. Draft Map Conditions
8. Environmental Exemption
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans and Map Exhibit

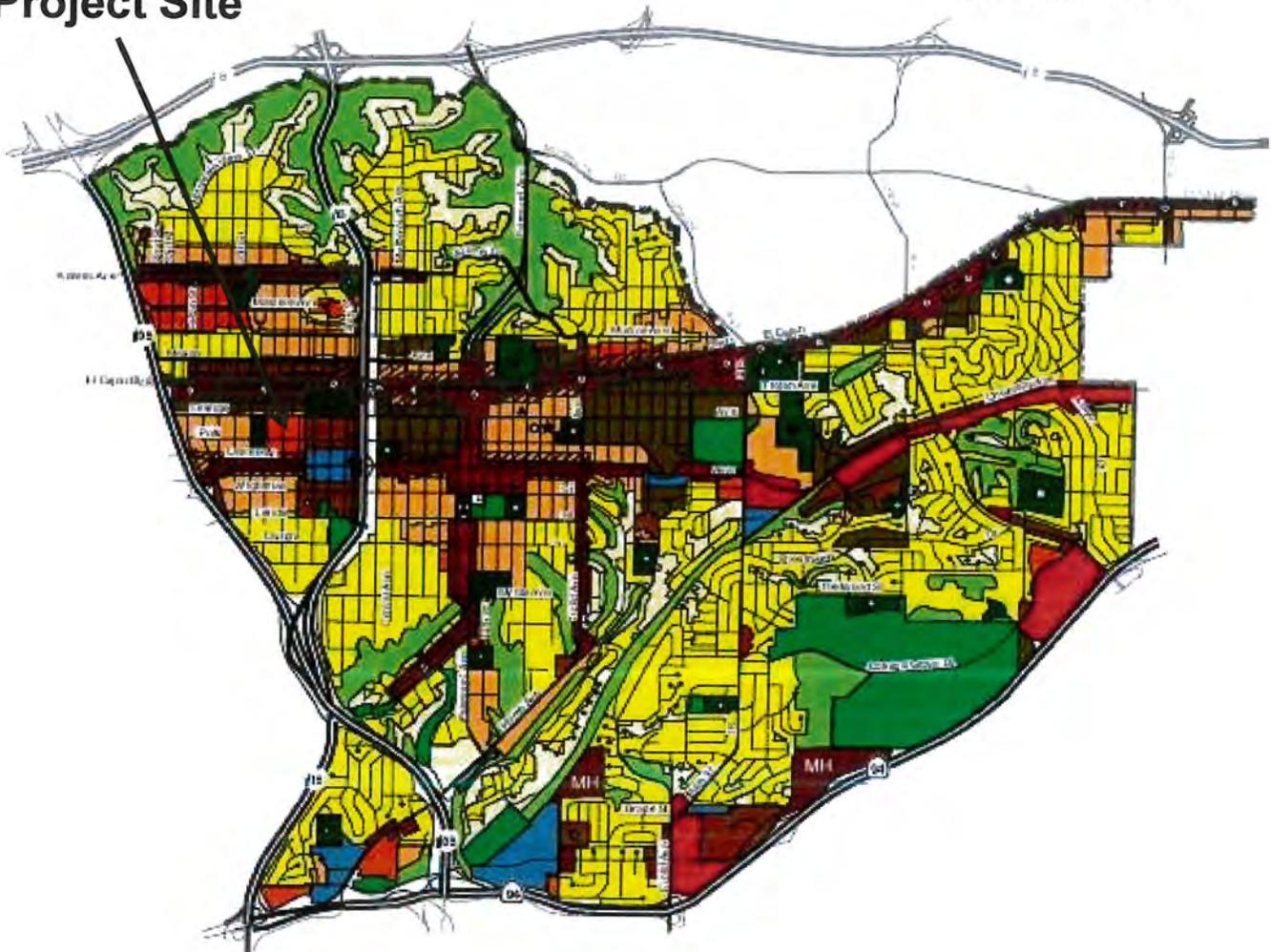


Project Location Map

Cherokee South Lot SDP – TM / 4044 and 4046 Cherokee Avenue
PROJECT NO. 548558



Project Site



Land Use Legend

- | | |
|--|--|
| <ul style="list-style-type: none"> Residential 1-5 du/ac 6-10 du/ac 11-15 du/ac 16-20 du/ac 21-25 du/ac 26-30 du/ac MH Mobile Home Park Commercial/Residential Transition Zone Commercial and Mixed Use C 29 du/ac* D 73 du/ac E 35 du/ac* F 19 du/ac* G 9 du/ac | <ul style="list-style-type: none"> Industrial Institutional School Elementary J Junior High H High School Park Open Space ▲ Fire Station ★ Police Station L Library P Post Office |
|--|--|

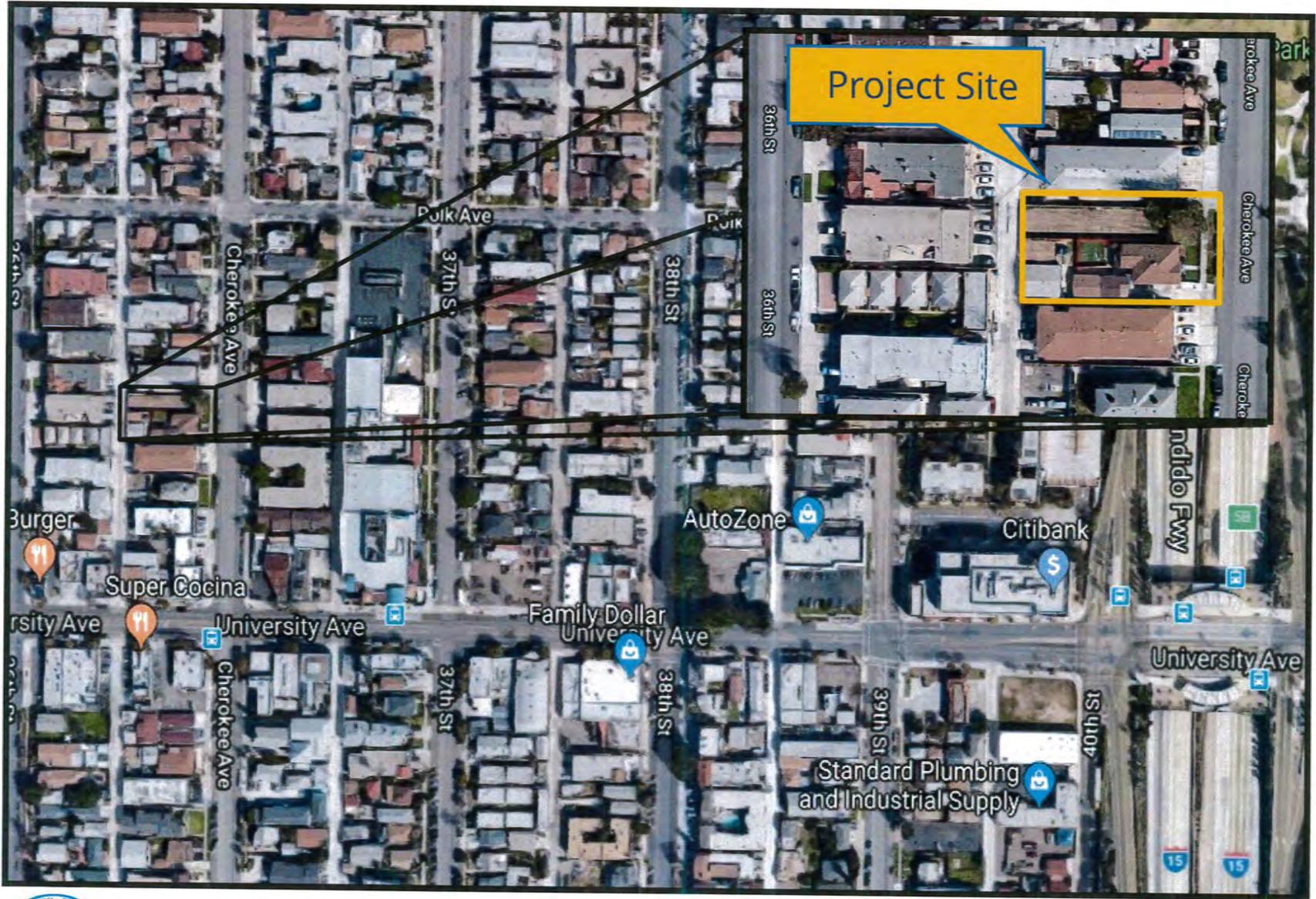
*In areas where residential use is permitted, a mixed-use bonus to 49 du/ac is available



Land Use Map

Cherokee South Lot SDP - TM/ 4044 and 4046 Cherokee Avenue
PROJECT NO. 548558





Aerial Photo

Cherokee South Lot SDP - TM / 4044 and 4046 Cherokee Avenue
PROJECT NO. 548558



HEARING OFFICER
RESOLUTION NO. [REDACTED]
SITE DEVELOPMENT PERMIT No. 1946072
CHEROKEE SOUTH LOT SDP/TM - PROJECT NO. 548558

WHEREAS, BRYAN AND KARINA JONES, Owners/Permittees, filed an application with the City of San Diego for a Site Development Permit (Small Lot Subdivision) for the subdivision of two parcels into three single-family residential lots and the development of one new single-family unit, with two existing single-family units to remain (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1946072) on portions of a 0.16-acre site;

WHEREAS, the project site is located at 4044-4046 Cherokee Avenue in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, within the City Heights neighborhood of the Mid-City Communities Plan;

WHEREAS, the project site is legally described as Lots 35 and 36, Block 35 of City Heights, City and County of San Diego, Map No. 1007, recorded on October 3, 1906;

WHEREAS, on May 21, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15303(b) (New Construction) and 15315 (Minor Land Divisions) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on August 1, 2018, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1946072, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 1, 2018.

Site Development Permit Findings – SDMC Section 126.0501

1. The proposed development will not adversely affect the applicable land use plan.

The proposed development would subdivide two parcels into three residential lots, with the development of one new single-family unit and two existing single-family units to remain. The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, which allow for the development of three residential units onsite. The development is consistent with the Mid-City Communities Plan land use designation, with allows up to three dwelling units onsite. The development is also consistent with the General Plan land use designation for residential development.

The proposed development is consistent with the Community Plan recommendation to encourage new market rate housing in a variety of types, sizes and costs to meet the needs of residents in all socio-economic brackets. Unit sizes would range 631 to 1,131 square feet with lot sizes between 1,508 and 3,137 square feet, providing for a variety of sizes and costs. The development is also consistent with the Community Plan recommendation to retain existing single-family development and neighborhood scale and character by retaining the single-story home built in 1929 as the primary site feature as viewed from the Cherokee Avenue frontage. Therefore, the proposed project will not adversely affect the Mid-City Communities Plan or the General Plan of the City of San Diego.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development would subdivide two parcels into three residential lots, with the development of one new single-family unit and two existing single-family units to remain. The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, which allow for the development of three residential units onsite. The development is consistent with the Mid-City Communities Plan land use designation, which allows up to three dwelling units onsite.

The level, graded site contains two existing residential units and is located in a developed, urban neighborhood. The site is surrounded on all sides by similar residential development and is served by existing water, sewer, gas and electrical utility infrastructure. Access is provided by the developed Cherokee Avenue right-of-way at the front which includes curb, gutter and sidewalk. A paved alley provides access along the rear of the site. An existing previously conforming driveway provides parking for the existing three-bedroom unit fronting on Cherokee Avenue. The project is conditioned to reconstruct the existing driveway on Cherokee and damaged portions of the curb, gutter and sidewalk, to current City standards.

The proposed development has been designed to conform with the City of San Diego codes, policies and regulations whose primary focus is the protection of the public's health, safety and welfare. Ministerial construction permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code, seismic requirements, and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. In addition, the proposed development demonstrates compliance with fire protection and life safety requirements.

The permit for the project includes conditions of approval and exhibits to achieve project compliance with the SDMC regulations applicable to this project. Conditions of approval require the review of all construction plans by professional staff to ensure the development will comply with all relevant uniform building and permitting requirements. Construction inspections, including final inspection and certificate of occupancy issuance are required to assure construction permits are implemented in accordance with the approved plans and will comply with all regulations. Additionally, the project was determined to be categorically exempt from review under the California Environmental Quality Act. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed subdivision would subdivide two parcels into three residential lots, with the development of one new single-family unit and two existing single-family units to remain. The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, which allow for the development of three residential units onsite. The project was reviewed by City staff and as proposed complies with all applicable development regulations including setbacks, height, floor area ratio, landscape, parking and open space requirements, including San Diego Municipal Code (SDMC) Section 143.0365, "Supplemental Site Development Permit Regulations for Small Lot Subdivisions". No deviation requests are included with this application.

Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1946072 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1946072, a copy of which is attached hereto and made a part hereof.

Paul Godwin
Development Project Manager
Development Services

Adopted on: August 1, 2018

IO#: 24007295

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007295

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1946072
CHEROKEE SOUTH LOT SDP/TM - PROJECT NO. 548558
HEARING OFFICER

This Site Development Permit No. 1946072 is granted by the Hearing Office of the City of San Diego to Bryan and Karina Jones, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] section 143.0365. The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, within the City Heights neighborhood of the Mid-City Communities Plan. The project site is legally described as Lots 35 and 36, Block 35 of City Heights, City and County of San Diego, Map No. 1007, recorded on October 3, 1906;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees for the subdivision of two parcels into three single-family residential lots and the development of one new single-family unit with two existing single-family units to remain, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 1, 2018, on file in the Development Services Department.

The project shall include:

- a. Existing 968-square-foot, one-story, three-bedroom, single-family unit built in 1929 fronting on Cherokee Avenue to remain;
- b. Existing 631-square-foot, one-story, one-bedroom, single-family unit built in 1960 adjacent to the alley to remain;
- c. Construction of a new 1,131-square-foot, three-story, single-family unit with attached two-car garage;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 15, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

12. Prior to receiving the first residential building permit the Owner/Permittee shall comply with the provisions of the Inclusionary Affordable Housing Regulations in Chapter 14, Article 2, Division 13 of the San Diego Municipal Code by making payment to the City of San Diego for the full Inclusionary Affordable Housing Fee set forth in the Inclusionary Affordable Housing Regulations.

ENGINEERING REQUIREMENTS:

13. The project proposes to export four cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
14. The drainage system proposed for this development, as shown on the grading plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 13.6-foot wide driveway, adjacent to the site on Cherokee Avenue, satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Cherokee Avenue, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the curb and gutter with current City Standard curb and gutter, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains in the Cherokee Avenue Right-of-Way.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-sq.ft. area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

22. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-sq.ft. area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

23. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

25. Owner/Permittee shall maintain a minimum of five off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENTS:

28. Prior to the issuance of any construction permits (either grading or building permits), the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addressed the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of Development services prior to the issuance of any construction permit.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

29. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
30. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
31. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
32. The Owner/Permittee shall provide CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single unit or lot.
33. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
34. Prior to Final Inspection, all public water and sewer facilities, if required shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

TRANSPORTATION REQUIREMENTS:

35. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
36. Prior to any work starting in the City street right-of-way, the applicant shall apply for a "Public Right-of-Way Permit for Traffic Control."

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

ATTACHMENT 5

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 1, 2018, and [Approved Resolution Number].

ATTACHMENT 5

Site Development Permit No. 1946072
August 1, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Paul Godwin
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By _____
Bryan Jones
Owner/Permittee

By _____
Karina Jones
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NUMBER R-_____
TENTATIVE MAP NO. 1946071
CHEROKEE SOUTH LOT SDP/TM - PROJECT NO. 548558

WHEREAS, Bryan and Karina Jones, Subdividers, and Vincent L. Sampo, Surveyor, submitted an application to the City of San Diego for Tentative Map No. 1946071, for the subdivision of a 0.16-acre site into three single-family residential lots, including a waiver of the requirement to underground existing offsite overhead utilities. The project site is located at 4044-4046 Cherokee Avenue in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, within the Mid-City Communities Plan. The property is legally described as Lots 35 and 36, Block 35 of City Heights, City and County of San Diego, Map No. 1007, recorded on October 3, 1906; and

WHEREAS, the Map proposes the Subdivision of a 0.16-site into three (3) lots for residential development; and

WHEREAS, on May 21, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Sections 15303(b) (New Construction) and 15315 (Minor Land Divisions); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on August 1, 2018, the Hearing Officer of the City of San Diego considered Tentative Map No. 1946071, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section 125.0440 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1946071:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The applicant is requesting the approval of a Tentative Map to allow for the subdivision of two parcels into three residential lots, with the development of one new single-family unit and two existing single-family units to remain. The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, which allow for the development of three residential units onsite. The subdivision is consistent with the Mid-City Communities Plan land use designation, with allows up to three residential units onsite. The subdivision is also consistent with the General Plan land use designation for residential development.

The proposed subdivision is consistent with the Community Plan recommendation to encourage new market rate housing in a variety of types, sizes and costs to meet the needs of residents in all socio-economic brackets. Unit sizes would range 631 to 1,131 square feet with lot sizes between 1,508 and 3,137 square feet, providing for a variety of sizes and costs. The subdivision is also consistent with the Community Plan recommendation to retain existing single-family development and neighborhood scale and character by retaining the single-story home built in 1929 as the primary site feature as viewed from the Cherokee Avenue frontage. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The applicant is requesting approval of a Tentative Map to allow for the subdivision of two parcels into three residential lots, with the development of one new single-family unit and two existing single-family units to remain.

The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, which allow for the development of three residential units onsite. The project was reviewed by City staff and as proposed complies with all applicable development regulations including lot dimensions/size, setbacks, height, floor area ratio, landscape, parking and open space requirements, including San Diego Municipal Code (SDMC) Section 143.0365, "Supplemental Site Development Permit Regulations for Small Lot Subdivisions". No deviation requests are included with this application.

There are existing overhead utility lines serving the project site, which are located offsite in the alley right-of-way opposite the project site. SDMC Section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined that the requested waiver qualifies under the guidelines of SDMC Section 144.0242(c)(1)(B) as the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. Notwithstanding the requested waiver, the project is required to underground any new service run to any new or proposed structures within the subdivision.

Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

3. The site is physically suitable for the type and density of development.

The applicant is requesting approval of a Tentative Map to allow for the subdivision of two parcels into three residential lots, with the development of one new single-family unit and two existing single-family units to remain. The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, which allow for the development of three residential units onsite. The site is located in the Mid-City Communities Plan, which designates the site for multi-family residential development at a density of 16-20 dwelling units per acre, or three units allowed onsite.

The level, graded site contains two existing residential units and is located in a developed, urban neighborhood. The site is surrounded on all sides by similar residential development and is served by existing water, sewer, gas and electrical utility infrastructure. Access is provided by the developed Cherokee Avenue right-of-way at the front which includes curb, gutter and sidewalk. A paved alley provides access along the rear of the site. An existing previously conforming driveway provides parking for the existing three-bedroom unit fronting on Cherokee Avenue. The site is not located in a flood zone and does not contain nor is adjacent to any environmentally sensitive resources or Multiple Habitat Planning Area (MHPA) lands. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The level, graded site contains two existing residential units and is located in a developed, urban neighborhood, surrounded on all sides by similar residential development.

The site does not contain nor is adjacent to any environmentally sensitive resources, Multiple Habitat Planning Area (MHPA) lands or existing fish or wildlife habitats. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The applicant is requesting approval of a Tentative Map to allow for the subdivision of two parcels into three residential lots, with the development of one new single-family unit and two existing single-family units to remain. The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, which allow for the development of three residential units onsite. The site is located in the Mid-City Communities Plan, which designates the site for multi-family residential development at a density of 16-20 dwelling units per acre, or three units allowed onsite.

The level, graded site contains two existing residential units and is located in a developed, urban neighborhood. The site is surrounded on all sides by similar residential development and is served by existing water, sewer, gas and electrical utility infrastructure. Access is provided by the developed Cherokee Avenue right-of-way at the front which includes curb, gutter and sidewalk. A paved alley provides access along the rear of the site. An existing previously conforming driveway provides parking for the existing three-bedroom unit fronting on Cherokee Avenue. The project is conditioned to reconstruct the existing driveway on Cherokee and damaged portions of the curb, gutter and sidewalk, to current City standards.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code and other regulations governing construction, continued operation and health/life/safety requirements apply to this project. The project is in compliance with the SDMC and the State Subdivision Map Act and includes conditions and exhibits to ensure the provision of adequate parking, public improvements and compliance with the Land Development Code. The subdivision is categorically exempt from review under the California Environmental Quality Act. Therefore, the design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

There are no existing easements acquired by the public at large for access through or use of the property within the proposed subdivision, as reflect in Tentative Map No. 1946071.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed subdivision will not impede or inhibit any future passive or natural heating and cooling opportunities. The new residential unit is three stories and the two existing units are one story with setbacks and offsets provided as required by the SDMC. Each structure contains exposed elevations to ensure passive cooling through cross-ventilation of the interior spaces.

Each unit will have the opportunity through building material, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible or future passive or natural heating and cooling opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The applicant is requesting approval of a Tentative Map to allow for the subdivision of two parcels into three residential lots, with the development of one new single-family unit and two existing single-family units to remain. The 0.16-acre site is located at 4044-4046 Cherokee Avenue, in the RM-1-2 zone and Central Urbanized Planned District CT-5-4 zone, which allow for the development of three residential units onsite. The site is located in the Mid-City Communities Plan, which designates the site for multi-family residential development at a density of 16-20 dwelling units per acre, or three units allowed onsite.

All applicable Developer Impact Fees (DIF), school fees, water/sewer connection fees, affordable housing fees and other impact fees, will be paid at building permit issuance in accordance with the City's Public Facilities Financing Plan and Impact Fee Schedule. The project site is served by existing public infrastructure, including, water, sewer, electrical and gas lines.

Impacts to available environmental resources would be avoided as the level, graded site contains two existing residential units and is located in a developed, urban neighborhood, surrounded on all sides by similar residential development. The site does not contain nor is adjacent to any environmentally sensitive resources, Multiple Habitat Planning Area (MHPA) lands or existing fish or wildlife habitats.

The decision maker has reviewed the administrative record including the project plans, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map No. 1946071, including the waiver of the requirement to underground existing offsite overhead utilities, is hereby granted to Bryan and Karina Jones, subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Paul Godwin
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24007295

HEARING OFFICER
CONDITIONS FOR TENTATIVE MAP NO. 1946071
ADOPTED BY RESOLUTION NO. R-_____ ON AUGUST 1, 2018
CHEROKEE SOUTH LOT SDP/TM - PROJECT NO. 548558

GENERAL

1. This Tentative Map will expire August 15, 2021.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The Tentative Map shall conform to the provisions of Site Development Permit No. 1946072.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

6. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
7. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
8. The Subdivider shall provide a letter, agreeing to prepare a CC&Rs for any cross drainage that traverse more than a single parcel.

9. The Subdivider shall record a Declaration of Covenants and Reservation of Easements for the Shared Access Easement for the two project sites currently held by the same owner. The Declaration of Covenants and Reservation of Easements shall state: Since the Mutual Access Easement agreement is private and not a public issue, The City of San Diego is not responsible for any dispute that might arise in the future between the private parties.
10. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

11. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
12. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.
13. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.
14. All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.

PUBLIC UTILITIES DEPARTMENT

15. The Subdivider shall grant private water and sewer easements for all cross-lot private water and sewer services from one lot to another, as shown on the approved Exhibit "A".

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24007295

NOTICE OF EXEMPTION

ATTACHMENT 8

(Check one or both)

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Cherokee South Lot SDP/TM

Project No. / SCH No.: 548558 / N/A

Project Location-Specific: 4044 & 4046 Cherokee Avenue

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A Site Development Permit and Tentative Map for a small lot subdivision to keep two existing dwelling units, construct one dwelling unit totaling 1,611 square feet and subdivide Lots 35 & 36 of Map 1007 into three lots. The 0.16-acre site is located in the CUPD-CT-5-4 zones of the Mid City; City Heights Community Plan are within Council District 9.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Brett Farrow
125 Mozart Avenue
Cardiff, CA, 92007

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Section 15303(b) New Construction & Section 15315 Minor Land Divisions

Reasons why project is exempt: The project has been determined to be exempt from CEQA pursuant to Section 15303(b) New Construction. Section 15303(a) consists of construction and location of limited numbers of new, small facilities or structures. This exemption includes a duplex or similar multi-family residential structure, totaling no more than four dwelling units. Section 15315 consists of the division of property in urbanized areas zoned for residential use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore this exemption is applicable to the proposed project.

Lead Agency Contact Person: Jessica Madamba

Telephone: (619) 446-5445

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Mark Roth / Senior Planner
Signature/Title

5/17/2018
Date

Check One:

- Signed By Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or OPR:



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

ATTACHMENT 9 Community Planning Committee Distribution Form Part 2

Project Name: Cherokee South Lot SDP/TM	Project Number: 548558	Distribution Date: 12/20/2017
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Project Scope/Location:
 MID CITY-CITY HEIGHTS: (Process 3) Site Development Permit and Tentative Map for a small lot subdivision to keep two existing dwelling units, construct one dwelling unit totaling 1,611 sq-ft and subdivide Lots 35 & 36 of Map 1007 into 3 lots. The 0.16-acre site is located at 4044 and 4046 Cherokee Avenue in the CUPD-CT-5-4 zone(s) of the Mid City: City Heights Community Plan area within Council District 9.

Applicant Name: Brett Farrow	Applicant Phone Number:
--	--------------------------------

Project Manager: Paul Godwin	Phone Number: (619) 446-5190	Fax Number: (619) 321-3200	E-mail Address:
--	--	--------------------------------------	------------------------

Committee Recommendations (To be completed for Initial Review):

<input checked="" type="checkbox"/> Vote to Approve	Members Yes 12	Members No 2	Members Abstain CNU
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued

CONDITIONS:

NAME: Russ Connelly	TITLE: CHAIRMAN
SIGNATURE: <i>Russ Connelly</i>	DATE: 01/04/2018

Attach Additional Pages If Necessary.

Please return to:
 Project Management Division
 City of San Diego
 Development Services Department
 1222 First Avenue, MS 302
 San Diego, CA 92101

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other small lot subdivision

Project Title **Project No. For City Use Only**
 Cherokee Project- South Lot

Project Address:
 4044-4046 Cherokee Ave.

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Bryan Jones & KARIMA JONES
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 4027 Haines Street 5410 LA JOLLA BLVD, UNIT A103
 City/State/Zip:
 San Diego, CA 92109 LA JOLLA, CA 92037
 Phone No: (858) 869-3328 Fax No:
 Signature: Date: 7/19/18

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

NOTES:

- EXISTING ACCESS TO PROPOSED PARCEL 3 WILL BE FROM CHEROKEE AVENUE. PROPOSED PARCEL 1 AND PARCEL 2 WILL BE ACCESSED FROM ALLEY.
- A PRELIMINARY TITLE REPORT WAS PREPARED BY CHICAGO TITLE COMPANY DATED MARCH 24, 2017 AS ORDER NUMBER 23703264-PM. SAID REPORT WAS REVIEWED FOR EXISTING ON-SITE EASEMENTS. SAID TITLE REPORT REVEALED NO EXISTING EASEMENTS.
- DISTANCES SHOWN HEREON PER MAP 1007.
- EXISTING TOPOGRAPHY AND BOUNDARIES WAS PREPARED BY CLYBURN LAND SURVEYOR DATED 02/29/2016.
- ALL ON-SITE STORM DRAIN, DRAINAGE SWALES, AND BMP AREAS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- STORM WATER SHALL NOT BE ALLOWED TO POND ON SITE OR DRAIN TOWARD BUILDING FOUNDATIONS.
- UTILITY LINES SERVING THE SUBJECT PROPERTY SHALL BE INSTALLED UNDERGROUND.
- ALL WORK PROPOSED ON THIS PLAN IS ENTIRELY WITHIN THE APPLICANT'S PROPERTY. IF ANY DISTURBANCE TO ADJACENT PROPERTIES IS ANTICIPATED AS A RESULT OF ANY PROPOSED WORK, OR AT THE DISCRETION OF THE CITY FIELD INSPECTOR, A WRITTEN LETTER OF PERMISSION FROM THE ADJACENT PROPERTY OWNER MUST BE OBTAINED AND SUBMITTED TO THE CITY PRIOR TO START OF ANY SUCH WORK. ANY DISTURBANCE ON THE ADJACENT PRIVATE PROPERTY THAT HAS NOT BEEN PREVIOUSLY AUTHORIZED IN WRITING AND SUBMITTED TO THE CITY IS GROUNDS FOR A STOP-WORK TO BE ISSUED FOR THE PROJECT UNTIL THE REQUIRED PERMISSION IS OBTAINED.
- CONCRETE SIDEWALK AND PATOS SHALL BE NOT LESS THAN 5" P.C.C. OVER 2" CLEAN SAND OVER RECOMPACTED NATIVE SUBGRADE SOIL, UNLESS DETERMINED OTHERWISE BY THE SOIL ENGINEER. JOINTS AND REINFORCEMENT PER SOIL ENGINEER.
- NEW AND EXISTING STORM DRAIN, SEWER, WATER, AND UTILITY PIPING SHOWN HEREON IS APPROXIMATE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
- ALL DRY UTILITIES SHOWN HEREON ARE APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO COORDINATE WITH SUGBE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO LOCATE EXISTING SEWER CLEANOUT AND SANITARY SEWER MAIN AND VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL GRADING SHALL BE SUPERVISED BY A GEOTECHNICAL ENGINEER WHO SHALL SUBMIT A FINAL COMPACTION REPORT AT PROJECT COMPLETION.
- NO WORK IS PROPOSED WITHIN A PUBLIC EASEMENT.
- RECONSTRUCT THE DAMAGED EXISTING CURB WITH CURRENT CITY STANDARD CURB AND GUTTER, ADJACENT TO THE SITE ON CHEROKEE AVENUE.
- THE DRIVEWAY SHALL BE RECONSTRUCTED TO CURRENT CITY STANDARDS, ADJACENT TO THE SITE ON CHEROKEE AVENUE.
- THE SUBDIVIDER SHALL RECORD A DECLARATION OF COVENANTS AND RESERVATION OF EASEMENTS FOR THE SHARED ACCESS EASEMENT FOR THE TWO PROJECT SITES CURRENTLY HELD BY THE SAME OWNER. SINCE THE MUTUAL ACCESS EASEMENT AGREEMENT IS PRIVATE AND NOT A PUBLIC ISSUE, THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR ANY DISPUTE THAT MIGHT ARISE IN THE FUTURE BETWEEN THE PRIVATE PARTIES.
- THE APPLICANT WILL BE REQUIRED TO REMOVE(KILL) AT THE WATER MAIN ANY EXISTING UNUSED WATER SERVICE.
- THE APPLICANT WILL BE REQUIRED TO CAP(ABANDON) AT THE PROPERTY LINE ANY EXISTING UNUSED SEWER LATERAL.
- A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A FIELD PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

STORM WATER QUALITY STATEMENT:
IMPERVIOUS AREAS CALCULATIONS:
 EXIST IMPERVIOUS AREAS = 4,116 SQ FT
 PROPOSED IMPERVIOUS AREAS = 3,716 SQ FT
 DECREASE IMPERVIOUS AREAS = 400 SQ FT

THIS PROJECT IS CLASSIFIED AS A "STANDARD DEVELOPMENT" PROJECT PER CITY OF SAN DIEGO STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST (DS-500).

GRADING AREA:
 GRADED AREA 0.04 [ACRES]
 CUT QUANTITIES 14 [CYD]
 FILL QUANTITIES 10 [CYD]
 EXPORT 4 [CYD]

TOTAL AMOUNT AREA TO BE GRADED 2,089 SF
 % OF TOTAL SITE 23%

RETAINING WALLS:
 LENGTH: N/A FEET
 HEIGHT: N/A FEET

KEY NOTES

DEMOLISH/PROTECT IN-PLACE

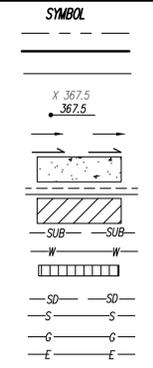
- DEMOLISH WALL
- DEMOLISH WOOD FENCE
- DEMOLISH CONCRETE SIDEWALK/WALK
- DEMOLISH CONCRETE SURFACE
- DEMOLISH AREA DRAIN
- DEMOLISH ELECTRICAL METER
- PROTECT PARKWAY IN-PLACE
- PROTECT AC PAVEMENT IN-PLACE
- PROTECT WOOD FENCE IN-PLACE
- PROTECT CONCRETE ALLEY IN-PLACE
- PROTECT CONCRETE DRIVEWAY IN-PLACE
- UNDERGROUND EXISTING OVERHEAD CATV AND TELEPHONE LINES
- DEMOLISH CURB AND GUTTER
- PROTECT PORCH IN-PLACE
- PROTECT STAIRS IN-PLACE
- PROTECT EXISTING RESIDENCE IN-PLACE
- PROTECT WALKWAY IN-PLACE
- PROTECT SEWER CLEANOUT IN-PLACE
- PROTECT WATER METER AND REUSE FOR A NEW WATER SERVICE
- PROTECT MONUMENTS IN-PLACE
- PROTECT SEWER LATERAL
- PROTECT GAS LINE/GAS METER IN-PLACE
- ABANDON WATER SERVICE

NEW IMPROVEMENTS

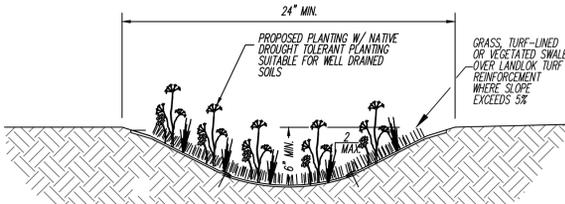
- PROPOSED A SINGLE RESIDENCE AND 2 CARS GARAGE
- PROPOSED PERMEABLE PAVEMENT PARKING SPACE
- PROPOSED PCC FLUSH CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE WALKWAY
- PROPOSED STEM WALL PER ARCHITECTS PLAN
- PROPOSED WATER HEATER PER ARCHITECTS PLAN
- PROPOSED GAS METER PER ARCHITECTS PLAN
- PROPOSED ELECTRICAL METER PER ARCHITECTS PLAN
- PROPOSED ROLLING TRASH CANS PER ARCHITECTS PLAN
- PROPOSED TRANSITION 6" PCC CURB TO EXISTING CURB HEIGHT OVER 3 FEET

UTILITIES

- PROPOSED 4" DIA. SEWER LATERAL TO RIGHT-OF-WAY
- PROPOSED TRENCH RESURFACING
- PROPOSED 4" DIA SEWER CLEANOUT
- PROPOSED 1" WATER INSTALLATION
- PRIVATE 4" DIA. PVC SEWER PIPE PER (SORS2-35) ON SITE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE UNDERGROUND
- PROPOSED WATER LINE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED WATER METER

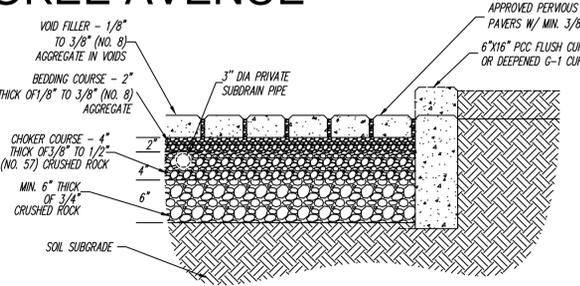


PRELIMINARY GRADING PLAN AND TENTATIVE MAP NO. 1946071 FOR 4044-4046 CHEROKEE AVENUE



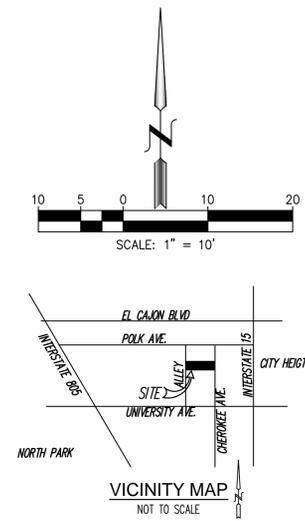
VEGETATED DRAINAGE SWALE (A)

NOTES:
 1. PLACE 3 ANCHORS PER SQUARE YARD OF MATERIAL.
 2. FOR GRASS OR TURF OPTION, INSTALL LANDLOCK TRM 450 TURF REINFORCEMENT MAT.



PERMEABLE PAVER DETAIL WITH CONCRETE EDGES (B)

NOTES:
 -ALL AGGREGATE MUST BE CLEAN/WASHED AND FREE OF FINES (SAND, SILT, ETC.)
 -THE PAVERS SHALL NOT BE SEALED ONCE THE VOID FILLER HAS BEEN ADDED
 -EACH COURSE SHALL BE VIBRATORY COMPACTED BEFORE PLACEMENT OF NEXT COURSE
 -NO IMPERVIOUS LINER OR FILTER FABRIC IS TO BE USED
 -SPECIAL APPROVAL REQUIRED FOR USE IN HIGHLY EXPANSIVE SOIL - SUBDRAIN MAY BE REQUIRED



OWNER'S CERTIFICATE
 WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP AND THAT SAID MAP SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. WE UNDERSTAND THAT PROPERTY IS CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY. WE HEREBY CONSENT TO THE FILING OF THIS TENTATIVE MAP.

BRYAN A JONES

KARINA JONES

SUBDIVIDER
 BRYAN AND KARINA JONES
 5820 OEBURN DRIVE
 SAN DIEGO, CA 92121

SITE ADDRESS:
 4044-4046 CHEROKEE AVENUE,
 SAN DIEGO, CA 92104.

LEGAL DESCRIPTION:
 LOT 35 AND 36 IN BLOCK 35 OF CITY HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1007, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 3, 1906.

ASSESSOR'S PARCEL NO.:
 447-411-22

LAMBERT COORDINATES:
 212-1733

NAD 83:
 02583 COORDS = 1852-6293

CALIFORNIA COORDINATES
 214-1737

TOTAL ACREAGE:
 EXISTING 0.16 GROSS, 0.16 AC. NET
EXISTING NUMBER OF PARCELS:
 2 PARCELS
PROPOSED NUMBER OF PARCELS:
 3 PARCELS
PROPOSED DENSITY:
 18.75 DU/NET AC.
AREA DEVOTED TO:
 MINIMUM NET PARCEL AREA: 1,508 SF
 MAXIMUM NET PARCEL AREA: 3,177 SF
 AVERAGE NET PARCEL AREA: 2,366 SF

GENERAL PLAN DESIGNATION:
 RESIDENTIAL

PRESENT ZONING REGULATIONS (CUPD-C1-5-4)
 DENSITY: 12.5 DU/AC. MAX.
 MIN. NET LOT AREA: 0.16 SF. NET
 FRONT YARD SETBACK: 15 FT.
 SIDE YARD SETBACK: 4 FT.
 REAR YARD SETBACK: 5 FT.

PRESENT USE:
 2 SINGLE FAMILY RESIDENCES

PROPOSED USE:
 3 SINGLE FAMILY RESIDENCES

ACCESS:
 FROM CHEROKEE AVENUE AND ALLEY

TOPOGRAPHY:
 THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM MICHAEL K. CLYBURN LAND SURVEYOR ON FEBRUARY 29, 2016

SLOPE ANALYSIS:
 EXISTING GRADE OF THE ENTIRE SITE IS LESS THAN 5% SLOPE

PLANNED DISTRICT:
 CENTRAL URBANIZED PLANNED DISTRICT CT-5-4

OVERLAY ZONE:
 FM-1-2

VERTICAL BENCHMARK:
 CITY OF SAN DIEGO BENCHMARK NEBP ON TOP OF CURB INLET (45" NLY)
 CHEROKEE AVENUE AND UNIVERSITY AVENUE.
 ELEVATION: 363.63 FT DATUM: MEAN SEA LEVEL

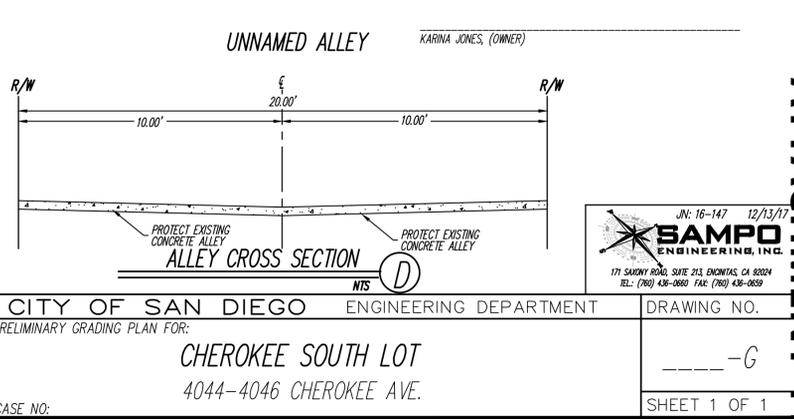
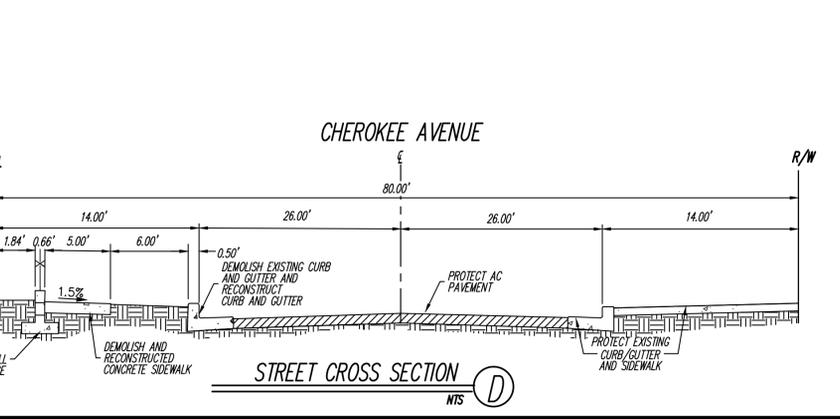
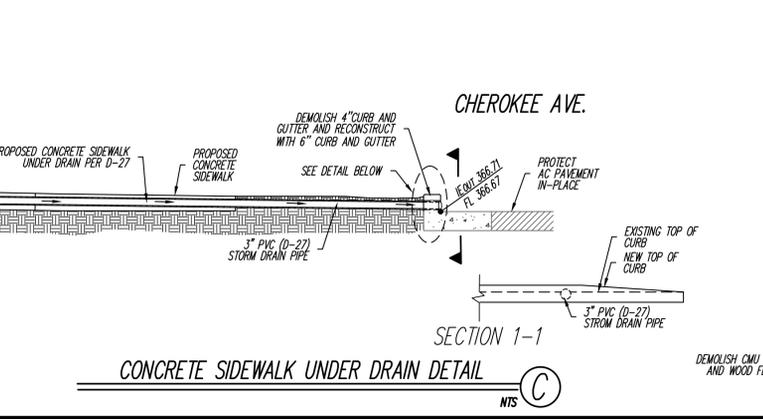
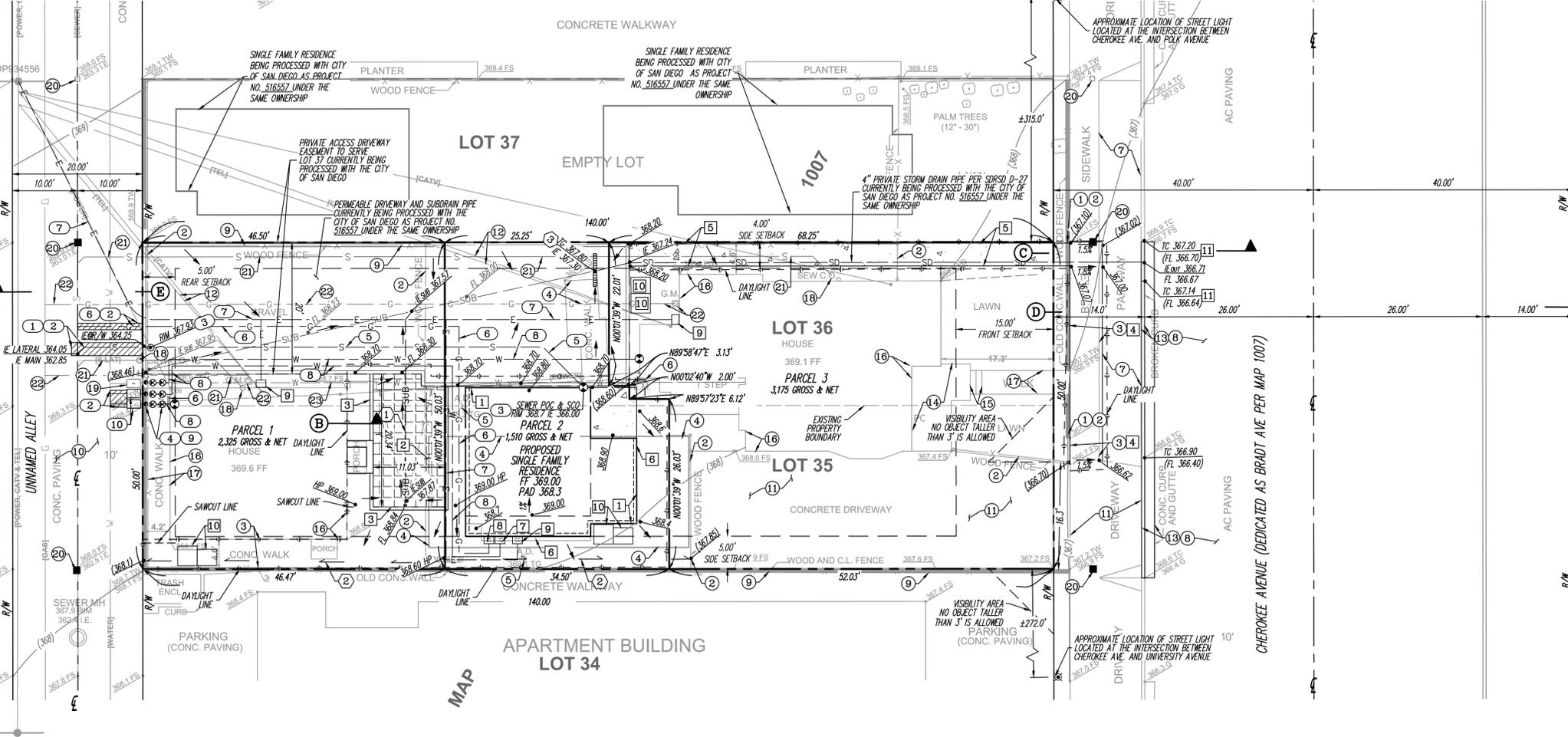
MAP PREPARED BY:
 SAMPO ENGINEERING, INC.
 171 SAKONY ROAD, SUITE 213
 ENCINITAS, CA 92024
 (760) 436-0860

VINCENT L. SAMPO, LS 7655

SUBDIVIDER'S CERTIFICATE
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BRYAN A. JONES, (OWNER)

KARINA JONES, (OWNER)



CITY OF SAN DIEGO ENGINEERING DEPARTMENT
 PRELIMINARY GRADING PLAN FOR:
CHEROKEE SOUTH LOT
 4044-4046 CHEROKEE AVENUE.

DRAWING NO. _____-G
 SHEET 1 OF 1

JN: 16-147 12/13/17
SAMPO ENGINEERING, INC.
 171 SAKONY ROAD, SUITE 213, ENCINITAS, CA 92024
 TEL: (760) 436-0860 FAX: (760) 436-0859

ATTACHMENT 1



ALL IDEAS, DESIGN ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF BRETT FARROW ARCHITECT, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BRETT FARROW ARCHITECT, INC.



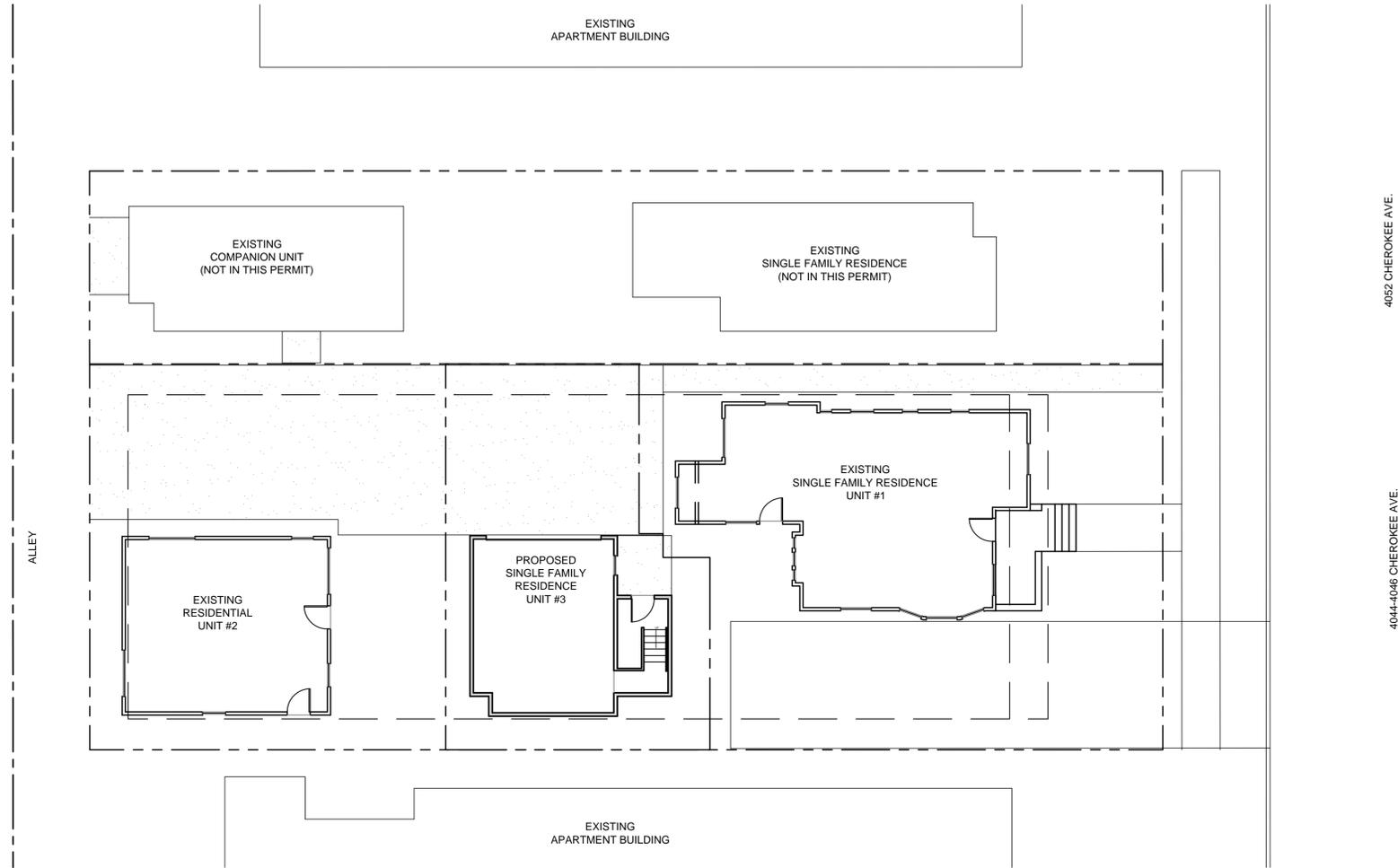
H SITE PHOTOS
A1.0 NO SCALE



G SITE PHOTOS
A1.0 NO SCALE



F SITE PHOTOS
A1.0 NO SCALE



1 PHOTO SITE SURVEY PLAN
A1.0 1/8"=1'-0"



E SITE PHOTOS
A1.0 NO SCALE



D SITE PHOTOS
A1.0 NO SCALE



A SITE PHOTOS
A1.0 NO SCALE



B SITE PHOTOS
A1.0 NO SCALE



C SITE PHOTOS
A1.0 NO SCALE

CHEROKEE PROJECT
SOUTH LOT
4044-4046 CHEROKEE AVE.
SAN DIEGO, CALIFORNIA 92104

DRAWN: BF
CHECKED: BF
SET ISSUED:
SUBMITTAL SET 08/14/17

PROJECT NO.: 1605.0

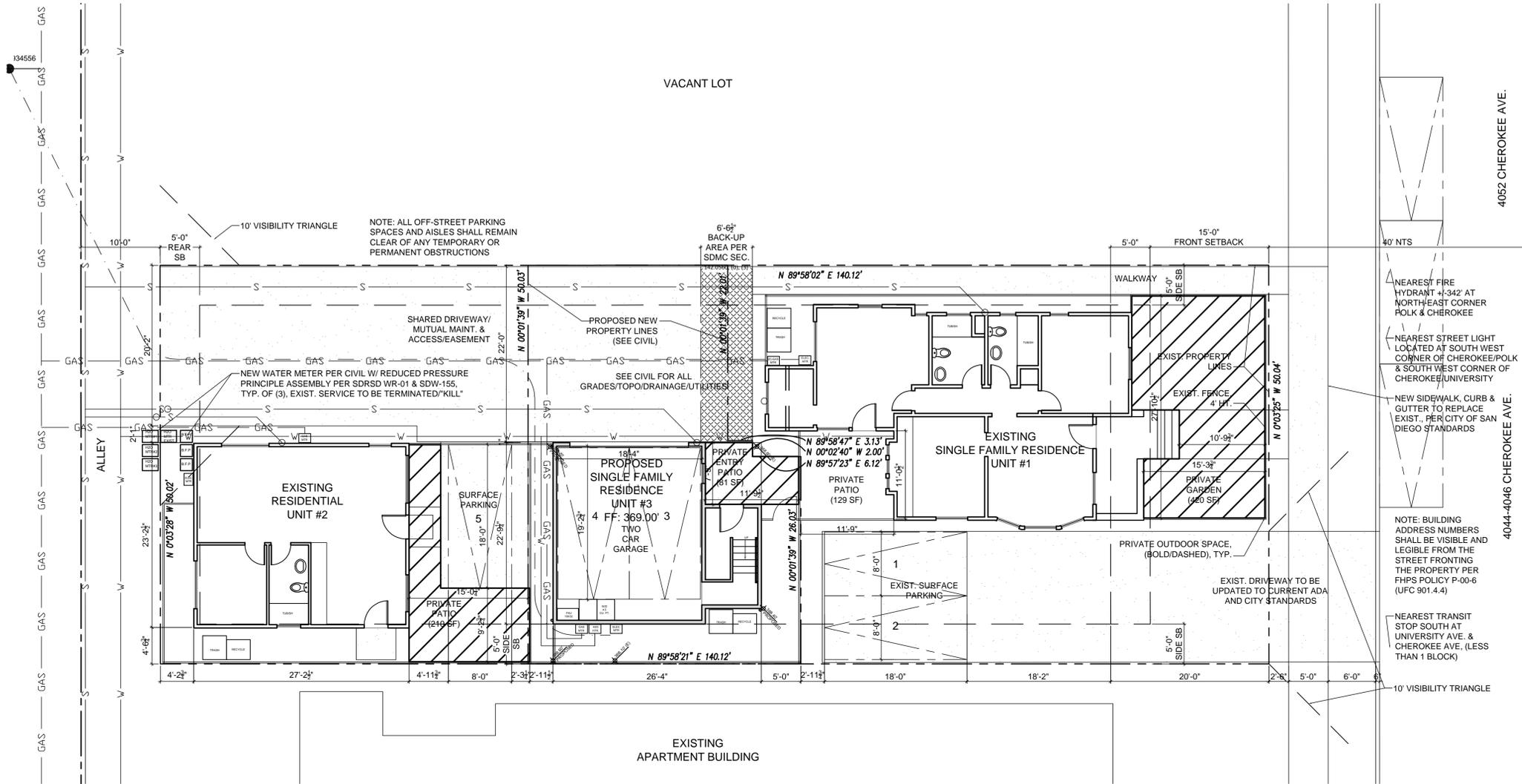
SHEET TITLE:
PHOTO SITE
SURVEY PLAN

CHEROKEE PROJECT SOUTH
SHEET NO.:



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**CHEROKEE PROJECT
SOUTH LOT**
4044-4046 CHEROKEE AVE.
SAN DIEGO, CALIFORNIA 92104



1 GROUND LEVEL SITE PLAN
A1.1 1/8"=1'-0"



SITE PLAN TYPICAL NOTES:

- 1.) SEE CIVIL ENGINEERING DRAWINGS FOR ALL GRADES, (PROPOSED & EXISTING), CONTOURS, SLOPES, UTILITIES AND BMP REQUIREMENTS/STORM WATER REQUIREMENTS.
- 2.) SEE CONCEPTUAL GRADING PLAN FOR EXISTING AND PROPOSED CONTOURS AND SPOT ELEVATIONS.
- 3.) RECONSTRUCT THE DAMAGED EXISTING CURB WITH CURRENT CITY STANDARD CURB AND GUTTER.
- 4.) RECONSTRUCT THE SIDEWALK, MAINTAINING THE EXISTING SIDEWALK SCORING PATTERN AND PRESERVING THE CONTRACTOR'S STAMP, ADJACENT TO THE SITE ON CHEROKEE AVE.
- 5.) DRIVEWAY SHALL BE RECONSTRUCTED TO CURRENT CITY STANDARDS, ADJACENT TO THE SITE ON CHEROKEE AVE.
- 6.) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1, (GRADING REGULATIONS), OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- 7.) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN, (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

DRAWN:	BF
CHECKED:	BF
SET ISSUED:	
SUBMITTAL SET	08/14/17
RE-SUBMITTAL SET	12/04/17
RE-SUBMITTAL SET	02/16/18
RE-SUBMITTAL SET	04/17/18

PROJECT NO.: 1605.01

SHEET TITLE:
GROUND LEVEL
SITE PLAN
EXISTING FLOOR PLANS

CHEROKEE PROJECT SOUTH
SHEET NO.:



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**CHEROKEE PROJECT
SOUTH LOT
4044-4046 CHEROKEE AVE.
SAN DIEGO, CALIFORNIA 92104**

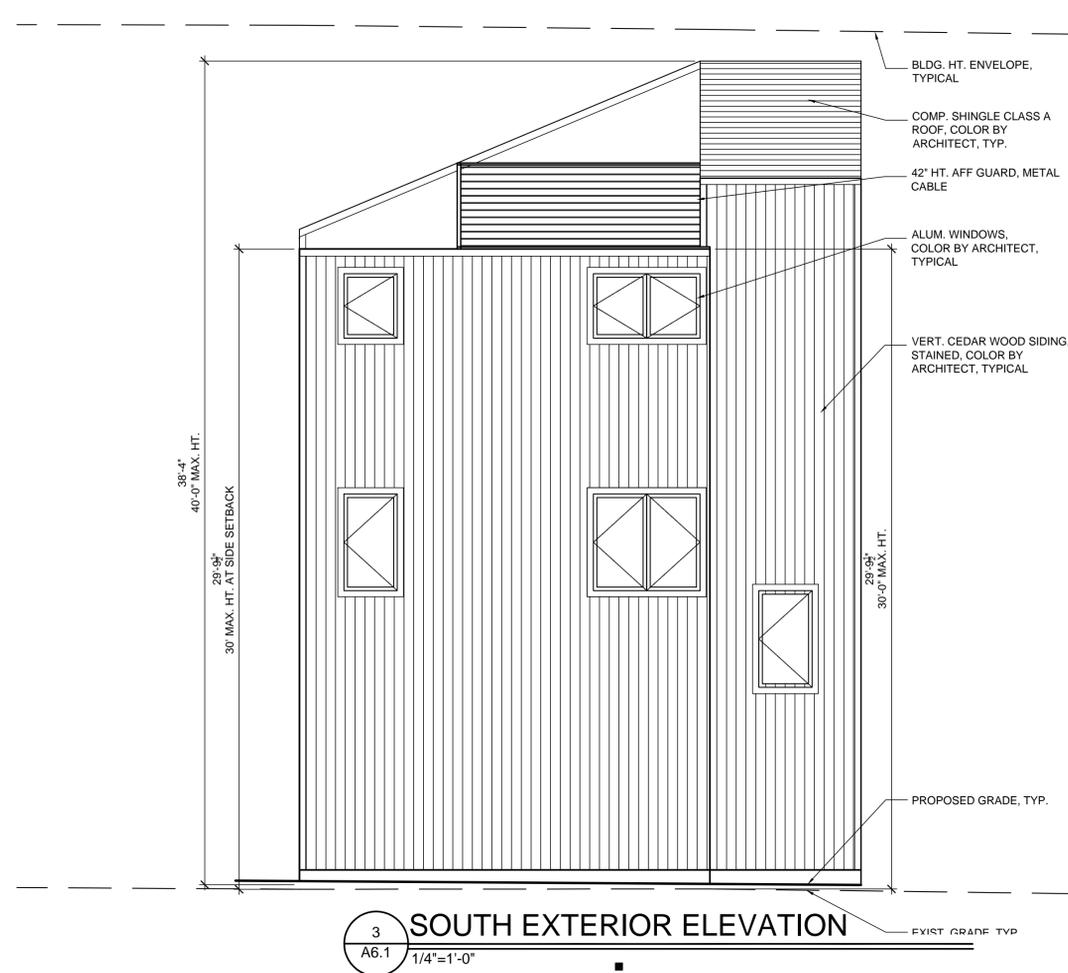
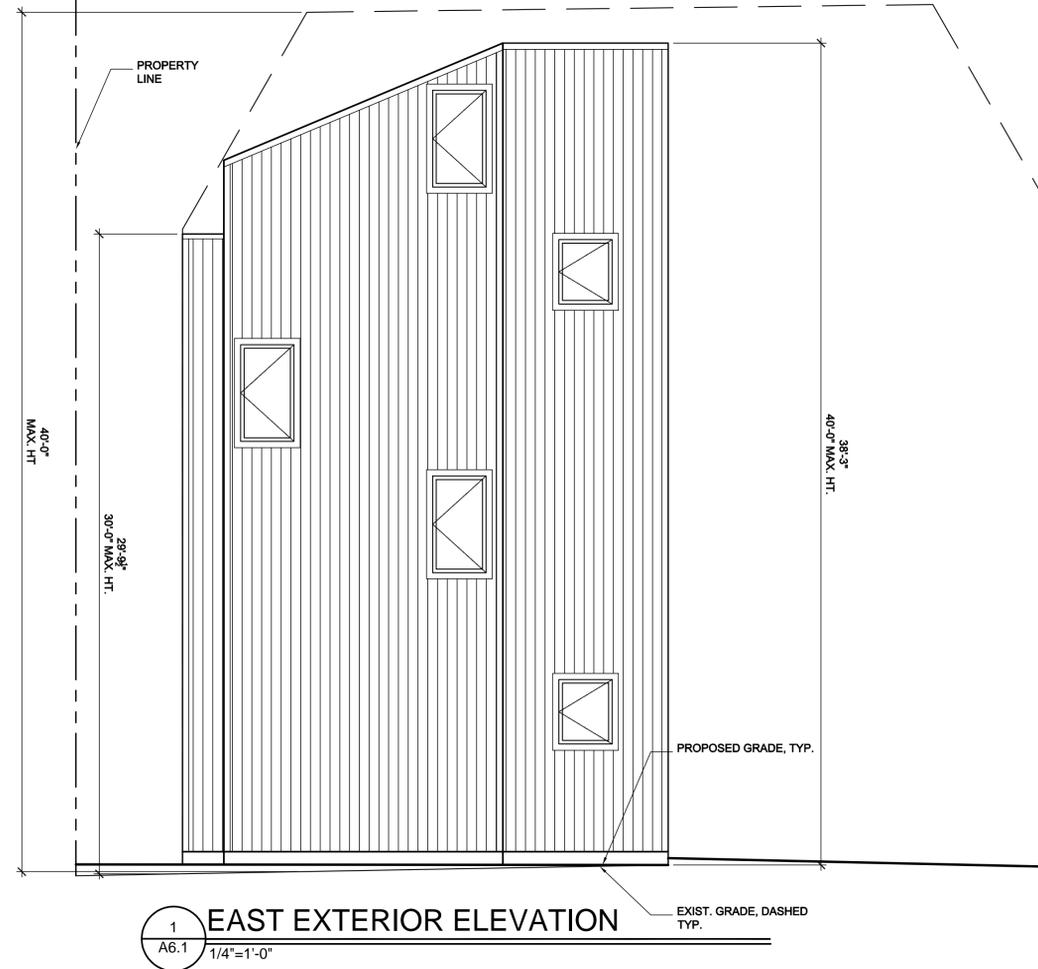
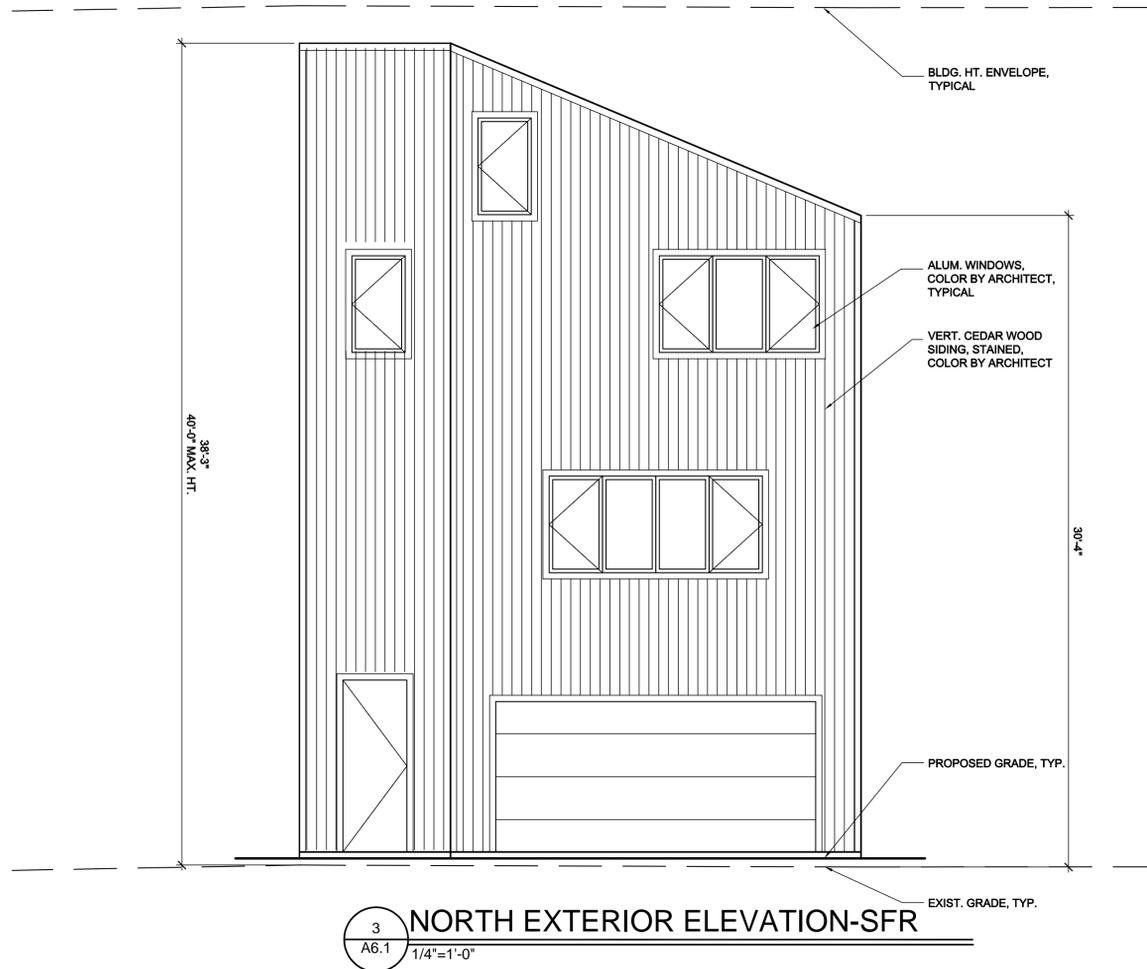
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SET ISSUED:	
SUBMITTAL SET	08/14/1
RE-SUBMITTAL SET	12/04/1
RE-SUBMITTAL SET	02/16/1
RE-SUBMITTAL SET	04/17/1

PROJECT NO.: 1605.1

SHEET TITLE:
EXTERIOR ELEVATIONS
SINGLE FAMILY RESIDENCE

CHEROKEE PROJECT SOUTH
SHEET NO.:

A6.1



NOTES:

- EXISTING ACCESS TO PROPOSED PARCEL 3 WILL BE FROM CHEROKEE AVENUE. PROPOSED PARCEL 1 AND PARCEL 2 WILL BE ACCESSED FROM ALLEY.
- A PRELIMINARY TITLE REPORT WAS PREPARED BY CHICAGO TITLE COMPANY DATED MARCH 24, 2017 AS ORDER NUMBER 23703264-PM. SAID REPORT WAS REVIEWED FOR EXISTING ON-SITE EASEMENTS. SAID TITLE REPORT REVEALED NO EXISTING EASEMENTS.
- DISTANCES SHOWN HEREON PER MAP 1007.
- EXISTING TOPOGRAPHY AND BOUNDARIES WAS PREPARED BY CLYBURN LAND SURVEYOR DATED 02/29/2016.
- ALL ON-SITE STORM DRAIN, DRAINAGE SWALES, AND BMP AREAS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- STORM WATER SHALL NOT BE ALLOWED TO POND ON SITE OR DRAIN TOWARD BUILDING FOUNDATIONS.
- UTILITY LINES SERVING THE SUBJECT PROPERTY SHALL BE INSTALLED UNDERGROUND.
- ALL WORK PROPOSED ON THIS PLAN IS ENTIRELY WITHIN THE APPLICANT'S PROPERTY. IF ANY DISTURBANCE TO ADJACENT PROPERTIES IS ANTICIPATED AS A RESULT OF ANY PROPOSED WORK, OR AT THE DISCRETION OF THE CITY FIELD INSPECTOR, A WRITTEN LETTER OF PERMISSION FROM THE ADJACENT PROPERTY OWNER MUST BE OBTAINED AND SUBMITTED TO THE CITY PRIOR TO START OF ANY SUCH WORK. ANY DISTURBANCE ON THE ADJACENT PRIVATE PROPERTY THAT HAS NOT BEEN PREVIOUSLY AUTHORIZED IN WRITING AND SUBMITTED TO THE CITY IS GROUNDS FOR A STOP-WORK TO BE ISSUED FOR THE PROJECT UNTIL THE REQUIRED PERMISSION IS OBTAINED.
- CONCRETE SIDEWALK AND PATOS SHALL BE NOT LESS THAN 5" P.C.C. OVER 2" CLEAN SAND OVER RECOMPACTED NATIVE SUBGRADE SOIL, UNLESS DETERMINED OTHERWISE BY THE SOIL ENGINEER. JOINTS AND REINFORCEMENT PER SOIL ENGINEER.
- NEW AND EXISTING STORM DRAIN, SEWER, WATER, AND UTILITY PIPING SHOWN HEREON IS APPROXIMATE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
- ALL DRY UTILITIES SHOWN HEREON ARE APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO COORDINATE WITH SUGBE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO LOCATE EXISTING SEWER CLEANOUT AND SANITARY SEWER MAIN AND VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL GRADING SHALL BE SUPERVISED BY A GEOTECHNICAL ENGINEER WHO SHALL SUBMIT A FINAL COMPACTION REPORT AT PROJECT COMPLETION.
- NO WORK IS PROPOSED WITHIN A PUBLIC EASEMENT.
- RECONSTRUCT THE DAMAGED EXISTING CURB WITH CURRENT CITY STANDARD CURB AND GUTTER, ADJACENT TO THE SITE ON CHEROKEE AVENUE.
- THE DRIVEWAY SHALL BE RECONSTRUCTED TO CURRENT CITY STANDARDS, ADJACENT TO THE SITE ON CHEROKEE AVENUE.
- THE SUBDIVIDER SHALL RECORD A DECLARATION OF COVENANTS AND RESERVATION OF EASEMENTS FOR THE SHARED ACCESS EASEMENT FOR THE TWO PROJECT SITES CURRENTLY HELD BY THE SAME OWNER. SINCE THE MUTUAL ACCESS EASEMENT AGREEMENT IS PRIVATE AND NOT A PUBLIC ISSUE, THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR ANY DISPUTE THAT MIGHT ARISE IN THE FUTURE BETWEEN THE PRIVATE PARTIES.
- THE APPLICANT WILL BE REQUIRED TO REMOVE(KILL) AT THE WATER MAIN ANY EXISTING UNUSED WATER SERVICE.
- THE APPLICANT WILL BE REQUIRED TO CAP(ABANDON) AT THE PROPERTY LINE ANY EXISTING UNUSED SEWER LATERAL.
- A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A FIELD PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

STORM WATER QUALITY STATEMENT:
IMPERVIOUS AREAS CALCULATIONS:
 EXIST IMPERVIOUS AREAS = 4,116 SQ FT
 PROPOSED IMPERVIOUS AREAS = 3,716 SQ FT
 DECREASE IMPERVIOUS AREAS = 400 SQ FT

THIS PROJECT IS CLASSIFIED AS A "STANDARD DEVELOPMENT" PROJECT PER CITY OF SAN DIEGO STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST (DS-500).

GRADING AREA:
 GRADED AREA 0.04 [ACRES]
 CUT QUANTITIES 14 [CYD]
 FILL QUANTITIES 10 [CYD]
 EXPORT 4 [CYD]

TOTAL AMOUNT AREA TO BE GRADED 2,089 SF
 % OF TOTAL SITE 23%

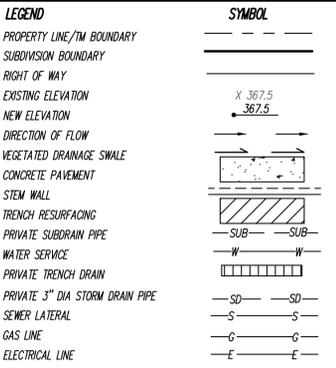
RETAINING WALLS:
 LENGTH: N/A FEET
 HEIGHT: N/A FEET

KEY NOTES
 DEMOLISH/PROTECT IN-PLACE

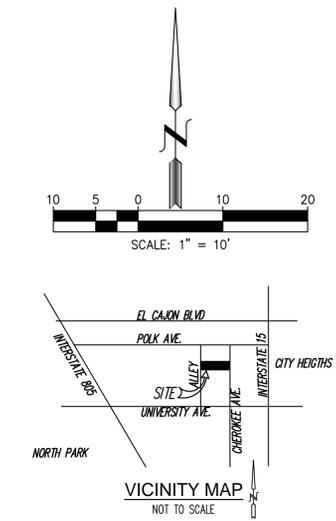
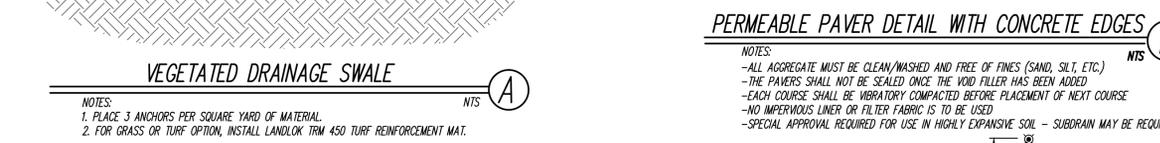
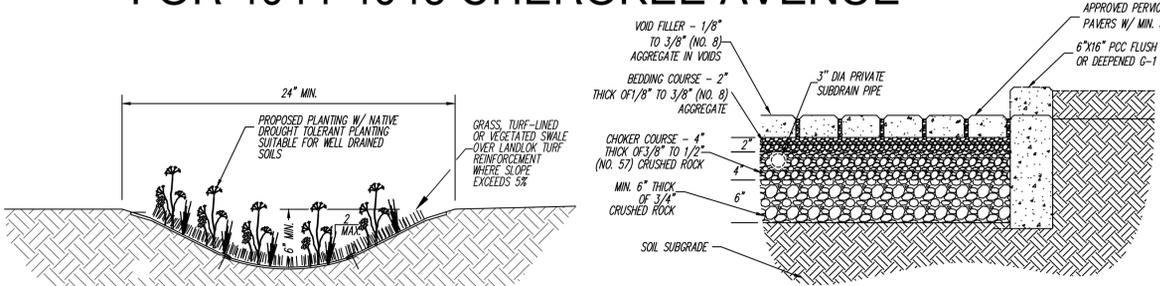
- DEMOLISH WALL
- DEMOLISH WOOD FENCE
- DEMOLISH CONCRETE SIDEWALK/WALK
- DEMOLISH CONCRETE SURFACE
- DEMOLISH AREA DRAIN
- DEMOLISH ELECTRICAL METER
- PROTECT PARKWAY IN-PLACE
- PROTECT AC PAVEMENT IN-PLACE
- PROTECT WOOD FENCE IN-PLACE
- PROTECT CONCRETE ALLEY IN-PLACE
- PROTECT CONCRETE DRIVEWAY IN-PLACE
- UNDERGROUND EXISTING OVERHEAD CATV AND TELEPHONE LINES
- DEMOLISH CURB AND GUTTER
- PROTECT PORCH IN-PLACE
- PROTECT STAIRS IN-PLACE
- PROTECT EXISTING RESIDENCE IN-PLACE
- PROTECT WALKWAY IN-PLACE
- PROTECT SEWER CLEANOUT IN-PLACE
- PROTECT WATER METER AND REUSE FOR A NEW WATER SERVICE
- PROTECT MONUMENTS IN-PLACE
- PROTECT SEWER LATERAL
- PROTECT GAS LINE/GAS METER IN-PLACE
- ABANDON WATER SERVICE

- NEW IMPROVEMENTS**
- PROPOSED A SINGLE RESIDENCE AND 2 CARS GARAGE
 - PROPOSED PERMEABLE PAVER PARKING SPACE
 - PROPOSED PCC FLUSH CURB
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE WALKWAY
 - PROPOSED STEM WALL PER ARCHITECTS PLAN
 - PROPOSED WATER HEATER PER ARCHITECTS PLAN
 - PROPOSED GAS METER PER ARCHITECTS PLAN
 - PROPOSED ELECTRICAL METER PER ARCHITECTS PLAN
 - PROPOSED ROLLING TRASH CANS PER ARCHITECTS PLAN
 - PROPOSED TRANSITION 6" PCC CURB TO EXISTING CURB HEIGHT OVER 3 FEET

- UTILITIES**
- PROPOSED 4" DIA. SEWER LATERAL TO RIGHT-OF-WAY
 - PROPOSED TRENCH RESURFACING
 - PROPOSED 4" DIA SEWER CLEANOUT
 - PROPOSED 1" WATER INSTALLATION
 - PRIVATE 4" DIA. PVC SEWER PIPE PER (SORS2-35) ON SITE.
 - PROPOSED GAS LINE
 - PROPOSED ELECTRIC LINE UNDERGROUND
 - PROPOSED WATER LINE
 - PROPOSED BACKFLOW PREVENTER
 - PROPOSED WATER METER



PRELIMINARY GRADING PLAN AND TENTATIVE MAP NO. 1946071 FOR 4044-4046 CHEROKEE AVENUE



OWNER'S CERTIFICATE
 WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP AND THAT SAID MAP SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. WE UNDERSTAND THAT PROPERTY IS CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY. WE HEREBY CONSENT TO THE FILING OF THIS TENTATIVE MAP.
 BRYAN A JONES

KARINA JONES

SUBDIVIDER
 BRYAN AND KARINA JONES
 5820 OEBURN DRIVE
 SAN DIEGO, CA 92121

SITE ADDRESS:
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LAMBERT COORDINATES:
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NAD 83:
 02583 COORDS = 1852-6293

CALIFORNIA COORDINATES
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PROPOSED NUMBER OF PARCELS:
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 18.75 DU/NET AC.

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 MAXIMUM NET PARCEL AREA: 3,177 SF
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 FM-1-2

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 CITY OF SAN DIEGO BENCHMARK NEBP ON TOP OF CURB INLET (45" NLY)
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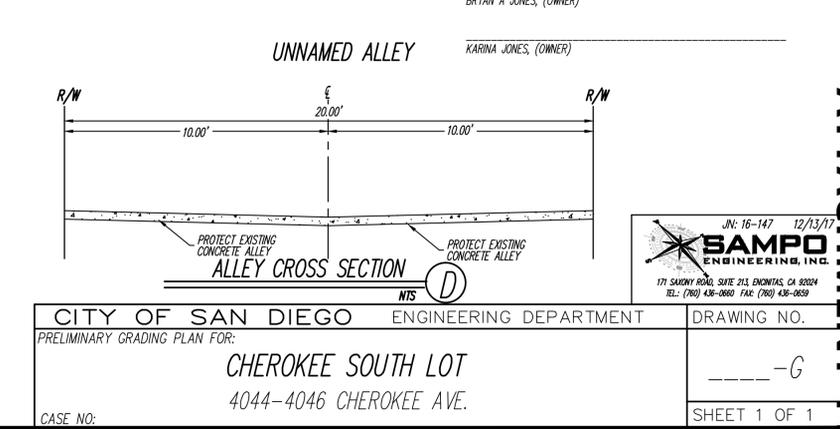
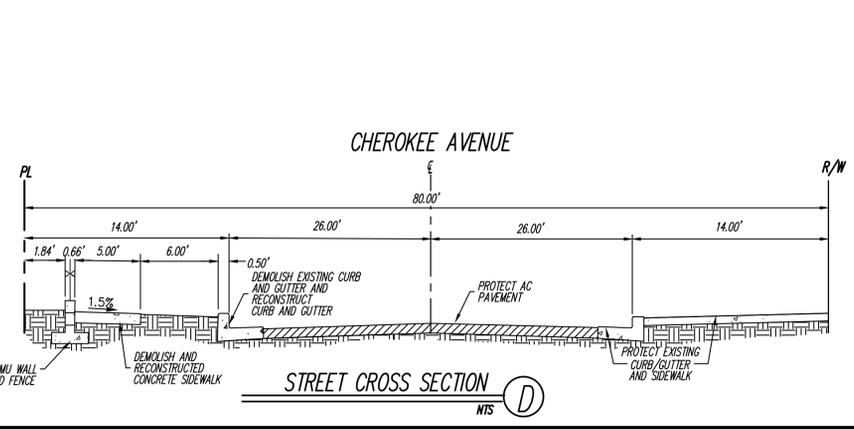
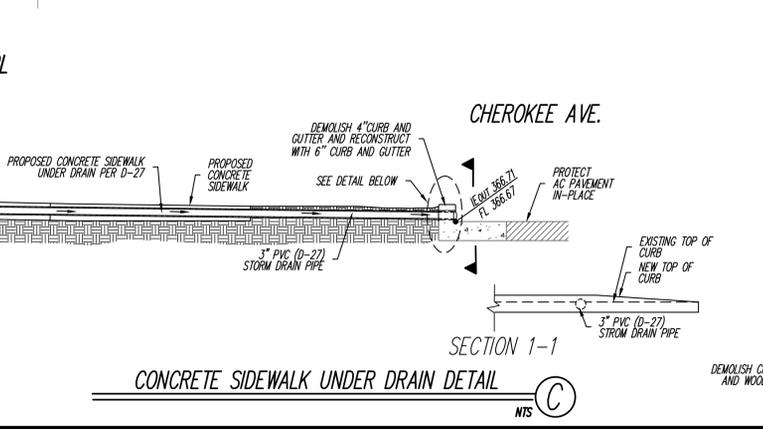
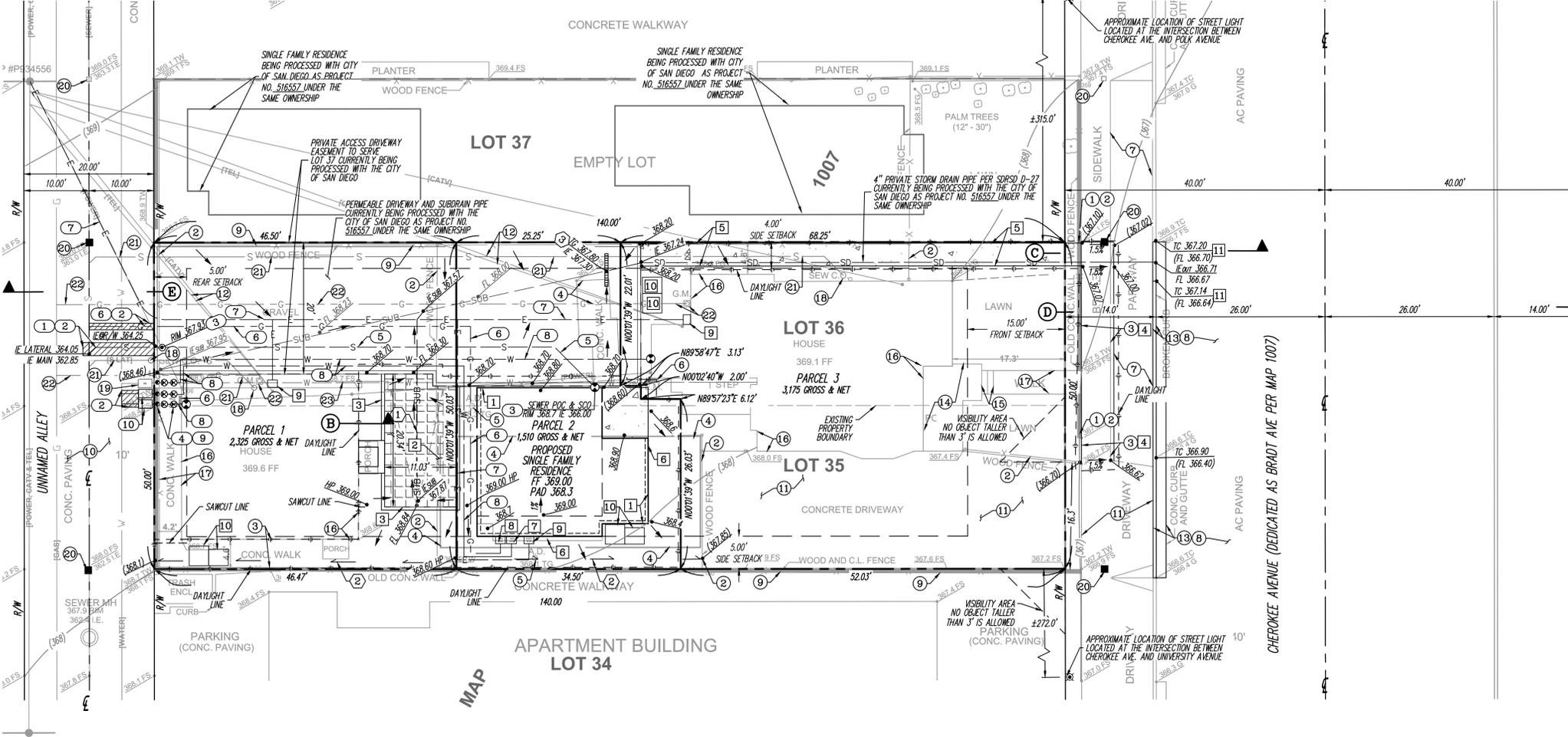
MAP PREPARED BY:
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 ENCHANTAS, CA 92024
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BRYAN A. JONES, (OWNER)

KARINA JONES, (OWNER)



CITY OF SAN DIEGO ENGINEERING DEPARTMENT
 PRELIMINARY GRADING PLAN FOR:
 CHEROKEE SOUTH LOT
 4044-4046 CHEROKEE AVENUE.

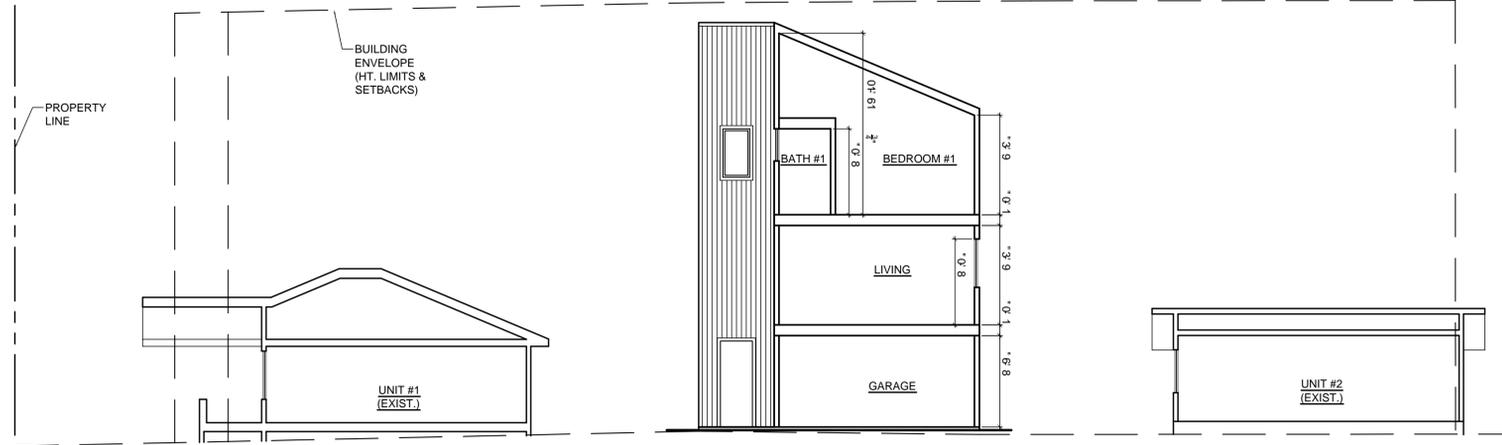
DRAWING NO. _____-G
 SHEET 1 OF 1

JN: 16-147 12/13/17
SAMPO ENGINEERING, INC.
 171 SAKONY ROAD, SUITE 213, ENCHANTAS, CA 92024
 TEL: (760) 436-0860 FAX: (760) 436-0859

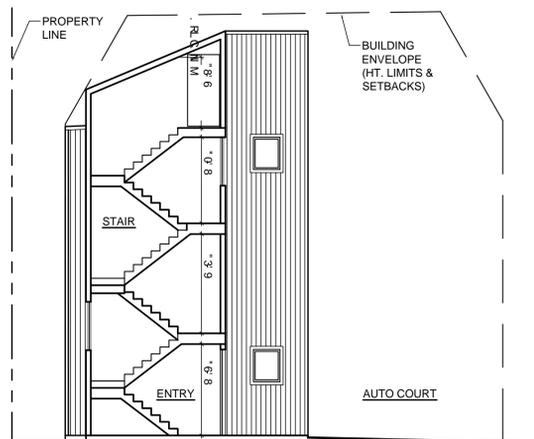
ATTACHMENT 1



ALL IDEAS, DESIGN ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF BRETT FARROW ARCHITECT, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USE BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BRETT FARROW ARCHITECT, INC.



1 SITE SECTION
A7.1 1/8"=1'-0"



2 SITE SECTION
A7.1 1/8"=1'-0"

CHEROKEE PROJECT
SOUTH LOT
4044-4046 CHEROKEE AVE.
SAN DIEGO, CALIFORNIA 92104

DRAWN:	BF
CHECKED:	BF
SET ISSUED:	
SUBMITTAL SET	08/14/11
RE-SUBMITTAL SET	12/04/11
RE-SUBMITTAL SET	02/16/11
RE-SUBMITTAL SET	04/17/11

PROJECT NO.: 1605.0

SHEET TITLE:
BUILDING SECTIONS

CHEROKEE PROJECT SOUTH
SHEET NO.:

CHEROKEE PROJECT - SOUTH LOT



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CHEROKEE PROJECT SOUTH LOT
 4044-4046 CHEROKEE AVE.
 SAN DIEGO, CALIFORNIA 92104

GREEN BUILDING CODE REQUIREMENTS

STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOILS SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING:
 A. RETENTION BASINS.
 B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2

GRADING AND PAVING. THE SITE GRADING AND DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.). CGC 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.

INDOOR WATER USE. NEW/REPLACED FIXTURES;
 FIXTURE TYPE MAXIMUM FLOW RATE
 WATER CLOSETS 1.28 GALLONS/FLUSH
 URINALS 0.5 GALLON/FLUSH
 SHOWERHEADS 2 GPM @ 80 PSI
 LAVATORY FAUCETS 1.5 GPM @ 60 PSI
 KITCHEN FAUCETS 1.8 GPM @ 60 PSI
 METERING FAUCETS 0.25 GALLONS PER CYCLE

LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI

WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM FLOW TO ALL THE HEADS SHALL NOT EXCEED 2.0 GPM @ PSI. OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME. CGC 4.303.1.3.2

LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER OR SOILS BASED CONTROLLERS. CGC 4.304.1

RECYCLING. A MINIMUM OF 50% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC 4.408.1

RECYCLING. CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2

OPERATION AND MAINTENANCE MANUAL. BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT TIME OF FINAL INSPECTION.

GAS FIREPLACES SHALL BE DIRECT-VENT SEALED-COMBUSTION TYPE. WOODSTOVE OR PELLET STOVES MUST BE US EPA PHASE II RTED APPLIANCES. CGC 4.504.1

POLLUTANT CONTROL. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVE, PAINTS, COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC 4.504.2

INTERIOR MOISTURE CONTROL. CONCRETE SLABS WILL BE PROVIDED WITH CAPILLARY BREAK. CGC 4.505.2.1

INTERIOR MOISTURE CONTROL. MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3

INDOOR AIR QUALITY. BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. CGC 4.506.1

PRIOR TO THE FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PAR OF THE CONSTRUCTION. CGC 102.3.

DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1

FIRE NOTES

AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER N.F.P.A. 13D. THE MOST CURRENT EDITION SHALL BE USED AND THE ENCINITAS FIRE DEPARTMENT POLICIES. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLAN AND INSTALLATION MUST BE BY A C16 LICENSED FIRE SPRINKLER CONTRACTOR.

LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS. A MINIMUM 1" WATER METER SHALL BE INSTALLED. (UNLESS APPROVED BY FIRE DEPARTMENT).

A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.

A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION.

FAA PART 77 NOTE

1.) I, _____ DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15 (A) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77. NOTIFICATION IS NOT REQUIRED. SEE SITE PLAN FOR ADJACENT EXIST. STRUCTURES/BUILDINGS

ABBREVIATIONS

ALUM	ALUMINUM	INTER	INTERIOR
ALT	ALTERNATE	LT WT	LIGHT WEIGHT
AP	ACCESS PANEL	MAX	MAXIMUM
ARCH	ARCHITECT	MECH	MECHANICAL
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BM	BEAM	NO#	NUMBER
BOTT	BOTTOM	NTS	NOT TO SCALE
CAB	CABINET	OC	ON CENTER
CONC	CEMENT/CONCRETE	OD	OUTSIDE DIAMETER
CLS	CELLING	OFCI	OWNER FURNISHED/ CONTRACTOR INSTALLED
CLR	CLEAR	OPNG	OPENING
CTR	COUNTER	PDR	POWDER BATH
COL	COLUMN	PL	PROPERTY LINE
CONST	CONSTRUCTION	PLWD	PLYWOOD
CONT	CONTINUOUS	PT	PRESSURE TREATED
CJ	CONTROL JOINT	PNT	PAINTED
CORR	CORRIDOR	QTY	QUANTITY
DS	DOWN SPOUT	R	RISER (STAIR)
DBL	DOUBLE	RD	ROOF DRAIN
DEPT	DEPARTMENT	REF	REFERENCE
DI	DIAMETER	REINF	REINFORCING
DIM	DIMENSION	RM	ROOM
DN	DOWN	RO	ROUGH OPENING
DET	DETAIL	SC	SCHEDULE
DWG	DRAWING	SCHED	SCHEDULE
EA	EACH	SHR	SHOWER
EJ	EXPANSION JOINT	SHT	SHEET
ELEC	ELECTRICAL	SIM	SIMILAR
ENCL	ENCLOSURE	SPEC	SPECIFICATIONS
EQ	EQUAL	STOR	STORAGE
EW	EACH WAY	STRUC	STRUCTURE
EXIST	EXISTING	SUSP	SUSPENDED
EXTER	EXTERIOR	TEL	TELEPHONE
FN	FLOOR	TEMP	TEMPORARY
FIXT	FIXTURE	THK	THICK
FLR	FLOOR	TREAD	TREAD (STAIR)
FT	FEET	TYP	TYPICAL
FURR	FURRING	UN	UNLESS OTHERWISE NOTED
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZED	VEST	VESTIBULE
GB	GRAB BAR	W/	WITH
GL	GLASS	WD	WOOD
GYP	GYPSPUM	W/O	WITHOUT
HDR	HEADER	WT	WEIGHT
HDWR	HARDWARE		
HT	HEIGHT		
HORIZ	HORIZONTAL		
ID	INSIDE DIAMETER		
INSUL	INSULATION		

SYMBOL LEGEND

	DOOR
	WINDOW
	DETAIL REFERENCE
	UPPER PORTION INDICATES DETAIL NUMBER LOWER PORTION INDICATES SHEET NUMBER
	INTERIOR ELEVATOR REFERENCE
	ELEVATED WALLS ARE SHOWN SHADED
	UPPER PORTION INDICATES DETAIL NUMBER LOWER PORTION INDICATES SHEET NUMBER
	SITE PHOTO, EXTERIOR OR INTERIOR ELEVATION
	UPPER PORTION INDICATES DETAIL NUMBER LOWER PORTION INDICATES SHEET NUMBER
	WALL SECTION REFERENCE
	UPPER PORTION INDICATES DETAIL NUMBER LOWER PORTION INDICATES SHEET NUMBER
	REVISION SYMBOL NUMBER RELATES TO ISSUED ADDENDA
	REVISION SYMBOL NUMBER RELATES TO ISSUED BULLETIN
	PROPERTY LINE

GENERAL NOTES

PROJECT DATA

APN: 447-411-22-00
 OCCUPANCY TYPE: R-3
 TYPE OF CONSTRUCTION: TYPE VB SPRINKLERED (NEW) & NON-SPRINKLERED (EXIST.)
 No. OF STORIES: 1 STORY EXISTING TO REMAIN
 3 STORY NEW PROPOSED

PROJECT DESCRIPTION
 SUMMARY: SMALL LOT SUBDIVISION FOR AN EXISTING PROPERTY CONSISTING OF (2) EXIST. RESIDENTIAL UNITS AND THE CONSTRUCTION OF A NEW 3 STORY HIGH SINGLE FAMILY RESIDENCE THAT INCLUDES:
 1. TWO CAR GARAGE
 2. TWO BEDROOMS
 3. TWO BATHROOMS
 4. KITCHEN
 5. DINING ROOM
 6. LIVING ROOM
 7. DECK AREA

NO DEMOLITION EXIST. STRUCTURES PROPOSED

UNIT #1-EXIST. DETACHED RESIDENTIAL UNIT BUILT CA. 1929
 UNIT #2-EXIST. DETACHED RESIDENTIAL UNIT BUILT CA. 1960

PERMITS AND APPROVALS:
 SMALL LOT SUBDIVISION FOR CREATION OF (3) FEE SIMPLE LOTS AND A SITE DEVELOPMENT PERMIT FOR RETENTION OF EXIST. CURB CUT FROM CHEROKEE AVE. (PROCESS 3).

NOTE: PROJECT INCLUDES A SHARED DRIVEWAY WITH ADJACENT PROPERTY IMMEDIATELY TO THE NORTH PER RECORDED JOINT USE DRIVEWAY/MUTUAL ACCESS AGREEMENT, (DOC.# 2017-0281567).

ADDRESS: 4044-4046 CHEROKEE DRIVE
 SAN DIEGO, CALIFORNIA 92104

ZONING: CT-5-4/RM-2-5 (PER SDMC 155.0236)

PROPOSED MAX. BLDG HT: 30'-0" MAX. HT. AT SIDE SETBACK/40'-0" MAX. HT. ABOVE EXISTING GRADE

LOT AREA:
 TOTAL EXISTING: 7,010 SF (16 ACRES)
 FLOOR AREA RATIO: MAX. = 1.35 (9,463.60 SF)
 ACTUAL = .46 (3,192 SF)

DENSITY: MAX. = 1/1500 SF (4.67 UNITS)
 ACTUAL = (3)

LOT COVERAGE: MAX. = UNLIMITED
 ACTUAL = .31 (2,136 SF)

FOOT PRINT= 2,130 SF
 DRIVEWAY= 927 SF (STREET ACCESS)
 1,581 SF (ALLEY ACCESS)

PARKING = 288 SF
 LANDSCAPE/GRAVEL= 1,857 SF
 WALKS/PATIOS= 227 SF
 TOTAL= 7,010 SF

NEW SUBDIVIDED LOTS:
 LOT 1 = 3,167 SF
 LOT 2 = 2,325 SF
 LOT 3 = 1,508 SF

BUILDING AREAS:
 UNIT 1 (EXIST.)
 FIRST FLOOR= 968 SF
 OUTDOOR AREA= 549 SF

UNIT 2 (EXIST.)
 FIRST FLOOR= 631 SF
 OUTDOOR AREA= 210 SF

UNIT 3 (NEW)
 FIRST FLOOR= 531 SF (INCLUDES 462 SF GARAGE)
 SECOND FLOOR= 531 SF
 THIRD FLOOR = 531 SF
 TOTAL= 1,593 SF

ENTRY PATIO= 81 SF
 ROOF DECK= 137 SF
 OUTDOOR AREA= 218 SF

HABITABLE:
 UNIT 1 = 968 SF
 UNIT 2 = 631 SF
 UNIT 3 = 1,131 SF

TOTAL RESIDENTIAL = 2,730 SF

GARAGES/NON-HABITABLE: 462 SF
 GARAGE (NEW) 3,192 SF

TOTAL BUILDING AREA:
 DECKS/STAIRS: 137 SF
 RESIDENTIAL
 DECKS/STAIRS: RESIDENTIAL

PARKING CALCS:
 PARKING: PER TABLE 142-05C, TRANSIT AREA/SMALL LOT
 1 BED = 1.25 SPACES
 +2 BED = 1.75 SPACES

UNIT 1 = 3 BED (1.75 SPACES)
 UNIT 2 = 1 BED (1.25 SPACES)
 UNIT 3 = 2 BED (1.75 SPACES)
 TOTAL = 4.75, OR, (5 SPACES).

(1) NEW TWO CAR GARAGE. (1) NEW SURFACE PARKING SPACES AND RETENTION OF EXIST. (2) SURFACE DRIVEWAY PARKING SPACES.

TOTAL OF (4.75) PARKING SPACES REQUIRED, (5) PROVIDED ON-SITE.

SLOPES:
 THE AVERAGE LOT SLOPE IS LESS THAN 10% WITHIN DEVELOPABLE AREA

EASEMENTS: NONE EXIST.
 GEOHAZARD CATEGORY: 52
 GRADING: NO EXPORT/IMPORT. CUT/FILL GRADING OR RETAINING WALLS PROPOSED.
 UTILITIES: NO OVERHEAD POWER LINES PROPOSED. ALL UTILITIES PROPOSED TO BE UNDERGROUND

PROJECT DIRECTORY

ARCHITECT: Brett Farrow Architect- C29668
 125 Mozart Ave
 Cardiff, CA 92007
 (760) 230-6851

OWNER: Bryan Jones
 4027 Haines Street
 San Diego, CA 92109
 (858) 869-3328

CIVIL ENGINEER: Vince Sampo, PE, PLS
 Sampo Engineering
 171 Saxony Road, Suite 213
 Encinitas, CA 92024
 (760) 436-0660

STRUCTURAL ENGINEER: Dodd and Associates Consulting Engineers
 2020 Hancock St STE B
 San Diego, CA 92110
 (619) 260-0057

INDEX TO DRAWINGS

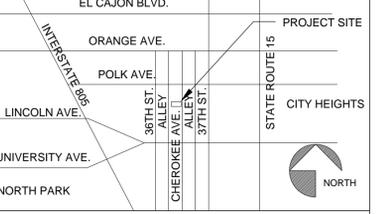
GENERAL	
T1.0	TITLE SHEET/ PROJECT DATA / GENERAL NOTES
ARCHITECTURAL	
A1.0	PHOTO SITE SURVEY
A1.1	SITE PLAN/EXISTING FLOOR PLANS
A2.1	FLOOR PLANS - NEW UNIT
A6.1	EXTERIOR ELEVATIONS/NEW UNIT
A7.1	BUILDING/SITE SECTIONS
LANDSCAPE PLANS	
L1.0	PLANTING PLAN
L2.0	PLANTING DETAILS
L3.0	IRRIGATION PLAN
L4.0	IRRIGATION DETAILS
CIVIL	
C1	TENTATIVE PARCEL MAP/PRELIM GRADING PLAN

PLANNING NOTES

1.) A MUTUAL MAINTENANCE AND ACCESS AGREEMENT FOR ALL FACILITIES USED IN COMMON WILL BE ENTERED INTO TO THE SATISFACTION OF THE CITY ENGINEER AND SHALL BE RECORDED AGAINST THE APPLICABLE PROPERTIES IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

2.) THE MUTUAL MAINTENANCE AND ACCESS AGREEMENT SHALL, AT A MINIMUM, INCLUDE THE PROVIDE FOR THE FOLLOWING:
 (1) EASEMENTS FOR:
 (A) SHARED DRIVEWAYS
 (B) UTILITIES
 (C) DRAINAGE AND RUNOFF
 (D) ENCROACHMENTS
 (E) MAINTENANCE, REPAIR AND RECONSTRUCTION
 (2) MAINTENANCE FOR:
 (A) SHARED DRIVEWAYS
 (B) SEWER LINES
 (C) CABLE AND ELECTRICAL LINES
 (D) EXTERIOR LIGHTING
 (E) PERIMETER FENCES AS SHOWN ON EXHIBIT "A", SATISFACTORY TO THE CITY ENGINEER.

VICINITY MAP



LEGAL DESCRIPTION

LOT 37, IN BLOCK 35 OF CITY HEIGHTS, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1007, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 3, 1906

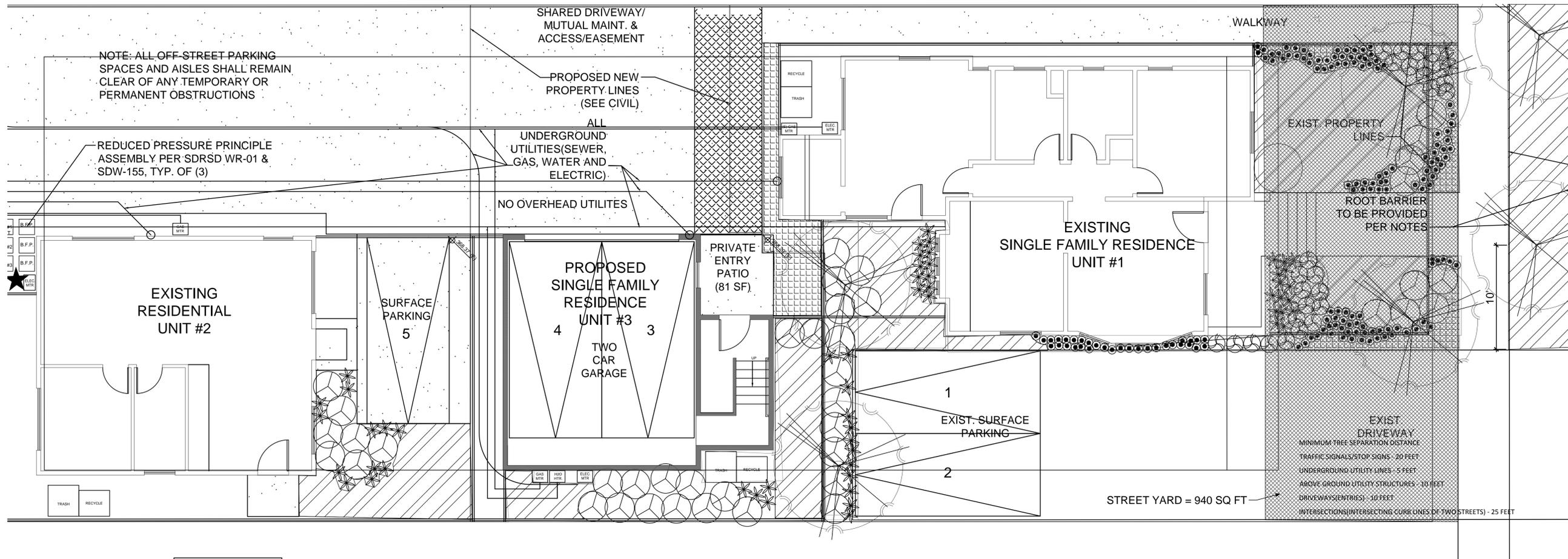
DRAWN:	BF
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SUBMITTAL SET	08/14/17
RE-SUBMITTAL SET	12/04/17
RE-SUBMITTAL SET	02/16/18
RE-SUBMITTAL SET	04/17/18

PROJECT NO.: 1605.01

SHEET TITLE:
 TITLE SHEET
 GREEN BUILDING CODE
 REQUIREMENTS

CHEROKEE PROJECT SOUTH
 SHEET NO.:

T1.0



MORRISON WORKSHOP
 875 DEL RIO AVE
 ENCINITAS, CA 92024
 (858) 699-7510



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CHEROKEE PROJECT
 SOUTH LOT
 4044-4046 CHEROKEE AVE.
 SAN DIEGO, CALIFORNIA 92104

PLANTING NOTES

REFER TO PLANTING SPECIFICATIONS AND DETAILS FOR SOIL PREPARATION, FERTILIZATION, MULCHING AND OTHER PLANTING INFORMATION.

NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.

VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.

REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTION SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.

LOCATE AND TAG ALL PLANT MATERIAL. MATERIAL SHALL BE IN CONFORMANCE WITH PLANTING PLAN DESCRIPTIONS AND SPECIFICATIONS. ALL PLANT MATERIAL IS SUBJECT TO REVIEW AND APPROVAL PRIOR TO INSTALLATION. PROVIDE PHOTOS OF REPRESENTATIVE EXAMPLES OF EACH TAGGED BLOCK TO LANDSCAPE ARCHITECT MINIMUM 21 DAYS BEFORE ANTICIPATED DELIVERY. PHOTOS SHALL INCLUDE A PERSON FOR SCALE PURPOSES. LANDSCAPE ARCHITECT MAY OPT TO REVIEW MATERIAL AT GROWING NURSERY. MATERIAL DELIVERED TO THE SITE MAY BE REJECTED BASED ON UNHEALTHFUL APPEARANCE OR NON CONFORMANCE WITH SPECIFICATIONS EVEN IF PREVIOUSLY REVIEWED BY THE LANDSCAPE ARCHITECT OR OWNER.

FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

AT EDGES OF PLANTING AREAS, THE CENTER LINE OF THE LAST ROW OF SHRUBS AND/OR GROUND COVER SHALL BE LOCATED NO FARTHER FROM THE EDGE THAN ONE-HALF THE SPECIFIED ON-CENTER SPACING.

INSTALL GROUND COVER AND/OR SHRUB MASSES WITH TRIANGULAR SPACING UNLESS OTHERWISE INDICATED.

ANY SUBSTITUTIONS REQUEST NEED TO BE SELECTED FROM THE LEGEND PROVIDED

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITION OF PERMIT.

A MINIMUM ROOT ZONE OF 40 SQ FT IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET PER SDMC 142.0403(b)(5).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER SAN DIEGO MUNICIPAL CODE SECTION 142.0403(b)(10).

MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITH 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH DAMAGED UTILITIES.

LOCATION OF N.I.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.

OBTAIN ALL SOIL FOR LANDSCAPE PLANTING AREAS OR BERMS FROM ON-SITE EXCAVATIONS. SHOULD IMPORT SOIL BE NECESSARY, SUBMIT IMPORT SOIL TESTING RESULTS FOR APPROVAL PRIOR TO IMPORTATION. SOIL SHALL BE SANDY LOAM CONTAINING NO TOXIC CHEMICALS OR ELEMENTS WHICH MAY INHIBIT OR RETARD NORMAL PLANT GROWTH.

KILL AND REMOVE ALL EXISTING WEEDS FROM SITE AREAS.

ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS, 2% MINIMUM.

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

TREE LEGEND								
SYMBOL	BOTANICAL NAME	COMMON NAME	ABBREV.	SIZE	COMMENTS	HT. x SP.	DETAIL	QTY = POINTS
	ULMUS PARVIFLORA	CHINESE EVERGREEN ELM	ULM PAR	24" BOX	HEALTHY, WOODRUS, DENSE	30' x 30'	A-C/A2.0	8 = 160

SHRUB LEGEND								
SYMBOL	BOTANICAL NAME	COMMON NAME	ABBREV.	SIZE	COMMENTS	HT. x SP.	DETAIL	QTY = POINTS
	FRAGARIA CHLOEDIS	BEACH STRAWBERRY	FRA CHL	1 GAL	FULL, WOODRUS AND HEALTHY	10' x 40'	A-C/A2.0	150=150
	SALMA OFFICINANS	SALVA	SAL OFF	1 GAL	FULL, WOODRUS AND HEALTHY	5' x 2'	A-C/A2.0	28=28
	CAREX NUDATA	CALIFORNIA BLACK-FLOWERING SEDGE	CAR NUN	1 GAL	FULL, WOODRUS AND HEALTHY	2'x2'	A-C/A2.0	39=39
	ROSA CALIFORNIA	CALIFORNIA WILD ROSE	ROS CAR	1 GAL	FULL, WOODRUS AND HEALTHY	5' x 5'	A-C/A2.0	58=58
	EXISTING SHRUB TO BE REMOVED							2 = 0

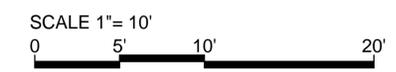
GROUND COVER LEGEND								
SYMBOL	BOTANICAL NAME	COMMON NAME	ABBREV.	SIZE	COMMENTS	HT. x SP.	DETAIL	QTY.
	ZEPHYRANTHES CANDIDA	FAIRY LILY	ZEP CAN	1 GAL 3" O.C.	FULL, WOODRUS AND HEALTHY	1' x 1'	A-C/A2.0	216 SF
	CAREX PANSA	CALIFORNIA MEADOW SEDGE	CAR PAN	4" POTS 8" O.C.	FULL, WOODRUS AND HEALTHY	8" x 8"	A-C/A2.0	453 SF

STREETYARD = 940 SQ. FT X 0.05 = 470 SQ FT NEEDED 537 SQ.FT. PROVIDED. 47 PLANT POINTS NEEDED 435 PLANT POINTS PROVIDED. 388 PLANT POINTS IN EXCESS. 120 POINTS IN TREES 23.5 POINTS NEEDED.

DRAWN: SM
 CHECKED: WM
 SET ISSUED:
 PROGRESS SET 4/2/18

PROJECT NO.: 1605.01
 SHEET TITLE:
 PLANTING PLAN

CHEROKEE PROJECT SOUTH
 SHEET NO.:
L1.0





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CHEROKEE PROJECT
SOUTH LOT
 4044-4046 CHEROKEE AVE.
 SAN DIEGO, CALIFORNIA 92104

DRAWN:	SM
CHECKED:	WM
SET ISSUED:	
PROGRESS SET	2/14/18

PROJECT NO.: 1605.01

SHEET TITLE:

PLANTING DETAILS

CHEROKEE PROJECT SOUTH LOT

SHEET NO.:

L2.0

ATTACHMENT 11

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE AND IRRIGATION DESIGN MANUAL.

A TREE PLANTING AND STAKING
SCALE: N.T.S.

NOTE:
SEE DETAIL G/PD1 FOR ROOT BARRIER/DEEP SUMP INSTALLATION. DEEP SUMP SHALL BE INSTALLED IF PIT DOES NOT DRAIN IN 48 HRS. (SEE SPECS)

NOTES:
PLANT SO THAT TOP OF ROOT BALL IS 1" ABOVE THE FINISHED GRADE.
LOCATE TIES AT THE LOWEST LEVEL AT WHICH THE TREE CAN BE SUPPORTED (MAX. TIE HEIGHT AT 3/4 HEIGHT OF TREE).
TREE TIES, CINCH TIE AS MANUFACTURED BY V.I.T. CO. OR APPROVED EQUAL
TRIM STAKES 2" ABOVE TREE TIE
2" x 10' LODGEPOLE PINE TREE STAKES AT ROOTBALL EDGE DRIVEN FIRMLY (MIN. 3'-0") INTO SUBGRADE PRIOR TO BACKFILLING LOCATE ONE TREE STAKE ON WINDWARD SIDE OF TREE
TREE BOOT TRUNK PROTECTOR OR EQUAL IN LAWN AREAS.
1" BARK MULCH OVER ROOTBALL IN NON TURF AREAS SEE SPECIFICATIONS
FINISHED GRADE
3" WATERING BASIN, NON-TURF AREAS ONLY
PLANT TABS, SEE SPECS FOR QUANTITY
SOIL BACKFILL MIX, WATER & TAMP TO REMOVE AIR POCKETS
UNDISTURBED GRADE

B SHRUB PLANTING
SCALE: N.T.S.

TOP OF ROOTBALL 1" ABOVE FINISH GRADE
1" MAX BARK MULCH, TYPICAL IN BASIN
FORM BASIN WITH 3" HT. CONTINUOUS RIM, NON-TURF AREAS ONLY
1" BARK MULCH IN GROUNDCOVER AREAS; 2" IN DRIP IRRIGATED AREAS FINISH GRADE
SOIL BACKFILL MIX, WATER AND TAMP TO REMOVE AIR POCKETS
PLANT TABS, SEE PLANT NOTES
MOUND SLIGHTLY AND COMPACT

C TREE GUYING
SCALE: N.T.S.

BLACK RUBBER HOSE SECTION
STEEL CABLE (THREE REQUIRED PER TREE)
1/2" P.V.C. SLEEVE OVER CABLE
CABLE LOOP AND TURN BUCKLE
DUCKBILL TREE ANCHOR OR EQUAL DEPTH AS PER MANUFACTURER'S RECOMMENDATIONS
INSTALL TREE AS SHOWN IN DETAIL

SPACING 'A'	SPACING 'B'	NO. OF PLANTS/SQ. FT.
6" O.C.	5.20"	4.60
8" O.C.	6.93"	2.60
9" O.C.	7.79"	1.78
10" O.C.	8.66"	1.66
12" O.C.	10.40"	1.15
15" O.C.	13.00"	0.738
18" O.C.	15.60"	0.512
24" O.C.	20.80"	0.290
30" O.C.	26.00"	0.185
36" O.C.	30.00"	0.116

SEE PLANT LEGEND FOR MAXIMUM TRIANGULAR SPACING "A." THE CHART IS TO BE USED TO DETERMINE THE NUMBER OF GROUNDCOVER PLANTS REQUIRED IN A GIVEN AREA.

D SHRUB/GROUNDCOVER SPACING
SCALE: N.T.S.

FOR USE WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER AS IN ALL GROUNDCOVER PLANTINGS AND MASSED SHRUB PLANTINGS.

PROJECT NO.: 1605.01

SHEET TITLE:

PLANTING DETAILS

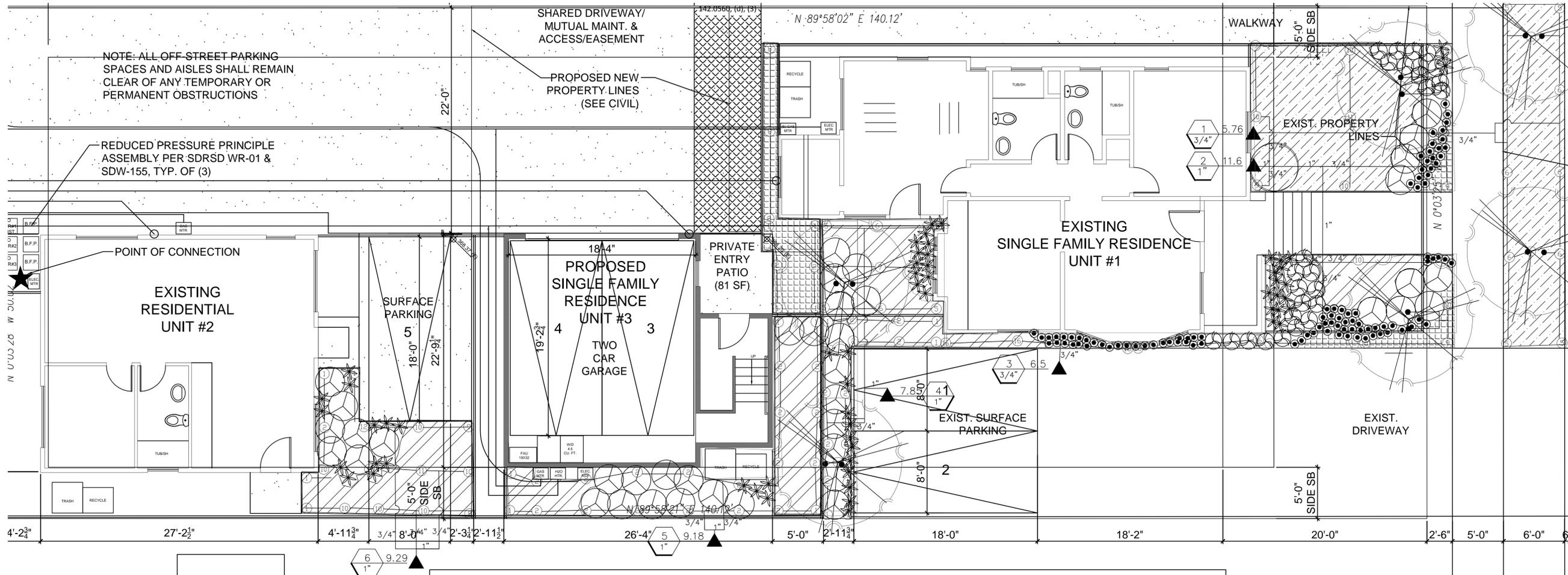
CHEROKEE PROJECT SOUTH LOT

SHEET NO.:

L2.0

ATTACHMENT 11

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE AND IRRIGATION DESIGN MANUAL.



MORRISON WORKSHOP

875 DEL RIO AVE
ENCINITAS, CA 92024
(858) 699-7510



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CHEROKEE PROJECT
SOUTH LOT
4044-4046 CHEROKEE AVE.
SAN DIEGO, CALIFORNIA 92104

DRAWN: SM
CHECKED: WM
SET ISSUED:
PROGRESS SET 4/2/18

PROJECT NO.: 1605.01

SHEET TITLE:
IRRIGATION PLAN

CHEROKEE PROJECT SOUTH

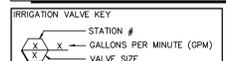
SHEET NO.:

L3.0

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MFG.	MODEL/PART NO.	MAX. RAD.	PRECIP. RATE	PSI	GPM	DETAIL REF.	
①	RANBRD 12" HIGH POP-UP SPRINKLER - SHRUB	1812 SAM-PRS-5 Q/H/F/V	5'	---	30	10	.20	.20	SDS0-103
②	RANBRD 12" HIGH POP-UP SPRINKLER - SHRUB	1812 SAM-PRS-8 Q/H/F/V	8'	---	30	26	.52	1.05	SDS0-103
③	RANBRD 12" HIGH POP-UP SPRINKLER - SHRUB	1812 SAM-PRS-10 Q/H/F/V	10'	---	30	39	.79	1.58	SDS0-103
④	RANBRD 12" HIGH POP-UP SPRINKLER - SHRUB	1812 SAM-PRS-12 Q/H/F/V	12'	---	30	65	1.30	2.60	SDS0-103
●	RANBRD TREE BUBBLER (2 PER TREE)	1400 SERIES-1402	---	---	30	---	---	---	SDS0-104

NOTES:
CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ANTI-DRAIN VALVES, AS REQUIRED, TO PREVENT LOW HEADS DRAINAGE.
S.D.R.S.D. = SAN DIEGO REGIONAL STANDARD DRAWINGS, LATEST EDITION.
S.D.S.D. = SAN DIEGO STANDARD DRAWINGS, LATEST EDITION.

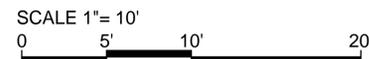


PIPING SIZE LEGEND

SIZE	GPM
3/4"	0-7
1"	8-12
1 1/4"	12-22
1 1/2"	23-32
2"	32-53
2 1/2"	54-70
3"	71-100

1/2" PIPE IS NOT ALLOWED. MINIMUM SIZE PIPE TO BE 3/4".
CONTRACTOR TO SIZE PIPE BASED ON CHART ABOVE UNLESS OTHERWISE INDICATED.

SYMBOL	IRRIGATION COMPONENT DESCRIPTION	MFG.	MODEL/PART NO.	REMARKS	DETAIL REF.
★	POINT OF CONNECTION			AT METER LOCATION, VERIFY IN FIELD	
☆	1" IRRIGATION METER w/ 1 1/2" SERVICE (EXISTING)			PER CIVIL ENGINEER'S DRAWINGS - SHEET 6	SDW-107 SDW-110 SDW-151
☒	IRRIGATION CONTROLLER ASSEMBLY IN STAINLESS STEEL ENCLOSURE BY JOHN DEERE LANDSCAPE, GREEN TECH DIVISION w/ 5 YEAR WARRANTY BY UNITED GREEN TECH. AND RAIN SENSOR BELOW	IRRTROL	CONTROLLED 31 MC-24-PLUS-A CAT-RT-24/AFSD-150/RISE 7/8P-18/PHONE JACK	INSTALL PER DETAIL AND MANUFACTURER'S INSTRUCTIONS	SDI-117
⊙	RAIN SENSOR AUTOMATIC RAIN-SHUT OFF DEVICE	WCS	RAIN GUARD W/RGW-5	RAIN SENSOR SHALL BE INSTALLED IN A STAINLESS STEEL, VANDAL RESISTANT ENCLOSURE ON THE EXTERIOR OF THE CONTROLLER ENCLOSURE.	---
⊙	REDUCED PRESSURE BACKFLOW PREVENTER	FIBCO	825V, SIZE 1" FOR IRRIGATION, 3/4" FOR POTABLE	INSTALL PER CITY OF SAN DIEGO REQUIREMENTS	SDW-155 SDW-151
☒	BACKFLOW PREVENTER ENCLOSURE	STRONG BOX	S885-305S	STAINLESS STEEL, VANDAL RESISTANT BACKFLOW ENCLOSURE, FREE OF BURRS AND SHARP EDGES, VERIFY SIZE TO ACCOMMODATE BACKFLOW PREVENTER.	
⊙	WYE STRAINER	WUKINS	500 YSBR - 1 1/2"	INSTALL DOWN STREAM OF BACKFLOW PREVENTER	SDW-155
⊙	MASTER VALVE	SUPERIOR	MODEL 3300	2", NORMALLY OPEN	SDI-111
⊙	QUICK COUPLING VALVE	RANBRD	44RC 1" SIZE	ISOLATE FROM MAIN WITH 1" GLOBE VALVE	SDI-105 SDI-126
⊙	GLOBE VALVE (MANUAL VALVE)	NIBCO	T-235-Y	1" SIZE FOR QUICK COUPLING VALVE. THE SAME SIZE AS THE LARGEST REMOTE CONTROL VALVE IN MAINFIELD.	SDI-106 SDI-126
⊙	PRESSURE REGULATOR	WUKINS	500 HR15BR 1 1/2" SPRING RANGE: 75-125	INSTALL IN VALVE BOX DOWNSTREAM OF BACKFLOW PREVENTER ASSEMBLY	SDW-155
⊙	FLOW SENSOR	DATA INDUSTRIAL	220P, SIZE 1 1/2"	INSTALL IN VALVE BOX PER DETAIL	SDI-112
▲	IRRIGATION REMOTE CONTROL VALVE (R.C.V.)	RANBRD	100 EFB-CP SERIES 125 EFB-CP SERIES 150 EFB-CP SERIES	1" ELECTRIC R. C. V. INSTALL IN VALVE BOX 1 1/4" ELECTRIC R. C. V. INSTALL IN VALVE BOX 1 1/2" ELECTRIC R. C. V. INSTALL IN VALVE BOX	SDI-114 SDI-126
NO SYMBOL	ANTI-DRAIN / EXCESSIVE FLOW VALVE	VALCON	ADV-XS	INSTALL AT ALL SPRINKLER HEADS WHERE NEEDED, TO STOP ALL LOW HEAD DRAINAGE AND AS AN ANTI GEYSER DEVICE	SDI-102, SDI-103
—	MAIN LINE		1 1/2" AND SMALLER SCH. 40 PVC 2" AND LARGER CL315 PVC	21" BELOW GRADE INSTALL THRUST BLOCKS AT TEES, ANGLES, ELLS	SDI-110 SDRSD WT-01, SDRSD #1-100
—	IRRIGATION LATERAL LINE PIPE (NON-PRESSURE)		SCH. 40 PVC	18" BELOW GRADE	SDI-110
—	IRRIGATION PIPE/CONTROL WIRE SLEEVE		SCH. 40 PVC	MIN. 2x DIAM. OF PIPE BEING SLEEVED. MIN. 2" FOR WIRE.	SDI-110
⊙	IRRIGATION ELECTRICAL PULL BOX	BROOKS #34	CONCRETE PULL BOX	ALL SPLICES SHALL OCCUR IN PULL BOX OR CONTROL VALVE BOXES	SDI-115
—	DIRECT BURIAL IRRIGATION ELECTRICAL CONTROL WIRE	---	---	CONTROL WIRES SHALL BE PARALLEL TO MAINLINE CONTROL WIRE SHALL BE INSTALLED IN MIN. 2" DIA. SCH. 40 PVC SLEEVE UNDER PAVING.	SDI-119





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CHEROKEE PROJECT
SOUTH LOT
 4044-4046 CHEROKEE AVE.
 SAN DIEGO, CALIFORNIA 92104

DRAWN:	SM
CHECKED:	WM
SET ISSUED:	
PROGRESS SET	2/14/18

PROJECT NO.: 1605.01

SHEET TITLE:

IRRIGATION DETAILS

CHEROKEE PROJECT SOUTH LOT
SHEET NO.:

L4.0
ATTACHMENT 11

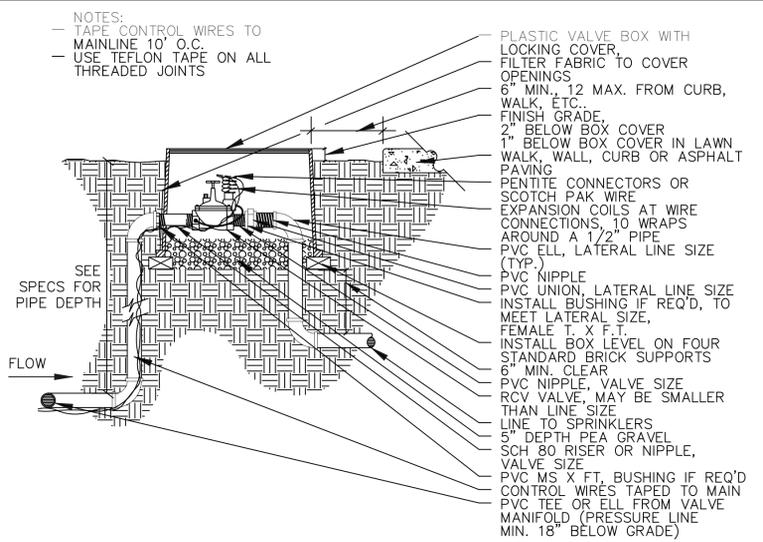
IRRIGATION NOTES

- IT IS THE INTENT OF THESE IRRIGATION DRAWINGS TO PROVIDE THE CONTRACTOR WITH CONSTRUCTION INFORMATION THAT WILL ENABLE HIM TO PROVIDE AND INSTALL A COMPLETE AND OPERATIONAL IRRIGATION SYSTEM.
- THE SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND OF GALLONS PER MINUTE AS SHOWN ON THE DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE WATER PRESSURE ON THE SITE PRIOR TO CONSTRUCTION. REPORT TO THE ENGINEER ANY DIFFERENCES BETWEEN THE WATER PRESSURE SHOWN ON THE DRAWINGS AND THE ACTUAL PRESSURE READINGS AT THE POINT OF CONNECTION. IN THE EVENT THE PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, STRUCTURES, WALKS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS, PAVING, AREAS ADJACENT TO ANY PROPOSED UTILITIES, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONTROL WIRE OR PIPE SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MAY NOT HAVE BEEN CONSIDERED IN THE IRRIGATION DESIGN. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE CLIENT'S REPRESENTATIVE IMMEDIATELY. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THIS DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT, PIPING, VALVES ETC., SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEMS, PLANTING, EXISTING OR NEW UTILITIES, AND ARCHITECTURAL FEATURES.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM PERFORMANCE AND COVERAGE. INSTALL ALL SPRINKLER HEADS WITH NOZZLES OF THE APPROPRIATE DEGREE AND RADIUS FOR THE AREA TO BE COVERED. THE CONTRACTOR SHALL ADJUST OR REPLACE ALL NOZZLES TO ELIMINATE SPRAYING ONTO WALKS, BUILDINGS, WALLS, SIDEWALKS, STRUCTURES, DRINKING FOUNTAINS, ETC. OVERSPRAY ADJUSTMENTS SHALL BE MADE PRIOR TO REQUESTING A COVERAGE TEST.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

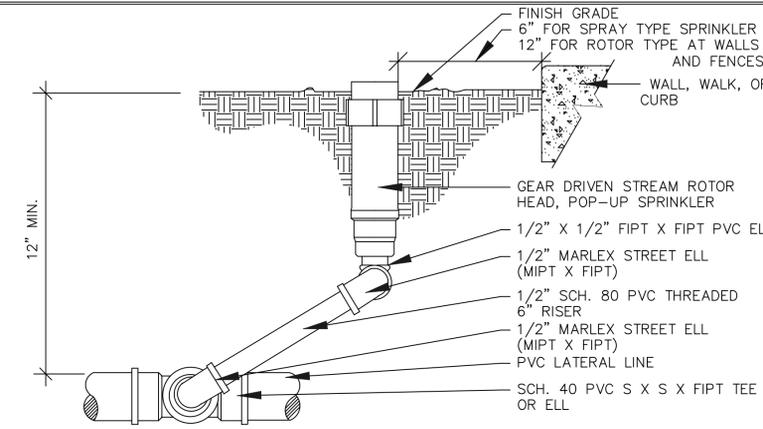
- THRUST BLOCKS SHALL BE INSTALLED AT ALL MAINLINE CHANGES IN DIRECTION.
- ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN LAWN AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER BODY IS FLUSH WITH ADJACENT SIDEWALK OR PAVING OR 1/2" BELOW GRASSCRETE.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED.
- SIZE IRRIGATION SLEEVES AS REQUIRED TO FIT ALL LATERALS FOR PROPOSED SYSTEMS. SLEEVES SHOULD BE LAID PRIOR TO CONSTRUCTION OF PROPOSED CONCRETE PAVING.
- ALL IRRIGATION VALVE MANIFOLDS SHALL BE INSTALLED IN LOCATIONS SHOWN ON PLANS. INSTALL PER DIMENSIONS AND NOTES LISTED ON IRRIGATION DRAWINGS. CONTRACTOR MAY PROPOSE ALTERNATIVE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL EXISTING IRRIGATION EQUIPMENT REMOVED FROM LATERALS ARE TO BE SALVAGED AND RETURNED TO THE LANDSCAPE MAINTENANCE DEPARTMENT.
- ALL EXISTING IRRIGATION SYSTEMS DISRUPTED BY CONSTRUCTION ARE TO BE REPAIRED, REPLACED, OR MODIFIED TO PROVIDE FULL COVERAGE TO ALL PLANT MATERIALS WITHIN THE LIMIT OF WORK. EXISTING SYSTEMS SHALL REQUIRE ADJUSTMENTS AS NEEDED TO MINIMIZE OVERSPRAY.
- ALL EXISTING IRRIGATION SYSTEMS TO REMAIN AS INDICATED ON THE DEMOLITION PLAN SHALL REMAIN CONNECTED TO THE IRRIGATION CONTROLLER. NAME SEQUENTIALLY AND LABEL ON EACH VALVE BOX.
- THE CONTRACTOR SHALL PROVIDE IN-HEAD CHECK VALVES ON ALL IRRIGATION HEADS ON SLOPES GREATER THAN 3%. CONTRACTOR SHALL PROVIDE IN-LINE CHECK VALVES ON ALL LATERALS ON SLOPES GREATER THAN 3% AT A MINIMUM SPACING OF TEN (10) FEET TO REDUCE LOW HEAD DRAINAGE.
- WHERE VERTICAL OBSTRUCTIONS IN THE LANDSCAPE AREA INTERFERE WITH THE SPRAY PATTERN OF ANY SPRINKLER RESULTING IN THE IMPROPER COVERAGE OF IRRIGATION, THE IRRIGATION CONTRACTOR SHALL RECTIFY THE SITUATION BY FIELD ADJUSTMENT TO THE IRRIGATION SYSTEM. THIS MAY REQUIRE THE ADDITION OF QUARTER CIRCLE SPRINKLER(S) TO EACH SIDE OF THE OBSTRUCTION OR OTHER MEASURES TO MAINTAIN A 100% COVERAGE OF THE AREA. ALL SUCH ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- IF FLOW SENSOR IS SPECIFIED, CONTRACTOR SHALL PROVIDE FLOW SENSOR CONTROL WIRES (SHIELDED) IN A 1-1/2" CONDUIT FROM THE CONTROLLER TO THE POINT OF CONNECTION.
- CONTRACTOR SHALL PROVIDE TWO (2) EXTRA CONTROL WIRES TO VALVES LOCATED FURTHEST FROM CONTROLLER. AT THIS LOCATION TERMINATE EXTRA WIRES IN A SEPARATE CONTROL VALVE BOX BY PROVIDING A 5' EXPANSION LOOP OF COMMON AND CONTROL WIRES. MARK VALVE BOX FOR EASY IDENTIFICATION IN FIELD.
- ALL IRRIGATION VALVES SHALL BE TAGGED WITH RUBBER CHRISTY TAGS, TIED TO THE VALVE WITH A STAINLESS STEEL WIRE OR SELF LOCKING PLASTIC TIE-WRAP.
- THE CONTRACTOR SHALL PROVIDE MASTER VALVE RELAY ASSEMBLIES IN EACH CONTROLLER. THE CONTRACTOR SHALL ALSO PROVIDE TYPE UF, 12AWG MINIMUM WIRING FROM CONTROLLER TO CONTROLLER, AND FROM THE MASTER VALVE TO THE NEAREST CONTROLLER.

$MAWA = (47)(.62)[(.55)(1,357)+(0)] = 21,749 \text{ GALLONS PER YEAR}$
 $ETWU = [(47)(.62)](PF * HA) + SLA = 10,729 \text{ TOTAL ETWU GALLONS PER YEAR}$

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE AND IRRIGATION DESIGN MANUAL.

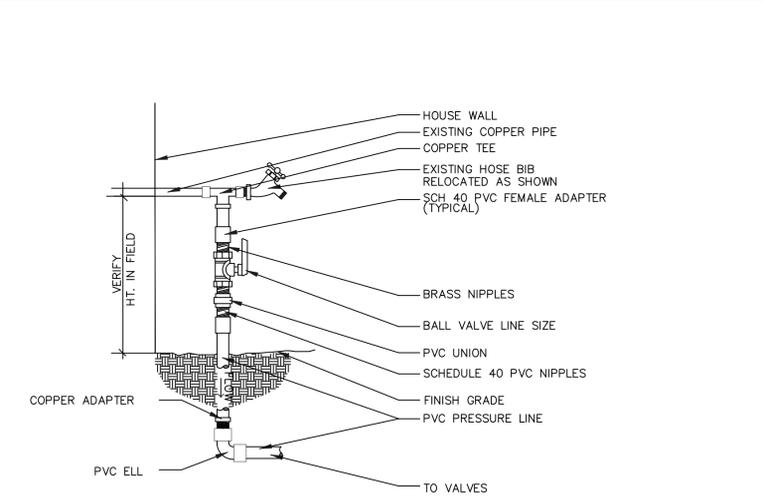


A AUTOMATIC CONTROL VALVE
SCALE: N.T.S.



B POP-UP SPRINKLER W/ SWING JOINT
SCALE: N.T.S.

NOTE:
 - CONTRACTOR SHALL INSTALL ANTI-DRAIN VALVES, AS REQUIRED, TO PREVENT LOW HEAD DRAINAGE
 - INSTALL SPRINKLER HEADS MINIMUM 6" FROM SIDEWALKS, CURBS AND PAVEMENT (12" FROM WALLS / FENCES)
 - USE 3/4" FITTINGS AND RISERS WHEN SPRINKLER INLET IS 3/4"



C P.O.C. TO HOSE BIB (PRIVATE YARDS ONLY)
SCALE: N.T.S.