



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 25, 2018 REPORT NO. HO-18-063

HEARING DATE: August 1, 2018

SUBJECT: 8333 Calle Del Cielo CDP/SDP. Process Three Decision

PROJECT NUMBER: [596085](#)

OWNER/APPLICANT: Kristian Allos, Owner/Sarah Horton, Golba Architecture Inc., Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of a single dwelling unit and the construction of a 5,958-square-foot, single dwelling unit located at 8333 Calle Del Cielo within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area?

Staff Recommendations:

1. Approve Coastal Development Permit No. 2097158; and
2. Approve Site Development Permit No. 2097159.

Community Planning Group Recommendation: On July 5, 2018, the La Jolla Community Planning Association voted 14-0-0 to recommend approval of the project without conditions or other recommendations.

Other Recommendations: On May 21, 2018, the La Jolla Shores Planned District Advisory Board voted 5-0-0 to recommend approval of the project without conditions or other recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15303(a) (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 25, 2018, and the opportunity to appeal that determination ended July 10, 2018.

BACKGROUND/DISCUSSION

The 0.46-acre site contains an existing 4,085-square-foot, two-story single dwelling located approximately 1,900 feet east from the Pacific Ocean at 8333 Del Oro Court (Attachments 1-3). The site is designated Very Low Density Residential (0 to 5 dwelling units per acre (du/ac)) in the La Jolla Community Plan, zoned Single Family in the La Jolla Shores Planned District, and is within the Coastal (Non-Appealable) Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones. The surrounding properties are fully developed and form an established single-dwelling residential neighborhood. The property was determined by Historic Resource Staff to be ineligible for historic designation.

The proposal includes the demolition of the existing single dwelling and construction of a 5,958-square-foot two-story over basement single dwelling unit. The project also proposes a pool house, pool, spa, landscape, and hardscape.

A Process Two Coastal Development Permit is required by San Diego Municipal Code (SDMC) 126.0702(a) for development within the Coastal (Non-Appealable) Overlay Zone. A Process Three Site Development Permit (SDP) is required SDMC section 151.0201(c) for major development within the La Jolla Shores Planned District. The two processes are consolidated and elevated to an Hearing Officer Process Three decision per SDMC 112.0103.

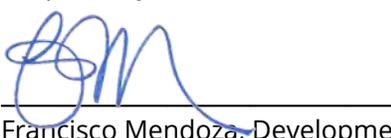
A neighborhood survey of the existing development pattern, bulk and scale was submitted for the analysis of the project. The proposed dwelling was found to be in general conformity with setbacks and bulk and scale, as required by the La Jolla Shores Planned District Ordinance SF Zone, and meets all other applicable regulations and development standards.

As the project is consistent with the existing development pattern, staff supports a determination that the project is consistent with the recommended land use and development standards in effect for this site pursuant to the adopted La Jolla Community Plan, San Diego Municipal Code, and the General Plan. Staff has prepared draft findings and draft conditions of approval and recommends approval of the project as presented.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2097158 and approve Site Development Permit No. 2097159, with modifications.
2. Deny Coastal Development Permit No. 2097158 and Deny Site Development Permit No. 2097159, if the findings required to approve the project cannot be affirmed.

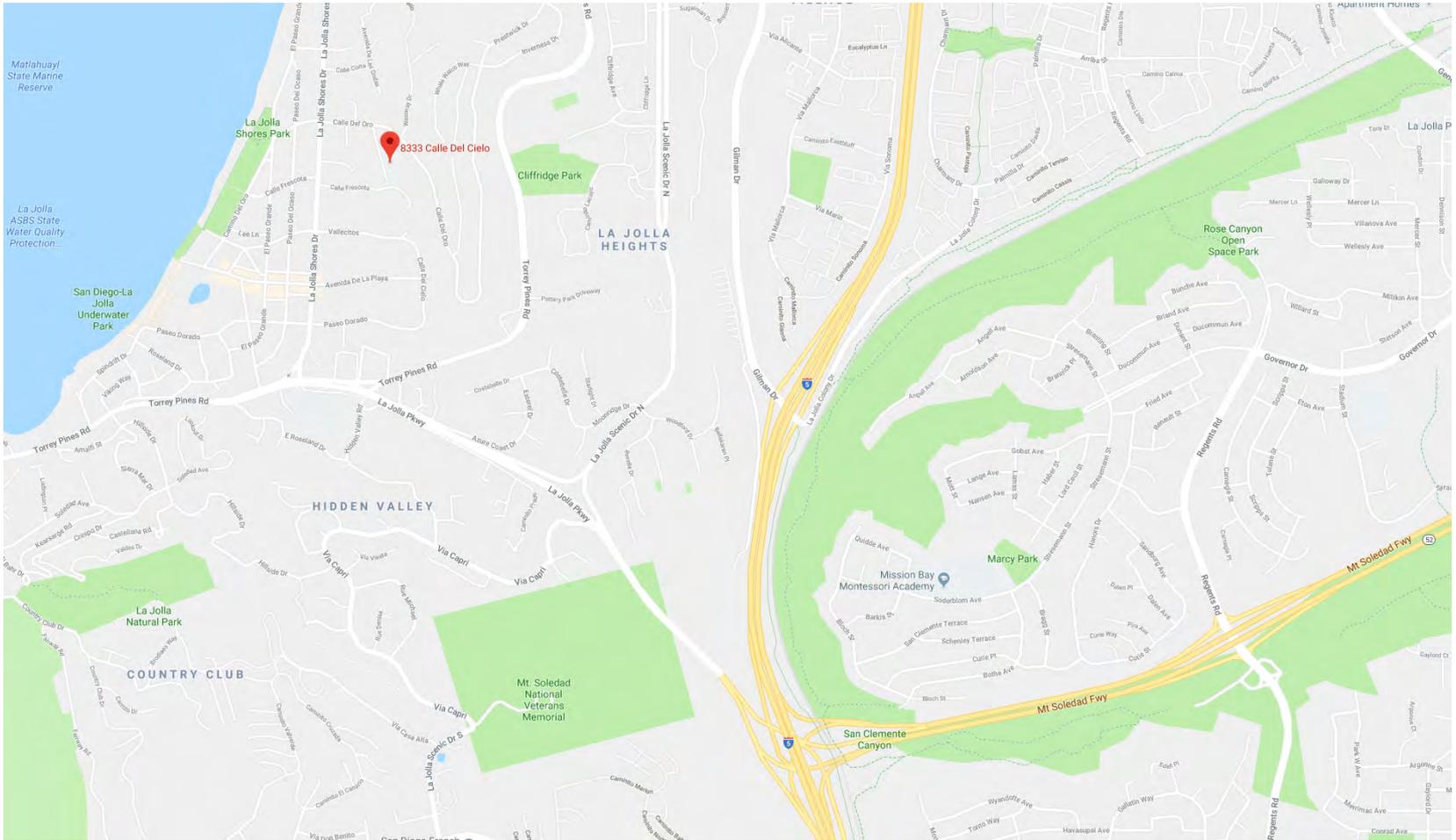
Respectfully submitted,



Francisco Mendoza, Development Project Manager

Attachments:

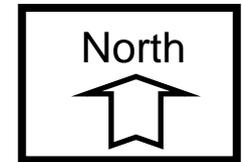
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location

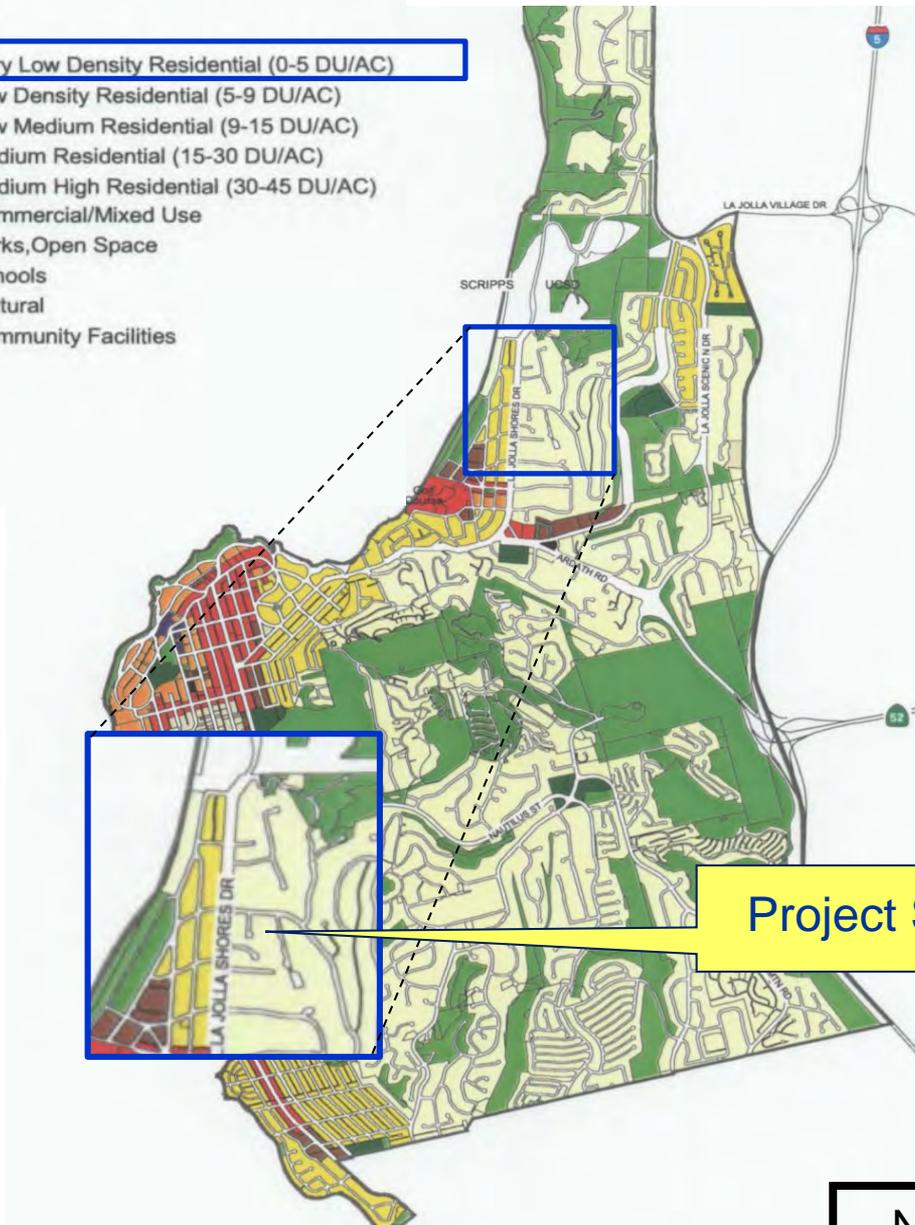
8333 Calle Del Cielo CDP/SDP

Project No. 596085 - 8333 Calle Del Cielo



Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

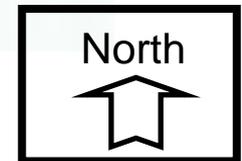


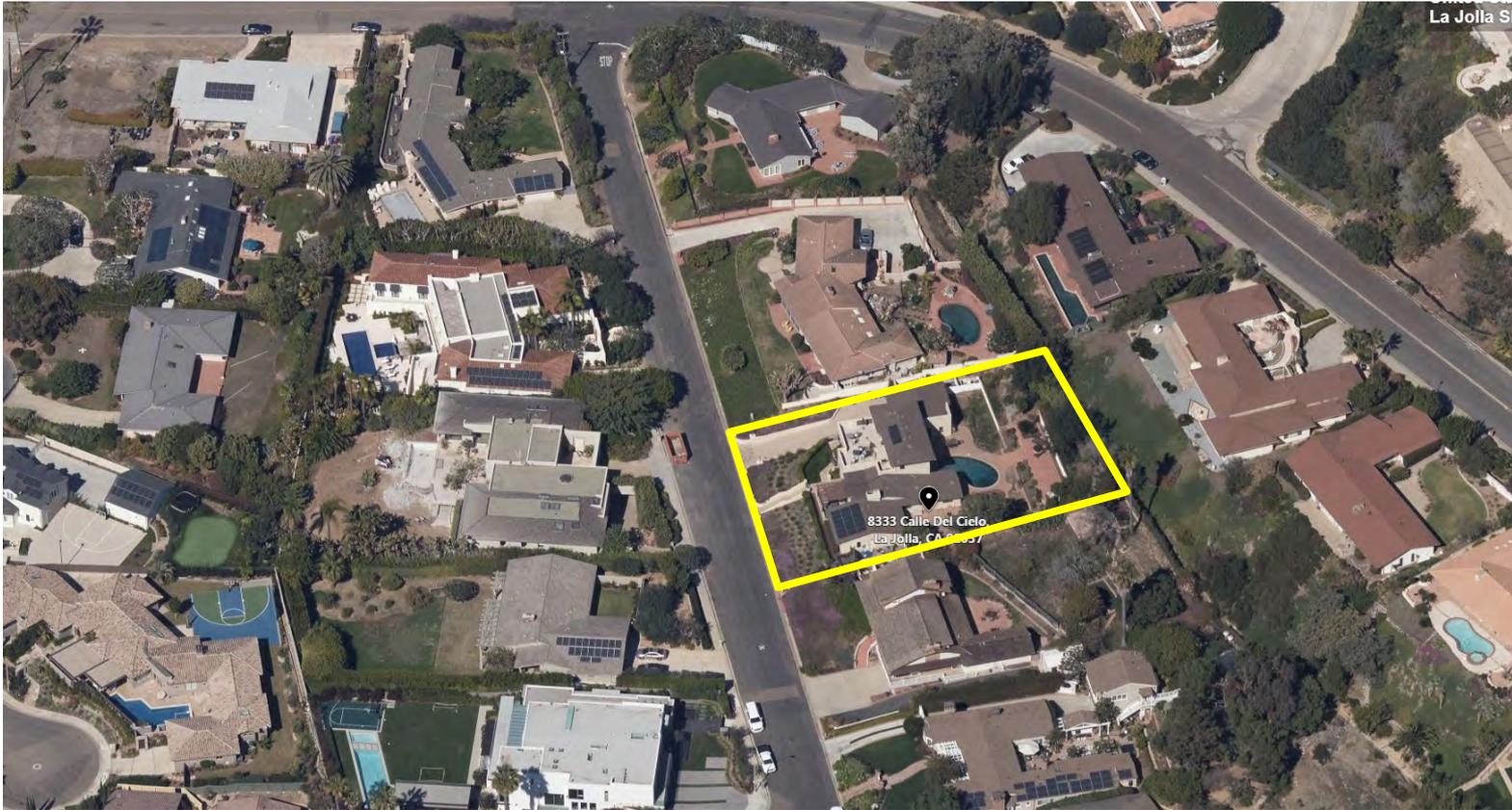
Project Site



Land Use Map

8333 Calle Del Cielo CDP/SDP
Project No. 596085 - 8333 Calle Del Cielo

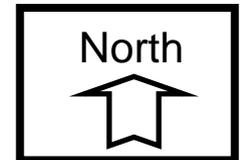




Aerial Photograph

8333 Calle Del Cielo CDP/SDP

Project No. 596085 - 8333 Calle Del Cielo



HEARING OFFICER RESOLUTION NO. HO-XXXX
COASTAL DEVELOPMENT PERMIT NO. 2097158
SITE DEVELOPMENT PERMIT NO. 2097159
8333 CALLE DEL CIELO - PROJECT NO. 596085

WHEREAS, the ALLOS FAMILY TRUST U/A dated 9-4-2015, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish and construct a single dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2097158 and 2097159), on portions of a 0.46-acre site; and

WHEREAS, the project site is located at 8333 Calle Del Cielo, in the SF Zone of the La Jolla Shores Planned District, the Coastal (Non-Appealable) Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones of the La Jolla Community Plan; and

WHEREAS, the project site is legally described as: Lot 3, La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the Office of the Recorder of San Diego County, May 29, 1953; and

WHEREAS, on June 25, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines section 15303(a) (New Construction or Conversion of Small Structures), and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on August 1, 2018, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2097158 and Site Development Permit No. 2097159, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego adopts the following findings with respect to Coastal Development Permit No. 2097158 and Site Development Permit No. 2097159:

A. Coastal Development Permit [SDMC Section 126.0708]

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed 5,958-square-foot, single dwelling unit located at 8333 Calle Del Cielo within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area is not located adjacent to any existing or proposed public accessway as specified in the La Jolla Community Plan and Local Coastal Program Land Use Plan, nor is located on or adjacent to any public viewshed as outlined in the Plan. It is located approximately 1,900 feet east from the Pacific Ocean. There is an existing house on the project site on a flat, developed residential pad. The project is not located between the first public roadway and the Pacific Ocean.

Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

Review of resources maps, and aerial and street level photography shows that the proposed single dwelling unit at 8333 Calle Del Cielo within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area is not located adjacent to any environmentally sensitive lands. That review also shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. The project site does not contain, nor is it adjacent to Multi-Habitat Planning Area (MHPA) designated lands. The project will be required to comply with all local, state, and federal laws related to water quality. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

- 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed single dwelling unit at 8333 Calle Del Cielo within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area complies with the land use policies of the Plan. The project site is designated Very Low Density Residential (0 to 5 dwelling units per acre or du/ac). The project is consistent with the use and density range at 2.17 du/ac. A goal of the residential element within the La Jolla Community Plan is to maintain the character of residential areas. Through a La Jolla Planned District survey, the project was found to be consistent with the SF Zone of the La Jolla Shores Planned District, which compares the bulk and scale of adjacent properties. The project was determined to be in conformity with all of the applicable development regulations of the La Jolla Shores Planned District's SF-Zone and the Coastal Overlay Zone. No deviations to the development regulations of the Land Development Code are proposed. Therefore, the proposed project is in conformity with the certified La Jolla Community Plan and the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, this finding is not applicable.

B. Site Development Permit [SDMC Section 126.0505]

- 1. The proposed development will not adversely affect the applicable land use plan.**

The proposed single dwelling unit at 8333 Calle Del Cielo within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area complies with the land use policies of the Plan. The project site is designated Very Low Density Residential (0 to 5 dwelling units per acre or du/ac). The project is consistent with the use and density range at 2.17 du/ac. A goal of the residential element within the La Jolla Community Plan is to maintain the character of residential areas. Through a La Jolla Planned District survey, the project was found to be consistent with the SF Zone of the La Jolla Shores Planned District, which compares the bulk and scale of adjacent properties. Thus, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes to demolish the existing dwelling and construct a single-family dwelling unit within a previously disturbed portion of the property. To facilitate public safety, a new City standard driveway, curb and gutter will be constructed. Additionally, the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project will comply with the development regulations of the SF Zone of the La Jolla Shores Planned District. Based on a submitted neighborhood survey of the existing development pattern, bulk and scale comparisons, the proposed single-family dwelling unit was found to be in general conformity with setbacks, bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance's SF Zone and the Coastal Overlay Zone. The project is not requesting any variances or deviations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

ATTACHMENT 4

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2097158 and Site Development Permit No. 2097159, are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2097158 and 2097159, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on: August 1, 2018

IO#: 24007719

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007719

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2097158
SITE DEVELOPMENT PERMIT NO. 2097159
8333 CALLE DEL CIELO CDP/SDP - PROJECT NO. 596085
HEARING OFFICER

This Coastal Development Permit No. 2097158 and Site Development Permit No. 2097159 is granted by the Hearing Officer of the City of San Diego to the ALLOS FAMILY TRUST U/A dated 9-4-2015, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 126.0505. The 0.46-acre site is located at 8333 Calle Del Cielo, in the SF Zone of the La Jolla Shores Planned District, the Coastal (Non-Appealable) Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones of the La Jolla Community Plan. The project site is legally described as: Lot 3, La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the Office of the Recorder of San Diego County, May 29, 1953.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish and construct a single dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 1, 2018, on file in the Development Services Department.

The project shall include:

- a. Demolition of a single dwelling unit and construction of a 5,958-square-foot, single dwelling unit with detached pool house;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Hardscape, pool, spa, and new exterior finishes; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 16, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export 1,010 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the Sidewalk Underdrains/Curb Outlet in the Calle Del Cielo Right-of-Way.
16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the portion of the non-standard drive aisle located on Calle Del Cielo.
17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the walkway located in the Calle Del Cielo Right-of-Way.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12-foot-wide driveway per current City Standards, adjacent to the site on Calle Del Cielo satisfactory to the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing rolled curb with curb and gutter per current City Standards, adjacent to the site on Calle Del Cielo, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

23. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

PLANNING/DESIGN REQUIREMENTS:

24. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

25. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

LANDSCAPE REQUIREMENTS:

27. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

28. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

29. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 1, 2018 and HO-_____.

ATTACHMENT 5

Coastal Development Permit No. 2097158
Site Development Permit No. 2097159
Date of Approval: August 1, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Francisco Mendoza
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ALLOS FAMILY TRUST U/A, dated 9-4-2015
Owner/Permittee

By _____
Kristian Saad Allos, Trustee

ALLOS FAMILY TRUST U/A, dated 9-4-2015
Owner/Permittee

By _____
Natasha Ann Allos, Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: June 25, 2018

**NOTICE OF RIGHT TO APPEAL
ENVIRONMENTAL DETERMINATION
DEVELOPMENT SERVICES DEPARTMENT**

SAP No. 24007719

PROJECT NAME / NUMBER: 8333 Calle Del Cielo CDP/SDP / 596085

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 8333 Calle Del Cielo, San Diego, CA, 92037

PROJECT DESCRIPTION: a Coastal Development and Site Development Permit to demolish an existing single dwelling unit and construct a new single dwelling unit with a basement and two stories for a total of 8,241 square feet located at 8333 Calle Del Cielo. The 0.46-acre site is located in the Coastal Non-Appealable overlay zone, La Jolla Shores Planned District Single-Family zone of the La Jolla Community Plan Area, Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303(a) New Construction or Conversion of Small Structures

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Section 15303(a) New Construction or Conversion of Small Structures. Section 15303(a) consists of construction and location of limited numbers of new, small facilities or structures. This exemption includes one single-family residence, or a second dwelling unit in a residential zone. None of the exceptions listed in CEQA Guidelines Section 15300.2 apply, therefore this exemption is applicable to the proposed project.

DEVELOPMENT PROJECT MANAGER: Francisco Mendoza

MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153

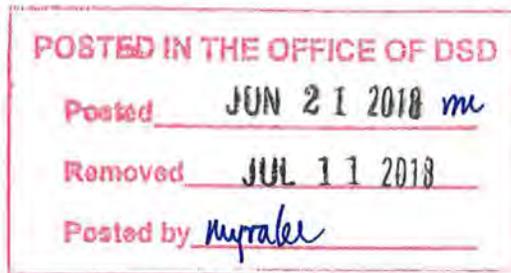
PHONE NUMBER / EMAIL: (619) 446-5433 / fmendoza@sandiego.gov

On June 21, 2018 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed

above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 10, 2018). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





La Jolla Community Planning Association

July 12, 2018

To: Pancho Mendoza

cc. Sarah Horton

Subject: La Jolla Community Planning Association Vote

RE: Allos Residence (Project # 596085) 8333 Calle Del Cielo

On July 5, 2018 at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed **the Allos Residence** as an Action Item on Full Review.

Site Development Permit and Coastal Development Permit for the demolition of an existing 4,085 square foot two story over basement garage single family residence and construction of a new 5,958 square foot two story over basement garage single family residence. The 0.46 acre (19,988 square foot) site is within the Coastal Overlay zone within the LJSPD-SF zone of the La Jolla Shores Planned District within the La Jolla Community Plan Area within Council District 1.

The LJCPA motion approved the LJCPA's recommendation to approve this project. Vote: 14-0-1.

Sincerely,

Bob Steck, President

La Jolla Community Planning Association



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board
DRAFT Meeting Minutes for May 21st, 2018
 615 Prospect Street
 La Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Dolores Donovan	Present	Herbert Lazerow	Absent
Dan Goese, Chair	Present	Jane Potter	Present
Andrea Moser	Present	Susanne Weissman	Present

1. **Call to Order:** 11:00 a.m.
2. **Approval of the Agenda**
Agenda approved. 5-0-0.
3. **Approval of the Minutes**
Goese said he voted to deny the motion regarding Black Halibut, instead of to approve the motion to deny the project, the vote being 4-1-0 not 5-0-0.
4. **Non-Agenda Public Comment:**
None.
5. **Project Review**

ACTION ITEM A – PTS 566727 – Pathria Residence CDP/SDP

Location: 7975 Calle de la Plata

APN: 346-505-0200

Presented by: Christian Rice, ha@christianrice.com, (619) 522-9040

Description: Demolition of existing 2,260 sf single-story residence and the construction of a new 4,546 sf two-story residence on a 7,206 sf lot

Presentation

- Rice said the property was a highly unusual shape on which is proposed a new construction, two-story home. The living space is just over 4,000 sf with 500 sf dedicated to the garage for an FAR of .63. A 15-foot front yard setback is proposed along with 5-foot side setbacks and no rear yard.
- Applicant said the design was as rectilinear as possible, given the triangular lot. Applicant indicated there was covered parking for two cars with 20 feet of space between the garage and street to accommodate two more cars.

- The architecture is contemporary within a neighborhood of mixed architectural styles. The design incorporates natural materials including wood and includes a plunge pool and outdoor fireplace.
- Applicant identified 5 neighbors who were in support of the project.

Comments

- Moser questioned whether the 30 percent requirement for green/landscaping coverage was being met. Applicant described how design meets the requirement. Goese requested a northwest elevation and information on chimney height. Applicant produced a drawing with requested information and said chimney height was 25.6 feet.
- Weissman asked if the circles represented trees. Applicant responded in affirmative.
- Donovan said emailing the owners of neighboring properties for their opinion of the proposal is preferable to just asking the residents for their opinion because the owners might care more about what is proposed in the neighborhood than a renter.
- Donovan requested minute taker include “as presented” in motion. Goese opined to make that a permanent part of the board’s process going forward.

Motion: Recommend project as a Major Project Process 3. Project, as presented, conforms to the La Jolla Shores Planned District Ordinance. Moser/Potter. 5-0-0.

ACTION ITEM B

Project: PTS 596085 – Allos Residence SDP.CDP

Location: 8333 Calle Del Cielo

APN: 346-190-0300

Presented by: Tim Golba, TGolba@golba.com, (619) 231-9905 and Sarah Horton, shorton@golba.com, (619) 231-9905

Description: Demolition of an existing 4,085 sf two-story over basement garage single-family residence and construction of a new 5,958 sf two-story over basement garage single-family residence.

Presentation

- Golba described the existing house as a two-story over garage/basement that was cleared by historic review. The site changes in elevation from the street to the rear yard. Golba said their proposal was to stretch the second story out over the garage to create a bigger house
- Golba said the rear yard is a series of terraces ascending up to the property line. It would contain a pool, cabana and a dining deck.
- The garage would be three cars wide and two cars deep to accommodate family members.
- Project includes a roof deck in the rear roof.
- Landscaping is at 43 percent.
- Height is 23 feet from pad to roof. At 5 feet out from the building the height is 28.8.
- Architecture is modern featuring extensive use of glass fenestration.
- FAR is at .30.
- Five neighbors approved of the proposal, one opposed.

Comments

- No major concerns or issues expressed by the Advisory Board.

Motion: Recommend project as a Major Project Process 3. Project, as presented, conforms to the La Jolla Shores Planned District Ordinance. Donovan/Weissman, 5-0-0.

ACTION ITEM C

Project: PTS 604983 – Mardoum-Sussman Addition Remodel

Location: 7830 Roseland Dr.

APN: 346-523-0400

Presented by: John Kavan, john@jacksondesignandremodeling.com, (619) 442-6125 x314 and Denisse Prado-Liendo, Denisse@jacksondesignandremodeling.com, (619) 442-6125 x363.

Presentation

- Applicant said their proposal is a complete redesign of an earlier design that went before the board in 2015 but was never built. The current design is smaller than the previous.
- Proposal would stay in the existing footprint with a minor pop out on the courtyard side of the residence, an entry portico and a deck on top plus a roof deck on the third level.
- Proposal would be architecturally consistent with the existing craftsman style.
- Proposal would include some remodeling of existing bath and bedrooms.
- Highest point at the chimney is 28.9 feet.
- No CDP would be required as proposal would not disturb more than 50 percent of existing walls.
- Proposal would feature over 50 percent of landscaped area.

Comments

- Moser said she had difficulty locating the project.
- Donovan asked applicant to verify that proposal is a 74 percent increase in square footage. Applicant verified the increase of 74 percent, due to the added second story with an FAR of .30
- Donovan complimented the applicant on the proposal but said that, with a 74 percent increase, an SDP and CDP are needed. Applicant said they hoped to be considered a minor project, as they are staying within the current building footprint. Goese cited City Bulletin 621, which discusses minor additions within the La Jolla Planned District as being 10 percent above existing and visibility of structure from existing rights of way, etc. and concluded that this would cause the project to be considered as a major project but one that could be approved.
- Potter agreed with Goese and previous board comment.
- Donovan asked for letters from neighbors, should the applicant return to the board but couldn't support as is.
- Goese said the board doesn't verify what neighbors might say about a project, whether pro or con, and is not a requirement that is codified anywhere, and not typically verified, and therefore not a reason for the project to come back.
- Applicant said they're OK with being considered as a major review and, in fact, have already started the SDP application process.

Motion: Recommend project as a Major Project Process 3. Project, as presented, conforms to the La Jolla Shores Planned District Ordinance. Potter/Moser. 3-1-0. Motion failed. Recommend continue as a Process 3 for community character issues. Donovan/Moser, 2-2-0. Motion failed. No other motions offered. No recommendation due to a lack of four affirmative votes.

ACTION ITEM D

Project: PTS 607035 – Brown Residence Addition/Remodel

Location: 8462 La Jolla Shores Dr.

APN: 346-082-2400

Presented by: William H. Metz, Billmetzarchitect@mac.com, (619) 276-1885

Description: Proposed 679.6 sf addition to an existing 2,376 sf single-family residence and 159.6 sf addition to an existing 390.61 sf garage on an existing 8,250 sf lot.

Presentation

- Property owner Brown described the project as a minor project, single story residence.
- Proposal would remove the pool, adding a great room and modify some walls, keeping the residence one story for a 25 percent increase. Landscaped areas will total 35 percent. Garage will accommodate two cars and a 22-foot space between the garage and sidewalk would accommodate another two cars. Proposed FAR of 43.7. Brown said neighbors supported the proposal and produced letters of support. Height of neighboring houses is approximately 28 feet, while subject property height is 17.4 feet.

Comments

- Donovan said it was a minor project, even though it was an addition of 25 percent, because it was developed as a U-shaped space formed by the existing building.

Motion: Recommend project as a Minor Project Process 1. Project, as presented, conforms to the La Jolla Shores Planned District Ordinance. Moser/Potter. 4-0-0.

6. **Next meeting date:** June 18, 2018.

7. **Adjournment:** 12:33 p.m.

Minutes taken by Tony Kempton, Associate Planner, City of San Diego

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Allos Residence **Project No. For City Use Only:** 596085
Project Address: 8333 Calle del Cielo, La Jolla, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Kristian Allos Owner Tenant/Lessee Successor Agency
 Street Address: 8333 Calle Del Cielo
 City: La Jolla State: CA Zip: 92037
 Phone No.: 619-322-3029 Fax No.: _____ Email: kristianallos@gmail.com
 Signature: [Signature] Date: 01/19/2018
 Additional pages Attached: Yes No

Applicant

Name of Individual: Kristian Allos Owner Tenant/Lessee Successor Agency
 Street Address: 8333 Calle Del Cielo
 City: La Jolla State: CA Zip: 92037
 Phone No.: 619-322-3029 Fax No.: _____ Email: kristianallos@gmail.com
 Signature: [Signature] Date: 01/19/2018
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

ALLOS RESIDENCE

8333 CALLE DEL CIELO
LA JOLLA, CA 92037



© ARTISTIC REPRESENTATION OF PROPOSED FINAL PRODUCT

COASTAL DEVELOPMENT & LA JOLLA SHORES SITE DEVELOPMENT PERMIT SET

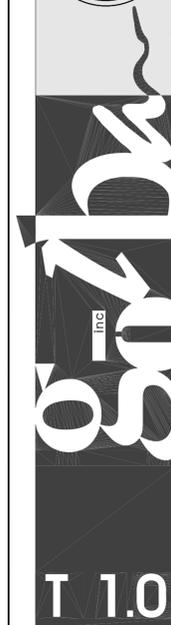
Prepared By:
Golba Architecture
1940 Garnet Ave. #100
San Diego, CA 92109
(619) 231-9905
fax: 858-750-3471

Project Address:
8333 CALLE DEL CIELO
LA JOLLA, CA 92037

Project Name:
ALLOS RESIDENCE

Sheet Title:
COVER SHEET

Revision 14:
Revision 13:
Revision 12:
Revision 11:
Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1: 04-15-18
Original Date: 01-24-18
Sheet 1 of 12



ALLOS RESIDENCE
8333 CALLE DEL CIELO
LA JOLLA, CA 92037

GOLBA ARCHITECTURE inc
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

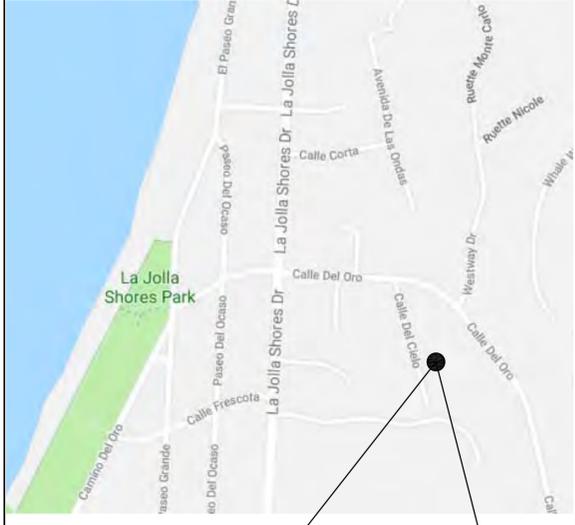
SPECIAL INSPECTIONS:

- GENERAL REQUIREMENTS:
1. THE DESIGNER MUST PROVIDE A COMPLETE AND COMPREHENSIVE LISTING IDENTIFYING IN ONE LOCATION ON THE PLANS ALL WORK REQUIRING SPECIAL INSPECTION...

ABBREVIATIONS

Table of abbreviations for architectural and engineering terms, including ACOUS., A.C.T., ADJ., A.F.F., AGG., ALUM., ALT., A.P., APPROX., ARCH., ASPH., ASST., AUTO., BD., BLDG., BOT., B.U.R., CAB., CIRC., C.L., C.L.R., C.L.G., C.L.O., C.M.U., COL., CONC., CONF., CONN., CONSTR., CONT., CONTR., COORD., CORR., CPT., C.J., C.T., C.T.R., C.V.N., DBL., DEMO., DEPT., DIA., DIAG., DIFF., DIM., DIV., DN., D.P., DR., DTL., E., EA., ELAS., ELEC., ELEV., EMER., ENCL., ENGR., ENT., E.J., E.FNL., EQ., EQUIP., E.W.C., EXH., EXST., EXP., EXT., F.D., FDN., F.E., F.F., F.H.C., FIN., FL., FLEX., FLOUR., FT., FURN., FURR., FUT., GA., GALV., GEN., GL., GND., GR., GYP. BD., H.C., HDND., H.M., HORZ., HR., HT., HTG., H.V.A.C., H.W., IN., INCAND., INCL., INSUL., INT., INTERM., JAN., JT., KIT., LAM., LAUN., LAV., LB.(S), L.F., LT., MACH. MAINT., MAS., MATL., MAX., MECH., MEMB., MEZZ., MFR., MIN., MISC., M.O., MOV., MTD., MTL., MULL., N., N.I.C., NO., NOM., N.O.M., N.T.S., O.A., O.C., O.D., O.F.D., O.F.F., O.H.D., O.P.N.S., O.P.P., O.V.E.R., O.C.E.N.T.E.R., O.U.T.S.I.D.E D.I.A.M.E.T.E.R., O.V.E.R.F.L.O.W D.R.A.I.N., O.F.F.I.C.E., O.V.E.R.H.E.A.D., O.P.E.N.I.N.G., O.P.P.O.S.I.T.E., O.V.E.R.A.L.L., P.A.V.I.N.G., P.C., P.L., P.L.A.M., P.L.A.S., P.L.B.S., P.L.M.D., P.N.T., P.N.L., P.O.L., P.O.P., P.S.F., P.S.I., P.T.D., P.T.N., P.T., Q.T.Y., R., RECEP., REINF., R.O.W., RAD., R.B., R.C.P., R.D., R.E.C., REF., REFR., REINF., REINFD., RESL., REV., R.F.G., R.M., R.O., S., SAN., SCHED., SECT., SECUR., S.F., SHR., SHT., SIM., S.L., S.P., SPEC., SPKR., SQ., S.S.T., STA., STD., STL., STOR., STRUC., SUSP., SYM., T., T.O., T.4.B., T.4.G., TEL., TEMP., TER., THK., TLT., TOPO., T.V., TYP., UNEXC., UNF., U.N.O., UTL., VAC., V.G.T., VENT., VERT., VEST., V.I.F., VOL., V.T., W., W.C., W.D., W.F., W.H., W.IN., W.M., W.T.P.S., W.T., W.W.F., YD.

VICINITY MAP NTS



HISTORICAL CLEARANCE

Historical Clearance report summary including Cycle Issues, Project Information (Project No. 833262, Title: 8333 Calle Del Cielo), Review Information (Cycle Type: 3 Final/One-History), and a table of cycle issues with dates and descriptions.

PROJECT DATA

PROJECT DESCRIPTION: SCOPE INCLUDES DEMOLITION OF AN EXISTING 4,085 S.F. TWO STORY OVER BASEMENT GARAGE SINGLE FAMILY RESIDENCE AND CONSTRUCTION OF A NEW 5,450 S.F. TWO STORY OVER BASEMENT GARAGE SINGLE FAMILY RESIDENCE.
SITE ADDRESS: 8333 CALLE DEL CIELO LA JOLLA, CA 92037
ASSESSORS PARCEL NUMBER: 346-190-03-00
LEGAL DESCRIPTION: LOT 3 OF LA JOLLA SHORES TERRACE, MAP NO. 2496
EXISTING HISTORICAL REVIEW: SINGLE DISCIPLINE PRELIMINARY REVIEW - HISTORICAL, PTS # 553252 - CLEARED
REQUIRED DISCRETIONARY PERMITS: COASTAL DEVELOPMENT PERMIT & SITE DEVELOPMENT PERMIT (LA JOLLA SHORES PLANNED DISTRICT)
YEAR EXISTING STRUCTURES WERE BUILT: 1954
EXISTING SOIL CONDITIONS: PREVIOUSLY GRADED & DISTURBED
LOT USE EXISTING: SINGLE FAMILY RESIDENCE PROPOSED: SINGLE FAMILY RESIDENCE
LOT ZONING: LUSPD-SF
OVERLAY ZONE DESIGNATION: COASTAL HEIGHT LIMITATION OVERLAY ZONE, COASTAL OVERLAY ZONE (NON-APPEALABLE AREA), PARKING IMPACT OVERLAY ZONE (BEACH IMPACT AREA), LA JOLLA COMMUNITY PLAN AND LOCAL COASTAL PROGRAM AREA

LOT SIZE: 19,900 S.F.
MAXIMUM F.A.R.: GOVERNED (PER LUSPD-SF ZONING)
PROPOSED F.A.R. OF LIVING: 0.30
ALLOWABLE LOT COVERAGE: 60%
PROPOSED LOT COVERAGE: 5,022 SF (25% OF LOT)
OCCUPANCY: R-3
BUILDING CODES: 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA GREEN BUILDING CODE, 2016 CALIFORNIA FIRE CODE
CONSTRUCTION TYPE: TYPE VB, SPRINKLERED IN ACCORDANCE WITH NFPA 13D OR CRC SECTION R313
NUMBER OF STORIES EXISTING: 2 STORIES + BASEMENT GARAGE PROPOSED: 2 STORIES + BASEMENT GARAGE
BUILDING HEIGHT EXISTING: 25'-10" PROPOSED: 23'-0" F.F.E. TO PARAPET, 26'-6" F.F.E. TO GUARDRAIL, 28'-8" 1/2" GRADE TO GUARDRAIL
GEOLOGICAL HAZARD CATEGORY: 52
LANDSCAPE AREA SQUARE FOOTAGE: 0,643 S.F. (43% OF SITE)
PROPOSED SETBACKS FRONT YARD SETBACK: 28'-6" SIDE YARD SETBACKS: 12'-0" & 8'-0" REAR YARD SETBACK: 42'-11"

AREA CALCULATIONS

Table showing area calculations: LOT SIZE: 19,900 S.F.; HOUSE AREA (HABITABLE): FIRST FLOOR AREA: 3,185 S.F., SECOND FLOOR AREA: 2,773 S.F., TOTAL HABITABLE: 5,958 S.F.; AREA OF POOL HOUSE: 400 S.F.; AREA OF DECKS & PATIOS: LEVEL 1: DECK: 312 S.F., COVERED PATIO: 518 S.F., LEVEL 2: DECKS: 821 S.F., ROOF: DECK: 875 S.F., POOL HOUSE COVERED PATIO: 924 S.F., TOTAL: 2,361 S.F. (EXEMPT FROM G.F.A.)

SYMBOLS

SYMBOLS section containing various symbols and their corresponding sheet numbers and discipline letters, such as NORTH ARROW, DOOR SYMBOL, WINDOW SYMBOL, ELEVATION MARKS, BATT INSULATION, PLAN NOTE TARGET, CENTER LINE, WALL SECTION MARKS, DETAIL DESIGNATION, DETAIL TARGETS, PLAN BLOW-UP DETAILS, and INTERIOR ELEVATION TARGETS.

SHEET INDEX

GENERAL: T1.0 COVER SHEET LEGEND AND PROJECT DATA
CIVIL: C-1 EXISTING TOPOGRAPHIC SURVEY C-2 CONCEPTUAL GRADING PLAN
ARCHITECTURAL: A1.0 SITE PLAN A1.1 BASEMENT & FIRST FLOOR PLANS A1.2 SECOND FLOOR & ROOF PLANS A2.0 ELEVATIONS A2.1 ELEVATIONS A2.2 SITE SECTIONS & POOL HOUSE PLANS
LANDSCAPE: L-1 LANDSCAPE DEVELOPMENT PLAN L-2 LANDSCAPE AND WATER USE PLAN

PROJECT DIRECTORY

OWNER: KRISTIAN & NATASHA ALLOS 1753 SLATE TERRACE EL CAJON, CA 92014 TEL. (658) 750-3467
ARCHITECT: GOLBA ARCHITECTURE, INC. 1940 GARNET AVE., SUITE 100 SAN DIEGO, CA 92104 TEL. (619) 231-4905 CONTACT: SARAH HORTON
SURVEYOR: A QUICK SURVEY 2163 WOODLAND HEIGHTS GLEN ESCONDIDO, CA 92026 TEL. (760) 525-0694 CONTACT: MICHAEL THOMPSON
CIVIL ENGINEER: CHRISTENSEN ENGINEERING & SURVEYING 1800 SILVERTON AVE., SUITE J SAN DIEGO, CA 92126 TEL. (658) 271-4901 CONTACT: ANTONY CHRISTENSEN
LANDSCAPE ARCHITECT: SJA INC. 31726 RANCHO VIEJO ROAD, SUITE 201 SAN JUAN CAPISTRANO, CA 92675 TEL. (949) 276-6500 CONTACT: MARK LLOYD

SELF-CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:
1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
3. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
4. MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
5. SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
6. IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
7. THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME I, CHAPTER 1, SECTION 4.
RESPONSIBLE CERTIFIED PROFESSIONAL NAME: TIMOTHY GOLBA

SIGNATURE: DATE:
Prepared By: Golba Architecture 1940 Garnet Ave. #100 San Diego, CA 92104 (619) 231-4905 fax: 658-750-3471
Revision 14: Revision 13: Revision 12: Revision 11: Revision 10: Revision 9: Revision 8: Revision 7: Revision 6: Revision 5: Revision 4: Revision 3: Revision 2: Revision 1:
Project Address: 8333 CALLE DEL CIELO LA JOLLA, CA 92037
Project Name: ALLOS RESIDENCE Original Date: 01-24-18
Sheet 2 of 12
Sheet Title: LEGEND & PROJECT DATA

GOLBA ARCHITECTURE inc
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-4905 Fax: (658) 750-3471

ALLOS RESIDENCE
8333 CALLE DEL CIELO LA JOLLA, CA 92037



T1.1



SCALE 1"=10'

3' WIDE ROLLED CURB
NO GUTTER
ASPHALT ROADWAY

NOTES: THIS PLOT IS IN SUPPORT OF FUTURE SITE IMPROVEMENTS BY OTHERS
BOUNDARY BEARINGS AND DISTANCES SHOWN ARE RECORD FROM CORNER RECORD NO. 13062

NOT ALL LANDSCAPE AND HOUSE FEATURES ARE SHOWN

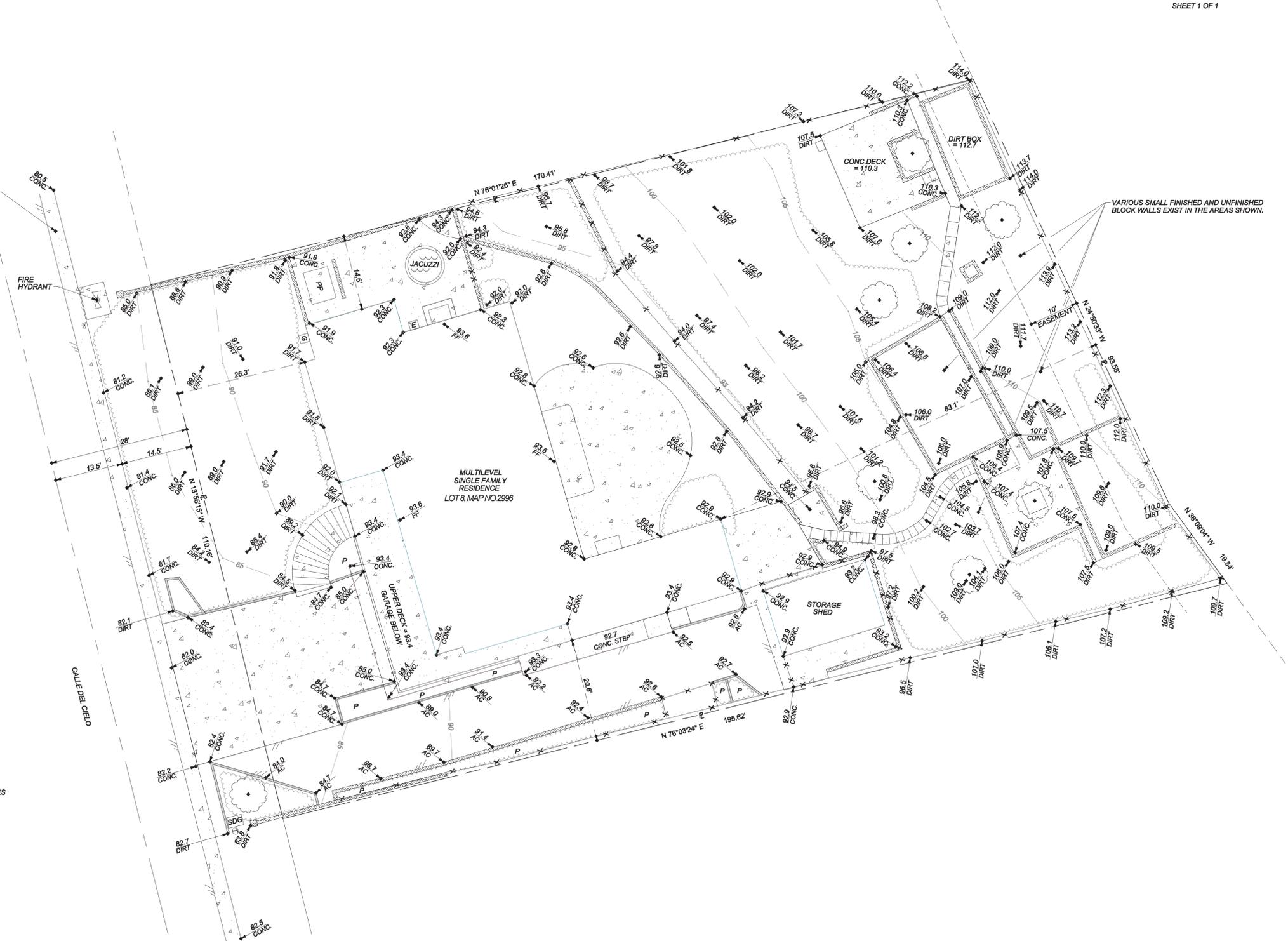
ALL BUILDING TIE SHOTS TAKEN AT OUTSIDE WOOD, BRICK OR STUCCO WALL NO ROOF OR PATIO OVERHANG SHOWN

ELEVATION IS BASED ON CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK CALLE DEL ORO & CALLE DEL CIELO N 2534, E 16928, EL=70.471 MSL, SWBP

AREA SHOWN BELOW RIGHT IS APPROXIMATE AND MAY OR MAY NOT AGREE WITH CITY OR COUNTY TAX AREA. A QUICK SURVEY ACCEPTS NO LIABILITY FOR THE USE OF SAID APPROXIMATE AREA AS IT IS SUBJECT TO CHANGE. CONTACT YOUR GOVERNING AGENCY FOR TAXED AREA INFORMATION.

- CONC. = CONCRETE
- BLDG. = BUILDING
- FF = FINISH FLOORS ARE APPROXIMATE
- P = PROPERTY LINE
- P = DIRT PLANTER
- W = WATER METER
- E = ELECTRIC METER
- G = GAS METER
- T = TELEPHONE
- SDG = SAN DIEGO GAS & ELECTRIC VAULT
- PP = POOL PUMPS

- = INDICATES CONCRETE
- = INDICATES BLOCK AND OR CONCRETE WALLS
NOTE: SOME WALLS HAVE WOOD FENCE ON TOP
- = INDICATES LANDSCAPE LOW BRICK WALL
- = INDICATES WOOD FENCE HEIGHT, STYLE AND CONDITION VARIES
- = INDICATES ELEVATION AND LOCATION
- = INDICATES MATURE TREE SIZE AND TYPE VARIES
- = INDICATES AREA OF DENSE LANDSCAPING TREES, GROUND COVER, PLANTS, SIZE AND TYPE VARIES
- = INDICATES CONTOUR AND ELEVATION
- = INDICATES ASPHALT PAVING



VARIOUS SMALL FINISHED AND UNFINISHED BLOCK WALLS EXIST IN THE AREAS SHOWN.

MULTILEVEL SINGLE FAMILY RESIDENCE
LOT 8, MAP NO. 2996

PLAT PREPARED BY:

"A QUICK SURVEY"
2163 WOODLAND HEIGHTS GLEN
ESCONDIDO, CA 92026
(760) 525-0694 CELL
zila5706-work@yahoo.com

MICHAEL THOMPSON, P.L.S. 5706
DATE 08/22/17



SITE MAP		DATE: 08-22-17 JN 17-1259	
CONTACT:	PLAT PREPARED FOR:	SITE DATA:	
GOLBA ARCHITECT INC. TIM GOLBA 1940 GARNET AVE., SUITE 100 SAN DIEGO, CA 92109 (619) 231-9905 TGolba@golba.com	KRISTIAN ALLOS 8333 CALLE DEL CIELO LA JOLLA, CA 92037	APN 346-190-03 LOT 3, MAP NO. 2996	AREA 19,912 sq.ft. PLUS OR MINUS
		8333 CALLE DEL CIELO LA JOLLA, CA 92037	

COASTAL DEVELOPMENT PERMIT NO. 2097158
SITE DEVELOPMENT PERMIT NO. 2097159
LEGAL DESCRIPTION

LOT 3, LA JOLLA SHORES TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 2996, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MAY 29, 1953.

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS A SURVEY BY A QUICK SURVEY, DATED AUGUST 22, 2016.
2. THE PROPOSED USE IS FOR A RESIDENTIAL SINGLE-FAMILY RESIDENCE
3. THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER AND WATER MAINS.
4. DEVELOPER SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
6. THE ASSESSOR PARCEL NUMBER IS: 346-190-03-00
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
8. SITE RUNOFF SHALL BE TREATED BY RUNNING OVER LANDSCAPING BEFORE LEAVING THE SITE.
9. THE BENCHMARK USED FOR THIS SURVEY IS CALLED OUT ON SURVEY AS CITY OF SAN DIEGO BRASS PLUG AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CALLE DEL ORO AND CALLE DEL CIELO. ELEVATION 70.471 MSL (NAVD29)
10. THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.

CONSTRUCTION NOTES

- 1 EX WATER SERVICE TO BE KILLED
- 2 EX SEWER LATERAL TO BE PROTECTED IN PLACE
- 3 PROPOSED 1" WATER SERVICE
- 4 PROPOSED 12" DRIVEWAY PER SDG-159
- 5 EX IMPROVEMENTS WITHIN RIGHT OF WAY TO BE REMOVED
- 6 PROPOSED 2' X 4' LIGHT CLASS RIP RAP ENERGY DISSIPATER
- 7 PROPOSED SIDEWALK UNDERDRAIN FROM CATCH BASIN TO NEW CURB & GUTTER (Q100 = 0.26 CFS, V100 = 1.8 FPS)
- 8 PROPOSED 1' HEADWALL WITH 6" PVC DRAIN AT RIP RAP ENERGY DISSIPATER (Q100 = 0.36 CFS, V100 = 1.9 FPS)
- 9 PROPOSED PRIVATE CATCH BASIN (TYPICAL)
- 10 PROPOSED PRIVATE AREA DRAIN (TYPICAL)
- 11 PROPOSED PRIVATE PVD DRAIN (TYPICAL)
- 12 PROPOSED RETAINING WALL (TYPICAL)
- 13 PROPOSED SITE WALL (TYPICAL)
- 14 PROPOSED BRIDGE FROM HOUSE TO CABANA (SEE ARCHITECTURAL PLAN)
- 15 PROPOSED PRIVATE PERMEABLE WALKWAY
- 16 PROPOSED 2' ROCK/VEGETATED LINED SWALE
- 17 PROPOSED REPLACEMENT OF EX ROLLED CURB & GUTTER WITH STANDARD CURB & GUTTER PER SDG-151. BEGIN AND END TRANSITION WITHIN 5' OF PROPERTY BOUNDARY

ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT REQUIRED FOR PRIVATE, NON-STANDARD DRIVEWAY, WALKWAY AND SIDEWALK UNDERDRAIN WITHIN CALLE DEL CIELO RIGHT OF WAY

GRADING DATA

AREA OF SITE - 19,988 S.F.
 AREA OF SITE TO BE GRADED - 18,200 SF
 PERCENT OF SITE TO BE GRADED - 91.1%
 AREA OF SITE WITH NATURAL SLOPES GREATER THEN 25% - 0 SF
 PERCENT OF SITE WITH NATURAL SLOPES GREATER THEN 25% - 0%
 AMOUNT OF CUT - 1,480 CY
 AMOUNT OF FILL - 470 CY
 AMOUNT OF EXPORT - 1,010 CY
 MAXIMUM HEIGHT OF FILL - 8.5'
 MAXIMUM DEPTH OF CUT - 7' (10' WITHIN POOL FOOTPRINT)

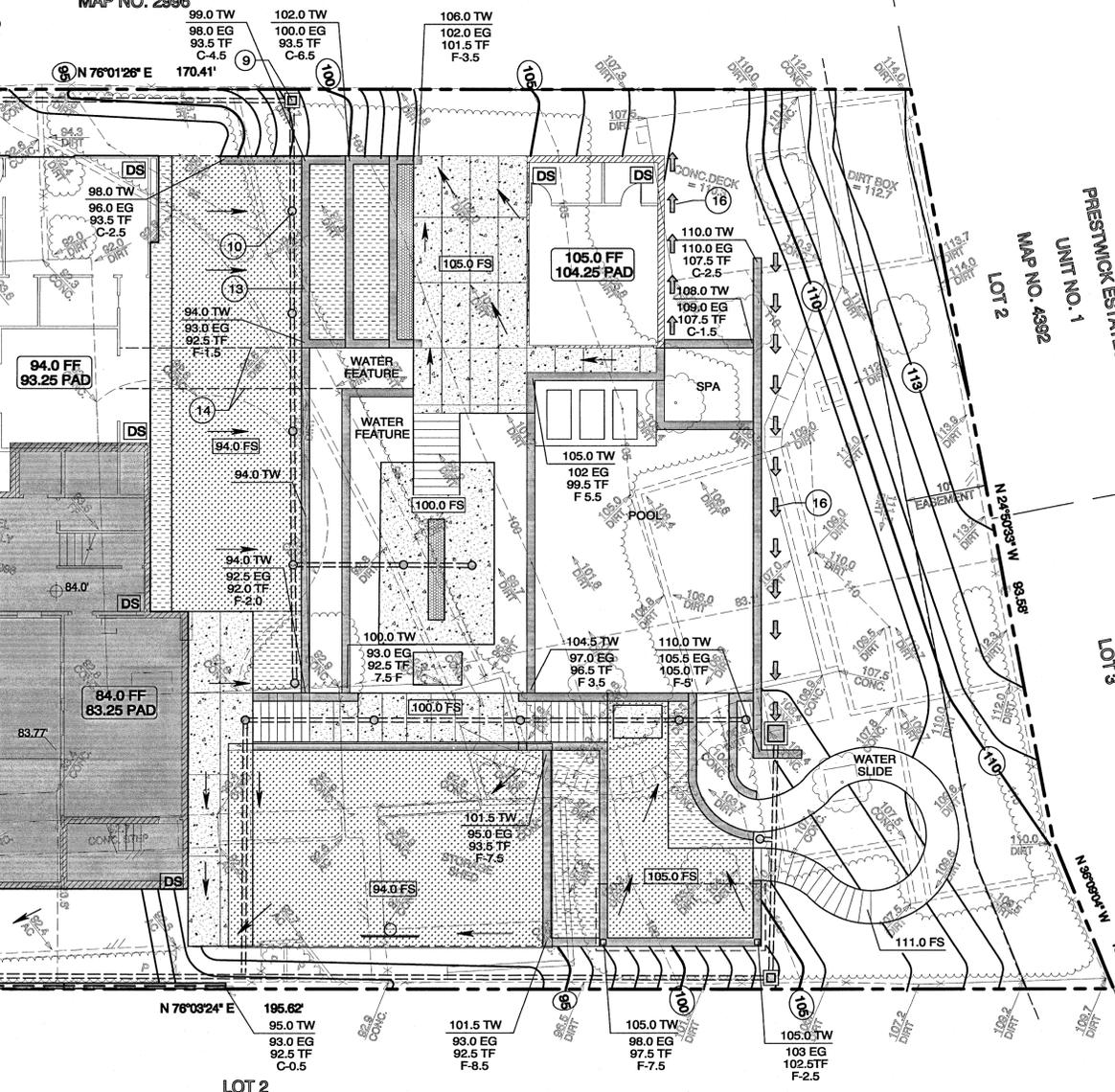
NOTE: EARTHWORK CALCULATIONS ARE TO FINISH SURFACE AND ARE APPROXIMATE

IMPERVIOUS AREA:
 EXISTING IMPERVIOUS AREA = 9,345 SF
 PROPOSED IMPERVIOUS AREA = 7,900 SF

LA JOLLA SHORES TERRACE

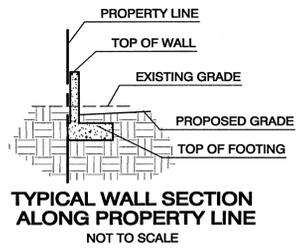
LOT 4

MAP NO. 2996



LEGEND

PROPERTY LINE	---
EXISTING CONTOUR	- - - -
PROPOSED CATCH BASIN	□
PROPOSED AREA DRAIN	•
PROPOSED PVC DRAIN	----
PROPOSED CONCRETE SURFACE	[Pattern]
PROPOSED ARTIFICIAL TURF SURFACE	[Pattern]
PROPOSED VEGETATED AREA	[Pattern]
PROPOSED RETAINING WALL	=====
EXISTING SEWER MAIN	S-S
EXISTING WATER MAIN	W-W
PROPOSED BUILDING WALL	[Pattern]
PROPOSED ROCK/VEGETATION LINED SWALE	→ → → →
DOWNSPOUT LOCATION	DS
SITE WALL	=====
PROPOSED HEADWALL	[Symbol]
PROPOSED RIP RAP	[Pattern]
DRAINAGE DIRECTION	→
PROPOSED CURB AND GUTTER PER SDG-151 (MATCH EX GUTTER WIDTH)	[Symbol]
PROPOSED SIDEWALK UNDERDRAIN PER D-27	-----



SCALE: 1" = 10'



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Project Name:
 ALLOS RESIDENCE

Sheet Title:
 PRELIMINARY GRADING PLAN

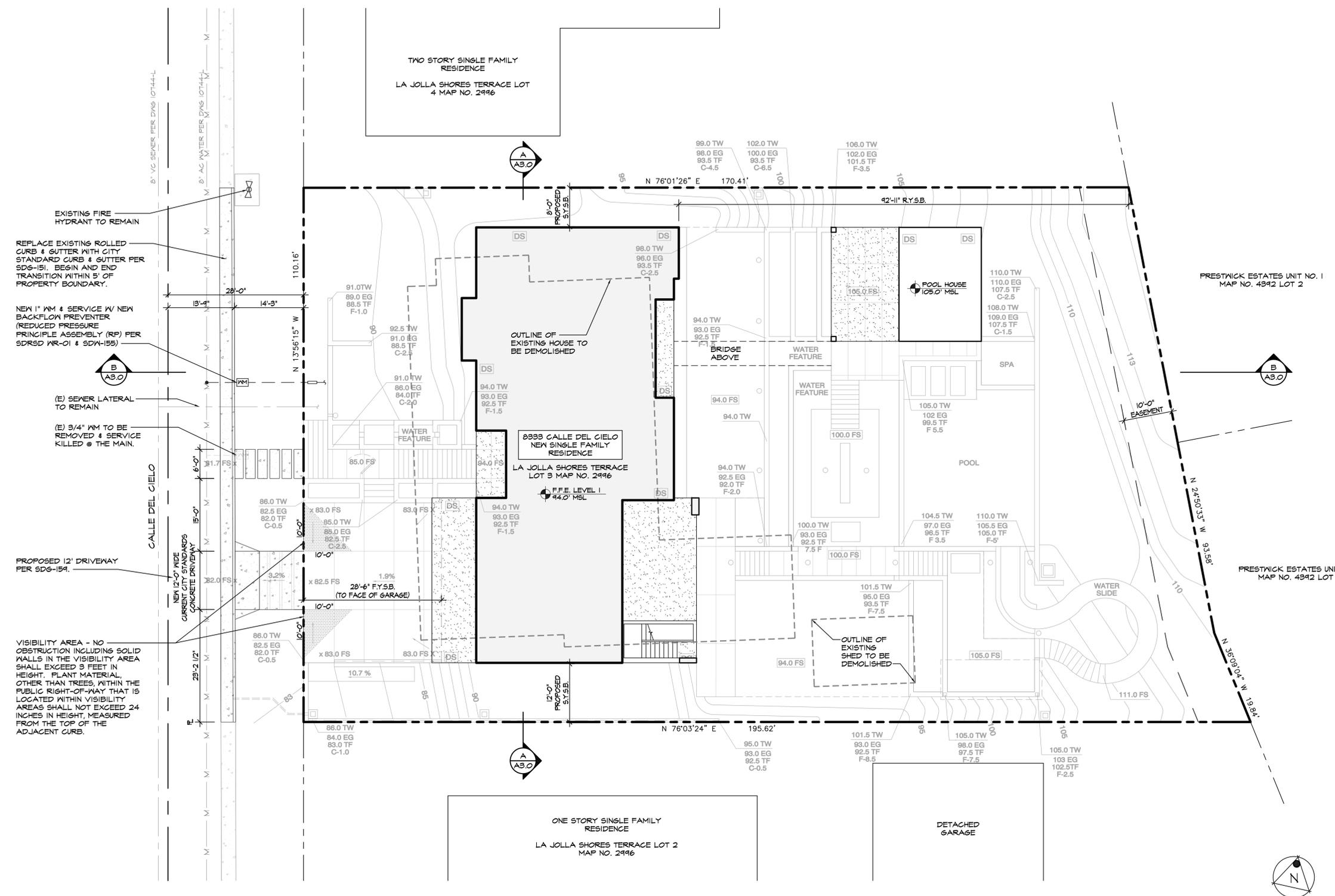
Revision 5:
 Revision 4:
 Revision 3:
 Revision 2: 05-30-18 ADDRESS CITY COMMENTS
 Revision 1: 04-15-18 ADDRESS CITY COMMENTS

Original Date: JANUARY 11, 2018

Sheet

ANTHONY K. CHRISTENSEN, RCE 54021
 Date: May 30, 2018





EXISTING FIRE HYDRANT TO REMAIN

REPLACE EXISTING ROLLED CURB & GUTTER WITH CITY STANDARD CURB & GUTTER PER SDG-151. BEGIN AND END TRANSITION WITHIN 5' OF PROPERTY BOUNDARY.

NEW 1" WM & SERVICE W/ NEW BACKFLOW PREVENTER (REDUCED PRESSURE PRINCIPLE ASSEMBLY (RP) PER SDRSD WR-01 & SDW-155)

(E) SEWER LATERAL TO REMAIN

(E) 3/4" WM TO BE REMOVED & SERVICE KILLED @ THE MAIN.

PROPOSED 12' DRIVEWAY PER SDG-154.

VISIBILITY AREA - NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

STORM WATER QUALITY NOTES/ CONSTRUCTION BMP'S:

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001-01 NPDES NO. CAS010975 (HTTP://WWW.SWRQB.CA.GOV/RWQCB4/PROGRAMS/SDSTORMWATER.HTML) AND CITY OF SAN DIEGO LAND DEVELOPMENT CODE (HTTP://CLERK.DOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?DML_OBJECTID=090014518008C43)

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

- 1) SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTIONS DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEM DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- 2) ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROL. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 840 OR GREATER.
- 3) A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- 4) ALL EROSION/ SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- 5) ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- 6) THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SITE NOTES:

1. THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMG SECTION 113.0210.
2. THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS.
3. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (UFC 401.4.4).
4. METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG#E.
5. SEE ATTACHED TOPOGRAPHIC SURVEY FOR THE SOURCE OF TOPOGRAPHIC INFORMATION.
6. SEE ATTACHED PRELIMINARY GRADING PLAN FOR GRADING AND DRAINAGE INFORMATION.
7. SEE ATTACHED LANDSCAPE DEVELOPMENT PLAN FOR MORE INFORMATION.
8. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
9. THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.

SITE LEGEND:

	INDICATES PROPERTY LINE		NEW HARDSCAPE OR DECK
	INDICATES SETBACK LINE		NEW CONCRETE PAVING
	ELECTRIC METER		EXISTING CONCRETE PAVING
	GAS METER		VISIBILITY AREA - SEE NOTE ON PLAN.
	WATER METER		

SCALE: 3/32"=1'-0"

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Project Name:
 ALLOS RESIDENCE

Sheet Title:
SITE PLAN

- Revision 14:
 Revision 13:
 Revision 12:
 Revision 11:
 Revision 10:
 Revision 9:
 Revision 8:
 Revision 7:
 Revision 6:
 Revision 5:
 Revision 4:
 Revision 3:
 Revision 2: 05-30-18
 Revision 1: 04-15-18
 Original Date: 01-24-18
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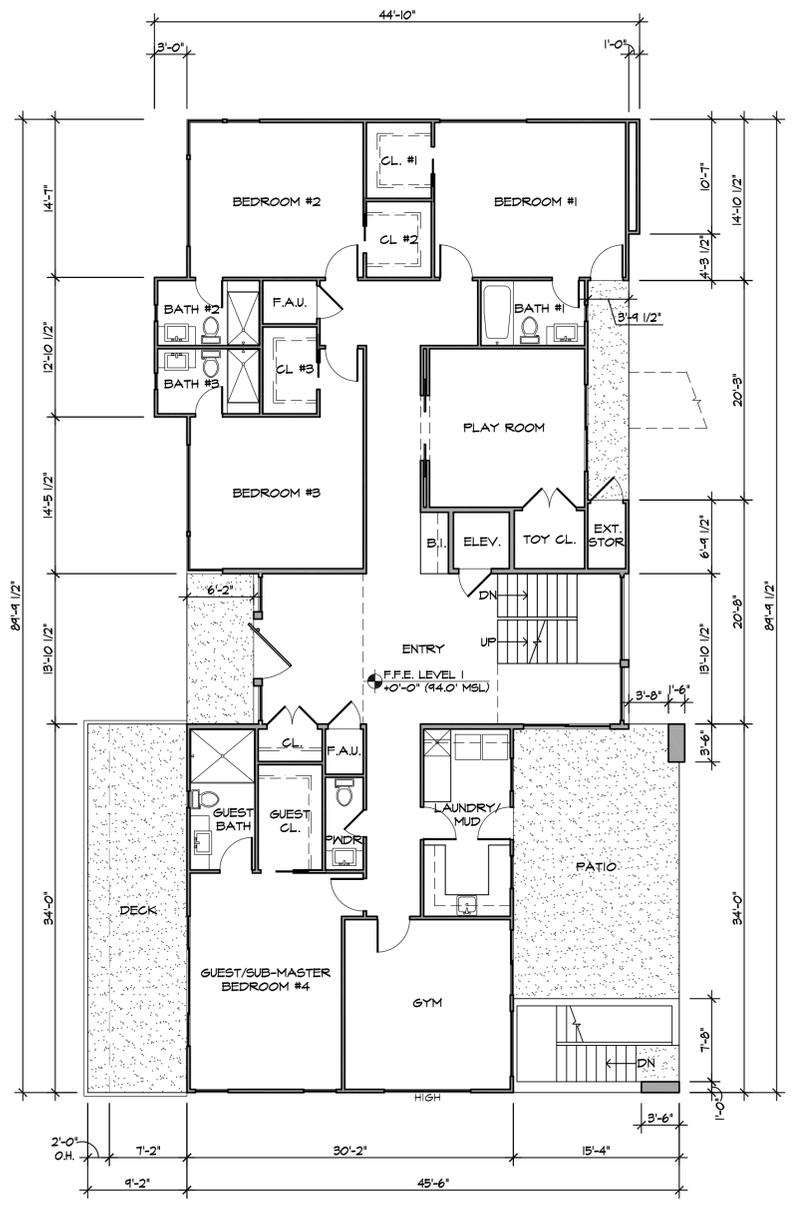
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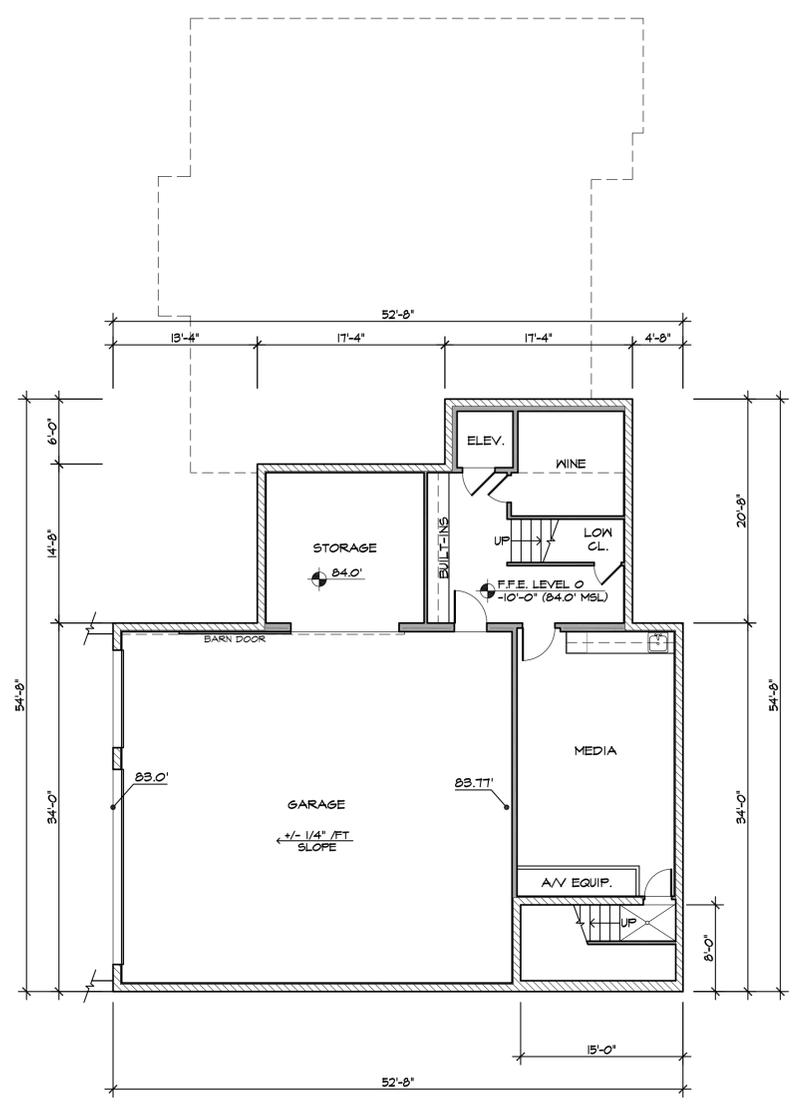
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 LA JOLLA, CA 92037



golba inc.
A 1.0



FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"



BASEMENT PLAN
 SCALE: 1/8"=1'-0"



WALL LEGEND

	MASONRY OR CONCRETE WALL
	WOOD STUD WALL PER STRUCTURAL DRAWINGS
	LOW WALL, 42" A.F.F., TYP.



SCALE: 1/8"=1'-0"

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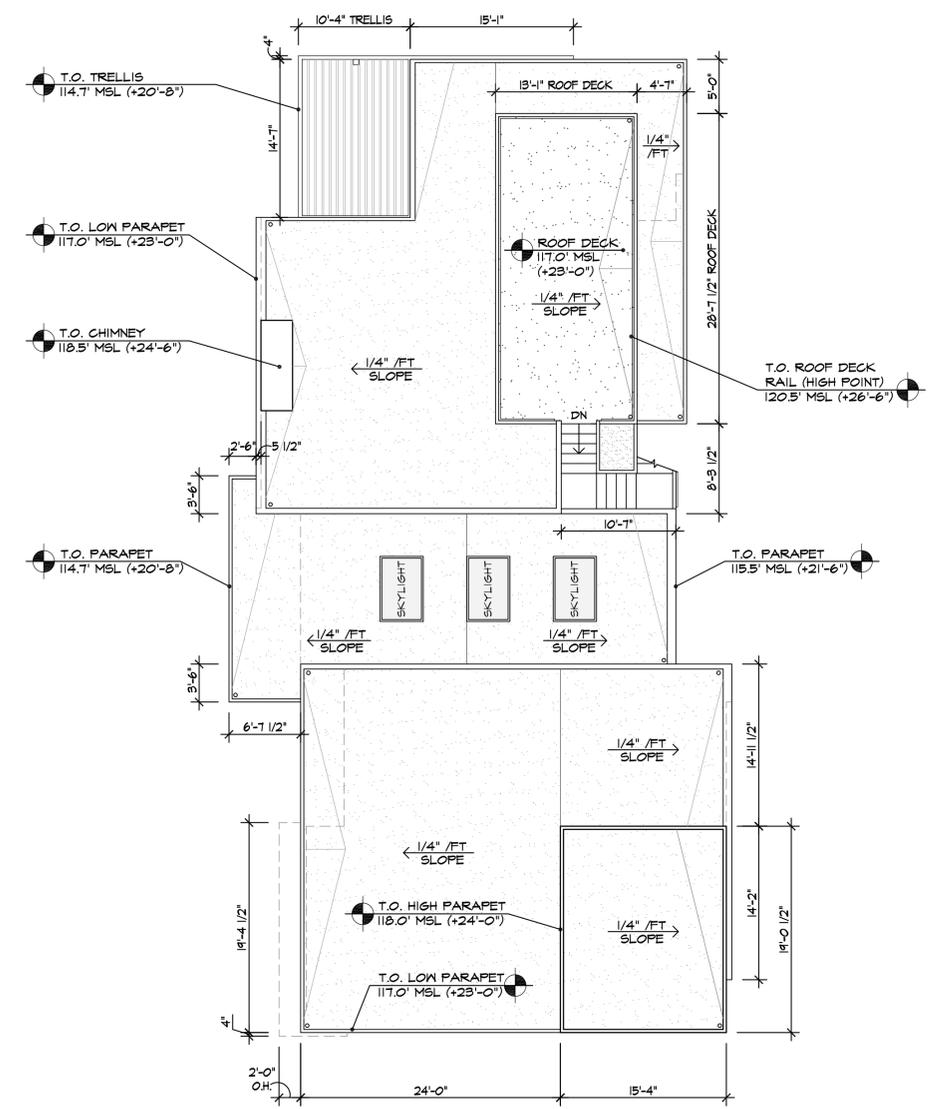
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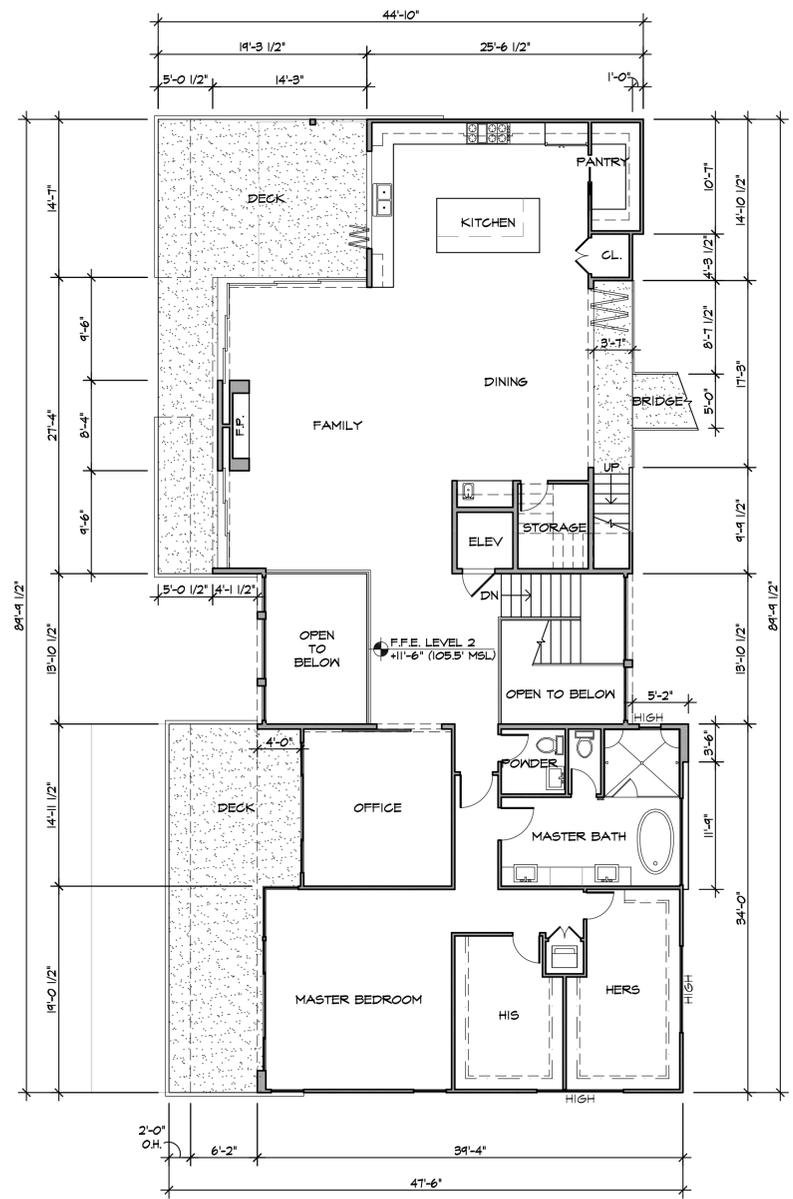
Original Date: 01-24-18
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Sheet Title:
BASEMENT & FIRST FLOOR PLANS

NOTE:
THE HIGHEST POINT OF THE ROOF EQUIPMENT,
OR ANY VENT, PIPE, ANTENNA, OR OTHER
PROJECTION SHALL NOT EXCEED 30'-0"
ABOVE THE GRADE (SDMC 118.0210)



ROOF PLAN
SCALE: 1/8"=1'-0"

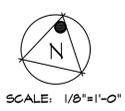


SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



WALL LEGEND

	MASONRY OR CONCRETE WALL
	WOOD STUD WALL PER STRUCTURAL DRAWINGS
	LOW WALL, 42" A.F.F., TYP.



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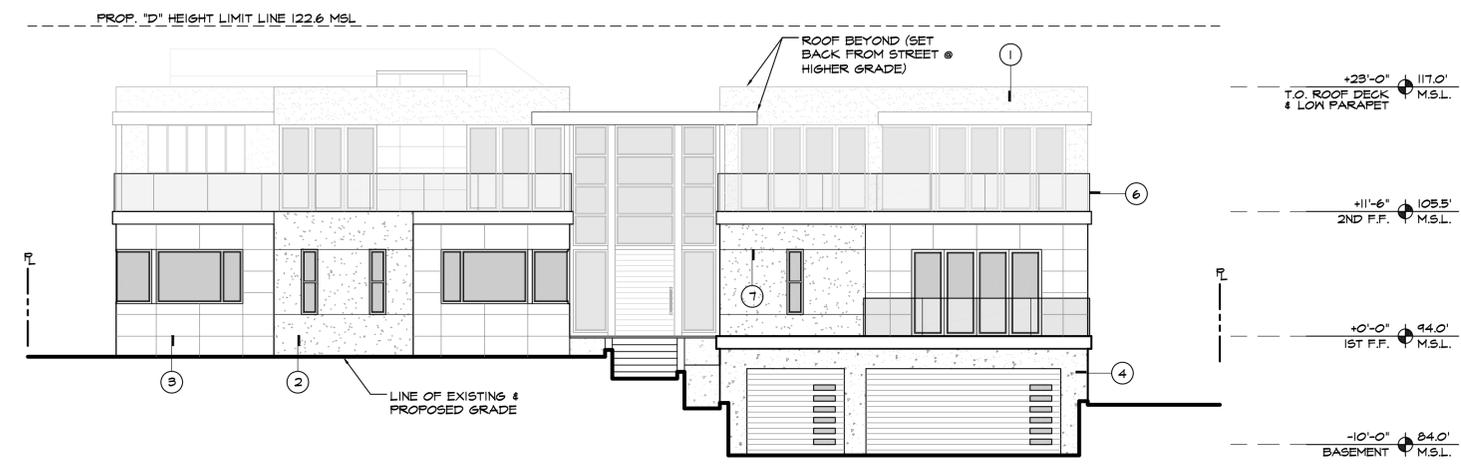
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**SECOND FLOOR &
ROOF PLANS**

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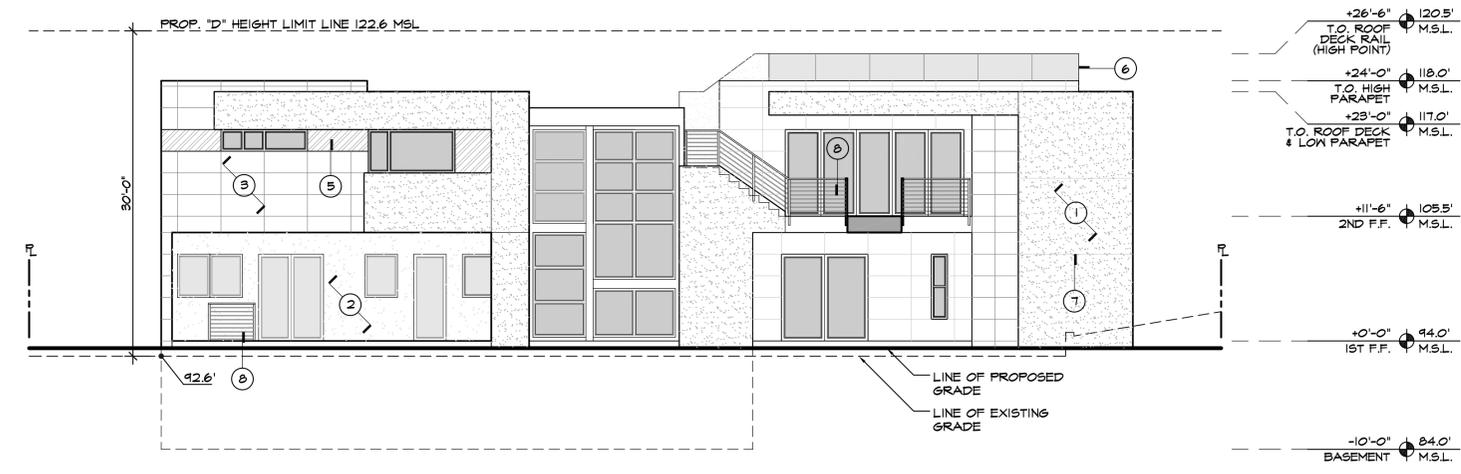


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NOTE:
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE. (SDMG 119.0210)

1 WEST (FRONT) ELEVATION
 SCALE: 1/8"=1'-0"



- ELEVATION KEY NOTES:**
- ① EXTERIOR PLASTER SYSTEM ON PAPER BACKED MTL. LATH WITH SENERGY "SENERFLEX" COLOR COAT, TYP. - COLOR #1 PER ARCH. APPROVAL
 - ② EXTERIOR PLASTER SYSTEM ON PAPER BACKED MTL. LATH WITH SENERGY "SENERFLEX" COLOR COAT, TYP. - COLOR #2 PER ARCH. APPROVAL
 - ③ EL DORADO STONE VENEER, COLOR & PATTERN PER OWNER'S APPROVAL. INSTALL PER MANUF. SPECS. ICC-ES REPORT ESR-1215.
 - ④ PRE-CAST CONCRETE
 - ⑤ ALUMINUM CLADDING AT WINDOW INSET
 - ⑥ GLASS GUARDRAIL, 42" ABOVE FINISHED FLOOR
 - ⑦ FRY REGLET, TYP.
 - ⑧ CABLE RAILING, 42" ABOVE FINISHED SURFACE

2 EAST (REAR) ELEVATION
 SCALE: 1/8"=1'-0"

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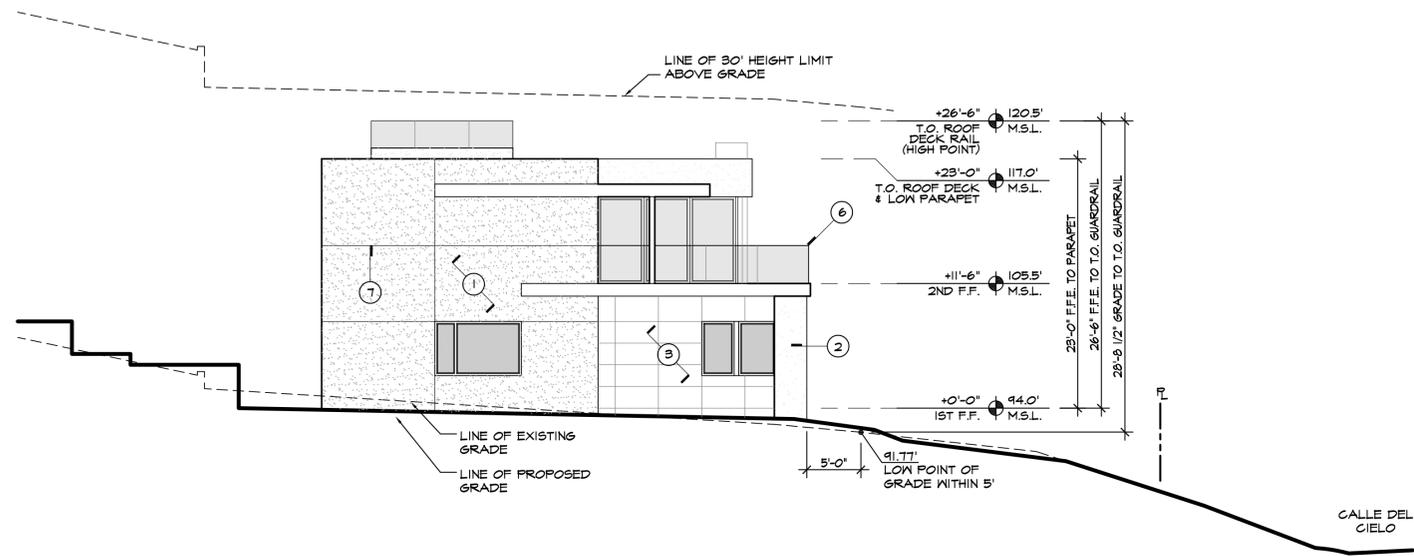
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EXTERIOR ELEVATIONS

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NORTH ELEVATION

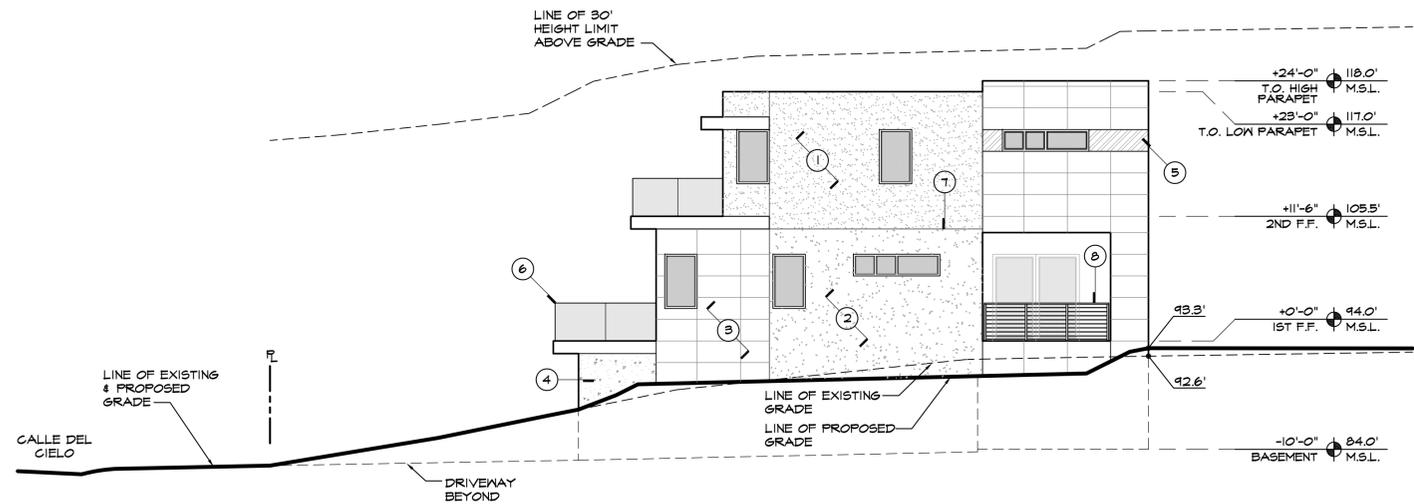
SCALE: 1/8"=1'-0"

3

NOTE:
THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE. (SDMG 119.0210)

ELEVATION KEY NOTES:

- ① EXTERIOR PLASTER SYSTEM ON PAPER BACKED MTL. LATH WITH SENERGY "SENERFLEX" COLOR COAT, TYP. - COLOR #1 PER ARCH. APPROVAL
- ② EXTERIOR PLASTER SYSTEM ON PAPER BACKED MTL. LATH WITH SENERGY "SENERFLEX" COLOR COAT, TYP. - COLOR #2 PER ARCH. APPROVAL
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- ④ PRE-CAST CONCRETE
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- ⑥ GLASS GUARDRAIL, 42" ABOVE FINISHED FLOOR
- ⑦ FRY REGLET, TYP.
- ⑧ CABLE RAILING, 42" ABOVE FINISHED SURFACE



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

4

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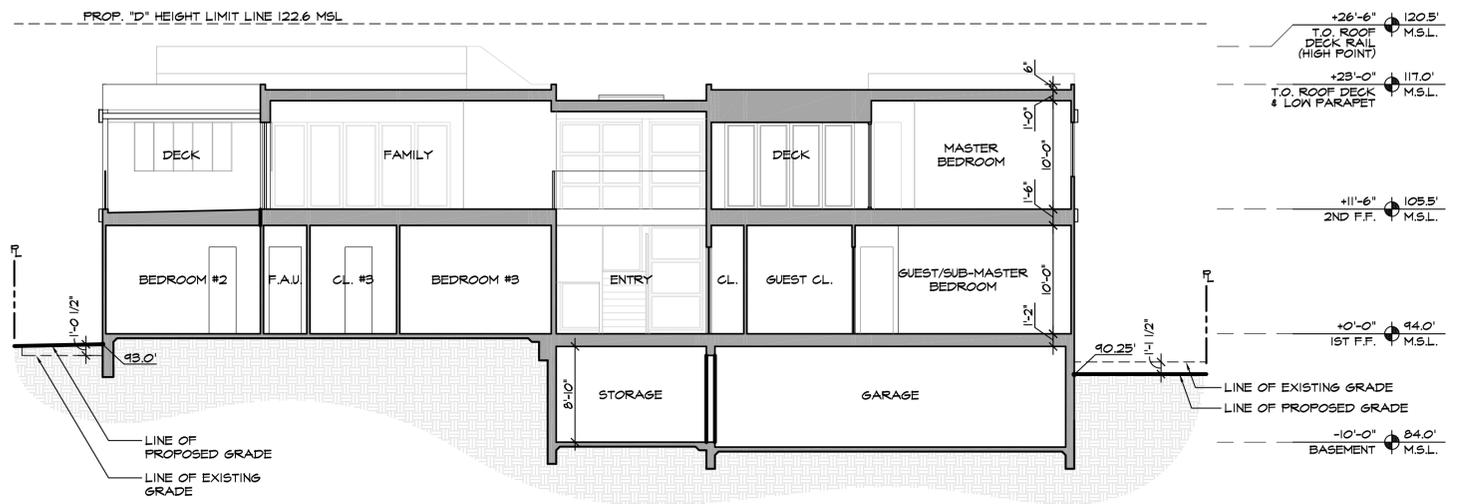
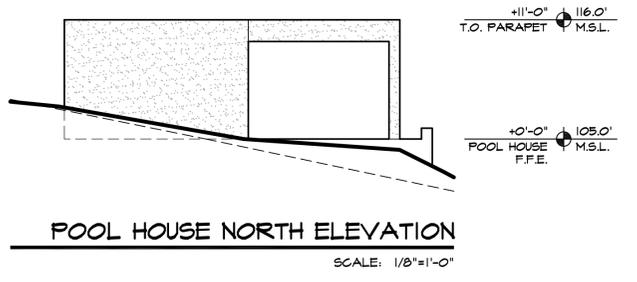
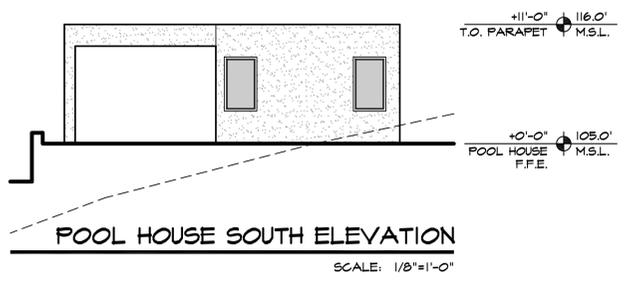
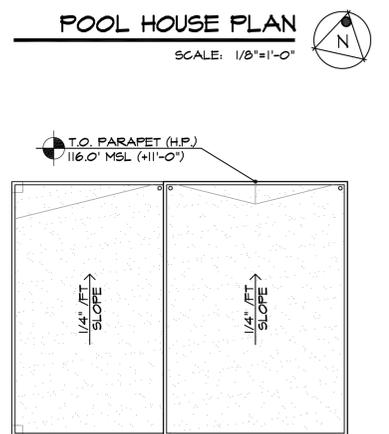
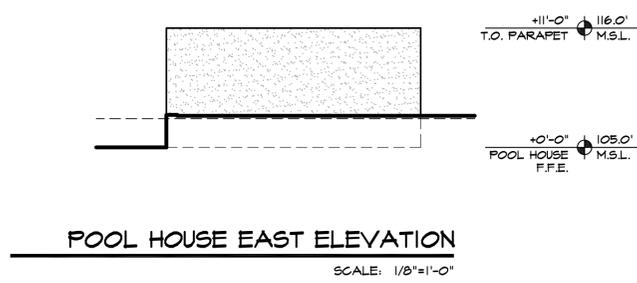
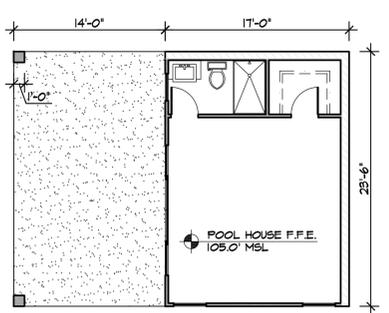
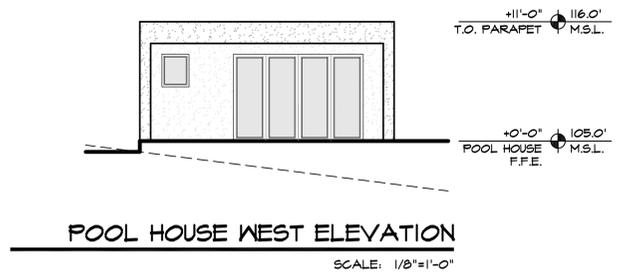
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EXTERIOR ELEVATIONS

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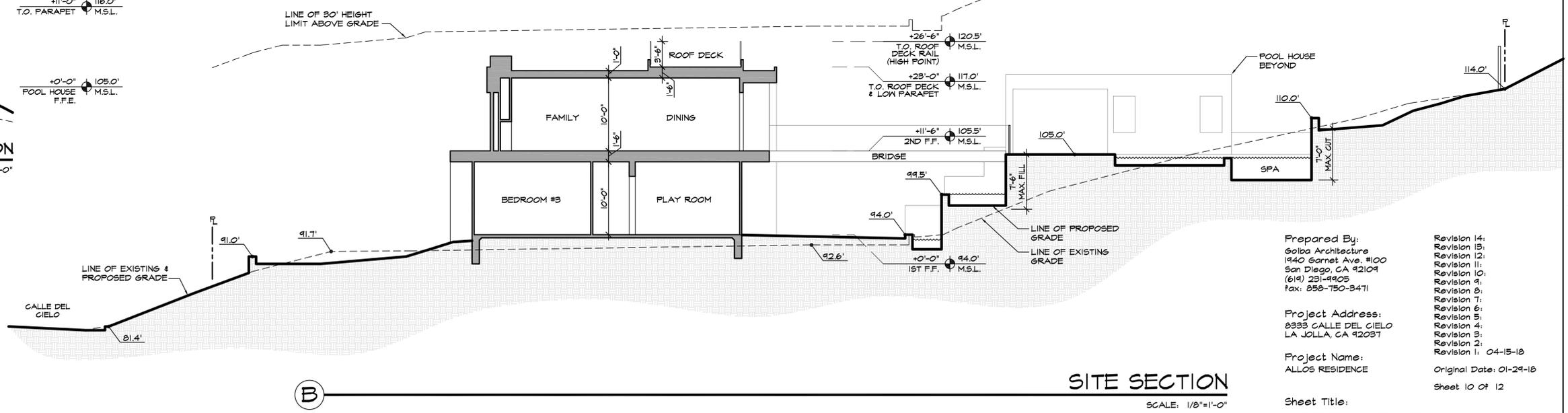
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NOTE:
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PROJECTION SHALL NOT EXCEED 30'-0"
ABOVE THE GRADE. (SDMC 119.0210)



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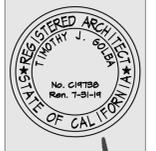
Revision 14:
Revision 13:
Revision 12:
Revision 11:
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Revision 3:
Revision 2:
Revision 1: 04-15-18

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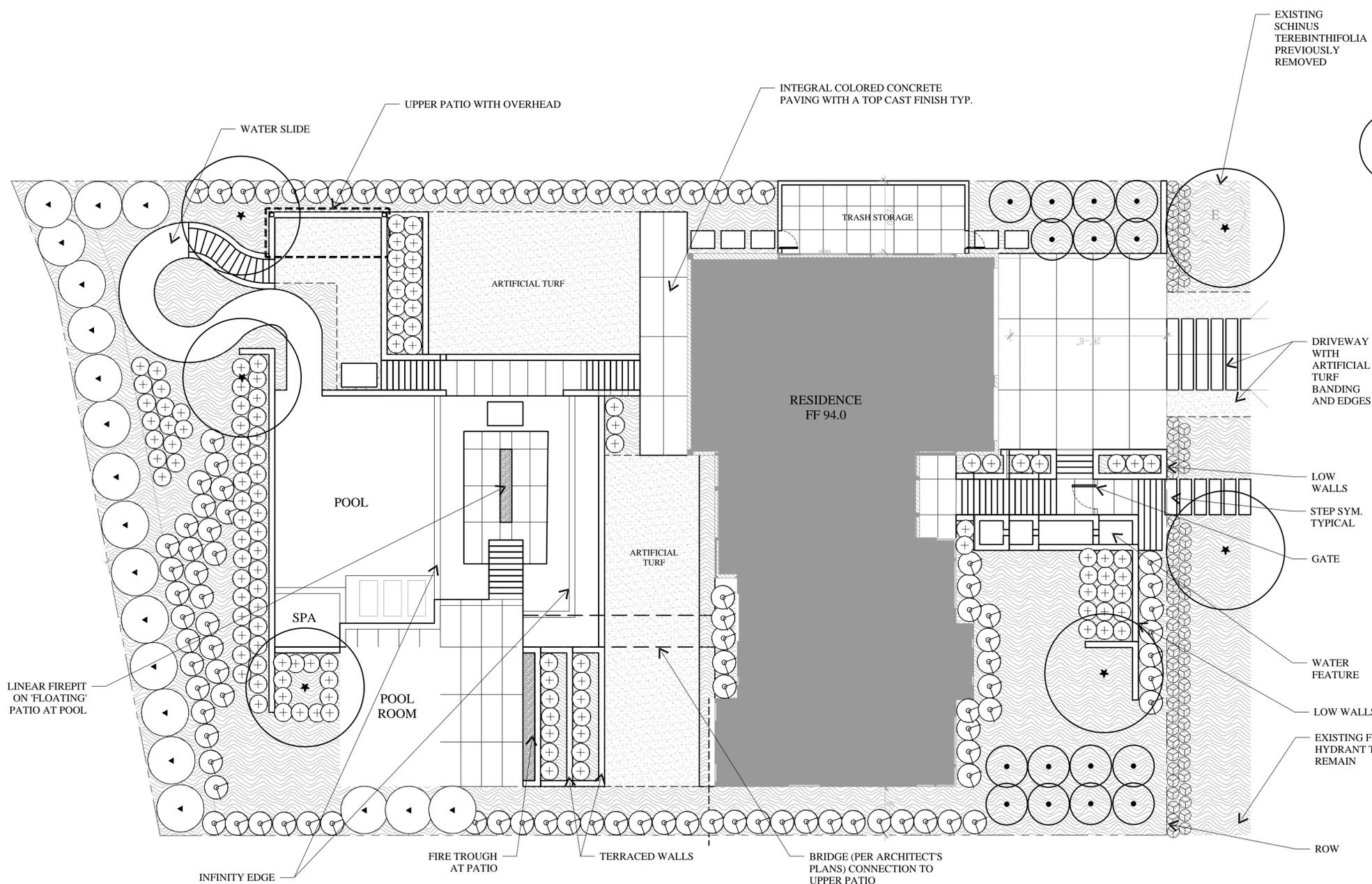
Sheet Title:
**SITE SECTIONS &
POOL HOUSE PLANS
& ELEVATIONS**

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

ALLOS RESIDENCE
8333 CALLE DEL CIELO
LA JOLLA, CA 92037



golba inc.
A 3.0



PLANT LEGEND (SUCH AS LIST)

HOME OWNER (HO) MAINTAINED

BOTANICAL NAME	COMMON NAME	HT./SPREAD	FORM/FUNCTION
TREES (30% - 15 GALLON, 50% - 24" BOX, 20% - 36" BOX, STREET TREES 100% - 24" MIN) 1 TREE/1,000 SF			
CITRUS SP.	DWARF CITRUS	10'/10'	SMALL CANOPY/ACCENT TREE
SPATHODEA CAMPANULATA	AFRICAN TULIP TREE	30'/20'	MEDIUM CANOPY/FLOWERING TREE
CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	18'/18'	SMALL CANOPY/FLOWERING TREE
TRISTANIA CONFERTA	BRISBANE BOX	35'/20'	LARGE UPRIGHT/SCREEN TREE
SHRUBS (25% - 5 GALLON 4' O.C., 75% - 1 GALLON 3' O.C.) 40 SHRUBS/1,000 SF			
AGAVE SP.	AGAVE	5'5"	CLUMPING/ACCENT
ALOE SP.	ALOE	VARIES	CLUMPING/ACCENT
ALYOGYNE HUEGELII	BLUE HIBISCUS	8'8"	MASSING/FLOWERING
CALLISTEMON 'LITTLE JOHN'	BOTTLEBRUSH	4'4"	MASSING/FOUNDATION
DIANELLA TASMASICA	SILVER STREAK FLAX LILY	2'2"	CLUMPING/ACCENT
DIETES BICOLOR	FORTNIGHT LILY	2'2"	VERTICAL/ACCENT
EUPHORBIA MILI 'JERRY'S CHOICE'	EUPHORBIA	18"/24"	MASSING/FLOWERING
EUONYMUS MICROPHYLLA	EUONYMUS	18"/18"	FORMAL/HEDGEROW
FESTUCA MAIREI	ATLAS FESCUE	2'2"	CLUMPING/ACCENT
HEMEROCALLIS	DAYLILY	2'2"	CLUMPING/FLOWERING
LIROIPE MUSCARI	LILY TURF	18"/12"	CLUMPING/FOUNDATION
MUHLENBERGIA RIGENS	DEER GRASS	3'4"	CLUMPING/FOUNDATION
PHILODENDRON 'XANADU'	XANADU CUT-LEAF	3'4"	CLUMPING/FOUNDATION
PTTOSPORUM SP.	MOCK ORANGE	4'4"	MASSING/FOUNDATION
PRUNUS CAROLINA 'MONUS'	BRIGHT 'N' TIGHT	10'/6"	VERTICAL/FLOWERING
ROSA SP.	CARPET ROSES	2'3"	MASSING/FLOWERING
RHAPHIOLEPIS UMBELLATA	YEDDO HAWTHORNE	5'5"	MASSING/ACCENT
SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN SAGE BRUSH	3'3"	MASSING/FLOWERING
STRELITZIA NICOLAI	GIANT BIRD OF PARADISE	20'/12"	MASSING/FLOWERING
STRELITZIA REGINAE	BIRD OF PARADISE	5'5"	MASSING/FLOWERING
SHRUBS IN THE RIGHT-OF-WAY (R.O.W.) (50% - 5 GALLON 4' O.C., 50% - 1 GALLON 3' O.C.)			
DIANELLA TASMASICA	SILVER STREAK FLAX LILY	2'2"	CLUMPING/ACCENT
DIETES BICOLOR	FORTNIGHT LILY	2'2"	VERTICAL/ACCENT
EUPHORBIA MILI 'JERRY'S CHOICE'	EUPHORBIA	18"/24"	MASSING/FLOWERING
EUONYMUS MICROPHYLLA	EUONYMUS	18"/18"	FORMAL/HEDGEROW
FESTUCA MAIREI	ATLAS FESCUE	2'2"	CLUMPING/ACCENT
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MUHLENBERGIA RIGENS	DEER GRASS	3'4"	CLUMPING/FOUNDATION
PHILODENDRON 'XANADU'	XANADU CUT-LEAF	3'4"	CLUMPING/FOUNDATION
GROUNDCOVER (FLATS)			
FESTUCA GLAUCA	ELIJAH BLUE FESCUE	12"/12"	CLUMPING/ACCENT
ROSEMARINUS SP.	TRAILING ROSEMARY	18"/8"	CLUMPING/FLOWERING
SENECIO SERPENS	BLUE CHALKSTICKS	1'3"	MASSING/ACCENT
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1'4"	MASSING/ACCENT
VINES (15 GALLON)			
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	20'/VARIES	SCREENING VINE

DRAINAGE NOTES

- THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
- ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO A STORM DRAINAGE SYSTEM FLOWING TO A SUMP PUMP DISCHARGING TO THE STREET SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORM WATER CONVEYANCE SYSTEM.

IRRIGATION AND MAINTENANCE NOTES

- LANDSCAPE AREAS IDENTIFIED ON THE LEGEND AS BEING SERVED BY PERMANENT IRRIGATION, WILL UTILIZE STATE-OF-THE-ART AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEM WITH LOW PRECIPITATION RATE SPRINKLER HEADS. DRIP TUBING SHALL BE USED IN ALL PLANTING AREAS ADJACENT TO WALKS, DRIVES AND ACTIVITY AREAS

LANDSCAPE CONCEPT STATEMENT

A SUBTROPICAL MODERN BEACH HOUSE IS VISUALIZED FOR THIS SINGLE-FAMILY RESIDENCE TO FIT WITHIN THE CONTEXT THIS BEACH NEIGHBORHOOD CHARACTER. THE PLANTINGS AND PLANT LAYOUT WILL BE SIMPLE AND WITH CLEAN LINES TO COMPLEMENT THE ARCHITECTURE AND HARDSCAPE ELEMENTS. TAKEN AS A WHOLE THE LANDSCAPE WILL PROVIDE A SETTING FOR THE ARCHITECTURAL STYLE, COMPATIBLE WITH THE SURROUNDING NEIGHBORHOOD AND IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE, THE LA JOLLA COMMUNITY PLAN, AND THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE. ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THE OWNER.

NOTES

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

DESIGN CRITERIA

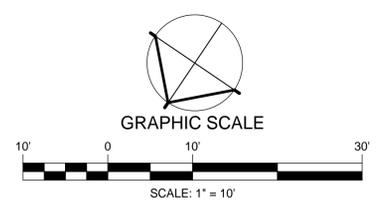
- PLANTING WILL BE DESIGNED TO OBSCURE UNDESIRABLE VIEWS (AUTOMOBILES, STORAGE, UTILITY AREAS, ETC.) AND ADD INTEREST TO THE SITE.
- ARCHITECTURAL ELEMENTS ON THE SITE WILL BE RELATED AND ENHANCED WITH PLANTINGS OF SIMILAR DESIGN CHARACTER.
- ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC SOIL CONDITIONS.
- COLOR FROM PLANT FOLIAGE, BARK OR FLOWERS WILL BE UTILIZED TO CREATE A FRIENDLY, WARM AND VISUALLY EXCITING LANDSCAPE ENVIRONMENT. THEMATIC COLOR SCHEMES WILL BE UTILIZED IN DEVELOPING PROJECT IDENTITY.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE.
- THE IRRIGATION SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL AFTER GRADING AND PRIOR TO PLANT MATERIAL INSTALLATION. AREAS ADJACENT TO STRUCTURES, ROADWAYS, ENTRIES AND ACTIVITY AREAS WILL BE IRRIGATED WITH PERMANENT BELOW GRADE AUTOMATED SYSTEMS.
- ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.

NOTES

- MULCH ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411. AVAILABLE FROM SOUTHLAND SOD FARMS (805) 488-3585
- A MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. PER SDMC 142.0403 (b)(5).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(b)(10).
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT WRAP AROUND THE ROOT BALL.

LONG TERM MAINTENANCE RESPONSIBILITY

ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOMEOWNER. LANDSCAPE AS SHOWN WITHIN THE RIGHT-OF-WAY SHALL BE MAINTAINED BY THE HOMEOWNER. ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS.



NOTE: MINIMUM TREE SEPARATION

IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 FIRE HYDRANT (10' MIN.)

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Project Name:
ALLOS RESIDENCE

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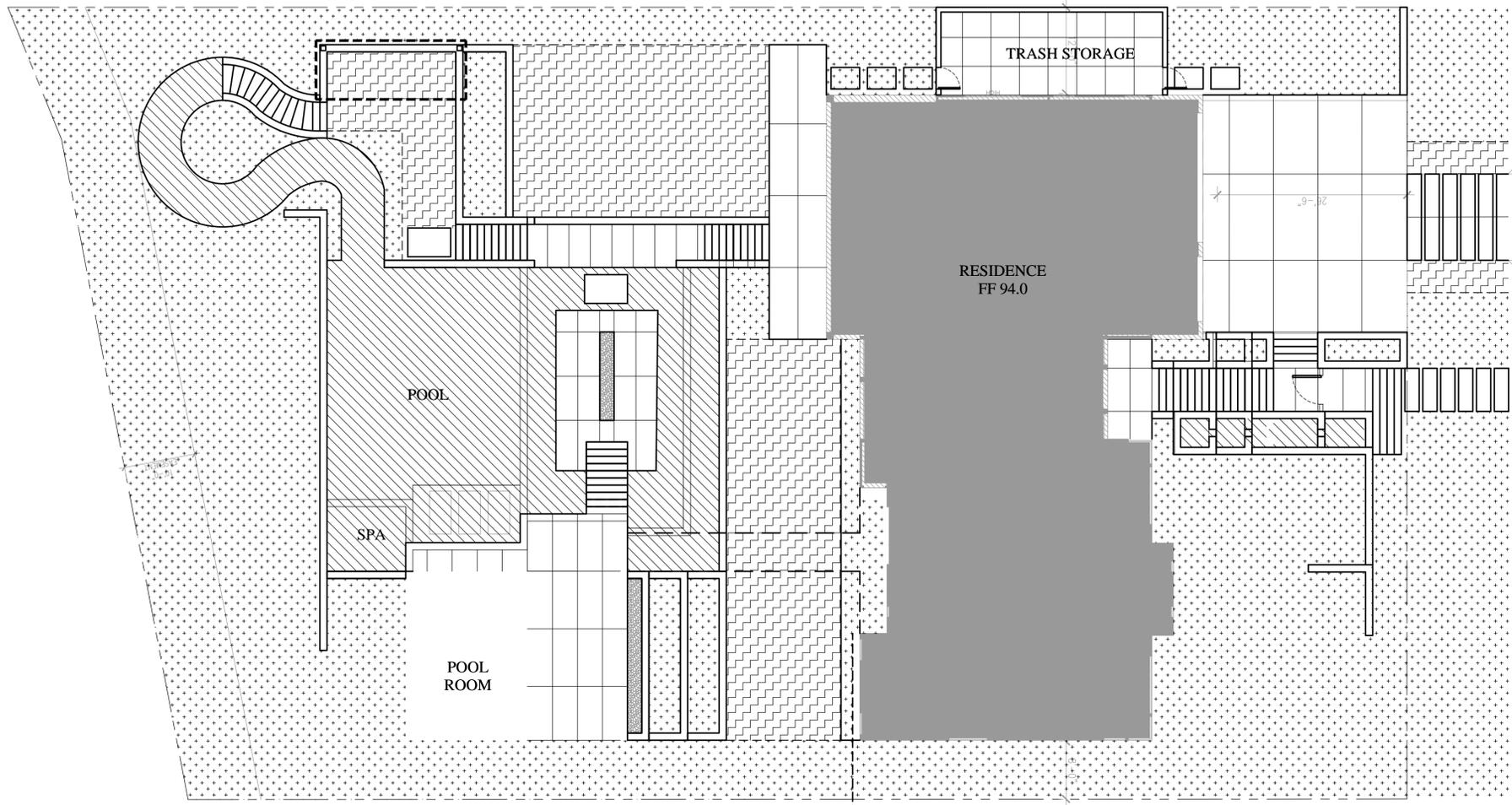
Original Date: 01-15-18

Sheet Title: LANDSCAPE DEVELOPMENT PLAN

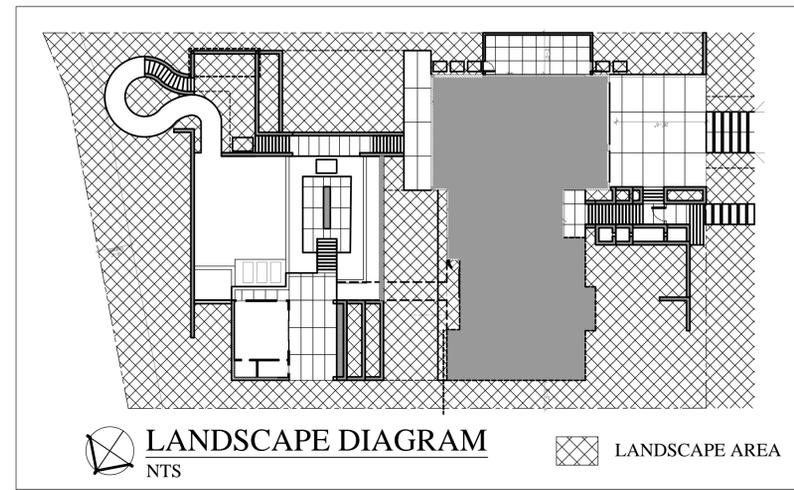
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CDP# 2097158 SDP# 2097159



HYDROZONE MAP



LANDSCAPE DIAGRAM
NTS
LANDSCAPE AREA

LA JOLLA SHORES PDO NOTES:

1. IN THE SINGLE-FAMILY ZONE ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
2. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
3. ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS

SINGLE DWELLING UNIT LANDSCAPE REQUIREMENTS:
LA JOLLA SHORES PLANNED DISTRICT ORDINANCE
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENTS SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (LDC 1510.0304(H))

TOTAL PARCEL AREA:	19,991 S.F.
PLANTING AREA REQ.:	5,998 S.F. (30%)
PLANTING AREA PROVIDED:	7,335 S.F. (37%)
EXCESS AREA PROVIDED:	7%

IRRIGATION NOTES

1. ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM WITH AN IRRIGATION SUB-METER, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRONICALLY ACTUATED, SUBSURFACE DRIP SYSTEM. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF A MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
2. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
3. EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY A HOMEOWNER-FUNDED AND MAINTAINED, DEEP-WATERING, LOW-VOLUME BUBBLER.

NOTES

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HYDROZONE LEGEND

	HYDROZONE (1) SHRUB, MEDIUM WATER, DRIP
	HYDROZONE (2) ARTIFICIAL TURF
	HYDROZONE (3) POOL

WATER-USE LEGEND

WATER USE CALCULATIONS

$MAWA^* = (Eto)(0.62)[(ETAF \times LA) + ((1-ETAF) \times SLA)]$
 $ETWU^* = [(Eto \times 0.62) \times (PF \times HA) / (IE) + SLA]$

* GALLONS PER YEAR

MAWA* =	ALLOS	181,208	ETAF IS 0.55 FOR RESIDENTIAL AREAS
ETWU* =	ALLOS	151,548	ETAF IS 0.45 FOR NON-RESIDENTIAL AREAS

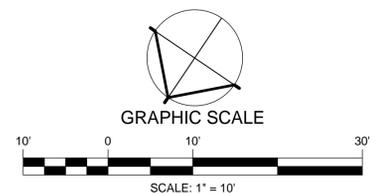
Eto	CONVERSION	41
ET ADJ.	25.42	
LA (LANDSCAPE AREA)	SUM ALL LOTS	12,961
SLA	SPECIAL LANDSCAPE AREA FACTOR	1.00
SPEC. LANDSCAPE ADJ.		

MAWA: ALLOS

LA	ETO	ET ADJ.	LA OR SLA	ETAF	CONV	MAWA
41	25.42			0.55	0.62	181,208
TOTAL						181,208

ETWU: ALLOS

DESCRIPTION	PLANT TYPE	ETO	Plant Factor (PF)	ETAF (PF/IE)	HYDRO (HA)	CONV	IE	ETAF x AREA	ETWU
SHRUBS (Drip)		41	0.4	0.4938272	8543	0.62	0.81	4268.15	108,496.3
		41	0	0	0	0.62	0.81	0.00	0.0
ARTIFICIAL TURF		41	0.1	0.1	2215	0.62	1.00	221.50	5,631
POOL		41	0.7	0.7	2103	0.62	1.00	1472.10	37,420.8
SLA AREA (RECYCLED)					0				0
TOTALS								12,961	151,548



NOTE: MINIMUM TREE SEPARATION

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Sheet Title: LANDSCAPE AND WATER USE PLAN
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