



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 11, 2018 REPORT NO. HO-18-056

HEARING DATE: July 18, 2018

SUBJECT: Retail Outlet SDP. Process Three Decision

PROJECT NUMBER: [391370](#)

OWNER/APPLICANT: MAJ, LLC, Owner/Paris Hagman, Applicant

REFERENCE:

1. SAN YSIDRO COMMUNITY PLAN (PRIOR)
<https://www.sandiego.gov/sites/default/files/legacy/planning/community/profiles/pdf/cp/cpsyfull.pdf>
2. SAN YSIDRO PLANNED DISTRICT ORDINANCE (PRIOR)
http://docs.sandiego.gov/council_reso_ordinance/rao2007/O-19602.pdf
3. ORDINANCE O-20722: REPEAL OF THE SAN YSIDRO PLANNED DISTRICT
http://docs.sandiego.gov/council_reso_ordinance/rao2016/O-20772.pdf

SUMMARY

Issue: Should the Hearing Officer approve the construction of a commercial building located at 626–630 ½ East San Ysidro Boulevard in the CC-2-3 Zone (prior CSR-3 Zone of the San Ysidro Planned District) within the San Ysidro Community Planning area?

Staff Recommendation: Approve Site Development Permit No. 1383459.

Community Planning Group Recommendation: On July 18, 2016, the San Ysidro Community Planning Group voted unanimously 10-0-1 to recommend approval of the project without conditions or other recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 19, 2018, and the opportunity to appeal that determination ended July 3, 2018.

BACKGROUND

The 0.64-acre project site is located at 626-630 ½ East San Ysidro Boulevard, southeast of the merger of the I-5 and I-805 freeways near the United States and Mexico border. The site, comprised of three contiguous lots, contains three commercial structures and an abandoned residential building which will be demolished. Surrounding the property are one- and two-story commercial buildings bounded by Border Village Road to the south and Virginia Avenue to the west (Attachments 1 – 2). The immediate area contains strip malls and commercial buildings serving commuters, tourists, consumers, and residents (Attachment 3).

The property is currently within the CC-2-3 Zone of the San Ysidro Community Plan area. In December 2016, the City Council approved ordinance (Reference 3: O-20722), repealing the San Ysidro Planned District (SYPD), which reverted the site to the current zone. The project, however, was submitted in November 2014, prior to the change. Therefore, the project maintains rights to comply with the prior CSR-3 Zone of the SYPD, and is subject to the prior San Ysidro Community Plan (Reference 1: San Ysidro Community Plan). The properties were determined ineligible for historic designation during project review.

DISCUSSION

Project Description: The project proposes an approximately 8,036-square-foot one-story commercial building containing two retail suites (retail outlets). The project has been designed to meet the recommendations in the prior San Ysidro Community Plan and all regulations of the prior SYPD CSR-3 Zone. Public improvements include the closure of existing driveways and construction of new driveway, curb and gutter, and sidewalk. A six-foot public right-of-way dedication along the frontage will allow for the required 14-foot curb-to-property-line distance. An existing mature street tree will be protected in place, and an additional street tree planted.

Required Approvals: Pursuant to SDMC section [1518.0202\(a\)\(2\)](#) (Reference 2: SYPD), commercial development over 5,000 square feet requires a San Ysidro Development Permit processed as a Process Three Site Development Permit pursuant to SDMC section 151.0103.

Community Plan Analysis: The 1990 San Ysidro Community Plan identified the area as the Casas de Cambio and Visitor Serving – District 3/International Border Gateway within the Commercial Element of the community plan. The site is designated for border commercial uses (visitor-serving commercial uses). The district is the site of numerous “casas de cambio” or money-exchange houses located immediately adjacent to the border crossing. The plan identified a need to address the rehabilitation and economic revitalization of this area. The plan had two objectives that are addressed by the proposed project. The first objective sought to improve the appearance of dilapidated commercial structures and upgrade landscaping. The project will replace existing buildings with a new commercial building and will include site improvements with landscaping and attractive paving on-site, and in the public right-of-way. The second objective sought to increase commercial retail development at the border to capture tourist dollars. The proposed retail outlet will capture tourist dollars by providing a retail use near the border.

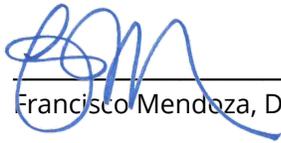
Conclusion: Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the

Land Development Code. Staff can support a determination that the project conforms to the San Ysidro Planned District and San Ysidro Community Plan previously in effect for the project site. Staff has provided draft findings to support the proposed development and draft conditions of approval. Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Site Development Permit No. 1383459, with modifications.
2. Deny Site Development Permit No. 1383459, if the findings required to approve the project cannot be affirmed.

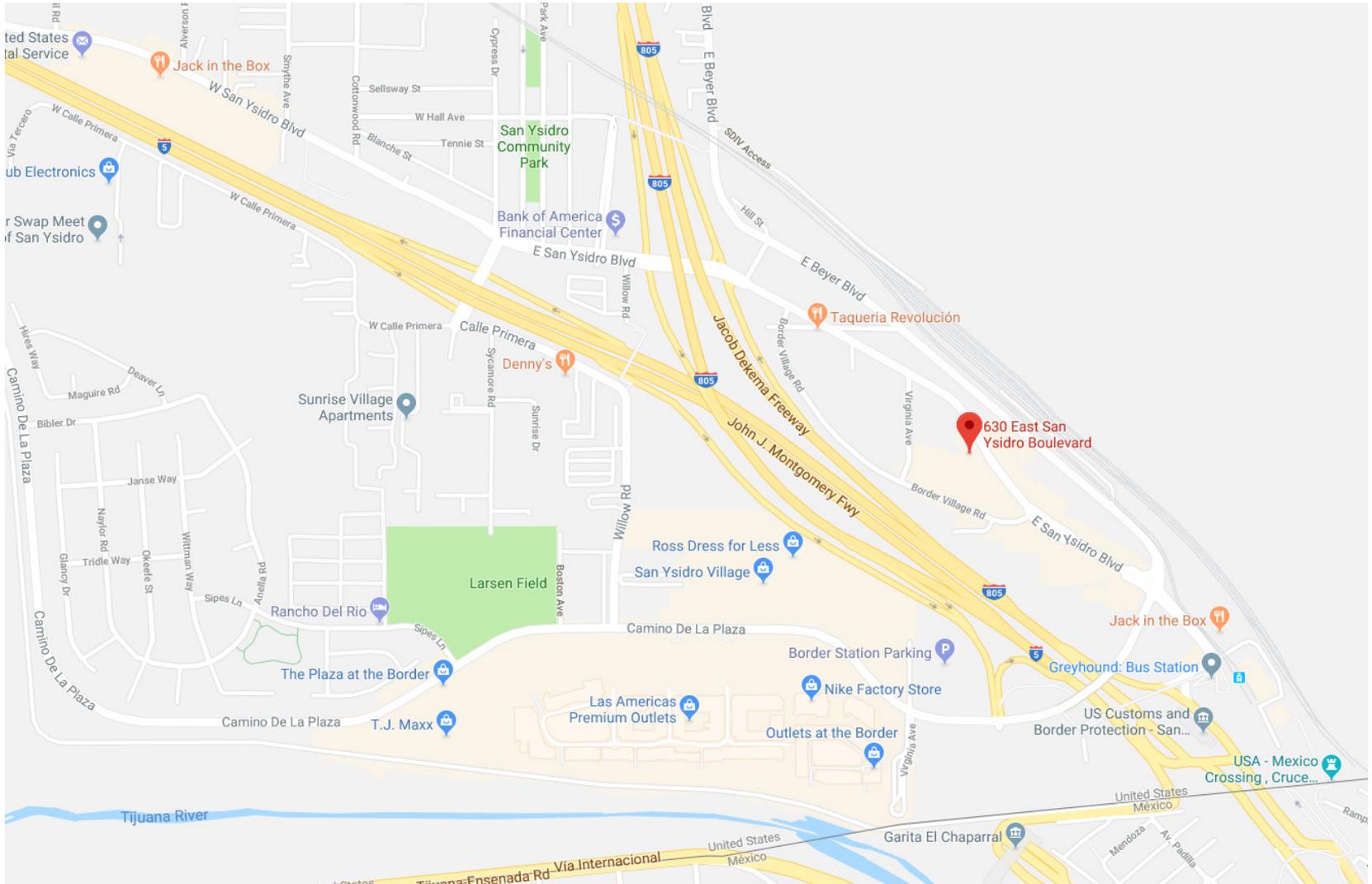
Respectfully submitted,



Francisco Mendoza, Development Project Manager

Attachments:

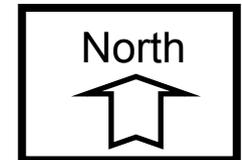
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans

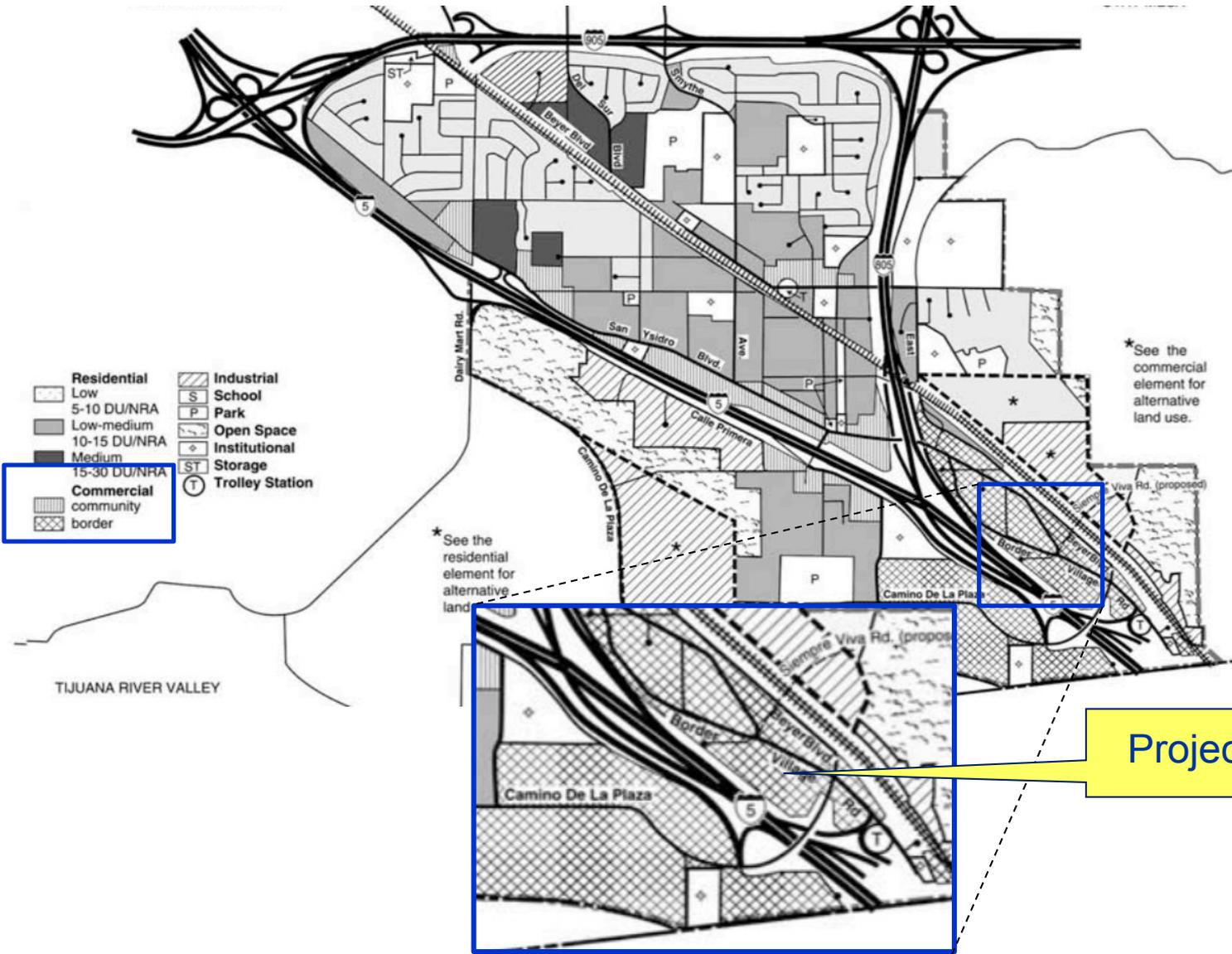


Project Location

Retail Outlet SDP

Project No. 391370 - 626-630 ½ East San Ysidro Boulevard





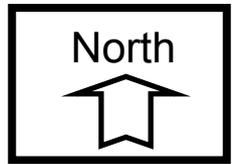
TIJUANA RIVER VALLEY



Land Use Map

Retail Outlet SDP

Project No. 391370 - 626-630 1/2 East San Ysidro Boulevard

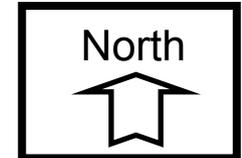




Aerial Photograph

Retail Outlet SDP

Project No. 391370 - 626-630 ½ East San Ysidro Boulevard



HEARING OFFICER RESOLUTION NO. HO-XXXX
SITE DEVELOPMENT PERMIT NO. 1383459
RETAIL OUTLET SDP - PROJECT NO. 391370

WHEREAS, MAJ, LLC, a California limited liability corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a commercial retail building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1383459), on portions of a 0.64-acre site; and

WHEREAS, the project site is located at 626-630 ½ East San Ysidro Boulevard, in the current CC-2-3 Zone, the prior CSR-3 Zone of the San Ysidro Planned District, and the 1990 San Ysidro Community Plan; and

WHEREAS, the project site is legally described as:

PARCELS 1-3:

ALL THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 19 SOUTH, RANGE 2 WEST SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY APPROVED FEBRUARY 25, 1870, LYING SOUTHWESTERLY OF THE SOUTHWESTERLY LINE OF TIJUANA BOULEVARD, FORMERLY COUNTY HIGHWAY COMMISSION ROUTE 10, DIVISION 2, MORE PARTICULARLY DESCRIBED IN ADMINISTRATOR'S DEED DATED JANUARY 31, 2014, AS DOCUMENT NO. 2014-0042580, OF OFFICIAL RECORDS.

PARCEL 4:

AN EASEMENT FOR INGRESS AND EGRESS OVER A STRIP OF LAND 20 FEET IN WIDTH LYING SOUTH OF AND ADJOINING TO THE EASTERLY PROLONGATION OF THE NORTHERLY LINE OF PARCEL 3 ABOVE AND EXTENDING EASTERLY TO THE SOUTHWESTERLY LINE OF TIJUANA BOULEVARD FORMERLY COUNTY HIGHWAY COMMISSION ROUTE 10, DIVISION 2; and

WHEREAS, on June 19, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines section 15303 (New Construction or Conversion of Small Structures), and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on July 18, 2018, the Hearing Officer of the City of San Diego considered Site Development No. 1383459 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego adopts the following findings with respect to Site Development No. 1383459:

A. Site Development Permit [SDMC section 126.0505]

1. The proposed development will not adversely affect the applicable land use plan.

The San Ysidro Community Plan identifies the area as the Casas de Cambio and Visitor Serving – District 3/International Border Gateway within the Commercial Element of the community plan and is designated for border commercial uses (visitor-serving commercial). Surrounding the property are one- and two-story commercial buildings bounded by Border Village Road to the south and Virginia Avenue to the west. The immediate area contains strip malls and commercial buildings that serve a diverse public, including commuters, tourists, consumers, and residents. The project proposes a 8,036-square-foot one-story commercial building containing two retail suites (retail outlets) and is designed to meet the recommendations in the prior San Ysidro Community Plan. The plan identified a need to address the rehabilitation and economic revitalization of the project vicinity with two objectives that are addressed by the proposed project. The first objective seeks to improve the appearance of dilapidated commercial structures and upgrade landscaping. The project will replace existing buildings with a new commercial building and will include site improvements with landscaping and attractive paving on-site, and in the public right-of-way. The second objective seeks to increase commercial retail development at the border to capture tourist dollars. The proposed retail outlet will capture tourist dollars by providing a retail use near the border. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The 0.64-acre site, comprised of three contiguous lots, contains three commercial structures and an abandoned residential building which will be demolished. Surrounding the property are one- and two-story commercial buildings bounded by Border Village Road to the south and Virginia Avenue to the west. The immediate area contains strip malls and commercial buildings serving a diverse public, including commuters, tourists, consumers, and residents. To improve public safety, improvements in the public right-of-way include closure of existing substandard-driveways and the construction of new driveway, curb and gutter, and sidewalk. A 6-

foot public right-of-way dedication is also required to allow for the required 14-foot curb-to-property line distance. An existing mature street tree will be protected in place, and an additional street tree will be planted, facilitating public health by providing shade and carbon sequestration. Additionally, the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project has been designed to meet the recommendations and regulations of the prior SYPD CSR-3 Zone, including, but not limited to, floor area ratio, setbacks, building height, and landscaping regulations. The project is not requesting any variances or deviations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1383459, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1383459, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on: July 18, 2018

IO#: 24005175

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24005175

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1383459
RETAIL OUTLET SDP - PROJECT NO. 391370
HEARING OFFICER

This Site Development Permit No. 1383459 is granted by the Hearing Officer of the City of San Diego to MAJ, LLC, a California limited liability company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0505. The 0.64-acre site is located at 626-630 ½ East San Ysidro Boulevard, in the CC-2-3 Zone within the San Ysidro Community Plan area. The project site is legally described as:

PARCELS 1-3:

ALL THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1 TOWNSHIP 19 SOUTH, RANGE 2 WEST SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY APPROVED FEBRUARY 25, 1870, LYING SOUTHWESTERLY OF THE SOUTHWESTERLY LINE OF TIJUANA BOULEVARD, FORMERLY COUNTY HIGHWAY COMMISSION ROUTE 10, DIVISION 2, MORE PARTICULARLY DESCRIBED IN ADMINISTRATOR'S DEED DATED JANUARY 31, 2014, AS DOCUMENT NO. 2014-0042580, OF OFFICIAL RECORDS.

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Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a commercial retail building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 18, 2018, on file in the Development Services Department.

The project shall include:

- a. The construction of an 8,036-square-foot single-story commercial retail building;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 2, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to import material to the project site. Any excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
14. Prior to the issuance of any building permits, the Owner/Permittee shall remove the private brick pavers encroaching into the San Ysidro Boulevard Right-of-Way, satisfactory to the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard SDG-163, 27-foot-wide commercial concrete driveway, adjacent to the site on San Ysidro Boulevard, satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional six (6) feet on San Ysidro Boulevard to provide a 14-foot curb-to-property-line distance, satisfactory to the City Engineer.
17. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Owner/Permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct a current City Standard sidewalk, adjacent to the site on San Ysidro Boulevard, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

24. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

29. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to dedicate and improve a six-foot right-of-way on the project frontage on San Ysidro Blvd. The dedicated area should be free and clear of all encumbrance and easement, including the existing wall on the southern property line.

30. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

31. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate above ground private back flow prevention devices (BFPDs), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs are typically located on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

32. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

33. Prior to the issuance of any building permits, the Owner/Permittee shall construct all water and sewer facilities required by the Public Utilities Department necessary to serve this development and assure them by permit and bond.

34. Prior to issuance of any engineering permits, the Owner/Permittee shall obtain Encroachment and Maintenance Removal Agreement (EMRA) for improvements of any kind, including utilities, proposed sewer lateral in the driveway, landscaping, enriched paving, curb, gutter and sidewalk, and electrical conduits to be installed within the within the public- right-of-way or public easement.

35. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

36. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

37. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this

ATTACHMENT 5

permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 18, 2018 and HO-_____.

ATTACHMENT 5

Site Development Permit No. 1383459
Date of Approval: July 18, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Francisco Mendoza
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

MAJ, LLC
Owner/Permittee

By _____
Alan Weinstein
Managing Member

MAJ, LLC
Owner/Permittee

By _____
Marc Weinstein
Managing Member

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: June 19, 2018

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24005175

PROJECT NAME / NUMBER: Retail Outlet Site Development Permit/Project no. 391370

COMMUNITY PLAN AREA: San Ysidro Community Plan

COUNCIL DISTRICT: 8

LOCATION: 626-630 1/2 East San Ysidro Boulevard, San Diego, CA 92173

PROJECT DESCRIPTION: SITE DEVELOPMENT PERMIT (SDP) to demolish four structures, and to allow for the construction of a one-story, 8,036 square-foot commercial building, on three contiguous lots, on a 28,732 square-foot site. The project also proposes the closure of existing driveways and construction of a driveway, curb and gutter, and sidewalk. The 28,732-square-foot lot is currently located in the CC-2-3 zone (prior SYIO-CSR-3 zone) of the San Ysidro Community Plan, and the Federal Aviation Administration (FAA) Part 77 Notification Area. The project was processed in accordance with the 1990 San Ysidro Community Plan and the project site is designated border commercial (visitor-serving commercial).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (c) (New Construction or Conversion of Small Structures)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303 which consists of construction and location of limited numbers of new, small facilities, or structures. In urbanized areas, the exemption also applies to up to four such commercial buildings not exceeding 10,000 square-feet in floor area on sites zoned for such use if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. In addition, the exceptions listed in CEQA Section 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER: Francisco Mendoza

MAILING ADDRESS: 1222 First Avenue, MS 301, San Diego, CA 92101-4153

PHONE NUMBER / EMAIL:

(619) 446-5433/ FMendoza@sandiego.gov

On June 19, 2018, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 3, 2018). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

POSTED IN THE OFFICE OF DSD
Posted JUN 18 2018 *me*
Removed JUL 05 2018
Posted by *Myralee*



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Retail Outlet SDP		Project Number: 391370		Distribution Date: 04/27/2016	
Project Scope/Location: SAN YSIDRO (Process 3) Site Development Permit to construct a 8,000 sf (was 10,520) retail outlet building located at 626 - 628 East San Ysidro Blvd. The 28,732 sq ft lot is located in the SYIO-CSR-3 zone of the San Ysidro Implementing Ordinance Area (San Ysidro Planned District) in the San Ysidro Community Plan Area. Council District 8.					
Applicant Name: <i>FMendoza</i>				Applicant Phone Number:	
Project Manager: Pancho Mendoza		Phone Number: (619) 466-5433	Fax Number: (619) 446-5245	E-mail Address: FMendoza@sandiego.gov	
Project Issues (To be completed by Community Planning Committee for initial review): <i>NO ISSUES.</i>					
<i>Attach Additional Pages If Necessary.</i>			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 2

Project Name: Retail Outlet SDP		Project Number: 391370	Distribution Date: 04/27/2016
Project Scope/Location: SAN YSIDRO (Process 3) Site Development Permit to construct a 8,000 sf (was 10,520) retail outlet building located at 626 - 628 East San Ysidro Blvd. The 28,732 sq ft lot is located in the SYIO-CSR-3 zone of the San Ysidro Implementing Ordinance Area (San Ysidro Planned District) in the San Ysidro Community Plan Area. Council District 8.			
Applicant Name:		Applicant Phone Number:	
Project Manager: Pancho Mendoza	Phone Number: (619) 466-5433	Fax Number: (619) 446-5245	E-mail Address: FMendoza@sandiego.gov
Committee Recommendations (To be completed for Initial Review): <i>NO RECOMMENDATIONS</i>			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes <i>10</i>	Members No <i>0</i>	Members Abstain <i>1</i> <i>Recused</i>
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: <i>NONE</i>			
NAME: <i>MICHAEL R. FREEDMAN</i>		TITLE: <i>CHAIRMAN</i>	
SIGNATURE: <i>Michael R. Freedman</i>		DATE: <i>7/18/2016</i>	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

Project Title: RETAIL OUTLET	Project No. (For City Use Only) 391370
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: 10601-G Tierrasanta Blvd. PMB 3430

City/State/Zip: San Diego, CA. 92124

Phone No: 619-379-7517 Fax No: _____

Name of Corporate Officer/Partner (type or print): Alan Weinstein

Title (type or print): managing member

Signature: _____ Date: 9/10/14

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: 10601-G Tierrasanta Blvd. PMB 3430

City/State/Zip: San Diego CA. 92124

Phone No: 619-302-7993 Fax No: _____

Name of Corporate Officer/Partner (type or print): Marc Weinstein

Title (type or print): managing member

Signature: _____ Date: 9-15-14

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature: _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature: _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature: _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature: _____ Date: _____



HAGMAN & ASSOCIATES
 ARCHITECTURE & PLANNING
 1516 W. REDWOOD ST., SUITE 205
 SAN DIEGO, CA. 92101
 (619) 298-8058 PHONE & FAX
 PARISHAG@PACBELL.NET

RETAIL OUTLET

NEW RETAIL OUTLET STORE

626-630 1/2 SAN YSIDRO BLVD.
 SAN DIEGO, CA. 92173

D:\Current Projects 4-10-18\San Ysidro Office Complex\pastes\image for title sheet 2.jpg

CONDITIONS OF APPROVAL

- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE ABOVE GROUND PRIVATE BACK FLOW PREVENTION DEVICE(S), ON EACH WATER SERVICE (DOMESTIC, FIRE AND IRRIGATION) IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER, BFPD'S ARE TYPICALLY LOCATED ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BFPD'S TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF ANY NEW WATER AND SEWER SERVICE(S) OUTSIDE OF ANY DRIVEWAY AND THE DISCONNECTION AT THE WATER MAIN OF THE EXISTING UNUSED WATER SERVICE ADJACENT TO THE PROJECT SITE, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITEE SHALL CONSTRUCT ALL WATER AND SEWER FACILITIES REQUIRED BY THE PUBLIC UTILITIES DEPARTMENT NECESSARY TO SERVE THIS DEVELOPMENT AND ASSURE THEM BY PERMIT AND BOND. UTILIZATION OF EXISTING SEWER LATERALS IS AT THE SOLE RISK AND RESPONSIBILITY OF THE OWNER/PERMITEE TO ENSURE THE LATERALS ARE FUNCTIONAL AND CONNECTED TO A PUBLIC SEWER FACILITY. PRIOR TO CONNECTING TO ANY EXISTING SEWER LATERAL, THE LATERAL SHALL BE INSPECTED USING A CLOSED-CIRCUIT TELEVISION (CCTV) BY A CALIFORNIA LICENSED PLUMBING CONTRACTOR TO VERIFY THE LATERAL IS IN GOOD WORKING CONDITION AND FREE OF ALL DEBRIS.
- ALL PROPOSED PRIVATE SEWER FACILITIES LOCATED WITHIN A SINGLE LOT ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- ALL PROPOSED PUBLIC WATER AND SEWER FACILITIES, MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER AND SEWER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES PERTAINING THERETO.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.

PROJECT DIRECTORY

ARCHITECT: HAGMAN & ASSOCIATES
 1516 W. REDWOOD ST. # 205
 SAN DIEGO, CA. 92101
 TEL: (619) 298-8058
 CONTACT: PARIS HAGMAN, ARCHITECT

TOPOGRAPHIC SURVYOR: K & S ENGINEERING
 CIVIL ENGINEER: 7801 MISSION CENTER CT.
 SUITE 100
 SAN DIEGO, CA. 92108
 TEL: (619) 296-5565
 CONTACT: HOSSEIN ZOMORRODI

LANDSCAPE DESIGNER: ANGELINA SOTELO, ASLA
 2643 4TH AVE.
 SAN DIEGO, CA. 02103
 (619) 719-6756

PUBLIC UTILITIES

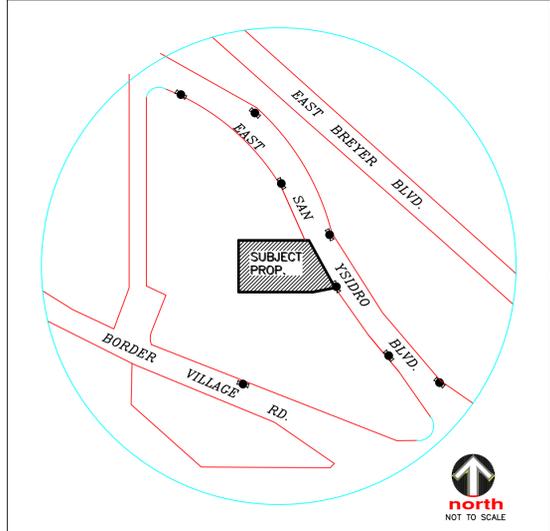
WATER & SEWER CITY OF SAN DIEGO WATER DEPT.
 SAN DIEGO, CA. 92187
 (619) 515-3500

GAS AND ELECTRIC SAN DIEGO GAS & ELECTRIC
 (800) 227-2600

TELEPHONE A T & T
 (800) 750-2355

CABLE COX COMMUNICATION CENTER
 (800)

FIRE HYDRANTS WITHIN 600' RADIUS



VICINITY MAP



PARCEL MAP



OCCUPANCY AREA CALCULATION

USE AREA	OCCUPANT LOAD FACTOR	O.L.
CUSTOMER AREA: 6637 SF	60	110
STOCK & STORAGE AREA 1,400 SF	300	5
TOTAL BUILDING OCCUPANT LOAD		115

PROJECT DATA

PROJECT NAME: SAN YSIDRO RETAIL OUTLET
 PROJECT ADDRESS: 626-630 1/2 EAST SAN YSIDRO BLVD., SAN DIEGO, CA. 92173
 ASSESSOR'S PARCEL NO. 666-200-16, 666-200-33, 666-200-20
 LEGAL DESCRIPTION: POR SE 1/4 OF NE 1/4, SEC 1 T195-R2W
 ZONING: SY10-CSR-3
 OVERLAY ZONES: NONE
 COMMUNITY PLANNED DISTRICT: SAN YSIDRO COMMUNITY GROUP
 TYPE OF CONSTRUCTION: VB SPRINKLERED
 OCCUPANCY CLASSIFICATION: M
 GEOLOGICAL HAZARD CATAGORY:53
 OCCUPANT LOAD: 225 (SEE TABULATION THIS SHEET)
 EXISTING USE (TO BE DEMOLISHED): 2-COMMERCIAL BUILDINGS, 2-RESIDENTIALS
 YEAR EXISTING WERE BUILT: EXISTING RESIDENTIAL 1 1953
 EXISTING RESIDENTIAL 2 1950
 EXISTING COMMERCIAL 1 1945
 EXISTING COMMERCIAL 2 1955
 PROPOSED USE: COMMERCIAL/RETAIL
 HOURS OF OPERATION: 8:00 AM TO 9:00 PM
 OWNER: MAJ, LLC
 MARC WEINSTEIN
 ALAN WEINSTEIN
 10601G TIERRASANTA BLVD. PMB3430
 SAN DIEGO, CA. 92124
 ARCHITECT/APPLICANT: PARIS HAGMAN
 HAGMAN & ASSOCIATES
 1516 W. REDWOOD ST.
 SAN DIEGO, CA. 92101
 (619) 298-8058
 PARISHAG@PACBELL.NET
 AREAS:
 LOT AREA: 28,732 SF (APPROX.)
 PROPOSED GROSS FLOOR AREA 8,036 SF
 F.A.R. 28%
 MAX. HT. 25'-0"
 AUTOMOBILE PARKING:
 REQUIRED 2.5/1000SF 20
 PROVIDED STANDARD STALLS 19
 VAN-ACCESSIBLE HC 1
 TOTAL PROVIDED 20
 MOTOR CYCLE SPACES: 2
 PERMANENTLY ANCHORED BICYCLE RACK 3
 AREA OF LANDSCAPING: PLEASE SEE AREA CALCULATIONS ON L SHEETS

SCOPE OF WORK

AS PRESENTED, THIS PROJECT REQUESTS A PROCESS 3 SITE PLAN DEVELOPMENT PERMIT (SAN YSIDRO DEVELOPMENT PERMIT) TO DEMOLISH 3-DELAPITATED COMMERCIAL STRUCTURES AND 1-DELAPITATED RESIDENTIAL STRUCTURE, AND TO CONSTRUCT A 1-STORY, 8,036 SF, RETAIL OUTLET BUILDING ON 3-CONTIGUOUS LOTS. TOTAL AREA OF THESE LOTS IS 28,732 SF.
 PROVISION OF 19-STANDARD PARKING, 1-VAN ACCESSIBLE PARKING, 2-MOTORCYCLE SPACES, AND 3-BICYCLE SPACES AS SHOWN ON SITE PLAN.
 PROVISION OF LANDSCAPING AS SHOWN ON CONCEPTUAL LANDSCAPING PLAN.

SHEET INDEX

TS	TITLE SHEET, PROJECT DATA, VICINITY MAP, NOTES.
C1	TITLE AND SECTIONS
C2	EXISTING TOPOGRAPHY
C3	GRADING PLAN
C4	BMP PLAN
C5	SEWER PLAN
A1	PROPOSED NEW SITE PLAN
A2	PROPOSED NEW FLOOR PLAN & SIT SECTIONS
A3	ELEVATIONS & PERSPECTIVES
A4	SITE SECTIONS
A5	BUILDING SECTIONS & ROOF PLAN
L1.0	PLANTING PLAN
L1.1	PLANTING NOTES & DETAILS
L2.0	IRRIGATION PLAN
L2.1	IRRIGATION DETAILS

TITLE BLOCK

SITE DEVELOPMENT PERMIT PROCESS 3 (SAN YSIDRO DEVELOPMENT PERMIT) FOR CONSTRUCTION OF A 1-STORY RETAIL OUTLET BUILDING.

TITLE SHEET

COMPLETION REVIEW SUBMITTAL:
 FIRST COMPLETE SUBMITTAL:
 CYCLE 1 REVIEW RESUBMITTAL:
 CYCLE 2 REVIEW RESUBMITTAL:
 REVISION 1:
 REVISION 2:
 REVISION 3:
 REVISION 4: 4-27-18

RETAIL OUTLET

NEW RETAIL OUTLET STORE @
 626-630 1/2 EAST SAN YSIDRO BLVD. SAN DIEGO, CA. 92173

REVISIONS

DATE: _____

JOB NO.: _____

DRAWN BY: PH

CHECKED BY: _____

SCALE: AS SHOWN

SHEET

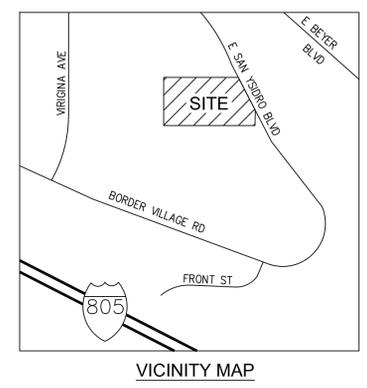
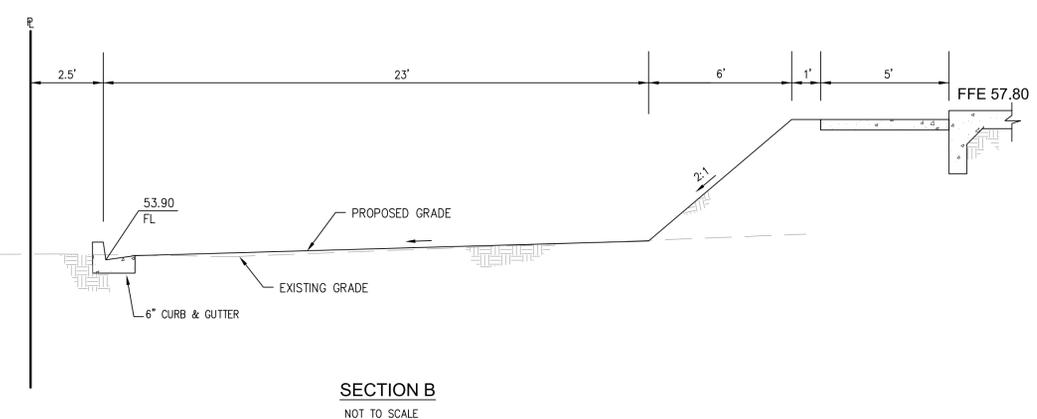
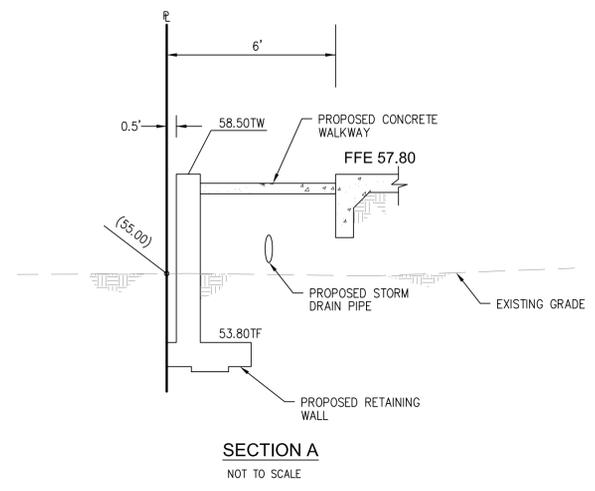
TS

OF 15 SHEETS



K & S ENGINEERING, INC.
 Planning • Engineering • Surveying
 7801 Mission Center Court, Suite 100
 San Diego, CA 92108
 (619) 296-5565
 Fax: (619) 296-5564

RETAIL OUTLET
NEW RETAIL OUTLET STORE @
626-628 EAST SAN YSIDRO BLVD. SAN DIEGO, CA. 92173



LEGEND:

EXISTING IMPROVEMENTS

ITEM	SYMBOL
PROJECT BOUNDARY	—
CENTERLINE	— C —
RIGHT OF WAY	—
WATER MAIN	— W — W — W —
SEWER MAIN	— S — S — S —
STORM DRAIN MAIN	—
6" CURB & GUTTER	—
SPOT ELEVATION	80
FIRE HYDRANT	80

LEGAL DESCRIPTION:
 POR SE 1/4 OF NE 1/4, SEC 1 T19S - R2W

TOPOGRAPHY:
 FIELD SURVEY BY: K&S ENGINEERING, INC.
 7801 MISSION CENTER CT., STE. 100
 SAN DIEGO, CA 92108
 (619) 296-5565
 DATED: MAY 6, 2015

AERIAL SURVEY BY: MERCATOR ASSOCIATES INC.
 1896 CHAPARRAL DRIVE
 VISTA, CA 92081
 (760) 599-7390
 DATED: JUNE 2, 2015

SITE ADDRESS:
 626-628 EAST SAN YSIDRO BLVD. SAN DIEGO, CA. 92173

APN:
 666-200-16, 666-200-33, 666-200-20

BENCHMARK:
 DESCRIPTION: CITY OF SAN DIEGO NMBP
 LOCATION: SAN YSIDRO BLVD & COTTONWOOD RD
 ELEVATION: 49.578

OWNER APPLICANT:
 ALAN WEINSTEIN
 MA-J, LLC
 10601 G TIERRASANTA BLVD. PMB 3430
 SAN DIEGO, CA. 92124

SHEET INDEX:

TITLE & SECTIONS	C1
EXISTING TOPOGRAPHY	C2
GRADING PLAN	C3
BMP PLAN	C4
SEWER PLAN	C5

GRADING QUANTITIES

GRADED AREA	0.60	[ACRES]
CUT QUANTITIES	135	[CYD]
FILL QUANTITIES	600	[CYD]
IMPORT/EXPORT	465	[CYD]

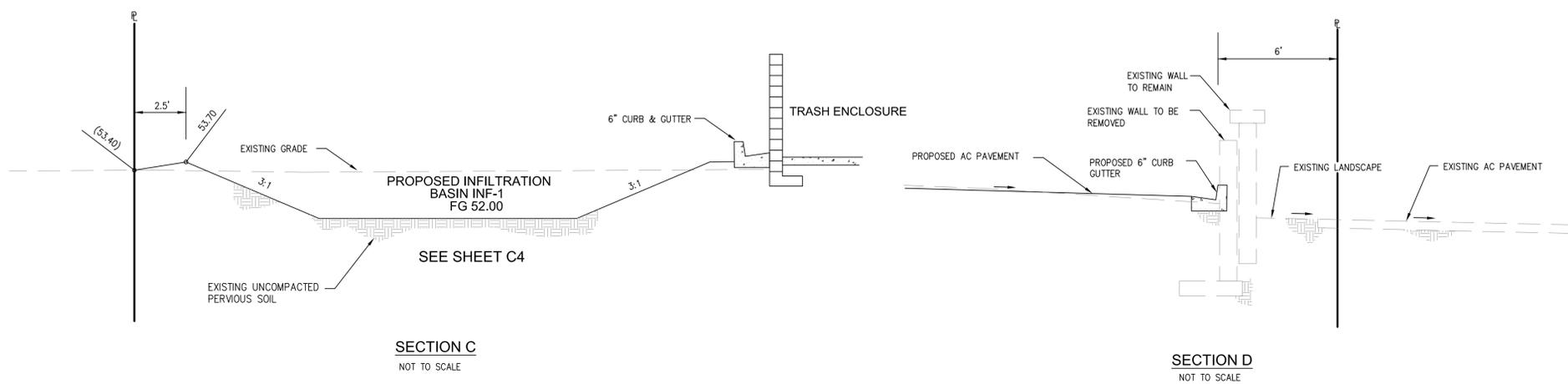
EARTHWORK QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE, LOSSES DUE TO CLEARING OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR SHOULD VERIFY QUANTITIES PRIOR TO BIDDING.

LOT AREA	DISTURBED AREA
27,780 S.F. - 0.64 AC (GROSS)	26,106 S.F. - 0.60 ACRES
27,291 S.F. - 0.63 AC (NET)	

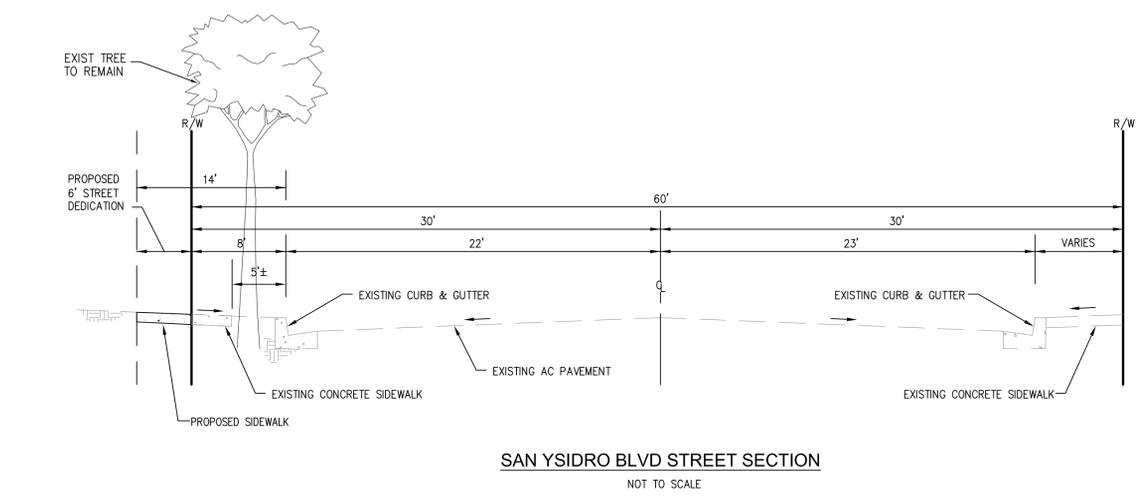
EXISTING	PROPOSED
IMPERVIOUS AREA 7,129 S.F. - 0.16 ACRES	IMPERVIOUS AREA 19,164 S.F. - 0.44 ACRES
PERVIOUS AREA 20,651 S.F. - 0.48 ACRES	PERVIOUS AREA 8,616 S.F. - 0.20 ACRES

GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:
 AREA 0.60 AC. % OF TOTAL SITE 94
 AMOUNT OF CUT: 135 CUBIC YARDS
 MAXIMUM DEPTH OF CUT: 3' FEET.
 AMOUNT OF FILL: 600 CUBIC YARDS
 MAXIMUM DEPTH OF FILL: 3' FEET.
 MAXIMUM HEIGHT OF FILL SLOPE: 3' FEET.
 2:1 SLOPE RATIO.
 MAXIMUM HEIGHT OF CUT SLOPE: 3' FEET.
 3:1 SLOPE RATIO.
 AMOUNT IMPORT SOIL: 465 CUBIC YARDS
 RETAINING WALL:
 MASONRY: LENGTH 190 FEET. MAXIMUM HEIGHT 4.5 FEET.



- GENERAL NOTES**
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES.
 - ALL STORM WATER RUN-OFF FROM THE PROPOSED DEVELOPMENT IS DIRECTED TO PROPOSED TREATMENT CONTROL BMP'S
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S) ON THE FINAL CONSTRUCTION DRAWINGS, CONSISTENT WITH THE APPROVED WATER QUALITY TECHNICAL REPORT.
 - PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE ABOVE GROUND PRIVATE BACKFLOW PREVENTION DEVICE(S), ON EACH WATER SERVICE (DOMESTIC, FIRE AND IRRIGATION), IN A MANNER SATISFACTORY FOR THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER. BFPD'S ARE TYPICALLY LOCATED ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BFPD'S TO BE RELOCATED BELOW GRADE OR WITHIN THE STRUCTURE.
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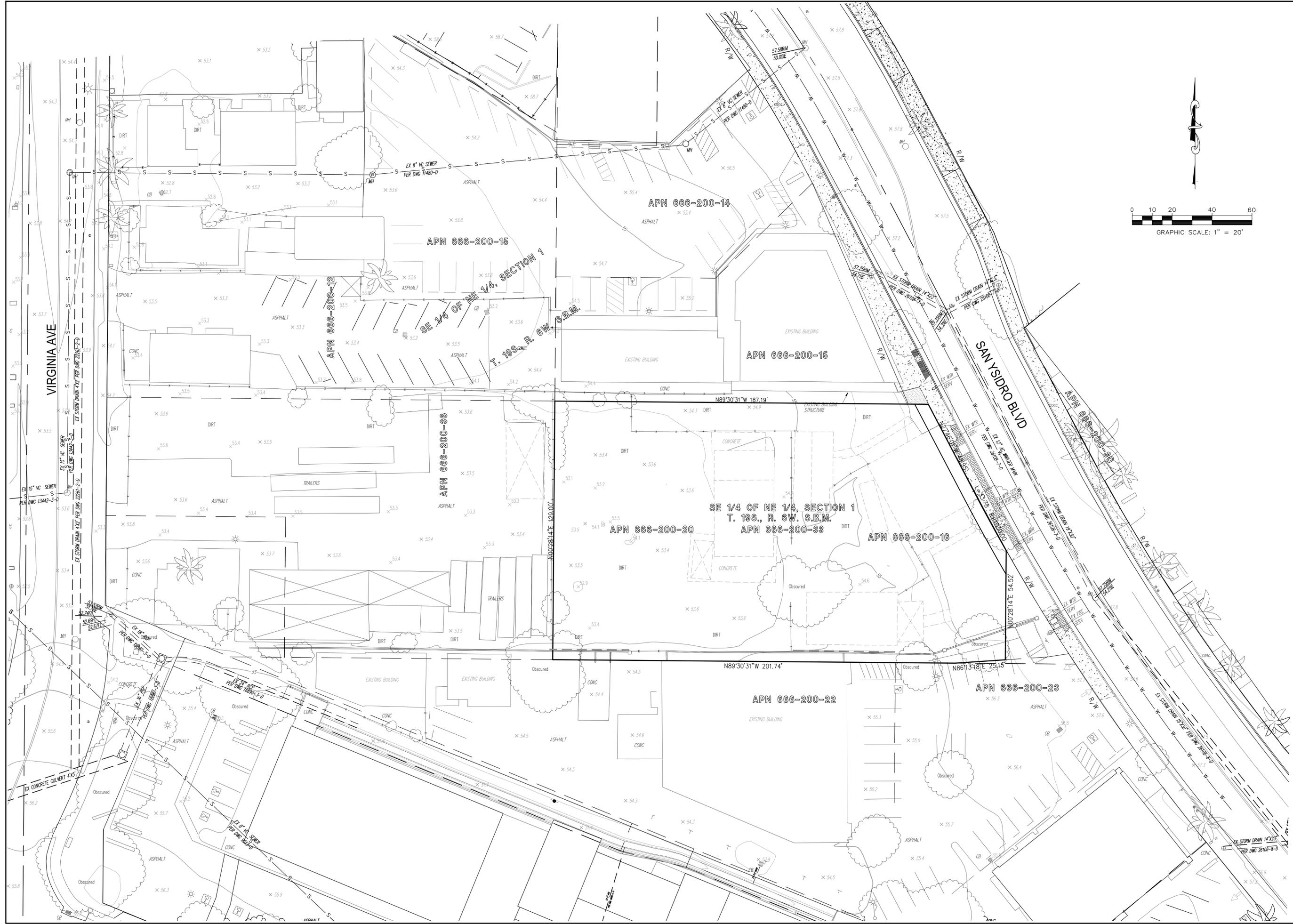
SECTIONS

REVISIONS

NO.	DATE	DESCRIPTION
1	12/21/17	Cycle Issue (11/21/17)
2	01/20/18	Building footprint/site plan
3	03/29/18	Sewer main slope
4	04/18/18	Pavement within ROW

DATE: 03/29/18	JOB NO.:	DRAWN BY: PH	CHECKED BY:	SCALE: AS SHOWN
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SHEET
C1
 OF SHEETS



K & S ENGINEERING, INC.
 Planning · Engineering · Surveying
 7801 Mission Center Court, Suite 100
 San Diego, CA 92108
 (619) 294-5565



RETAIL OUTLET
NEW RETAIL OUTLET STORE @
 626-628 EAST SAN YSIDRO BLVD. SAN DIEGO, CA. 92173

REVISIONS

12/12/17	Cycle Issue (11/21/17)
01/20/18	Building footprint/site plan
03/29/18	Sewer main slope
04/18/18	Pavement within ROW

EXISTING TOPOGRAPHY

DATE:	03/29/18
JOB NO.:	
DRAWN BY:	PH
CHECKED BY:	
SCALE:	AS SHOWN



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 Planning · Engineering · Surveying
 7801 Mission Center Blvd., Suite 100
 San Diego, CA 92108
 (619) 296-5565

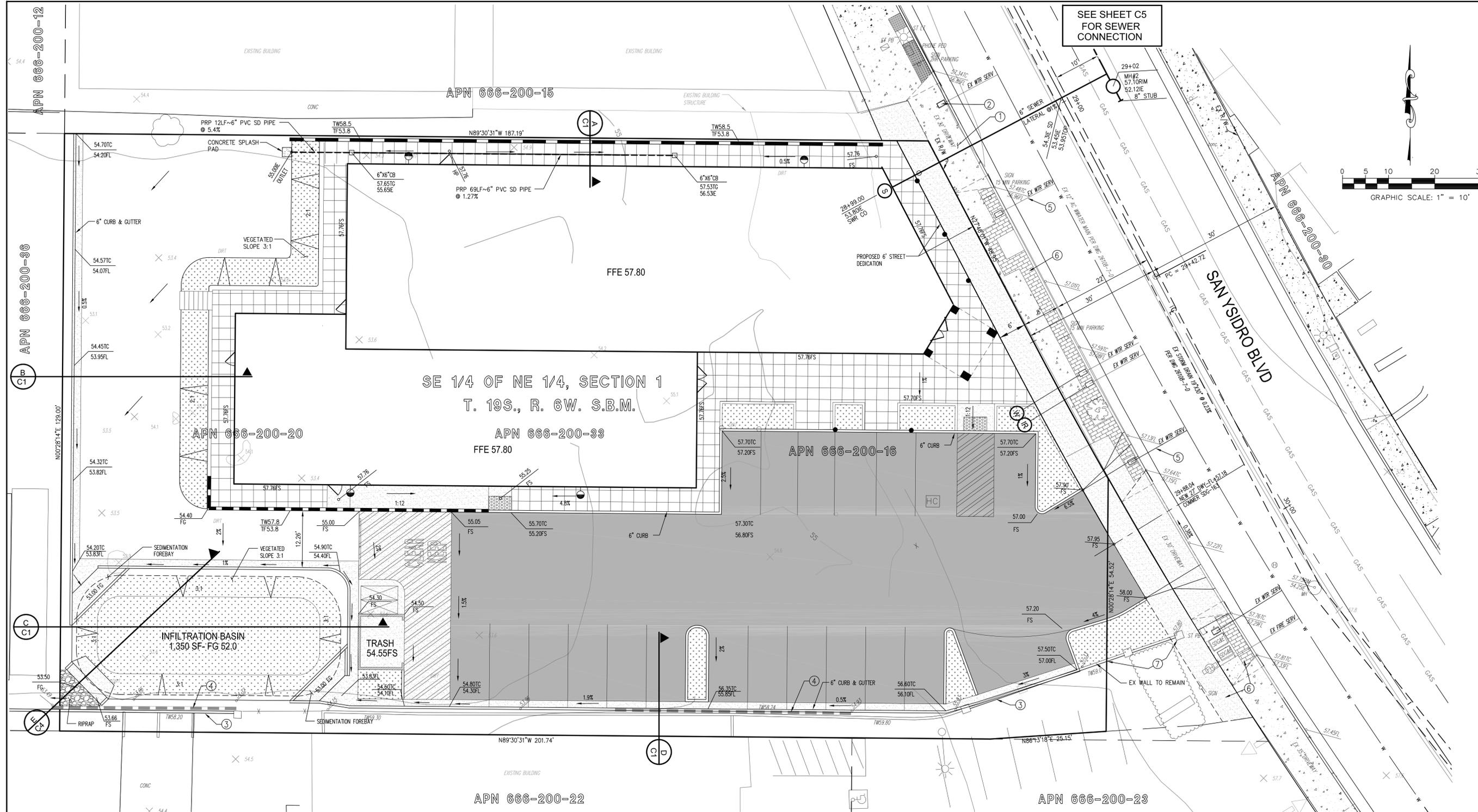
RETAIL OUTLET
 NEW RETAIL OUTLET STORE @
 626-628 EAST SAN YSIDRO BLVD., SAN DIEGO, CA. 92173

REVISIONS

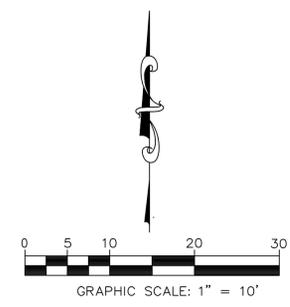
12/12/17	Issue (11/21/17)
01/20/18	Building footprint/site plan
03/29/18	Sewer main slope
04/18/18	Pavement within ROW

DATE: 03/29/18	JOB NO.:	DRAWN BY: PH	CHECKED BY:	SCALE: AS SHOWN
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SHEET
C3
 OF SHEETS



SEE SHEET C5
 FOR SEWER
 CONNECTION

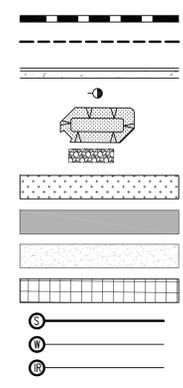


- CONSTRUCTION NOTES:**
- 1 CLOSE EXISTING 22' DRIVEWAY AND REPLACE WITH FULL CURB & GUTTER AND SIDEWALK.
 - 2 PROTECT EXISTING WATER METER, ADJUST TO NEW GRADE BY OTHERS.
 - 3 EXISTING WALL TO REMAIN.
 - 4 EXISTING WALL TO BE REMOVED.
 - 5 KILL EXISTING WATER SERVICE.
 - 6 REMOVE BRICK PAVERS ASPHALT FROM PUBLIC RIGHT OF WAY. REPLACE WITH CONCRETE TO MATCH EXISTING
 - 7 REMOVE PORTION OF EXISTING MAS WALL AS SHOWN

PROPOSED IMPROVEMENTS

- ITEM**
- CATCH BASIN 6"x6"
 - MASONRY RETAINING WALL
 - 6" PVC STORM DRAIN PIPE
 - 6" CURB & GUTTER
 - ROOF DOWNSPOUT
 - INFILTRATION BASIN
 - RIP RAP ENERGY DISSIPATOR
 - LANDSCAPE
 - AC PAVEMENT
 - CONCRETE PAVEMENT
 - DECO CONCRETE
 - 6" SEWER LATERAL
 - WATER SERVICE (DOMESTIC)
 - WATER SERVICE (IRRIGATION)

SYMBOL



GRADING PLAN

BMP EXHIBIT

PERVIOUS AND IMPERVIOUS AREA COMPARISON

AREA TYPE	EXISTING CONDITION (SQ.FT.)	%	PROPOSED CONDITION (SQ.FT.)	%	DIFFERENCE (SQ.FT.)
SITE	27,780	100	27,780	100	0
TOTAL IMPERVIOUS SURFACE	7,129	26	19,164	68	+12,035
TOTAL PERVIOUS SURFACE	20,651	74	8,616	32	-12,035

GENERAL INFORMATION

RECEIVING WATERS
 - TIJUANA RIVER:
 - POLLUTANTS OF CONCERN: EUTROPHIC, INDICATOR BACTERIA, LOW DISSOLVED OXYGEN, PESTICIDES, PHOSPHORUS, SEDIMENT/ SILTATION, SELENIUM, SOLIDS, SURFACTANTS SYNTHETIC ORGANICS, TOTAL NITROGEN, TOXICITY TRACE ELEMENTS & TRASH.

- TIJUANA RIVER ESTUARY:
 - POLLUTANTS OF CONCERN: EUTROPHIC, INDICATOR BACTERIA, LEAD, LOW DISSOLVED OXYGEN, NICKEL, PESTICIDES, THALLIUM, TRASH & TURBIDITY

BMP CATEGORY/TYPE

ONE INFILTRATION BASIN (INF-1)

STORM WATER QUALITY MANAGEMENT PLAN (SWQMP)

FOR - RETAIL OUTLET @ 626-628 EAST SAN YSIDRO BLVD. SAN DIEGO, CA. 92173
 DATE - FEBRUARY 29, 2016
 PREPARED BY - K&S ENGINEERING, INC.

MAINTENANCE AGREEMENT DOCUMENT

TBD-CONCEPTUAL GRADING STAGE

OPERATIONS MAINTENANCE PLAN

TBD-CONCEPTUAL GRADING STAGE

HYDROLOGIC SOIL GROUP

HYDROLOGIC SOIL GROUP TYPE A, TuB- TIJUANA SAND PER THE WEB SOIL SURVEY NATIONAL COOPERATIVE SOIL SURVEY SURVEY AREA DATA: VERSION 9, SEPTEMBER 17, 2015

GROUNDWATER

EVIDENCE OF GROUNDWATER AT 15' BELOW EXISTING SURFACE PER GEOTECHNICAL REPORT AND PER THE WATERBOARDS GAMA GEOTRACKER THERE IS NO GROUNDWATER ONSITE.

SOURCE CONTROL NOTES

- MARK ALL CATCH BASINS, CURB INLETS WITH "NO DUMPING GOES TO THE OCEAN, NO TIRAR BASURA LLEGA AL MAR"
- INTERIOR FLOOR DRIANS AND ELEVATOR SHAFT SUMP PUMP WILL BE PLUMBED TO SANITARY SEWER
- PARKING GARAGE FLOOR DRAINS WILL BE PLUMBED TO SANITARY SEWER
- NOTE BUILDING DESIGN FEATURES THAT DISCOURAGE ENTRY OF PEST
- CONSIDER USING PEST-RESISTANT PLANT, DESIGN LANDSCAPE TO MINIMIZE IRRIGATION AND RUNOFF TO PROMOTE SURFACE INFILTRATION WHERE APPROPRIATE.
- SANITARY SEWER CLEANOUT SHALL BE WITHIN 10 FEET FROM THE POOL AND CONNECTION WILL BE MADE TO CITY'S REQUIREMENTS.
- FIRE SPRINKLER TEST WATER SHALL DRAIN TO THE SANITARY SEWER.
- SIDEWALK SHALL BE SWEPT REGULARLY. DEBRIS FROM PRESSURE WASHING AND WASHWATER CONTAINING ANY CLEANING AGENT SHALL BE DISCHARGE TO THE SANITARY SEWER AND NOT DISCHARGED TO A STORM DRAIN SYSTEM.

WDID NO:

NOT APPLICABLE

STORM WATER PRIORITY

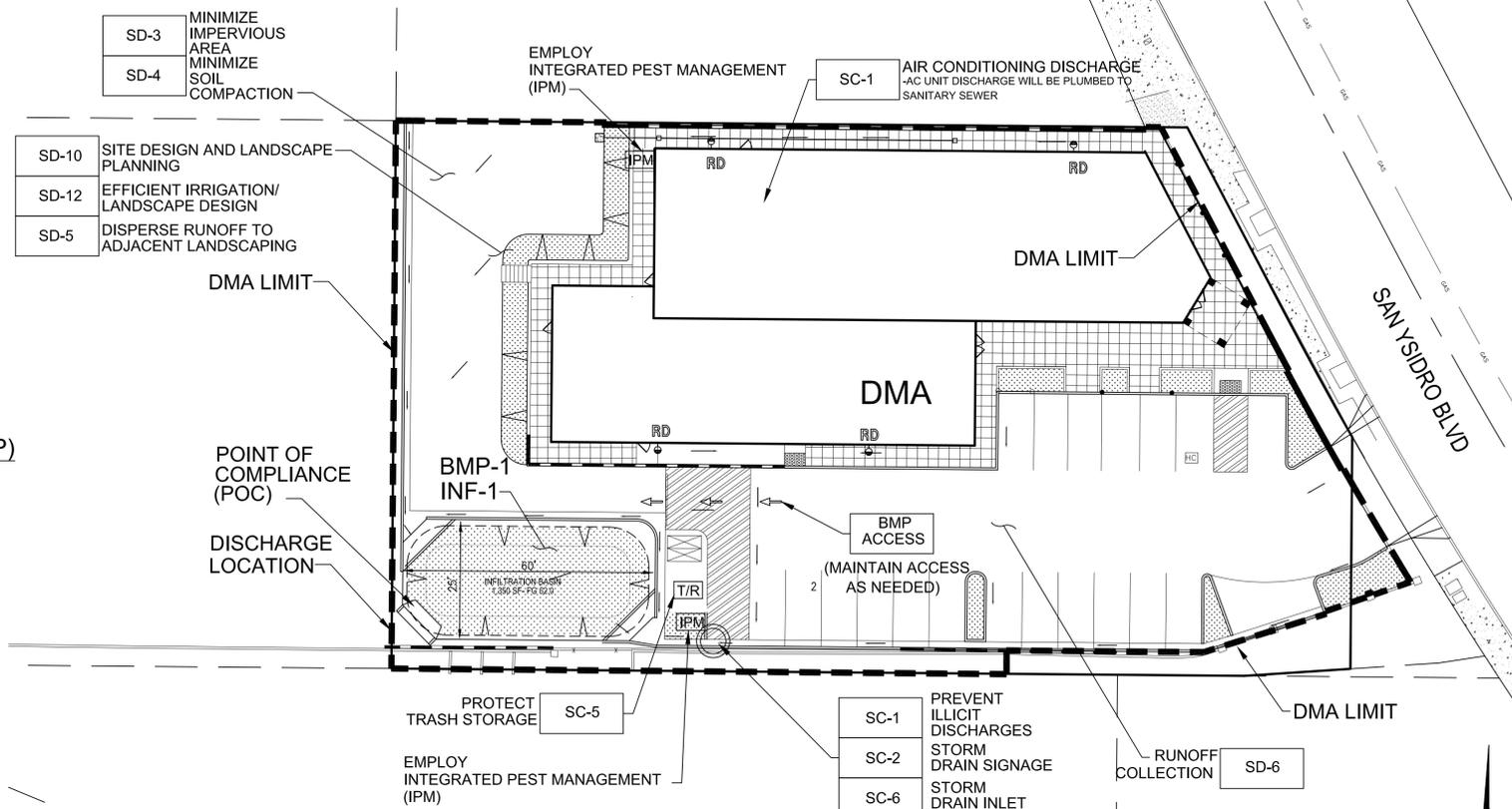
LOW

MEASURES TO ACCESS THE STRUCTURAL BMP

1. THE BMP MUST BE ACCESSIBLE TO EQUIPMENT NEEDED FOR MAINTENANCE. ACCESS REQUIREMENTS FOR MAINTENANCE WILL VARY WITH THE TYPE OF FACILITY SELECTED.
2. INFILTRATION BMP'S, BIOFILTRATION BMP'S AND MOST ABOVE-GROUND DETENTION BASINS AND SAND FILTERS WILL TYPICALLY REQUIRE ROUTINE LANDSCAPE MAINTENANCE USING THE SAME EQUIPMENT THAT IS USED FOR GENERAL LANDSCAPE MAINTENANCE. AT TIMES THESE BMP'S MAY REQUIRE EXCAVATION OF CLOGGED MEDIA (E.G. BIORETENTION SOIL MEDIA, OR SAND FOR THE SAND FILTER), AND SHOULD BE ACCESSIBLE TO APPROPRIATE EQUIPMENT FOR EXCAVATION AND REMOVAL/REPLACEMENT OF MEDIA.
3. ABOVE-GROUND DETENTION BASINS SHOULD INCLUDE ACCESS RAMPS FOR TRUCKS TO ENTER THE BASIN TO BRING EQUIPMENT AND TO REMOVE MATERIALS.
4. UNDERGROUND BMP'S SUCH AS DETENTION VAULTS, MEDIA FILTERS, OR GROSS POLLUTANT SEPARATORS USED AS FOREBAYS TO OTHER BMP'S, TYPICALLY REQUIRE ACCESS FOR A VACTOR TRUCK TO REMOVE MATERIALS PROPRIETARY BMP'S SUCH AS MEDIA FILTERS OR GROSS POLLUTANT SEPARATORS MAY REQUIRE ACCESS BY A FORKLIFT OR OTHER TRUCK FOR DELIVERY AND REMOVAL OF MEDIA CARTRIDGES OR OTHER INTERNAL COMPONENTS. ACCESS REQUIREMENTS MUST BE VERIFIED WITH THE MANUFACTURER OF PROPRIETARY BMP'S.
5. VACTOR TRUCKS ARE LARGE, HEAVY, AND DIFFICULT TO MANEUVER. STRUCTURAL BMP'S THAT ARE MAINTAINED BY VACTOR TRUCK MUST INCLUDE A LEVEL PAD ADJACENT TO THE STRUCTURAL BMP, PREFERABLY WITH NO VEGETATION OR IRRIGATION SYSTEM (OTHERWISE VEGETATION OR IRRIGATION SYSTEM MAY BE DESTROYED BY THE VACTOR TRUCK).

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
2. ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.



LEGEND:

ITEM	SYMBOL
DRAINAGE AREA LIMIT	--- ---
PROPOSED INFILTRATION BASIN
ROOF DOWNSPOT	RD
INTEGRATED PEST MANAGEMENT	IPM
STORM DRAIN SIGNAGE	○
DRAINAGE FLOW	→
TRASH ENCLOSURE & RECYCLEBLE	T/R
ACCESS FOR STRUCTURAL BMP INSPECTION	↔

DISTURBED AREA

26,106 S.F. 0.60 ACRE

SITE AREA

27,780 S.F. - 0.64 AC (GROSS)
 27,291 S.F. - 0.63 AC (NET)

ROOF DRAIN NOTE:

ALL ROOF DOWNSPOTS WILL DISPERSE RUNOFF AT FINISH SURFACE, THEN INTO A INFILTRATION BASIN.

CCSYA NOTE:

PROJECT IS NOT WHITIN OR DOESN'T RECEIVE OR DRAINS FROM CRITICAL COARSE SEDIEMTN YIELD AREAS.

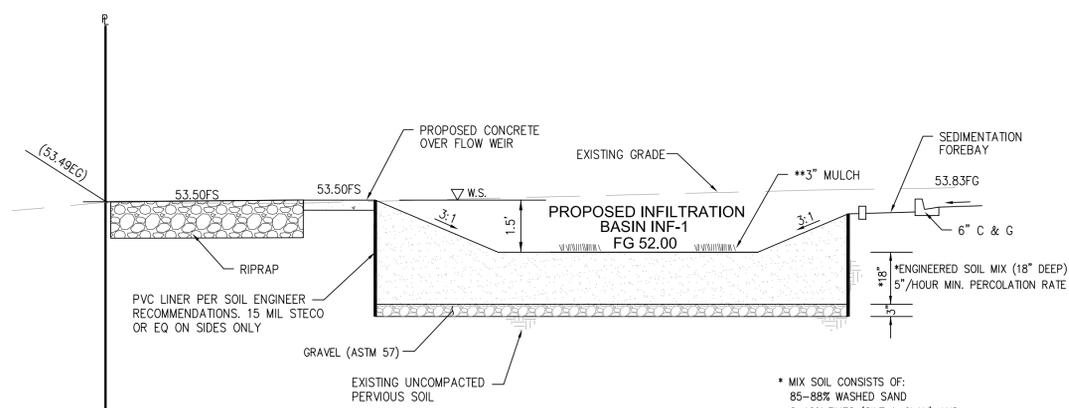
MIN. POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME OWNERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.



- NOTES:
1. THESE ARE SAMPLE TILES AND SIGNS.
 2. CITY ENGINEER TO DESIGNATE OR APPROVE SIGNS, TILES OR STENCILS.
 3. PROVIDE LABELING WITH PROHIBITIVE LANGUAGE ("NO DUMPING GOES TO OCEAN - NO TIRAR BASURA LLEGA AL MAR")
 4. SIGN SHOULD BE PLACED ON THE CATCH BASIN GRATE.
 5. SIGN SHALL HAVE A WHITE BACKGROUND WITH BLUE LETTERING.
- STORM DRAIN SIGNAGE**
NOT TO SCALE



INFILTRATION BASIN PLANTING NOTES:
 NATIVE PLANTS RESILIENT TO VARIABLE FLOW, TOLERANT TO SUMMER DROUGHT AND SATURATED SOIL CONDITIONS. IE: THINGRASS, YERBA MANZA, MARSH BACCAHRIS, CALIFORNIA FIELD SEDGE, SAN DIEGO SEDGE, RUSTY SEDGE, SALT GRASS, MEXICAN RUSH, CALIFORNIA GREY RUSH, CANYON PRINCE WILD RYE, NEVIN'S BARBERRY, DEERGRASS AND LOW BULLRUSH

* MIX SOIL CONSISTS OF:
 85-88% WASHED SAND
 8-12% FINES (SILT & CLAY) AND
 3-5% ORGANIC MATTER

**MINIMUM 3" OF WELL-AGED SHREDDED HARD WOOD MULCH THAT HAS BEEN STOCKPILED OR STORED AT LEAST 12 MONTHS

SECTION E INFILTRATION INF-1 BASIN DETAIL NOT TO SCALE



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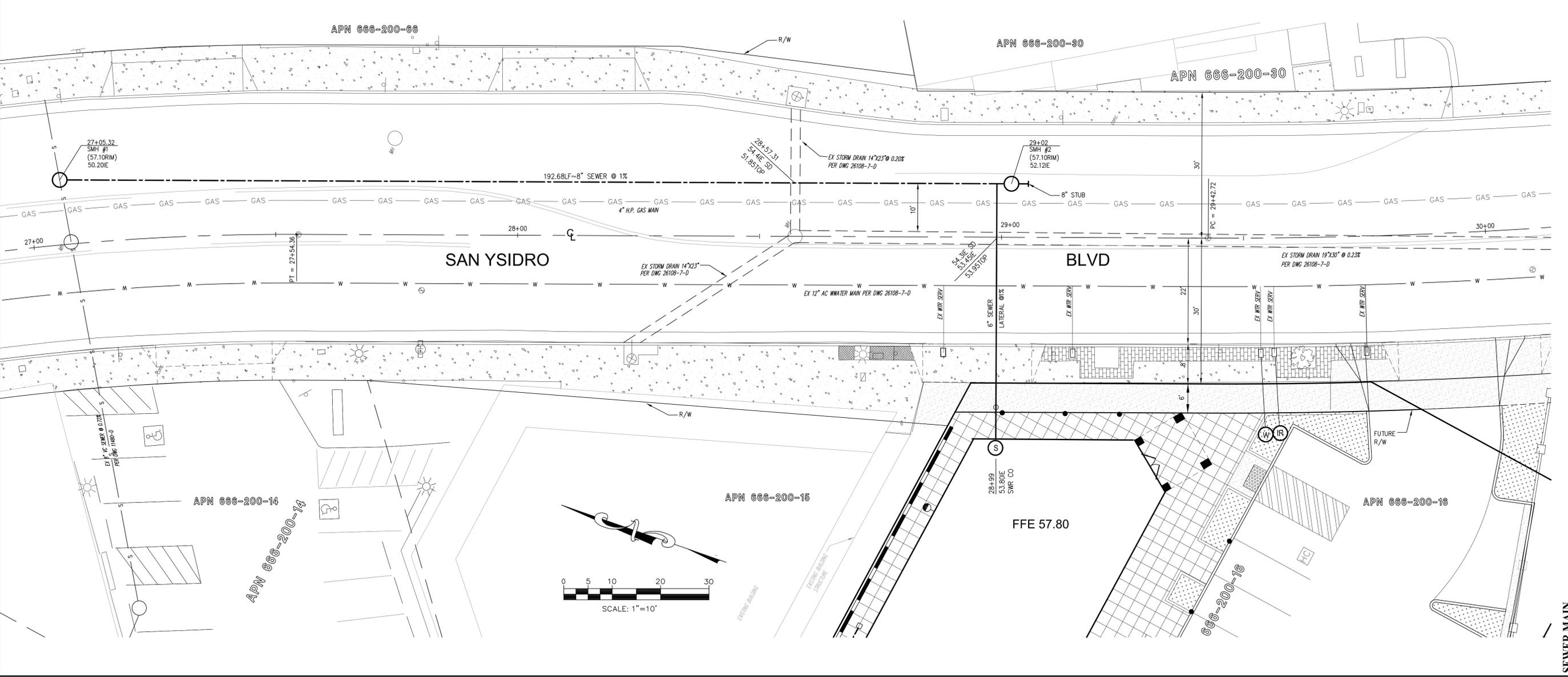
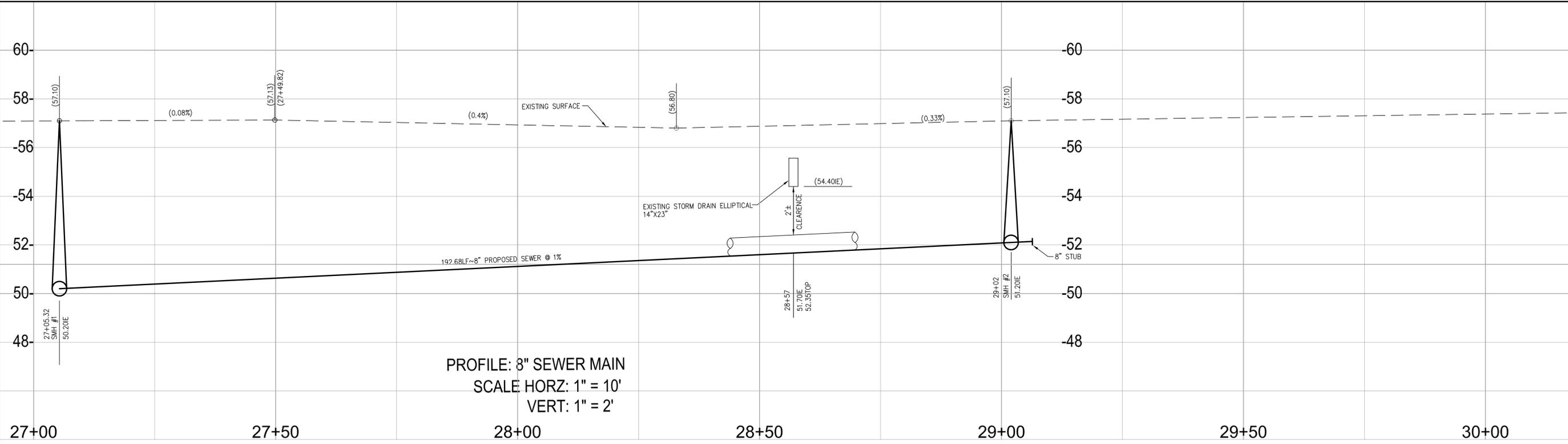
DATE	BY	REVISIONS
12/12/17	PH	Cycle Issue (11/21/17)
07/20/18	PH	Building footprint/site plan
07/28/18	PH	Sewer main slope
08/18/18	PH	Pavement within ROW

DATE: 03/29/18	JOB NO.:	PH
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SCALE:		

BMP PLAN



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REVISIONS

12/12/17	Cycle Issue (11/21/17)
01/20/18	Sewer main relocation
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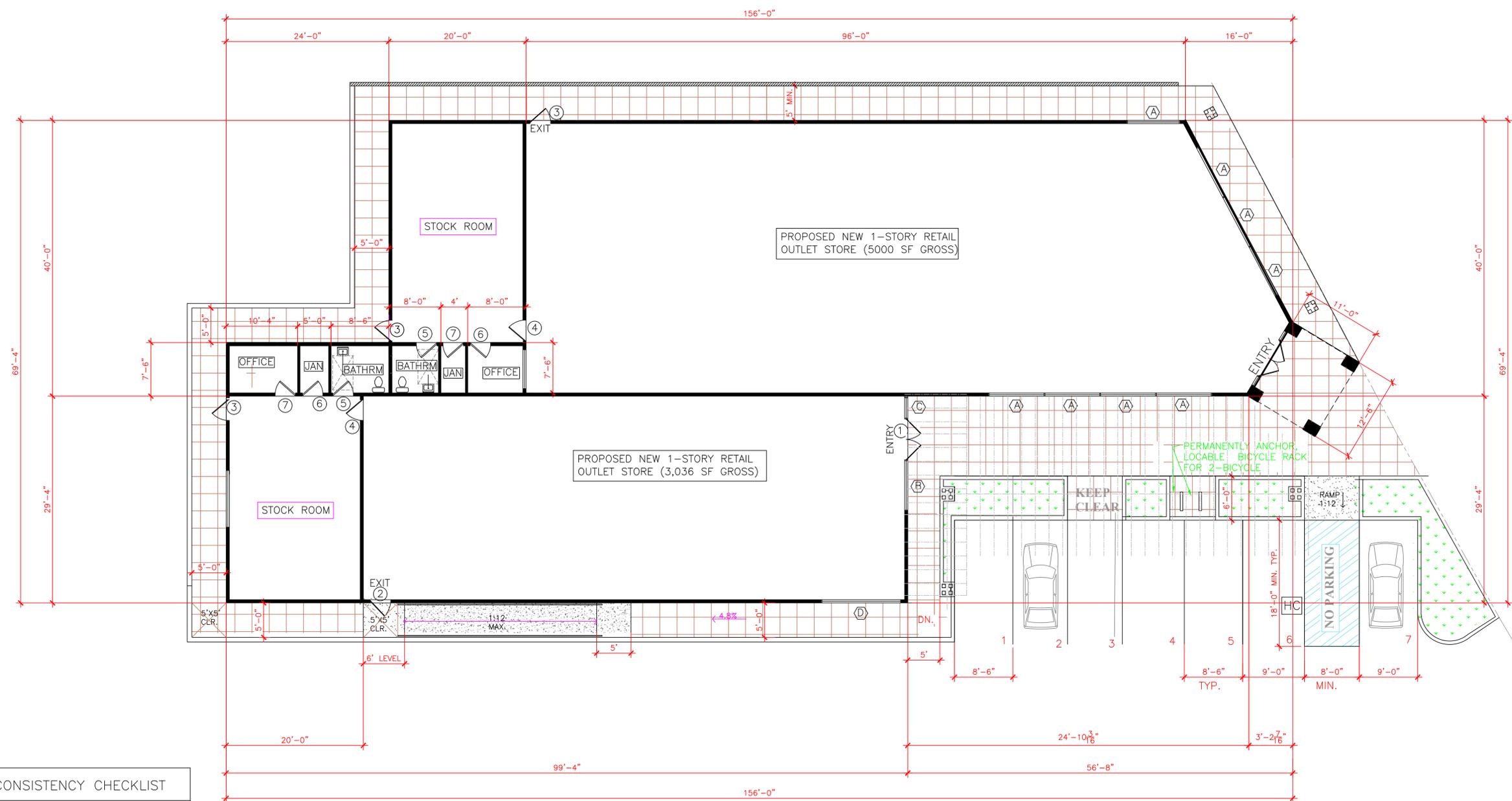
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	OF SHEETS

SEWER MAIN



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PROPOSED NEW FLOOR PLAN
 1/8" = 1'-0"



CLIMATE ACTION PLAN CONSISTENCY CHECKLIST

LAND USE CONSISTENCY
 THIS PROJECT IS CONSISTENT WITH THE EXISTING GENERAL PLAN AND COMMUNITY PLAN LAND USE AND ZONING DESIGNATIONS.

CAP STRATEGIES CONSISTENCY
 STRATEGY 1: ENERGY & WATER EFFICIENT

COOL/GREEN ROOFS
 THIS PROJECT PROPOSES ROOFING MATERIALS WITH A MINIMUM 3-YEAR AGED SOLAR REFLECTION AND THERMAL EMITTANCE OR SOLAR REFLECTION INDEX EQUAL TO OR GREATER THAN THE VALUES SPECIFIED IN THE VOLUNTARY MEASURES UNDER CALIFORNIA GREEN BUILDING STANDARDS CODE LAND USE ROOF MIN. 3-YEAR AGED THERMAL EMITTANCE SOLAR REFLECTIVE INDEX

TYPE	SLOPE	SOLAR REFLECTANCE		
NON-RESIDENTIAL	2:12	0.63	0.75	75

THIS PROJECT PROPOSES PLUMBING FIXTURES AND FITTINGS THAT DO NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN TABLE A5.303.2.3.1 (VOLUNTARY MEASURES) OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE.

FIXTURE TYPE	MAXIMUM FLOW RATE
LAVATORY FAUCETS	0.35 GPM @ 60 PSI
FLUSHOMETER TANK WATER CLOSETS	1.12 GALLONS/FLUSH
FLOOR-MOUNTED URINALS OR WALL-MOUNTED URINALS GALLONS/FLUSH	0.44 OR 0.11

STRATEGY 2: CLEAN & RENEWABLE ENERGY

THIS PROJECT PROPOSES ENERGY SAVINGS WITH BOTH INDOOR LIGHTING AND MECHANICAL SYSTEMS - OF 90% OF THE TITLE 24, PART 6 ENERGY BUDGET OR 10% REDUCTION FROM THE STANDARD DESIGN BUILDING.

STRATEGY 3: BICYCLING, WALKING, TRANSIT & LAND USE
 BASED ON THE NUMBER OF PARKING SPACES FOR THIS PROJECT (20 STALLS), THIS PROJECT PROPOSES INSTALLATION OF 2-DESIGNATED BICYCLE SPACES AS SHOWN ON SITE PLAN.

WINDOW DESIGNATION	WINDOW OPENING SIZE		TYPE	MATERIALS		
	WIDTH	HEIGHT		STOREFRONT	FIXED	ALUMINUM FRAME
				1/4" TEMP'D. GLASS	QUANTITY	
A	8'-0"	5'-0"	●	●	●	●
B	7'-0"	5'-0"	●	●	●	2
C	R=3'-0"	1/2 CIRCLE WINDOW ABOVE ENTRY DOOR	●	●	●	1
D	12'-0"	5'-0"	●	●	●	1

DOOR NUMBER	DOOR TYPE	DOOR THICKNESS	MATERIALS			REMARKS
			ALUMINUM & GLASS	HOLLOW METAL	ALUMINUM METAL	
			DOOR	FRAME		
1	6'-0" x 7'-0"	1 3/4"	●	●	●	KAWNEER OR EQUAL
2	3'-0" x 7'-0"	1 3/4"	●	●	●	EXIST DOOR WITH PANIC HARDWARE
3	3'-0" x 7'-0"	1 3/4"	●	●	●	SELF-CLOSING, TIGHT FITTING
4	3'-0" x 7'-0"	1 3/4"	●	●	●	ONE WAY MIRROR, KICK PLATE, SELF-CLOSING
5	3'-0" x 7'-0"	1 3/4"	●	●	●	KICK PLATE, PRIVACY SET
6	3'-0" x 7'-0"	1 3/4"	●	●	●	ONE WAY MIRROR, KICK PLATE, SELF-CLOSING
7	3'-0" x 7'-0"	1 3/4"	●	●	●	KICK PLATE, SELF-CLOSING

TITLE BLOCK

SITE DEVELOPMENT PERMIT PROCESS 3 (SAN YSIDRO DEVELOPMENT PERMIT) FOR CONSTRUCTION OF A 1-STORY RETAIL OUTLET BUILDING.

PROPOSE FLOOR PLAN

COMPLETION REVIEW SUBMITTAL:
 FIRST COMPLETE SUBMITTAL:

CYCLE 1 REVIEW RESUBMITTAL:
 CYCLE 2 REVIEW RESUBMITTAL:

REVISION 1:
 REVISION 2:
 REVISION 3:
 REVISION 4: 4-27-18

DATE	JOB NO.	DRAWN BY: PH	CHECKED BY:	SCALE: AS SHOWN



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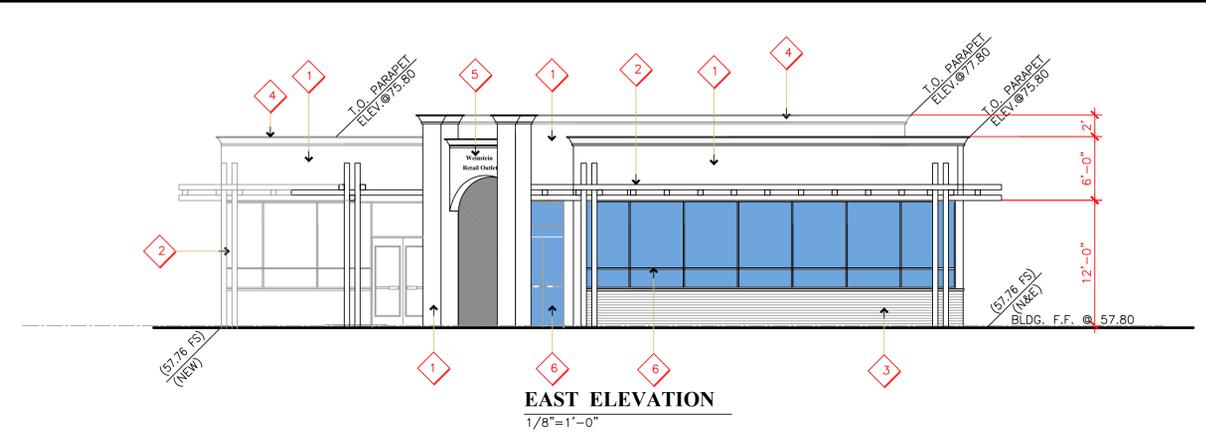
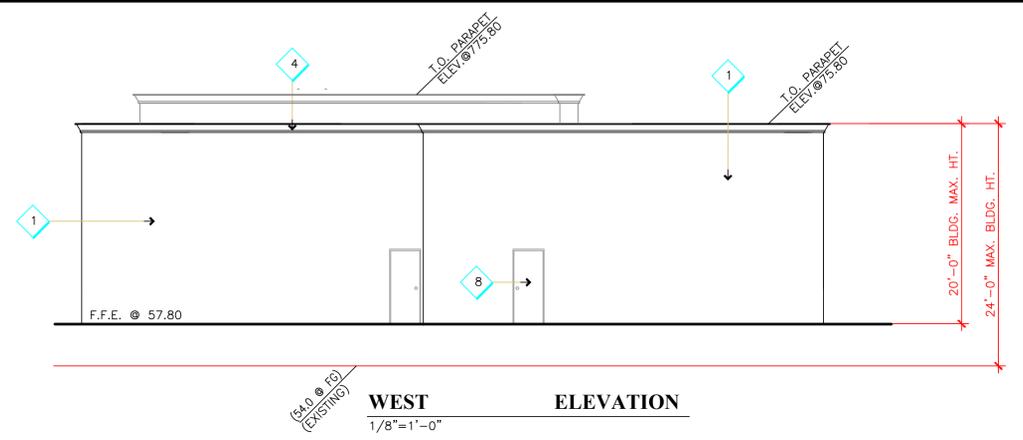
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PERSPECTIVE 1
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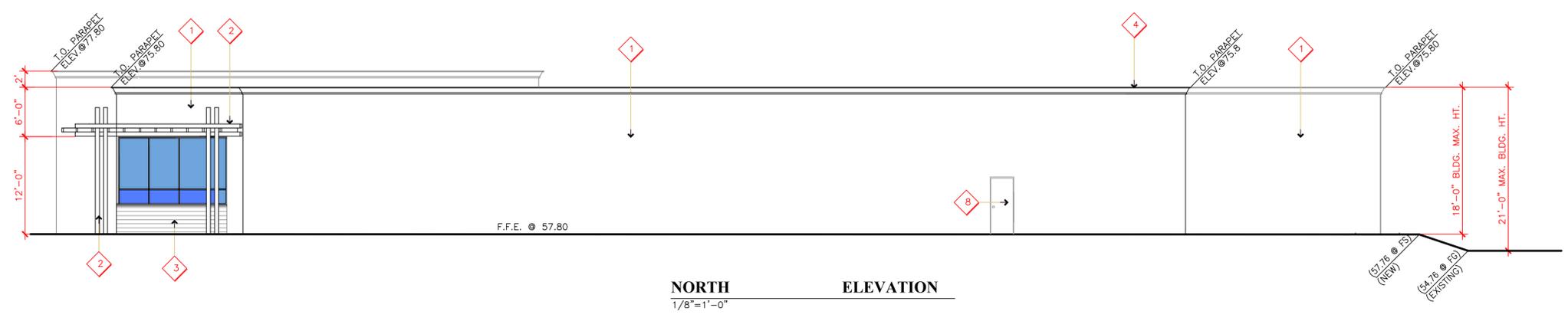
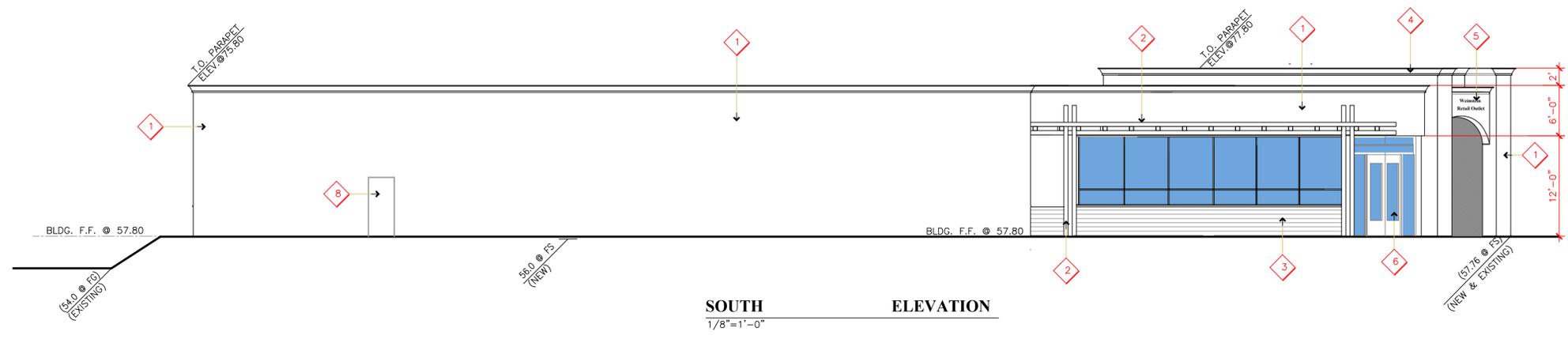
LEGEND:

FS	FINISH SURFACE
FG	FINISH GRADE
TC	TOP OF CURB
TR	TOP OF RIDGE
TP	TOP OF PARAPET WALL
PL	PROPERTY LINE
TRS	TOP OF ROOF STH'G.
N	NEW
E	EXISTING
N&E	NEW, SAME AS EXISTING



ELEVATION KEY NOTES

- 1 INTEGRAL COLORED STUCCO-EXPO STUCCO PRODUCTS -51 PANAMA IVORY
- 2 WD. TRELLISES & COLUMNS. STAIN BROWN
- 3 CULTURED STONE VENEER PER ICC# ESR-1215
- 4 FOAM CORNICE, PLASTER, PAINT TO MATCH COLOR OF WALL
- 5 SIGNAGE (BY OTHERS)
- 6 KAWNEER STOREFRONT POWDER FIN. CUSTOM COLOR TO MATCH 'FRAZEE'. COLOR #7721W LIGHT HONEY.
- 7 REVEAL PAINT/MATCH STUCCO MATCH COLOR OF INDIVIDUAL WALL
- 8 EXTERIOR DOOR PER DOOR SCHEDULE



TITLE BLOCK

SITE DEVELOPMENT PERMIT PROCESS 3 (SAN YSIDRO DEVELOPMENT PERMIT) FOR CONSTRUCTION OF A 1-STORY RETAIL OUTLET BUILDING.

PROPOSED ELEVATIONS

COMPLETION REVIEW SUBMITTAL:
 FIRST COMPLETE SUBMITTAL: _____

CYCLE 1 REVIEW RESUBMITTAL:
 CYCLE 2 REVIEW RESUBMITTAL: _____

REVISION 1:
 REVISION 2:
 REVISION 3:
 REVISION 4: 4-27-18

REVISIONS

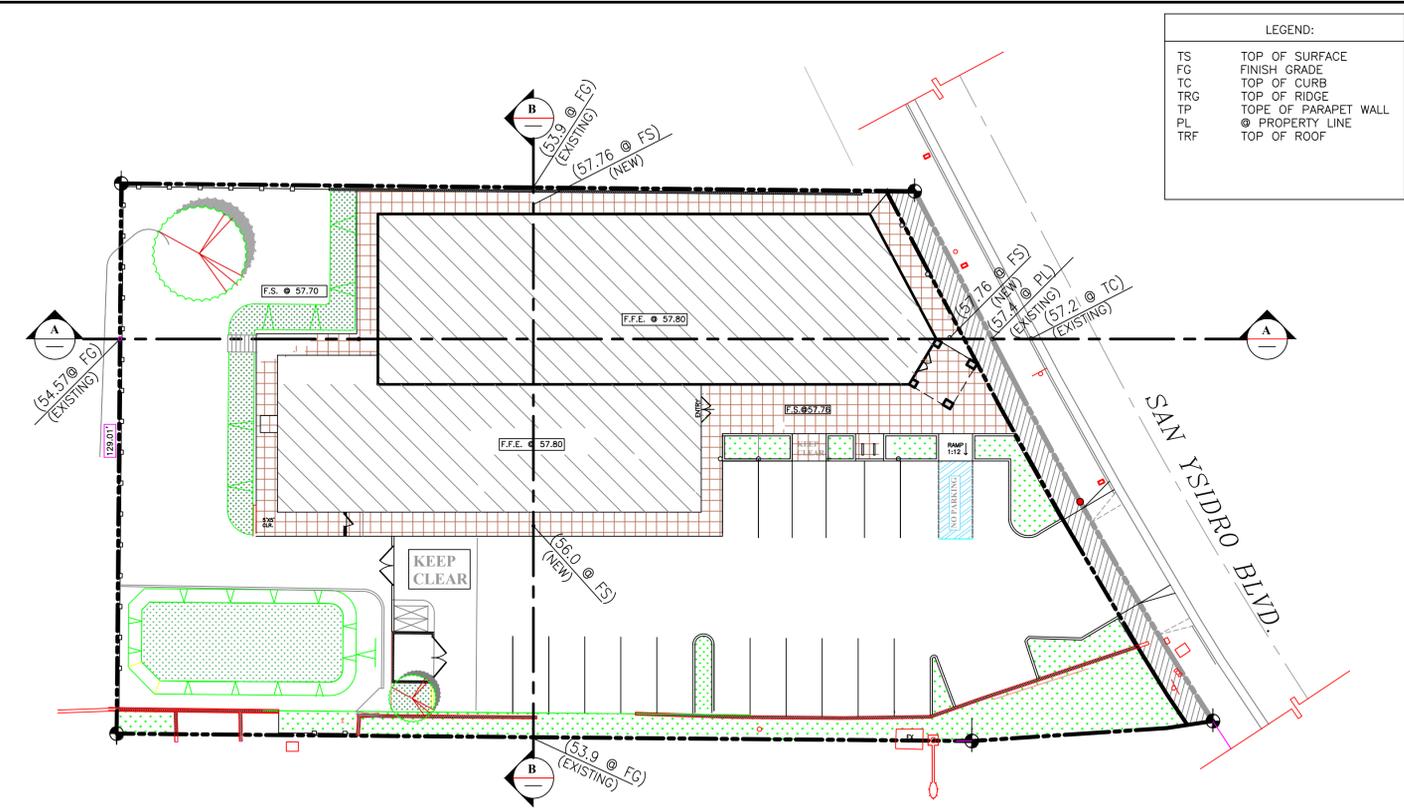
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SHEET
A3
 OF 15 SHEETS

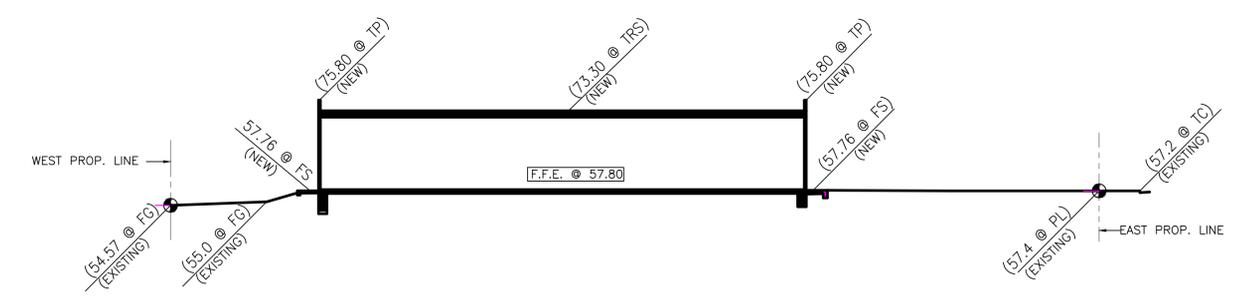


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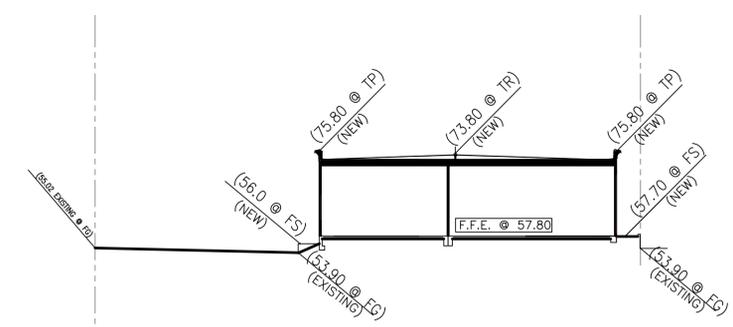
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CONCEPTUAL GRADING PLAN
 1"=20'



SITE SECTION A-A
 1"=20'



SITE SECTION B-B
 1"=20'

TITLE BLOCK

SITE DEVELOPMENT PERMIT PROCESS 3 (SAN YSIDRO DEVELOPMENT PERMIT) FOR CONSTRUCTION OF A 1-STORY RETAIL OUTLET BUILDING.

CONCEPTUAL GRADING & SITE SECTIONS

COMPLETION REVIEW SUBMITTAL:
 FIRST COMPLETE SUBMITTAL: _____

CYCLE 1 REVIEW RESUBMITTAL:
 CYCLE 2 REVIEW RESUBMITTAL: _____

REVISION 1:
 REVISION 2:
 REVISION 3:
 REVISION 4: 4-27-18

REVISIONS

DATE:	JOB NO.:	DRAWN BY: PH	CHECKED BY:	SCALE: AS SHOWN

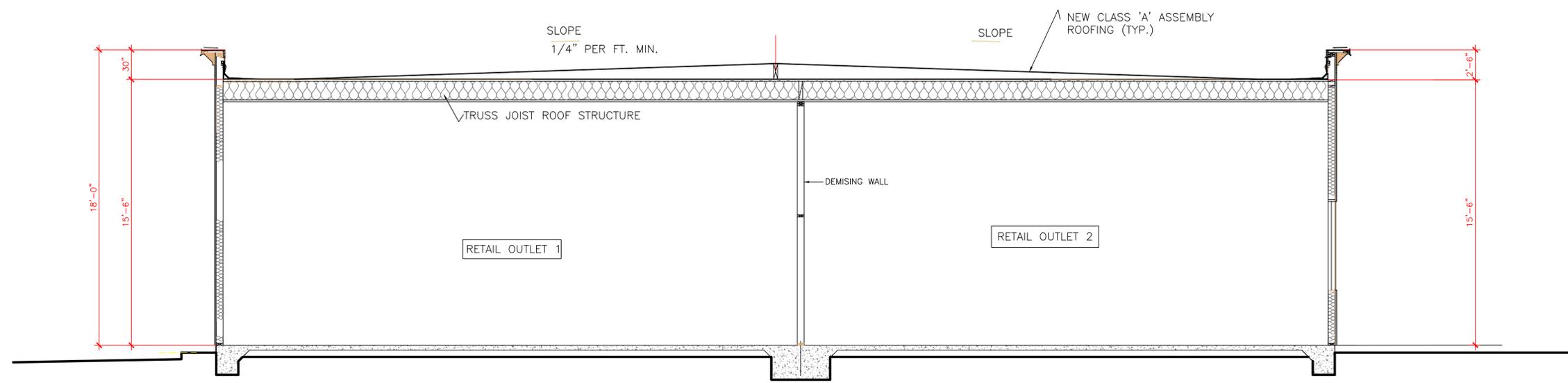
SHEET

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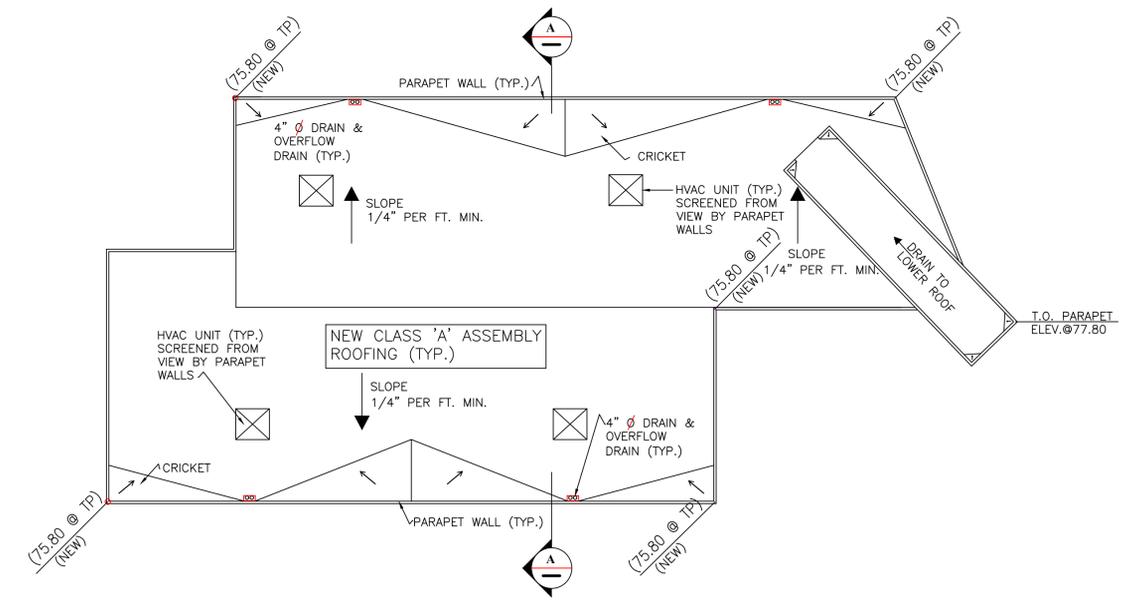
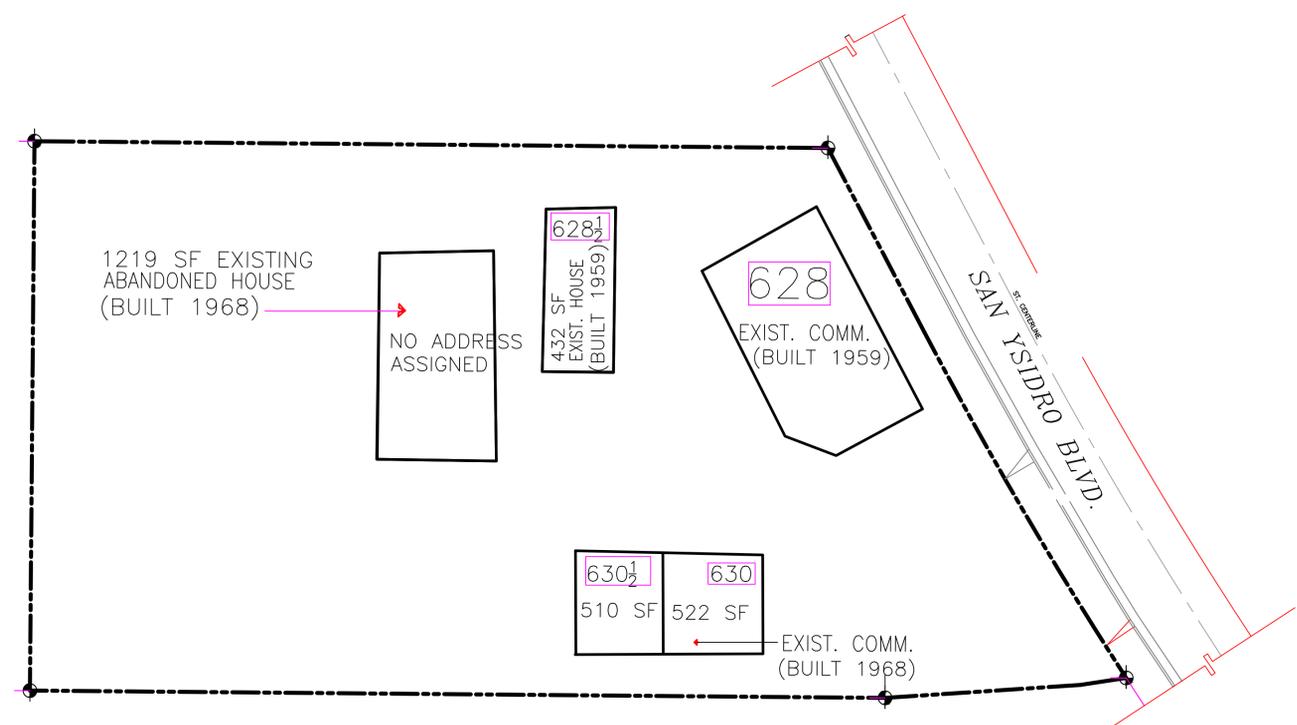
OF 15 SHEETS



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BUILDING SECTION A-A
 1/4"=1'-0"



ROOF PLAN
 1/16"=1'-0"

TITLE BLOCK
 SITE DEVELOPMENT PERMIT PROCESS 3 (SAN YSIDRO DEVELOPMENT PERMIT) FOR CONSTRUCTION OF A 1-STORY RETAIL OUTLET BUILDING.

BUILDING SECTION & ROOF PLAN

COMPLETION REVIEW SUBMITTAL:
 FIRST COMPLETE SUBMITTAL: _____

CYCLE 1 REVIEW RESUBMITTAL:
 CYCLE 2 REVIEW RESUBMITTAL: _____

REVISION 1:
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 REVISION 3:
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REVISIONS

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SHEET
A5
 OF 15 SHEETS

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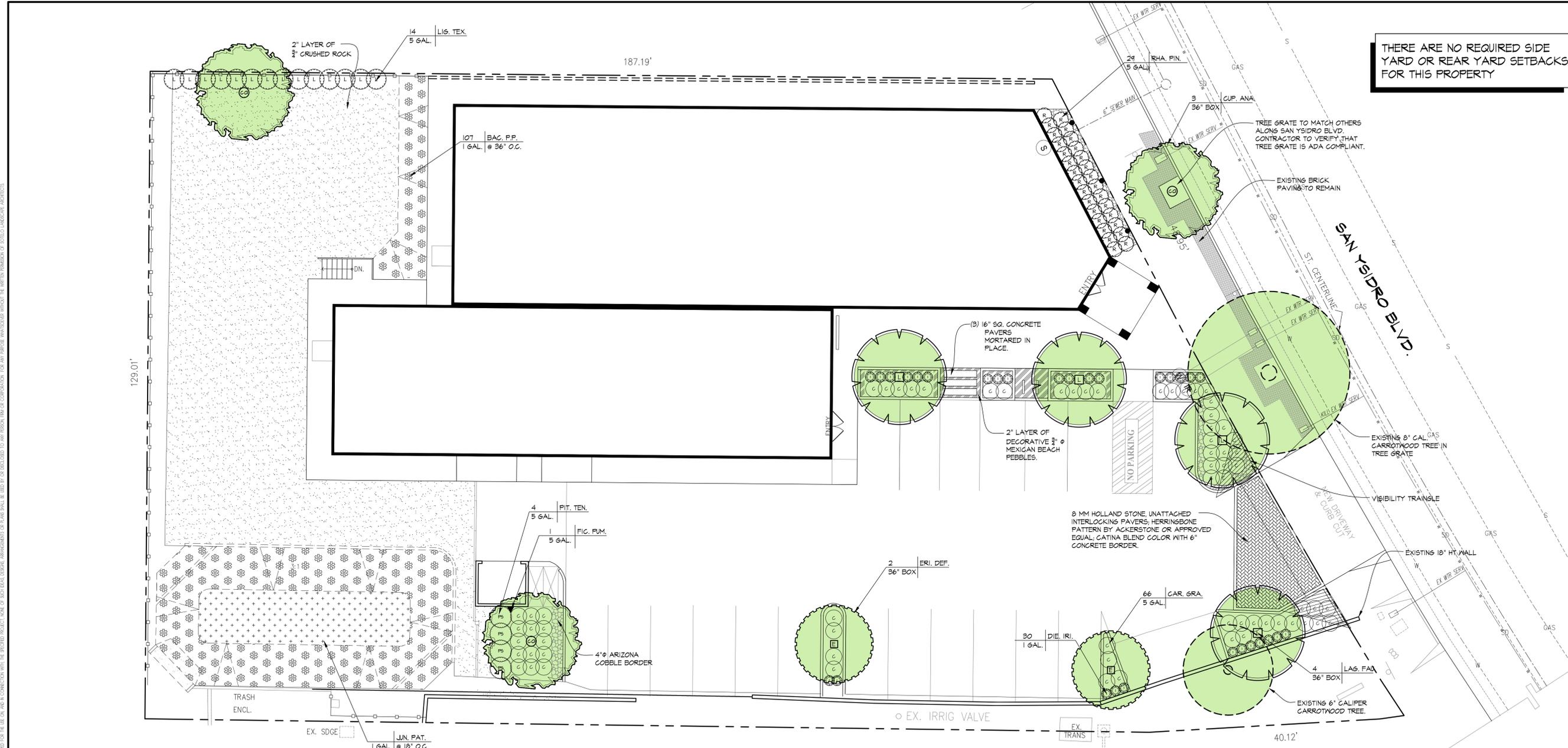
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SAN DIEGO, CA. 92173

SUBMIT. TO CLIENT 03.30.16

PLANTING
PLAN

SHEET

L1.0



THERE ARE NO REQUIRED SIDE YARD OR REAR YARD SETBACKS FOR THIS PROPERTY

PLANTING PLAN
SCALE 1"=10'-0"

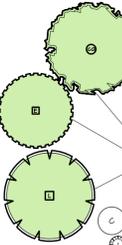
GENERAL NOTES

- PLANT MATERIAL REQUIREMENTS**
- (1) PLANTING OF INVASIVE PLANT SPECIES, AS DESCRIBED IN THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL, IS NOT PERMITTED.
 - (2) ALL EXISTING, INVASIVE PLANT SPECIES, INCLUDING VEGETATIVE PARTS AND ROOT SYSTEMS, SHALL BE COMPLETELY REMOVED FROM THE PREMISES WHEN THE COMBINATION OF SPECIES TYPE, LOCATION, AND SURROUNDING ENVIRONMENTAL CONDITIONS PROVIDES A MEANS FOR THE SPECIES TO INVADE OTHER AREAS OF NATIVE PLANT MATERIAL THAT ARE ON OR OFF OF THE PREMISES.
 - (3) PLANT MATERIAL SPECIES SHALL BE USED THAT WILL CONTINUE TO MEET THE REQUIREMENTS OF THIS DIVISION AFTER INSTALLATION.
 - (4) TREE LOCATIONS SHALL BE MEASURED HORIZONTALLY FROM THE CENTERLINE OF THE TREE TRUNK AT PROPOSED GRADE.
 - (5) A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. THIS MINIMUM DIMENSION AND ROOT ZONE AREA MAY BE REDUCED WITH THE USE OF STRUCTURAL SOIL OR WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE ADJACENT IMPROVEMENTS.
 - (6) PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, DISEASE-FREE, GROWING CONDITION AT ALL TIMES.
 - (7) ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE NATIONAL ARBORIST ASSOCIATION.
 - (8) ANY PLANT MATERIAL REQUIRED BY THIS DIVISION THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL SHOWN ON THE APPROVED PLAN. REQUIRED SHRUBS THAT DIE 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15-GALLON SIZE AND REQUIRED TREES THAT DIE 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 60-INCH BOX SIZE MATERIAL. THE CITY MANAGER MAY AUTHORIZE ADJUSTMENT OF THE SIZE AND QUANTITY OF REPLACEMENT MATERIAL WHERE MATERIAL REPLACEMENT WOULD OCCUR IN INACCESSIBLE AREAS OR WHERE THE EXISTING PLANT BEING REPLACED IS LARGER THAN A 15 GALLON SHRUB OR 60-INCH BOX TREE.
 - (9) TREES REQUIRED BY THIS DIVISION SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 5 FEET.
 - (10) TREES REQUIRED BY THIS DIVISION SHALL BE MAINTAINED SO THAT ALL

- BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND SO THAT ALL BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY.
- (11) SHRUBS REQUIRED BY THIS DIVISION SHALL BE WOODY OR PERENNIAL PLANTS THAT ARE LOW BRANCHING OR HAVE MULTIPLE STEMS.
 - (12) TREE ROOT BARRIERS OR STRUCTURAL SOIL SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE CITY MANAGER MAY WAIVE THIS REQUIREMENT WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE PUBLIC IMPROVEMENTS.
 - (13) PLANT MATERIALS SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.
 - (14) PLANT MATERIAL SHALL BE SELECTED TO MEET A MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.04(B)(D).
- IRRIGATION REQUIREMENTS**
- (1) ALL REQUIRED PLANT MATERIAL SHALL BE IRRIGATED WITH A PERMANENT, BELOW-GRADE IRRIGATION SYSTEM UNLESS SPECIFIED OTHERWISE IN THIS DIVISION.
 - (2) ALL REQUIRED IRRIGATION SYSTEMS SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION.
 - (3) IRRIGATION SYSTEMS SHALL MEET THE FOLLOWING DESIGN REQUIREMENTS:
 - (A) NO IRRIGATION RUNOFF OR OVERSPRAY SHALL CROSS PROPERTY LINES OR PAVED AREAS.
 - (B) THE VOLUME OF WATER FLOWING IN IRRIGATION SYSTEM PIPING OR SUPPLY LINES SHALL NOT EXCEED 5 FEET PER SECOND DOWNSTREAM OF THE WATER METER.
 - (C) IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE SYSTEM MAINTENANCE REQUIREMENT AFTER INSTALLATION. ABOVE-GROUND IRRIGATION SYSTEM EQUIPMENT THAT IS EXPOSED TO POTENTIAL DAMAGE SHALL BE DESIGNED TO BE DAMAGE-RESISTANT; AND

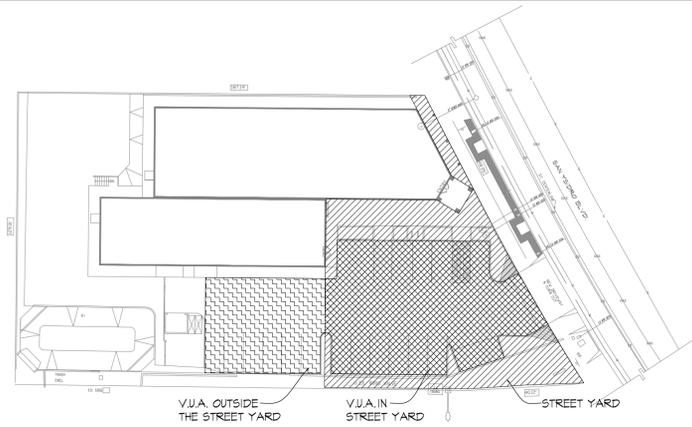
- (D) AN APPROVED RAIN SENSOR SHUTOFF DEVICE IS REQUIRED FOR ALL SYSTEMS AND A MOISTURE-SENSING DEVICE THAT REGULATES THE IRRIGATION SYSTEM FOR ALL LAWN AREAS IS REQUIRED.
- PLANT AREA REQUIREMENTS**
- (1) PLANTING AREAS REQUIRED BY THIS DIVISION SHALL CONSIST OF THE FOLLOWING:
 - (A) LOW-GROWING WOODY OR HERBACEOUS GROUNDCOVER, TURF, SHRUBS, OR TREES.
 - (B) PLANTING AREAS MAY BE COUNTED TOWARD THE PLANTING AREA REQUIRED BY THIS DIVISION IF THEY ARE GREATER THAN 30 SQUARE FEET IN SIZE WITH NO DIMENSION LESS THAN 5 FEET.
 - (C) ALL REQUIRED PLANTING AREAS SHALL BE MAINTAINED FREE OF WEEDS, DEBRIS, AND LITTER.
- STREET TREE REQUIREMENTS**
- (1) STREET TREE QUANTITY. STREET TREES SHALL BE PLANTED BETWEEN THE CURB AND ABUTTING PROPERTY LINE. THE NUMBER OF REQUIRED STREET TREES SHALL BE CALCULATED AT THE RATE OF ONE 24-INCH BOX TREE FOR EVERY 30 FEET OF STREET FRONTAGE. THE INSTALLED TREE SPACING MAY BE VARIED TO ACCOMMODATE SITE CONDITIONS OR DESIGN CONSIDERATIONS; HOWEVER, THE NUMBER OF TREES REQUIRED FOR EACH STREET FRONTAGE ON A LOT BOUNDED BY MORE THAN ONE STREET SHALL BE PLANTED ALONG THE CORRESPONDING STREET FRONTAGE, WHERE SITE CONDITIONS DO NOT ALLOW THE INSTALLATION OF THE STREET TREES REQUIRED BY THIS SECTION IN THE PARKWAY, TREES MAY BE LOCATED ON THE PRIVATE PROPERTY WITHIN 10 FEET OF THE PROPERTY LINE ALONG THAT STREET FRONTAGE, WHERE PALM TREES ARE PROPOSED TO SATISFY THIS REQUIREMENT IN ACCORDANCE WITH SECTION 142.04(A)(9), THEY SHALL BE PLANTED AT A RATE OF ONE 10-FOOT BROWN TRUNK HEIGHT PALM FOR EACH 20 FEET OF STREET FRONTAGE. FOR PROJECTS IN THE IL AND IH ZONES THAT HAVE LOADING DOCKS ALONG MORE THAN 25 PERCENT OF THE BUILDING STREET WALL, THE STREET TREE REQUIREMENT SHALL BE

- INCREASED TO THE RATE OF ONE 24-INCH BOX TREE FOR EVERY 20 FEET OF STREET FRONTAGE OR ONE 10-FOOT BROWN TRUNK HEIGHT PALM FOR EACH 10 FEET OF STREET FRONTAGE. (2) STREET TREE LOCATIONS
- (A) STREET TREES SHALL BE LOCATED 7 FEET FROM THE FACE OF CURB ON STREETS CLASSIFIED IN THE APPLICABLE LAND USE PLAN AS MAJOR STREETS, PRIMARY ARTERIALS, OR EXPRESSWAYS THAT HAVE A POSTED SPEED OF 50 MILES PER HOUR OR GREATER. FOR ALL OTHER STREET CLASSIFICATIONS STREET TREES SHALL BE LOCATED NO CLOSER THAN 30 INCHES TO THE FACE OF CURB OR WITHIN MEDIAN ISLANDS, NO CLOSER THAN FOUR FEET TO THE FACE OF CURB.
 - (B) STREET TREES SHALL BE SEPARATED FROM IMPROVEMENTS BY THE MINIMUM DISTANCE SHOWN IN TABLE BELOW.
- | IMPROVEMENT | MINIMUM TREE SEPARATION DISTANCE | MINIMUM DISTANCE TO STREET |
|--|----------------------------------|----------------------------|
| TREE TRAFFIC SIGNAL, STOP SIGN | 20 FEET | 5 FEET |
| UNDERGROUND UTILITY LINES (EXCEPT SEWER) | 10 FEET | 10 FEET |
| SEWER LINES | 10 FEET | 10 FEET |
| ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC) | 10 FEET | 10 FEET |
| DRIVEWAYS | 10 FEET | 25 FEET |
| INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) | 25 FEET | |
- (C) TREES SHALL BE SELECTED AND LOCATED SO THAT AT MATURITY THEY DO NOT CAUSE DAMAGE OR CONFLICT WITH OVERHEAD UTILITY LINES.
 - (D) STREET TREE SPECIES SELECTION. TREES SHALL BE SELECTED IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL. PALM TREES MAY ONLY BE USED TO SATISFY THE STREET TREE REQUIREMENT WHERE IDENTIFIED AS AN ACCEPTABLE STREET TREE SPECIES IN AN ADOPTED LAND USE PLAN.
 - (E) ADDITIONAL PUBLIC RIGHT-OF-WAY REGULATIONS
 - (F) AREAS WITHIN THE PUBLIC RIGHT-OF-WAY THAT ARE NOT PAVED FOR REQUIRED PEDESTRIAN WALKS OR FOR VEHICLE ACCESS SHALL BE PLANTED OR COVERED WITH MULCH, UNATTACHED UNIT PAVERS, OR OTHER PERMEABLE MATERIAL ACCEPTABLE TO THE CITY.
 - (G) PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.



PLANT LIST

ABBR	SIZE	QTY	SCIENTIFIC NAME	COMMON NAME	P.F.
TREES					
CUP. ANA.	36" BOX	3	CUPANOPSIS ANACARDIODES	CARROT WOOD	M
ERI. DEF.	36" BOX	2	ERIBOTRYA DEFLEXA	BRONZE LOQUAT	M
LAG. FAU.	36" BOX	4	LASERSTROEMIA FAURIEI 'TUSCARORA'	HYBRID GRAPE MYRTLE	M
SHRUBS					
CAR. GRA.	5 GAL.	66	CARISSA PROSTRATA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	L
DIE. IRI.	1 GAL.	30	DIETES IRIDIODES	AFRICAN IRIS	L
LIG. TEX.	5 GAL.	14	LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET	M
PIT. TEN.	5 GAL.	4	PITTIOSPORUM TENUIFOLIUM 'SILVER SHEEN'	KOHLU	M
RHA. PIN.	5 GAL.	29	RHAPHIOLEPIS INDICA 'PINKIE'	PINKIE INDIAN HAWTHORN	L
VINES					
FIG. PUM.	5 GAL.	1	FIGUS PUMILA	CREeping FIG	M
GROUNDCOVERS					
BAC. P.P.	1 GAL.	36' O.C.	BACCHARIS PILLULARIS PIGEON POINT	DWARF COYOTE BRUSH	L
JUN. PAT.	1 GAL.	18' O.C.	JUNCUS PATENS	CALIFORNIA GRAY RUSH	L



LANDSCAPE CALCULATIONS AND KEYMAP



STREET TREES

STREET FRONTAGE = 54.52' + 48.95' = 103.47'
 = (4) STREET TREES REQUIRED

- (1) EXISTING IN SIDEWALK TREE GRATE
- (1) NEW IN SIDEWALK TREE GRATE
- (2) NEW BEHIND PROPERTY LINE
- (4) STREET TREES PROVIDED

STREET YARD

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 7127 sq. ft. x 25% = 1632* sq. ft.	1674** sq. ft.	47 sq. ft.

* 1431 S.F. - 244 S.F. REDUCTION BY UNATTACHED PAVERS = 1632 S.F.
 ** 1423 S.F. + 256 EXCESS POINTS = 1674 S.F.

Planting Points Required [142.0404]	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area 7127 sq. ft. x 0.05 = 366 points	642 points	256 points

- (1) EXISTING 6" CAL. CUP. ANA = 150 PTS
 - (5) 36" BOX TREES = 6 x 50 = 300 PTS
 - (71) 6 GAL. SHRUBS = 71 x 2 = 142 PTS
 - (36) 1 GAL. SHRUBS = 36 PTS
- 642 PTS

REMAINING YARD

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 0 sq. ft. x 30% = 0 sq. ft.	142 sq. ft.	142 sq. ft.

Plant Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 0 sq. ft. x 0.05 = 0 points	52 points	52 points

VEHICULAR USE AREA (≥ 6,000 sf) [142.0406 - 142.0407]

Required Planting Area	Planting Area Provided	Excess Area Provided
VJA Inside Street Yard: 4,610 sq. ft. x 0.05 = 230.5 sq. ft.	244.7 sq. ft.	64.2 sq. ft.
VJA Outside Street Yard: 2,190 sq. ft. x 0.03 = 65.7 sq. ft.	155.2 sq. ft.	84.5 sq. ft.

Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VJA Inside Street Yard: 4,610 sq. ft. x 0.05 = 230.5 points	332 points	250 points
VJA Outside Street Yard: 2,190 sq. ft. x 0.03 = 65.7 points	70 points	50 points

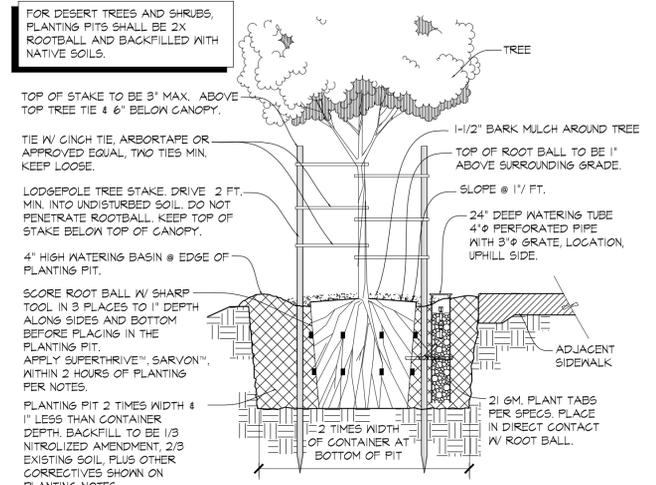
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|-----------------------------|----------------------------|
| VJA INSIDE STREET YARD | VJA OUTSIDE STREET YARD |
| (5) 36" BOX TREES = 250 PTS | (1) 36" BOX TREES = 50 PTS |
| (31) 5 GAL. SHRUBS = 62 PTS | (9) 5 GAL. SHRUBS = 18 PTS |
| (20) 1 GAL. SHRUBS = 20 PTS | (2) 1 GAL. SHRUBS = 2 PTS |
| 332 PTS | 70 PTS |

Table 142-04D
Vehicle Use Area Requirements

Size of Proposed Vehicular Use Area	Planting Area Required ^{(1), (2), (4)}		Plant Points Required ^{(1), (2), (3)}		Tree Distribution Requirement ⁽¹⁾
	Street yard	Outside the street yard	Street yard	Outside the street yard	
Less than 6,000 square feet	40 Square Feet per Tree	40 Square Feet per Tree	0.05 points	0.05 points	1 tree within 30 feet of each parking space ⁽³⁾
6,000 square feet or greater	5% of vehicular use area located in the street yard	3% of vehicular use area located outside the street yard	0.05 points	0.03 points	1 tree within 30 feet of each parking space ⁽³⁾

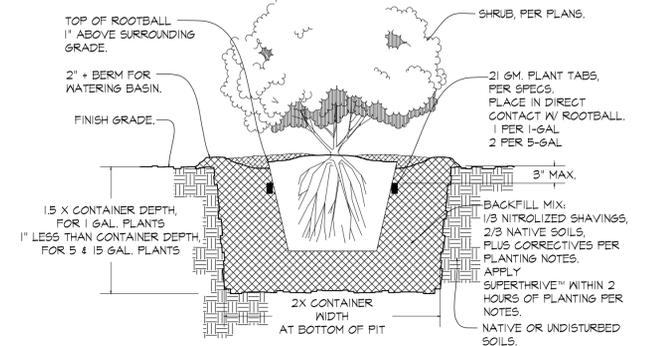
PLANTING NOTES

1. LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE WITHIN PLUS OR MINUS 10 FEET OF FINISH GRADE.
2. THE PLANTING PLANS ARE DIAGRAMMATIC. MINOR ADJUSTMENTS IN PLANT LOCATIONS AND TYPE MAY BE MADE AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
3. CONTRACTOR TO BE ADVISED THAT CERTAIN CULTIVARS OR SPECIES OF PLANTS FOR THIS PROJECT MAY ONLY BE AVAILABLE THROUGH RETAIL SOURCES (I.E., PATENTED MONOCYVA SELECTIONS). CONTRACTOR IS FURTHER ADVISED THAT ALL PLANT MATERIAL FOR THIS PROJECT SHALL BE "PREMIUM" NURSERY STOCK.
4. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND REPLACED UPON REQUEST BEFORE OR AFTER THE PLANTING.
5. THE LANDSCAPE CONTRACTOR WILL COORDINATE HIS WORK WITH THE OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION.
6. PLANT QUANTITIES AND AREAS SHOWN ON LEGENDS ARE FOR CONTRACTORS' CONVENIENCE IN ESTIMATING ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIALS TO COVER ALL AREAS AS SHOWN ON PLANS.
7. SLOPE ALL PLANTING AREAS AWAY FROM BUILDING AT 2% MINIMUM FOR 5 FEET MINIMUM, WHERE APPLICABLE.
8. LANDSCAPE ARCHITECT SHALL APPROVE FINAL PLACEMENT OF ALL TREES, SHRUBS, AND VINES PRIOR TO PLANTING.
9. TREE AND SHRUB PITS 5 GALLONS AND SMALLER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1-1/2 TIMES CONTAINER DEPTH.
10. TREE AND SHRUB PITS 15 GALLONS AND LARGER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1" LESS THAN CONTAINER DEPTH.
11. TREE STAKING SHALL BE DONE ONLY IF ESSENTIAL AND REQUIRED BY THE LANDSCAPE ARCHITECT. TREES THAT CANNOT STAND WITHOUT THE NURSERY STAKE SHALL BE REJECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TREE'S STABILITY DURING THE LENGTH OF THE GUARANTEE PERIOD. ALL STAKING AND GUYING MATERIALS SHALL BE REMOVED AT THE END OF THE 1-YEAR TREE GUARANTEE PERIOD.
12. DO NOT DAMAGE PLANT ROOTBALL DURING TRANSPORTATION OR PLANTING.
13. CONTRACTOR SHALL USE THE FOLLOWING AMENDMENT SCHEDULE FOR BIDDING PURPOSES ONLY. A SOIL TEST SHALL BE MADE BY LANDSCAPE ARCHITECT, AND RECOMMENDED AMENDMENTS SHALL BE USED FOR ACTUAL INSTALLATION.
 - 100 LBS. OF GYPSUM PER 1000 SQ. FT.
 - 10 LBS. OF TRI-C (6-2-4 W/ 5% SULFUR) PER 1000 SQ. FT.
 - 6 LBS. OF IRON SULFATE PER 1000 SQ. FT.
 - 25 LBS. OF SOIL SULFUR PER 1000 SQ. FT.
 - 5 CUBIC YARDS OF NITROLIZED ORGANIC AMENDMENT PER 1000 SQ. FT. (SEE NOTE 16)
14. AMENDED SOIL SHALL BE ROTOTILLED TO A DEPTH OF 8".
15. NO IRON SULFATE SHALL COME IN CONTACT WITH ANY MASONRY SURFACE.
16. NITROLIZED ORGANIC AMENDMENT SHALL BE HUMIC COMPOST FROM AGRI-SERVICE, LOAMEX™, OR APPROVED EQUAL.
17. A. PLANTING BACKFILL MIX FOR ALL CONTAINER PLANTS, SHALL CONSIST OF 1/3 NITROLIZED ORGANIC AMENDMENT AND 2/3 EXISTING SOIL PLUS 2-1/2 LBS. OF SOIL SULFUR, 2 LBS. IRON SULFATE PER CU. YD., 4 LBS. GYPSUM, AND 8 LBS. OF TRI-C (6-2-4 W/ 5% SULFUR) PER CUBIC YARD.
- B. ALL PLANTED AREAS SHALL BE WATERED IN THOROUGHLY WITH SARVON™, PER MANUFACTURERS SPECIFICATIONS IN ADVANCE OF PLANTING. ALL PLANTS SHALL BE WATERED THOROUGHLY WITH SUPERTHRIVE™ WITHIN 1 HOUR OF PLANTING.
18. ALL PLANTS 1-GALLON SIZE OR LARGER SHALL RECEIVE AGRIFORM 21-6-GRAM 20-10-5 FERTILIZER TABLETS AT THE FOLLOWING RATES: ONE PER 1-GALLON; TWO PER 5-GALLON; FIVE PER 15-GALLON; 12 PER 24" BOXED TREES; 18 PER 36" BOXED TREES (SEE L.A. FOR RATES FOR LARGER STOCK). PLACE TABLETS AT HALF THE DEPTH OF THE PLANTING PIT AND 1" FROM ROOTBALL (BOXED TREES SHALL BE IN 2 LAYERS GOING UP ALONG SIDES OF THE ROOTBALL).
19. ALL PLANTS INSTALLED FROM FLATS SHALL RECEIVE ONE AGRIFORM 5-GRAM 20-10-5 TABLET EACH, AND ALL 4" POTS SHALL RECEIVE TWO 5-GRAM TABLETS EACH, MIXED WITH A HANDFUL OF PREPARED BACKFILL PER NOTE 17.
20. ALL PLANTS SHALL HAVE THEIR ROOTBALLS SCORED WITH A SHARP TOOL TO A DEPTH OF 1" IN THREE LONGITUDINAL INCISIONS AT LOCATIONS SPACED AROUND THE ROOTBALL BEFORE PLACING PLANT IN PLANTING HOLE.
21. ALL TYING MATERIALS AND MARKING TAPES SHALL BE REMOVED AT THE TIME OF PLANTING.
22. ALL SHRUB PLANTING AREAS SHALL BE COVERED WITH A 2" LAYER OF SHREDDED FIR BARK. ALL BARK TO BE NITROLIZED WITH 5% NITROGEN, CRUSHED ROCK, PEBBLES OR COBBLE AS NOTED IN PLAN, WHEN GRAVEL OR COBBLE GROUNDCOVER IS USED, A LANDSCAPE FILTER FABRIC MUST BE INSTALLED, WITH AN OVERLAP OF 12" MIN. BETWEEN ROLLS AND FASTENED WITH STAPLES FLUSH TO THE FABRIC TO PREVENT MOVEMENT.
23. IF THE SOIL TEST PREVIOUSLY MENTIONED SHOWS THAT PERMEABILITY RATES ARE LESS THAN 5" PER HOUR, LANDSCAPE ARCHITECT MAY REQUIRE A TREE DRAIN SYSTEM.
24. A LANDSCAPE MAINTENANCE PERIOD OF 90 DAYS SHALL BE CONSIDERED PART OF THIS CONTRACT. REFER TO THE PROJECT SPECIFICATIONS FOR DETAILS.
25. ALL PLANTING IMPROVEMENTS ARE TO BE INSTALLED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.



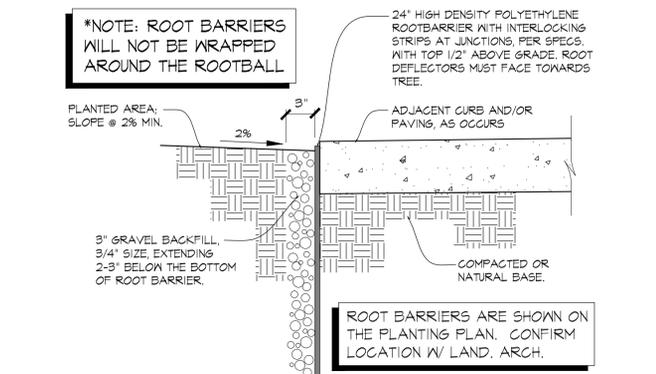
TREE PLANTING

NOT TO SCALE



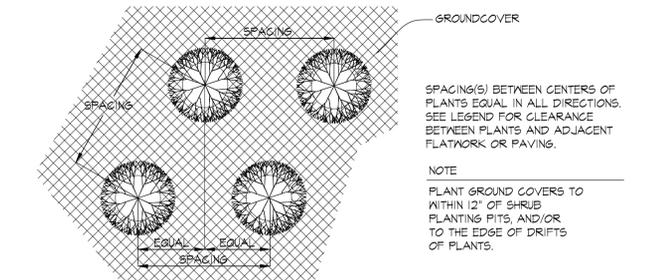
SHRUB PLANTING

NOT TO SCALE



ROOT BARRIER

NOT TO SCALE



TRIANGULAR SPACING
GROUNDCOVERS & SHRUBS

NOT TO SCALE



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SUBMIT. TO CLIENT	03.30.16

PLANTING
NOTES &
DETAILS

SHEET
L1.1

ALL LEGAL DESIGN, MANAGEMENT AND CONSTRUCTION DOCUMENTS OR SUBSEQUENTS TO BE PROVIDED TO ANY PERSON FOR ANY PURPOSE UNLESS SPECIFICALLY AUTHORIZED BY THE WRITING INSTRUMENTS. THE WRITING INSTRUMENTS OR ANY PART THEREOF SHALL BE USED BY NO PERSON FOR ANY PURPOSE UNLESS SPECIFICALLY AUTHORIZED BY THE WRITING INSTRUMENTS.

