



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: August 8, 2018 REPORT NO. HO-18-067

HEARING DATE: August 15, 2018

SUBJECT: SPRINT – SPRINGFIELD. Process Three Decision

PROJECT NUMBER: [590208](#)

OWNER/APPLICANT: San Diego Gas & Electric/Sprint PCS Assets, LLC

SUMMARY

Issue: Should the Hearing Officer approve a Wireless Communication Facility (WCF) located in the Public Right-of-Way (ROW) in front of the home addressed at 6647 Springfield Street within the Chollas Valley (formerly Encanto Neighborhoods) Community Planning area?

Staff Recommendation: Approve Conditional Use Permit (CUP) No. 2170682 and Neighborhood Use Permit (NUP) No. 2170683.

Community Planning Group Recommendation: On March 19, 2018, the Chollas Valley Community Planning Group voted 9-0-0 to recommend approval of the proposed project without conditions (Attachment 8).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 18, 2018 and the opportunity to appeal that determination ended August 1, 2018 (Attachment 7).

BACKGROUND

Sprint Springfield is an application for a CUP and NUP for an existing WCF consisting of omnidirectional antennas mounted to an SDG&E utility pole and a subterranean vault and above ground cabinets. The project is located on the south side of the 6600 block of Springfield Street (Attachments 1 and 2). The project site is zoned RS-1-4 and is designated Residential - Very Low (0-4 du/ac) in the Chollas Valley Community Plan (Attachment 3). The existing WCF was previously approved by the Planning Commission on February 26, 2004. That permit expired in 2014.

The SDG&E utility pole and associated equipment is located in front of the home at 6647 Springfield Street. The area is residential and semi-rural in nature (Attachments 2 and 11). The Sprint Springfield equipment includes a 4-foot tall telco/meter cabinet, a fiber cabinet, a subterranean vault for equipment and two 37-inch tall vent pipes (Attachment 12). Pursuant to Land Development Code (LDC) Section 141.0420(e)(3), the project now requires a CUP, Process Three for a WCF with above-ground equipment in the public ROW. Further, Table 131-04B in LDC Section 131.0422 requires an NUP for WCF in the Public Right-of-Way with subterranean equipment adjacent to a residential use. Both permits will be consolidated and processed at the higher decision level authority pursuant to LDC Section 112.0103.

Discussion

The project consists of two cylindrical antennas (measuring forty-two inches long and 1 inch in diameter) mounted to each end of a 10-foot cross-arm on an existing, 45-foot-tall SDG&E utility pole. Associated equipment is located approximately 59 feet to the southwest in a subterranean vault that includes two 37-inch-tall vent pipes. An above-ground telco/meter pedestal is allowed for these types of installations and this project also includes an existing 4-foot tall telco/meter cabinet. At some point after the project was installed, an H-Frame supporting a fiber cabinet and a ciena box (fiber-optics) was added to the equipment area (Attachments 12 and 13). These types of above ground cabinets would have required a CUP at the time.

SDG&E has specific attachment requirements for their assets to ensure safety for their technicians. The 10-foot crossbar for mounting antennas is one of the requirements. Although the antennas are exposed, they are small in scale compared to typical ROW installations and the visibility is negligible.

The project does not propose any major modifications. The permit would allow the WCF to continue operating with a valid permit. All equipment and cables will be painted to match the surface pole or the sky and the ground equipment will be painted to match the landscape backdrop.

Community Plan Analysis

The Encanto Neighborhoods Plan references the WCF Regulations and the WCF Design Guidelines for guidance on WCF project design. It also refers to Section UD-A.15 of the General Plan Urban Design Element, which requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. Above-ground utilities are a part of the streetscape in this neighborhood and the area is not currently scheduled for utility undergrounding.

The project, as designed, meets the requirements of the Urban Design Element. The SDG&E utility pole is an existing part of the streetscape, and the WCF antennas will be painted to blend in with the sky. The associated equipment is located in a subterranean vault southwest of the pole. Two 37-inch-tall vent pipes keep the equipment cool, and a 4-foot tall telco/meter cabinet allows for telecommunications and electrical connections. An H-frame with additional small connection boxes is located next to the telco/meter cabinet. The above-ground equipment is typical of other utility

cabinets located in the ROW. Existing and proposed landscaping on either side and behind the equipment helps to integrate it into the surrounding context and improve views (Attachments 12 and 13).

Conclusion:

Based on its design, the project complies with the WCF Regulations (SDMC 141.0420). Staff has prepared draft findings in the affirmative to approve the project and recommends approval of Conditional Use Permit No. 2170682 and Neighborhood Use Permit No. 2170683 (Attachment 6).

ALTERNATIVES

1. Approve Conditional Use Permit No. 2170682 and Neighborhood Use Permit No. 2170683, with modifications.
2. Deny Conditional Use Permit No. 2170682 and Neighborhood Use Permit No. 2170683 if the Planning Commission makes written Findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



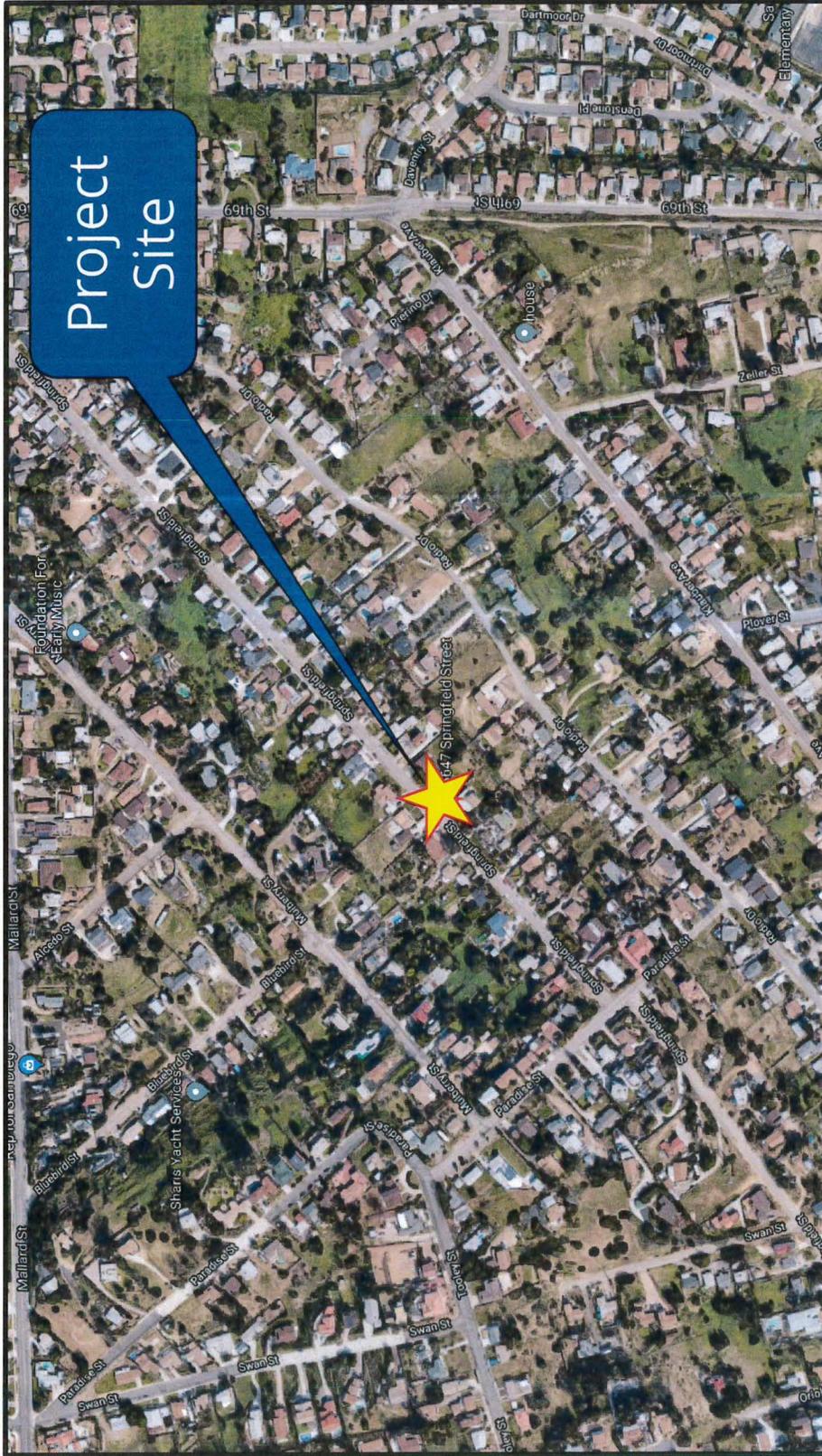
Karen Lynch, Development Project Manager

Attachments:

1. Aerial Map
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Coverage Maps
11. Photo Survey
12. Photo Simulations
13. Project Plans



Aerial Photo



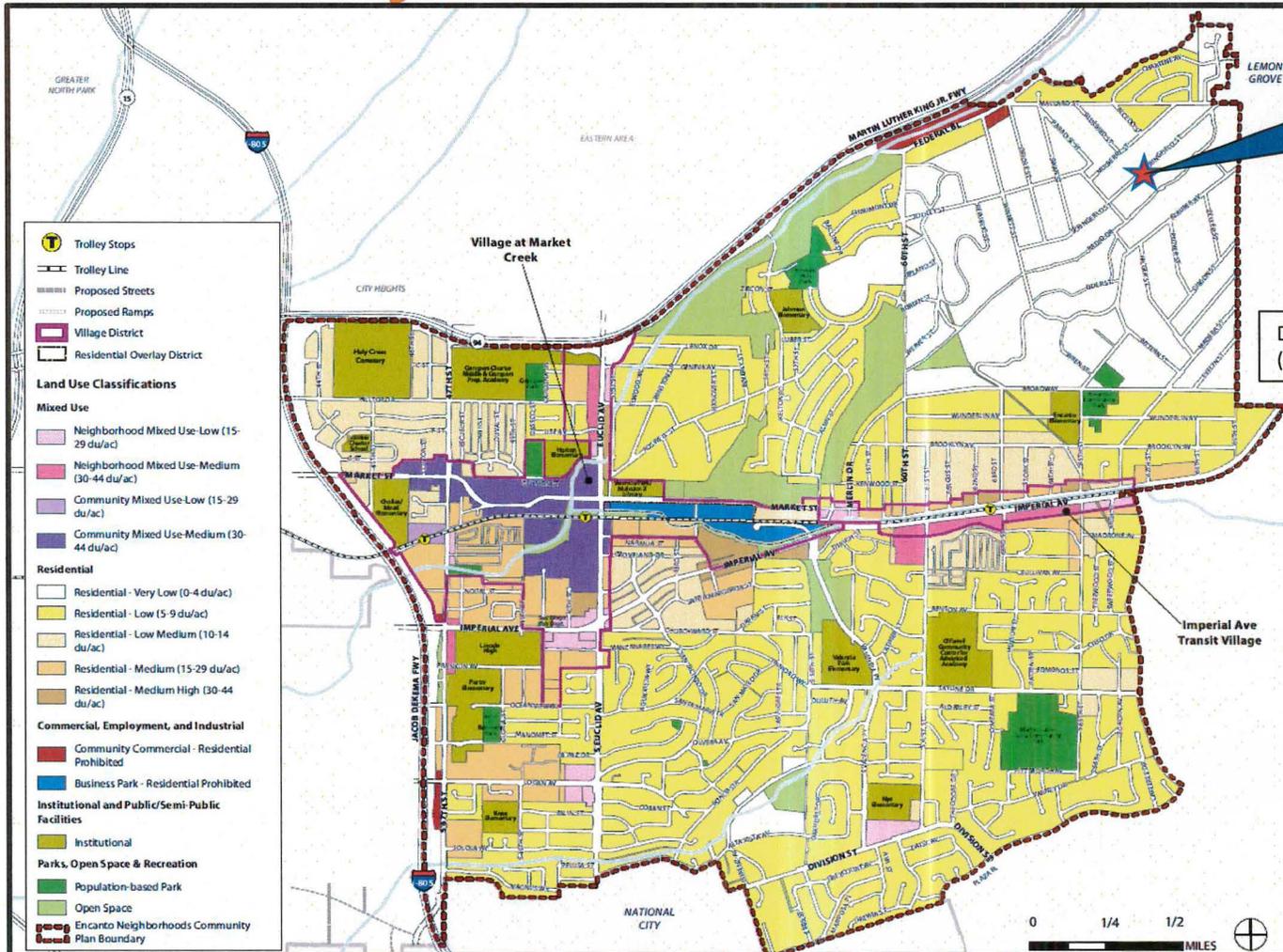
Project Site



Sprint Springfield- Project No. 590208
6600 Block of Springfield Street



Community Plan (Encanto Neighborhoods)



Project Site

Designated Residential Very Low (0-4 du/ac)

ATTACHMENT 2



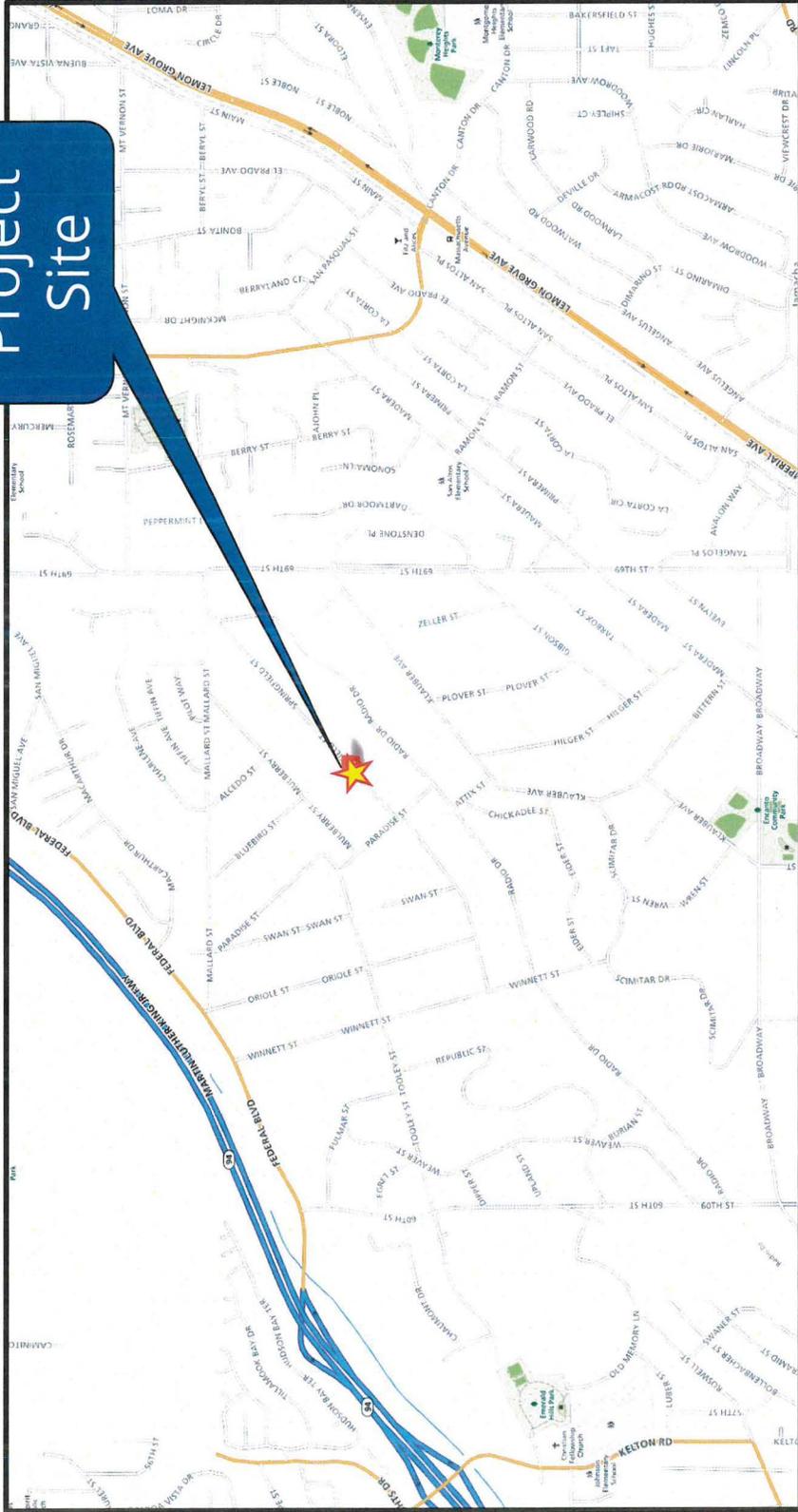
Sprint Springfield- Project No. 590208
6600 Block of Springfield Street



Development Services Department

Project Location Map

Project Site



Sprint Springfield - Project No. 590208
6600 Block of Springfield Street

PROJECT DATA SHEET		
PROJECT NAME:	Sprint – Springfield	
PROJECT DESCRIPTION:	A Wireless Communication Facility (WCF) consisting of an existing 45' tall SDG&E utility pole supporting two omni-directional antennas (3'-6" long) mounted to a crossbar attached to the pole. Associated equipment is located in a subterranean vault with two vent pipes and miscellaneous above ground cabinets located adjacent to the pole in the Public Right-of-Way.	
COMMUNITY PLAN AREA:	Chollas Valley	
DISCRETIONARY ACTIONS:	Conditional Use Permit/Neighborhood Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential Very Low (0-4 du/ac)	
ZONING INFORMATION:		
Required		
ZONE:	RS-1-4	
HEIGHT LIMIT:	30 feet	
LOT SIZE:	N/A	
FRONT SETBACK:	N/A	
SIDE SETBACK:	N/A	
REAR SETBACK:	N/A	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential Very Low (0-4 du/ac); RS-1-2	Single Unit Residential
SOUTH:	Residential Very Low (0-4 du/ac); RS-1-4	Single Unit Residential
EAST:	Residential Very Low (0-4 du/ac); RS-1-4	Single Unit Residential
WEST:	Residential Very Low (0-4 du/ac); RS-1-4	Single Unit Residential
DEVIATION REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 19, 2018, the Chollas Valley Community Planning Group voted 9-0-0 to recommend approval of the proposed project without conditions.	

HEARING OFFICER RESOLUTION NO. HO-XXXX
CONDITIONAL USE PERMIT NO. 2170682
NEIGHBORHOOD USE PERMIT NO. 2170683
SPRINT – SPRINGFIELD PROJECT NO. 590208

WHEREAS, SAN DIEGO GAS & ELECTRIC, Owner and SPRINT PCS ASSETS, LLC, a Delaware Limited Liability Company, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 2170682 and Neighborhood Use Permit No. 2170683;

WHEREAS, the project site is located within the Public Right-of-Way on the south side of the 6600 block of Springfield Street in the RS-1-4 zone of the Chollas Valley Community Plan area;

WHEREAS, on July 18, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on August 15, 2018, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2170682 and Neighborhood Use Permit No. 2170683, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 15, 2018.

A. CONDITIONAL USE PERMIT [SDMC Section 126.0303]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The Encanto Neighborhoods Community Plan (the community has been renamed Chollas Valley) references the WCF Regulations and the WCF Design Guidelines for guidance on WCF project design. It also refers to Section UD-A.15 of the General Plan (Urban Design Element), which requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The project is located on the south side of the 6600 block of Springfield Street within the public Right-of-Way (ROW) – more specifically, the SDG&E pole and associated equipment are located in front of the home at 6647 Springfield Street. The WCF consists of two 42-inch omnidirectional antennas attached on each end of a 10-foot crossbar mounted at the 29-foot, 6-inch height of an

existing 45-foot-tall SDG&E utility pole. Most of the equipment associated with the WCF is located inside a subterranean vault with two 37-inch vent pipes to provide airflow. A 4-foot tall telco/meter cabinet and a fiber cabinet are located adjacent to the vault.

Pursuant to Land Development Code (LDC) Section 141.0420(e)(3), the project, which includes above ground equipment, requires a Conditional Use Permit (CUP), Process Three Hearing Officer decision. The project is located on an existing utility pole. Utility poles are a part of the streetscape in this neighborhood and the area is not currently scheduled for utility undergrounding. Antennas are mounted to a 10-foot-long crossbar (a requirement from SDG&E) that is at the approximate height of the wires connecting the other poles in the neighborhood. A crossbar is commonly found on SDG&E utility poles and the size of the omnidirectional antennas will not create additional visual impacts. Most of the associated equipment is located inside a subterranean vault, and the other two above-ground cabinets are typical of what is commonly found in the ROW for other utilities. Nine 5-gallon Rhamphiolepis Clara shrubs will be planted on both sides of the retaining wall surrounding the equipment. The project complies with LDC Section 141.0420, Wireless Communication Facilities and the WCF Design Guidelines. The project will not adversely affect the Encanto Neighborhoods Community Plan or the City's General Plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The project is located on the south side of the 6600 block of Springfield Street – more specifically, the SDG&E pole and associated equipment are located in front of the home at 6647 Springfield Street - in the Chollas Valley Community Plan area (formerly Encanto Neighborhoods). The Wireless Communication Facility (WCF) consists of two 42-inch omni antennas attached on each end of a 10-foot crossbar mounted at the 29-foot, 6-inch height of an existing 45-foot-tall SDG&E utility pole. Most of the equipment associated with the WCF is located inside a subterranean vault with two 37-inch vent pipes to provide airflow. A 4-foot tall telco/meter cabinet and fiber cabinet are located adjacent to the vault.

The project was determined to be exempt from CEQA pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An Electromagnetic Energy Exposure Report was prepared, which concluded that the project complies with FCC standards for RF emissions. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located within the RS-1-4 zone of the Encanto Neighborhoods Community Plan. The project meets all applicable requirements of this zone. The WCF Regulations (LDC Section

141.0420) contain design requirements for Wireless Communication Facilities (WCFs), which include the requirement to utilize the smallest, least visually intrusive antennas, components and other necessary equipment and to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

Sprint's design uses all reasonable means to minimize the WCF by using two forty-two-inch-long omnidirectional antennas attached to each end of a 10-foot crossbar mounted to a 45-foot-tall SDG&E utility pole at approximately 29 feet, 6 inches from ground level. The equipment associated with this WCF is located inside an existing 77-square-foot subterranean vault with two 37-inch-tall above-ground vents. The vents, equipment and retaining wall will be painted to match the proposed landscape and backdrop. Springfield Street is semi-rural in appearance, with contiguous standard sidewalks. The equipment is located entirely within the ROW adjacent to the sidewalk. Landscaping consisting of nine 5-gallon Raphiolepis Clara shrubs is proposed to help blend the equipment in to the backdrop.

Because the project meets the requirements of the RS-1-4 zone, and findings can be made in the affirmative, the project will comply with the applicable regulations of the LDC.

d. The proposed use is appropriate at the proposed location.

Sprint is proposing to maintain an existing Wireless Communication Facility (WCF) on the south side of the 6600 block of Springfield Street. More specifically, the SDG&E pole and associated equipment are located in front of the home at 6647 Springfield Street. A site justification analysis was prepared by Sprint demonstrating a need for this WCF. According to the justification analysis, this site provides coverage in a focused area along Springfield Street to Radio Drive to the south and Mulberry Street to the north. Additionally, the WCF is designed to be minimally visible, with a limited number of low profile small antennas.

In accordance with Council Policy 600-43, WCFs are encouraged in the ROW. The project site is considered a Preference 2 location, which coincides with the requirement for a Neighborhood Use permit (NUP), Process Two. Due to the added above-ground equipment, the WCF requires a Process 3 Conditional Use Permit (CUP), Hearing Officer Decision. Most of the equipment associated with this project will continue to operate inside a subterranean vault with two 37-inch-tall above-ground vents. This design is consistent with the City's General Plan for wireless facilities that encourages the placement of underground vaults to minimize visual impacts. The underground vault is appropriately placed behind the sidewalk and landscape shrubs will be planted on both sides of the equipment to help blend it in the surroundings and improve views. A 10-year expiration will be included as a condition of approval to ensure that the design and use is still appropriate at that time. As demonstrated by both the justification analysis and the design prepared by Sprint, the existing WCF use is appropriate at the proposed ROW location.

B. NEIGHBORHOOD USE PERMIT [SDMC Section 126.0205]

2. Findings for all Neighborhood Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

Please see CUP Finding No. 1a above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

Please see CUP Finding No. 1b above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Please see CUP Finding No. 1c above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2170682 and Neighborhood Use Permit No. 2170683 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.'s 2170682/2170683, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on August 15, 2018

IO#: 11003679

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2170682
NEIGHBORHOOD USE PERMIT NO. 2170683
SPRINT - SPRINGFIELD PROJECT NO. 590208
HEARING OFFICER

This Conditional Use Permit No. 2170682 and Neighborhood Use Permit No. 2170683 (Collectively, "Permit") is granted by the Hearing Officer of the City of San Diego to San Diego Gas & Electric Company, Owner, and Sprint PCS Assets, LLC, a Delaware Limited Liability Company, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0203 and 126.0303. The site is located in the public right-of-way on the south side of the 6600 block of Springfield Street (more specifically, the SDG&E pole and associated equipment are located in front of the home at 6647 Springfield Street) in the RS-1-4 zone of the Chollas Valley Community Planning area.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibit [Exhibit "A"] dated August 15, 2018, on file in the Development Services Department.

The project shall include:

- a. Two 42-inch omnidirectional antennas attached on each end of a 10-foot crossbar mounted 29 feet, six inches high on an existing 45-foot-tall SDG&E utility pole;
- b. Associated equipment located in a subterranean vault with two 37-inch-tall vent pipes. A 4-foot-tall meter/telco cabinet and a fiber cabinet are also part of this project;
- c. Landscaping (planting, irrigation and landscape related improvements); and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

Every aspect of this project is considered an element of concealment including (but not limited to) the dimensions, build and scale, color, materials and texture. Any future modifications to this permit/project must not defeat concealment.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 30, 2021.
2. This permit and corresponding use of this site shall **expire on August 30, 2028**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstance, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary permits. The Owner/Permittee is informed that to secure these permits, substantial modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Improvement plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation

issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any public improvement permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for any landscaping and irrigation in the Springfield Street Right-of-way.

LANDSCAPE REQUIREMENTS:

15. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-sq.ft. area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

16. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

17. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

18. A cable management plan must be enforced at all times so that cables are pulled taut with no looping, drooping or loose cables on site. Cables must run as closely as possible to whatever they run against.

19. The WCF shall conform to the approved exhibits at all times.

20. Antennas shall be painted a grey-blue. Painting of all WCF components must be painted to match the surface on which they are attached and must be completed within 30 days of the approval of this permit. Failure to do so will result in referral to the Development Services Code Enforcement Division.

21. All above ground equipment and the retaining wall shall be painted to blend in with the landscape required to be planted as part of this project.
22. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.
23. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
24. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
25. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
26. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) XXX-XXXX to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 15, 2018 by Resolution No.

_____.

DRAFT

Permit Type/PTS Approval No.: CUP No. 2170682/NUP No. 2170683
Date of Approval: August 15, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

San Diego Gas & Electric
Owner

By _____
NAME:
TITLE:

Sprint PCS Assets, LLC
Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: Sprint Springfield**Project No.:** 590208**Project Location-Specific:** The project is located at 6629 Springfield Street, San Diego, CA 92114.**Project Location-City/County:** San Diego/San Diego

Description of nature and purpose of the Project: The project proposes an Neighborhood Use Permit (NUP) and Conditional Use Permit (CUP) to allow an existing Wireless Communication Facility (WCF) to remain in the public Right-of-Way on an existing SDG&E utility pole. The 45-foot tall pole is located in front of the home addressed at 6629 Springfield Street in the Encanto Community Plan area. The project site is designated as single-family residential use and is zoned RS-1-4. The project includes two antennas and one equipment cabinet located in a subterranean vault.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Mark Phillips
 Prescept Wireless Consultant
 2014 Granada Avenue
 San Diego, CA 92104
 (619) 379-3473

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
 Declared Emergency (Sec. 21080(b)(3); 15269(a));
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: CEQA Sections 15301 (Existing Facilities)

Reasons why project is exempt: The City conducted an environmental review which determined that the proposed project, as described above, qualifies to be exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Anna L. McPherson AICP

Telephone: (619) 446-5276

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

ATTACHMENT 7

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Anna H. Mphurum /Senior Planner
Signature/Title

August 1, 2018
Date

Check One:

- Signed By Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or OPR:

**ENCANTO NEIGHBORHOODS COMMUNITY PLANNING GROUP
MINUTES OF MEETING
Jacobs Center, 404 Euclid Avenue, Community Room, San Diego, CA 92114
Monday, March 19, 2018 | 7:00pm – 9:00pm**

Seat (Term 2016-2018)	Member	Present	Seat (Term 2017-2019)	Member	Present
1. Broadway Heights	Vacant	N/A	9. Alta Visa	Marry Young	Y
2. Chollas View	Ardelle Matthews	N	10. Encanto	Steven Ward	Y
3. Emerald Hills	Christie Hill	Y	11. O'Farrell	Kenneth Malbrough	N
4. Lincoln Park	Leslie Dudley	Y	12. Valencia Park	Monte Jones	N
5. At-Large	Khalada Salaam-Alaji	Y	13. At-Large	Brian Pollard	N
6. At-Large	Shawn Glisson	Y	14. At-Large	Kwame Oates	Y
7. At-Large	Vacant	N/A	15. At-Large	Henry Foster III	Y
8. At-Large	Vacant	N/A	16. At-Large	Karina Velazquez	Y
City Dept.	Name	Present	Office	Name	Present
Planning	Elizabeth Dickson		Mayor's Office	Darnisha Hunter	
Civic SD	Sherry Brooks	Y	Council District 4	Mathew Gordon	Y
JCNI	Richard Seges		Assembly 79 th	Denise Green	
Congress 51 st	Stephanie Allen		Senate 39 th	Chevelle Newell-Tate	
Number of Visitors?			Sign-in Sheet on File: Yes		

1. Call to Order & Introductions

Vice Chairman Kwame Oates called the meeting to order at 7:08pm.
Quorum was present (9 out of 13 members).

2. Adoption of the Agenda

Motion made by Steve Ward to adopt the agenda. Seconded by Shawn Glisson. Vote: 9-0-0. Motion Carried.

3. Review and Approval of Minutes

Karina stated she needs to add Denise's last name "Green" as representative for Assemblywoman Weber's office.

Motion made by Marry Young to approve the minutes with the above changes for the February 2018 Meeting. Second by Steve Ward. Vote: 9-0-0. Motion Carried.

4. Communications from the Public:

a. Monica Montgomery, candidate for City Council District 4 introduced herself.

5. Chair's Report: None.

6. Staff Reports:

a. **Mayor's Office:** Darnisha Hunter not present.

b. **Council District 4:** Mathew Gordon reported a whistleblower reported about a SDPD incentive program for officers to increase drug users arrests and Council President Cole has reached out to

the new SDPD Chief to get more information. Mathew reported there will be a new Live Well Center on corner of Market & Euclid which is a partnership between the City, County, and JCNI.

- c. **Assembly District 79:** Denise Green not present.
- d. **Senate District 39:** Chevelle Newell-Tate not present.
- e. **51 Congressional District:** Stephanie Allen not present.
- f. **City Planning:** Elizabeth Dickson not present.
- g. **Civic San Diego:** Sherry Brooks reported the Encanto Village groundbreaking was postponed because of scheduling conflict but will be rescheduled.
- h. **Jacobs Center for Neighborhood Innovation:** Richard Seges not present.

7. Sub-Committee Reports

a. Election Sub-Committee Report: Election Results

- i. Steven Ward announced Officer winner are: Kenneth Malbrough as Chairperson, Steven Ward as Vice Chairperson, Karina Velazquez as Recording Secretary, and Leslie Dudley as Membership Secretary.
- ii. Steven Ward announced neighborhood seat winners are as follows: Booker Sanders in Broadway Heights, Kwame Oates in Chollas View, Christie Hill in Emerald Hills, and Leslie Dudley in Lincoln Park.
- iii. Steven Ward announced At-Large seat winners are Khalada Salaam-Alaji, Shawn Glisson, Sandi Sawa Hazelwood, Karen Montufar & Evan Toma. Steven Ward stated the candidate with the least number of votes will have a term of one year, which was Evan Toma. Steven stated elections results are effective at next month's general meeting in April.

8. Action Items:

- a. Request for letter of support for the City to add a segment of utility undergrounding, Presenter Richard Seges from JCNI was not present.
- b. 6500 Block of Eider St. (Encanto) Sprint Conditional Use Permit (CUP) Renewal in the Right-of Way Presenter: Mark Phillips, Land Use Consultant, Precept Wireless Consultants
- c. 6600 Springfield St (Broadway Heights) Sprint Conditional Use Permit (CUP) Renewal in the Right-of Way Presenter: Mark Phillips, Land Use Consultant, Precept Wireless Consultants

Motion by Steve Ward to renew in the right-of-way for existing conditional use permit for both 6500 Eider Street and 6600 Springfield Street. Second by Shawn Glisson. Vote: 9-0-0. Motion Carried.

9. Informational Items: None.

10. Continuing Business:

- a. Karina Velazquez requested we begin to invite county field representatives from Supervisor Ron Roberts and Supervisor Greg Cox's office to our monthly meeting.
- b. Christie Hill requested we invite the City's Parks & Recreation Department to give an update regarding status of Emerald Hills Community Park; request to hear this year's City Budget; and request to invite the City's Real Estate & Assets Department to hear about the County's new Live Well Center on Euclid & Market to the next meeting.
- c. Leslie Dudley request we get Ardelle Matthews a plaque for her 17 years of service on the board; Steve Ward said he was plaques for board members that were donated.
- d. Marry Young request we add the Diamond Business Association to agenda for future meetings to get updates on business who are closing and opening in the community.

11. Adjournment

Motion made by Karina Velazquez to adjourn the meeting. Second by Marry Young. Vote: 9-0-0.

Motion Carried.

Written by: Karina Velazquez, Board Recording Secretary

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="text-align: center;">Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Sprint SD34XC913 **Project No. For City Use Only:** _____

Project Address: Right-of-way site at the 6600 block of Springfield Street

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____

Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: SDG&E Owner Tenant/Lessee Successor Agency

Street Address: 8315 century part court

City: san diego State: ca Zip: 92123

Phone No.: 858-654-8216 Fax No.: _____ Email: ccastro@semprautilities.com

Signature: Carlos Castro Digitally signed by Carlos Castro
Date: 2017.12.12 14:40:03 -08'00' Date: 12/12/17

Additional pages Attached: Yes No

Applicant

Name of Individual: Sprint Owner Tenant/Lessee Successor Agency

Street Address: 3730 5th Ave

City: San Diego State: CA Zip: 92103

Phone No.: 619.379.3473 Fax No.: _____ Email: mllphillips@pwc-ca.com

Signature: Mark Phillips Digitally signed by Mark Phillips
DN: cn=Mark Phillips, c=US, email=mllphillips@pwc-ca.com, c=US
Date: 2017.01.03 04:22:09 -08'00' Date: 11/12/17

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

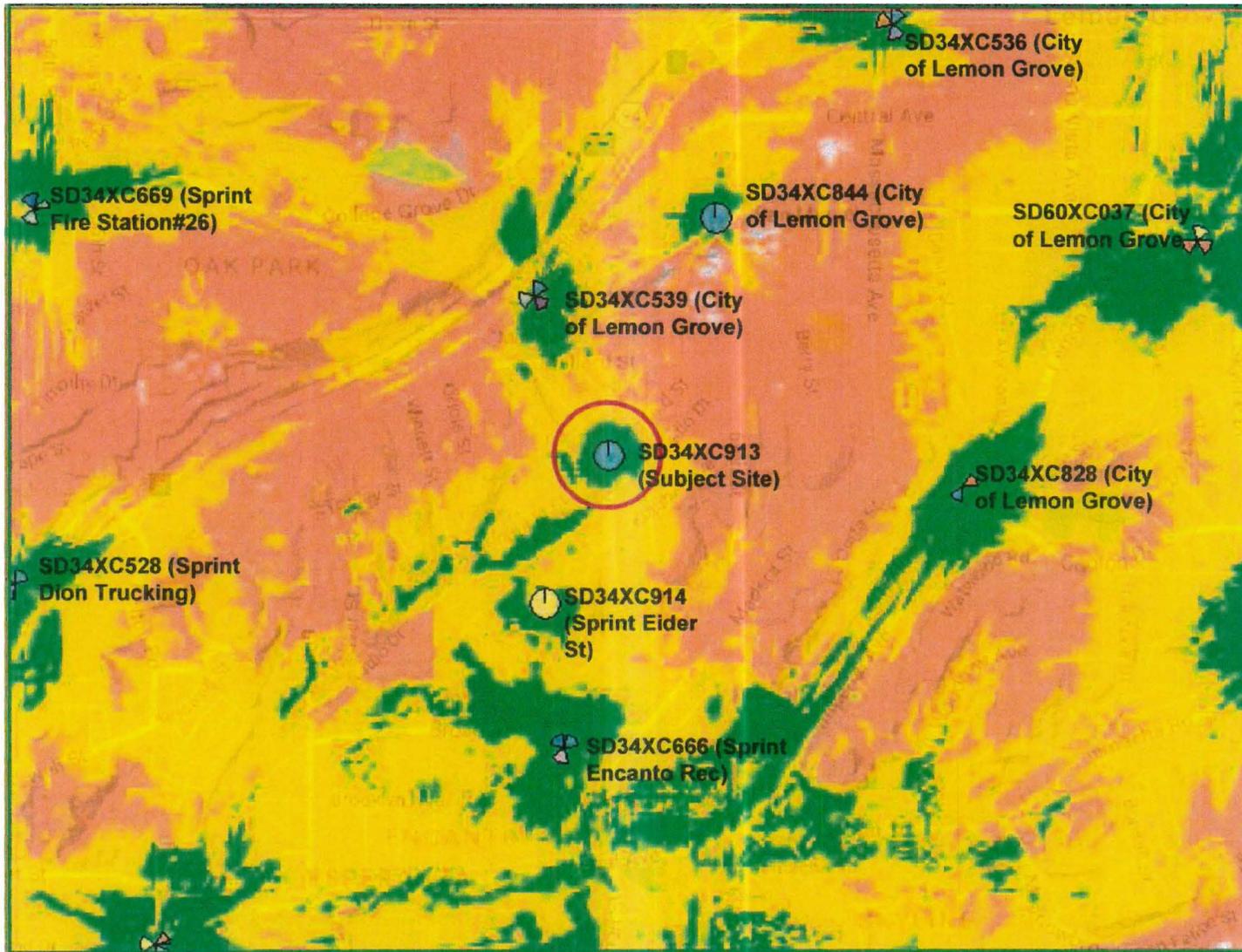


San Diego

SD34XC913

© 2013 Sprint. This information is subject to Sprint policies regarding use and is the property of Sprint and/or its relevant affiliates and may contain restricted confidential or privileged materials intended for the sole use of the intended recipient. Any review, use, distribution or disclosure is prohibited without authorization.

Current Coverage 1.9 LTE with SD34XC913



1.9 LTE Coverage (Cluster minus SD34XC913)

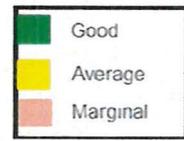
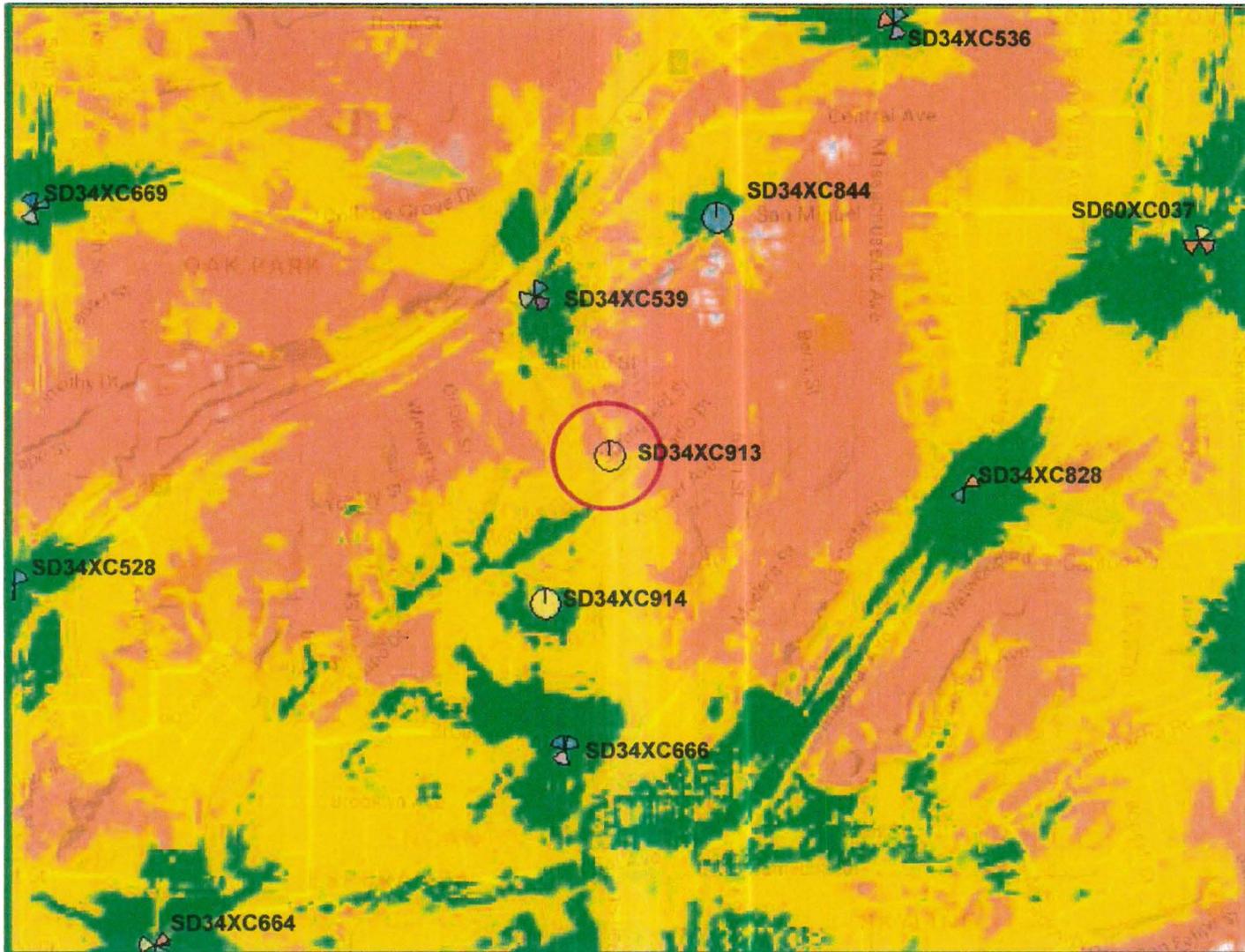




PHOTO STUDY & KEY MAP

FOR EXISTING WIRELESS COMMUNICATIONS FACILITY

Sprint
"Springfield Street"
Sprint ID: SD34XC913
Springfield Street
San Diego, CA 92114

Prepared for:
City of San Diego
Development Services Department
1222 First Avenue MS301
San Diego, CA 92101

Prepared by:
Tangent
SYSTEMS
500 North State College Blvd. Suite 1100
Orange, CA 92868
Contact: Robert Mahoney
(949) 264-3980

November 22, 2017



View 1 - Looking Southwest toward site from Springfield Street



View 2 - Looking Southeast toward site from Springfield Street



View 3 - Looking Northeast toward site from Springfield Street



View 4 - Looking Northeast from Site



View 5 - Looking Northwest from Site



View 6 - Looking Southwest from Site



View 7 - Looking Southeast from Site

Required ROW Photos next page.

ROW requirement: Photos of surrounding existing utility poles



View 8 - Looking Southwest from Springfield Street



View 9 - Looking Northwest from Springfield Street



View 10 - Looking Southeast from Paradise Street at Springfield Street



View 11 - Looking Southeast from Paradise Street S.O. Mulberry Street



View 12 - Looking Northeast from Mulberry Street at Paradise Street



View 13 - Looking Northeast from Springfield Street Southwest of Radio Drive



View 14 - Looking South from Radio Drive at Springfield Street

Photo Map





PHOTO SIMULATION

FOR CUP RENEWAL OF CELL SITE LOCATED AT:

6647 SPRINGFIELD ST | SAN DIEGO, CA 92114

SITE ID: SD34XC913



VICINITY MAP

© 2016 Google



PREVIEW

SITE DESCRIPTION:

EXISTING WOOD POLE
(NO CHANGE)

VIEWS: 3

SHEET INDEX

SHEET 2: VIEW 1

SHEET 3: VIEW 2

SHEET 4: VIEW 3

DATE: 11.22.17

SHEET: 1 / 4

Photo Simulation By:

Tangent
SYSTEMS
424-262-4167 | tangentsystems.co

Photo Simulation

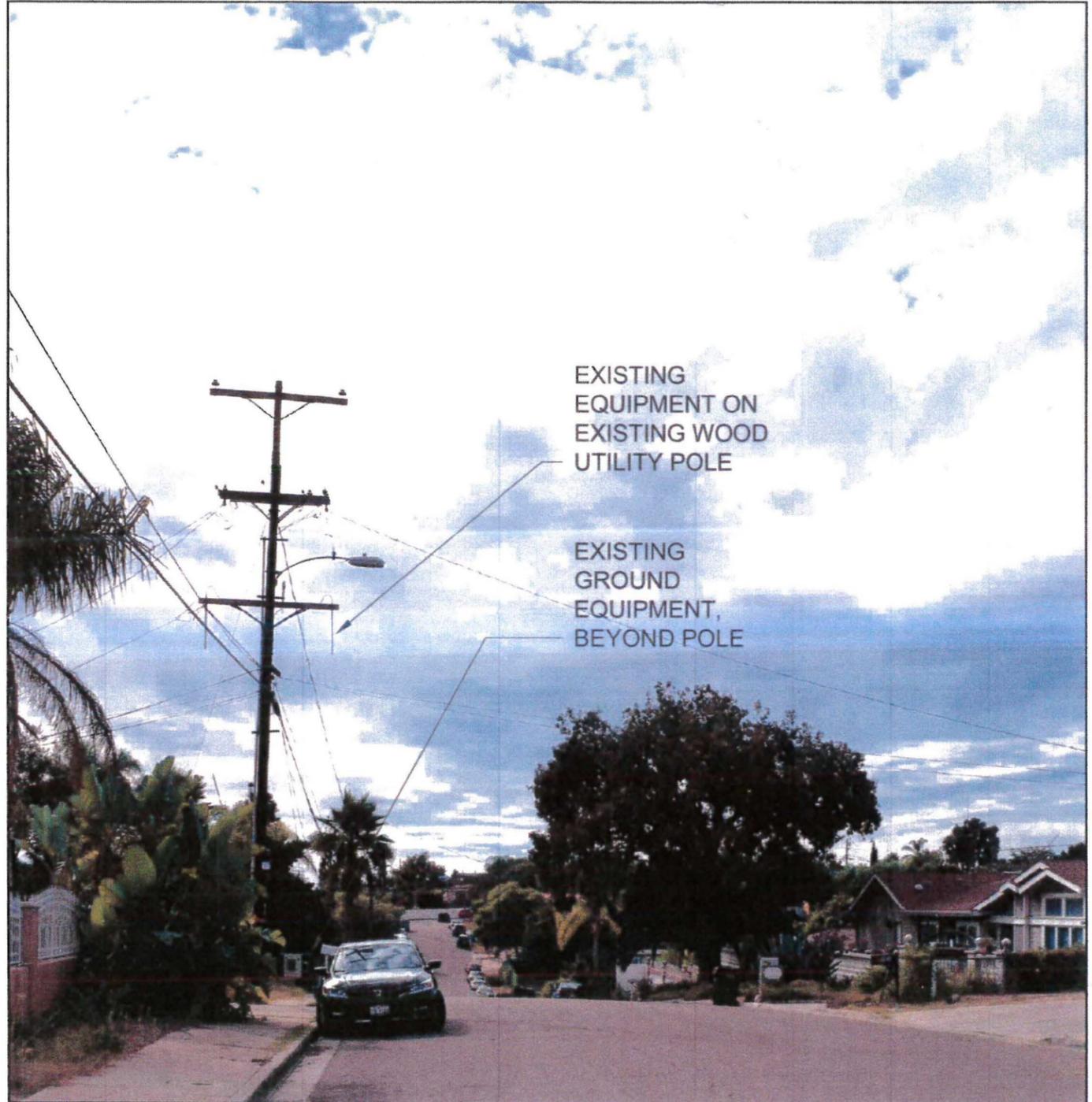
This photographic simulation is intended as a visual representation only and is not to be used for construction purposes. Accuracy of photo simulation is based on information provided by project applicant.



Site ID: SD34XC913

POLE TYPE: EXISTING WOOD POLE

6647 SPRINGFIELD ST
SAN DIEGO, CA 92114



EXISTING
EQUIPMENT ON
EXISTING WOOD
UTILITY POLE

EXISTING
GROUND
EQUIPMENT,
BEYOND POLE

EXISTING VIEW

PROPOSED VIEW

DATE: 11.22.17

VIEW 1 - LOOKING SOUTH WEST FROM SPRINGFIELD ST

SHEET: 2 / 4

Photo Simulation By:

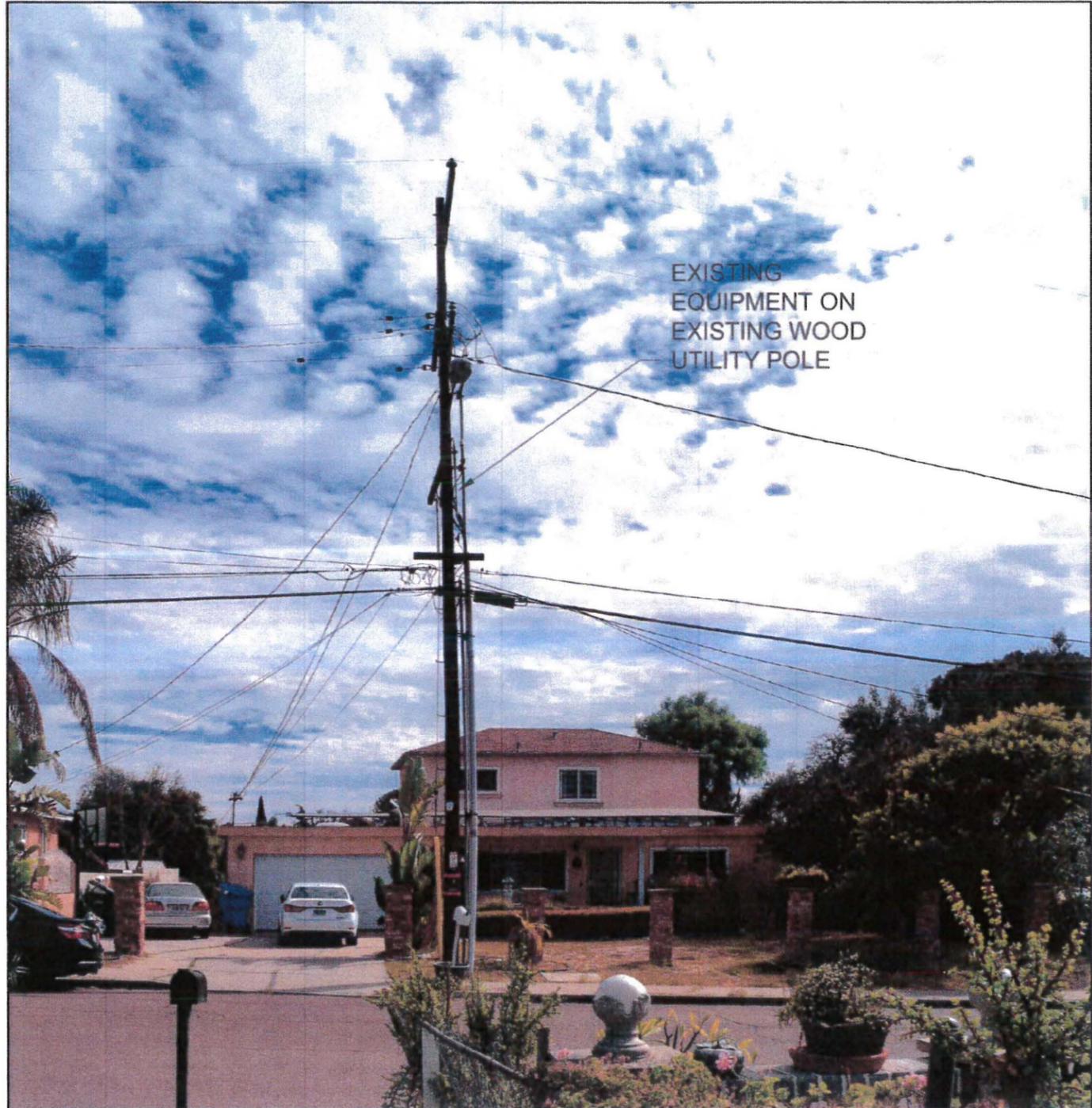
Tangent
SYSTEMS
424-262-4167 | tangentsystems.co

Photo Simulation

This photographic simulation is intended as a visual representation only and is not to be used for construction purposes. Accuracy of photo simulation is based on information provided by project applicant.



Site ID: SD34XC913
POLE TYPE: EXISTING WOOD POLE
6647 SPRINGFIELD ST
SAN DIEGO, CA 92114



EXISTING VIEW

PROPOSED VIEW

VIEW 2 - LOOKING SOUTH EAST FROM SPRINGFIELD ST

SHEET: 3 / 4

DATE: 11.22.17

Photo Simulation By:

Tangent
SYSTEMS

424-262-4167 | tangentsystems.co

Photo Simulation

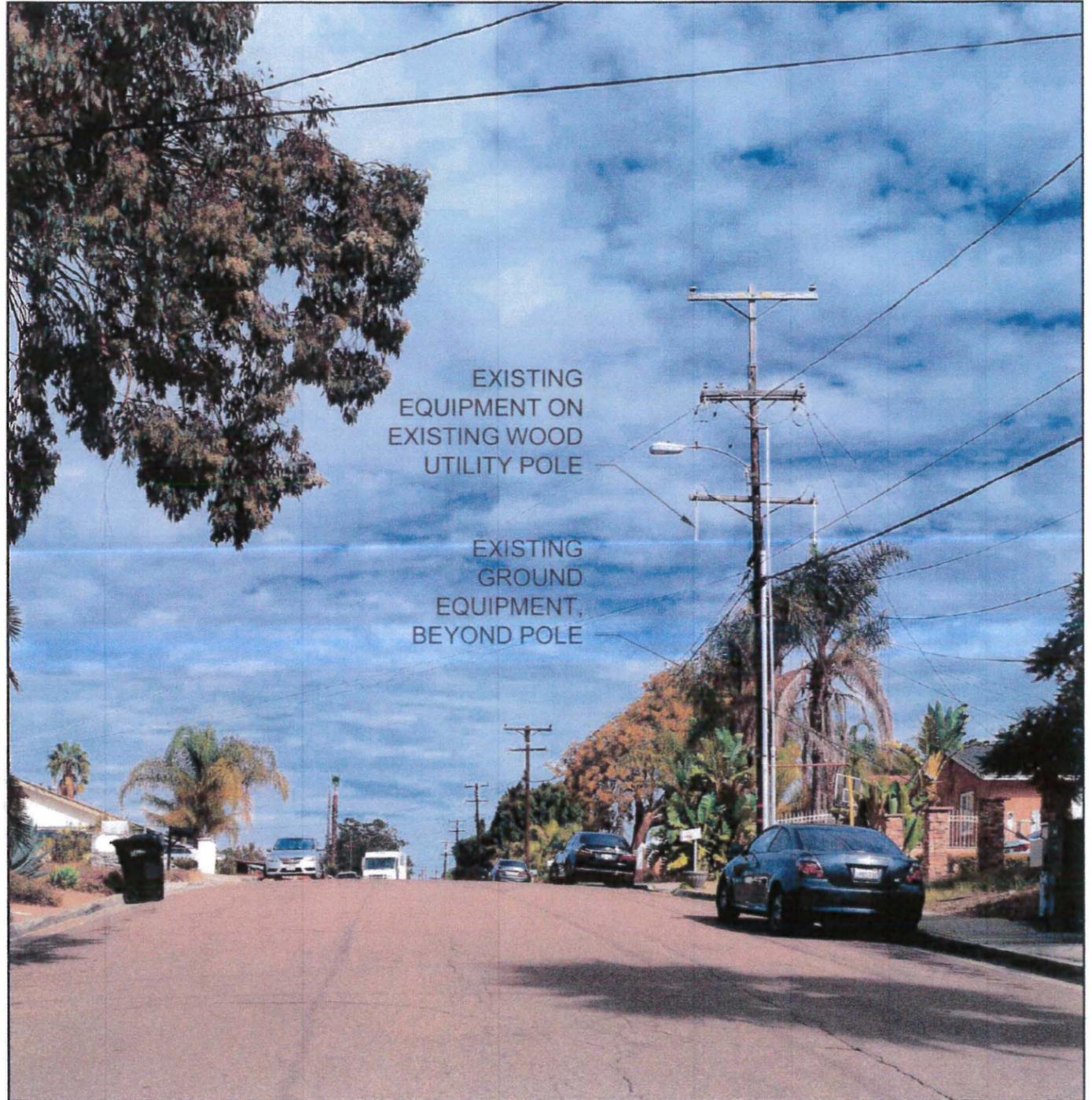
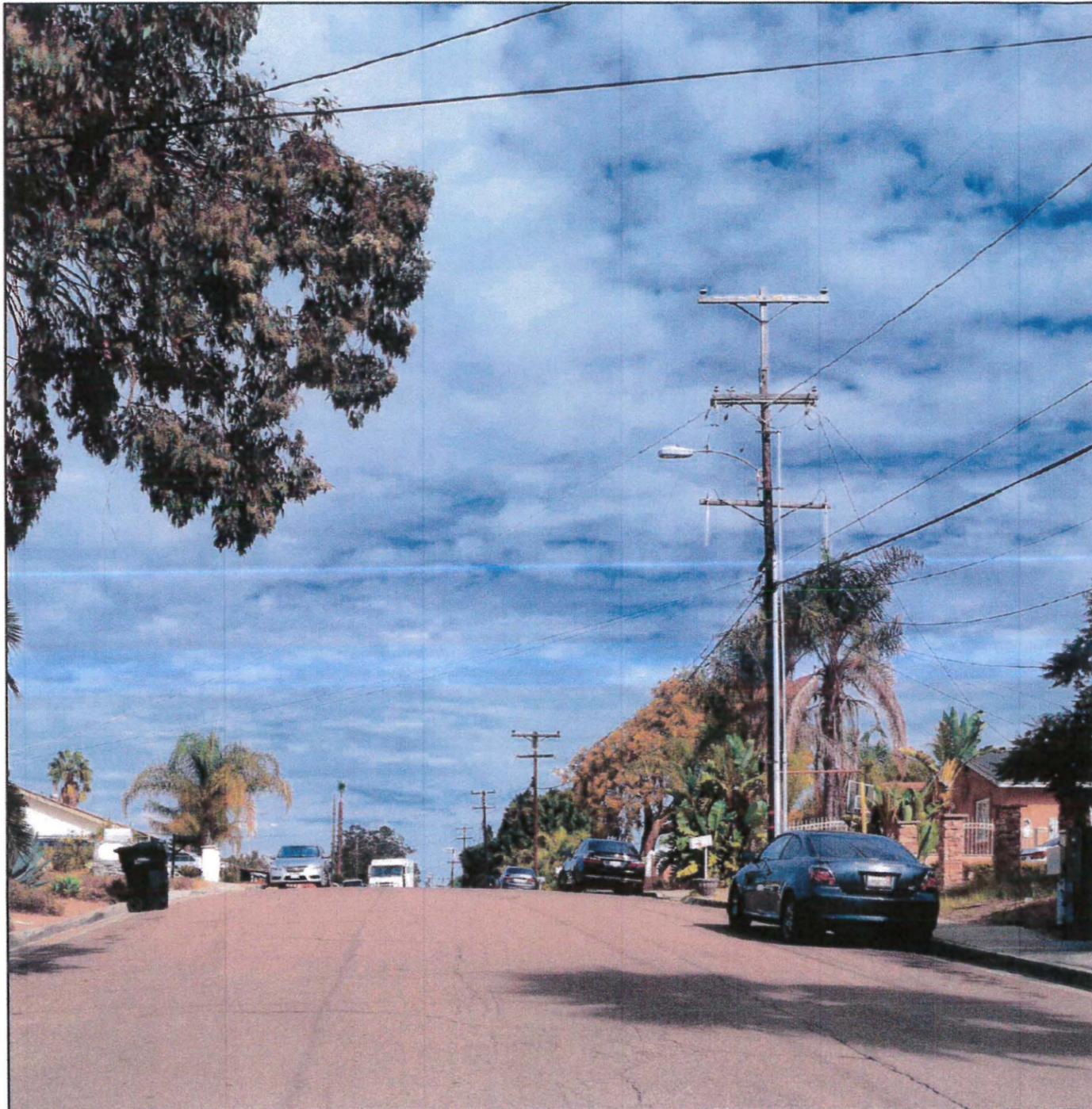
This photographic simulation is intended as a visual representation only and is not to be used for construction purposes. Accuracy of photo simulation is based on information provided by project applicant.



Site ID: SD34XC913

POLE TYPE: EXISTING WOOD POLE

6647 SPRINGFIELD ST
SAN DIEGO, CA 92114



EXISTING VIEW

PROPOSED VIEW

DATE: 11.22.17

VIEW 3 - LOOKING NORTH EAST FROM SPRINGFIELD ST

SHEET: 4 / 4

Photo Simulation By:

Tangent
SYSTEMS

424-262-4167 | tangentsystems.co

Photo Simulation

This photographic simulation is intended as a visual representation only and is not to be used for construction purposes. Accuracy of photo simulation is based on information provided by project applicant.



Site ID: SD34XC913

POLE TYPE: EXISTING WOOD POLE

6647 SPRINGFIELD ST
SAN DIEGO, CA 92114

GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OF HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- IMPORTANT NOTICE:** SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLES AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
- "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
- CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.
- PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD ENGINEERING DIVISION (858) 627-3200.
- CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
- CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
- CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
- MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4, "RED-LINES AND RECORD DOCUMENTS."
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.
- CONTRACTOR SHALL INSTALL CITY APPROVED TEMPORARY VIDEO OR RADAR DETECTION WHEN EXISTING TRAFFIC SIGNAL DETECTION SYSTEMS ARE DAMAGED, DISABLED, OR BECOME INEFFECTIVE DUE TO CONSTRUCTION ACTIVITIES FOR A PERIOD OF GIVE (5) OR MORE DAYS, SATISFACTORY TO THE CITY ENGINEER. THE CONTRACTOR SHALL COMPLETELY REMOVE ALL TEMPORARY TRAFFIC SIGNAL DETECTION EQUIPMENT AND RESTORE/INSTALL A CITY APPROVED PERMANENT VEHICLE DETECTION SYSTEM UPON COMPLETION OF CONSTRUCTION, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
- UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.
- MONUMENT PRESERVATION CERTIFICATION**
THE PERMITTEE SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ALL SURVEY MONUMENTS DESTROYED BY CONSTRUCTION. IF A VERTICAL CONTROL MONUMENT IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION SHALL BE NOTIFIED IN WRITING AT LEAST 7 DAYS PRIOR TO CONSTRUCTION. PRIOR TO PERMIT ISSUANCE THE PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING WILL BE RESPONSIBLE FOR MONUMENT PRESERVATION AND SHALL PROVIDE A CORNER RECORD OR RECORD OF SURVEY TO THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA, IF APPLICABLE.

NO SURVEY MONUMENTS EXIST NEAR THE AREA OF CONSTRUCTION
 SURVEY MONUMENTS EXISTING IN OR NEAR CONSTRUCTION WILL BE PROTECTED IN PLACE
 PRECONSTRUCTION CORNER RECORD FOR SURVEY MONUMENTS TO BE DESTROYED DURING CONSTRUCTION
 CORNER RECORD # _____ OR RECORD OF SURVEY # _____
 POST CONSTRUCTION CORNER RECORD FOR SURVEY MONUMENTS DESTROYED DURING CONSTRUCTION
 AND REPLACED AFTER CONSTRUCTION.
 CORNER RECORD # _____ OR RECORD OF SURVEY # _____

M SQUARED WIRELESS
 1397 CALLE AVANZADO
 SAN CLEMENTE, CA 92673
 p (949) 391-6824

CUP RENEWAL FOR:

**SPRINT PCS TELECOMMUNICATIONS SITE
SPRINGFIELD ST. (SD34XC913)**



VICINITY MAP

NO SCALE

PROPERTY OWNER

CITY OF SAN DIEGO
 1222 FIRST AVE
 SAN DIEGO, CA 92101

APPLICANT

SPRINT
 3730 FIFTH AVE
 SAN DIEGO, CA 92101
 CONTACT: ADELINE MCGONIGLE
 PHONE: 410-652-2535
 EMAIL: Adeline.McGonigle@sprint.com

LAND USE PLANNER

CONTACT: MARK PHILLIPS
 PHONE: 619-379-3473
 EMAIL: mphilips@prw-co.com

REFERENCE DRAWINGS

SEWER MAIN & SEWER LATERALS DWG #5407-D

SITE ADDRESS

PUBLIC RIGHT-OF-WAY IN FRONT OF 6647 SPRINGFIELD ST.

BENCHMARK

GPS BENCHMARK ELEVATION = 464.654 FEET (NGVD29)(ADJ.1970)
 SPRINGFIELD ST. & MALLARD ST.

LEGAL DESCRIPTION

TBD

ASSESSORS PARCEL NUMBER

ADJACENT TO 544-032-09-00

SHEET INDEX

GENERAL NOTES, KEY & VICINITY MAP	1-0
SITE SURVEY	2-0
SITE PLAN	3-0
ENLARGED SITE PLAN & EQUIPMENT LAYOUT	4-0
ELEVATIONS & ANTENNA DETAILS	5-0
LANDSCAPE PLAN	L-1-0
LANDSCAPE PLAN	L-2-0
LANDSCAPE PLAN	L-3-0

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

THIS DRAWING SET IS BEING PROVIDED STRICTLY FOR NUP RENEWAL. NO ACTUAL WORK BEING PERFORMED

PREVIOUS PROJECT CONSISTS OF THE INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT CABINETS FOR SPRINT'S WIRELESS TELECOMMUNICATIONS NETWORK. A TOTAL OF TWO (2) ANTENNAS, ONE (1) EQUIPMENT CABINET, ONE (1) VAULT, ONE (1) 30" HIGH RETAINING WALL AND TWO (2) VENT PIPES PLACED AT THIS SITE LOCATION. ADJACENT TO APN:544-032-09-00

STANDARD SPECIFICATIONS:

- STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION "GREEN BOOK" (2003 EDITION), INCLUDING THE REGIONAL AND CITY OF SAN DIEGO SUPPLEMENT AMENDMENT, DOC. NO. 769845 FILED JULY 21, 2003.
- 1999 STANDARD SPECIAL PROVISIONS FOR SIGNALS, LIGHTING AND ELECTRICAL SYSTEMS OF CITY OF SAN DIEGO, DOCUMENT NO. 769842, FILED OCTOBER 22, 1999.
- CALIFORNIA DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES," (1996 EDITION), DOCUMENT NO. 769843, JANUARY 24, 2000.

STANDARD DRAWINGS:

- CITY OF SAN DIEGO STANDARD DRAWINGS, INCLUDING ALL REGIONAL STANDARD DRAWINGS, DOCUMENT NO. 769846, FILED JULY 21, 2000.

LEGEND

PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD DRAWING	SYMBOL
ANTENNA		
CONCRETE		
ELECTRIC PULL BOX		
STREET LIGHT LIGHT POLE		
LANDSCAPE		
3" SIDEWALK UNDERDRAIN	D-27	
TRENCH DETAIL		
COAX PULL BOX		
REMOVE & REPLACE SIDEWALK	G-11	

EXISTING IMPROVEMENTS

ITEM	SYMBOL
CONCRETE	
ELECTRIC PULL BOX	
LIGHT POLE	

ENGINEERING PERMIT NO: _____
 DISCRETIONARY PERMIT NO: _____
 PRIVATE CONTRACT

TITLE SHEET FOR:

SPRINT TELECOMMUNICATIONS SITE

SPRINGFIELD STREET

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 1 OF 8 SHEETS

SPRINT NO. SD34XC913
PROJECT NO. _____
V.T.M. _____

FOR CITY ENGINEER	DATE
DESCRIPTION	BY
2Ds 90% AA	11/7/17
2Ds 100% AA	11/13/17
2Ds 100% REV SZ	02/21/18
2Ds 100% REV SZ	03/23/18
2Ds 100% REV KM	05/10/18

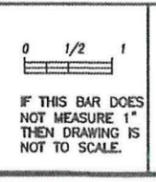
CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

1844-6311
NAD83 COORDINATES
204-1751
LAMBERT COORDINATES

33268-1-D

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.



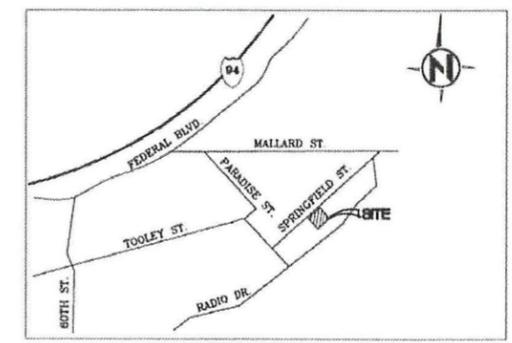
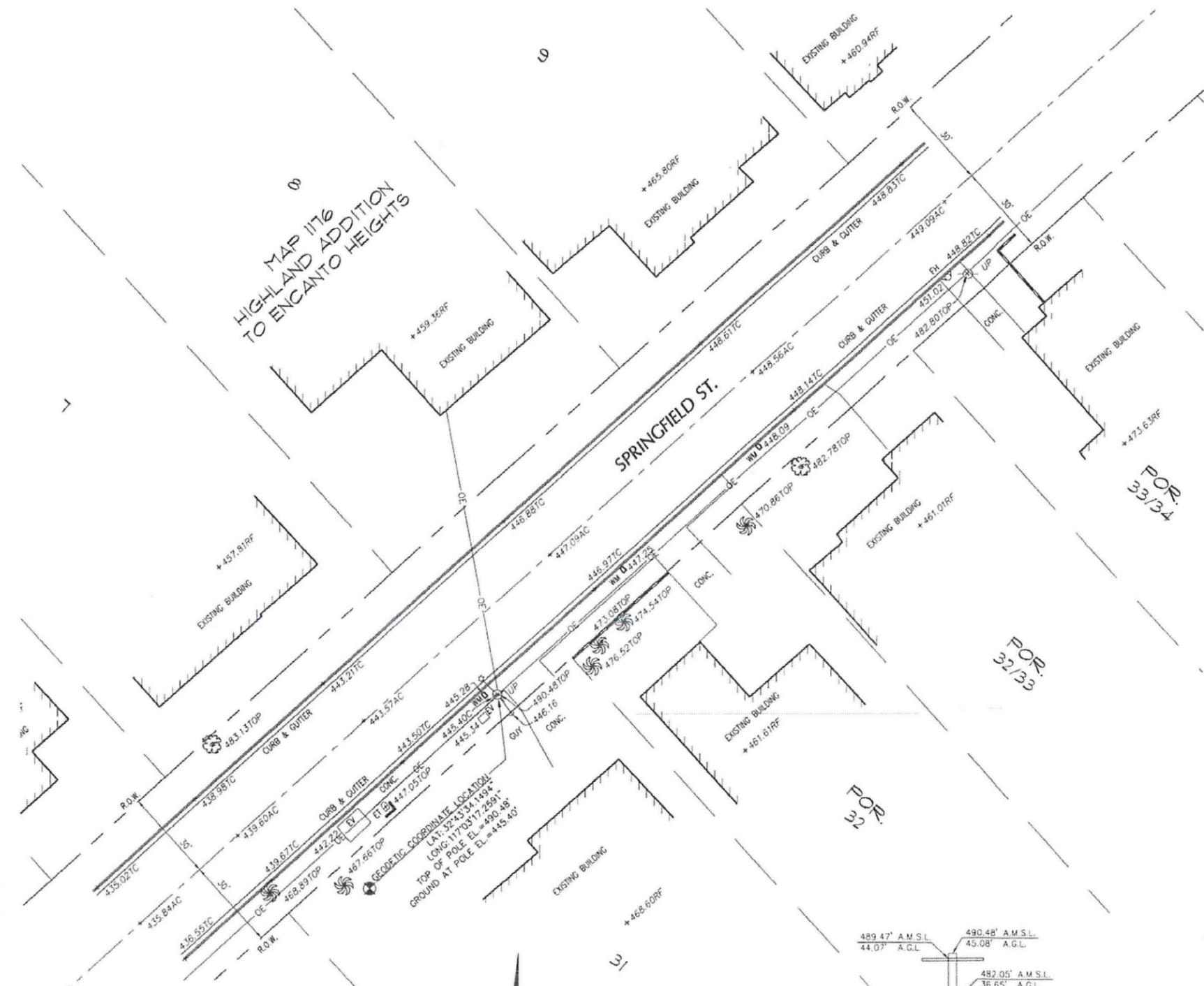
The City of **SAN DIEGO**

DEVELOPMENT SERVICES DEPARTMENT

STREET DATA TABLE

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)
SPRINGFIELD ST.	2-LANE	25 MPH	<5,000	40'

MAP 176
HIGHLAND ADDITION
TO ENCANTO HEIGHTS



VICINITY MAP
NO SCALE

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS THE CALIFORNIA COORDINATE SYSTEM (NAD83), ZONE 5, AS DETERMINED BY G.P.S. OBSERVATIONS.

BENCH MARK

THE BENCH MARK USED FOR THIS SURVEY IS THE SAN DIEGO COUNTY REAL TIME NETWORK (SDCRTN) BASE STATION NO. P473

ELEVATION 732.17 FEET (NAVD88).

TITLE REPORT

A TITLE REPORT WAS NOT PROVIDED TO THE UNDERSIGNED FOR REVIEW.

DATE OF SURVEY

THE SURVEY DATA DEPICTED HEREON WAS OBTAINED ON: JANUARY 31, 2018.

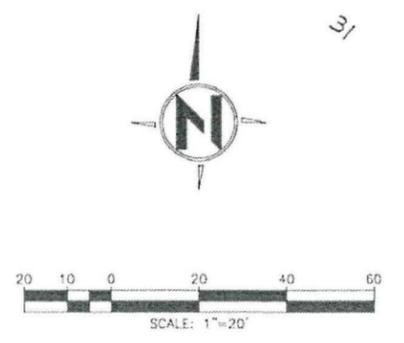
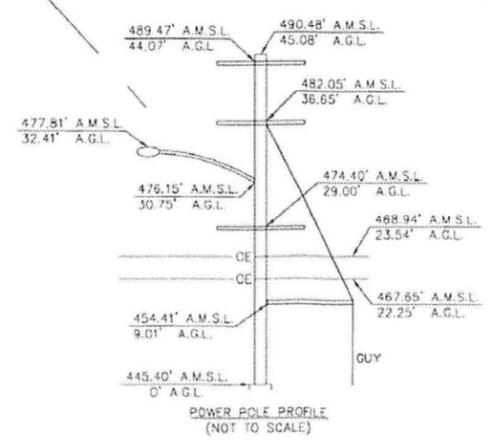
SURVEYORS CERTIFICATE

THIS SURVEY WAS PREPARED BY ME, OR UNDER MY DIRECTION AND IS BASED ON A FIELD SURVEY.

CASEY R. LYNCH, P.L.S. LICENSE NO. L.S. 8380
DATE 2-8-2018

LEGEND

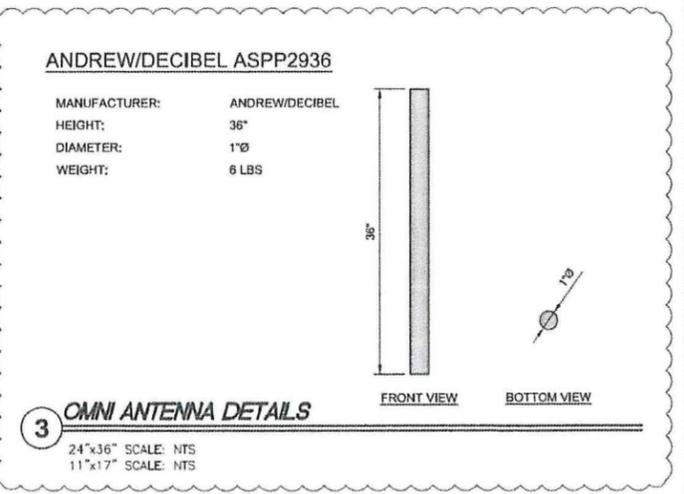
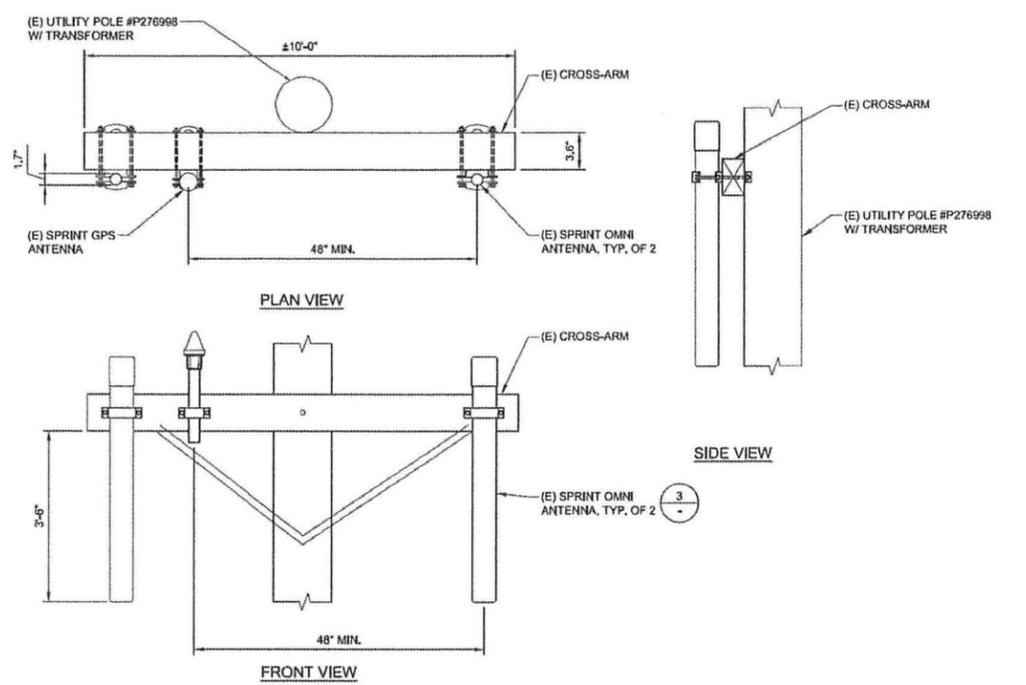
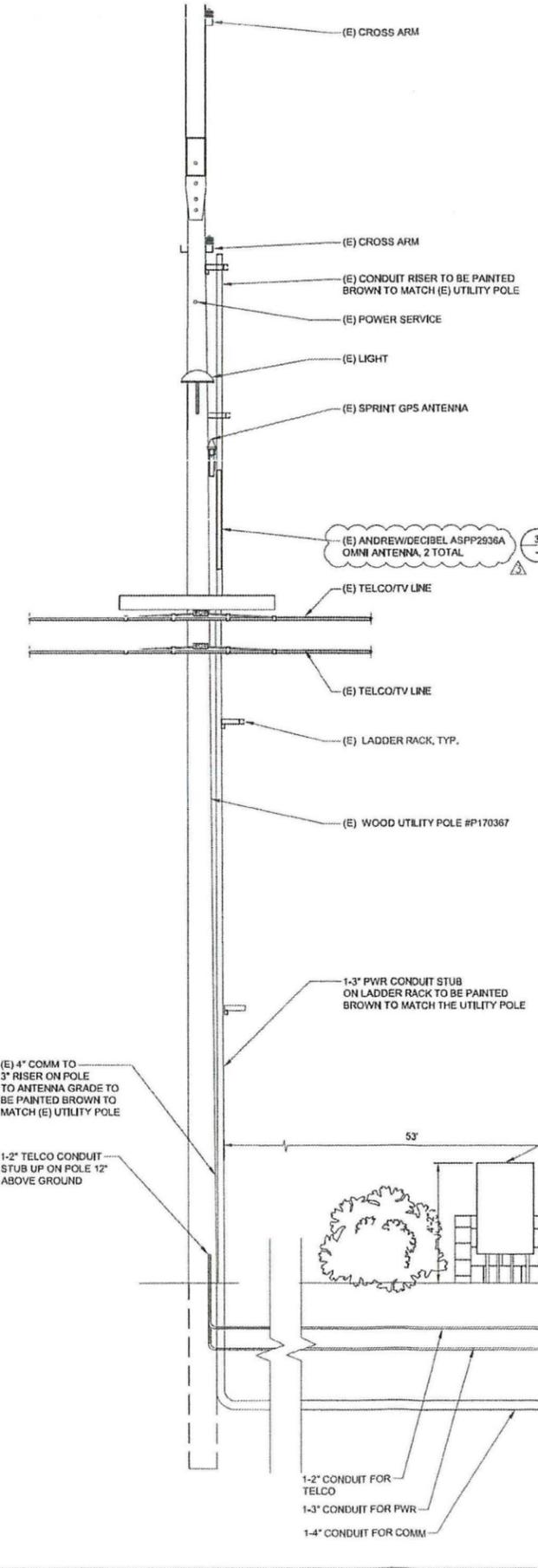
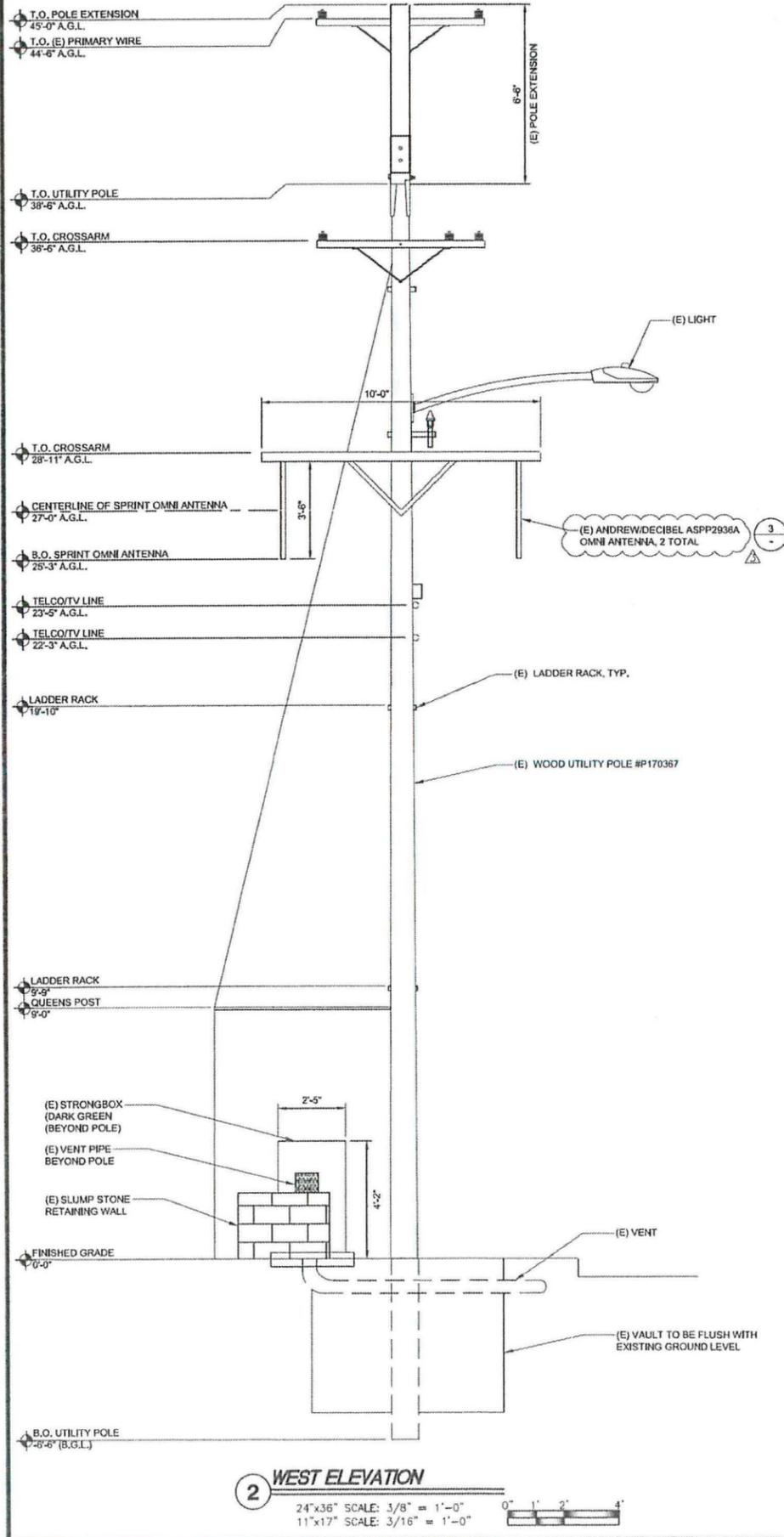
- UTILITIES**
- GUY POLE/WIRE GUY
 - UTILITY POLE UP
 - TRAFFIC SIGNAL TS
 - STREET LIGHT SL
 - ELECTRIC PULL BOX EPB
 - ELECTRIC METER EM
 - ELECTRIC VAULT EV
 - ELECTRIC TRANSFORMER ET
 - ELECTRIC CABINET EC
 - ELECTRIC RISER ER
 - OVER-HEAD ELECTRIC OE
 - AIR CONDITION UNIT ACU
 - STORM DRAIN MANHOLE SDMH
 - STORM DRAIN CURB INLET SDCI
 - STORM DRAIN TRENCH DRAIN SDTD
 - STORM DRAIN CLEAN-OUT SDCO
 - CATCH BASIN CB
 - WATER RISER WR
 - WATER METER WM
 - WATER SERVICE WS
 - WATER VALVE WV
 - FIRE HYDRANT FH
 - FIRE SERVICE FS
 - POST INDICATOR VALVE PIV
 - IRRIGATION CONTROL BOX ICB
 - BACKFLOW PREVENTER BFP
 - COMMUNICATION PULL BOX CBP
 - COMMUNICATION LINE COM
 - TELEPHONE RISER TR
 - TELEPHONE PULL BOX TBP
 - TELEPHONE MANHOLE TMH
 - TELEPHONE VAULT TV
 - TELEPHONE LINE T
 - GAS METER GM
 - GAS VALVE GV
 - SEWER MANHOLE SMH
 - SEWER CLEAN OUT SCO
- LANDSCAPING**
- DECIDUOUS TREE EPB
 - PALM TREE PT
- PROPERTY DATA**
- PROPERTY LINE ---
 - RIGHT-OF-WAY ---
 - CENTER LINE ---
 - LOT LINE ---
- IMPROVEMENTS**
- WROUGHT IRON FENCE ---
 - CHAIN LINK FENCE ---
 - WOOD FENCE ---
 - WALL ---
 - CURB & GUTTER ---
 - BUILDING FOOTPRINT ---
 - SIGN ---
- ABBREVIATIONS**
- ELEVATION EL
 - LATITUDE LAT
 - LONGITUDE LONG
 - TOP OF CURB TC
 - CONCRETE C/CONC.
 - HANDICAP RAMP HCR
 - CURB INLET CI
 - UNDERGROUND U/G
 - TOP OF WALL TW
 - ROOF RF
 - R.O.W. R.O.W.
 - PARKING LOT LIGHT PLL
 - UNKNOWN CLEANOUT UCO
 - UNKNOWN RISER UR
 - UNKNOWN VAULT UVT



PRIVATE CONTRACT

TITLE SHEET FOR:
SPRINT TELECOMMUNICATIONS SITE
SPRINGFIELD STREET

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 8 SHEETS		SPRINT NO. SD14K913 PROJECT NO.
FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION	BY	APPROVED
2Ds 90% AA		11/7/17
2Ds 100% AA		11/13/17
2Ds 100% REV SZ		02/21/18
2Ds 100% REV SZ		03/23/18
2Ds 100% REV KM		05/10/18
CONTRACTOR	DATE STARTED	1844-6311 NAD83 COORDINATES 204-1751 LAMBERT COORDINATES
INSPECTOR	DATE COMPLETED	
		33268-2-D



PRIVATE CONTRACT

TITLE SHEET FOR:
SPRINT TELECOMMUNICATIONS SITE
 SPRINGFIELD STREET

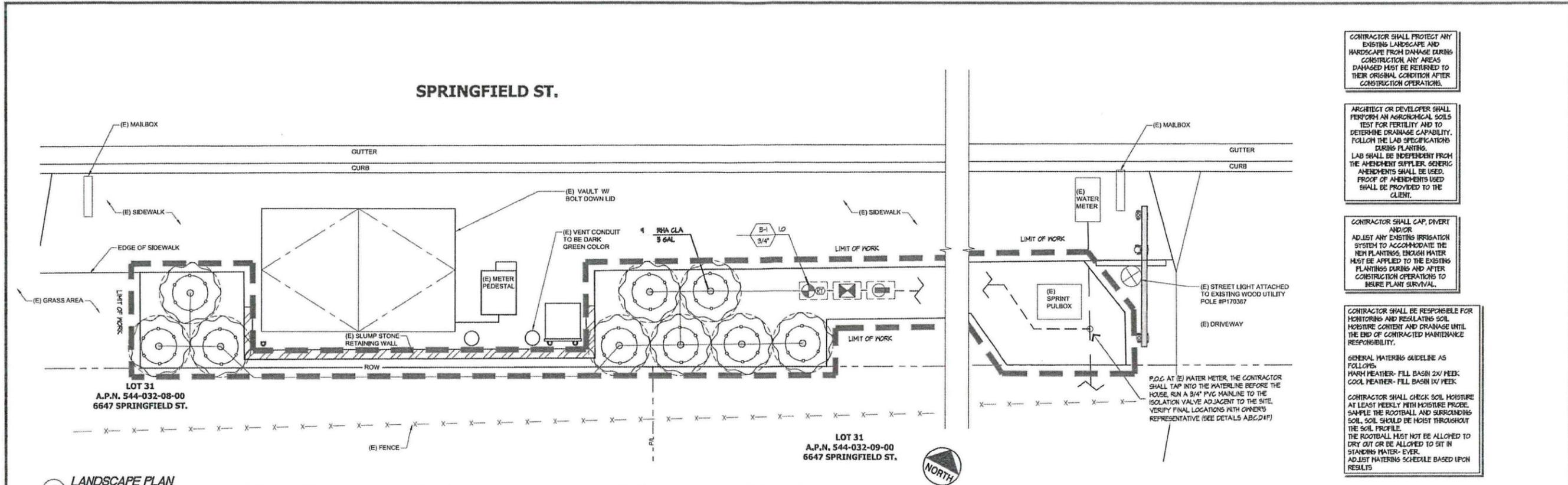
CITY OF SAN DIEGO CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 6 OF 8 SHEETS

SPRINT NO. SD34C913
 PROJECT NO. _____

FOR CITY ENGINEER		DATE	DATE		Y.T.M.
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ZDs 90%	AA		11/7/17		
ZDs 100%	AA		11/13/17		1844-6311
ZDs 100% REV	SZ		02/21/18		NAD83 COORDINATES
ZDs 100% REV	SZ		03/23/18		204-1751
ZDs 100% REV	KM		05/10/18		LAMBERT COORDINATES

CONTRACTOR _____ DATE STARTED _____
 INSPECTOR _____ DATE COMPLETED _____

33268-5-D



CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION. ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION OPERATIONS.

ARCHITECT OR DEVELOPER SHALL PERFORM AN AGRONOMIC SOILS TEST FOR FERTILITY AND TO DETERMINE DRAINAGE CAPABILITY. FOLLOW THE LAB SPECIFICATIONS DURING PLANTING. LAB SHALL BE INDEPENDENT FROM THE AMENDMENT SUPPLIER. GENERIC AMENDMENTS SHALL BE USED. PROOF OF AMENDMENTS USED SHALL BE PROVIDED TO THE CLIENT.

CONTRACTOR SHALL CAP, DIVERT AND/OR ADJUST ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE NEW PLANTINGS. ENOUGH WATER MUST BE APPLIED TO THE EXISTING PLANTINGS DURING AND AFTER CONSTRUCTION OPERATIONS TO INSURE PLANT SURVIVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REGULATING SOIL MOISTURE CONTENT AND DRAINAGE UNTIL THE END OF CONTRACTED MAINTENANCE RESPONSIBILITY.

GENERAL WATERING GUIDELINE AS FOLLOWS:
 WARM WEATHER- FILL BASIN 2X WEEK
 COOL WEATHER- FILL BASIN 1X WEEK

CONTRACTOR SHALL CHECK SOIL MOISTURE AT LEAST WEEKLY WITH MOISTURE PROBE. SAMPLE THE ROOTBALL AND SURROUNDING SOIL. SOIL SHOULD BE MOIST THROUGHOUT THE SOIL PROFILE. THE ROOTBALL MUST NOT BE ALLOWED TO DRY OUT OR BE ALLOWED TO SIT IN STANDING WATER. EVER. ADJUST WATERING SCHEDULE BASED UPON RESULTS.

1 LANDSCAPE PLAN
 24"x36" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"

CITY REQUIRED NOTES

NOTE:
 "ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS"

NOTE:
 "IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED."

NOTE: IRRIGATION TYPE
 THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED BUBBLER SYSTEM WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.

MAINTENANCE:
 "ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY:
 PERMITTEE or OWNER/PERMITTEE

LANDSCAPE IRRIGATION AREAS IN THE PUBLIC R.O.M. SHALL BE MAINTAINED BY:
 PERMITTEE or OWNER/PERMITTEE

THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT."

NOTE:
 "IF ANY LANDSCAPE MATERIAL OR IRRIGATION SYSTEMS ARE DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED AND REPAIRED IN-KIND"

"MULCH ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMG 142.048."

IRRIGATION LEGEND

EQUIPMENT				SHRUBS			
SYMBOL	DESCRIPTION	REMARKS	DETAIL	SYMBOL	KEY	BOTANICAL/COMMON NAME	REMARKS
[M]	EXISTING WATER METER AND SERVICE LINE (VERIFY SIZES AND FUNCTION IN THE FIELD)		--	[RHA CL A]	RHAPHIOLEPIS CLARA	PINK INDIA HAWTHORN	5 gal 1 J L-2 4x4' 3-L
[B]	FERCO MODEL 10/175 BRASS ATMOSPHERIC BACKFLOW PREVENTER, INSTALL PER CODE ABOVE HIGHEST OUTLET. USE NEW BACKFLOW ONLY IF EXISTING SYSTEM HAS NONE.		D L-2			PROVIDE AND INSTALL 3" DEEP MULCH AROUND ALL PLANTINGS	
[V]	NEGO T500A BALL VALVE (LINE SIZE)		G L-2				
[R]	RAIN BIRD XCF-PRD SERIES CONTROL ZONE ASSEMBLY WITH T-808-II BATTERY CONTROLLED LOW FLOW D/F VALVES AND PRESSURE REGULATING FILTER. INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX.		E L-2				
[F]	FLUSH VALVE-INSTALL AT LEAST ONCE AT EACH SYSTEM VALVE AT ENDS OF LINES AND FARTHEST FROM SOURCE. PLACE IN ROUND LOCKING VALVE BOX WITH GRAVEL AND EXTRA LENGTH OF BLANK TUBING		--				
[P]	PVC WATER PIPE CL 305 MAINLINE 2" AND LARGER		AB L-2				
[S]	PVC WATER PIPE SCH 40 (MAINLINE 1/2" AND SMALLER)						
[L]	PVC WATER PIPE CL 200 3/4"-1-1/2" (LATERALS)						
[B]	PVC PIPE/SLEEVE SCH 40 - 2" MIN OR 2X DIA. OF PIPE OR WIRE BUNDLE. INSTALL WHERE SHOWN AND ALL STREET OR DRIVE CROSSINGS		--				
ALL IRRIGATION PIPING SHALL BE 3/4" SIZE UNLESS NOTED OTHERWISE							

SPRINKLER HEADS			
SYMBOL	DESCRIPTION	DISCHARGE: GPM	DETAIL
[M]	METAFLEX REG LINE CV IV, 42 GPM DRIPPERS AT 12" INTERVAL WITH ROW SPACING OF 12-18" O.C. SCRATCH INTO GROUND AND COVER W/ MULCH TYPICAL. THE SYMBOL REPRESENTS AREA WATERED NOT THE EXACT LAYOUT - INSTALL WITH FLUSH AND AIR RELIEF VALVES PER MFG.		6 L-2

ALL LATERAL LINES SHALL BE 3/4" SIZE
 VERIFY SIZES AND FULL FUNCTIONAL OPERATION OF EXISTING IRRIGATION SYSTEM COMPONENTS AT THE SITE. REPLACE NON-FUNCTIONING OR MISSING EQUIPMENT TO MATCH THE EXISTING OR PER THE LEGEND ABOVE.



PRIVATE CONTRACT

TITLE SHEET FOR:
SPRINT TELECOMMUNICATIONS SITE
 SPRINGFIELD STREET

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET L-10F 8 SHEETS

SPRINT NO. SD14K911
 PROJECT NO. _____

FOR CITY ENGINEER: _____ DATE: _____ V.T.M. _____

DESCRIPTION	BY	APPROVED	DATE	FILED
ZD# 90% AA	AA		11/2/17	
ZD# 100% AA	AA		11/13/17	
ZD# 100% REV	KM		02/07/18	

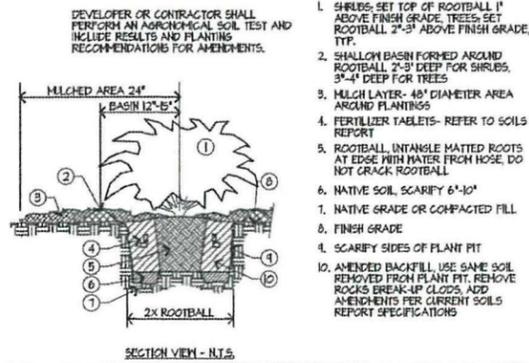
AS-BUILTS

CONTRACTOR: _____ DATE STARTED: _____ DATE COMPLETED: _____

INSPECTOR: _____

1844-6311
 NAD83 COORDINATES
 204-1751
 LAMBERT COORDINATES

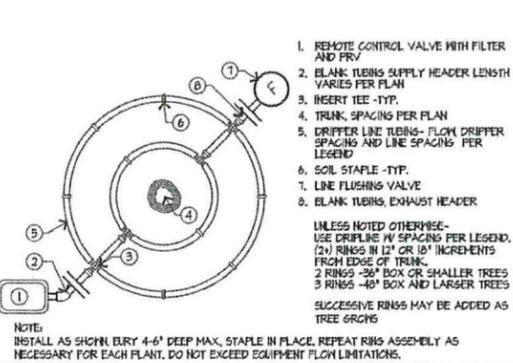
33268-L-1D



1. SHRUBS: SET TOP OF ROOTBALL 1\"/>
- 2. SHALLOW BASH FORMED AROUND ROOTBALL 2-3\"/>
- 3. MULCH LAYER- 48\"/>
- 4. FERTILIZER TABLETS- REFER TO SOILS REPORT
- 5. ROOTBALL, UNANGLE MATTED ROOTS AT EDGE WITH WATER FROM HOSE, DO NOT CRACK ROOTBALL
- 6. NATIVE SOIL, SCARIFY 6\"/>
- 7. NATIVE GRADE OR COMPACTED FILL
- 8. FINISH GRADE
- 9. SCARIFY SIDES OF PLANT PIT
- 10. AMENDED BACKFILL, USE SAME SOIL REMOVED FROM PLANT PIT, REMOVE ROCKS BREAK-UP CLUMPS, ADD AMENDMENTS PER CURRENT SOILS REPORT SPECIFICATIONS

SECTION VIEW - N.T.S.

J) PLANTING PITS

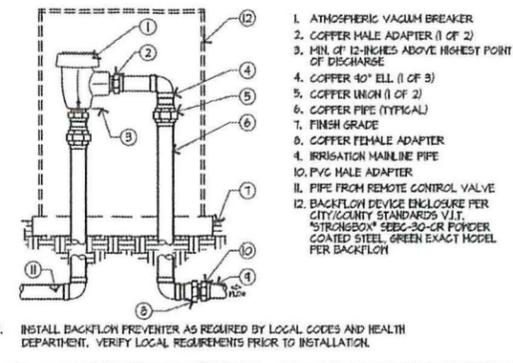


1. REMOTE CONTROL VALVE WITH FILTER AND FRY
 2. BLANK TUBING SUPPLY HEADER LENGTH VARIES PER PLAN
 3. INSERT TEE -TYP.
 4. TRUNK, SPACING PER PLAN
 5. DRIPPER LINE TUBING- FLOW DRIPPER SPACING AND LINE SPACING PER LEGEND
 6. SOIL STAPLE -TYP.
 7. LINE FLUSHING VALVE
 8. BLANK TUBING, EXHAUST HEADER
- UNLESS NOTED OTHERWISE-
USE DRIPLINE W/ SPACING PER LEGEND.
(2) RINGS IN 12\"/>

SUCCESSIVE RINGS MAY BE ADDED AS TREE GROWS

NOTE:
INSTALL AS SHOWN BURY 4-6\"/>

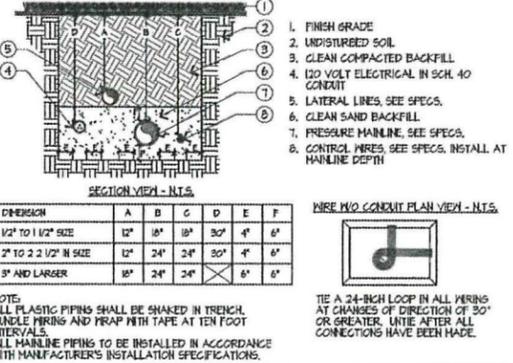
G) DRIPLINE RING LAYOUT



1. ATMOSPHERIC VACUUM BREAKER
2. COPPER MALE ADAPTER (1 OF 2)
3. MIN. OF 12-INCHES ABOVE HIGHEST POINT OF DISCHARGE
4. COPPER 40\"/>
- 5. COPPER UNION (1 OF 2)
- 6. COPPER PIPE (TYPICAL)
- 7. FINISH GRADE
- 8. COPPER FEMALE ADAPTER
- 9. IRRIGATION MAINLINE PIPE
- 10. PVC MALE ADAPTER
- 11. PIPE FROM REMOTE CONTROL VALVE
- 12. BACKFLOW DEVICE ENCLOSURE PER CITY/COUNTY STANDARDS V.I.T. STRONGBOX® SEEBG-30-OR POWDER COATED STEEL, GREEN EXACT MODEL PER BACKFLOW

1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

D) ATMOSPHERIC VACUUM BREAKER



SECTION VIEW - N.T.S.

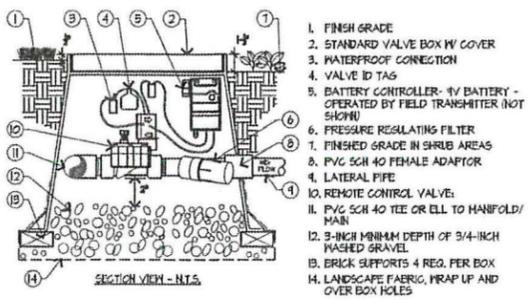
DIMENSION	A	B	C	D	E	F
1/2\"/> <tr> <td>2\"/> <tr> <td>3\"/> </td></tr></td></tr>	2\"/> <tr> <td>3\"/> </td></tr>	3\"/>				
2\"/> <tr> <td>3\"/> </td></tr>	3\"/>					
3\"/>						

NOTE:
ALL PLASTIC PIPING SHALL BE SNAKED IN TRENCH, BUNDLE WIRING AND WRAP WITH TAPE AT TEN FOOT INTERVALS.
ALL MAINLINE PIPING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS.

WIRE AND CONDUIT PLAN VIEW - N.T.S.

NOTE:
TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OF 30\"/>

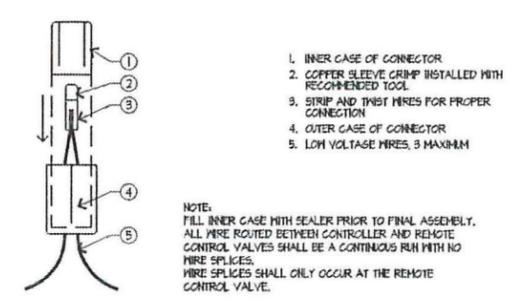
A) PIPE AND WIRE TRENCHING



1. FINISH GRADE
2. STANDARD VALVE BOX W/ COVER
3. WATERPROOF CONNECTION
4. VALVE ID TAG
5. BATTERY CONTROLLER- 1V BATTERY - OPERATED BY FIELD TRANSMITTER (NOT SHOWN)
6. PRESSURE REGULATING FILTER
7. FINISHED GRADE IN SHRUB AREAS
8. PVC SCH 40 FEMALE ADAPTOR
9. LATERAL PIPE
10. REMOTE CONTROL VALVE:
11. PVC SCH 40 TEE OR ELL TO MAINFOLD/ MAIN
12. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
13. BRICK SUPPORTS 4 REQ. PER BOX
14. LANDSCAPE FABRIC, WRAP UP AND COVER BOX HOLES

SECTION VIEW - N.T.S.

E) DRIP VALVE- BATTERY CONTROLLER



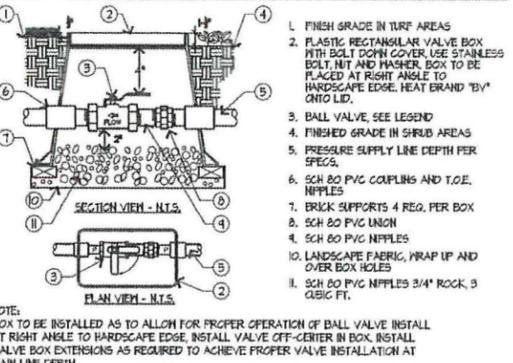
1. INNER CASE OF CONNECTOR
2. COPPER SLEEVE CRIMP INSTALLED WITH RECOMMENDED TOOL
3. STRIP AND TWIST WIRES FOR PROPER CONNECTION
4. OUTER CASE OF CONNECTOR
5. LOW VOLTAGE WIRES, 3 MAXIMUM

NOTE:
FILL INNER CASE WITH SEALER PRIOR TO FINAL ASSEMBLY. ALL WIRE ROUTED BETWEEN CONTROLLER AND REMOTE CONTROL VALVES SHALL BE A CONTINUOUS RUN WITH NO WIRE SPLICES. WIRE SPLICES SHALL ONLY OCCUR AT THE REMOTE CONTROL VALVE.

B) WATERPROOF WIRE SPLICE

F) NOT USED

C) BALL VALVE



1. FINISH GRADE IN TURF AREAS
2. PLASTIC RECTANGULAR VALVE BOX WITH BOLT DOWN COVER, USE STAINLESS BOLT, NUT AND WASHER, BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE, HEAT BRAND "BY" ONTO LID.
3. BALL VALVE, SEE LEGEND
4. FINISHED GRADE IN SHRUB AREAS
5. PRESSURE SUPPLY LINE DEPTH PER SPECS.
6. SCH 80 PVC COUPLINGS AND T.O.E. NIPPLES
7. BRICK SUPPORTS 4 REQ. PER BOX
8. SCH 80 PVC UNION
9. SCH 80 PVC NIPPLES
10. LANDSCAPE FABRIC, WRAP UP AND COVER BOX HOLES
11. SCH 80 PVC NIPPLES 3/4\"/>

NOTE:
BOX TO BE INSTALLED AS TO ALLOW FOR PROPER OPERATION OF BALL VALVE. INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE. INSTALL VALVE OFF-CENTER IN BOX. INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAIN LINE DEPTH.



DMLA
Landscape Architectural
34032 Alcazar Dr., Dana Point, Ca 92629
david@dmlanllas.com
p(949)388-3369

PRIVATE CONTRACT

TITLE SHEET FOR:
SPRINT TELECOMMUNICATIONS SITE
SPRINGFIELD STREET

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET L-2DF # SHEETS		SPRINT NO. 50JAN0911 PROJECT NO.
FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION	BY	APPROVED
ZDs 90%	AA	11/17/17
ZDs 100%	AA	11/15/17
ZDs 100% REV	KM	02/07/18
AS-BUILTS		
CONTRACTOR	DATE STARTED	33268-L-2D
INSPECTOR	DATE COMPLETED	

1844-6311
NAD83 COORDINATES
204-1751
LAMBERT COORDINATES

PLANTING SPECS.

I. GENERAL

THESE DRAWINGS ARE DIAGNOSTIC, SHOWING INTENDED LOCATIONS AND RELATIONSHIPS OF PLANTING ELEMENTS. FINAL SITE CONDITIONS ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT. THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TESTED AND INSPECTED PRIOR TO PLANTING. ANY SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR O.A.R. PRIOR TO PURCHASE AND INSTALLATION.

II. PLANT MATERIAL/QUALITY ASSURANCE

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.). THE CONTRACTOR SHALL SUBMIT A LIST OF AVAILABILITY FOR ALL BOXED TREES THIRTY (30) DAYS BEFORE SCHEDULED PLANTING FOR APPROVAL AT THE NURSERY BY THE O.A.R. CONTRACTOR IS RESPONSIBLE FOR FURNISHING PLANT MATERIAL FREE OF PESTS OR DISEASES AND NORMAL IN FORM FOR THE SPECIES AND DESIGN CALLED FOR IN THE PLANS. ONLY AS MANY PLANTS AS CAN BE PLANTED AND WATERED THAT SAME DAY SHALL BE DISTRIBUTED IN A PLANTING AREA.

THE CONTRACTOR SHALL NOT INSTALL PLANT MATERIAL THAT IS MILDED OR HAS A DAMAGED ROOT BALL. CONTRACTOR SHALL NOT INSTALL TREES WITHIN TEN (10) FEET OF ROTATORS/IMPACT HEADS OR WITHIN THREE (3) FEET OF STREAM SPRAY HEADS. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, SIZE AND TEXTURAL DENSITY. SOIL AMENDMENT AND BACKFILL MIX AS DESCRIBED HEREIN ARE FOR BIDDING PURPOSES ONLY. SPECIFIC AMENDMENTS AND FERTILIZER WILL BE SELECTED AND SPECIFIED AFTER ROUGH GRADING IS COMPLETE AND SOILS SAMPLES CAN BE TESTED. AMENDMENT AND FERTILIZER AMOUNT AND TYPE SHALL BE AS RECOMMENDED IN THE AGRONOMIC SOILS REPORT.

III. WEED ABATEMENT

NEED ABATEMENT SHALL BEGIN AFTER ROUGH GRADING. CONTRACTOR TO IRRIGATE PLANTING AREA FOR THREE (3) WEEKS OR UNTIL SUFFICIENT WEED SEEDS HAVE GERMINATED. AFTER WHICH A CONTACT HERBICIDE IS APPLIED BY A LICENSED PEST CONTROL APPLICATOR. IRRIGATION IS STOPPED FOR FORTY-EIGHT (48) HOURS. THE DEAD WEEDS ARE THEN REMOVED AND AFTER SUCH TIME AS NECESSARY FOR THE HERBICIDE TO DISAPPEAR, PLANTING MAY BEGIN.

IV. SOIL PREPARATION

NO SOIL PREPARATION SHALL BE DONE UNTIL ROUGH GRADING HAS BEEN APPROVED BY THE O.A.R. CROSS RIP ALL PLANTING AREAS TO DEPTH OF TWELVE (12) INCHES AND UNIFORMLY BLEND THE FOLLOWING AMENDMENTS INTO THE TOP SIX (6) INCHES AS PART OF THE FINISH GRADING WORK:
PER THOUSAND (1000) SQUARE FEET:
TWO HUNDRED (200) POUNDS 'SRO-POWER PLUS'
SIX (6) CUBIC YARDS NITROGEN STABILIZED ORGANIC AMENDMENT
TWO HUNDRED (200) POUNDS AGRICULTURAL GYPHUM

V. FINISHED GRADING

AFTER ROUGH GRADING, WEED ABATEMENT AND SOIL PREPARATION ALL PLANTING AREAS SHALL BE SMOOTHLY GRADED. THE GRADE SHALL BE UNIFORM AND SMOOTH WITH NO ABRUPT CHANGES OF SURFACE. GRADING SHALL PROVIDE FOR NATURAL RUNOFF WITHOUT LOW SPOTS. FLOW LINES SHALL BE ACCURATELY SET BY INSTRUMENT AT TWO (2) PERCENT MINIMUM SLOPE. CONTRACTOR SHALL REMOVE FROM PLANTING AREAS ALL DEBRIS, WEEDS AND ROCK LARGER THAN ONE (1) INCH IN DIAMETER FROM THE TOP SIX (6) INCHES OF SOIL AND DEPOSED OF OFF-SITE.

VI. INSTALLATION

THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TREES INSTALLED AND A COVERAGE TEST COMPLETED PRIOR TO ANY CONTAINER OR GROUND COVER MATERIAL INSTALLATION. EXCAVATION FOR PLANTING SHALL INCLUDE THE STOCKPILING OF TOPSOIL FROM WITHIN AREAS TO BE EXCAVATED FOR TREES. TREE HOLES, PLANT FITS AND BEDS, ALL EXCAVATED PLANTING HOLES SHALL HAVE VERTICAL, SCARIFIED SIDES, THREE (3X) THE SIZE OF THE DIAMETER AND SIX (6) INCHES MINIMUM DEEPER THAN THE ROOTBALL. EXCESS SOIL GENERATED FROM THE EXCAVATIONS AND NOT USED AS BACKFILL OR IN ESTABLISHING FINAL GRADES SHALL BE REMOVED FROM THE SITE. INSPECT ROOTBALL AND GENTLY LOOSEN OR UNHANGLE MATTED ROOTS, DO NOT CRACK ROOTBALL. REPLACE ANY PLANTS WITH ROOTS GIRDLING THE ROOTBALL. THE CROWN AREA OF TREES AND SHRUBS SHALL BE 2" HIGHER AFTER SETTLING, THAN ADJACENT FINISH GRADE. THE APPROVED BACKFILL FOR PLANT FITS SHALL CONSIST OF THE FOLLOWING MIX. PLANT FITS SHALL BE FILLED TO THE REQUIRED GRADE AND THOROUGHLY SETTLED BY WATER APPLICATION AND TAMPING.
PER CUBIC YARD OF MIX, UNIFORMLY BLENDED:
SIX (6) PARTS BY VOLUME ON-SITE SOIL OR NON SALINE, NON SODIC, LOW BORON CONTENT SANDY TEXTURED TOP SOIL
FOUR (4) PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT
THIRTY (30) POUNDS 'SRO-POWER PLUS'
THIRTY (30) POUNDS AGRICULTURAL GYPHUM

BACKFILL FIT HALFWAY THEN PLACE 'SRO-POWER' SEVEN (7) GRAM OR 'AGRIFORM' THIRTY ONE (31) GRAM SLOW RELEASE PLANTING TABLETS SPREAD EVENLY AROUND ROOTBALL. THE NUMBER OF TABLETS PER PLANT SHALL BE PER THE MANUFACTURER. PROVIDE A DEPRESSIONED WATER BASIN AS NIDE AS THE ROOT BALL FOR EACH PLANT. WATER AGAIN THOROUGHLY. UNITE VINES AND REMOVE ALL STAKES AND TRELLISES THEN SECURELY FASTEN AND TRAIN AGAINST WHATEVER STRUCTURE NEXT TO WHICH THEY ARE PLANTED. TREES MUST BE STAKED AND/OR GUYED AT THE TIME OF PLANTING. LAY SOIL WITHIN TWO (2) DAYS OF DELIVERY AND DO NOT STORE IN HOT SUN. SET IN A STAGGERED PATTERN ON PRE-IRRIGATED MOIST GROUND AND SET FIRMLY AGAINST OTHER SOIL PIECES. WATER THOROUGHLY AFTER PLANTING. UNLESS NOTED OTHERWISE, CONTRACTOR SHALL PLANT GROUND COVERS IN STRAIGHT ROWS, EVENLY SPACED IN A TRIANGULAR PATTERN AT THE INTERVALS LISTED IN THE DRAWINGS. AFTER ALL PLANTING IS COMPLETED, TOP DRESS ALL LANDSCAPED AREAS, EXCLUDING TURF, WITH A 2" LAYER OF SINGLE GRAIN SHREDDED BARK MULCH. THIS LAYER IS IN ADDITION TO SOIL AMENDMENT MATERIALS. UNLESS DIRECTED OTHERWISE BY THE O.A.R., PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES AND SUCKER GROWTH.

VII. GUARANTEE

CONTRACTOR SHALL PROVIDE A NINETY (90) DAY GUARANTEE FOR ALL PLANTS EXCLUDING TREES WHICH SHALL BE GUARANTEED FOR ONE (1) FULL YEAR, DURING THE GUARANTEE PERIOD THE CONTRACTOR SHALL REPLACE IN A TIMELY MANNER ANY PLANTS THAT ARE UNHEALTHY, MISSING OR DEAD. THIS GUARANTEE SHALL NOT INCLUDE DAMAGE TO GROUND COVER FROM EXCESSIVE RAIN RUN-OFF AND EXTREME WINDS, SUCH 'NATURAL' DAMAGE SHALL BE REPAIRED FOR THE AND MATERIALS.

VIII. MAINTENANCE

CONTRACTOR SHALL INCLUDE IN THEIR BID FOR A 90 DAY MAINTENANCE PERIOD AFTER FINAL LANDSCAPE ACCEPTANCE BY THE OWNER. THIS MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, KEEPING ALL AREAS WEED FREE, WATERED, PEST AND DISEASE FREE AND ANY OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS PLANT GROWTH AND APPEARANCE.

IRRIGATION SPECS.

I. GENERAL CONDITIONS

THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING WATER PRESSURE (P.S.I.) AND AVAILABLE FLOW (G.P.M.) PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL PRESSURE AND FLOW AVAILABLE WITH THOSE SHOWN IN THESE DRAWINGS. THIS DESIGN IS DIAGNOSTIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. DO NOT HURRILY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREAS SIZE AND LAYOUT THAT WERE NOT CONSIDERED IN THE ORIGINAL DESIGN. NOTIFY THE O.A.R. OF SUCH OBSTRUCTIONS AND DIFFERENCES IMMEDIATELY. IN THE EVENT THAT THE NOTIFICATIONS REQUIRED BY THESE NOTES ARE NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REVISION NECESSARY.

II. QUALITY ASSURANCE AND REQUIREMENTS

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

III. MATERIALS/INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORSEEN OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING. THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FINAL LOCATION OF THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE APPROVED BY THE O.A.R. PRIOR TO INSTALLATION.

THE 120 VOLT ELECTRICAL CONNECTION FOR THE CONTROLLER SHALL BE FURNISHED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE ROUTE OF THE ELECTRICAL SERVICE TO THE APPROVED CONTROLLER LOCATION WITH THE GENERAL CONTRACTOR. THE SERVICE TO THE CONTROLLER JUNCTION BOX SHALL BE INSTALLED BY A LICENSED ELECTRICIAN. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS TO THE AUTOMATIC CONTROLLERS FROM THE PROVIDED JUNCTION BOX.

III. MATERIALS/INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORSEEN OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING. THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FINAL LOCATION OF THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE APPROVED BY THE O.A.R. PRIOR TO INSTALLATION.

THE 120 VOLT ELECTRICAL CONNECTION FOR THE CONTROLLER SHALL BE FURNISHED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE ROUTE OF THE ELECTRICAL SERVICE TO THE APPROVED CONTROLLER LOCATION WITH THE GENERAL CONTRACTOR. THE SERVICE TO THE CONTROLLER JUNCTION BOX SHALL BE INSTALLED BY A LICENSED ELECTRICIAN. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS TO THE AUTOMATIC CONTROLLERS FROM THE PROVIDED JUNCTION BOX.

ALL PIPES FROM THE CONTROLLER TO THE AUTOMATIC VALVES SHALL BE COPPER, DIRECT BURIAL, MINIMUM #4 GAUGE. INSTALL IN THE SAME TRENCH AS THE MAINLINE WHERE POSSIBLE. COMMON PIPE TO BE WHITE IN COLOR. OTHER PIPES TO BE A DIFFERENT COLOR FOR EACH CONTROLLER USED. BUNDLE AND TAPE PIPES A MINIMUM OF TEN (10) FEET ON CENTER.

THE CONTRACTOR SHALL RUN THREE (3) SPARE PIPES AND ONE (1) COMMON NIRE FROM THE CONTROLLER TO EACH END OF THE MAIN LINE FOR FUTURE USE. EXTEND THE PIPES AN EXTRA TEN (10) FEET, MAKE A COIL AND PLACE IN A RECTANGULAR FULL BOX, LABEL THE LID "SP".

ALL MAINLINE PIPING AND CONTROL PIPES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF THREE (3) THE DIAMETER OF THE PIPE TO BE SLEEVED. SIZE NIRE SLEEVES SO THAT PIPES ARE NOT BOUND IN PIPE. MINIMUM COVERAGE FOR SLEEVES SHALL BE THIRTY FOUR (34) INCHES FOR SLEEVED LATERAL LINES. THIRTY (30) INCHES FOR 120 VOLT PIPING IN CONDUIT AND THIRTY SIX (36) INCHES FOR SLEEVED MAINLINE AND/OR CONTROL PIPING.

ALL LATERAL LINE PIPING UNDER PAVEMENT NOT SLEEVED, SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO PAVING.

DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM. TRENCH MUST BE FREE OF ROCKS, DEBRIS OR ANY SHARP OBJECTS. SNAKE PLASTIC PIPE IN TRENCH MINIMUM COVERAGE FOR MAINLINE SIZES 1 1/2" AND SMALLER IS EIGHTEEN (18) INCHES. FOR SIZES 2" AND LARGER COVERAGE IS THIRTY FOUR (34) INCHES. FOR LATERAL LINES TWELVE (12) INCHES. 120 VOLT PIPING IN CONDUIT THIRTY (30) INCHES AND LOW VOLTAGE CONTROL WIRE TWELVE (12) INCHES MINIMUM OR THE SAME DEPTH AS THE MAINLINE. DO NOT INSTALL ANY PIPE OR WIRING DIRECTLY OVER ANOTHER.

BALL VALVES, GATE VALVES, REMOTE CONTROL VALVES (EXCEPT FOR ANTI-SIPHON TYPE) AND QUICK COUPLERS SHALL BE INSTALLED IN BELOW GRADE LOCKABLE BOXES MANUFACTURED BY ANETEK OR CARSON USE ROUND BOXES FOR GATE VALVE, BALL VALVES AND QUICK COUPLERS AND RECTANGULAR BOXES FOR REMOTE CONTROL VALVES. VALVE BOX LIDS SHALL BE GREEN COLOR, LABELED "BY", "GV", "GC" OR "RCV" WITH CONTROLLER STATION NUMBER.

SET VALVE BOXES ONE (1) INCH ABOVE FINISH GRADE. SET VALVES AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND THE VALVE. INSTALL IRRIGATION EQUIPMENT SO THE VALVE BOXES FIT WITHOUT CUTTING THE WALLS OF THE VALVE BOXES. CUT VALVE BOXES SHALL BE REPLACED AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS UNLESS DIRECTED OTHERWISE BY THE O.A.R. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE. INSTALL ALL SPRINKLERS ON RISERS TWELVE (12) INCHES AWAY FROM WALLS AND STRUCTURES.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUND-COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE (1) INCH ABOVE FINISH GRADE. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH ADJACENT PAVING.

AFTER RECEIVING NOTIFICATION BY THE O.A.R., THE CONTRACTOR WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE QUARTER (1/4) INCH ABOVE FINISH GRADE. INSTALL ANTI DRAIN VALVES TO ELIMINATE LOW HEAD DRAINAGE. ANTI DRAIN VALVE (ADV) UNITS MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION, CONTRACTOR SHALL VERIFY WITH ON SITE GRADES IF THERE IS AN ELEVATION DIFFERENCE OF TWO (2) FEET OR MORE BETWEEN THE HIGHEST AND LOWEST SPRINKLER HEAD ON A SYSTEM. INSTALL THE ADV WHERE NECESSARY.

ALL SOLVENT WELD PVC PRESSURE LINES AND FITTINGS MUST RECEIVE PRIMER BEFORE SOLVENT WELDING. IV. ADJUSTING AND TESTING THE SYSTEM
AFTER PIPELINE ASSEMBLY THE CONTRACTOR SHALL THOROUGHLY FLUSH THE SYSTEM WITH OPEN ENDS ALL CAPPED PRESSURE TEST FOR FOUR (4) HOURS AT 150 P.S.I.

AFTER COVERAGE AND PRESSURE TESTING THE CONTRACTOR SHALL INSTALL ALL TERMINAL FIXTURES AND PERFORM A COVERAGE TEST. THE CONTRACTOR SHALL ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVERTSPRAY. THIS SHALL INCLUDE THE USE OF VARIABLE ARC NOZZLES (VAN) AND PRESSURE COMPENSATING SCREENS (PCS). THE SELECTION OF THE BEST DEGREE OF ARC TO FIT THE SITE AND THROTTLING OF THE FLOW CONTROL AT EACH VALVE TO FIND THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. THE ENTIRE SYSTEM SHALL BE IN FULL AUTOMATIC OPERATION FOR ONE SEVEN (7) DAYS PRIOR TO ANY PLANTING.

V. SUBMITTALS

UPON COMPLETION THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. THESE AS-BUILTS SHALL SHOW THE LOCATIONS OF ALL POINTS OF CONNECTION, VALVES, CROSSINGS, QUICK COUPLERS AND OTHER MAINLINE COMPONENTS DIMENSIONED ACCURATELY FROM TWO (2) PERMANENT SITE OBJECTS. IN ADDITION THE CONTRACTOR SHALL SUPPLY TWO (2) CONTROLLER CHARTS SHOWING EACH VALVE'S COVERAGE AREA COLOR CODED TO THE CORRESPONDING CONTROLLER STATION.

THE CONTRACTOR MUST ALSO FURNISH TWO (2) SETS EACH OF THE FOLLOWING: ANY SPECIAL VALVE OR SPRINKLER ADJUSTMENT TOOLS, KEYS FOR THE CONTROLLER ENCLOSURES, QUICK COUPLER KEYS AND ANY OPERATION MANUALS FOR THE EQUIPMENT INSTALLED.

VI. GUARANTEE

THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.

VII. MAINTENANCE

A QUALIFIED SUPERVISOR SHALL BE RESPONSIBLE FOR OPERATING THE IRRIGATION SYSTEMS, ADJUSTING THE CONTROLLERS AND OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM. CHART ALL CONTROLLER PROGRAMS, RECORDING DATE, TIME, LENGTH OF WATERING FOR EACH STATION. RESET CONTROLLER AT LEAST MONTHLY TO ACCOUNT FOR SEASONAL VARIATIONS. INSPECT AND ADJUST THE ENTIRE IRRIGATION SYSTEM WEEKLY DURING APRIL THRU OCTOBER AND BI-WEEKLY FOR THE REST OF THE YEAR. CHECK FOR LEAKS, WET AND DRY SPOTS, USE A MOISTURE SENSING DEVICE TO EVALUATE ACTUAL SOIL MOISTURE. OBSERVE NOZZLES FOR PROPER PATTERN AND PRESSURE.

GENERAL NOTES

- THE LANDSCAPE ARCHITECT WILL INTERPRET THE MEANING OF ANY PART OF THE PLANS AND SPECIFICATIONS ABOUT WHICH ANY MISUNDERSTANDING MAY ARISE, AND HIS DECISION WILL BE FINAL.
- THE CONTRACTOR SHALL OBTAIN CLARIFICATION TO QUESTIONS RELATIVE TO THE DRAWINGS BEFORE SUBMITTING A BID.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL CARRY NECESSARY CALIFORNIA STATE CONTRACTORS LICENSE OR CERTIFICATE FOR TYPE OF WORK LISTED, SUCH AS C-21.
- THE CONTRACTOR SHALL CARRY ALL NECESSARY COMPENSATION AND LIABILITY INSURANCE TO COVER HIS WORKMEN AND WORK TO FULLY PROTECT THE OWNER FROM ANY POSSIBLE SUIT OR LITIGATION.
- THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND LICENSES AND ASSURE THAT ALL WORK TO BE PERFORMED MEETS OR EXCEEDS ALL APPLICABLE CODES AND ORDINANCES OF PRIVATE OR GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK AT NO EXPENSE TO THE OWNER. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, UNDER ROADWAYS, DRIVES AND PAVING, ETC.
- THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, OF BRANDS AND TYPES SHOWN AND DESCRIBED IN THESE DRAWINGS.
- THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING ALL EQUIPMENT AND MATERIALS. ALL MATERIALS AND EQUIPMENT THAT IS DAMAGED WILL BE DESTROYED, EVEN IF INSTALLED AND SHALL BE REPAIRED OR REPLACED AT THE DISCRETION OF THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT ALL PLANTING AREAS FROM EXCESSIVE COMPACTION WHEN TRUCKING MATERIALS AND EQUIPMENT TO AND WITHIN THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO MATERIALS ONCE DELIVERED TO JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
- ALL PROGRESS INSPECTIONS SHALL BE COMPLETED BEFORE SUCCEEDING WORK IS STARTED. ANY WORK COVERED UP BEFORE REQUIRED INSPECTIONS ARE COMPLETED WILL BE EXPOSED FOR REVIEW AT THE CONTRACTOR'S EXPENSE.
- CLEANUP SHALL BE DONE AS EACH PORTION OF THE WORK PROGRESSES. REFUSE AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE. ALL WALLS AND PAVING SHALL BE BROCHED AND ANY DAMAGE OCCURRING TO THE WORK OF OTHERS SHALL BE REPAIRED TO ORIGINAL CONDITION.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.
- UNLESS NOTED OTHERWISE ALL STRUCTURAL IMPROVEMENTS SHALL BE INSTALLED PRIOR TO IRRIGATION AND PLANTING OPERATIONS.
- IN THE CASE WHERE EXTRA WORK OR CHANGES WILL RESULT IN ANY INCREASED COSTS OVER THE CONTRACT FEE, THE CONTRACTOR SHALL FIRST RECEIVE THE OWNER'S EXPRESSED WRITTEN APPROVAL FOR SUCH ADDITIONAL FUNDS PRIOR TO PURCHASING MATERIALS OR DOING THE WORK/CHANGES.

MAINTENANCE

- GENERAL
THE OWNER OR LESSEE WILL ENGAGE A MAINTENANCE CONTRACTOR FOR THE MAINTENANCE OF THE SITE LANDSCAPE FOR THE LIFE OF THE LEASE.
MAINTENANCE CONTRACTOR SHALL FURNISH ALL SUPERVISION, LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETE MAINTENANCE OF ALL LANDSCAPE AREAS.
ALL LANDSCAPE AREAS SHALL BE WATERED AS NECESSARY FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION.
PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS CONDITION. IRRIGATION AND DRAINAGE SYSTEMS KEPT IN GOOD WORKING ORDER, AND THE GENERAL SITE KEPT CLEAN AND FREE.
MAINTENANCE CONTRACTOR SHALL ROUTINELY CHECK FOR BLOCKED DRAIN INLETS, AND KEEP SHADES FREE OF LEAVES AND OTHER DEBRIS.
ALL LITTER AND TRASH INCLUDING NEEDS, LEAVES, BOTTLES AND OTHER DEBRIS SHALL BE REMOVED FROM ALL AREAS OF THE SITE AND DEPOSED OF OFF-SITE.
MAINTENANCE CONTRACTOR SHALL REPAIR OR REPLACE ALL DEAD, DAMAGED OR DISEASED PLANT MATERIAL.
- IRRIGATION
A QUALIFIED PERSON SHALL BE COMPLETELY RESPONSIBLE FOR OPERATING THE IRRIGATION SYSTEMS WITH THE DUTIES OF ADJUSTING CONTROLLERS, OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM AND MAKING MINOR ADJUSTMENTS TO THE SYSTEM.
THE IRRIGATION SYSTEM SHALL BE MAINTAINED FOR OPTIMUM PERFORMANCE. THIS INCLUDES CLEANING AND ADJUSTING ALL SPRINKLER HEADS AND VALVES FOR PROPER COVERAGE.
A CHART SHALL BE MAINTAINED TO RECORD CURRENT IRRIGATION PROGRAMS, INCLUDING DAY, TIME, AND LENGTH OF WATERING FOR EACH STATION AND PROGRAM FOR EACH CONTROLLER.
INSPECTIONS OF THE IRRIGATION SYSTEM IN OPERATION SHALL BE MADE WEEKLY DURING SUMMER MONTHS, APRIL THROUGH OCTOBER, AND BI-WEEKLY NOVEMBER THROUGH MARCH, TO DETECT A MALFUNCTIONING OF THE SYSTEM. CHECK FOR LEAKS OR WET SPOTS.
TURN ON EACH SYSTEM WITH THE CONTROLLER AND CHECK IT TO ENSURE THAT IT OPERATES CORRECTLY - OPENING AND CLOSING.
VISUALLY OBSERVE EACH SPRINKLER HEAD (NOZZLE) FOR PROPER OPERATION.
SPRAY PATTERN, PRESSURE AND WATER DISTRIBUTION.
A SOIL SAMPLING PROBE AND/OR A TENSO-METER SHALL BE USED REGULARLY TO EVALUATE ACTUAL SOIL MOISTURE LEVELS AND IRRIGATION SCHEDULE.
CHECK AT LEAST WEEKLY TO MAKE SURE AREAS ARE NOT BEING OVER OR UNDER WATERED. ADJUST THE SCHEDULE AS NECESSARY TO CORRECT FOR EITHER OF THESE SITUATIONS. RESET THE SCHEDULE ON OUR CONTROLLER AT LEAST MONTHLY. AT THIS TIME, CHECK THE TIME ON THE CONTROLLER TO MAKE SURE THAT IT IS CORRECT.
CHECK THE WATER BILL FOR EXCESSIVE CONSUMPTION. COMPARE MONTH TO MONTH AND YEAR TO YEAR. PAY SPECIAL ATTENTION TO LARGE FEE SPINGS.
LOOK AT THE GENERAL HEALTH AND "LOOK" OF THE PLANT MATERIAL.
MAKE DESIGN ADJUSTMENTS (ADDING/ DELETING OR MOVING OF HEADS, CHANGING NOZZLE TYPES, TRIMMING OR MOVING OF PLANT MATERIAL) SO THAT PROBLEMS CAN BE ELIMINATED INSTEAD OF TEMPORARILY FIXED.
ALL MALFUNCTIONING EQUIPMENT MUST BE REPAIRED PRIOR TO THE NEXT SCHEDULED IRRIGATION.
ALL REPLACEMENT HEADS SHALL BE OF THE SAME MANUFACTURER, TYPE, AND APPLICATION RATES.
- PLANTINGS
ALL AREAS MUST BE KEPT WEED FREE, BY THE USE OF ORGANIC MULCHES, HAND REMOVAL CHEMICAL CONTROLS- IN THAT ORDER.
MULCHED AREAS MUST BE REPLENISHED AS MULCH DECOMPOSES.
FERTILIZER SHALL BE APPLIED AS NEEDED USING SLOW RELEASE, ORGANIC BASED MATERIALS IN APRIL AND OCTOBER. USE AS INDICATED BY SOILS TEST ANALYSIS.
GROUND COVERS BORDERING WALKS AND CURBS SHALL BE EDGED AS NECESSARY TO PROVIDE A CLEAN CRISP LINE. VINES SHALL BE KEPT TRIMMED TO ADJACENT WALLS AS NECESSARY AND TRIMMED TO CONTROL EXCESSIVE GROWTH. NOT ALLOWING VINE TO GROW OVER WINDOWS, DOORS, GATES OR OTHER ARCHITECTURAL ELEMENTS AND EQUIPMENT.
TREE TRIMMING SHALL BE PERFORMED AS NEEDED TO MAINTAIN A NATURAL APPEARANCE.
SHRUB TRIMMING SHALL BE PERFORMED AS NEEDED TO MAINTAIN A NATURAL APPEARANCE. SHRUBS ARE INTENDED TO FILL THE PLANTING SPACE AS MUCH AS POSSIBLE. DO NOT POWER PRUNE SHRUBS INTO ODD TOPIARY SHAPES. TREES AND SHRUBS SHALL BE TRIMMED TO CORRECT ANY STRUCTURAL DEFECTS, REMOVE SUCKERS, CROSS-CROSSING BRANCHES, DEAD AND DISEASED LINES AND FOLIAGE AND TRIMMING OF THE CROWN TO REDUCE WIND DAMAGE.
SPRING GROUND COVER AREAS SHALL BE CHECKED FOR, AS THEY MAY INDICATE A FAILURE OF IRRIGATION SYSTEM OR THE NEED FOR FERTILIZER AND SOIL AMENDMENT. BARE AREAS SHALL BE RE-PLANTED TO MATCH ORIGINAL DESIGN.



PRIVATE CONTRACT

TITLE SHEET FOR:
SPRINT TELECOMMUNICATIONS SITE

SPRINGFIELD STREET

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET L-30F OF 8 SHEETS

SPRINT NO. 5034K913
PROJECT NO.

FOR CITY ENGINEER	DATE	DATE	FILED	V.T.M.
DESCRIPTION	BY	APPROVED	DATE	FILED
20s 90s	AA		11/07/17	
20s 100s	AA		11/13/17	
20s 100s REV	KM		02/07/18	
AS-BUILTS				
CONTRACTOR	DATE STARTED			
INSPECTOR	DATE COMPLETED			

1844-5311
NAD83 COORDINATES
804-1751
LAMBERT COORDINATES

33268-L-3D