



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: August 28, 2018 REPORT NO. [HO-18-068](#)

HEARING DATE: September 5, 2018

SUBJECT: MPF 10170 Sorrento Valley Road, Suite B, Process Three Decision

PROJECT NUMBER: [585472](#)

OWNER/APPLICANT: CIRE STNL, LLC, Owner / SVRMC, LLC, Applicant

SUMMARY

Issue: Should the Hearing Officer approve operation of a 36,361 square-foot Marijuana Production Facility within an existing 41,124 square-foot two-story office building at 10170 Sorrento Valley Road, Suite B within the Torrey Pines Community Plan area?

Staff Recommendation: Approve Conditional Use Permit No. 2071481.

Community Planning Group Recommendation: At the time of printing of this report, the Torrey Pines Community Planning Board (TPCPB) has not taken any action on this project, has not forwarded a recommendation or a vote at the time of the printing of this report. The project applicant has decided to continue processing their application for the City's public hearing and should a recommendation be provided by the TPCPB, then it will be provided to the decision-maker. It should be noted the TPCPB did not conduct meetings during the months of July and August.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The environmental exemption determination for this project was made on June 21, 2018, and the opportunity to appeal that determination ended July 6, 2018.

BACKGROUND

The Torrey Pines Community Plan designates the site for Light Industrial development (Attachment 2). The 2.80-acre site is located at 10170 Sorrento Valley Road in the IL-3-1 zone (Attachment 1). The building is currently being used for office purposes. The purpose and intent of the IL-3-1 zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting nonindustrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a range of uses, including nonindustrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses. The site is presently developed with industrial buildings constructed in 1985 (Attachment 3).

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The General Plan identifies a city-wide shortage of land suitable for manufacturing activities and a need to protect a reserve of manufacturing land from non-manufacturing uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed project would promote the policies of the General Plan because Marijuana Production Facilities (MPF's) are industrial/manufacturing uses. Industrial development in the Torrey Pines community is located in Sorrento Valley, which contains approximately 380 acres of industrially-designated property. Industrial development in Sorrento Valley includes manufacturing firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

MPF's are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with [San Diego Municipal Code \(SDMC\), section 141.1004](#), which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also require a minimum distance requirement of 100 feet from a residential zone. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPF's must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

DISCUSSION

Project Description

The project proposes to operate a 36,361 square-foot MPF within an existing 41,124-square-foot, two-story office building at 10170 Sorrento Valley Road, Suite B. The 2.80-acre site is in the IL-3-1 zone, within the Torrey Pines Community Plan area in Council District 1. The MPF operations would include the commercial cultivation, distribution and storage, production and testing of medical and recreational marijuana and marijuana products. (Attachment 4).

The project proposes interior improvements that include non-load bearing partitions, doors, lighting, security cameras and system, millwork, finishes throughout and associated mechanical, electrical and plumbing improvements. Other minor site improvements are proposed consistent with the City of San Diego requirements. No exterior building alterations would occur. The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official. Public improvements would include the removal of two existing driveways serving the site and replace them with two 24-foot-wide driveways per current City Standards on Sorrento Valley Road and dedicate an additional three feet on Sorrento Valley Road to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.

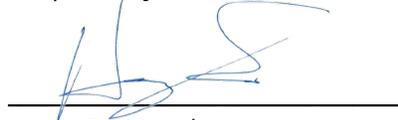
Conclusion

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The design of the proposed Project complies with all development regulations of the IL-3-1 zone and no deviations are required to approve the project. Staff has provided draft findings (Attachment 5) to support the proposed development and draft conditions of approval (Attachment 6). Staff is recommending the Hearing Officer approve the Project as presented.

ALTERNATIVES

1. Approve Conditional Use Permit No. 2071481, with modifications.
2. Deny Conditional Use Permit No. 2071481, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

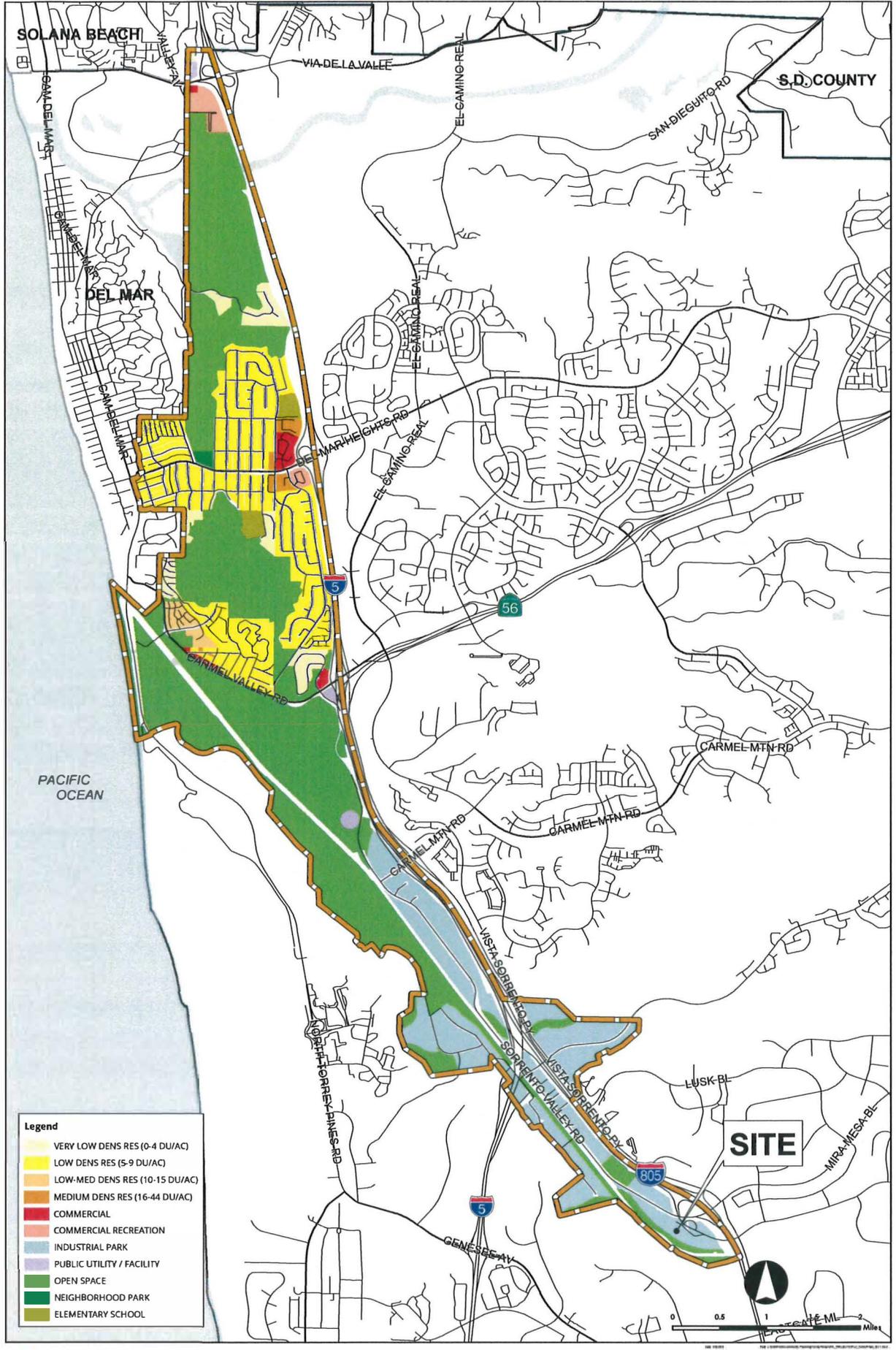


Hugo Castaneda
Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption and Notice of Right to Appeal Environmental Determination
7. Ownership Disclosure Statement
8. Project Plans



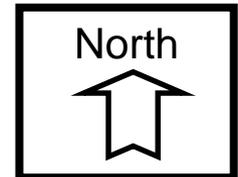




Aerial Photo

MPF 10170 Sorrento Valley Rd, Suite B

PROJECT NO. 585472



HEARING OFFICER RESOLUTION NO. HO-XXXX
CONDITIONAL USE PERMIT NO. 2071481
MPF 10170 SORRENTO VALLEY ROAD, SUITE B - PROJECT NO. 585472

WHEREAS, CIRE STNL, LLC, a California limited liability company, Owner, and SVRMC, LLC, a California limited liability company, Permittee, filed an application with the City of San Diego for a permit to operate a 36,361-square-foot Marijuana Production Facility within an existing 41,124-square-foot two-story office building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2071481), on portions of a 2.80-acre site;

WHEREAS, the project site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the Torrey Pines Community Plan;

WHEREAS, the project site is legally described as all that portion of acre Lot 4 of Sorrento Lands and Townsite, according to Map thereof No. 483, filed February 9, 1888, lying northeasterly of the right-of-way of Atchison, Topeka and Santa Fe Railroad Co., formerly California Southern Railroad;

WHEREAS, on June 21, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 5, 2018, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2071481 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 5, 2018.

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed project requests a Conditional Use Permit to operate a 36,361 square-foot Marijuana Production Facility (MPF) within an existing 41,124 square-foot, two-story office building. The 2.80-acre site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the Torrey Pines Community Plan.

The Torrey Pines Community Plan designates the site for Light Industrial development. The purpose and intent of the IL-3-1 zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting non-industrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a range of uses, including non-industrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses.

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The General Plan identifies a city-wide shortage of land suitable for manufacturing activities and a need to protect a reserve of manufacturing land from non-manufacturing uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed project would promote the policies of the General Plan because MPF's are industrial/manufacturing uses. Industrial development in the Torrey Pines community is located in Sorrento Valley, which contains approximately 380 acres of industrially-designated property. Industrial development in Sorrento Valley includes manufacturing

firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit and is consistent with the community plan, and therefore will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed 36,361 square-foot MPF will be located within an existing 41,124 square-foot, two-story office building. The project proposes interior improvements that include non-load bearing partitions, doors, lighting, security cameras and system, millwork, finishes throughout and associated mechanical, electrical and plumbing improvements. Other minor site improvements are proposed consistent with the City of San Diego requirements. No exterior building alterations would occur. The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official. Public improvements would include the removal of two existing driveways serving the site and replace them with two 24-foot-wide driveways per current City Standards on Sorrento Valley Road and dedicate an additional three feet on Sorrento Valley Road to provide a 10 foot curb-to-property-line distance, satisfactory to the City Engineer.

MPF's are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with San Diego Municipal Code (SDMC), section 141.1004, which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also require a minimum distance of 100 feet from a residential zone. The proposed MPF complies with the separation requirements between uses set forth in SDMC Section 141.1004 (a). Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPF's must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed project will be required to comply with the development conditions as described in the Conditional Use Permit No. 2071481. The Conditional Use Permit No. 2071481 will be valid for five years and may be revoked if the Owner/Permittee violates the terms, conditions, lawful requirements, or provisions of the Permit.

The proposed development will not be detrimental to the public's health, safety and welfare in that the discretionary permit controlling the use of this site contains specific regulatory conditions of approval, as referenced in the Conditional Use Permit No. 2071481. The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons

patronizing, residing or working within the surrounding area. Therefore, the proposed MPF will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed 36,361 square-foot MPF will be located within an existing 41,124 square-foot, two-story office building located at 10170 Sorrento Valley Road, Suite B within an existing two-story building on a 2.80-acre site. The site is located in the IL-3-1 zone in the Torrey Pines Community Plan area. The site was developed in 1985. The project proposes interior improvements including a reception area, offices, restrooms, indoor loading/unloading area, cultivation area, and drying and curing area. Other minor site improvements are proposed consistent with the City of San Diego requirements.

MPF's are allowed in the IL-3-1 Zone of the Torrey Pines Community Plan with a Conditional Use Permit. The proposed use requires compliance with San Diego Municipal Code (SDMC), Section 141.1004 and Chapter 4, Article 2, Division 15. Section 141.1004 requires a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. The proposed MPF complies with the separation requirements between uses set forth in SDMC Section 141.1004 (a). Security requirements, expressed as conditions in the Permit, include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours.

The proposed MPF is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. Therefore, the proposed MPF will comply with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The proposed 36,361 square-foot MPF within an existing 41,124 square-foot, two-story office building is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the Torrey Pines Community Plan. The Torrey Pines Community Plan designates the site for Light Industrial development. The purpose and intent of the IL-3-1 zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting nonindustrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a

range of uses, including nonindustrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses.

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The General Plan identifies a city-wide shortage of land suitable for manufacturing activities and a need to protect a reserve of manufacturing land from non-manufacturing uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed project would promote the policies of the General Plan because MPF's are industrial/manufacturing uses. Industrial development in the Torrey Pines community is located in Sorrento Valley, which contains approximately 380 acres of industrially-designated property. Industrial development in Sorrento Valley includes manufacturing firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit. The proposed MPF, classified as industrial, is consistent with the community plan and General Plan. The proposed MPF is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. The proposed Marijuana Production Facility is a compatible use for this location with a Conditional Use Permit. Therefore, the proposed MPF is an appropriate use at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2071481 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2071481, a copy of which is attached hereto and made a part hereof.

Hugo Castaneda
Development Project Manager
Development Services

Adopted on: September 5, 2018

IO#: 24007576

DRAFT

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007568

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Conditional Use Permit No. 2071481

MPF 10170 SORRENTO VALLEY ROAD, SUITE B PROJECT NO. 585472

Hearing Officer

This Conditional Use Permit No. 2071481 is granted by the Hearing Officer of the City of San Diego to CIRE STNL, LLC, a California limited liability company, Owner, and SVRMC, LLC, a California limited liability company, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 2.80-acre site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone, within the Torrey Pines Community Plan area. The project site is legally described as all that portion of acre Lot 4 of Sorrento Lands and Townsite, according to Map thereof No. 483, filed February 9, 1888, lying northeasterly of the right-of-way of Atchison, Topeka and Santa Fe Railroad Com, formerly California Southern Railroad.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate a 36,361 square-foot Marijuana Production Facility within an existing 41,124 square-foot, two-story office building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 5, 2018, on file in the Development Services Department.

The project shall include:

- a. Operation of a 36,361 square-foot Marijuana Production Facility within an existing 41,124 square-foot, two-story office building. The operation shall include the production of marijuana products consistent with the requirements of the State of California statues and the California Departments of Food and Agriculture, Consumer Affairs and Public Health regulations; and the wholesale distribution and storage of marijuana products;
- b. The Marijuana Production Facility operations will include commercial cultivation, distribution and storage, production and testing of medical and recreational marijuana and marijuana products;
- c. Off-street parking; and

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 20, 2021.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on September 20, 2023. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any State or City laws, ordinances, regulations or policies including, but not limited to, the Federal Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

BUILDING OFFICIAL REQUIREMENTS:

12. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private landscaping and irrigation within Sorrento Valley Road public right of way.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, removal of two existing driveways serving the site and replace them with two 24-foot-wide driveways per current City Standard SDG- 159 on Sorrento Valley Road, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate an additional three feet on Sorrento Valley Road to provide a 10-foot-wide curb-to-property-line distance, satisfactory to the City Engineer.

PLANNING/DESIGN REQUIREMENTS:

16. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
17. All operations shall be conducted indoors within a secured structure. All equipment and storage shall be also located within a secure structure.
18. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented to deflect light away from adjacent properties.
19. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
20. The name and emergency contact telephone number of an operator or manager shall be posted outside the marijuana production facility in a location visible to the public from the public right-of-way in character size at least two inches in height. The permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a marijuana production facility shall limit signage on the exterior of the property visible from the public right-of-way to the address.
21. A permit shall be obtained as required pursuant to SDMC Chapter 4, Article 2, Division 15.

22. The retail sale of marijuana and marijuana products shall only be conducted by a marijuana outlet in accordance with SDMC Section 141.0504. A marijuana production facility is prohibited from providing marijuana and marijuana products to any person other than another marijuana production facility, a testing lab, or a marijuana outlet.

23. The marijuana production facility, adjacent public sidewalks, and areas under the control of the marijuana production facility shall be maintained free of litter and graffiti at all times.

24. The marijuana production facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.

25. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility, to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 5, 2018 by Resolution No. HO-XXXX.

Conditional Use Permit/PTS Approval No.: 2071481
Date of Approval: September 5, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Hugo Castaneda
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CIRE STNL, LLC
a California limited liability company
Owner

By _____
Name:
Title:

SVRMC, LLC
a California limited liability company
Permittee

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION**ATTACHMENT 6***(Check one or both)*

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: MPF 10170 Sorrento Valley Road, Suite B**Project No.:** 585472**Project Location-Specific:** 10170 Sorrento Valley Road, Suite B, San Diego, CA 92121**Project Location-City/County:** San Diego/San Diego

Description of nature and purpose of the Project: The project is a Conditional Use Permit (CUP) to operate a 36,361-square-foot Marijuana Production Facility (MPF) in a suite within an existing 41,124-square-foot warehouse building at 10170 Sorrento Valley Road, Suite B in the Torrey Pines Community Plan area. The 2.90-acre site is designated Light Industrial and zoned IL-3-1. It is subject to the Coastal Overlay Zone (Non-Appealable and Appealable), Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), FEMA Floodways & Floodplains, FAA Part 77 Noticing Area for MCAS Miramar (580-590), Airport Influence Area for MCAS Miramar Review Area 1, ALUCP Noise for MCAS Miramar 60-65 CNEL, Airport Land Use Compatibility Overlay Zone for MCAS Miramar, MCAS Miramar Accident Potential Zone 2, Sensitive Vegetation, MHPA, and MSCP Vegetation - Southern Riparian Woodland.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: SVRMC, LLC
 Renny Bowden
 1495 Pacific Highway, Suite 275
 San Diego, CA 92101
 (619) 987-8296

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: CEQA Section 15301 (Existing Facilities)

Reasons why project is exempt: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, a minor modification of an existing WCF, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Anna L. McPherson AICP**Telephone:** (619) 446-5276

ATTACHMENT 6

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



/Senior Planner

July 9, 2018

Signature/Title

Date

Check One:

(X) Signed By Lead Agency

Date Received for Filing with County Clerk or OPR:

() Signed by Applicant



THE CITY OF SAN DIEGO

DATE OF NOTICE: June 21, 2018

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007576

PROJECT NO: 585472
PROJECT NAME: MPF 10170 Sorrento Valley Road, Suite B
COMMUNITY PLAN AREA: Torrey Pines
COUNCIL DISTRICT: 1
LOCATION: 10170 Sorrento Valley Road, Suite B, San Diego, CA 92121

PROJECT DESCRIPTION: The project is a Conditional Use Permit (CUP) to operate a 36,361-square-foot Marijuana Production Facility (MPF) in a suite within an existing 41,124-square-foot warehouse building at 10170 Sorrento Valley Road, Suite B in the Torrey Pines Community Plan area. The 2.90-acre site is designated Light Industrial and zoned IL-3-1. It is subject to the Coastal Overlay Zone (Non-Appealable and Appealable), Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), FEMA Floodways & Floodplains, FAA Part 77 Noticing Area for MCAS Miramar (580-590), Airport Influence Area for MCAS Miramar Review Area 1, ALUCP Noise for MCAS Miramar 60-65 CNEL, Airport Land Use Compatibility Overlay Zone for MCAS Miramar, MCAS Miramar Accident Potential Zone 2, Sensitive Vegetation, MHPA, and MSCP Vegetation - Southern Riparian Woodland.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: CEQA Exemption 15301 (Existing Facilities)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

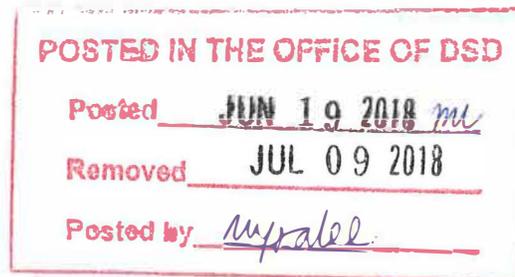
STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, as included in the Project Description of this notice, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

CITY PROJECT MANAGER: John Fisher
MAILING ADDRESS: 1222 First Avenue, MS 501
San Diego, CA 92101
PHONE NUMBER/E-MAIL: (619) [446-5231](tel:446-5231)/jfisher@sandiego.gov

On June 21, 2018 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 6, 2018). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: SDR Production **Project No. For City Use Only:** 585472
Project Address: 10170 Sorrento Valley Rd., San Diego CA 92101

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? CA Corporate Identification No. 46-2145283
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: CIRE STNL, LLC - Trevor Smith, Co-Manager of CIRE Management, LLC, Manager of CIRE STNL, LLC Owner Tenant/Lessee Successor Agency
 Street Address: 530 B Street, Suite 2050
 City: San Diego State: CA Zip: 92101
 Phone No.: (310) 547-1466 Ext.130 Fax No.: (858) 367-5884 Email: tsmith@cireequity.com
 Signature: [Signature] Date: 11/07/2017
 Additional pages Attached: Yes No

Applicant

Name of Individual: SVRMC, LLC -Renny Bowden Owner Tenant/Lessee Successor Agency
 Street Address: 1495 Pacific Highway, Suite 275
 City: San Diego State: CA Zip: 92101
 Phone No.: (619) 987-8296 Fax No.: (858)408-3400 Email: rennybowden@gmail.com
 Signature: [Signature] Date: 11/07/2017
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: Lighthouse Strategies, LLC -Michael Hayford Owner Tenant/Lessee Successor Agency
 Street Address: 1495 Pacific Highway, Suite 275
 City: San Diego State: CA Zip: 92101
 Phone No.: (619)838-8492 Fax No.: _____ Email: michael@lhslc.com
 Signature: [Signature] Date: 11/07/2017
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: SDR Production **Project No. For City Use Only:** _____
Project Address: 10170 Sorrento Valley Rd., San Diego CA 92101

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? CA Corporate Identification No. 46-2145283
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: Lighthouse Strategies, LLC -Ross C Goodman Esq. Owner Tenant/Lessee Successor Agency
 Street Address: 1495 Pacific Highway, Suite 275
 City: San Diego State: CA Zip: 92101
 Phone No.: (702) 217-0500 Fax No.: (702) 385-5088 Email: ross@rosscgoodman.com
 Signature: _____ Date: 11/07/2017
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: SDR Production **Project No. For City Use Only:** _____
Project Address: 10170 Sorrento Valley Rd., San Diego CA 92101

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? CA Corporate Identification No. 46-2145283
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: Lighthouse Strategies, LLC -Tim Walters Owner Tenant/Lessee Successor Agency
 Street Address: 1495 Pacific Highway, Suite 275
 City: San Diego State: CA Zip: 92101
 Phone No.: (617) 594-5812 Fax No.: _____ Email: timw@usctp.com
 Signature: Tim Walters Date: 11/07/2017
 Additional pages Attached: Yes No



DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
 techne-us.com sustainablearchitecture.org
 619-940-5814 313-595-5814

CONSULTANTS

PROPERTY OWNER

10170 Sorrento Valley Rd.
 San Diego CA. 92121

CIRE Equity
 530 B. St. San Diego CA. 92121

10170 Sorrento Valley Rd., Suite B,
 San Diego CA. 92121

Conditional Use Permit
 Marijuana Production Facility (MPF)

PROJECT INFORMATION		10170 Sorrento Valley Rd.	
PROJECT ADDRESS:	10170 Sorrento Valley Rd. San Diego, CA 92121		
ASSESSORS PARCEL NUMBER:	343-130-09-00		
LEGAL DESCRIPTION:	Lot: 4 Map Ref: 000483 Abbreviated Description: LOT:4 CITY:SAN DIEGO SUBD:SORRENTO LANDS & TOWNSITE 000483 LOT 4*(EX ST WID&NWLY 417.04 FT THF)ALLLY NELY OF RR R/W IN City/Muni/Twp: SAN DIEGO		
YEAR BUILT:	1985		
BUILDING CODES:	CALIFORNIA BUILDING CODE (CBC), 2016 EDITION CALIFORNIA ELECTRICAL CODE (CEC), 2016 EDITION CALIFORNIA MECHANICAL CODE (CMC), 2016 EDITION CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION CITY OF SAN DIEGO MUNICIPAL CODE		
EXISTING OCCUPANCY CLASSIFICATION:	B - Business		
PROPOSED OCCUPANCY CLASSIFICATION:	M - Mercantile & F-2		
EXISTING USE:	Office		
PROPOSED USE:	Office / Marijuana Production Facility		
CONSTRUCTION TYPE:	Type II - Sprinklered		
NUMBER OF STORIES:	2		
BUILDING HEIGHT:	~30 ft	(approximate. No change to exterior of building)	
LOT AREA:	122,038.08 sf	2.80 acres	
GROSS FLOOR AREA (First Floor Project Suite):	23,916.68 sf	(Marijuana Production Facility)	
GROSS FLOOR AREA (First Floor Remainder):	4,763.68 sf	(Adjacent suites on first floor, not part of project)	
TOTAL GROSS FLOOR AREA (First Floor):	28,680.36 sf		
TOTAL GROSS FLOOR AREA (Second Floor):	12,444.10 sf	(Marijuana Production Facility - Entire Second Floor)	
TOTAL GROSS FLOOR AREA (Project Suite):	36,360.77 sf	(Marijuana Production Facility)	
TOTAL GROSS FLOOR AREA (entire building)	41,124.46 sf		
ZONING INFORMATION		10170 Sorrento Valley Rd.	
BASE ZONE:	Industrial - IL-3-1		
OVERLAY ZONES:	Geological Hazard Category - 31, Coastal Overlay Zone, Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), FEMA Floodways & Floodplains, Torrey Pines Community Plan, FAA Part 77 Noticing Area for MCAS Miramar (580-590), Airport Influence Area for MCAS Miramar Review Area 1, ALLUCP Noise for MCAS Miramar 60-65 CNEL, Airport Land Use Compatibility Overlay Zone for MCAS Miramar, MCAS Miramar Accident Potential Zone 2, Sensitive Vegetation, MHPA, and MSCP Vegetation in the form of Southern Sycamore-Alder Riparian Woodland.		
NUMBER OF BUILDINGS:	1		
SETBACKS:	FRONT: 20'-0" (Standard Front Setback) SIDE: 10'-0" REAR: 0'-0" (Not required)		
MAX. STRUCTURE HEIGHT:	30' (Prop D)		
Max. FAR	2.0	244,076.17 sf	
Actual FAR	0.3	41,124.46 sf	

PARKING CALCULATION			
Marijuana Production Facility 1070 Sorrento Valley Rd., San Diego, CA 92121			
Uses	Area (sf)	Ratio (per 1,000sf of GFA)	Parking Stalls
Project Area			
Proposed MPF, Suite B (Light Manufacturing, Table 142-05G)	36,360.77	2.50	90.9
Retail (MMCC) (Separate CUP, Not part of project)	2,013.79	5.00	10.1
Medical, & Health Practitioners (Not Part of project)	2,749.90	4.00	11.0
Total Parking Required			112.0
Total Building Gross Floor Area	41,124.46		
* Exemption per SDMC Sec. 142.0530- Table 142-05G (6)			
Parking Ratios per SDMC Sec. 142.0530- Table 142-05E Table 142-05G			
Compact Parking (On Site)	Total Parking Spaces	Ratio	Parking Spaces
Exceptions to Parking Regulations for Non Residential (Sec. 142.0560(e)(2))	140	60% total Parking max.	84.0
Max. Compact Vehicle Spaces Allowed (On Site)			84
Proposed Carpool / Zero Emission Vehicle Parking (On Site)	Req. Parking Spaces	Ratio	Parking Spaces
	112	101-150	11.0
Total Carpool / Zero Emission Vehicle Spaces Required *	Req. Parking Spaces	Ratio	Parking Spaces
	112	101-150	7
Electric Vehicle Charging Spaces (On Site)	Req. Parking Spaces	Ratio	Parking Spaces
CGBSC, Table 5.106.5.3.3	112	101-150	7
Total Electric Vehicle Charging Stations Required *	Req. Parking Spaces	Ratio	Parking Stalls
Proposed Motorcycle Spaces (On site)	112	0.02	2.2
2% of Req. Automobile Parking (Min. Req. = 2)			2
Total Motorcycle Spaces Required *	Req. Parking Spaces	Ratio	Bicycle Spaces
Proposed Bicycle Spaces (Short Term)	112	0.05	5.6
5% of Req. Automobile Parking (Min. Req. = 2)			6
Total Short term Bicycle Spaces Required	Parking Spaces	Ratio	Parking Spaces
	112	0.05	5.6
5% of Req. Automobile Parking (Min. Req. = 1)			6
Total Long term Bicycle Spaces Required	Number / Area (sf)	Ratio	Parking Stalls
EXISTING PARKING			
Parking Spaces (Previously Conforming)	41,124.5	4.4	149
Accessible Spaces (On Site)	(Previously Conforming)	0.0	3
Bicycle Parking (On Site)	0.0	0.0	0
Motorcycle Parking (On site)	0.0	0.0	0
TOTAL			152
PROPOSED PARKING	Number / Area (sf)	Ratio	Parking Stalls
Standard Parking Spaces (On Site)	41,124.5	Varies	81
Compact Parking Spaces (On Site) (Max. 60% of required parking allowed)	140	31% of Total Parking	43
Van Accessible / Accessible Spaces (On Site)	112	101-150 (CBC 2016 118-208.2)	5
Carpool / Zero Emission Vehicles (On Site)	112	101-150	11
Electrical Vehicle Charging Parking Spaces (On Site)(Table 5.106.5.3.3 CGBSC non Res.)	112	101-150	7
Bicycle Parking (On Site, Short/Long Term)	112	0.05	12
Motorcycle Parking (On site)	112	0.02	2
TOTAL PARKING (On Site)			154
VEHICULAR PARKING SUMMARY - Proposed Project			
	Standard Parking	Compact Parking	Accessible Parking
	92	43	5
			Totals
			140

SHEET INDEX

#	SHEET NAME
G001	Cover Sheet
G002	DS-560 - Storm Water Requirements Checklist
G003	General Notes
G004	CUP Conditions
A101	Topographic Survey
A101	Site Plan - Existing
A102	Site Plan - Proposed
A102a	Site Plan - Floodway
A102b	Site Plan - Existing Easements
A102c	Site Plan - Proposed - ROW
A103	First Floor Plan - Existing
A104	Second Floor Plan - Existing
A105	Roof Plan - Existing
A106	First Floor Plan - Proposed
A107	Second Floor Plan - Proposed
A108	First Floor Security Plan - Proposed
A109	Second Floor Security Plan - Proposed

CONDITIONS FOR MARIJUANA PRODUCTION FACILITY - CUP

- The Marijuana Production Facility shall operate only between the hours of 6:00 a.m. and 10:00 p.m., seven days a week.

SCOPE OF WORK

Conversion of Suit B approximately 36,476sf of an existing 41,249sf 2-story industrial building into a Marijuana Production Facility.

- Addition of 4 short term and 4 long term on-site bicycle parking spaces.
- Addition of 2 on-site motorcycle spaces.

* Conditional Use Permit (CUP) Requested for Marijuana Production Facility.

APPLICABLE CODES

- City of San Diego Municipal Code
- 2016 California Building Code
- 2016 California Green Code
- 2016 California Plumbing Code
- 2016 California Electrical Code
- 2016 California Mechanical Code

PROJECT TEAM

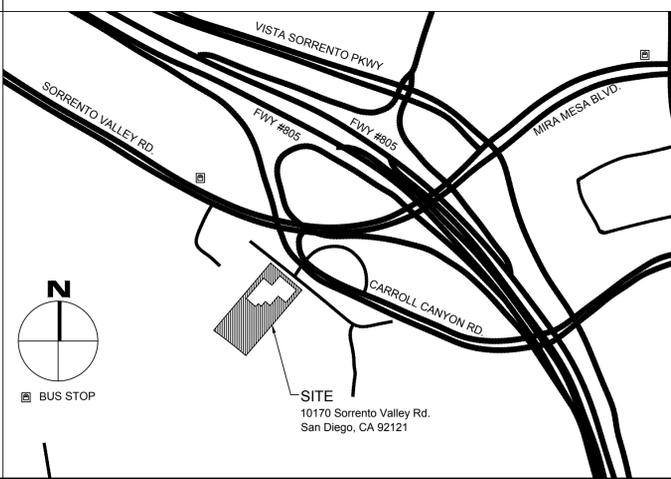
PROPERTY OWNER:
 CIRE Equity
 530 B. St. San Diego CA. 92121

APPLICANT:
 SVRMC, LLC
 1495 Pacific Coast Hwy., Suite 275
 San Diego, CA. 92101
 Contact: Renny Bowden
 Phone #: 619.987.8296

DESIGN FIRM:
 TECHNE
 Project Contact: Abhay Schweitzer - Assoc. AIA
 3956 30th Street, San Diego, CA 92104
 Phone #: 619-940-5814, email:
 abhay@techne-us.com

SURVEYOR:
 LG Land Surveying, Inc.
 30355 Callejo Feliz Ter. Valley Center, CA 92082
 Phone #: 619-535-1172

VICINITY MAP



NO.	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
02018	10/31/18	

PROJECT NO: 1731
 CAD DWG FILE: G001-G004 COVER SHEET.DWG
 DRAWN BY: A.S., B.P., C.G., S.V.
 CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written permission of TECHNE.

SHEET TITLE
 COVER SHEET

G001



3956 30th Street, San Diego, CA 92104
techn-e-us.com sustainablearchitect.org
619-940-5814 m 313-595-5814

CONSULTANTS

PROPERTY OWNER

10170 Sorrento Valley Rd.
San Diego CA. 92121

CIRE Equity
530 B. St. San Diego CA. 92121

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK DATE DESCRIPTION
PROJECT NO: 1731
CAD DWG FILE: 0001-0004 COVER SHEET.DWG
DRAWN BY: A.S., B.P., C.G., S.V.
CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE

DS-560 - STORM WATER REQUIREMENTS CHECKLIST

G002

City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000

Storm Water Requirements Applicability Checklist FORM DS-560 OCTOBER 2016

Project Address: 10170 Sorrento Valley Rd., San Diego, CA. 92121 Project Number (for City Use Only):

SECTION 1. Construction Storm Water BMP Requirements:
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 Yes; SWPPP required, skip questions 2-4 No; next question

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and contact with storm water runoff?
 Yes; WPCP required, skip 3-4 No; next question

3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes; WPCP required, skip 4 No; next question

4. Does the project only include the following Permit types listed below?
• Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
• Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
• Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.
 Yes; no document required

Check one of the boxes below, and continue to PART B:
 If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B
 If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.
 If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (10-16) Clear Page 1

City of San Diego • Development Services • Storm Water Requirements Applicability Checklist Page 3 of 4

PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs.
If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
If "no" was checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
• Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
• Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
• Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual?
 Yes; PDP exempt requirements apply No; next question

2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
 Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).
If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".
If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No

4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No

5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

Clear Page 3

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality". The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

1. ASBS
a. Projects located in the ASBS watershed.

2. High Priority
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.

3. Medium Priority
a. Projects 1 acre or more but not subject to an ASBS or high priority designation.
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.

4. Low Priority
a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.

SECTION 2. Permanent Storm Water BMP Requirements.
Additional information for determining the requirements is found in the Storm Water Standards Manual.
PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.
If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".
If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No

3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

Clear Page 2

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No

8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No

9. New development or redevelopment projects of an automotive repair shops that create and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. Yes No

10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants, post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle/pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

1. The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.

2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.

3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.

4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management.

Name of Owner or Agent (Please Print) Signature Title Date

ABHAY SCHUGITZSK PRINCIPAL 11/04/17



DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
techne-us.com sustainablearchitect.org
619-940-5814 313-595-5814

CONSULTANTS

- 1. All submittals, shop drawings, product samples, etc. shall be reviewed and accepted by TECHNE and the Architect prior to final submittal to fabricator or suppliers.
2. Submittals shall include, but not be limited to the following:
- Concrete mixture, additives and reinforcement.
- Manufacturer engineered trusses.
- Fabricated steel.
- Cabinetry and other built-in items.
- Special windows.

- C. Construction Quality:
1. All construction shall be of the highest standards for materials and methods of installation.
2. All finish materials not selected shall be reviewed and accepted by TECHNE, the Architect and the Owner.
3. All subcontractors are responsible for inspecting, correcting, and approving all conjunctive conditions of all related prior trades, prior to beginning their own work.
4. Prior workmanship and materials not acceptable to subcontractors shall be brought to the attention of the General Contractor prior to commencing construction.
5. The contractor is responsible for maintaining a neat & tidy job site; only staging areas approved by the owner will be used.
6. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when framing members exceed 19% moisture content.
7. The moisture content of building materials used in wall and floor framing shall be checked before enclosure. Moisture shall be verified by either a probe type of contact type moisture meter.

- D. Substitutions:
1. No substitutions of specified materials shall be made without written notification to TECHNE, the Architect and the Owner and their written acceptance of the substitution.
E. Clean Up:
1. The Contractor shall keep the premises free from accumulation of waste material and/or rubbish caused by their work. At the completion of each day's work, remove all rubbish from and about the building. All tools, scaffolding and surplus materials shall be stored, flagged, or removed, leaving the job site broom clean.

10170 Sorrento Valley Rd.
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
530 B. St. San Diego CA. 92121

- 6. Key boxes shall be provided for all high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking levels, doors giving access to alarm panels and/or annunciators, and any other structures or areas where access to an area is restricted.
7. Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non-limited-combustible materials or similar protected or separated. CFC 304.2
8. Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher location, and standpipe connections shall not be concealed by curtains, mirrors, or other decorative material.
9. Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308.
10. The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths.

Table with 2 columns: MARK DATE, DESCRIPTION. Includes entries for CUP Completeness Review, First Submittal, Second Submittal, Third Submittal, Fourth Submittal, and PROJECT NO: 1731.

Table with 2 columns: MARK DATE, DESCRIPTION. Includes entries for CAD DWG FILE, DRAWN BY, and CHK'D BY.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and all other rights in this document. This document shall be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written permission of TECHNE.

GENERAL NOTES

1. Verify all existing conditions and dimensions before starting work. Report all discrepancies involving existing conditions to TECHNE and the Architect, prior to construction.

ABBREVIATIONS

Large table of abbreviations with columns for symbol, description, and units. Includes entries like DEG: Degree, HR: Hour, P/LF: Pounds per Linear Foot, UNF: Unfinished, etc.

Project General Notes

- 1. These drawings and specifications are the property and the copyright of TECHNE and Kristi Byers AIA. No use, copies or alterations of this material is allowed unless the written permission of TECHNE and Kristi Byers AIA, is granted prior to use, except for the temporary use to construct the said work described in the project title block.
2. Before commencing any work on the site the General Contractor shall verify locations of all site dimensions and site conditions.
3. All conditions or dimensions on these plans shall be verified in the field by the General Contractor with actual site conditions.
4. These drawings have been prepared from the latest information available on existing conditions.
5. Neither the Owner nor TECHNE nor the Architect shall enforce safety measures or regulations.
6. The General Contractor and Subcontractor's work shall be in accordance with all applicable federal, state, and local building codes and agency standards.

Site Preparation

- 8. Prior to excavation, General Contractor shall confirm location of underground utilities.
9. In the event that utilities or concealed structures are discovered during construction at exposed or unexposed locations, the General Contractor shall stop work immediately in that area and question or notify TECHNE and the Architect and/or utility company immediately.
10. The General Contractor and Subcontractor shall be responsible for the appropriate hook up to all utilities required to support the work.
11. The General Contractor shall protect the adjacent properties, including, but not limited to dust, trash, or damages due to demolition, excavation, construction and/or flooding originating on the site.
12. These contract documents do not contemplate the handling or treatment of asbestos and/or any hazardous waste materials.
13. The General Contractor shall install and maintain a phone at the job site for the duration of construction.
14. A soil compaction report shall be provided to the building inspector at the job site prior to placement of concrete for the new foundation if requested by the city.
15. It is the General Contractor's responsibility to grade the site and to slope all grading and concrete work to provide positive drainage away from the building and into area storm drains.

Demolition

- 16. All excavation and grading shall comply with OSHA and other governing regulations.
17. Shoring shall be provided where demolition of support structures occur.
18. Prior to the start of any demolition or construction, the General Contractor shall inspect and prepare an inventory of all items noted to be relocated or salvaged and verify that these items are in good working condition and able to be relocated.
19. The General Contractor shall present this inventory to the Owner, TECHNE and the Architect for their approval.
20. Different floor finishes shall meet under the door, unless otherwise noted.
21. Smoke detectors shall be provided in all sleeping rooms, in adjacent hallways, and in any other area as required by the latest edition of the California Building Code.

Floor Plan

- 19. Interior finishes must conform to the requirements of the latest edition of the California Building Code.
20. Different floor finishes shall meet under the door, unless otherwise noted.
21. Smoke detectors shall be provided in all sleeping rooms, in adjacent hallways, and in any other area as required by the latest edition of the California Building Code.
22. Glass and glazing shall conform to the latest edition of the California Building Code.
23. Provide R-15 insulation in all exterior walls and bathroom walls.
24. Provide emergency exit doors or windows from sleeping rooms for the latest edition of the California Building Code.
25. Provide under-floor crawl space ventilation in foundation walls of not less than 1/150 of area ventilated.
26. Provide solid blocking in wall framing for all cabinets, countertops, mirrors, shelving, light fixtures, and miscellaneous wall and ceiling molding or recessed items.
27. Contractor shall coordinate soffit framing with the plan to allow adequate space for installation of light fixtures and mechanical equipment.
28. Provide draft stop in the attic space.
29. All wood within 6" of earth or 1" of concrete shall be redwood or pressure treated.
30. Stairways and landings shall be constructed as required by the latest edition of the California Building Code.
31. Hold down anchors to be tied in place prior to calling for foundation inspection.
32. Floor sheathing shall be screwed and glued to floor joists.
33. Provide fire blocking at floor, ceiling, coves and mid-height of walls over 10'-0" in height.

Finish

- 34. Install Duroc Tile Backer Board by United States Gypsum or equal on all interior walls, countertops and ceilings to receive tile.
35. Interior gypsum board corners shall be square. Interior gypsum board texture shall be per interior finish schedule.

Exterior

- 36. All exposed metal flashing shall be painted to match adjacent surfaces.
37. A weep screen or weep holes shall be provided at or below the foundation plate line for all exterior stucco wall finish on the exterior stucco.
38. No vent pipe or any projection shall project above 30'-0" from finish grade, new or preexisting 5'-0" from building face.
39. Roofing shall be installed in accordance with manufacturer's specific installation instructions.
40. Provide attic ventilation in roof eaves or in top of wall under gable roof ends of not less than 1/150 of area ventilated.
41. Provide kitchen faucets with a maximum flow of 1.8 gallons per minute (GPM).
42. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with "type X gypsum board" or similar assemblies that provide the same level of fire protection.
43. Permanent vacuum breakers shall be installed with all hose bibs.

Mechanical (U.N.O by Mechanical Engineering Drawings)

- 44. All mechanical and electrical systems shall be installed in accordance with approved plans and governing codes.
45. All thermostats shall be of the automatic changeover type to sequence heating or cooling.
46. Equipment shall have the capacity of terminating all cooling at a temperature of not more than 78 degrees Fahrenheit.
47. At least one automatic space temperature control device shall be provided for each zone.
48. All ductwork shall be constructed, erected and tested in accordance with the most restrictive of local regulation procedures.
49. Exhaust fans which terminate outside the building shall be provided in every bathroom that contains a shower or tub.
50. Attic and/or under-floor installation of HVAC units must comply with the latest edition of the California Mechanical Code.

Electrical (U.N.O by Electrical Engineering Drawings)

- 51. All circuit breaker switched 120V AC light circuits or convience outlets, must use only type GFCI or AFCI circuit breakers.
52. Electrical outlets located in wet areas, bathrooms and laundry rooms, at the exterior or within 6'-0" of the kitchen sink, shall be provided with ground fault interrupter switch (GFI).
53. Wiring in plenums shall be in conduit or conform to Articles 300-21 and 300-22, NEC.

Green Code

- 54. All plumbing fixtures shall be water conserving and comply with the 2013 CGBC Sec 4.303.1.
55. Multiple Shower Heads: Per 2013 CGBC Sec 4.303.1.3.2, when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designated to only allow one shower outlet to be in operation at a time.
56. Per 2013 CGBC Sec 4.303.2, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 400.1.1 of the CPC.
57. Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
57.1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
57.2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor.
57.3. Per 2013 Green Code Sec 4.503.1, any installed gas fireplace shall be a direct-vent sealed-combustion type.
57.4. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable.
57.5. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
57.6. Toilets: All flush water closets shall have an effective flush volume of not more than 1.28 gallons per flush.
57.7. Shower Heads: Single shower heads shall have a maximum flow rate of not more than 2.0 gallons per minutes at 80 psi.
57.8. Faucets: Residential faucets shall have a maximum flow rate of 1.5 gallons per minute at 60psi and a minimum flow rate of not less than 0.5 gallons per minute at 20psi.
57.9. Faucets in Common Use Areas: Faucets in common and public use areas (outside of dwellings or sleeping units) in residential buildings must have a maximum flow rate of 0.5 gallons per minute at 60psi.
57.10. Kitchen Faucets: Kitchen faucets shall have a maximum flow rate of 1.8 gallons per minute at 60psi.
57.11. Plumbing Fixture Certification: A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing contractor, or the building owner certifying the flow rate of the fixtures installed.
57.12. Airtightness and Openings: Joints and openings, Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
57.13. Construction Waste: A minimum of 50% of the construction waste generated at the site shall be diverted to recycle or salvage per CGBC 2013 Section 4.408.1 and City of San Diego Ordinance.
57.14. Maintenance Manual: Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner.
57.15. Duct Openings: Duct openings and other related air distribution component openings shall be covered during construction.
57.16. VOC: Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
57.17. VOC: Paints, stains and other coatings shall be compliant with VOC limits set in Section 4.504.2.2 and Table 4.504.3 of the CGBC 2013 (CalGreen).
57.18. Aerosol: Aerosol paints and coatings shall be compliant with product weighted MRI limits for VOC and other toxic compounds as specified in Section 4.504.2.3 of the CGBC 2013 (CalGreen).
57.19. A certification shall be completed and signed by either the general contractor or subcontractor or the building owner certifying that the paint, stain and adhesives, complies with the requirements of the California Green Building Standards Code.
57.20. Carpet: Carpet and carpet systems shall be compliant with VOC limits.
57.21. Resilient Flooring: Eighty percent of the floor area receiving resilient flooring shall comply with one or more of the following:
57.22. VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
57.23. Products compliant with CHPS criteria certified under the Greenguard Children & School Program.
57.24. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
57.25. Meet the California Department of Public Health "Standard Method for Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as Specification 01350)".
57.26. Hardwood plywood, particleboard, medium density fiberboard (MDF), composite wood product used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxic Control Measures for Composite wood as specified in section 4.504.5 and table 4.504.4 of CalGreen.
57.27. A Certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particle board etc comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Standards Code.

The following notes apply, unless indicated otherwise.

- A. Existing Conditions:
1. Verify all existing conditions and dimensions before starting work. Report all discrepancies involving existing conditions to TECHNE and the Architect, prior to construction.



3956 30th Street, San Diego, CA 92104
 techne-us.com sustainablearchitect.org
 619-940-5814 313-595-5814

CONSULTANTS

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
 530 B. St. San Diego CA. 92121

CONDITIONS FOR MPF CUP:

PLANNING/DESIGN REQUIREMENTS:

1. Marijuana production facilities shall maintain the following minimum separation between uses, as measured between property lines, in accordance with Section 113.0225:
 - 1.1. 1,000 feet from resource and population-based city parks, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools. For purposes of this section, school means any public or private institution of learning providing instruction in kindergarten or grades 1 to 12, inclusive, but not include any private school in which education is primarily conducted in private homes.
 - 1.2. 100 feet from residential zone.
2. All operations, including equipment and storage, shall be conducted indoors within a secured structure. Greenhouses are prohibited.
3. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
4. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
5. The name and emergency contact phone number of an operator or manager shall be posted outside the marijuana production facility in a location visible to the public from the public-right-of-way in character size at least two inches in height. The permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a marijuana production facility shall limit signage on the exterior of the property visible from the public-right-of-way to the address.
6. A permit shall be obtained as required pursuant to Chapter 4, Article 2, Division 15.
7. A Conditional Use Permit for a marijuana production facility shall expire no later than five (5) years from the date of issuance.
8. An extension of time for a Conditional Use Permit granted to a marijuana production facility shall comply with the requirements of section 126.0111 with the following exceptions:
 - 8.1. The extension shall be for a maximum of five (5) years.
 - 8.2. a decision on an application for an extension of the time shall be made in accordance with Process Two. Appeals of a decision to approve an extension of time shall be made to the Planning Commission.
 - 8.3. The separation requirements in Section 141.0504(a) shall not be considered in making the findings required in Section 126.0111(g) when a specified use in Section 141.1004(a) has located within the required distance after the approval date of the initial Conditional Use Permit.
 - 8.4. A change in zoning after the approval date of the initial Conditional Use Permit shall not be considered in making the findings required in Section 126.0111(g).
9. The sale of marijuana and marijuana products shall be conducted by a marijuana outlet in accordance with Section 141.0504. A marijuana production facility is prohibited from providing marijuana and marijuana products to any person other than other marijuana production facility, a testing lab, or a marijuana outlet.
10. The marijuana production facility, adjacent public sidewalks, and areas under the control of the marijuana production facility shall be maintained free of litter and graffiti at all times.
11. The marijuana production facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.



01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION

PROJECT NO: 1731

CAD DWG FILE: G001-G004 COVER SHEET.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE

CUP CONDITIONS

G004



DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
 techne-us.com sustainablearchitect.org
 619-940-5814 313-595-5814

CONSULTANTS

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
 530 B. St. San Diego CA. 92121

SITE PLAN NOTES

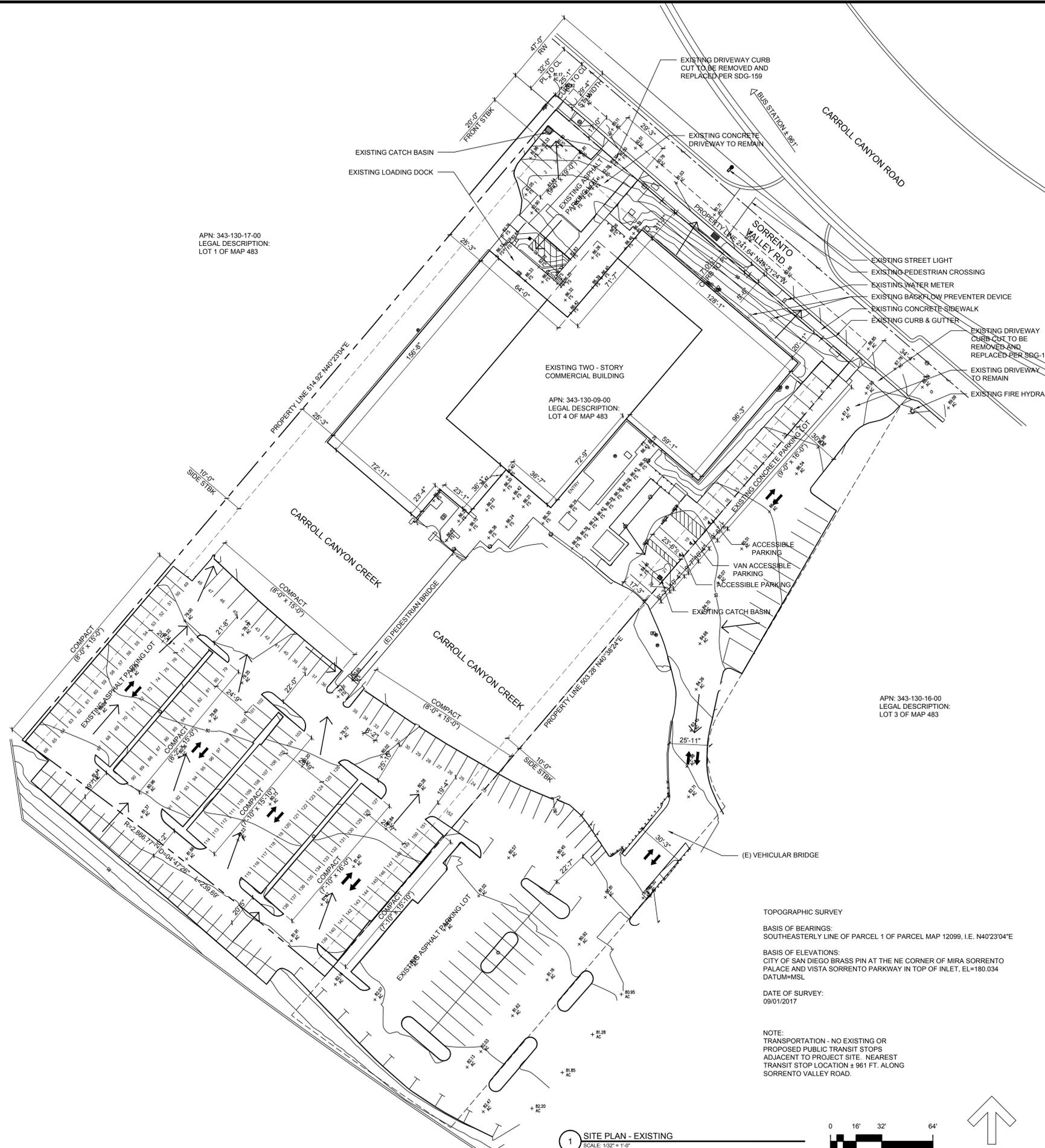
- A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- E. Coordinate with other tenants the temporary shutoff of any site utilities.
- F. Refer to Topographic Survey for additional information.
- G. The existing water and sewer services will remain.

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- SITE DRAINAGE PATTERN
- VEHICULAR CIRCULATION

ADDITIONAL SITE PLAN NOTES

- a. BUILDING ADDRESS: Building address numbers must be visible and legible from the street or road fronting the property, per FHPS Policy P-00-6 (UFC 901.4.4)
- b. If the City Building Inspector determines non-compliance with any accessibility provisions, a complete and detailed revised plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plans, floor plans, details, etc.) will be submitted to the department for review and approval.



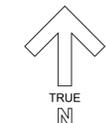
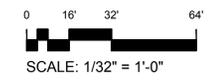
TOPOGRAPHIC SURVEY
 BASIS OF BEARINGS:
 SOUTHEASTERLY LINE OF PARCEL 1 OF PARCEL MAP 12099, I.E. N40°23'04"E

BASIS OF ELEVATIONS:
 CITY OF SAN DIEGO BRASS PIN AT THE NE CORNER OF MIRA SORRENTO PALACE AND VISTA SORRENTO PARKWAY IN TOP OF INLET, EL=180.034 DATUM=MSL

DATE OF SURVEY:
 09/01/2017

NOTE:
 TRANSPORTATION - NO EXISTING OR PROPOSED PUBLIC TRANSIT STOPS ADJACENT TO PROJECT SITE. NEAREST TRANSIT STOP LOCATION ± 961 FT. ALONG SORRENTO VALLEY ROAD.

1 SITE PLAN - EXISTING
 SCALE: 1/32" = 1'-0"



01	11.16.17	CUP - Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
C:\2018\1023\11.dwg		
PROJECT NO: 1731		
CAD DWG FILE: A101 SITE PLAN - EXISTING.DWG		
DRAWN BY: A.S., B.P., C.G., S.V.		
CHK'D BY: A.S.		

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE
SITE PLAN - EXISTING

CONSULTANTS

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121

SITE PLAN NOTES

- The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- Coordinate with other tenants the temporary shutoff of any site utilities.
- Refer to Topographic Survey for additional information.
- The existing water and sewer services will remain.
- No obstruction including solid walls in the visibility area shall exceed 2 feet in height. Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb.

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF PROPOSED PROJECT
- OUTLINE OF PARKING AREA NOT PART OF PROJECT
- SITE DRAINAGE PATTERN
- ACCESSIBLE ROUTE
- VEHICULAR CIRCULATION

ADDITIONAL SITE PLAN NOTES

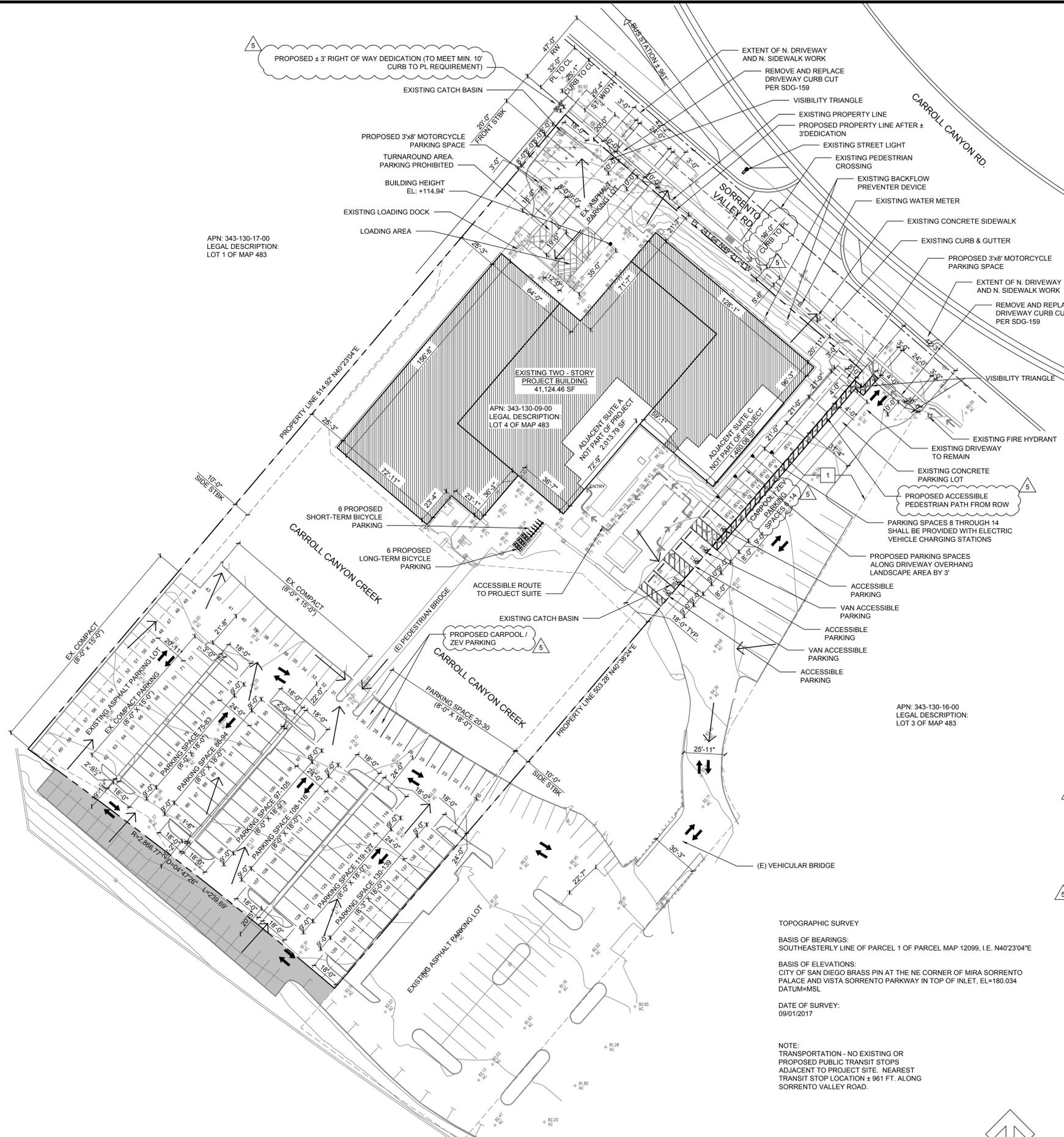
- BUILDING ADDRESS:** Building address numbers must be visible and legible from the street or road fronting the property, per FHPS Policy P-00-6 (UFC 901.4.4)
- If the City Building Inspector determines non-compliance with any accessibility provisions, a complete and detailed revised plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plans, floor plans, details, etc.) will be submitted to the department for review and approval.
- Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private Landscaping/Irrigation within Sorrento Valley Road public right of way.
- Prior to issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, removal of existing two driveway serving the site and replace them with two 24 ft driveway per current City Standard SDG-159 on Sorrento Valley Road.

EASEMENTS KEYNOTES

- An easement and right of way for ingress and egress per deed 2013-0415730, recorded July 02, 2013.

SFHA DETERMINATION NOTES

- SUBJECT STRUCTURE IS NOT WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) PER LOMR-FW, CASE NO. 18-09-1122A, DATED APRIL 13, 2018.



APN: 343-130-17-00
 LEGAL DESCRIPTION:
 LOT 1 OF MAP 483

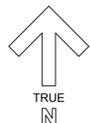
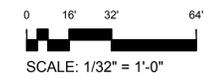
APN: 343-130-09-00
 LEGAL DESCRIPTION:
 LOT 4 OF MAP 483

APN: 343-130-16-00
 LEGAL DESCRIPTION:
 LOT 3 OF MAP 483

TOPOGRAPHIC SURVEY
 BASIS OF BEARINGS:
 SOUTHEASTERLY LINE OF PARCEL 1 OF PARCEL MAP 12099, I.E. N40°23'04"E
 BASIS OF ELEVATIONS:
 CITY OF SAN DIEGO BRASS PIN AT THE NE CORNER OF MIRA SORRENTO PALACE AND VISTA SORRENTO PARKWAY IN TOP OF INLET, EL=180.034
 DATUM=MSL
 DATE OF SURVEY:
 09/01/2017

NOTE:
 TRANSPORTATION - NO EXISTING OR PROPOSED PUBLIC TRANSIT STOPS ADJACENT TO PROJECT SITE. NEAREST TRANSIT STOP LOCATION ± 961 FT. ALONG SORRENTO VALLEY ROAD.

1 SITE PLAN - PROPOSED
 SCALE: 1/32" = 1'-0"



MARK	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

PROJECT NO: 1731
 CAD DWG FILE: A102 SITE PLAN - PROPOSED.DWG
 DRAWN BY: A.S., B.P., C.G., S.V.
 CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE
 SITE PLAN - PROPOSED

CONSULTANTS

Blank area for consultant information.

Blank area for consultant information.

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
 530 B. St. San Diego CA. 92121

TOPOGRAPHIC SURVEY
 BASIS OF BEARINGS:
 SOUTHEASTERLY LINE OF PARCEL 1 OF PARCEL MAP 12099, I.E. N40°23'04"E
 BASIS OF ELEVATIONS:
 CITY OF SAN DIEGO BRASS PIN AT THE NE CORNER OF MIRA SORRENTO
 PALACE AND VISTA SORRENTO PARKWAY IN TOP OF INLET, EL=180.034
 DATUM=MSL
 DATE OF SURVEY:
 09/01/2017

NOTE:
 TRANSPORTATION - NO EXISTING OR
 PROPOSED PUBLIC TRANSIT STOPS
 ADJACENT TO PROJECT SITE. NEAREST
 TRANSIT STOP LOCATION ± 961 FT. ALONG
 SORRENTO VALLEY ROAD.

SITE PLAN LEGEND

-  PROPERTY LINE
-  OUTLINE OF EXISTING STRUCTURES

FLOODWAY LEGEND

- COMMUNITY: SAN DIEGO, CITY OF
 NUMBER: 060295
 PANEL: 1339
 SUFFIX: G
-  0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.
 -  WITHOUT BASE FLOOD ELEVATION (BFE) ZONE A.V. A99
 -  REGULATORY FLOODWAY AREA REVISED TO REFLECT LOMR EFFECTIVE: JULY 24, 2017 (PANEL 1339 OF 2375)

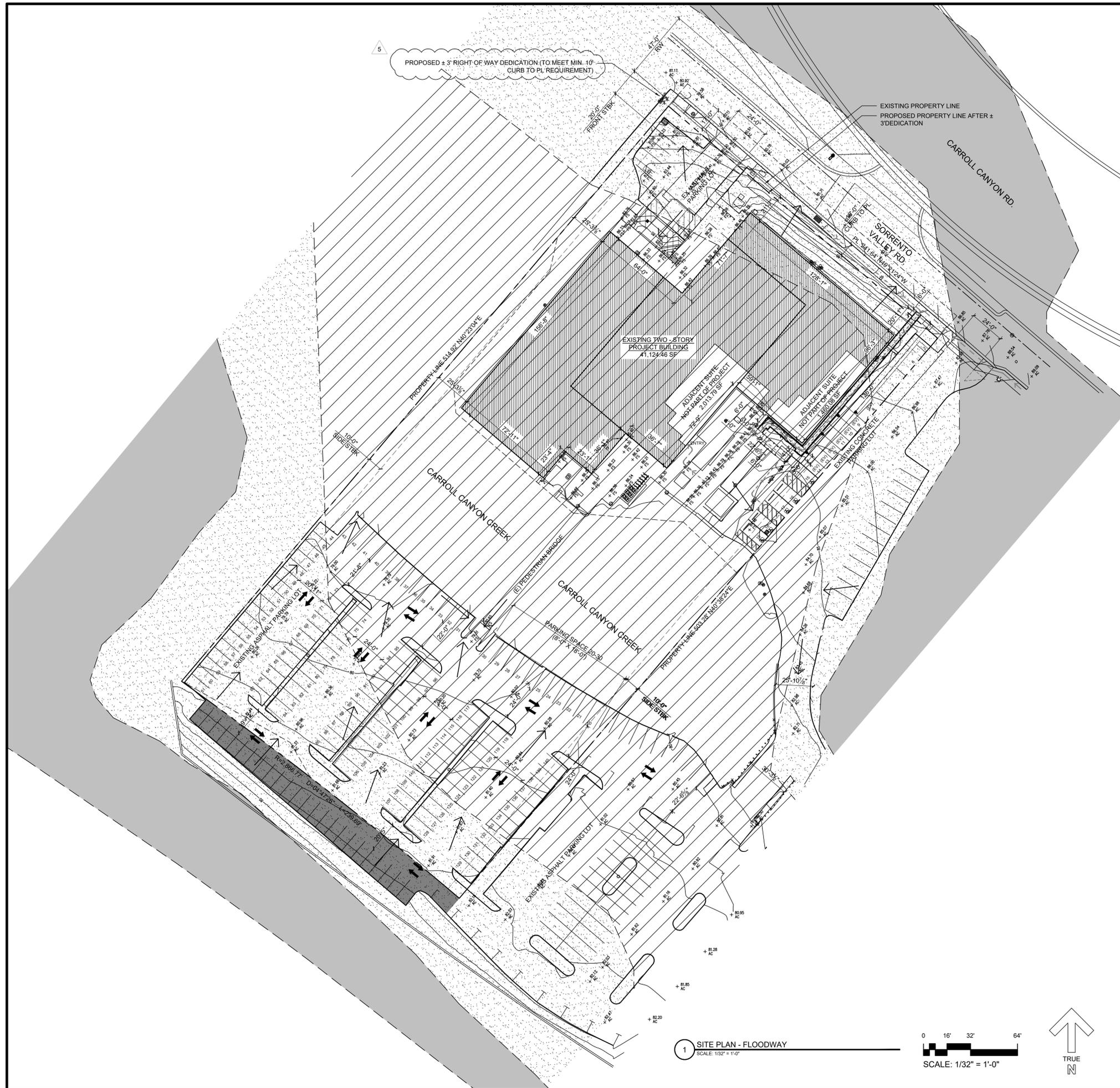
MARK	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
PROJECT NO: 1731		
CAD DWG FILE: A102A SITE PLAN - FLOOD PLAN.DWG		
DRAWN BY: A.S., B.P., C.G., S.V.		
CHK'D BY: A.S.		

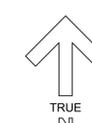
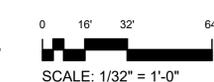
COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SITE PLAN - FLOODWAY

A102a
 SHEET 8 OF 17



1 SITE PLAN - FLOODWAY
 SCALE: 1/32" = 1'-0"



CONSULTANTS

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
 530 B. St. San Diego CA. 92121

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
SC12018	04.05.18	AM

PROJECT NO: 1731

CAD DWG FILE: A102B SITE PLAN - EXISTING EASEMENTS.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE

SITE PLAN -
 EXISTING
 EASEMENTS

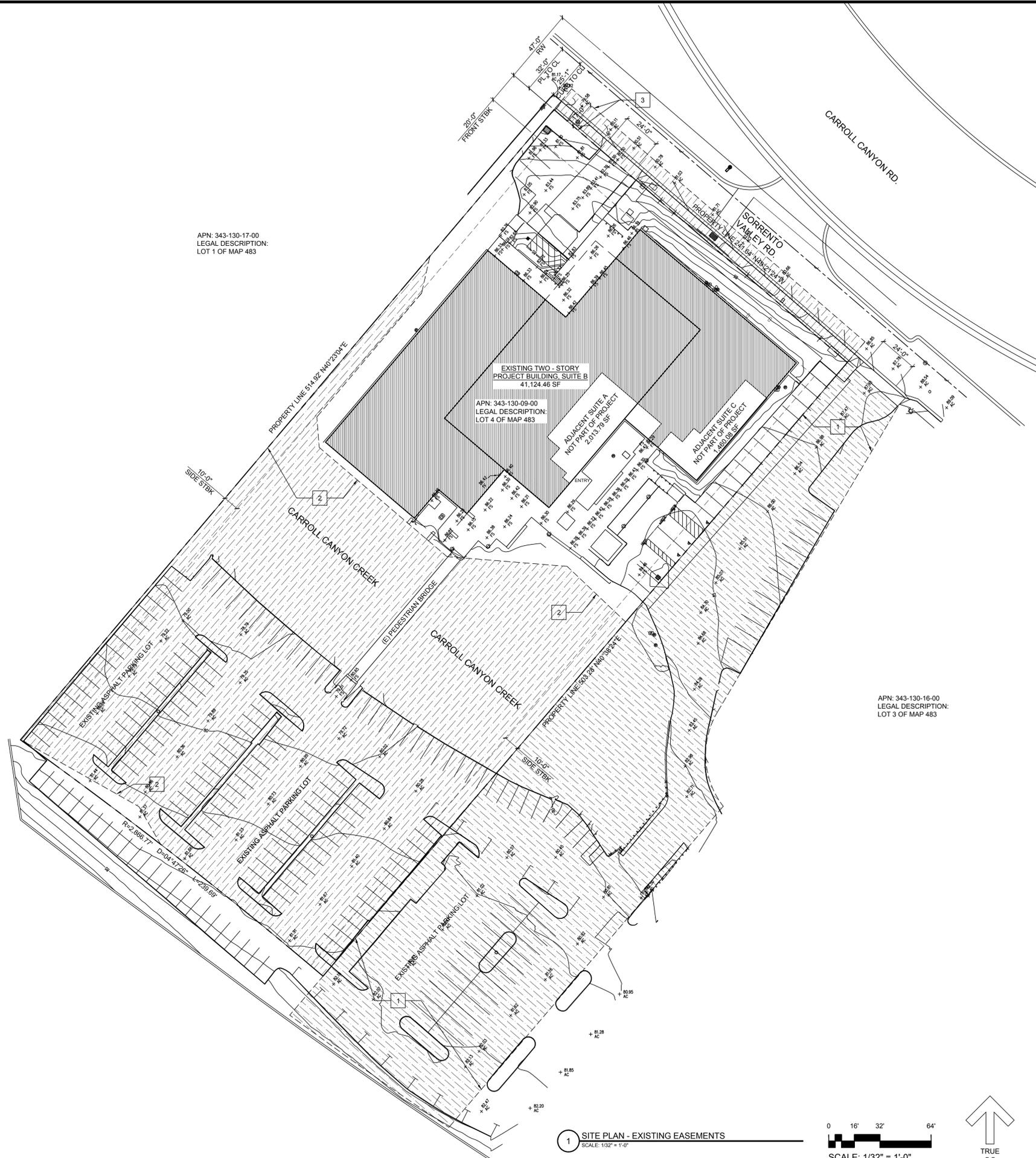
A102b

SITE PLAN LEGEND

-  PROPERTY LINE
-  OUTLINE OF EXISTING STRUCTURES
-  AREA OF PROPOSED PROJECT
-  AREA OF EXISTING EASEMENT
-  SITE DRAINAGE PATTERN

EASEMENTS KEYNOTES

- 1 An easement and right of way for ingress and egress per deed 2013-0415730, recorded July 02, 2013.
- 2 Easement to the city of San Diego for the natural flowage of waters recorded August 26, 1983 as instrument No: 83-302749, official records. Plotted hereon.
- 3 Easement to the city of San Diego, a municipal corporation for public street, recorded May 10, 1984, as instrument No: 84-174022, official records. Plotted hereon.



APN: 343-130-17-00
 LEGAL DESCRIPTION:
 LOT 1 OF MAP 483

EXISTING TWO-STORY
 PROJECT BUILDING, SUITE B
 41,124.46 SF

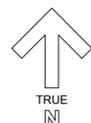
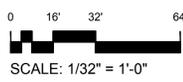
APN: 343-130-09-00
 LEGAL DESCRIPTION:
 LOT 4 OF MAP 483

ADJACENT SUITE A
 NOT PART OF PROJECT
 2,013.79 SF

ADJACENT SUITE C
 NOT PART OF PROJECT
 1,889.08 SF

APN: 343-130-16-00
 LEGAL DESCRIPTION:
 LOT 3 OF MAP 483

1 SITE PLAN - EXISTING EASEMENTS
 SCALE: 1/32" = 1'-0"



CONSULTANTS

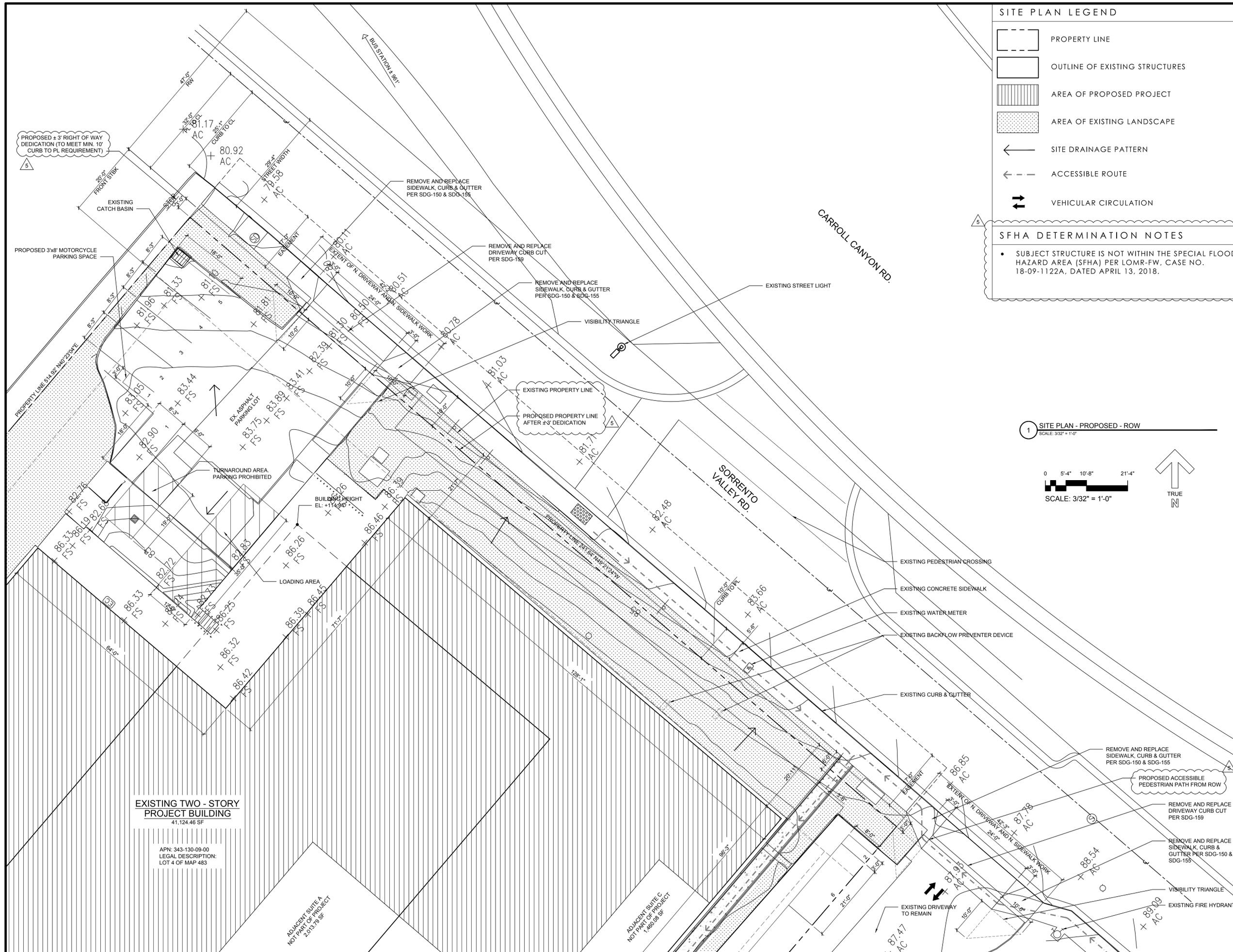
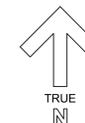
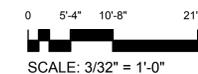
SITE PLAN LEGEND

-  PROPERTY LINE
-  OUTLINE OF EXISTING STRUCTURES
-  AREA OF PROPOSED PROJECT
-  AREA OF EXISTING LANDSCAPE
-  SITE DRAINAGE PATTERN
-  ACCESSIBLE ROUTE
-  VEHICULAR CIRCULATION

SFHA DETERMINATION NOTES

- SUBJECT STRUCTURE IS NOT WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) PER LOMR-FW, CASE NO. 18-09-1122A, DATED APRIL 13, 2018.

1 SITE PLAN - PROPOSED - ROW
SCALE: 3/32" = 1'-0"



EXISTING TWO - STORY PROJECT BUILDING
41,124.46 SF

APN: 343-130-09-00
LEGAL DESCRIPTION:
LOT 4 OF MAP 483

ADJACENT SUITE A
NOT PART OF PROJECT
2,013.79 SF

ADJACENT SUITE C
NOT PART OF PROJECT
1,480.06 SF

MARK	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION

PROJECT NO: 1731
 CAD DWG FILE: A102C SITE PLAN - PROPOSED - ROW.DWG
 DRAWN BY: A.S., B.P., C.G., S.V.
 CHK'D BY: A.S.
 COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE
SITE PLAN - PROPOSED - ROW



3956 30th Street, San Diego, CA 92104
 techne-us.com sustainablearchitect.org
 619-940-5814 m 313-595-5814

CONSULTANTS

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
 530 B. St. San Diego CA. 92121

DEMOLITION GENERAL NOTES

- TECHNE shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNE issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify TECHNE and owner if any removed wood showing evidence of active water leaks, termites or dry rot.
- Prepare existing window and door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
- Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
- Should any portion of the structure being removed produce unstable or unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off to and/or salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNE to make modifications and/or other corrective measures.

FLOOR PLAN NOTES

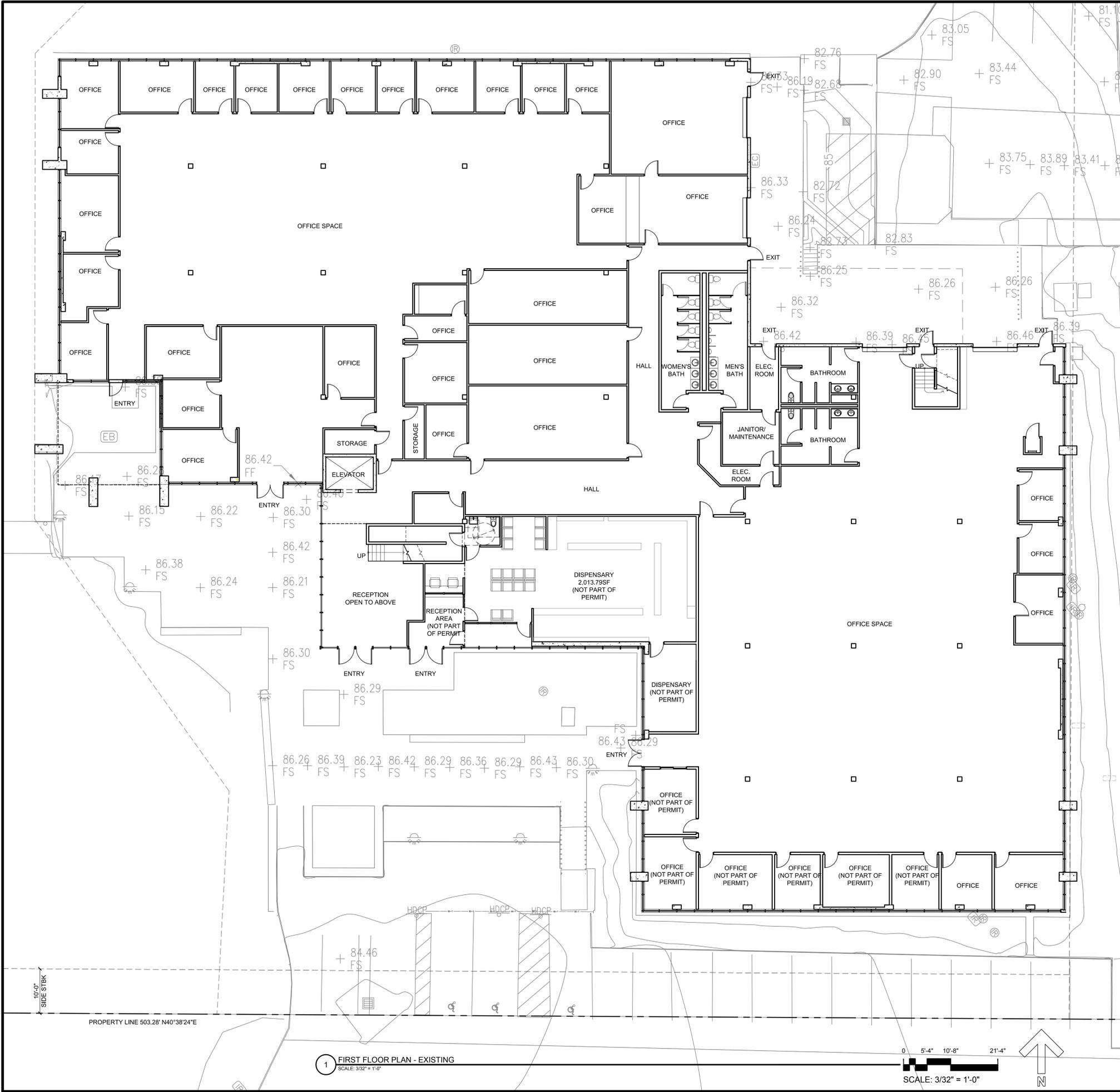
- The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE and the Architect. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.

DIMENSIONS

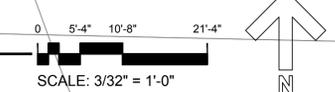
- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

FLOOR PLAN LEGEND

- EXISTING DOOR
- EXISTING NON-STRUCTURAL INTERIOR WALL
- EXISTING 10" CONCRETE WALL TO REMAIN
- EXISTING WINDOW



1 FIRST FLOOR PLAN - EXISTING
 SCALE: 3/32" = 1'-0"



01	11.16.17	CUP - Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
1	05/24/18 10:25:20 AM	

PROJECT NO: 1731
 CAD DWG FILE: A103 FIRST FLOOR PLAN - EXISTING.DWG
 DRAWN BY: A.S., B.P., C.G., S.V.
 CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE
FIRST FLOOR PLAN - EXISTING



DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
 techne-us.com sustainablearchitect.org
 619-940-5814 313-595-5814

CONSULTANTS

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
 530 B. St. San Diego CA. 92121

DEMOLITION GENERAL NOTES

- TECHNE shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNE issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify TECHNE and owner if any removed wood showing evidence of active water leaks, termites or dry rot.
- Prepare existing window and door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
- Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
- Should any portion of the structure being removed produce unstable or unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off to and/or salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNE to make modifications and/or other corrective measures.

FLOOR PLAN NOTES

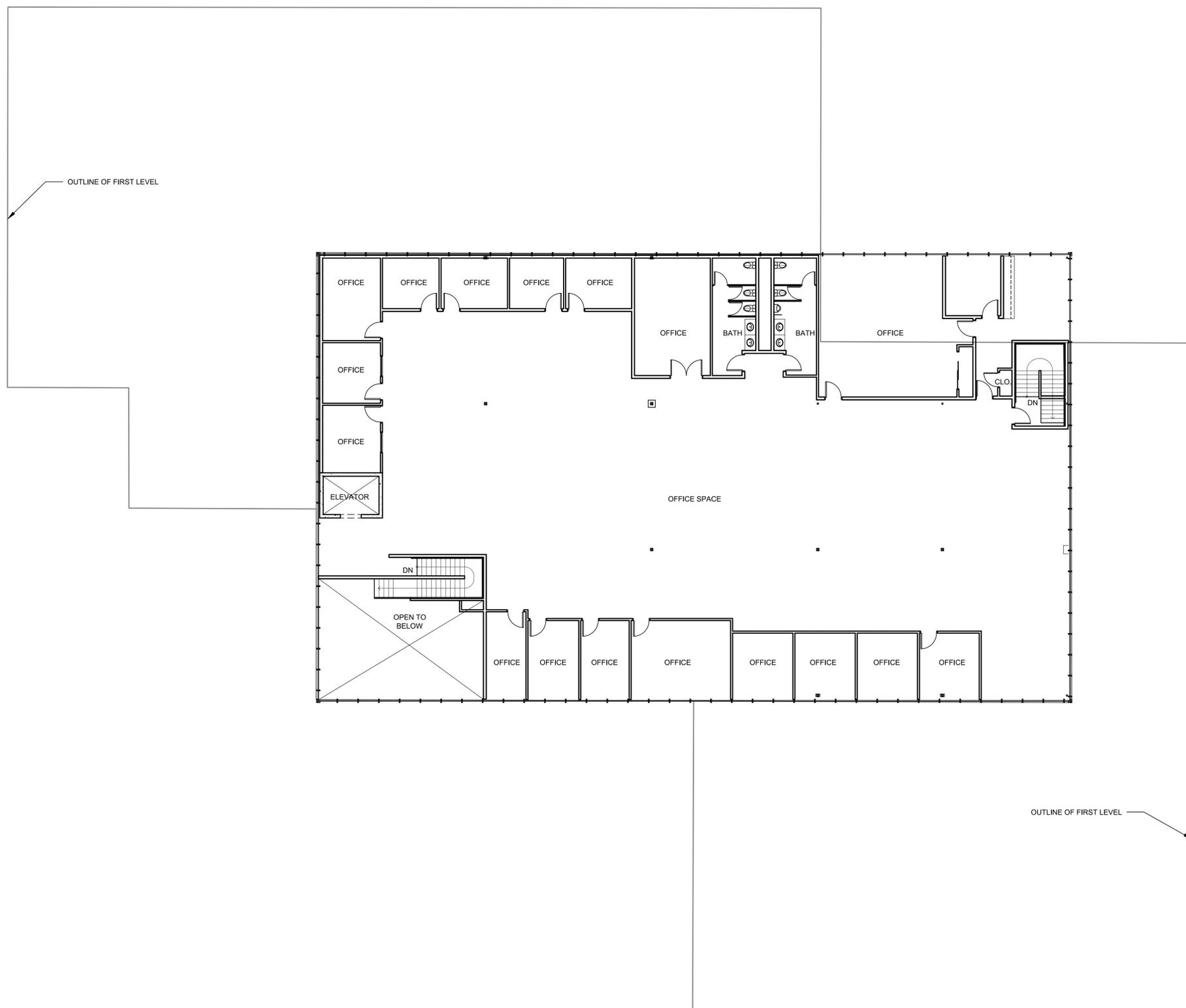
- The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE and the Architect. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

FLOOR PLAN LEGEND

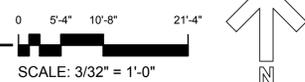
- EXISTING DOOR
- EXISTING NON-STRUCTURAL INTERIOR WALL
- EXISTING 10" CONCRETE WALL TO REMAIN
- EXISTING WINDOW



10'-0" SIDE STBK

PROPERTY LINE 503.28' N40°38'24"E

1 SECOND FLOOR PLAN - EXISTING
 SCALE: 3/32" = 1'-0"



MARK	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
PROJECT NO: 1731		
CAD DWG FILE: A104 SECOND FLOOR PLAN - EXISTING.DWG		
DRAWN BY: A.S., B.P., C.G., S.V.		
CHK'D BY: A.S.		

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

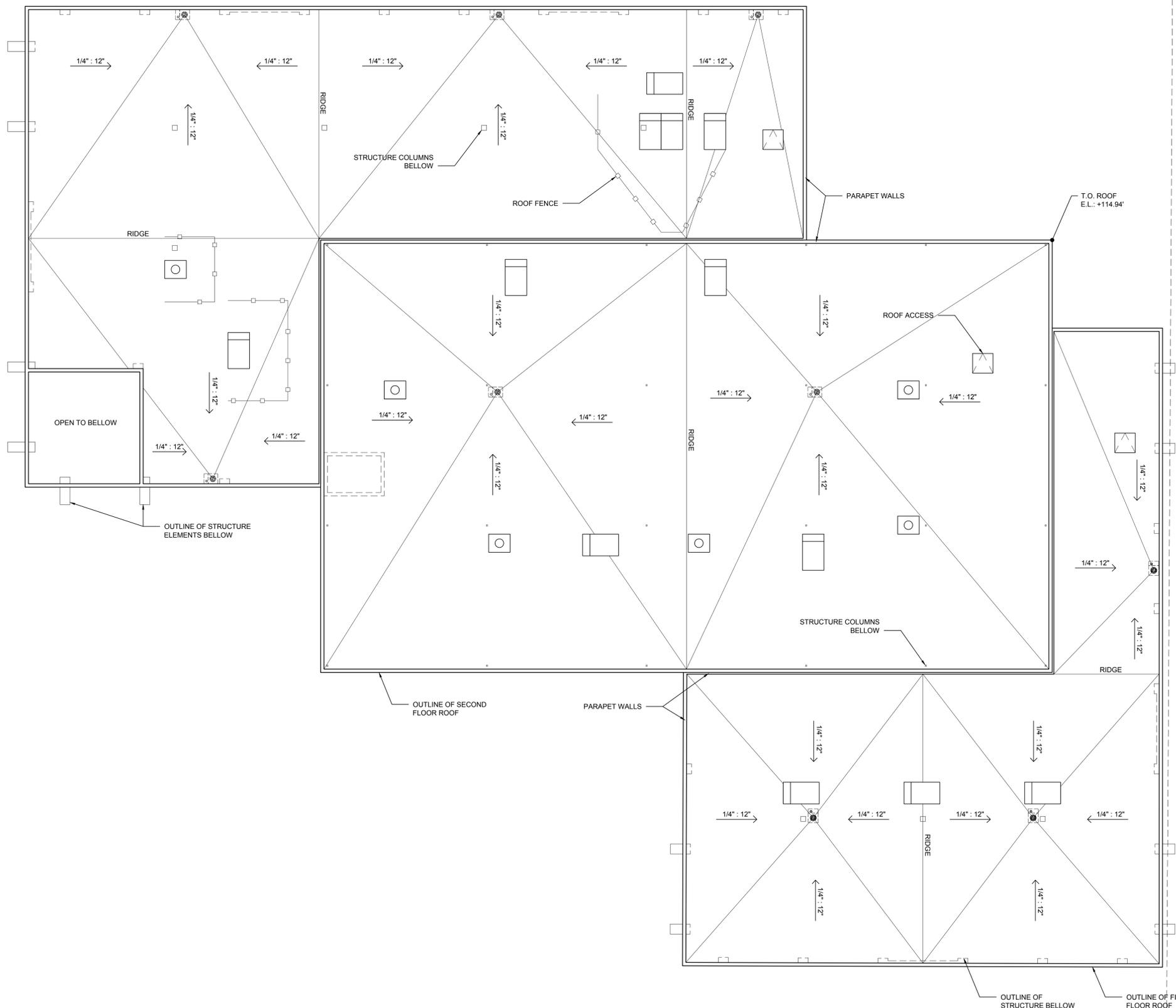
SHEET TITLE
SECOND FLOOR PLAN - EXISTING

CONSULTANTS

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
 530 B. St. San Diego CA. 92121



ROOF PLAN LEGEND

- ROOF SLOPE INDICATOR
- OUTLINE OF WALLS BELOW
- EXISTING ROOF DRAIN
- EXISTING ROOF MOUNTED HVAC TYPE 1
- EXISTING ROOF MOUNTED HVAC TYPE 2

MARK	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

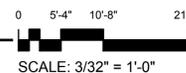
PROJECT NO: 1731
 CAD DWG FILE: A105 ROOF PLAN - EXISTING.DWG
 DRAWN BY: A.S., B.P., C.G., S.V.
 CHK'D BY: A.S.

COPYRIGHT: local Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE
ROOF PLAN - EXISTING

A105

1 ROOF PLAN - EXISTING
 SCALE: 3/32" = 1'-0"



PROPERTY LINE 503.28' N40°38'24"E

10'-0" SIDE STBK

CONSULTANTS

PROPERTY OWNER

CIRE Equity
530 B. St. San Diego CA. 92121

DETAILED DESCRIPTION OF SPACES

1. Reception Area- Refer to plans for square footage. This entry is one of two doors used by employees to enter and exit the building. It is also the visitor entrance/exit. The external door to the Entry Lobby is open to visitors. A bell dings alerting staff that a visitor has arrived. The door from the Entry Lobby to the secure area has an electronic key pad entry. All employees have a unique digital electronic key code for entry through this door. There will be approximately 1-2 occupants in this space intermittently.

2. Flower Room 1, 2, 3 & 4 - These rooms are an indoor agriculture, third stage of cultivating plants which are moved from veg rooms to flower rooms, where again they are exposed to specific environmental conditions for approximately 8 weeks. There will be approximately 600-1,000 plants per cycle, per room, based upon the specific plant type. There will be approximately 4-6 occupants in these spaces intermittently.

3. Water Room - This room contains the water and fertigation systems, water filtration, plant nutrients, water reservoirs, water treatment and collection. There will be no occupants in this space.

4. Wet Processing - First stage of harvesting plant material, separation of usable and non-usable materials. There will be 2 occupants in this space.

5. Drying & Curing - This room contains the second stage of harvesting plant materials. Materials are stored in this room for 10-15 days to reduce the moisture content within the plant materials. There will be no occupants in this space.

6. Dry Processing - This room contains the third stage of harvesting, plant materials are taken from the drying & curing room and processed into (5lb) lots for storage and 3rd party lab testing. Upon receipt of 3rd party lab reports, plant materials are then packaged for sales. There will be 4-6 occupants in this space intermittently.

7. Mother's - This room contains the indoor agriculture, repository of plant genetics in the form of mature cannabis plants, these plants provide cuttings to support the entire cultivation process. This room will contain approximately 30-50 plants at a time. There will be 0-2 occupants in this space intermittently.

8. Clones - This room contains indoor agriculture, first stage of cultivating; Cuttings "clones" from mother plants are maintained in the clone's room under specific environmental conditions for two weeks. This room will contain approximately 1,000 - 3,000 plant cuttings, i.e. "Clones" at a time. There will be 0-2 occupants in this space intermittently.

9. Veg. Room - This room is mainly comprised of trays where indoor agriculture, second stage of cultivating. Two-week old clones are moved to the veg room and exposed to specific environmental conditions for approximately 4 weeks. This room will contain 1,200-2,000 plants per cycle based upon plant type. There will be approximately 0-2 occupants in this space intermittently.

10. Entry (Cultivation Egress) - This door is one of two doors that employees use to enter and exit the building which branches off into men's and women's locker room areas. The outside door has a commercial grade electronic key pad entry system. Each employee has a unique entry code. The interior door is kept closed, but not locked. There will be no occupants in this space.

11. Men's Locker Room - This room contains employee storage facilities for personalized items. There will be approximately 0-16 occupants in this space intermittently.

12. Women's Locker Room - This room contains employee storage facilities for personalized items. There will be approximately 0-8 occupants in this space intermittently.

13. Finished Goods Vault - Warehousing of finished goods, order fulfillment and traditional warehouse of logistics activities. There will be approximately 2-4 occupants in this space intermittently.

14. Janitor / Maintenance - Facility for sanitation. There will be approximately 1 occupant in this space intermittently.

15. Equipment Room - Elevator equipment room. There will be approximately no occupants in this space.

16. Storage Room - General supply storage. There will be approximately no occupants in this space.

17. Electrical Room - No work performed in this area. There will be approximately no occupants in this space.

18. Men's and Women's Baths - Available to all employees and visitors. These two rooms have appropriate facilities including hand washing sinks. There will be approximately 0-6 occupants in these spaces intermittently.

19. Secure Loading/Unloading Area - Raw cannabis is received in this space. Shipping manifests are reviewed, product is inspected, and shipments are accepted or rejected. After accepting a shipment, the external door is closed and the locking mechanism engages. At this point, raw cannabis is moved to the Raw Material Storage area until the manufacturing facility is ready to use it. Other raw materials are received in this space in the same manner. Complete packaged products are also loaded into distribution vans from this location. There will be no occupants in this space.

ODOR SUPPRESSION MEASURES

a. The project will implement a strategy of filtering any exhaust air through a carbon scrubber to mitigate odor and will also design the HVAC system with negative and positive pressure rooms, as appropriate, to control the flow of air with others and to prevent it from escaping the building. The carbon scrubber (filtering system) shall be Air Box 4+ Stealth Edition 3,500 CFM 12" Flange or similar as specified by a qualified licensed design professional.

FLOOR PLAN LEGEND

EXISTING 10" CONCRETE WALL TO REMAIN

EXISTING NON-STRUCTURAL INTERIOR WALL TO REMAIN

PROPOSED NON-STRUCTURAL INTERIOR WALL: 5" Light Gauge Steel Stud @ 24" O.C. with 1 layer of 5/8" gypsum board each side.

PROPOSED NON-STRUCTURAL INTERIOR WALL: 3" Light Gauge Steel Stud @ 24" O.C. with 1 layer of 5/8" gypsum board each side.

4" U.N.O.

DOOR AND SYMBOL. See door schedule for complete information

WINDOW AND SYMBOL. See window schedule for complete information

FIRE EXTINGUISHER CABINET

FLOOR PLAN NOTES

A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.

B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.

C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.

D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.

DIMENSIONS

EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)

INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)

CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

PROPERTY OWNER

10170 Sorrento Valley Rd.
San Diego CA. 92121

DETAILED DESCRIPTION OF SPACES

1. Reception Area- Refer to plans for square footage. This entry is one of two doors used by employees to enter and exit the building. It is also the visitor entrance/exit. The external door to the Entry Lobby is open to visitors. A bell dings alerting staff that a visitor has arrived. The door from the Entry Lobby to the secure area has an electronic key pad entry. All employees have a unique digital electronic key code for entry through this door. There will be approximately 1-2 occupants in this space intermittently.

2. Flower Room 1, 2, 3 & 4 - These rooms are an indoor agriculture, third stage of cultivating plants which are moved from veg rooms to flower rooms, where again they are exposed to specific environmental conditions for approximately 8 weeks. There will be approximately 600-1,000 plants per cycle, per room, based upon the specific plant type. There will be approximately 4-6 occupants in these spaces intermittently.

3. Water Room - This room contains the water and fertigation systems, water filtration, plant nutrients, water reservoirs, water treatment and collection. There will be no occupants in this space.

4. Wet Processing - First stage of harvesting plant material, separation of usable and non-usable materials. There will be 2 occupants in this space.

5. Drying & Curing - This room contains the second stage of harvesting plant materials. Materials are stored in this room for 10-15 days to reduce the moisture content within the plant materials. There will be no occupants in this space.

6. Dry Processing - This room contains the third stage of harvesting, plant materials are taken from the drying & curing room and processed into (5lb) lots for storage and 3rd party lab testing. Upon receipt of 3rd party lab reports, plant materials are then packaged for sales. There will be 4-6 occupants in this space intermittently.

7. Mother's - This room contains the indoor agriculture, repository of plant genetics in the form of mature cannabis plants, these plants provide cuttings to support the entire cultivation process. This room will contain approximately 30-50 plants at a time. There will be 0-2 occupants in this space intermittently.

8. Clones - This room contains indoor agriculture, first stage of cultivating; Cuttings "clones" from mother plants are maintained in the clone's room under specific environmental conditions for two weeks. This room will contain approximately 1,000 - 3,000 plant cuttings, i.e. "Clones" at a time. There will be 0-2 occupants in this space intermittently.

9. Veg. Room - This room is mainly comprised of trays where indoor agriculture, second stage of cultivating. Two-week old clones are moved to the veg room and exposed to specific environmental conditions for approximately 4 weeks. This room will contain 1,200-2,000 plants per cycle based upon plant type. There will be approximately 0-2 occupants in this space intermittently.

10. Entry (Cultivation Egress) - This door is one of two doors that employees use to enter and exit the building which branches off into men's and women's locker room areas. The outside door has a commercial grade electronic key pad entry system. Each employee has a unique entry code. The interior door is kept closed, but not locked. There will be no occupants in this space.

11. Men's Locker Room - This room contains employee storage facilities for personalized items. There will be approximately 0-16 occupants in this space intermittently.

12. Women's Locker Room - This room contains employee storage facilities for personalized items. There will be approximately 0-8 occupants in this space intermittently.

13. Finished Goods Vault - Warehousing of finished goods, order fulfillment and traditional warehouse of logistics activities. There will be approximately 2-4 occupants in this space intermittently.

14. Janitor / Maintenance - Facility for sanitation. There will be approximately 1 occupant in this space intermittently.

15. Equipment Room - Elevator equipment room. There will be approximately no occupants in this space.

16. Storage Room - General supply storage. There will be approximately no occupants in this space.

17. Electrical Room - No work performed in this area. There will be approximately no occupants in this space.

18. Men's and Women's Baths - Available to all employees and visitors. These two rooms have appropriate facilities including hand washing sinks. There will be approximately 0-6 occupants in these spaces intermittently.

19. Secure Loading/Unloading Area - Raw cannabis is received in this space. Shipping manifests are reviewed, product is inspected, and shipments are accepted or rejected. After accepting a shipment, the external door is closed and the locking mechanism engages. At this point, raw cannabis is moved to the Raw Material Storage area until the manufacturing facility is ready to use it. Other raw materials are received in this space in the same manner. Complete packaged products are also loaded into distribution vans from this location. There will be no occupants in this space.

MARK DATE DESCRIPTION

PROJECT NO: 1731

CAD DWG FILE: A106 FIRST FLOOR PLAN - PROPOSED DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

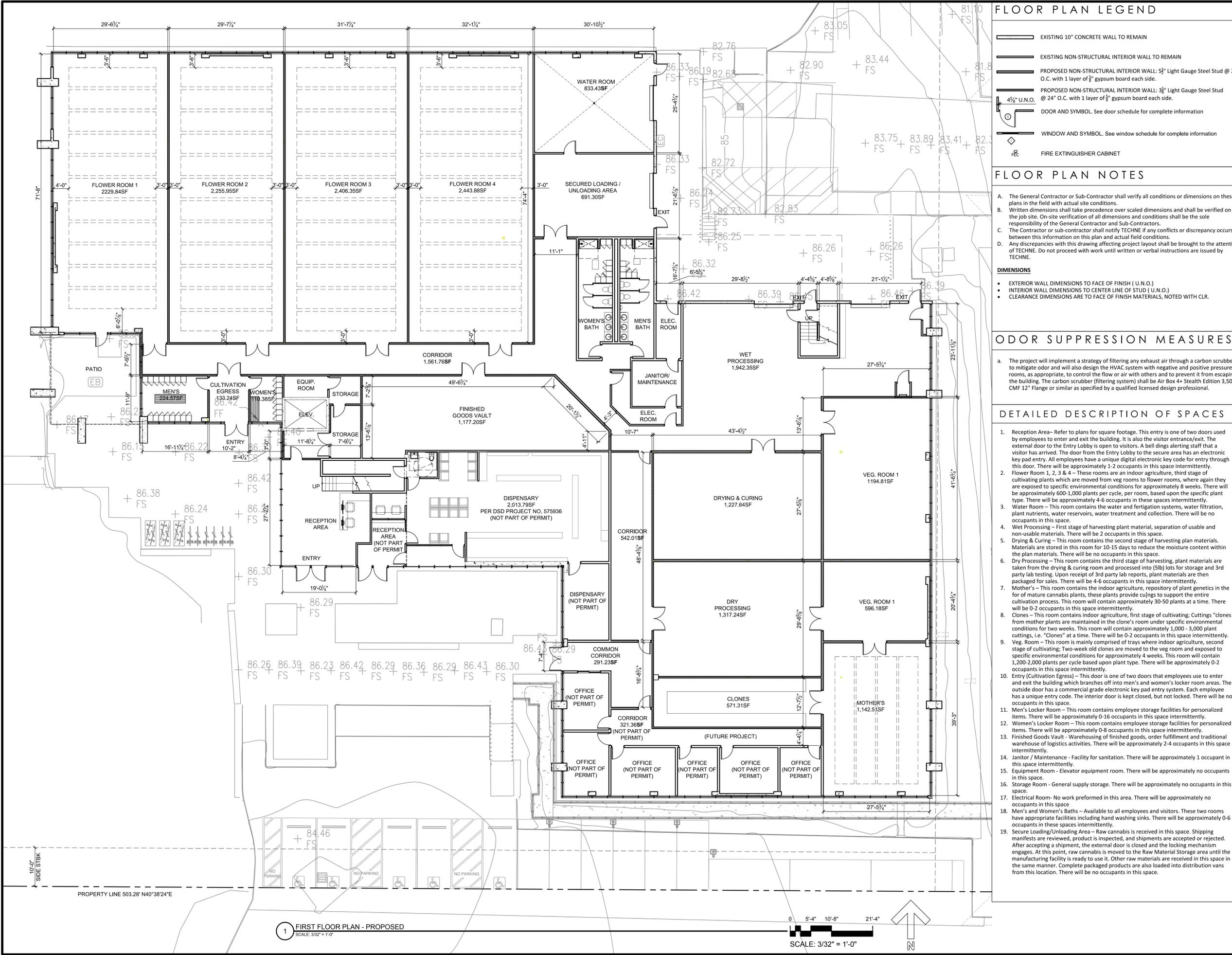
COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE

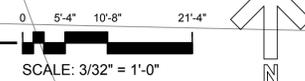
FIRST FLOOR PLAN - PROPOSED

A106

SHEET 14 OF 17



1 FIRST FLOOR PLAN - PROPOSED
SCALE: 3/32" = 1'-0"



PROPERTY LINE 503.28' N40°38'24\"

10'-0\" SIDE STBK

CONSULTANTS

10170 Sorrento Valley Rd.
 San Diego CA. 92121

CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER

10170 Sorrento Valley Rd.
 San Diego CA. 92121

CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER

10170 Sorrento Valley Rd.
 San Diego CA. 92121

CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER

10170 Sorrento Valley Rd.
 San Diego CA. 92121

CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER

10170 Sorrento Valley Rd.
 San Diego CA. 92121

CIRE Equity
 530 B. St. San Diego CA. 92121

PROPERTY OWNER

FLOOR PLAN LEGEND

- EXISTING 10" CONCRETE WALL TO REMAIN
- EXISTING NON-STRUCTURAL INTERIOR WALL TO REMAIN
- PROPOSED NON-STRUCTURAL INTERIOR WALL: 5" Light Gauge Steel Stud @ 24" O.C. with 1 layer of 5/8" gypsum board each side.
- PROPOSED NON-STRUCTURAL INTERIOR WALL: 3/8" Light Gauge Steel Stud @ 24" O.C. with 1 layer of 5/8" gypsum board each side.
- DOOR AND SYMBOL. See door schedule for complete information
- WINDOW AND SYMBOL. See window schedule for complete information
- FIRE EXTINGUISHER CABINET

FLOOR PLAN NOTES

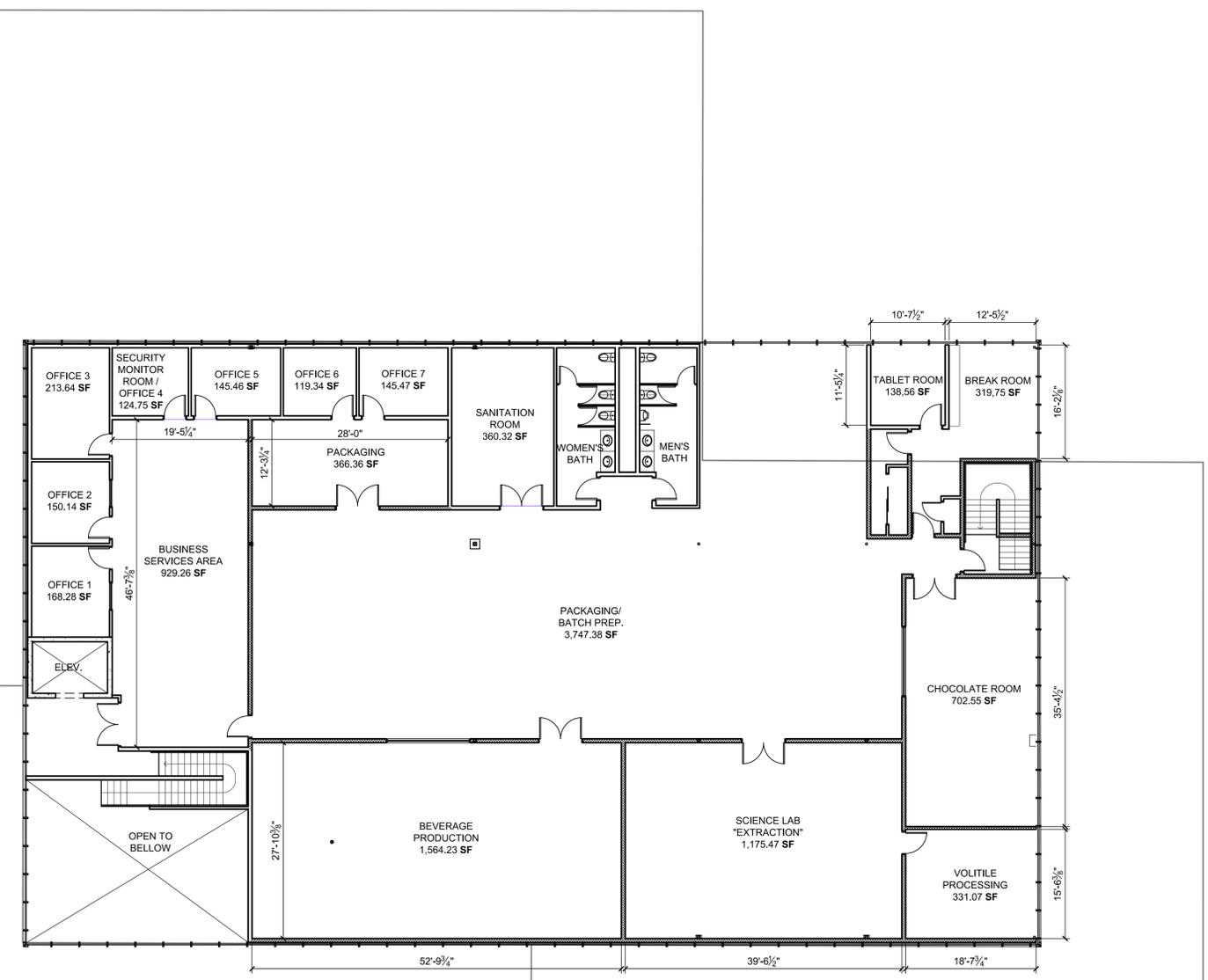
- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
 - B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
 - C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
 - D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.
- DIMENSIONS**
- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
 - INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
 - CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

ODOR SUPPRESSION MEASURES

- a. The project will implement a strategy of filtering any exhaust air through a carbon scrubber to mitigate odor and will also design the HVAC system with negative and positive pressure rooms, as appropriate, to control the flow or air with others and to prevent it from escaping the building. The carbon scrubber (filtering system) shall be Air Box 4+ Stealth Edition 3,500 CFM 12" Flange or similar as specified by a qualified licensed design professional.

DETAILED DESCRIPTION OF SPACES

1. Business Services Area – Business management, administrative, finance, compliance, human resources and sales activity will take place in this space. There will be approximately 6-8 occupants in this space intermittently.
2. Office's 1 to 7 – Used by management staff for daily research activities. This room is not separately locked. There will be approximately 1 occupant in each office space.
3. Bio-Research Lab – Research and development laboratory. There will be approximately 0-2 occupants in this space intermittently.
4. Sanitation Room – Washing, mopping and cleaning. There will be approximately 1 occupant in this space.
5. Packaging Batch Preparation – Production batching, processing and packaging of concentrates, edibles, topical and other miscellaneous products. There will be approximately 8-12 occupants in this space intermittently.
6. Beverage Production – The production and packaging of beverages, this includes ready to drink, single serve and pyramid tea bag style products. There will be approximately 2-4 occupants in these spaces intermittently.
7. Science Lab Extraction Room – Cannabis is processed for extraction; to be further refined as an ingredient for manufactured consumables such as edibles, vapes, topical and research ingredients. Extraction involves washing the plant material with a non-volatile solvent, in an approved closed loop extraction system. The solvent is removed using approved laboratory process and equipment. The raw extract undergoes further processing for activation and refinement. The activation and refinement implement approved filtering, washing and distilling processes and equipment, employing best. There will be approximately 2-4 occupants in this space intermittently.
8. Volatile Processing – This is a supplemental room of the Science Extraction lab that houses Volatile Processing equipment and processing. The area employs the use of approved hydrocarbons as a solvent, in a closed loop extraction system. Due to the volatility of the solvents, the room is fabricated in a way to be approved by the local fire code official for its purpose. There will be no occupants in this space.
9. Chocolate Room – Confections productions to include chocolates. There will be 2-4 occupants in this space intermittently.
10. Tablet Room – Tablet production, to include mints and hard shelled edibles. There will be 1 occupant in this space.
11. Break Room – The employee break room is used for breaks, lunches, etc. It is not separately locked. There will be approximately 2-4 occupants in this space intermittently.
12. Men's and Women's Baths – Available to all employees and visitors. These two rooms have appropriate facilities including hand washing sinks. There will be approximately 0-3 occupants in these spaces intermittently.



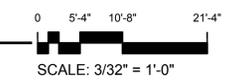
OUTLINE OF FIRST LEVEL

OUTLINE OF FIRST LEVEL

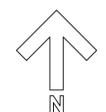
10'-0" SIDE STBK

PROPERTY LINE 503.28' N40°38'24"E

1 SECOND FLOOR PLAN - PROPOSED
 SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"



01	11.16.17	CUP - Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
05/29/18	12/29/18	REV

PROJECT NO: 1731
 CAD DWG FILE: A107 SECOND FLOOR PLAN - PROPOSED.DWG
 DRAWN BY: A.S., B.P., C.G., S.V.
 CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE
 SECOND FLOOR PLAN - PROPOSED

A107
 SHEET 15 OF 17

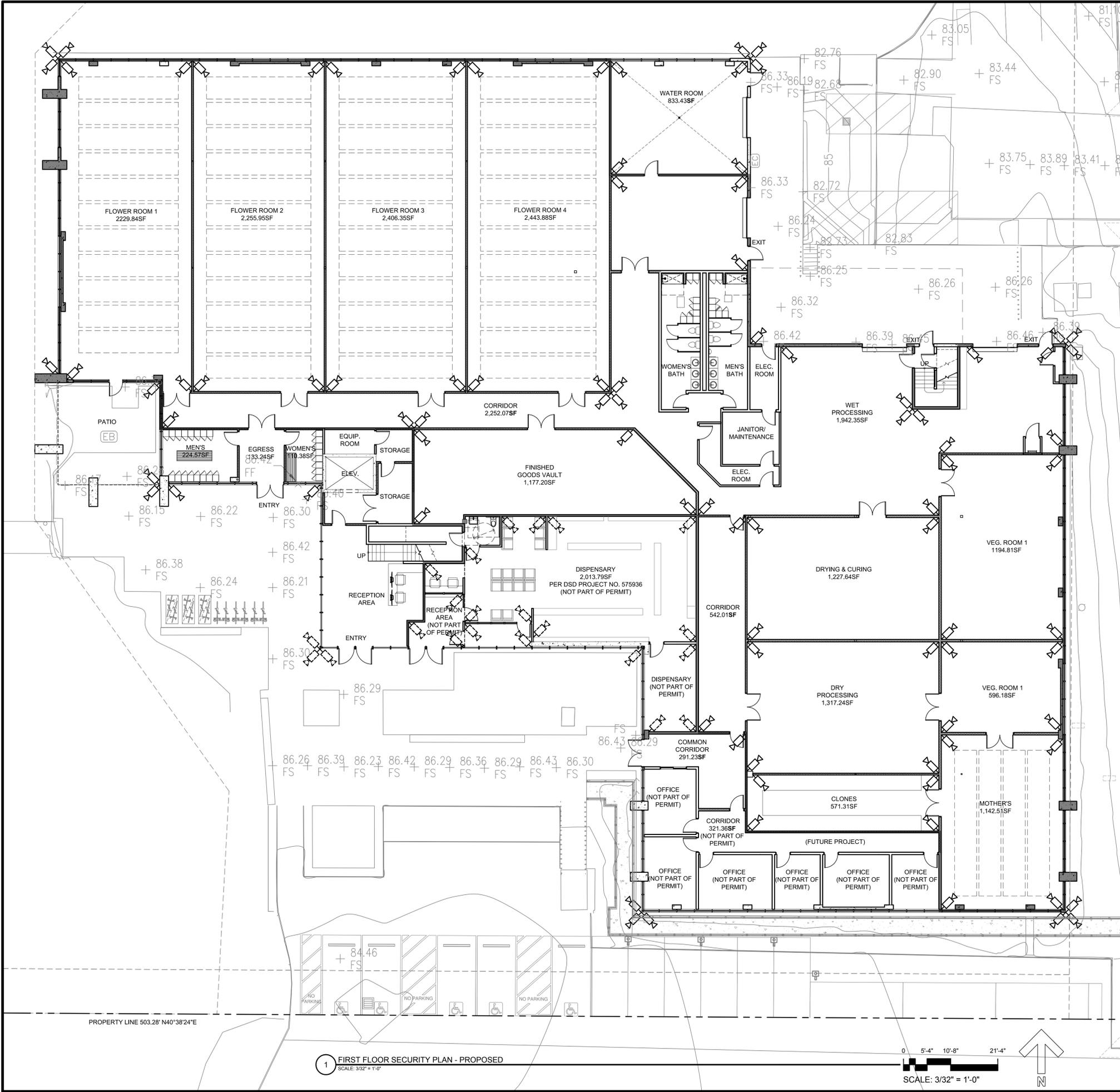
CONSULTANTS

Blank area for consultant information.

Blank area for consultant information.

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER
 CIRE Equity
 530 B. St. San Diego CA. 92121



SECURITY NOTES

- A. The site shall be alarmed with centrally monitored fire and burglary alarm system and monitored by an alarm company licensed by the State of California (B & P Code 7590 et.seq.)
- B. A surveillance camera shall be placed at face level to capture recording of every individual coming and going from the business for identification purposes.
- C. 24-hour fixed camera video surveillance shall be available for 90 days after recording. The recording shall be of a sufficient quality to provide identification of any individual being recorded; that the surveillance covers every interior area and room and adjacent perimeter area within a minimum of 50 feet; and that the City of La Mesa Police Department or other city authorized department shall have 24 hour remote access to the surveillance system.
- City of La Mesa Municipal Code: Sec. 10.100.040 - Alarm User Responsibility
- D. It shall be the responsibility of the alarm user to maintain or have maintained in proper working order, any type of security alarm system installed upon, in or around the protected property, from system failure, malfunction, misuse, misoperation or accidental tripping and to insure that any agent, lessee, relative or guest does not falsely activate the system due to system failure, malfunction, misuse, misoperation or accidental tripping.
- D.a. Every alarm user shall post, legible to law enforcement personnel, 1) the name and phone number of the alarm company providing 24 hour response service; or 2) shall make available and keep up to date, on file with the La Mesa Police Department, the names and phone numbers of two persons who will respond at the request of the police department to silence the alarm and check the alarmed area. This section provides ability to notify a responsible party.
- D.b. It shall be unlawful to use an alarm designed to report robberies (211 P.C.), burglaries (459 P.C.) or fires for any other purpose, non-emergency service or disturbance, knowing such report to be false. (Ord.2313; May 12, 1983)

SECURITY PLAN LEGEND

- PROPOSED SECURITY CAMERA
- 69 - PROPOSED INTERIOR SECURITY CAMERAS
- 22 - PROPOSED EXTERIOR SECURITY CAMERAS
- SECURITY CAMERA PER PROJECT NO. 575936
- LEVEL 1 BULLET RESISTANT WALL.

SECURITY MEASURES

- THIS PROJECT PROPOSES TO IMPLEMENT THE FOLLOWING SECURITY MEASURES:
1. OPERABLE CAMERAS (On-site and off-site monitoring with remote backup)
 2. ALARMS
 3. LICENSED SECURITY GUARD DURING BUSINESS HOURS
 4. BULLET RESISTANT ASSEMBLIES TO PROTECT EMPLOYEES
 5. METAL DETECTORS
 6. "MAN-TRAP" TYPE EXIT
 7. ILLUMINATION AROUND BUILDING, IN PARKING AREAS AND IN ADJACENT SIDEWALKS

MARK	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

PROJECT NO: 1731
 CAD DWG FILE: A108 FIRST FLOOR SECURITY PLAN - PROPOSED.DWG

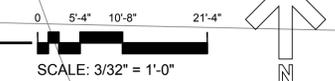
DRAWN BY: A.S., B.P., C.G., S.V.
 CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SHEET TITLE
FIRST FLOOR SECURITY PLAN - PROPOSED

A108

1 FIRST FLOOR SECURITY PLAN - PROPOSED
 SCALE: 3/32" = 1'-0"



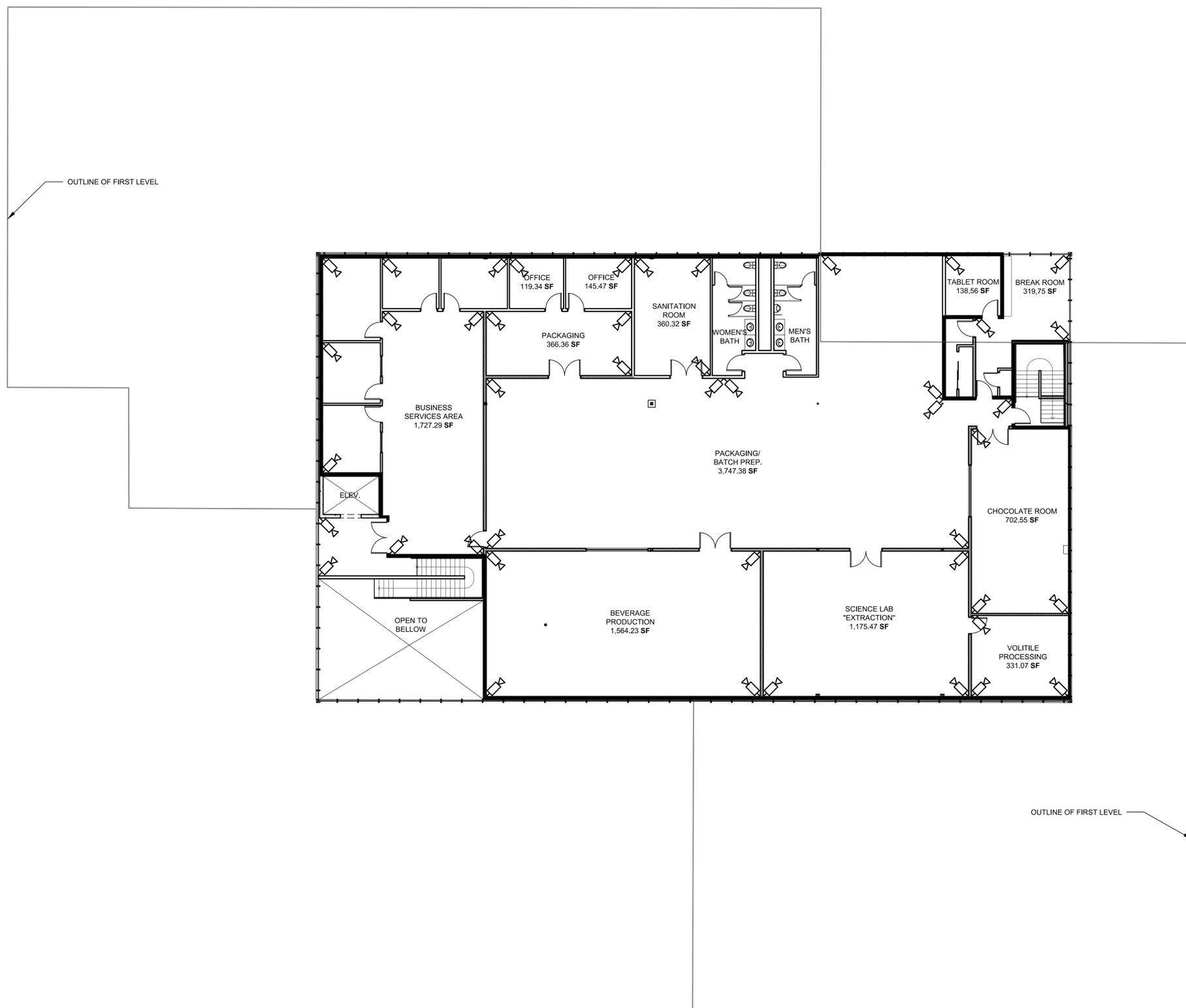
PROPERTY LINE 503.28' N40°38'24"E

CONSULTANTS

10170 Sorrento Valley Rd.
 San Diego CA. 92121

PROPERTY OWNER

CIRE Equity
 530 B. St. San Diego CA. 92121



SECURITY NOTES

- A. The site shall be alarmed with centrally monitored fire and burglary alarm system and monitored by an alarm company licensed by the State of California (B & P Code 7590 et.seq.)
- B. A surveillance camera shall be placed at face level to capture recording of every individual coming and going from the business for identification purposes.
- C. 24-hour fixed camera video surveillance shall be available for 90 days after recording. The recording shall be of a sufficient quality to provide identification of any individual being recorded; that the surveillance covers every interior area and room and adjacent perimeter area within a minimum of 50 feet; and that the City of La Mesa Police Department or other city authorized department shall have 24 hour remote access to the surveillance system.
- D. It shall be the responsibility of the alarm user to maintain or have maintained in proper working order, any type of security alarm system installed upon, in or around the protected property, from system failure, malfunction, misuse, misoperation or accidental tripping and to insure that any agent, lessee, relative or guest does not falsely activate the system due to system failure, malfunction, misuse, misoperation or accidental tripping.
- D.a. Every alarm user shall post, legible to law enforcement personnel, 1) the name and phone number of the alarm company providing 24 hour response service; or 2) shall make available and keep up to date, on file with the La Mesa Police Department, the names and phone numbers of two persons who will respond at the request of the police department to silence the alarm and check the alarmed area. This section provides ability to notify a responsible party.
- D.b. It shall be unlawful to use an alarm designed to report robberies (211 P.C.), burglaries (459 P.C.) or fires for any other purpose, non-emergency service or disturbance, knowing such report to be false, (Ord.2313; May 12, 1983)

SECURITY PLAN LEGEND

- SECURITY CAMERA
- 45 - INTERIOR SECURITY CAMERAS
- LEVEL 1 BULLET RESISTANT WALL.

SECURITY MEASURES

- THIS PROJECT PROPOSES TO IMPLEMENT THE FOLLOWING SECURITY MEASURES:
1. OPERABLE CAMERAS (On-site and off-site monitoring with remote backup)
 2. ALARMS
 3. LICENSED SECURITY GUARD DURING BUSINESS HOURS
 4. BULLET RESISTANT ASSEMBLIES TO PROTECT EMPLOYEES
 5. METAL DETECTORS
 6. "MAN-TRAP" TYPE EXIT
 7. ILLUMINATION AROUND BUILDING, IN PARKING AREAS AND IN ADJACENT SIDEWALKS

MARK	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
01	11.16.17	

PROJECT NO: 1731

CAD DWG FILE: A108 SECOND FLOOR SECURITY PLAN - PROPOSED.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

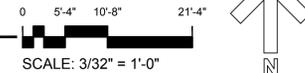
CHK'D BY: A.S.

COPYRIGHT: Ideal Environment LLC (dba TECHNE) expressly reserves its common law copyright and other property rights in this document. This document shall not be reproduced, copied, changed or disclosed in any form or manner whatsoever without first obtaining the express written consent of TECHNE.

SECOND FLOOR SECURITY PLAN - PROPOSED

A109

1 SECOND FLOOR SECURITY PLAN - PROPOSED
 SCALE: 3/32" = 1'-0"



OUTLINE OF FIRST LEVEL

OUTLINE OF FIRST LEVEL

10'-0" SIDE STBK

PROPERTY LINE 503.28' N40°38'24"E