



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: November 10, 2020 REPORT NO. HO-20-051

HEARING DATE: November 18, 2020

SUBJECT: FAY AVE HOMES CDP/SDP/TM, Process Three Decision

PROJECT NUMBER: [662116](#)

OWNER/APPLICANT: PLAYA DEL NORTE INVESTMENT LLC, Owner and Brian Britton, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing single dwelling unit and detached garage, the subdivision of an existing small lot into two lots, and the construction of two new two-story single dwelling units with two detached garages on each lot?

Staff Recommendations:

1. Approve Coastal Development Permit No. 2414194;
2. Approve Site Development Permit No. 2414196; and
3. Approve Tentative Map No. 2414197

Community Planning Group Recommendation: On November 5, 2020, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the proposed project without conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA sections 15301 (Existing Facilities), 15303 (New Construction), and 15315 (Minor Land Division). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on August 17, 2020, and the opportunity to appeal that determination ended August 31, 2020.

BACKGROUND

The project site is located at 7214 – 7216 Fay Avenue, within the La Jolla Community Plan and Local Coastal Program Land Use Plan area (Attachment 1). The 0.16-acre site is in the RM-1-1 Zone and designated for Low Medium Residential with 9 to 15 dwelling units per acre (DU/AC) (Attachment 2). The project site is also located within the Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact), Transit Priority Area, and Geologic Hazard Category 53. The rectangular lot is bordered on the north by residential development, Fay Avenue to the east, Bishop Lane to the west, and a Post-Acute Care Center to the south (Attachment 3).

The project site currently contains one single dwelling unit and a detached garage that were built in 1940. A review of the existing site was conducted by City staff to determine if potential significant historic resources exist on the site in accordance to San Diego Municipal Code (SDMC) section [143.0212](#). Based on the documentation provided, staff determined the property does not meet local designation criteria as an individually significant historic resource under any adopted Historic Resources Board criteria.

The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA), and does not contain any other type of Environmentally Sensitive Lands (ESL) as defined in SDMC section [113.0103](#). The project site is approximately 2,670 linear feet away from the ocean and is not located within the First Public Roadway. There are no public view corridors, vantage points, or physical access routes from the project site, as identified in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

DISCUSSION

The project is within the Coastal Overlay Zone and requires a Coastal Development Permit pursuant to San Diego Municipal Code (SDMC) section [126.0702](#). Pursuant to SDMC section [126.0502\(b\)](#), a Process Three, Site Development Permit is required for residential development that involves development of a small lot subdivision in accordance with SDMC section [143.0365](#) and [Table 143-03C](#). A Process Three, Tentative Map is required for each subdivision of land when additional lots are created in accordance to SDMC section [125.0430](#).

The project proposes the demolition of an existing single dwelling unit and detached garage, the subdivision of an existing small lot into two lots, and construction of two new two-story single dwelling units with two detached garages on each lot. The new single dwelling unit with a new detached garage located at 7214 Fay Avenue would total 2,658 square feet, and the new single dwelling unit with a new detached garage located at 7216 Fay Avenue would total 2,596 square feet. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide the 0.16-acre lot into two parcels shall be recorded with the County Recorder's Office.

The project is consistent with the land use designation of single-family residential development (maximum of 15 dwelling units/acre) in the Community Plan. The 0.16-acre site could accommodate one unit per small lot pursuant to SDMC [Table 143-03C](#). The project site is not located within the First Public Roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan. In addition, the project will not

encroach upon any existing physical way legally used by the public or any proposed public accessway identified in the Community Plan ([Figure 9, Pages 35-36](#)). The project complies with the small lot subdivision regulations and development standards required by the underlying RM-1-1 Zone including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the project is not requesting any deviations or variances from the applicable regulations.

CONCLUSION

City staff has reviewed this application for a Coastal Development Permit, Site Development Permit, and Tentative Map and has determined that the project is consistent with the recommended land use and development standards in effect for the site. Staff has provided draft findings (Attachment 4) and conditions (Attachment 5 and 7) to support approval of the project. Therefore, staff recommends that the Hearing Officer approve Coastal Development Permit No. 2414194, Site Development Permit No. 2414196, and Tentative Map No. 2414197.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2414194, Site Development Permit No. 2414196, and Tentative Map No. 2414197 with modifications.
2. Deny Coastal Development Permit No. 2414194, Site Development Permit No. 2414196, and Tentative Map No. 2414197, if the findings required to approve the project cannot be affirmed.

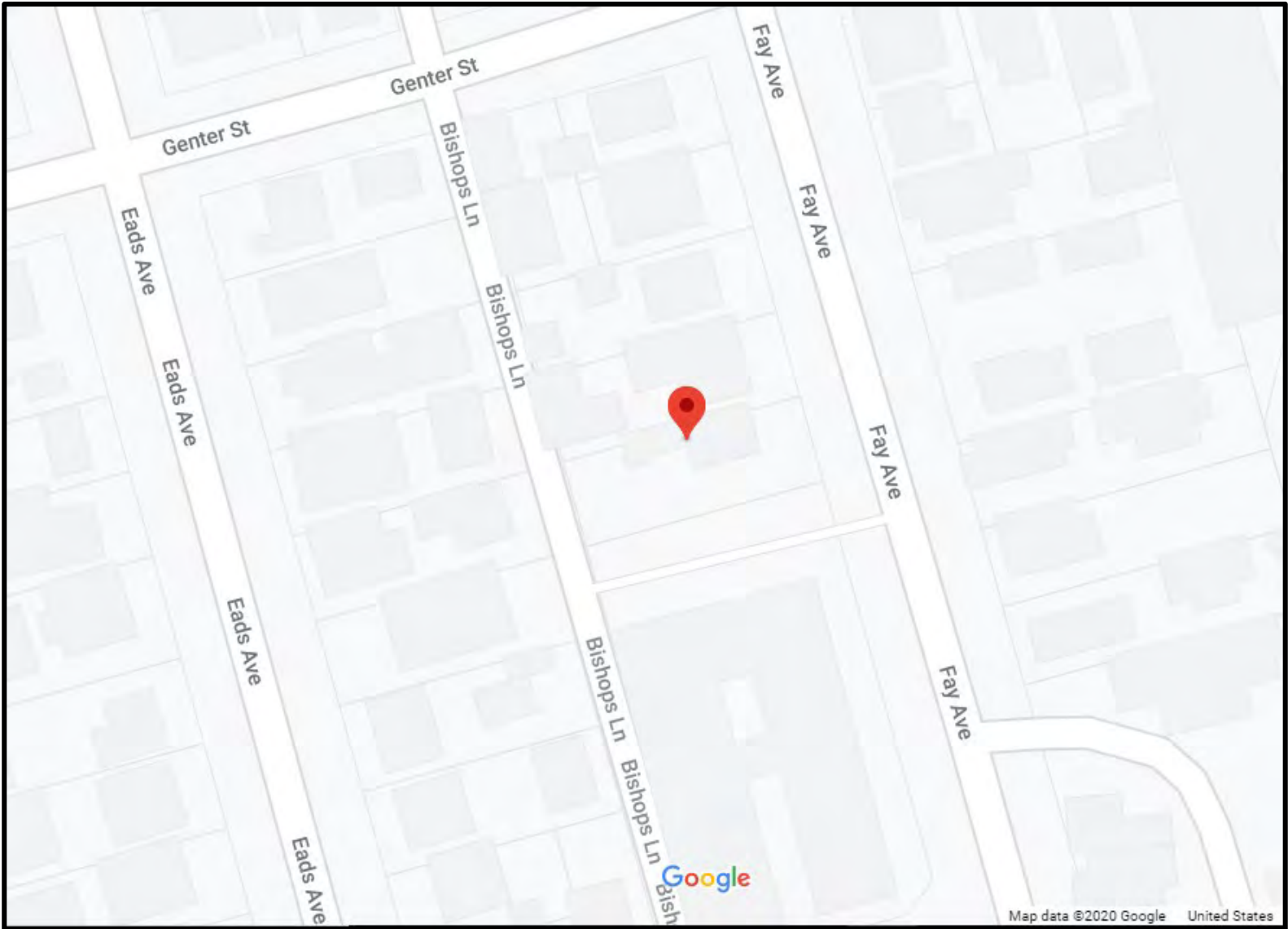
Respectfully submitted,



Benjamin Hafertepe, Development Project Manager

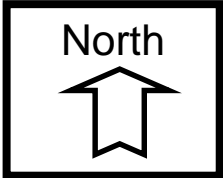
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Draft Tentative Map Resolution
7. Draft Tentative Map Conditions
8. Environmental Exemption
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans

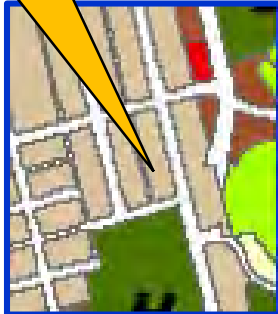


Project Location Map

Fay Ave Homes CDP/SDP/TM
Project No. 662116 - 7214-7216 Fay Avenue



Project Site

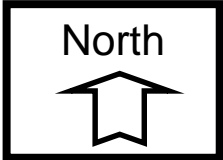


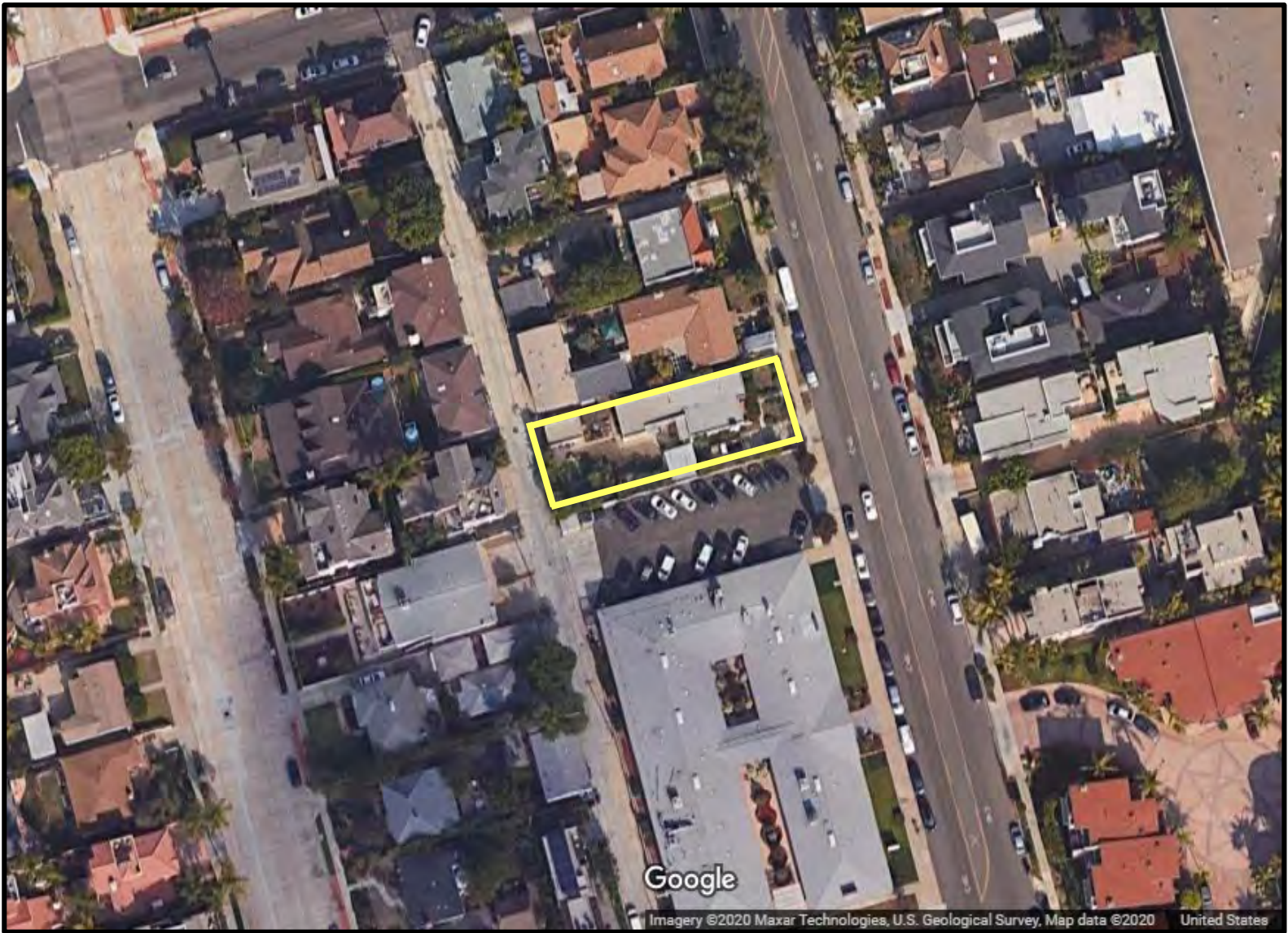
- Legend
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)**
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities
 - Elementary School
 - Junior High School
 - High School
 - School
 - Library
 - Fire Station
 - Post Office



Land Use Map

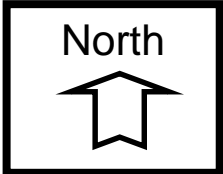
Fay Ave Homes CDP/SDP/TM
Project No. 662116 - 7214-7216 Fay Avenue





Aerial Photograph

Fay Ave Homes CDP/SDP/TM
Project No. 662116 - 7214-7216 Fay Avenue



HEARING OFFICER
RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2414194
SITE DEVELOPMENT PERMIT NO. 2414196
FAY AVE HOMES CDP/SDP/TM PROJECT NO. 662116

WHEREAS, PLAYA DEL NORTE INVESTMET LLC, a California limited liability company, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single dwelling unit and detached garage, subdivide a 0.16-acre lot into two lots, and construct two, two-story single family residences with two detached garages on each lot totaling approximately 5,254 square feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2414194, Site Development Permit No. 2414196, and Tentative Map No. 2414197 on portions of a 0.16-acre site;

WHEREAS, the project site is located at 7214 and 7216 Fay Avenue in the RM-1-1 Zone, Coastal Height Limit Overlay Zone, Coastal Overlay Zone (Non Appealable 2), Parking Impact Overlay Zone (Coastal Impact), Transit Priority Area, and Geologic Hazard Category 53 within the La Jolla Community Plan area;

WHEREAS, the 0.16-acre project site is legally described as Lot 16 in Block 1 of J.T. Corcoran's Subdivision of part of Block 2 of J.G. Burne's Addition to La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1387, filed in the Office of the County Recorder of San Diego County, November 2, 1911;

WHEREAS, on August 17, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15301 (Existing Facilities), 15303 (New Construction), and 15315 (Minor Land Division), and there was no appeal of the

Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on November 18, 2020, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2414194 and Site Development Permit No. 2414196 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2414194 and Site Development Permit No. 2414196:

A. COASTAL DEVELOPMENT PERMIT [SDMC SECTION 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The subject site is located at 7214 - 7216 Fay Avenue in La Jolla. The site is currently developed with an existing single dwelling unit. The development proposes to demolish the existing single dwelling unit and detached garage, subdivide a 0.16-acre lot into two lots, and construct two, two-story single dwelling units with two detached garages on each lot totaling approximately 5,254 square feet. The proposed new single dwelling units would be constructed on the existing developed lot that contains no physical accessways used or proposed for public use. The proposed development will enhance and protect public views by keeping all development within the 30-foot coastal height limit, as well as removing existing non-conforming structures from the right of way and setback area. The La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) does not identify any public views from this property along the ocean. Furthermore, the proposed coastal development will not degrade and will not remove, eliminate, or detract any protected public views to and along the ocean and other scenic coastal areas as specific in the Local Coastal Program land use plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The development proposes to demolish the existing single dwelling unit and detached garage, subdivide a 0.16-acre lot into two lots, and construct two, two-story single dwelling units with two detached garages on each lot totaling approximately 5,254

square feet. The subject site does not contain nor is adjacent to any environmentally sensitive lands. The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(Existing Facilities), 15303 (New Construction), and 15315 (Minor Land Division). Therefore, the development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The development proposes to demolish the existing single dwelling unit and detached garage, subdivide a 0.16-acre lot into two lots, and construct two, two-story single dwelling units with two detached garages on each lot totaling approximately 5,254 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The 0.16-acre site could accommodate one unit per small lot pursuant to San Diego Municipal Code Table 143-03C. The project is consistent with the land use designation of single-family residential development (9-15 dwelling units/acre) in the Community Plan.

The project site is not located within the First Public Roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan. In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public accessway identified in the Community Plan. The project complies with the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the project is not requesting any deviations or variances from the applicable regulations. Therefore, the redevelopment of the site to subdivide the 0.16-acre lot into two lots and construct two, two-story single dwelling units with two garages on each lot is in conformity with the certified Local Coastal land use plan and complies with all regulations of the certified Implementation Program. It complies and implements the Implementation Program because the project is subject to and is obtaining all necessary entitlements for the redevelopment (a Coastal Development Permit, Site Development Permit, and Tentative Map).

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.16-acre lot is currently developed with an existing single dwelling unit and detached garage proposed to be demolished. The subdivision of the existing lot into two lots, and construction of two new two-story single dwelling units with two detached garages on each lot totaling 2,596 and 2,658 square feet, respectively, will be built in its place. The site is located within an urbanized and predominantly residential neighborhood. As such, the single-family residences will be part of an established single-family and multi-family residential neighborhood. The project site is not located between the first public road and the sea or shoreline of any body of water located

within the Coastal Overlay Zone. No public access or public recreation facilities exist on the project site. Therefore, the proposed project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT [SDMC SECTION 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The development proposes to demolish the existing single dwelling unit and detached garage, subdivide a 0.16-acre lot into two lots, and construct two, two-story single dwelling units with two detached garages on each lot totaling approximately 5,254 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The project is consistent with the land use designation of single-family residential development (9-15 dwelling units/acre) in the Community Plan.

The site is surrounded by both single-family and multi-family residences. The project site is not located within the first public roadway (Dunmere Drive and Dune Lane), and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan. In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public accessway identified in the Community Plan. The project complies with the development standards required by the underlying RM-1-1 Zone and small lot subdivision regulations including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the project is not requesting any deviations or variances from the applicable regulations and therefore, the redevelopment of the site for the subdivision of the 0.16-acre lot into two lots, and construction of two, two-story single family residences with two garages on each lot will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The development proposes to demolish the existing single dwelling unit and detached garage, subdivide a 0.16-acre lot into two lots, and construct two, two-story single dwelling units with two detached garages on each lot totaling approximately 5,254 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre). The environmental review of the project determined that the project would not have a significant environmental effect and found it categorically exempt under the California Environmental Quality Act (CEQA). The environmental analysis did not find any significant impacts to public health and safety. The project will not have any impact on the provision of essential public services. The project will not be detrimental to public health, safety, and welfare in that the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies,

regulations, and other regional state, and federal regulations to prevent detrimental impacts the health, safety, and welfare of persons residing and/or working in the area.

Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine if the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The development proposes to demolish the existing single dwelling unit and detached garage, subdivide a 0.16-acre lot into two lots, and construct two, two-story single dwelling units with two detached garages on each lot totaling approximately 5,254 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The 0.16-acre site could accommodate one unit per small lot pursuant to San Diego Municipal Code Table 143-03C. The project is consistent with the land use designation of single-family residential development (9-15 dwelling units/acre) in the Community Plan. The project site is not located within the First Public Roadway, and there are no view corridors, vantage points, or physical access routes from the project site.

The project is not requesting, nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, and development standards in effect for the site. The project complies with the development standards required by the underlying RM-1-1 Zone and small lot subdivision regulations including height, density, building setbacks, floor area ratio, lot coverage, and parking. The project is not requesting any deviations or variances from the applicable regulations. Therefore, the project will comply with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2414194 and Site Development Permit No. 2414196, a copy of which is attached hereto and made a part hereof.

Benjamin Hafertepe
Development Project Manager
Development Services

Adopted on: November 18, 2020

IO#: 24008589

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008589

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2414194
SITE DEVELOPMENT PERMIT NO. 2414196
FAY AVE HOMES CDP/SDP/TM PROJECT NO. 662116
HEARING OFFICER

This Coastal Development Permit No. 2414194, and Site Development Permit No. 2414196 is granted by the Hearing Officer of the City of San Diego to PLAYA DEL NORTE INVESTMET LLC, a California limited liability company, Owner/ Permittee, pursuant to San Diego Municipal Code [SDMC] sections 125.0440, 126.0505, 126.0708. The 0.16-acre site is located at 7214 – 7216 Fay Avenue in the RM-1-1 Zone, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact), Transit Priority Area, and Geologic Hazard Category 53 within the La Jolla Community Plan area. The project site is legally described as Lot 16 in Block 1 of J.T. Corcoran’s Subdivision of part of Block 2 of J.G. Burne’s Addition to La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1387, filed in the Office of the County Recorder of San Diego County, November 2, 1911.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single dwelling unit and detached garage, a 0.16-acre lot into two lots, and construct two, two-story single family residences with two detached garages on each lot totaling approximately 5,254 square feet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 18, 2020, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single dwelling unit and detached garage;
- b. The Subdivision of a 0.16-acre lot into two lots;
- c. The construction of two, two-story single dwelling units and two detached garages on each lot totaling 5,254 square feet;
- d. Off-street parking;

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 4, 2023.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. This Coastal Development Permit & Site Development Permit shall comply with the conditions of Tentative Map Permit No. 2414197.
13. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the walkway, landscape and irrigation located within the City's right-of-way, satisfactory to the City Engineer.
14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of non-utilized driveway, on Fay Avenue, with City standard curb, gutter and sidewalk, satisfactory to the City Engineer.
15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond remove the existing curb and replace with City standard curb & gutter, along the property frontage on Fay Avenue, satisfactory to the City Engineer.
16. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond replace the damaged sidewalk with City Standard sidewalk, adjacent to the site on Fay Avenue, satisfactory to the City Engineer.
17. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the alley, with full width standard concrete alley, adjacent to the site, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

PLANNING/DESIGN REQUIREMENTS:

19. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
21. Pursuant to SDMC 126.0707 Conditions may be imposed by the decision maker when approving a Coastal Development Permit. Conditions may include a provision for public access, open space, or conservation easements or the relocation or redesign of proposed site

improvements. In any subdivision or other land division, such conditions shall be imposed at the time of the subdivision or other land division, rather than through subsequent development permits

22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

23. All on-site parking stalls shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC

24. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of the non-utilized driveway, removal of the existing curb and improvement of the project frontage along Fay Avenue, with City standard curb, gutter and sidewalk, satisfactory to the City Engineer. All improvements shall be completed and accepted by the City Engineer prior to first occupancy.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

26. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

27. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

28. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

29. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Office of the City of San Diego on November 18, 2020 and [Approved Resolution Number].

DRAFT

ATTACHMENT 5

Coastal Development Permit No. 2414194
Site Development Permit No. 2414196
Tentative Map No. 2414197
Date of Approval: November 18, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Benjamin Hafertepe
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

PLAYA DEL NORTE INVESTMET LLC
Owner/Permittee

By _____
Humberto Perez
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NUMBER HO-_____
TENTATIVE MAP NO. 2414197
FAY AVE HOMES CDP/SDP/TM - PROJECT NO. 662116

WHEREAS, PLAYA DEL NORTE INVESTMET LLC, Subdivider, and CHRISTENSEN ENGINEERING & SURVEYING, Engineer, submitted an application to the City of San Diego for a Tentative Map No. 2414197 for the subdivision of a 0.16-acre lot into two single-family residential lots, and to waive the requirement to underground existing offsite overhead utilities. The project site is located at 7214 and 7216 Fay Avenue in the RM-1-1 Zone, Coastal Height Limit Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact), Transit Priority Area, and Geologic Hazard Category 53 within the La Jolla Community Plan area. The property is legally described as Lot 16 in Block 1 of J.T. Corcoran's Subdivision of part of Block 2 of J.G. Burne's Addition to La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1387, filed in the Office of the County Recorder of San Diego County, November 2, 1911; and

WHEREAS, the Map proposes the Subdivision of a 0.16-site into two single-family residential lots; and

WHEREAS, on August 17, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to California Government Code sections 66490 and 66491(b)-(f) (Subdivision Map Act) and San Diego Municipal Code section 144.0220; and

WHEREAS, on November 18, 2020, the Hearing Officer of the City of San Diego considered Tentative Map No. 2414197, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0440, and 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings pursuant to San Diego Municipal Code section 125.0440 with respect to Tentative Map No. 2414197:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The project is located at 7214 - 7216 Faye Avenue and includes a subdivision action to subdivide a 0.16-acre lot into two lots. The project proposes to demolish an existing single dwelling unit and detached garage, and construct two, two-story single-family residences with two detached garages on each lot. The La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) designates the site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The project is consistent with the land use designation of single-family residential development (maximum of 15 dwelling units/acre) in the Community Plan. The project site is not located within the First Public Roadway, and there are no view corridors, vantage points, or physical access routes from the project site. The proposed residential subdivision and construction of two dwelling units is consistent with Community Plan land use designation, and promotes the Community Plan goal of creating home-ownership opportunities and a range of housing types within La Jolla. In addition, there are no adverse impacts to any public view or coastal access as identified in the Community Plan. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project is located at 7214 - 7216 Faye Avenue and includes a subdivision action to subdivide a 0.16-acre lot into two lots. The project proposes to demolish an existing single dwelling unit and detached garage, and to construct two, two-story single dwelling units with two detached garages on each lot. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The project is consistent with the land use designation of single-family residential development (maximum of 15 dwelling units/acre) in the Community Plan. The project site is not located within the First Public Roadway, and there are no view corridors, vantage points, or physical access routes from the project site.

The project is not requesting, nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation and development standards in effect for the site. The project complies with the development standards required by the underlying RM-1-1 Zone and small lot subdivision regulations including height, density, building setbacks, floor area ratio, lot coverage, and parking. The project is not requesting any deviations or variances from the applicable regulations. Therefore, the project will comply with the applicable zoning and development regulations of the Land Development Code.

3. The site is physically suitable for the type and density of development.

The project is located at 7214 - 7216 Faye Avenue and includes a subdivision action to subdivide a 0.16-acre lot into two lots. The project proposes to demolish an existing single dwelling unit and detached garage, and construct two, two-story single dwelling units with two detached garages on each lot. The lot is currently improved with a single dwelling unit, detached garage, and associated appurtenances, including site walls and hardscape. The topography of the rectangular shaped lot descends gently to the west with approximately 5 feet overall relief. Vegetation across the lot consists of shrubs, trees, and ground cover associated with landscaping. The project proposes a land use that is compliant with the Land Development Code and is supported by the Community Plan. The Community Plan designates the site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The project is consistent with the land use designation of single-family residential development (maximum of 15 dwelling units/acre) in the Community Plan. The 0.16-acre site could accommodate one unit per small lot pursuant to San Diego Municipal Code Table 143-03C. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project is located at 7214 - 7216 Faye Avenue and includes a subdivision action to subdivide a 0.16-acre lot into two lots. The project proposes to demolish an existing single dwelling unit and detached garage, and construct two, two-story single dwelling units with two detached garages on each lot.

The project site is within an urbanized community. The project site is not located near the Multiple Habitat Planning Area and does not contain Environmentally Sensitive Lands as defined by the San Diego Municipal Code, therefore it does not adversely impact any environmentally sensitive lands or wildlife habitat. In addition, the City's environmental review determined the project to be exempt from the California Environmental Quality Act pursuant to sections 15301(Existing Facilities), 15303 (New Construction), and 15315 (Minor Land Division). Therefore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The project is located at 7214 - 7216 Faye Avenue and includes a subdivision action to subdivide a 0.16-acre lot into two lots. The project proposes to demolish an existing single dwelling unit and detached garage, and to construct two, two-story single dwelling units with two detached garages on each lot.

The project will not be detrimental to the public health, safety, and welfare. The environmental review determined that the project would not have a significant environmental effect and found it categorically exempt under the California Environmental Quality Act (CEQA). The environmental analysis did not find any significant impacts to public health and safety. The project will not have any impact on the provision of essential public services. The project will not be detrimental to public health, safety, and welfare in that the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations, and other regional state, and federal regulations to prevent detrimental impacts the health, safety, and welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine if the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The project is located at 7214 - 7216 Faye Avenue and includes a subdivision action to subdivide a 0.16-acre lot into two lots. The project proposes to demolish an existing single dwelling unit and detached garage, and to construct two, two-story single dwelling units with two detached garages on each lot. The project does not contain any easements acquired by the public at large for access or use of property within the subdivision. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

8. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed subdivision of a 0.16-acre lot into two lots for residential development will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading. With the independent design of the proposed subdivision, each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

9. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project is located at 7214 - 7216 Fay Avenue and includes a subdivision action to subdivide a 0.16-acre lot into two lots. The project proposes to demolish an existing single dwelling unit and detached garage, and to construct two, two-story single dwelling units with two detached garages on each lot. The project site was previously developed with a dwelling unit. Therefore, the project will not adversely impact public resources.

In addition, the project establishes a land use that is compliant with the Land Development Code and is supported by the Community Plan. The project promotes the Community Plan goal of creating home-ownership opportunities and a range of housing types within La Jolla. Therefore, the decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map No. 2414197, including the waiver of the requirement to underground existing offsite overhead utilities, hereby granted to PLAYA DEL NORTE INVESTMET LLC subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Benjamin Hafertepe
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24008589

HEARING OFFICER
CONDITIONS FOR TENTATIVE MAP NO. 2414197
FAY AVE HOMES CDP/SDP/TM PROJECT NO. 662116
ADOPTED BY RESOLUTION NO. HO-_____ ON NOVEMBER 18, 2020

GENERAL

1. This Tentative Map will expire December 4, 2023.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to California Government Code et seq 6640 (Subdivision Map Act) at section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The project shall conform to the provisions of Coastal Development Permit No. 2414194, and Site Development Permit No. 2414196.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

6. Compliance with all conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
7. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
8. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities

shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

9. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide the 0.16acre property into two Parcels shall be recorded with the County Recorder's office.
10. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition.

If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.

11. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
12. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
13. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to section 144.0311(d) of the San Diego Municipal Code and Subdivision Map Act Section 66495.

All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with section 144.0130 of the City of San Diego Municipal Code.

14. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
15. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These

tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (SDMCS 142.0607).

Internal Order No. 24008589

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: Fay Ave CDP SDP TM / 662116

SCH No.: N.A.

Project Location-Specific: 7214 Fay Ave, San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit, Site Development Permit and Tentative Map to demolish an existing residences and construct two single family homes with detached garages totaling 5,254 square foot under the small lot subdivision ordinance and a waiver to undergrounding existing utilities at 7214-7216 Fay Avenue. The 0.161 acre site is in the RM-1-1 zone, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan area.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Humberto Perez, Playa del Norte Investment LLC, 1501 Front Street, San Diego, CA 92109, 619-231-9905

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
 Declared Emergency (Sec. 21080(b)(3); 15269(a));
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: Section 15301 (Existing Facilities), Section 15303 (New Construction), and Section 15315 Minor Land Divisions
 Statutory Exemptions:

Reasons why the project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301, Section 15303, and Section 15315; and where the exceptions listed in Section 15300.2 would not apply. Section 15301 allows for the demolition of existing structures. Section 15303 allows for the construction of limited new structures. Section 15315 allows for minor land divisions. Since the project is the demolition of an existing residence and the construction of two new dwelling units on two separate lots the exemptions are appropriate.

Lead Agency Contact Person: C. Holowach

Telephone: 619-446-5187

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Associate Planner

Signature/Title

10/15/20

Date

Check One:

Revised May 2018

(X) Signed By Lead Agency
OPR:
() Signed by Applicant

Date Received for Filing with County Clerk or

Page 3	City of San Diego · Information Bulletin 620		May 2020
	<p align="center">City of San Diego Development Services</p>	<p align="center">Community Planning Committee Distribution Form</p>	
Project Name: 7214-7216 Fay Ave.		Project Number: 662116	
Community: La Jolla			
<p align="center">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p align="center">Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			
# of Members Yes 14	# of Members No 0	# of Members Abstain 1	
Conditions or Recommendations: Approved on Consent - 11/5/2020			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Suzanne Weissman			
TITLE: Secretary, LJCPA		DATE: November 07, 2020	
<p align="center"><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>			

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: FAY AVENUE HOMES **Project No. For City Use Only:** 662116
Project Address: 7214 & 7216 FAY AVENUE
LA JOLLA, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: PLAYA DEL NORTE INVESTMENT LLC Owner Tenant/Lessee Successor Agency
 Street Address: 1501 FRONT ST., SUITE 115
 City: SAN DIEGO State: CA Zip: 92109
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: [Signature] Date: 3/25/20
 Additional pages Attached: Yes No

Applicant

Name of Individual: HUMBERTO PEREZ Owner Tenant/Lessee Successor Agency
 Street Address: 1501 FRONT ST., SUITE 115
 City: SAN DIEGO State: CA Zip: 92109
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: [Signature] Date: 3/25/20
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

PROPRIETARY DESIGN. THE DRAWINGS, DESIGNS, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT, AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.

FAY AVENUE HOMES



COASTAL DEVELOPMENT PERMIT SUBMITTAL SET

Prepared By:
Brian Britton
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
office: (619) 231-9905
fax: (858) 750-3471

Project Address:
7214 & 7216 FAY AVENUE
LA JOLLA, CA 92037

Project Name:
FAY AVENUE HOMES
Sheet Title:

Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1: 06-29-20

Original Date: 03-26-20
Sheet 1 of 13

COVER SHEET

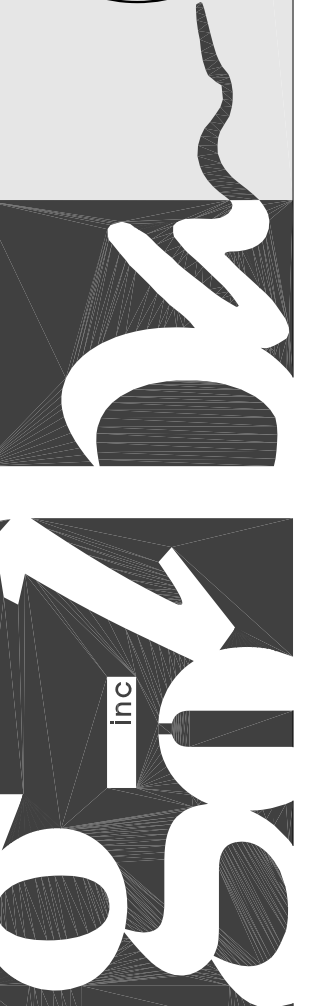
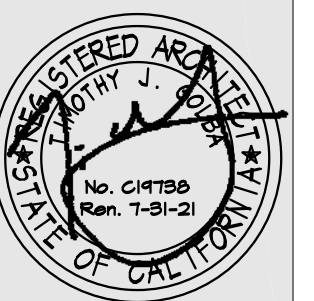
inc

GOLBA ARCHITECTURE

Architecture Space Planning Interior Design
1940 Garnet Ave., #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

FAY AVENUE HOMES

7214 & 7216 FAY AVENUE
LA JOLLA, CA 92037



T 1.0

REV. DATE: DATE:

GENERAL PLAN DEVELOPMENT GOALS

THE PROPOSED INFILL DEVELOPMENT PROJECT AT 1214 FAY AVENUE RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN.

IN EFFORT TO REACH THESE GOALS THE PROJECT WILL EMPLOY THE FOLLOWING:

- SOLAR PHOTO VOLTAIC SYSTEM FOR GENERATING POWER ON SITE.
- HIGH EFFICACY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE
- ENERGY STAR APPLIANCES
- DUAL PANE LOW-E GLAZING ON ALL WINDOWS
- USE OF LOW VOC PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS AND OTHER FINISHES WHERE FEASIBLE.
- USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE
- NATURAL COOLING/VENTILATION WITH OPERABLE WINDOWS
- WATER CONSERVING NATIVE & FERT RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE.
- USE OF PERMEABLE PAVING WHERE FEASIBLE.
- USE OF RAIN SENSOR SHUT OFF DEVICES
- HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT.

COMPLETENESS REVIEW

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
3. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
4. MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
5. SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
6. IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
7. THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME I, CHAPTER I, SECTION 4.

RESPONSIBLE CERTIFIED PROFESSIONAL NAME:

SIGNATURE: DATE:

VICINITY MAP

NO SCALE



- (H) FIRE HYDRANT
- (B) BUS STOP

FAY AVENUE HOMES

SITE ADDRESS: 1214 & 1216 FAY AVENUE
SAN DIEGO, CA 92037

ASSESSORS PARCEL NUMBER: 951-172-1T

LEGAL DESCRIPTION: LOT 16, BLOCK 1 OF MAP NO. 1387

LOT USE:
EXISTING: SINGLE FAMILY RESIDENCE
PROPOSED: SINGLE FAMILY RESIDENCE

LOT ZONING: RM-1-1

LOT SIZE: 7,008 S.F.

ALLOWABLE F.A.R.: 5,256 S.F. (0.75 X 7,008 S.F.)

LOT COVERAGE: 3,205 S.F. / 7,008 S.F. = 45.7% < 60% LOT COVERAGE

PROJECT DIRECTORY

GENERAL
T1.0 COVER SHEET
T1.1 LEGEND AND PROJECT DATA

CIVIL
C-0 TOPOGRAPHICAL SURVEY
C-1 TENTATIVE MAP NO.
C-2 PRELIMINARY GRADING PLAN

ARCHITECTURAL
A.0.0 SITE PLAN
A1.0 GROUND FLOOR PLAN
A1.1 SECOND FLOOR PLAN
A1.2 ROOF DECK PLAN
A2.0 BUILDING ELEVATIONS
A2.1 BUILDING ELEVATIONS
A3.0 BUILDING SECTIONS

LANDSCAPING
L1.0 LANDSCAPE DEVELOPMENT PLAN

SQUARE FOOTAGE TOTALS:

1216 FAY AVENUE

HABITABLE AREA:
GARAGE = 400 S.F.
GROUND LEVEL = 1,178 S.F.
SECOND LEVEL = 1,018 S.F.
TOTAL S.F. = 2,596 S.F.

BALCONY & DECK AREA:
SECOND FLOOR DECKS = 184 S.F.
ROOF DECK = 260 S.F.
TOTAL DECK AREA = 444 S.F.

PARKING CALCULATIONS:
2 PARKING SPACES REQ'D. AND PROVIDED PER SDMC TABLE 142-05C (IN ACCORD. WITH SECTION 149.0365 FOR SMALL LOT SUBDIVISIONS)

1214 FAY AVENUE

HABITABLE AREA:
GARAGE = 400 S.F.
GROUND LEVEL = 1,208 S.F.
SECOND LEVEL = 1,055 S.F.
TOTAL S.F. = 2,663 S.F.

BALCONY & DECK AREA:
SECOND FLOOR DECKS = 186 S.F.
ROOF DECK = 285 S.F.
TOTAL DECK AREA = 471 S.F.

PARKING CALCULATIONS:
2 PARKING SPACES REQ'D. AND PROVIDED PER SDMC TABLE 142-05C (IN ACCORD. WITH SECTION 149.0365 FOR SMALL LOT SUBDIVISIONS)

TOTAL S.F. CALCS FOR BOTH HOMES

F.A.R. ALLOWED = 5,256 S.F. (0.75 X 7,008 S.F.)

UNIT A = 2,946 S.F.
UNIT B = 2,658 S.F.
TOTAL A + B = 5,604 S.F. < 5,256 S.F. ALLOWABLE

HISTORICAL CLEARANCE

GENERAL PROJECT DATA

PROJECT DESCRIPTION: SCOPE OF WORK IS FOR A COASTAL DEVELOPMENT PERMIT AND SMALL LOT SUBDIVISION FOR THE DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND CONSTRUCTION OF TWO NEW 2,596 AND 2,658 SQUARE FOOT TWO-STORY, SINGLE FAMILY RESIDENCES WITH DETACHED 847 SQUARE FOOT 2-CAR GARAGES ON EACH PROPOSED SMALL LOT SUBDIVISION CREATED LOT.

OCCUPANCY: R-3

BUILDING CODES: 2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA GREEN BUILDING CODE

ZONING OVERLAYS: CITY COASTAL, COASTAL HEIGHT LIMIT, TRANSIT PRIORITY AREA, PARKING IMPACT OVERLAY ZONE (COASTAL IMPACT AREA) SUBD, LA JOLLA COMMUNITY PLAN, COUNCIL DISTRICT 1

CONSTRUCTION TYPE: TYPE VB, SPRINKLERED (NFFA 1BD)
*SPRINKLERS TO BE DEFERRED

NUMBER OF STORIES: EXISTING: 1, PROPOSED: 2

BUILDING HEIGHT: EXISTING: 13'-6", PROPOSED: 26'-8"

YEAR EXISTING STRUCTURES BUILT: 1940 (HISTORIC CLEARED, SEE PFS # 641555)

EXISTING SOIL CONDITIONS: PREVIOUSLY DISTURBED

GEOLOGICAL HAZARD CATEGORY: ZONES 5B

DIRECTORY

OWNER: PLAYA DEL NORTE INVESTMENT LLC. / HUMBERTO PEREZ
1501 FRONT STREET, SUITE 115
SAN DIEGO, CA 92101
TEL. (619) 231-4905

ARCHITECT: GOLBA ARCHITECTURE, INC.
1940 GARNET AVE. #100
SAN DIEGO, CA 92109
TEL. (619) 231-4905
CONTACT: BRIAN BRITTON

LANDSCAPE: NERI LANDSCAPE ARCHITECTURE (NLA)
428 HORNBLEND STREET, SUITE #3
SAN DIEGO, CA 92109
TEL. (858) 274-3222
CONTACT: JIM NERI

CIVIL: CHRISTENSEN ENGINEERING & SURVEYING
1888 SILVERTON AVE., SUITE J
SAN DIEGO, CA 92126
TEL. (858) 271-4901
CONTACT: ANTONY CHRISTENSEN

SURVEY: A QUICK SURVEY
2163 WOODLAND HEIGHTS 6LEN
ESCONDIDO, CA 92026
TEL. (760) 525-0644
CONTACT: MICHAEL THOMPSON

Prepared By:
Brian Britton
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
office: (619) 231-4905
fax: (858) 750-3471

Project Address:
1214 & 1216 FAY AVENUE
LA JOLLA, CA 92037

Project Name:
FAY AVENUE HOMES

Sheet Title:

Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1: 06-24-20

Original Date: 03-26-20
Sheet 2 of 13

LEGEND & PROJECT DATA

SYMBOLS

SHEET NUMBER
A1.5
SHEET NUMBER: A
CATEGORY NUMBER: 1.5
DISCIPLINE LETTER: 1

DOOR SYMBOL
X
DOOR SCHEDULE REFERENCE NUMBER

WINDOW SYMBOL
X
WINDOW SCHEDULE REFERENCE NUMBER

BATT INSULATION
[Symbol]

NORTH ARROW
[Symbol]

PLAN NOTE TARGET
XX
NOTE NUMBER

ELEVATION MARKS
IT-6" F.F.
X' @ F.F.

BUILDING SECTION MARKS
SECTION DESIGNATION
X
SHEET NUMBER

WALL SECTION MARKS
SHEET NUMBER
DETAIL DESIGNATION
X
ORIENTATION (SHOWN SHADED)

DETAIL TARGETS
SHEET NUMBER
DETAIL DESIGNATION
X
DETAIL DESIGNATION

CENTER LINE
[Symbol]

ELEVATION TARGETS
X
SHEET NUMBER
DETAIL DESIGNATION

INTERIOR ELEVATION TARGETS
X
SHEET NUMBER
DETAIL DESIGNATION

PLAN BLOW-UP DETAILS
SHEET NUMBER
DETAIL DESIGNATION
X
DETAIL DESIGNATION

ACOUS. ACOUSTICAL
A.C.T. ACOUSTICAL CEILING TILE
AD.J. ADJUSTABLE
A.F.F. AT FINISHED FLOOR
AGG. AGGREGATE
ALUM. ALUMINUM
ALT. ALTERNATE
A.P. ACCESS PANEL
APPROX. APPROXIMATE
ARCH. ARCHITECTURAL
ASPH. ASPHALT
ASST. ASSISTANT
AUTO. AUTOMATIC

BD. BOARD
BLDG. BUILDING
BOT. BOTTOM
B.U.R. BUILT UP ROOFING

CAB. CABINET
CIRC. CIRCULATION
C.L. CENTER LINE
CLR. CLEAR
CLG. CEILING
CLO. CLOSET
C.M.U. CONCRETE MASONRY UNIT
COL. COLUMN
CONG. CONCRETE
CONF. CONFERENCE
CONN. CONNECTION
CONSTR. CONSTRUCTION
CONT. CONTINUOUS
CONTR. CONTRACTOR
COORD. COORDINATE
CORR. CORRIDOR
CPT. CARPET
C.J. CONTROL JOINT
C.T. CERAMIC TILE
CTR. CENTER
C.W. COLD WATER

DBL. DOUBLE
DEMO. DEMOLITION
DEPT. DEPARTMENT
DIA. DIAMETER
DIAG. DIAGONAL
DIFF. DIFFUSER
DIM. DIMENSION
DIV. DIVISION
DN. DOWN
D.P. DAMPPROOFING
DR. DOOR
DTL. DETAIL

E. EAST
EA. EACH
EL. ELEVATION
ELAS. ELASTOMERIC
ELEC. ELECTRICAL
ELEV. ELEVATOR
EMER. EMERGENCY
ENCL. ENCLOSURE
ENGR. ENGINEER
ENT. ENTRANCE

E.J. EXPANSION JOINT
E. PNL. ELECTRICAL PANEL
EQ. EQUIPMENT
E.W.C. ELECTRIC WATER COOLER
EXH. EXHAUST
EXST. EXISTING
EXP. EXPANSION
EXT. EXTERIOR

F.D. FLOOR DRAIN
FDN. FOUNDATION
F.E. FIRE EXTINGUISHER
F.F. FINISH FLOOR
F.H.C. FIRE HOSE CABINET
FIN. FINISH
FL. FLOOR
FLEX. FLEXIBLE
FLOUR. FLUORESCENT
FT. FOOT
FRUN. FURNITURE
FURR. FURRING
FUT. FUTURE

GA. GAUGE
GAL.V. GALVANIZED
GEN. GENERAL
GLASS. GLASS
GND. GROUND
GR. GRADE
GYP. BD. GYPSUM BOARD

H.C. HARD CORE
HDWD. HARDWARE
H.M. HOLLOW METAL
HORIZ. HORIZONTAL
HR. HOUR
HT. HEIGHT
HTS. HEATING, VENTILATION
H.V.A.C. H.V.A.C.
H.M. H.M.

IN. INCHES
INCAND. INCANDESCENT
INCLD. INCLUDED
INSUL. INSULATED
INT. INTERIOR
INTERM. INTERMEDIATE

JAN. JANITOR
JOINT. JOINT

LAM. LAMINATE
LAUN. LAUNDRY
LAV. LAVATORY
LB(S) LBS(S)
L.F. LINEAR FOOT
LT. LIGHT

MACH. MACHINE
MAINT. MAINTENANCE
MAS. MASONRY

MATL. MATERIAL
MAX. MAXIMUM
MECH. MECHANICAL
MEMB. MEMBRANE
MEZZ. MEZZANINE
MFR. MANUFACTURER
MIN. MINIMUM
MISC. MISCELLANEOUS
M.O. MASONRY OPENING
MOV. MOVABLE
MTD. MOUNTED
MTL. METAL
MUL. MULLION

N. NORTH
N.I.C. NOT IN CONTRACT
NO. NUMBER
NOM. NOMINAL
N.T.S. NOT TO SCALE

OA. OVERALL
OC. ON CENTER
OD. OUTSIDE DIAMETER
O.F.D. OVERFLOW DRAIN
OFF. OFFICE
OH. OVERHEAD
OPNG. OPENING
OPF. OPPOSITE

P.A.V. PAVING
P.C. PRE-CAST
PL. PLATE
FLAM. PLASTER
PLAS. PLASTER
PLBS. PLUMBING
PLYMD. PLYWOOD
PNT. PAINT
PNL. PANEL
POL. POLISHED
PROP. PROPERTY
P.S.F. POUNDS PER SQUARE FOOT
P.S.I. POUNDS PER SQUARE INCH
PTD. PAINTED
PTN. PARTITION
PT. POINT

QTY. QUANTITY

R. RUBBER
RECEP. RECEPTION
REINF. REINFORCING
R.O.M. RIGHT OF WAY
RAD. RADIUS
R.B. RUBBER BASE
R.C.P. REFLECTED CEILING PLAN
R.D. ROOF DRAIN
REC. RECESSED
REF. REFERENCE
REFR. REFRIGERATOR
REINF. REINFORCED
REGD. REQUIRED
RESL. RESULTANT
REV. REVISION
RFG. ROOFING

RM. ROOM
R.O. ROUGH OPENING

S. SANITARY
SCHED. SCHEDULE
SECT. SECTION
SECUR. SECURITY
S.F. SQUARE FOOT
SHR. SHOWER
SHT. SHEET
SIM. SIMILAR
SL. SLOPE
S.P. STAIR
SPEC. SPECIFICATION
SFKR. SLOPE
SQ. SQUARE
S.S.T. STAINLESS STEEL
STA. STATION
STD. STANDARD
STL. STEEL
STR. STRUCTURAL
SUSP. SUSPENDED
SYM. SYMMETRICAL

T. TREAD
T.O. TOP OF
T.#B. TOP AND BOTTOM
T.#G. TONGUE AND GROOVE
TEL. TELEPHONE
TEMP. TEMPERED
TER. TERRAZZO
THK. THICK
TLT. TOILET
TOPO. TOPOGRAPHY
T.V. TELEVISION
TYP. TYPICAL

UNEXC. UNEXCAVATED
UNF. UNFINISHED
U.N.O. UNLESS OTHERWISE NOTED
UTL. UTILITY

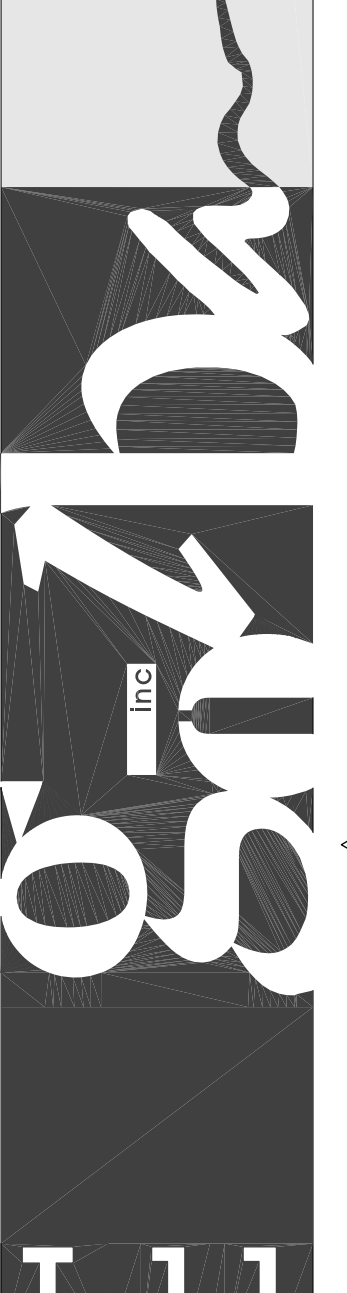
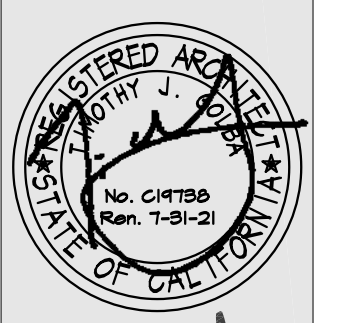
VAC. VACUUM
V.C.T. VINYL COMPOSITION TILE
VENT. VENTILATION
VERT. VERTICAL
VEST. VESTIBULE
VERIF. VERIFY IN FIELD
VOL. VOLUME
V.T. VINYL TILE

W.C. WREST
W.C.L. WATER CLOSET
WD. WOOD
W.F. WOOD FINISH
W.H. WINDOW
WIN. WINDOW
W.M. WIRE MESH
WTFG. WATERPROOFING
WT. WATER
W.W.F. WELDED WIRE MESH
YD. YARD

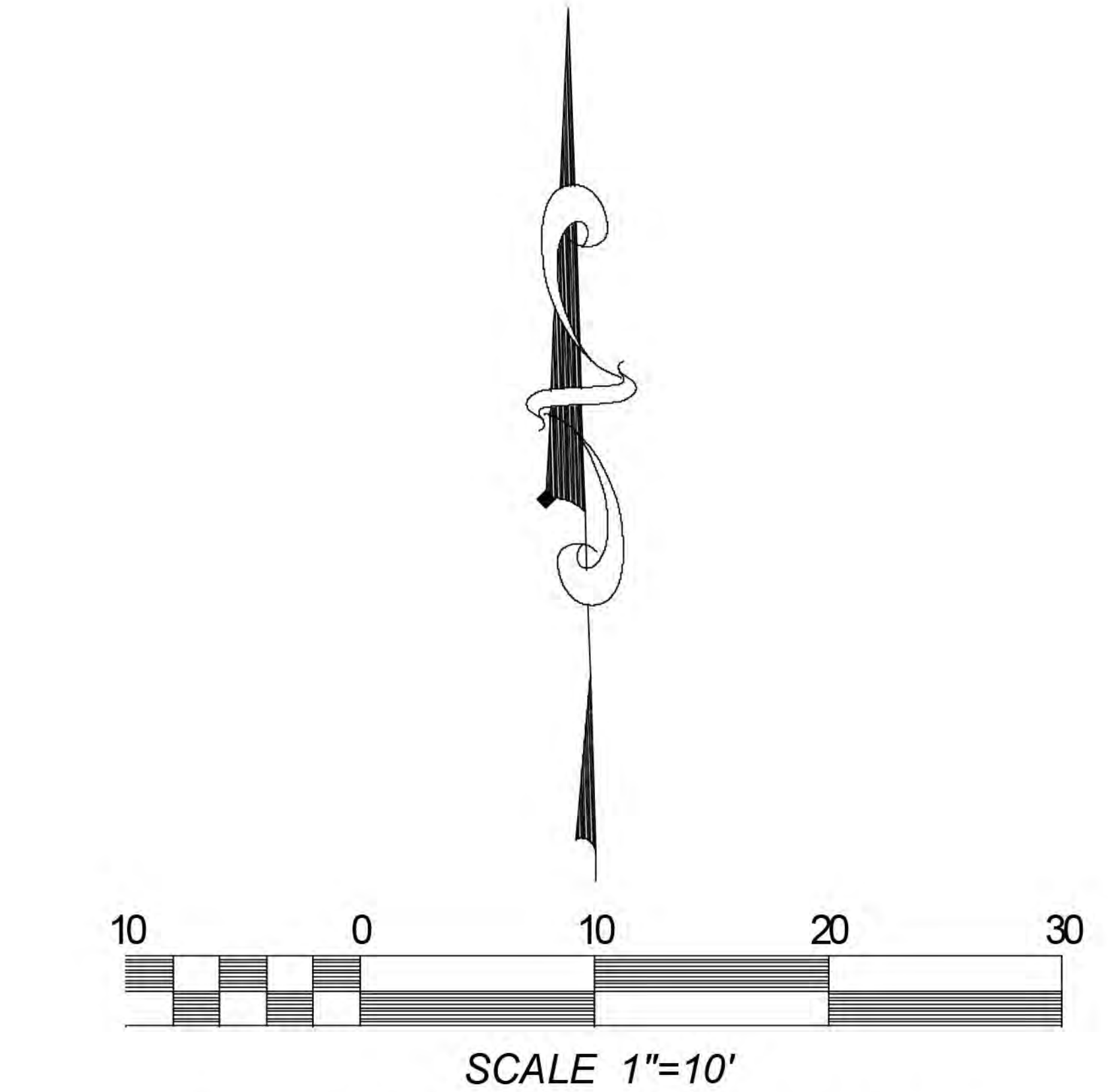
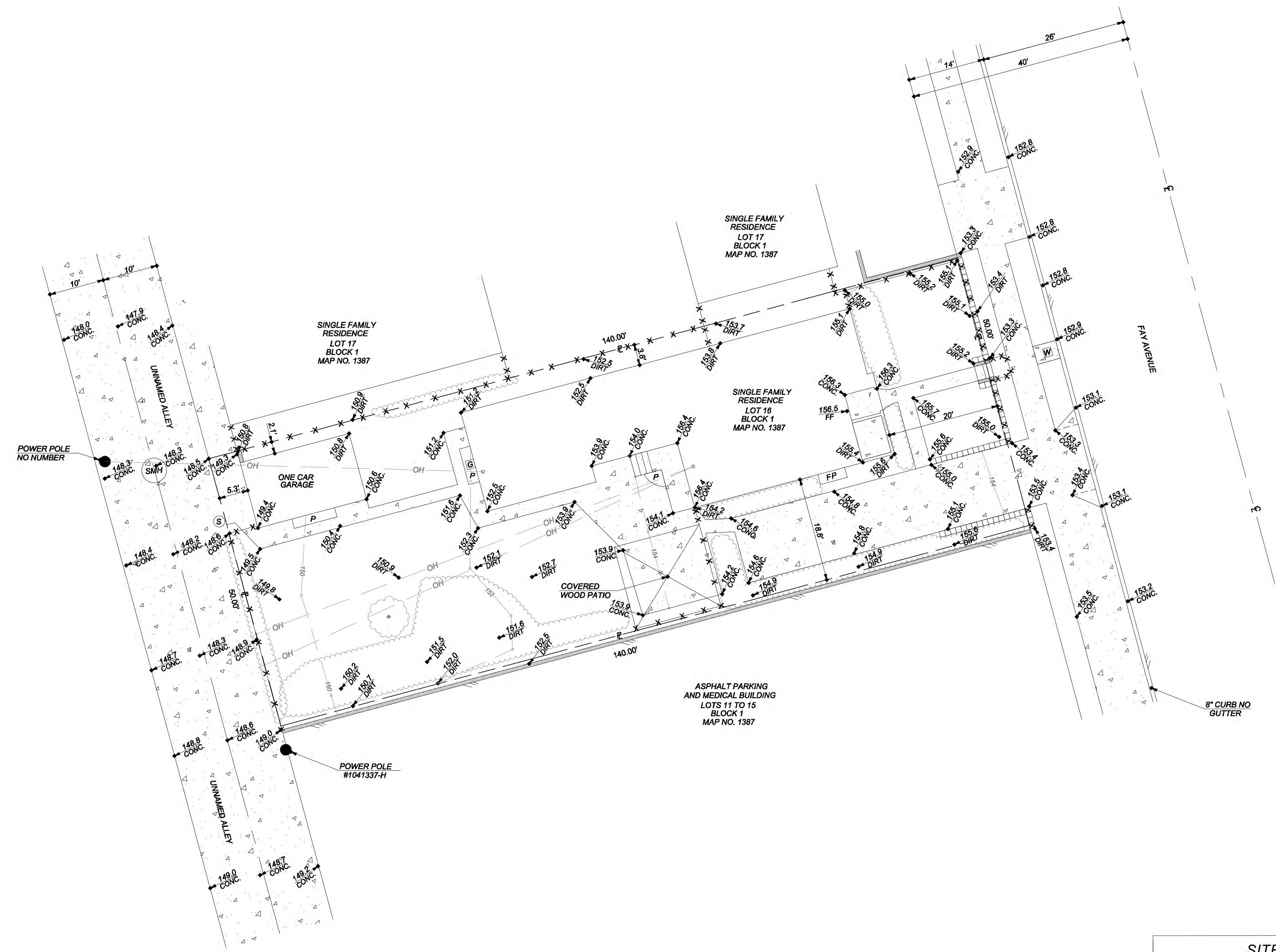
inc

GOLBA ARCHITECTURE
Architecture Space Planning Interior Design
1940 Garnet Ave., #100 San Diego, California 92109
Phone: (619) 231-4905 Fax: (858) 750-3471

FAY AVENUE HOMES
7214 & 7216 FAY AVENUE
LA JOLLA, CA 92037



REV. DATE:
DATE:



- NOTES:** THIS PLOT IS IN SUPPORT OF FUTURE SITE IMPROVEMENTS BY OTHERS. BOUNDARY DISTANCES SHOWN ARE RECORD FROM MAP NO. 1387.
- NOTE:** THIS IS NOT A CONCLUSIVE BOUNDARY SURVEY. INFORMATION SHOWN IS BASED ON VARIOUS RECORD MONUMENTS FOUND. SUBSEQUENT SURVEYS BY OTHERS MAY OR MAY NOT AGREE WITH THE BOUNDARY SHOWN.
- NOT ALL LANDSCAPE AND HOUSE FEATURES ARE SHOWN.
- ALL BUILDING TIE SHOTS TAKEN AT OUTSIDE WOOD, BRICK OR STUCCO WALL. NO ROOF OVERHANG SHOWN.
- ELEVATION IS BASED ON CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK FAY AND RUSHVILLE STREET N 2450, E 16865, EL. = 154.24 MSL, NWBP.
- AREA SHOWN BELOW RIGHT IS APPROXIMATE AND MAY OR MAY NOT AGREE WITH CITY OR COUNTY TAX AREA. "A QUICK SURVEY" ACCEPTS NO LIABILITY FOR THE USE OF SAID APPROXIMATE AREA AS IT IS SUBJECT TO CHANGE. CONTACT YOUR GOVERNING AGENCY FOR TAXED AREA INFORMATION.
- CONC. = INDICATES CONCRETE, BRICK AND OR ROCK FLAT WORK
 - BLDG. = BUILDING
 - FF = FINISH FLOOR (APPROXIMATE)
 - CL = CENTER LINE ROAD
 - PL = PROPERTY LINE
 - P = DIRT PLANTER
 - W = WATER METER
 - FP = FIRE PLACE
 - G = GAS METER
 - S = SEWER CLEAN OUT
 - SMH = SEWER MANHOLE
 - = INDICATES RAILROAD TIE WALL
 - = INDICATES CONCRETE, BRICK AND OR ROCK FLAT WORK
 - = INDICATES BLOCK AND OR CONCRETE WALLS
 - X-X = INDICATES WOOD OR CHAIN LINK FENCE, HEIGHT, STYLE AND CONDITION VARIES
 - = INDICATES ELEVATION AND LOCATION
 - = INDICATES MATURE TREE SIZE AND TYPE VARIES
 - = INDICATES AREA OF DENSE LANDSCAPING GROUND COVER, TREES, PLANTS, SIZE AND TYPE VARIES
 - 154— = INDICATES CONTOUR AND ELEVATION
 - /// = INDICATES ASPHALT PAVING

SITE MAP		DATE 08-28-19 JUN 19-1430	PLAT PREPARED BY:
PLAT PREPARED FOR:	SITE DATA:		"A QUICK SURVEY"
GOLBA ARCHITECT INC. TIM GOLBA 1940 GARNET AVE, SUITE 100 SAN DIEGO, CA 92109 (619) 231-9905 tgolba@golba.com	APN: 351-172-17 LOT 15, BLOCK 1 MAP NO. 1387 7214 FAY AVENUE LA JOLLA, CA 92037	AREA 7,008 sq.ft. PLUS OR MINUS	2163 WOODLAND HEIGHTS GLEN ESCONDIDO, CA 92026 (760) 525-0694 CELL 57008@stgobal.net
			MICHAEL THOMPSON, P.L.S. 5706
			DATE 08/28/19

DEVELOPMENT SUMMARY

PROJECT SUMMARY:

PROPOSED COASTAL DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT AND SMALL LOT SUBDIVISION TENTATIVE MAP FOR CREATION OF 2 SINGLE-FAMILY RESIDENTIAL LOTS. PROJECT INCLUDES REMOVAL OF EXISTING IMPROVEMENTS WITH CONSTRUCTION OF TWO SINGLE FAMILY RESIDENCES EACH WITH A DETACHED GARAGE TOGETHER WITH PUBLIC IMPROVEMENTS WITHIN THE RIGHTS OF WAY FRONTING THE SITE.

LEGAL DESCRIPTION:

LOT 16 IN BLOCK 1 OF J. T. CORCORAN'S SUBDIVISION OF PART OF BLOCK 2 OF J. G. BURNE'S ADDITION TO LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1387, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 2, 1911.

OWNER:

PLAYA DEL NORTE INVESTMENT, LLC
A CALIFORNIA LIMITED LIABILITY COMPANY
1501 FRONT STREET, STE. 115
SAN DIEGO, CA 92101

ZONING:

RM-1-1

LA JOLLA COMMUNITY PLAN
LOCAL COASTAL LAND USE PLAN

MULTI-FAMILY RESIDENTIAL (MFR)

FOR SMALL LOT SUBDIVISION:

PRE-SUBDIVIDED LOT DENSITY:

MUNICIPAL CODE RM-1-1: 1DU/3000 SF
LA JOLLA COMMUNITY PLAN: 1DU/1425 SF

7003 SF/3000/DU = 2.33 = 3 DU

MINIMUM LOT WIDTH: 50' (PRE-SUBDIVIDED)
- (SUBDIVIDED)

MINIMUM LOT FRONTAGE: 50' (PRE-SUBDIVIDED)
- (SUBDIVIDED)

MINIMUM LOT DEPTH: 90' (PRE-SUBDIVIDED)
- (SUBDIVIDED)

SETBACK:

FRONT: 15/20' (PRE-SUBDIVIDED)
- (SUBDIVIDED)

REAR: 15' (PRE-SUBDIVIDED) (10' OF ALLEY INCLUDED)
- (SUBDIVIDED)

SIDE: 5' (PRE-SUBDIVIDED)
- (SUBDIVIDED)

OVERLAY ZONES:

CITY COASTAL
COASTAL HEIGHT LIMIT
TRANSIT PRIORITY AREA
PARKING IMPACT OVERLAY ZONE (COASTAL IMPACT AREA)
SDUSD
LA JOLLA COMMUNITY PLAN
COUNCIL DISTRICT 1

AREA:

SITE AREA: 0.1608 ACRES (7,003 SQUARE FEET)

USES:

CURRENT USE:
RESIDENTIAL
PROPOSED USE:
RESIDENTIAL

RESIDENTIAL PARKING TABULATION

2 SINGLE-FAMILY RESIDENCES.....2 X 2 = 4 SPACES

TOTAL OFF-STREET COVERED PARKING SPACE REQUIREMENTS:
RESIDENTIAL - MUNICIPAL CODE SECTION 142.0520 TABLE 142-05C

4 SPACES REQUIRED - 4 SPACES PROVIDED IN GARAGES

TITLE NOTES:

TITLE INFORMATION IS BASED ON PRELIMINARY TITLE REPORT, ORDER NUMBER 00139717-992-SD1-KM4 DATED FEBRUARY 18, 2020, PREPARED BY FIDELITY NATIONAL TITLE

NO EASEMENTS WERE DISCLOSED IN SUBJECT REPORT AFFECTING SAID PROPERTY

MONUMENTATION NOTES

- ① LEAD AND TACK PER MAP 5340, CR 40490
- ② LEAD & TACK PER PM 19840 (LEAD & DISK STAMPED LS 2201 PER MAP 5340)
- ③ LEAD & TACK PER PM 19840
- ④ LEAD & DISK STAMPED "SAN DIEGO CITY SURVEYOR" PER CR 38710
- ⑤ LEAD & DISK STAMPED "LS 7046" PER PM 19840, CR 40490

- () RECORD DATA PER MAP NO. 1387
() RECORD DATA PER MAP 5340

DATA SHOWN HEREON ARE BASED ON INFORMATION FROM PARCEL MAP 19840, CR 38710, AND CR 40490 AS PROVIDED ON SURVEY BY "A QUICK SURVEY", AS RECORD DATA. A COMPLETE PROCEDURE OF SURVEY WILL BE PART OF THE FINAL MAP.

LOT AREA TABULATION

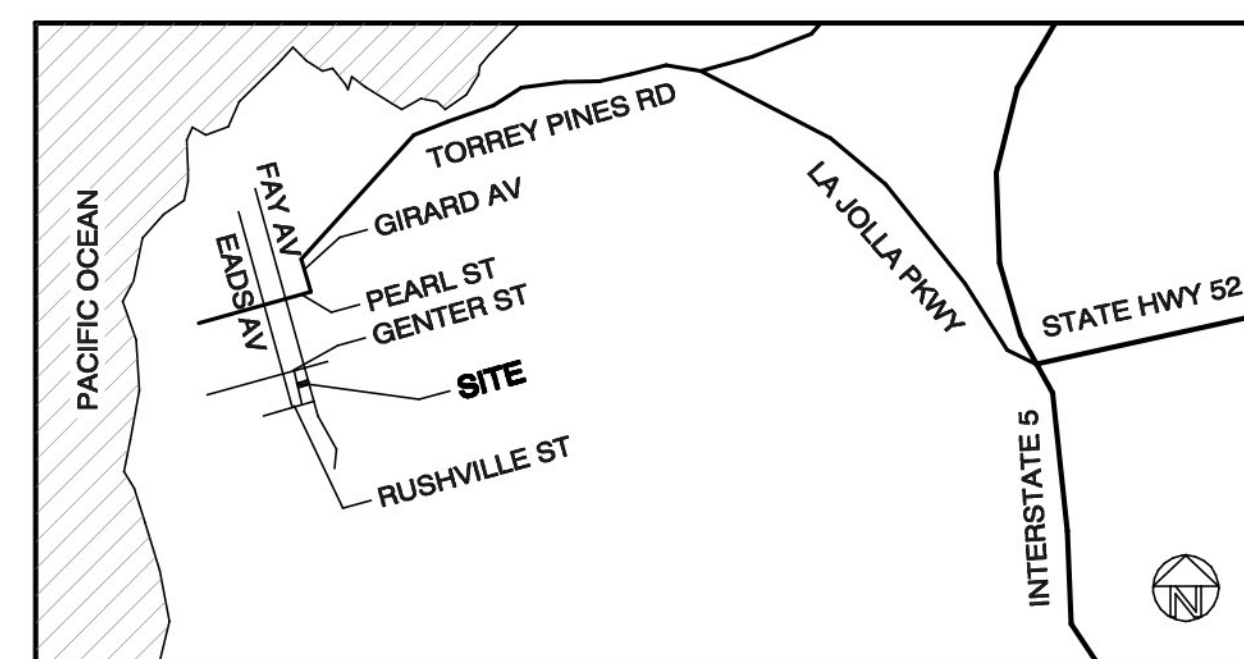
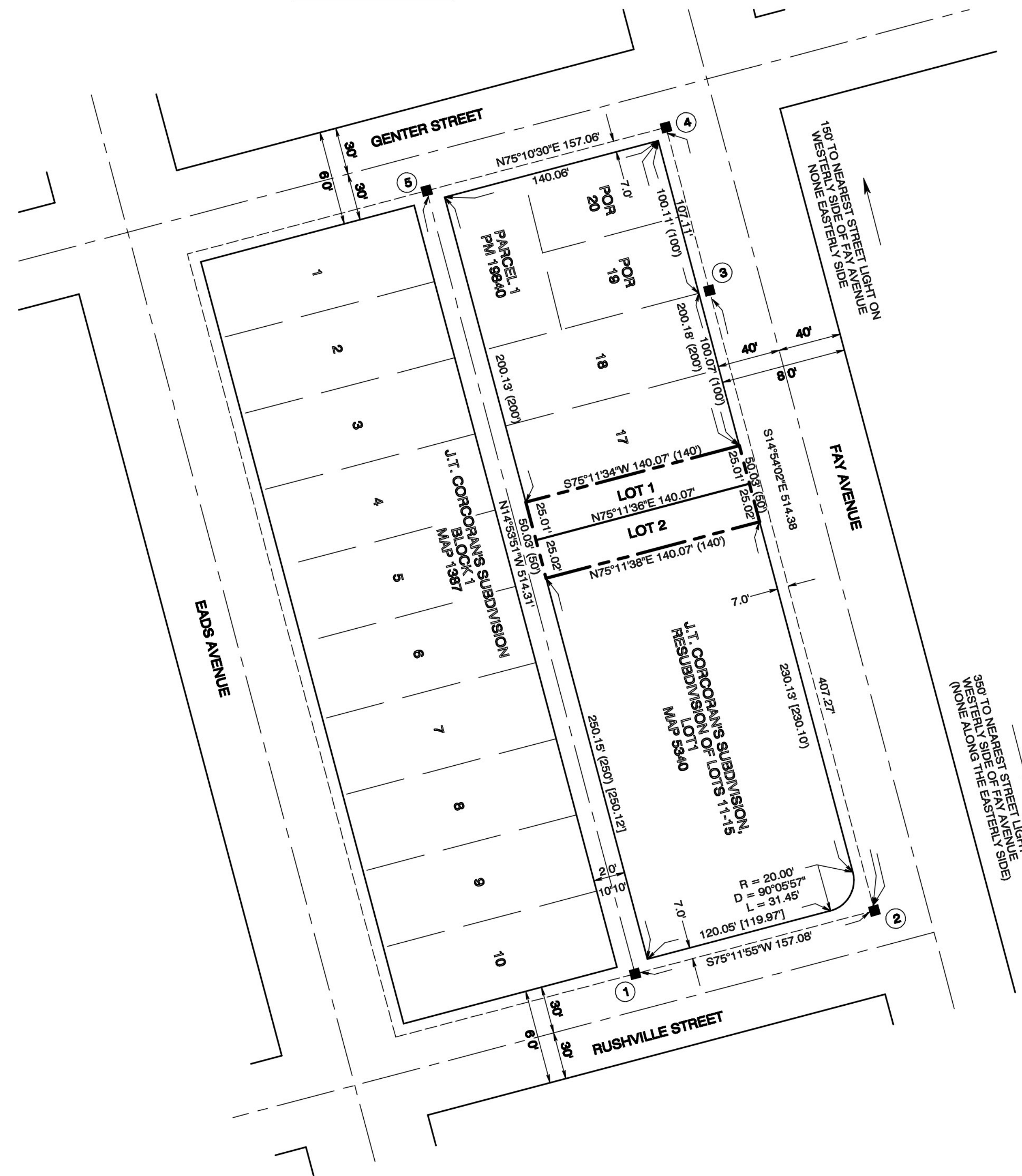
LOT	AREA	LOT TYPE
1	3503.1 SF	SFR
2	3504.7 SF	SFR

UTILITY TABLE

TELE (AT&T): OVERHEAD
CATV (COX): OVERHEAD
ELEC (SDG&E): OVERHEAD

LEGEND

PROPERTY LINE/TM BNDRY	_____
RIGHT OF WAY LINE	_____
STREET CENTER LINE	_____
LOT LINE	_____
OFFSET LINE	_____
BOUNDARY LINE	_____



VICINITY MAP
NOT TO SCALE



SCALE: 1" = 50'



TENTATIVE MAP NO. 2414197 COASTAL DEVELOPMENT PERMIT NO. 2414194 SITE DEVELOPMENT PERMIT NO. 2414196

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS TENTATIVE MAP IS THE NORTHEASTERLY LINE OF BLOCK 1, OF MAP NO. 1387 AS SHOWN ON PARCEL MAP NO. 19840. I.E S 14°52'04" EAST.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK BRASS PLUG LOCATED IN THE TOP OF CURB AT THE NORTHWEST CORNER OF FAY AVENUE AND RUSHVILLE STREET. ELEVATION: 154.24' MEAN SEA LEVEL (N.G.V.D. 1929).

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS ON THE GROUND SURVEY BY "A QUICK SURVEY", DATED AUGUST 28, 2019.
2. THE EXISTING NUMBER OF LOTS ARE 1. THE PROPOSED NUMBER OF LOTS IN THIS SUBDIVISION ARE 2.
3. THE ASSESSOR PARCEL NUMBER FOR THIS PROPERTY IS : 351-172-17-00
4. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 0.1608 ACRES.
5. THE PROPERTY HAS DIRECT ACCESS TO FAY AVENUE AND BISHOPS LANE, BOTH DEDICATED AS PUBLIC STREETS.
6. DEVELOPER SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
7. NAD27 COORDINATES = 244-1685. CCS83 COORDINATES = 1884-6245.
8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
9. A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP, IF APPROVED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS WILL BE MARKED MARKED WITH DURABLE SURVEY MONUMENTS.
10. SUFFICIENT MONUMENTATION EXISTS TO RECREATE BOUNDARY OF PROJECT AND TO PERMIT A MAP PROCEDURE OF SURVEY.
11. A WAIVER OF UNDERGROUNDING OVERHEAD UTILITES FRONTING THE SITE IS REQUESTED.

OWNER'S CERTIFICATE

I HEREBY CERTIFY THAT I AM THE RECORD OWNER OF THE PROPERTY SHOWN ON THE TENTATIVE MAP AND THAT SAID MAP SHOWS ALL OF MY CONTIGUOUS OWNERSHIP IN WHICH I HAVE ANY DEED OR TRUST INTEREST. I UNDERSTAND THAT OUR PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS-OF-WAY.

HUMBERTO PEREZ
MANAGER
PLAYA DEL NORTE INVESTMENT, LLC

DATE

Anthony K. Christensen
ANTHONY K. CHRISTENSEN, RCE 54021
LS 7508
AUGUST 16, 2020
Date



Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE "J"
SAN DIEGO, CA 92126
PHONE (858)271-9901

Project Address:
7214-16 FAY AVENUE
LA JOLLA, CA 92037

Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1:

Project Name:
FAY AVENUE HOMES

Original Date: MARCH 13, 2020

Sheet Title:

Sheet 2 of Sheets

TENTATIVE MAP NO.

P.T.S. NO. 662116 | I.O. NO. 24008589 | L.C. COOR: 244-1685 | CCS83 COOR: 1884-6245

C-1

TENTATIVE MAP NO. 2414197
 COASTAL DEVELOPMENT PERMIT NO. 2414194
 SITE DEVELOPMENT PERMIT NO. 2414196

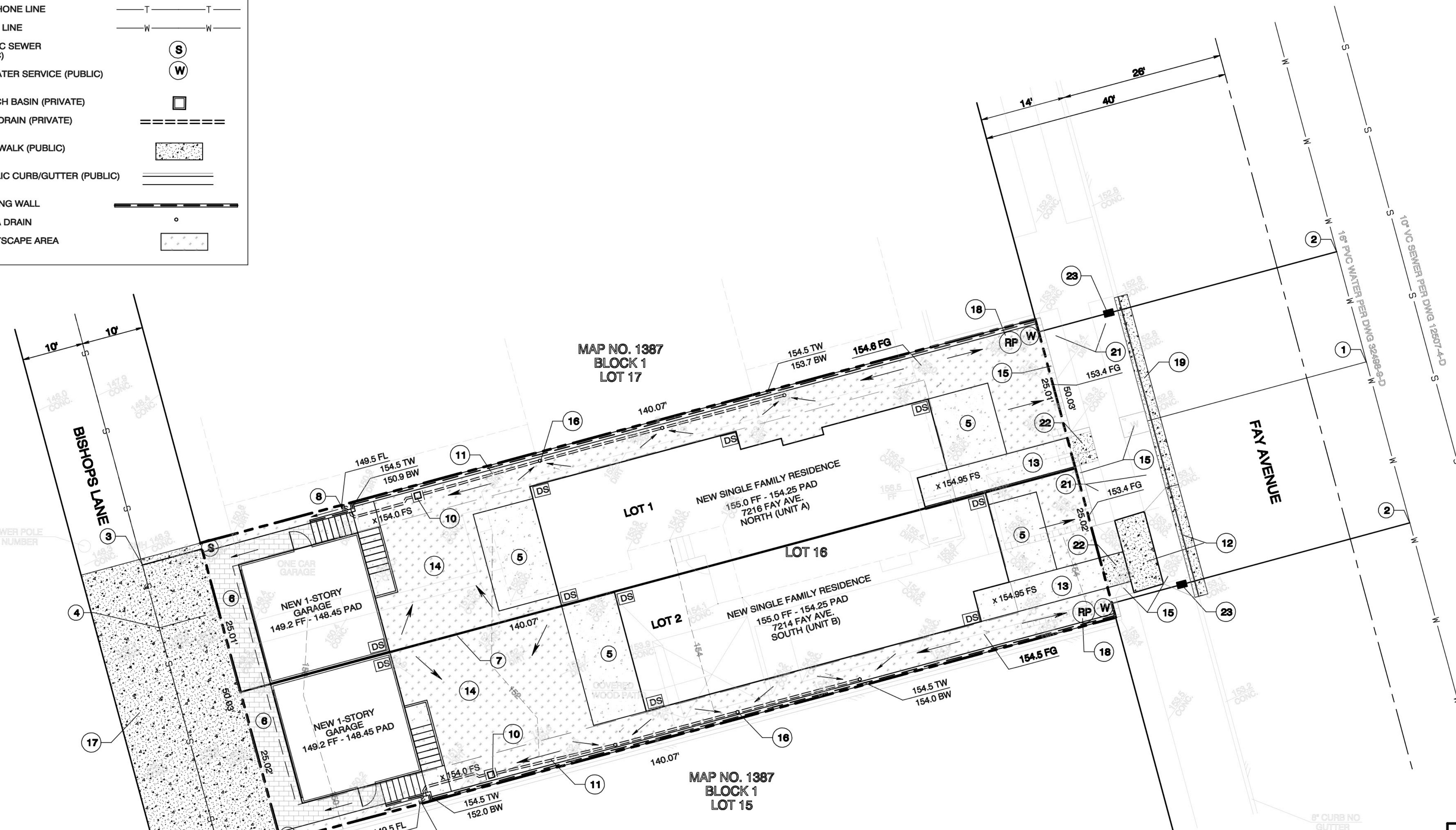
CONSTRUCTION NOTES

- ① EX WATER SERVICE TO BE KILLED AT THE MAIN
- ② PROPOSED 1" WATER SERVICE PER CURRENT CITY STD
- ③ PROPOSED 4" SEWER LATERAL PER CURRENT CITY STD
- ④ EX SEWER TO BE ABANDONED AT P/L
- ⑤ PROPOSED CONCRETE PATIO AREA
- ⑥ PROPOSED PERMEABLE PAVEMENT (TYPICAL)
- ⑦ PROPOSED LOT LINE
- ⑧ PROPOSED HEADWALL AT OUTLET 4" PVC DRAIN (WITH LIGHT CLASS RIP-RAP)
Q100 = 0.14 CFS
V100 = 3.7 FPS (BEFORE RIP RAP)
- ⑨ PROPOSED HEADWALL AT OUTLET 4" PVC DRAIN (WITH LIGHT CLASS RIP-RAP)
Q100 = 0.14 CFS
V100 = 3.7 FPS (BEFORE RIP RAP)
- ⑩ PROPOSED 1212 CATCH BASIN (TYPICAL)
- ⑪ PROPOSED PVC DRAIN
- ⑫ REMOVE EX DRIVEWAY AND REPLACE WITH CURB, GUTTER AND SIDEWALK PER CURRENT CITY STANDARDS
- ⑬ PROPOSED CONCRETE WALKWAY (TYPICAL)
- ⑭ PROPOSED SOFTSCAPE AREA (SEE LANDSCAPE PLAN)
- ⑮ EXISTING CONCRETE PAVING WITHIN RIGHT OF WAY TO BE REMOVED. TO REMAIN AS PARKWAY.
- ⑯ PROPOSED AREA DRAIN (TYPICAL)
- ⑰ REMOVE AND REPLACE EXISTING ALLEY PER CURRENT CITY STANDARD MATCH EXISTING
- ⑱ PROPOSED BACKFLOW PREVENTER PER CURRENT CITY STANDARD
- ⑲ REPLACE EXISTING CURB WITH STANDARD CURB AND GUTTER FRONTING THE PROPERTY.
- ⑳ DAMAGED SIDEWALK LONG PROPERTY FRONTAGE TO BE REMOVED AND REPLACED PER CURRENT CITY STANDARD
- ㉑ EXISTING PARKWAY TO REMAIN
- ㉒ PROPOSED PRIVATE WALKWAY WITHIN R/W REQUIRING EMRA
- ㉓ PROPOSED WATER METER AND BOX PER CURRENT CITY STANDARD (TYPICAL)

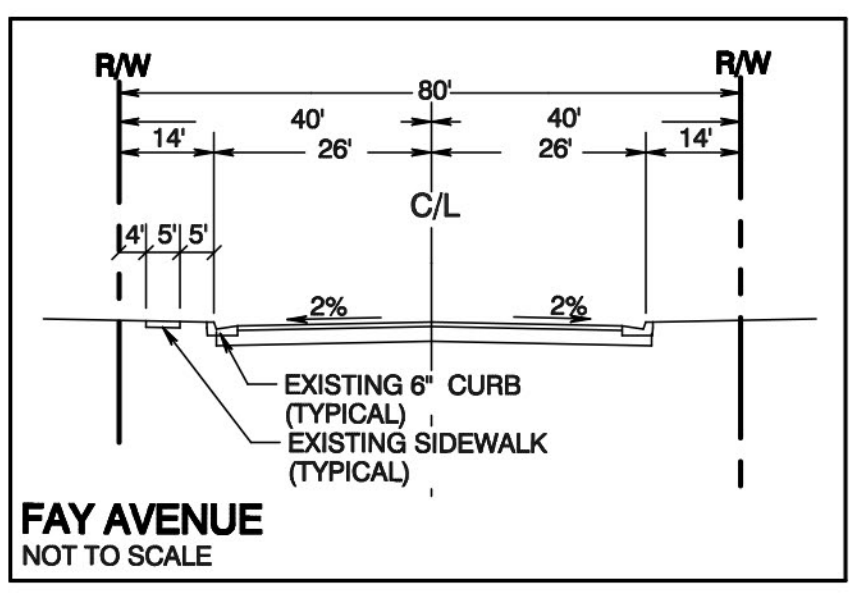
NOTES:
 ALL PROPOSED ONSITE UTILITIES SHALL BE UNDERGROUND.
 RESIDENCES SHOWN HEREON INCLUDE 2 CAR GARAGES.
 RUNOFF FROM IMPERVIOUS AREAS TO FLOW OVER LANDSCAPING DISCHARGING FROM SITE
 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

LEGEND

PROPERTY LINE/TM BNDRY	---
EXISTING CONTOUR	- - - - -
EXISTING ELECTRICAL LINE	—E—E—
EXISTING GAS LINE	—G—G—
EXISTING SEWER LINE	—S—S—
EXISTING TELEPHONE LINE	—T—T—
EXISTING WATER LINE	—W—W—
PROPOSED 4" PVC SEWER LATERAL (PUBLIC)	(S)
PROPOSED 1" WATER SERVICE (PUBLIC)	(W)
PROPOSED CATCH BASIN (PRIVATE)	□
PROPOSED PVC DRAIN (PRIVATE)	---
PROPOSED SIDEWALK (PUBLIC)	▨
PROPOSED PUBLIC CURB/GUTTER (PUBLIC) PER SDG-151	▬▬▬
PRIVATE RETAINING WALL	—
PROPOSED AREA DRAIN	○
PROPOSED SOFTSCAPE AREA	▨



GRADING DATA
 AREA OF SITE - 0.1608 AC (7003 SF)
 AREA OF SITE TO BE GRADED 0.1608 AC
 PERCENT OF SITE TO BE GRADED 100%
 AREA OF SITE WITH SLOPES GREATER THEN 25% - 0.0
 PERCENT OF SITE WITH SLOPES GREATER THEN 25% - 0%
 NO ENVIRONMENTALLY SENSITIVE LANDS EXIST ONSITE
 AMOUNT OF CUT - 170 C.Y.
 AMOUNT OF FILL - 200 C.Y.
 AMOUNT OF IMPORT - 30 C.Y.
 MAXIMUM HEIGHT OF FILL SLOPE - N/A
 MAXIMUM HEIGHT OF FILL - 4'
 MAXIMUM DEPTH OF CUT SLOPE - N/A
 MAXIMUM DEPTH OF CUT - 2'
 RETAINING WALL: 3.6 FEET MAX, HT. 245 FEET TOTAL LENGTH
 EXISTING IMPERVIOUS AREA: 3,485 SF (49.8%)
 PROPOSED CREATED/REPLACED IMPERVIOUS AREA: 4,163 SF (59.4%)



Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7888 SILVERTON AVENUE, SUITE "J"
 SAN DIEGO, CA 92126
 PHONE (858)271-9901

Project Address:
 7214-16 FAY AVENUE
 LA JOLLA, CA 92037

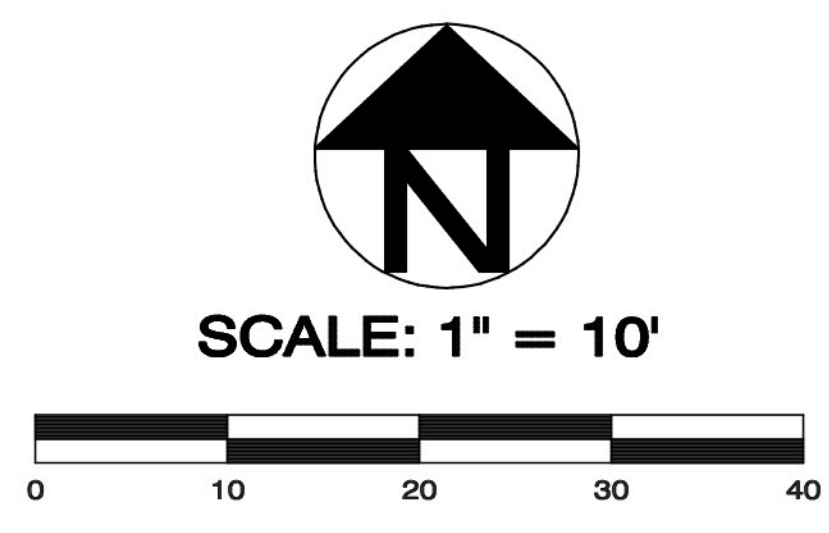
Project Name:
 FAY AVENUE HOMES

Revision 5:
 Revision 4:
 Revision 3:
 Revision 2:
 Revision 1:

Original Date: MARCH 16, 2020

Sheet Title:
PRELIMINARY GRADING PLAN

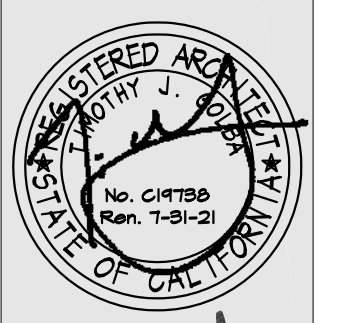
Sheet 2 of Sheets



ANTONY K. CHRISTENSEN, RCE 54021 LS 7508
 Date: AUGUST 16, 2020

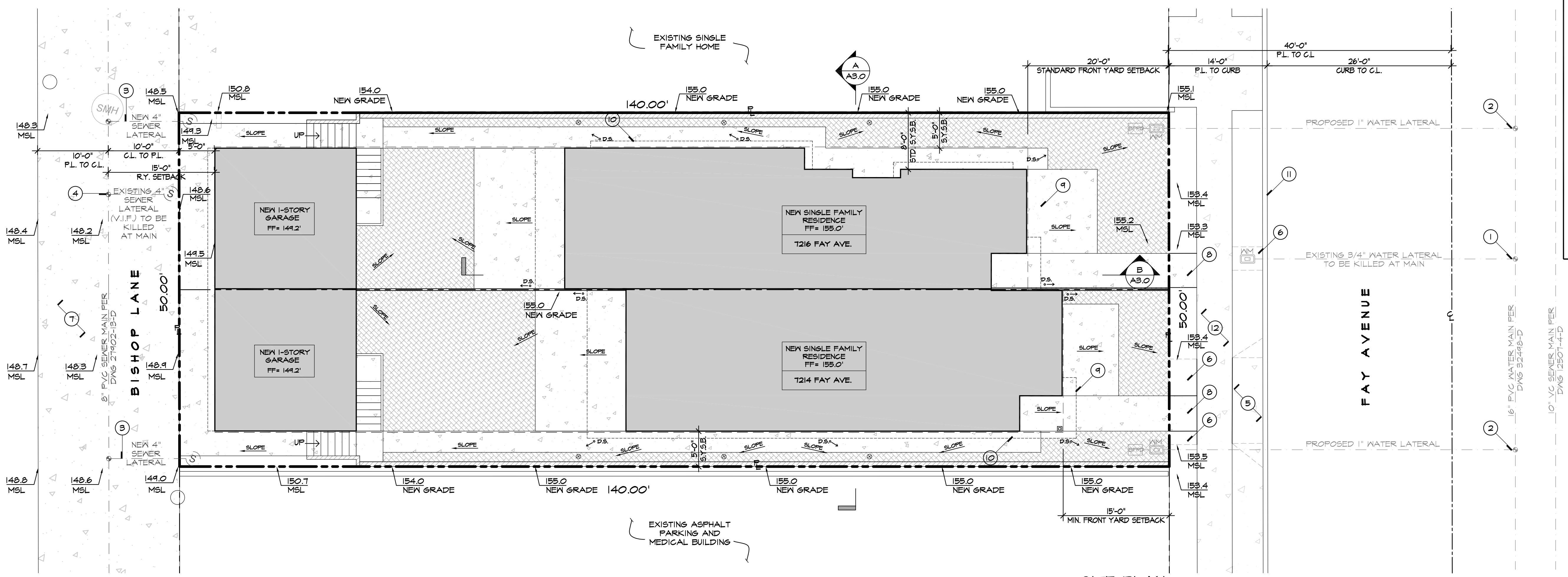
Professional Engineer Seal: ANTONY K. CHRISTENSEN, No. 54021, Exp. 12-31-21, CIVIL, STATE OF CALIFORNIA

Licensed Land Surveyor Seal: ANTONY K. CHRISTENSEN, No. LS 7508, Exp. 12-31-21, STATE OF CALIFORNIA

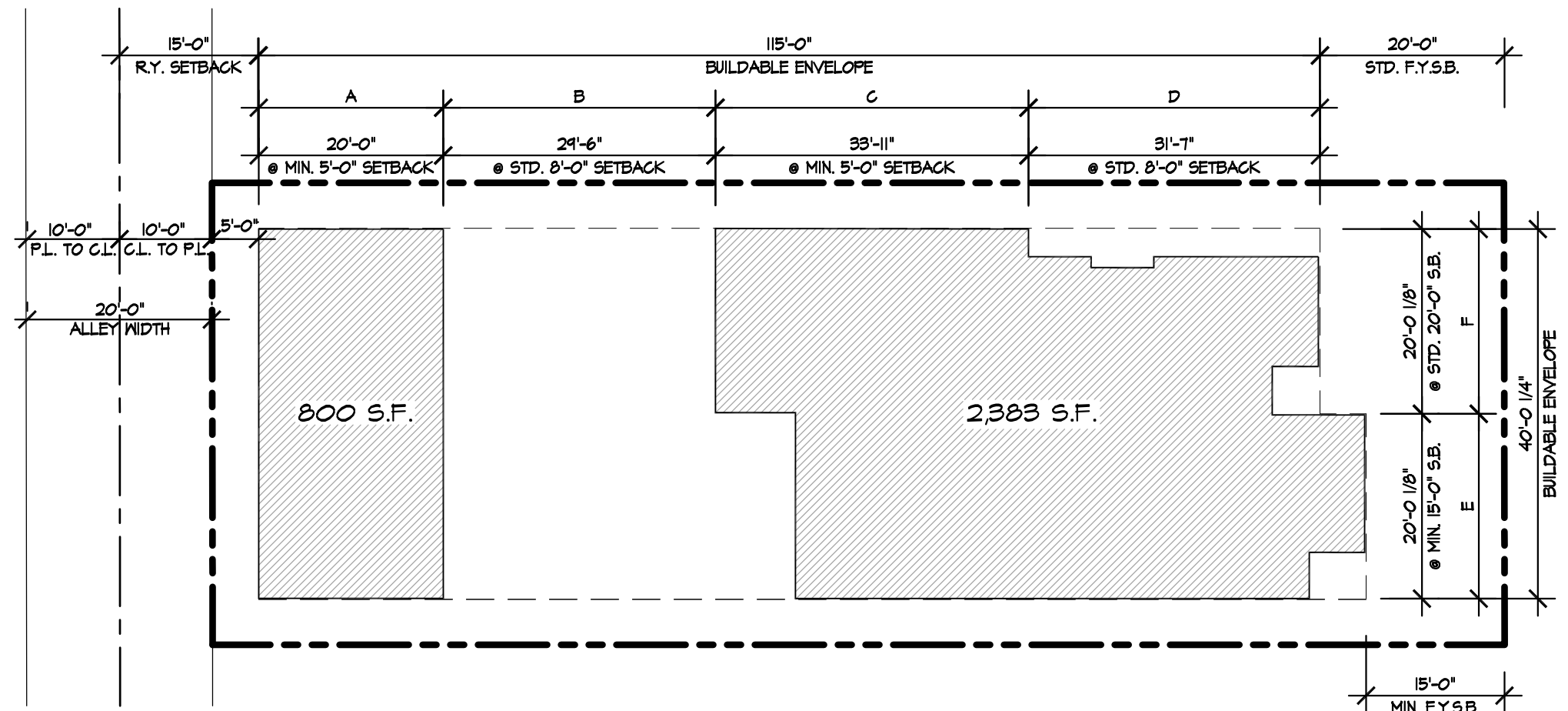


SITE KEY NOTES

- 1 EXISTING 3/4" WATER SERVICE TO BE KILLED AT MAIN
- 2 PROPOSED 1" WATER SERVICE PER CURRENT CITY STANDARD
- 3 PROPOSED 4" SEWER LATERAL PER CURRENT CITY STANDARD
- 4 EXISTING SEWER LATERAL TO BE ABANDONED AT PROPERTY LINE
- 5 EXISTING NON-UTILIZED DRIVEWAY TO BE CLOSED AND REPLACED WITH CURB, GUTTER AND SIDEWALK PER CURRENT CITY STANDARDS
- 6 EXISTING CONCRETE PAVING WITHIN RIGHT OF WAY TO BE REMOVED, TO REMAIN AS PARKWAY
- 7 EXISTING DAMAGED ALLEY TO BE RECONSTRUCTED WITH FULL WIDTH, STANDARD CONCRETE ALLEY PER CURRENT CITY STANDARDS
- 8 PROPOSED WALKWAY TO SIDEWALK CONNECTION TO MATCH MATERIAL OF CITY STANDARD SIDEWALK PER R.O.W. PERMIT #
- 9 PORCH ENCROACHMENT ALLOWED PER SDMC 181.046(A)(6)
- 10 LEAVE ENCROACHMENT ALLOWED PER SDMC 181.046(A)(1)
- 11 REPLACE EXISTING CURB WITH STANDARD CURB AND GUTTER FRONTING THE PROPERTY
- 12 DAMAGED SIDEWALK TO BE REMOVED AND REPLACED PER CITY STANDARD



SITE PLAN
 SCALE: 1/8"=1'-0"



SETBACKS DIAGRAM
 SCALE: 1/16"=1'-0"

WALL	WALL LENGTH @ MIN. 5'-0" S.Y.S.B.	WALL LENGTH @ STD. 8'-0" S.Y.S.B.	TOTAL BUILDABLE ENVELOPE
A	20'-0"	0'	115'-0"
B	0'	29'-6"	
C	33'-11"	0'	
D	0'	31'-7"	
GRAND TOTAL	53'-11" 46.4%	61'-1" 53.1%	115'-0"

SITE NOTES:

THERE ARE NO EXISTING OR PROPOSED EASEMENTS.
 THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS.
 PROVIDE BUILDING ADDRESS NUMBERS FOR ALL NEW AND EXISTING STRUCTURES VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (UPC 901.4.4). MIN. SIZE OF NUMBERS SHALL BE 12".
 METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E.
 THIS PROJECT DRAINS ROOF DRAINS TO LANDSCAPED AREAS OR BRICK AND LANDSCAPED AREA ADJACENT TO THE HOUSING UNIT. ALL RUNOFF WILL BE DISCHARGED TO PAVED SURFACES IN THE PUBLIC RIGHT-OF-WAY.

EARTHWORK QUANTITIES:

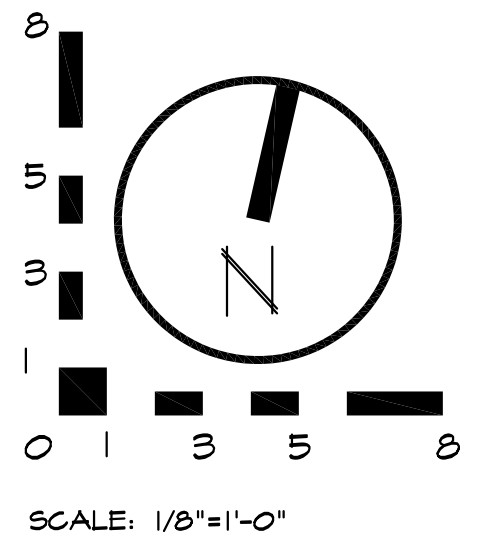
EXISTING IMPERVIOUS AREA: 3,485 S.F.T. (49.8%)
 PROPOSED IMPERVIOUS AREA: 4,163 S.F.T. (54.4%)
 CUT QUANTITIES: 170 [CYD]
 FILL QUANTITIES: 200 [CYD]
 IMPORT/EXPORT QUANTITIES: 30 [CYD] IMPORT
 MAX. CUT DEPTH: 2'
 MAX. FILL DEPTH: 4'
 NO ENVIRONMENTALLY SENSITIVE LANDS EXIST ONSITE

SITE KEY

- [Solid Grey] AREA OF PROPOSED RESIDENCE
- [Dotted Grey] AREA OF PROPOSED CONCRETE
- [Cross-hatched] AREA OF SOFTSCAPE
- [Hatched] RETAINING WALL
- [Dashed Line] INDICATES PROPERTY LINE
- [Dotted Line] INDICATES SETBACK LINE
- [Dashed Line] INDICATES LINE ABOVE
- [Circle with D.S.] DOWN SPOUT
- [Circle with 0.0] SPOT ELEVATION
- [Arrow] DRAINAGE PATTERN (EXISTING TO REMAIN)

FAA NOTIFICATION SELF CERTIFICATION AGREEMENT:

I, TIMOTHY J. GOLBA, DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 71.15(a) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS OR PART 77, NOTIFICATION IS NOT REQUIRED.



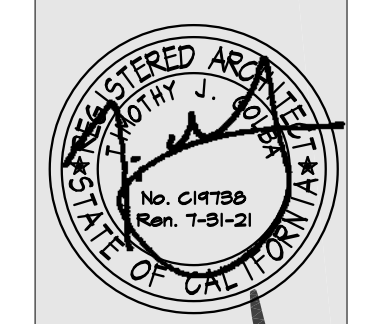
Prepared By:
 Brian Britton
 Golba Architecture
 1940 Garnet Ave., Suite 100
 San Diego, CA 92109
 office: (619) 231-9905
 fax: (858) 750-3471

Revision 10:
 Revision 9:
 Revision 8:
 Revision 7:
 Revision 6:
 Revision 5:
 Revision 4:
 Revision 3:
 Revision 2: 07-30-20
 Revision 1: 06-24-20

Project Address:
 7214 & 7216 FAY AVENUE
 LA JOLLA, CA 92037

Original Date: 03-26-20
 Sheet 6 of 13

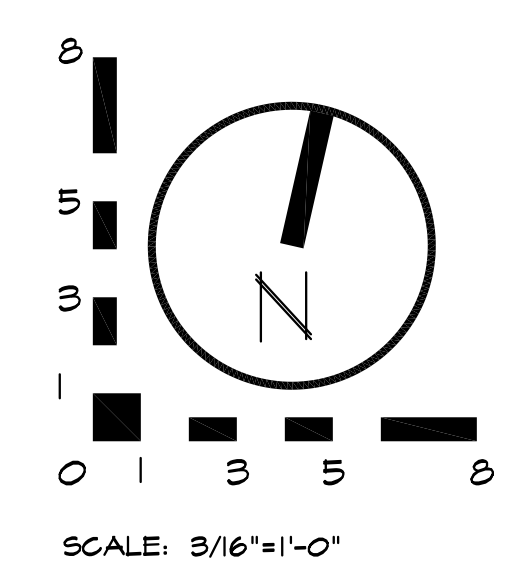
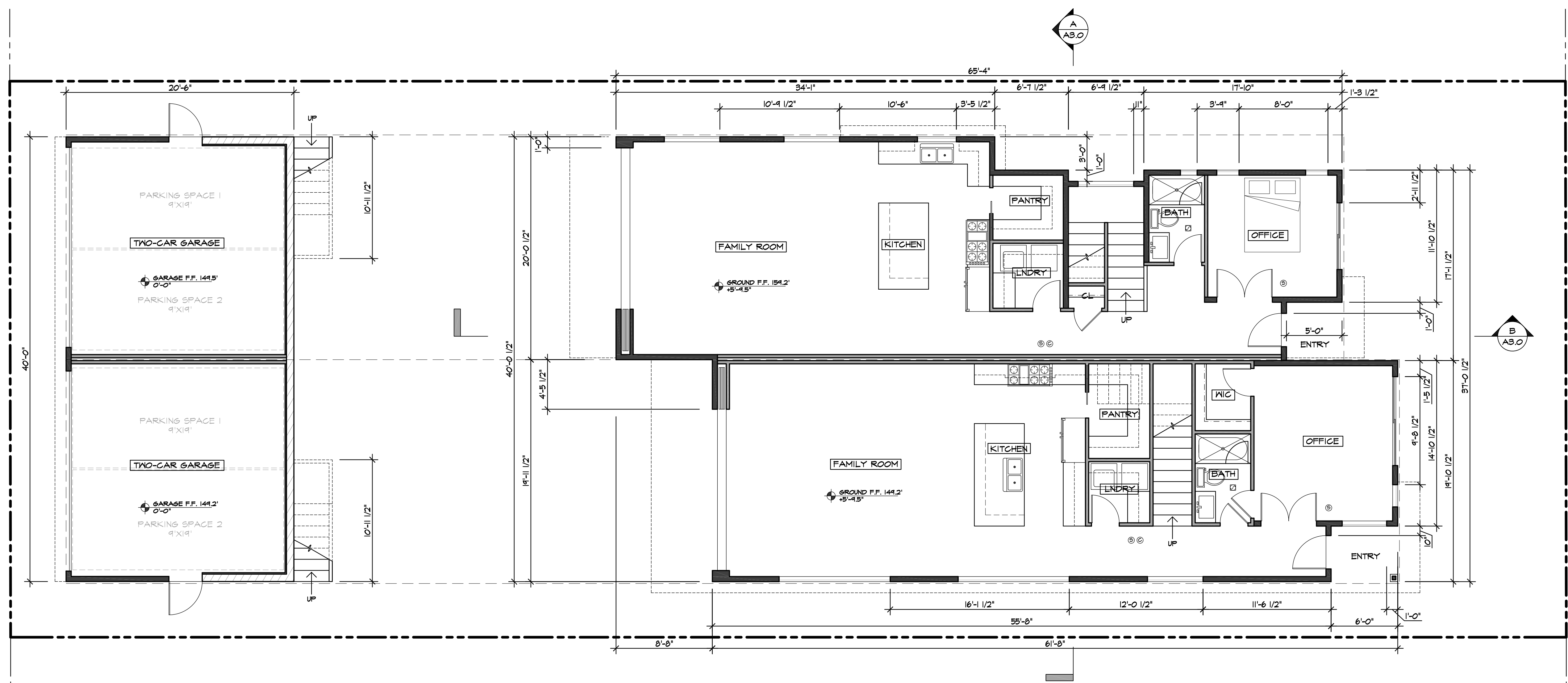
SITE PLAN



WALL LEGEND

	2X4 STUD WALL
	2X6 STUD WALL
	CMU RETAINING WALL WITH 2X4 FURRING
	LOM WALL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	TEMPERED GLASS WINDOW/DOOR
	EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 8 FT. FROM ANY EXTERIOR OPENING. SEE T.I. FOR VENTILATION NOTES.
	D.S. DOWN SPOUT

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.



Prepared By:
 Brian Britton
 Golba Architecture
 1940 Garnet Ave., Suite 100
 San Diego, CA 92109
 office: (619) 231-9905
 fax: (858) 750-3471

Project Address:
 7214 & 7216 FAY AVENUE
 LA JOLLA, CA 92037

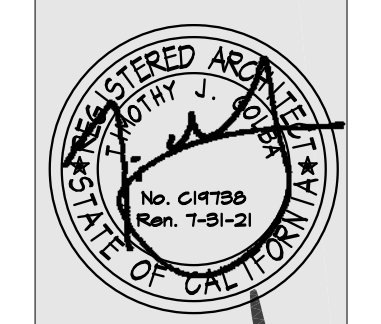
Project Name:
 FAY AVENUE HOMES

Sheet Title:

Revision 10:
 Revision 9:
 Revision 8:
 Revision 7:
 Revision 6:
 Revision 5:
 Revision 4:
 Revision 3:
 Revision 2:
 Revision 1: 06-24-20

Original Date: 03-26-20
Sheet 7 of 13

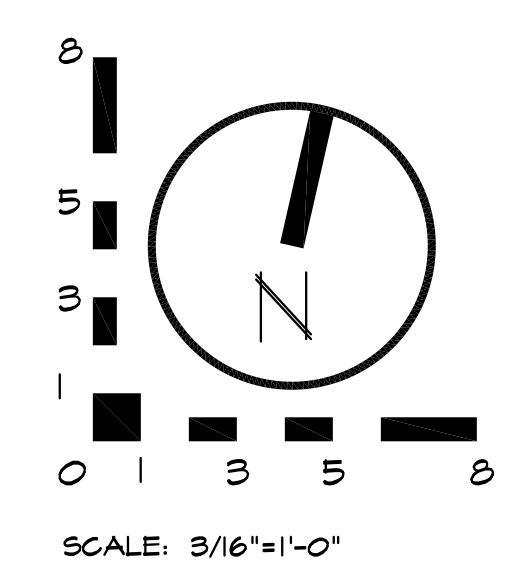
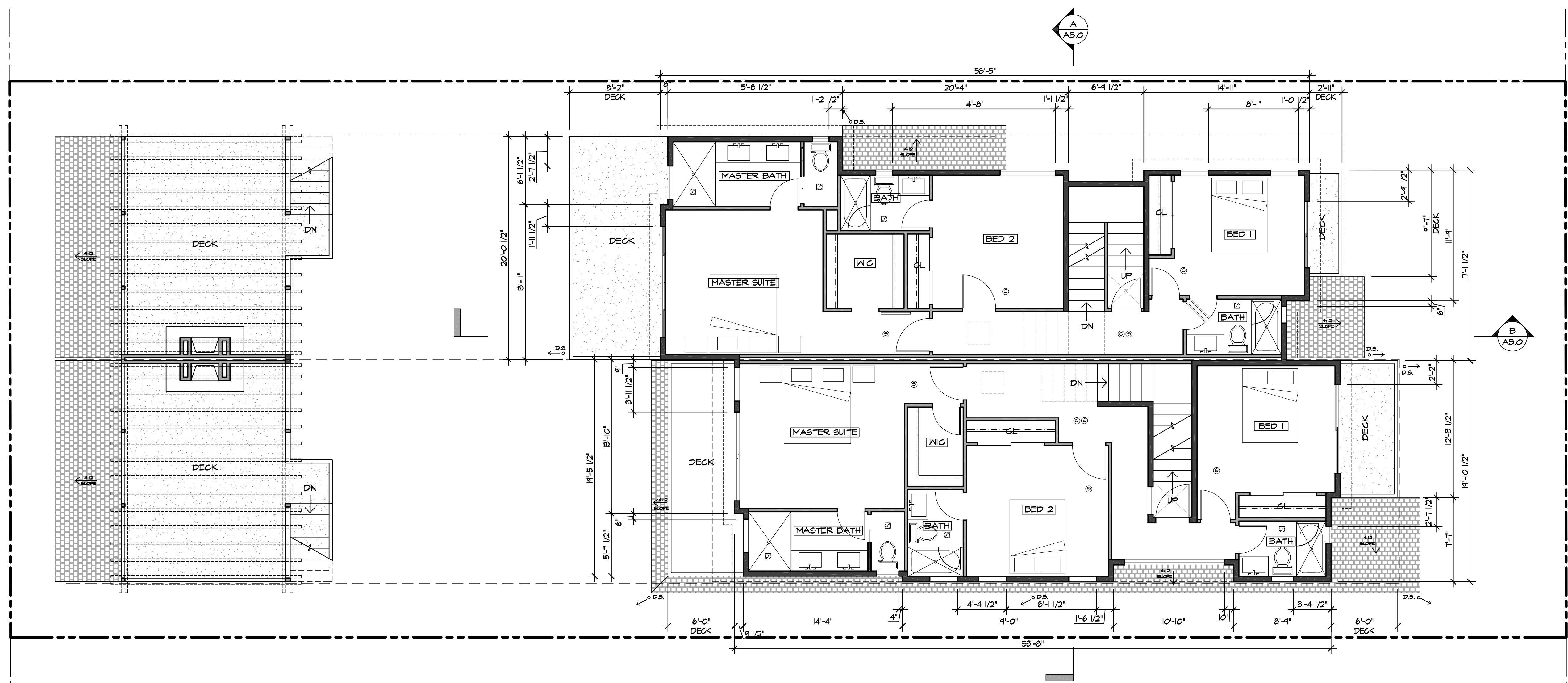
GROUND FLOOR PLAN
 SCALE: 3/16"=1'-0"



WALL LEGEND

	2x4 STUD WALL
	2x6 STUD WALL
	CMU RETAINING WALL WITH 2x4 FURRING
	LOM WALL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	TEMPERED GLASS WINDOW/DOOR
	EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 8 FT. FROM ANY EXTERIOR OPENING. SEE T.I. FOR VENTILATION NOTES.
	DOWN SPOUT

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.



Prepared By:
 Brian Britton
 Golba Architecture
 1940 Garnet Ave., Suite 100
 San Diego, CA 92109
 office: (619) 231-9905
 fax: (858) 750-3471

Project Address:
 7214 & 7216 FAY AVENUE
 LA JOLLA, CA 92037

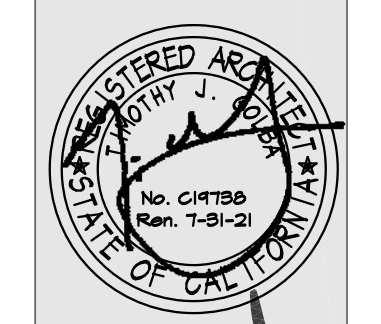
Project Name:
 FAY AVENUE HOMES

Sheet Title:
 FLOOR PLANS

Revision 10:
 Revision 9:
 Revision 8:
 Revision 7:
 Revision 6:
 Revision 5:
 Revision 4:
 Revision 3:
 Revision 2:
 Revision 1: 06-29-20

Original Date: 03-26-20
Sheet 8 of 13

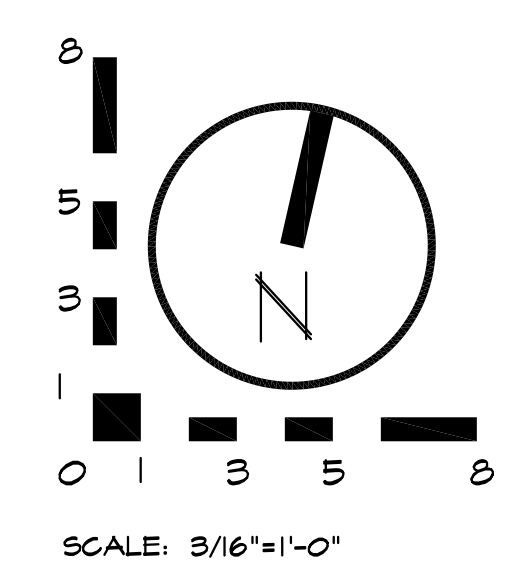
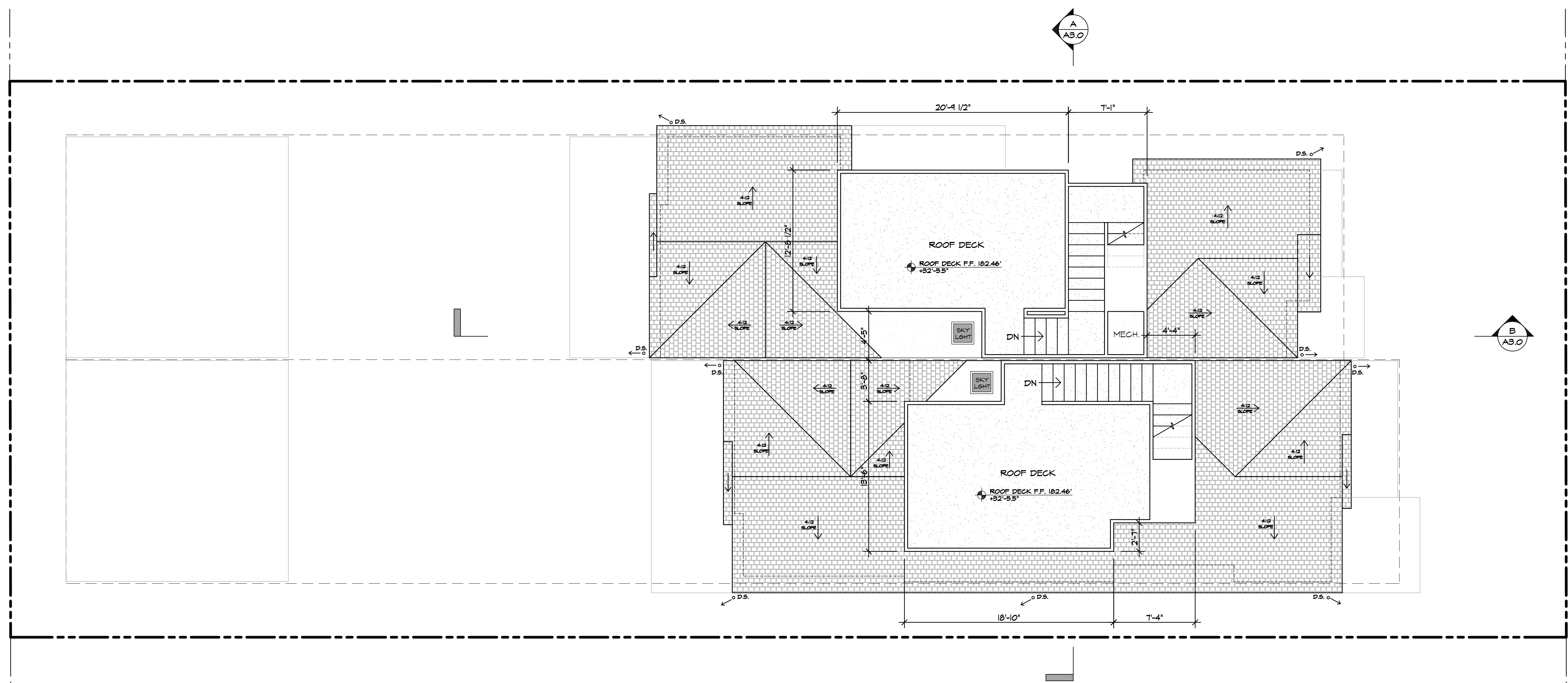
SECOND FLOOR PLAN
 SCALE: 3/16"=1'-0"



WALL LEGEND

	2X4 STUD WALL
	2X6 STUD WALL
	CMU RETAINING WALL WITH 2X4 FURRING
	LOM WALL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	TEMPERED GLASS WINDOW/DOOR
	EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 8 FT. FROM ANY EXTERIOR OPENING. SEE T.I. FOR VENTILATION NOTES.
	DOWN SPOUT

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.



Prepared By:
 Brian Britton
 Golba Architecture
 1940 Garnet Ave., Suite 100
 San Diego, CA 92109
 office: (619) 231-9905
 fax: (858) 750-3471

Project Address:
 7214 & 7216 FAY AVENUE
 LA JOLLA, CA 92037

Project Name:
 FAY AVENUE HOMES

Sheet Title:
 ROOF PLANS

Revision 10:
 Revision 9:
 Revision 8:
 Revision 7:
 Revision 6:
 Revision 5:
 Revision 4:
 Revision 3:
 Revision 2:
 Revision 1: 06-24-20

Original Date: 03-26-20
Sheet 9 of 13

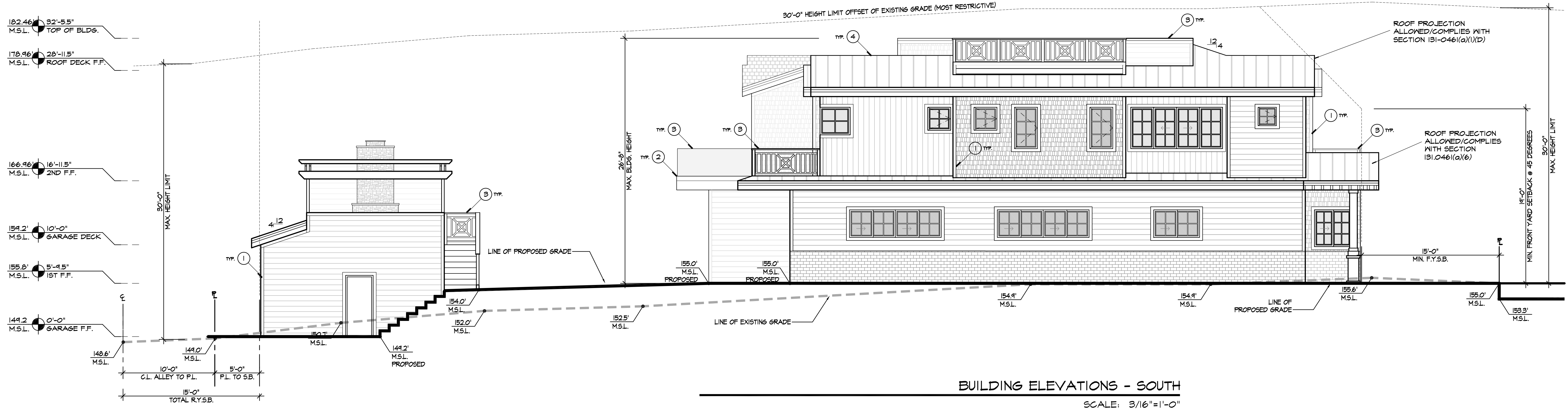
ROOF PLAN
 SCALE: 3/16"=1'-0"

THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (SDMC, SEC. 132.0505).

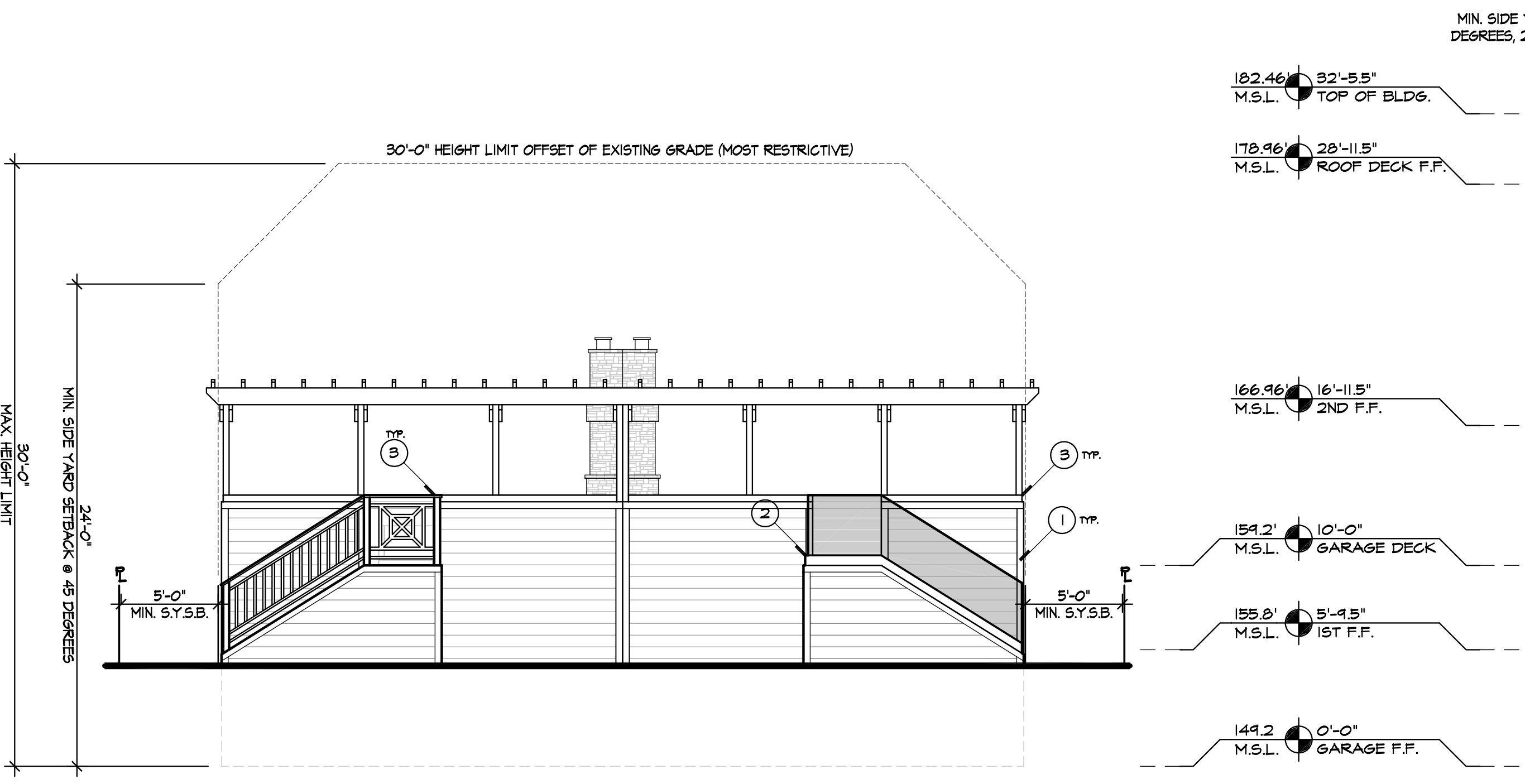
PROPERTY IS UNDER THE PROP. D HEIGHT MEASUREMENT

- KEY NOTES**
- 4" TRIM FINISH, TYP.
 - ALUMINUM SHOE FOR TEMPERED GLASS PANEL.
 - DECK RAILING AT 42" ABOVE FINISHED FLOOR.
 - STANDING SEAM METAL ROOF PANELS, CLASS 'A' FIRE RATED ASSEMBLY, TYP.

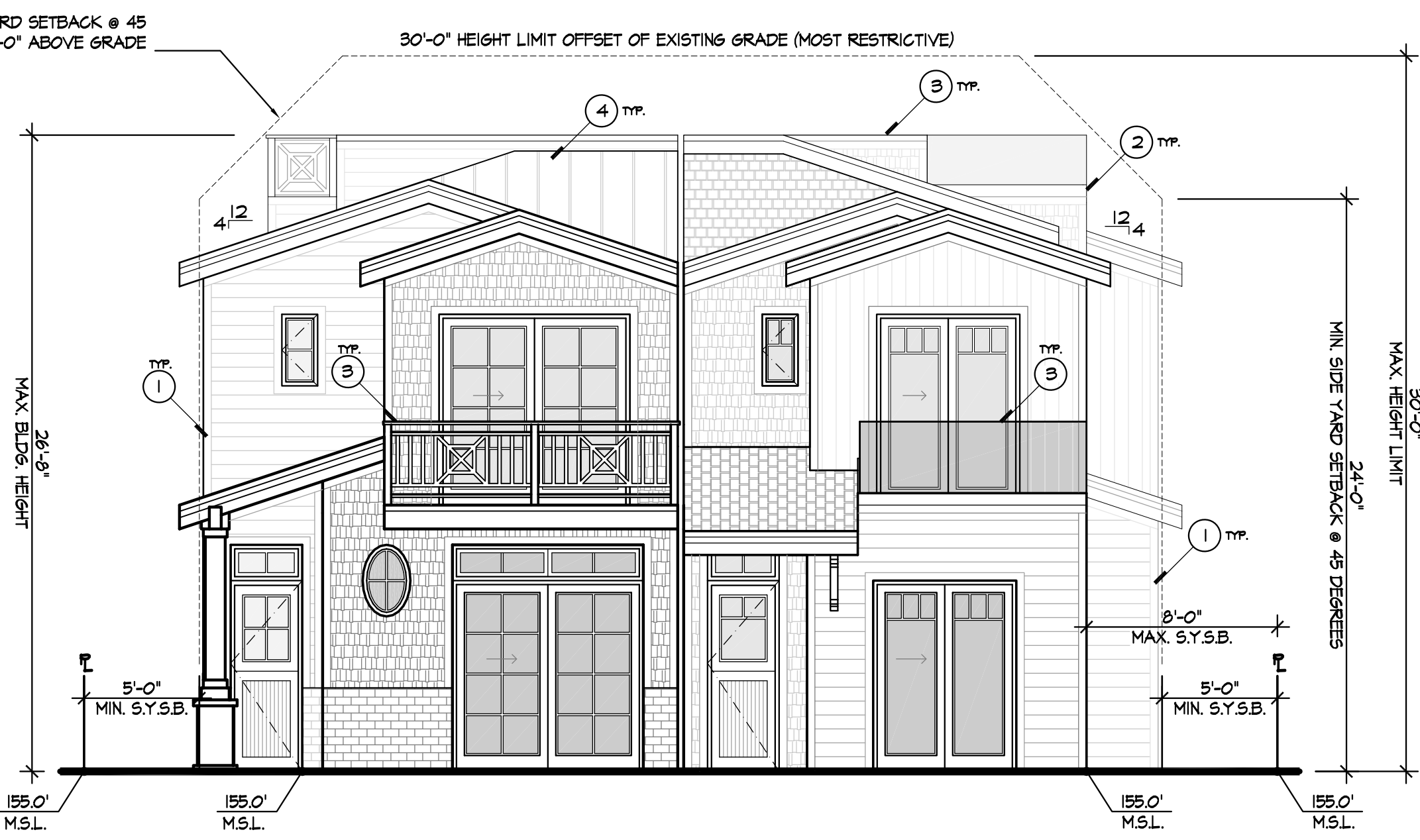
- ELEVATION LEGEND:**
- SHINGLE SIDING
 - 1 1/4" (6" EXPOSURE) LAP SIDING, RUSTIC CEDAR FINISH.
 - BRICK VENEER FINISH
 - STANDING SEAM METAL ROOF PANELS, CLASS 'A' FIRE RATED ASSEMBLY, TYP.
 - ASPHALT SHINGLE ROOF- 5/8" TIMBERLINE PRESTIQUE LIFETIME WARRANTY, COLOR PER OWNER APPROVAL, CLASS 'A' FIRE RATED ASSEMBLY, TYP.
 - TEMPERED GLASS



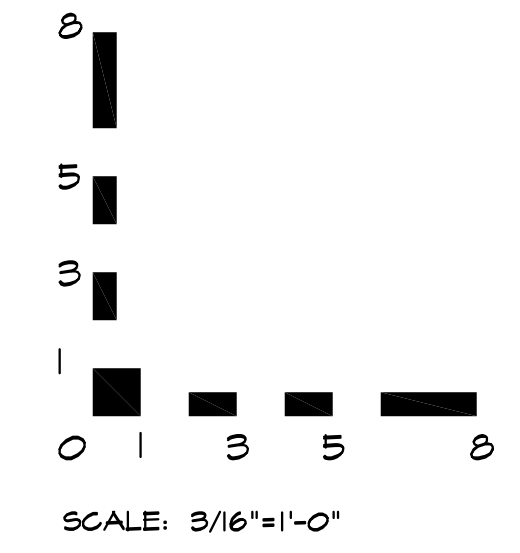
BUILDING ELEVATIONS - SOUTH
SCALE: 3/16"=1'-0"



GARAGE ELEVATIONS - EAST
SCALE: 3/16"=1'-0"



BUILDING ELEVATIONS - EAST
SCALE: 3/16"=1'-0"



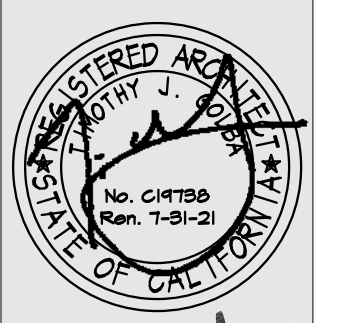
Prepared By:
Brian Britton
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
office: (619) 231-9905
fax: (858) 750-3471

- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: X
- Revision 1: X

Project Address:
7214 & 7216 FAY AVENUE
LA JOLLA, CA 92037

Project Name:
FAY AVENUE HOMES
Sheet Title:
BUILDING ELEVATIONS

Original Date: 06-29-20
Sheet 10 of 13

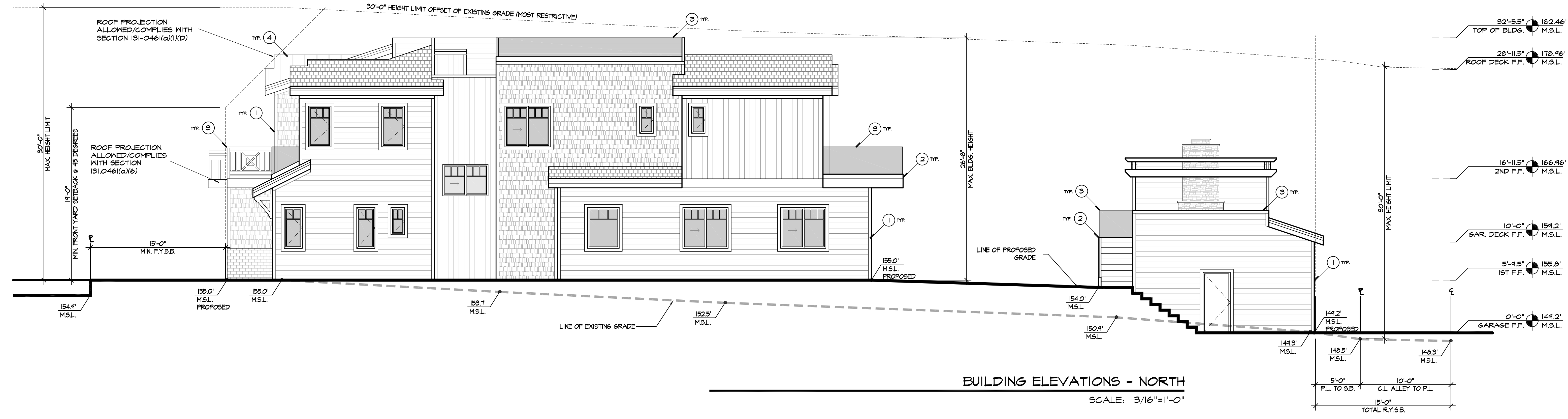


THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (SDMC, SEC. 132.0505).

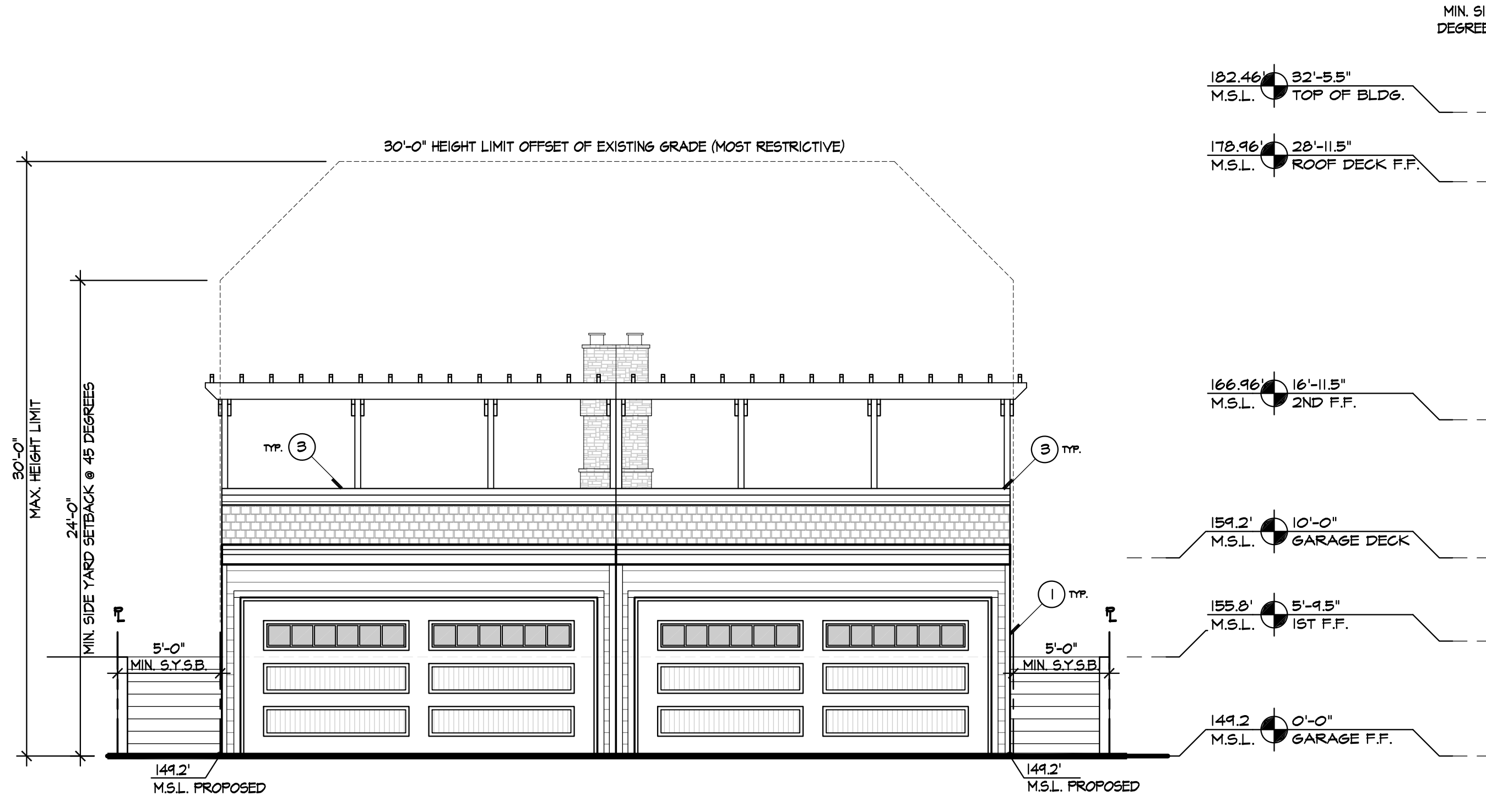
PROPERTY IS UNDER THE PROP. D HEIGHT MEASUREMENT

- KEY NOTES**
- 4" TRIM FINISH, TYP.
 - ALUMINUM SHOE FOR TEMPERED GLASS PANEL
 - DECK RAILING AT 42" ABOVE FINISHED FLOOR
 - STANDING SEAM METAL ROOF PANELS, CLASS 'A' FIRE RATED ASSEMBLY, TYP.

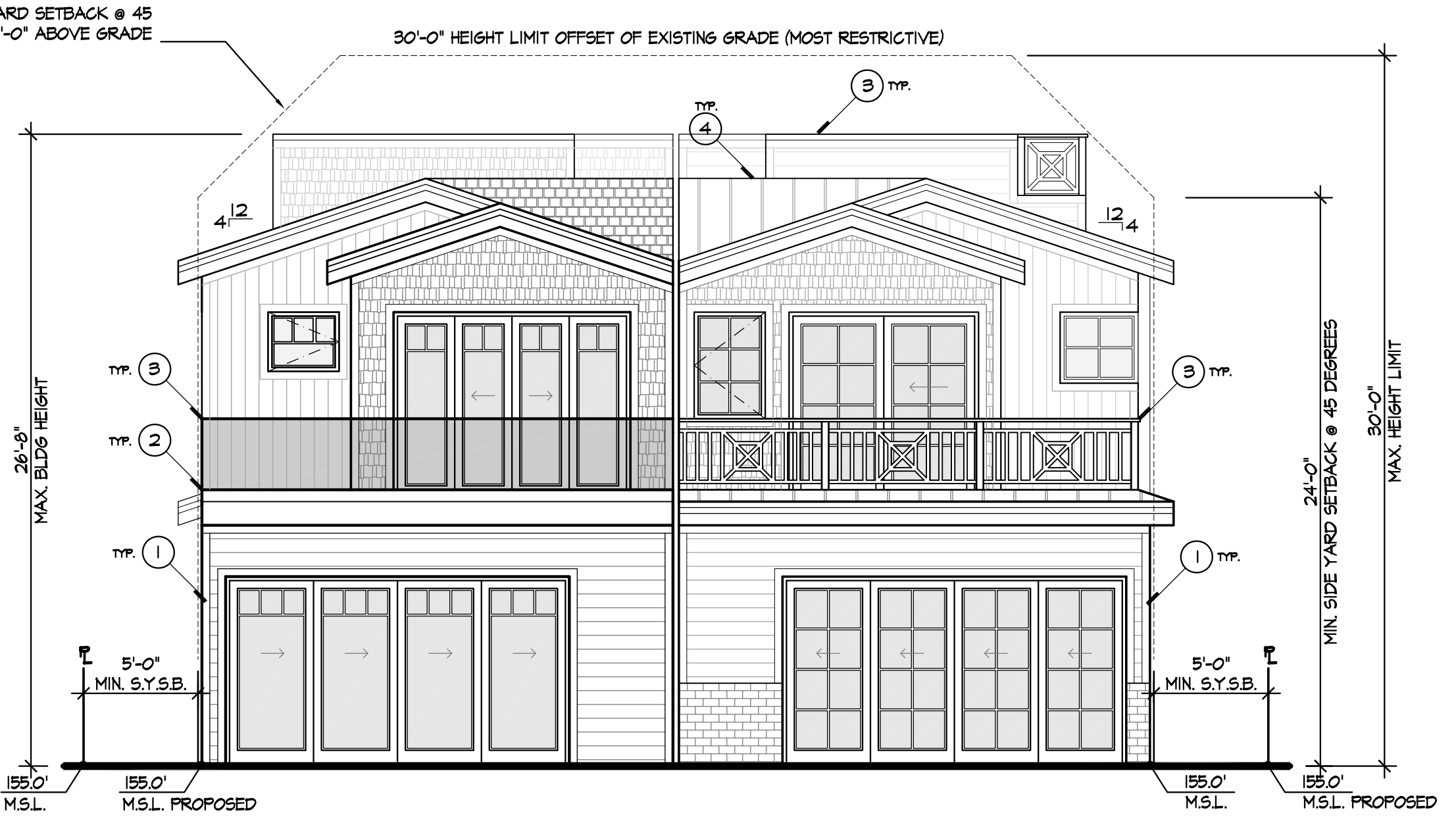
- ELEVATION LEGEND:**
- SHINGLE SIDING
 - 7 1/4" (6" EXPOSURE) LAP SIDING, RUSTIC CEDAR FINISH
 - BRICK VENEER FINISH
 - STANDING SEAM METAL ROOF PANELS, CLASS 'A' FIRE RATED ASSEMBLY, TYP.
 - ASPHALT SHINGLE ROOF- 30YR TIMBERLINE PRESTIGUE LIFETIME WARRANTY, COLOR PER OWNER APPROVAL, CLASS 'A' FIRE RATED ASSEMBLY, TYP.
 - TEMPERED GLASS



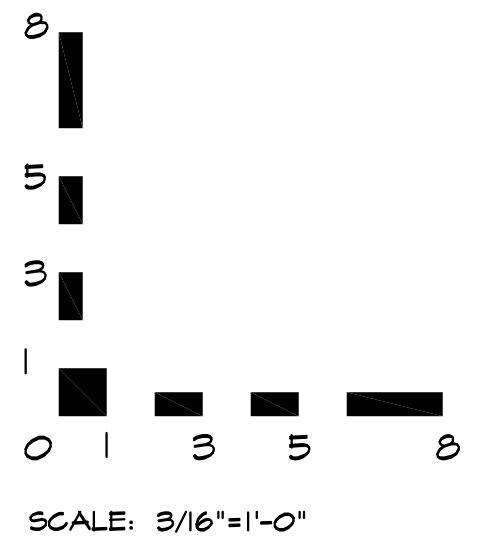
BUILDING ELEVATIONS - NORTH
SCALE: 3/16"=1'-0"



GARAGE ELEVATIONS - WEST
SCALE: 3/16"=1'-0"



BUILDING ELEVATIONS - WEST
SCALE: 3/16"=1'-0"



Prepared By:
Brian Britton
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
office: (619) 231-9905
fax: (858) 750-3471

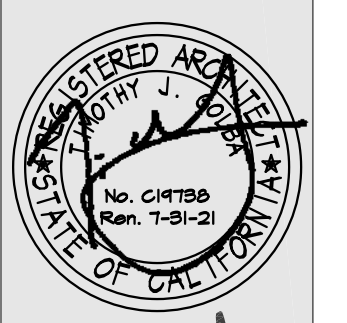
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: X
- Revision 1: X

Project Address:
7214 & 7216 FAY AVENUE
LA JOLLA, CA 92037

Original Date: 06-29-20
Sheet 11 of 13

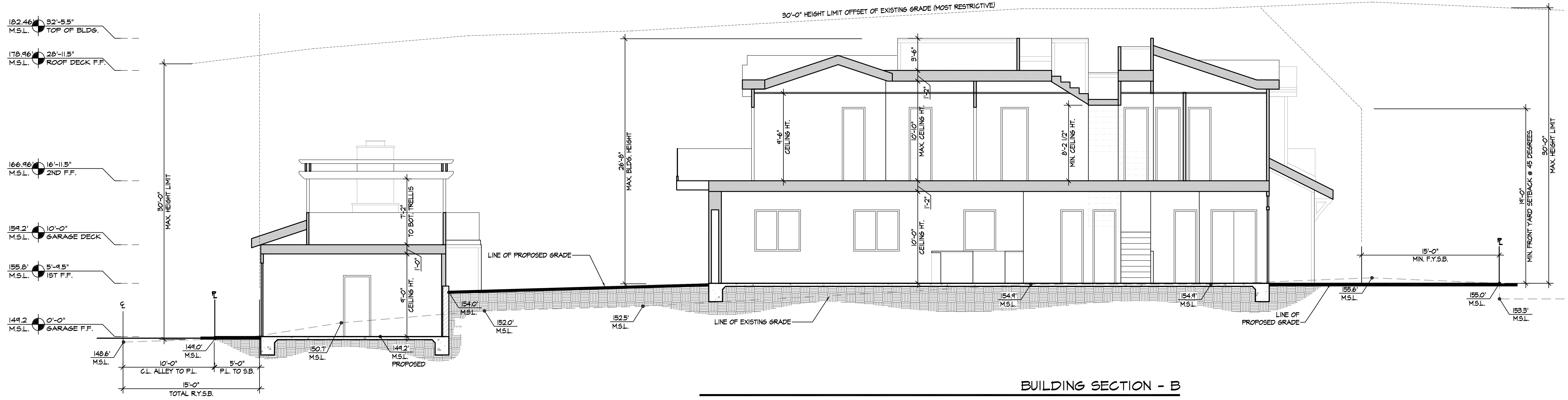
Project Name:
FAY AVENUE HOMES

Sheet Title:
BUILDING ELEVATIONS

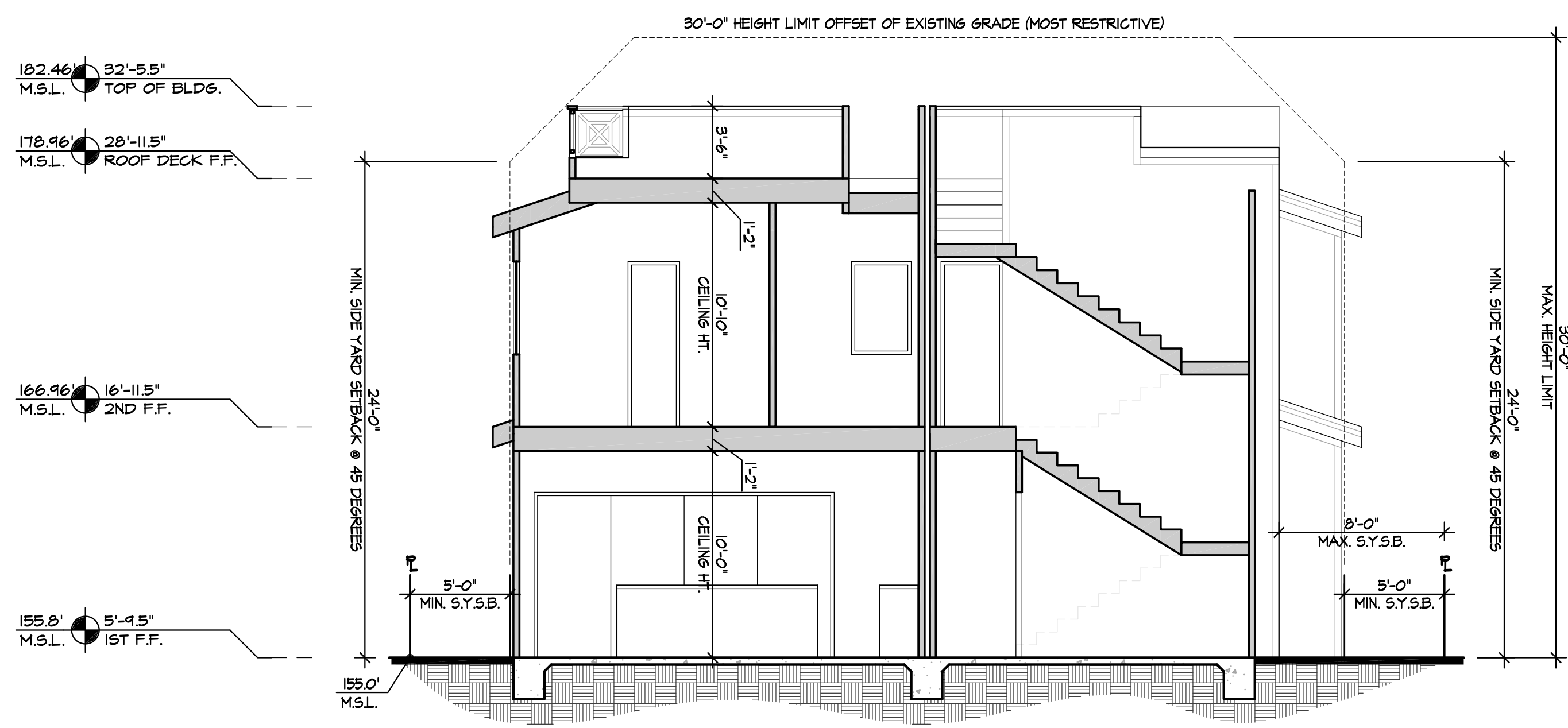


THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (SDMC, SEC. 192.0505).

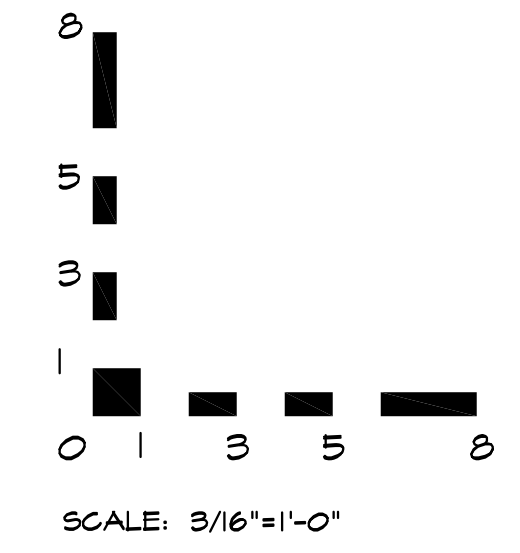
INSULATION
ROOF: R-30
WALL: R-15
FLOOR: R-19



BUILDING SECTION - B
SCALE: 3/16"=1'-0"



BUILDING SECTION - A
SCALE: 3/16"=1'-0"



Prepared By:
Brian Britton
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
office: (619) 231-9905
fax: (858) 750-3471

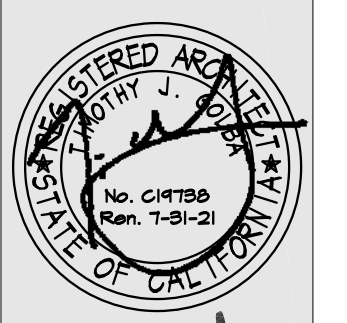
Project Address:
7214 & 7216 FAY AVENUE
LA JOLLA, CA 92037

Project Name:
FAY AVENUE HOMES

Sheet Title:
BUILDING SECTIONS

- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: X
- Revision 1: X

Original Date: 06-29-20
Sheet 12 of 13



GENERAL NOTES:

- THIS PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
- GRADE SITE TO DIRECT WATER AWAY FROM BUILDING AND NEW ADDITIONS. LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
- LOCATE REFUSE BINS PER PLANS.
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING AREAS TO BE PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
- PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
- PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND MAINTENANCE PERIOD. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF ALL REQUIRED LANDSCAPE IMPROVEMENTS, INCLUDING IN THE RIGHT-OF-WAY.

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
- ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5)
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBIT WITHIN THE DRIPLINE.
 - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IRRIGATION NOTE:

- ALL PLANTING AREAS SHALL BE IRRIGATED BY A BACKFLOW-PREVENTED IRRIGATION SYSTEM, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE DRIP IRRIGATION EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP, DRIP TUBING 3" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
- EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED SEPARATELY FROM OTHER PARKWAY PLANTINGS BY A HOMEOWNER-FUNDED AND MAINTAINED DRIP RING SYSTEM.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED FLOW SENSOR DEVICE.

DRAINAGE NOTES:

- THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO MAXIMUM EXTENT PRACTICABLE.
- ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

HARDSCAPE LEGEND

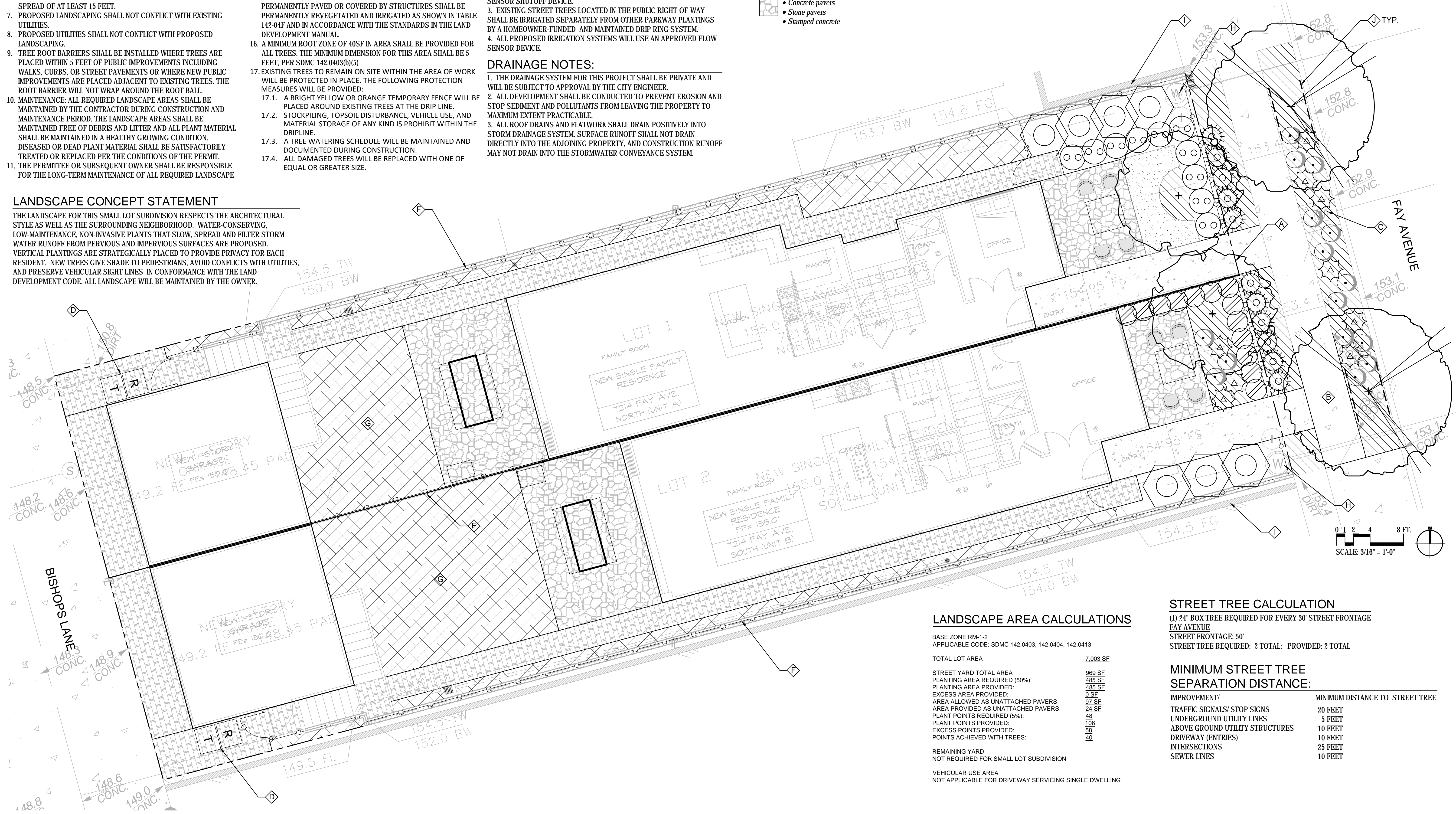
- PROPOSED HARDSCAPE MATERIAL LEGEND:**
- HARDSCAPE PAVING 'A'**
Impermeable paving such as: 271 SF
 - Uncolored concrete with broom-swept finish SDSRD
 - Uncolored concrete with enhanced finish
 - Integral color concrete with enhanced finish
 - HARDSCAPE PAVING 'B'**
Pervious paving such as: 979 SF
 - Pervious concrete pavers
 - Pervious concrete
 - HARDSCAPE PAVING 'C'**
Impermeable paving such as: 733 SF
 - Concrete pavers
 - Stone pavers
 - Stamped concrete

LANDSCAPE KEY NOTES:

- PROPERTY LINE - TYPICAL SYMBOL
- PROPOSED SIDEWALK IN RIGHT-OF-WAY WHERE EXISTING DRIVEWAY IS TO BE REMOVED
- EXISTING WATER METER TO BE ABANDONED
- TRASH AND RECYCLING BINS
- 6' HIGH SOLID WOOD FENCE BETWEEN PROPERTIES
- RETAINING WALL WITH 6' MASONRY FENCE TO MATCH ARCHITECTURE WITH 3' OPEN LATTICE (75% OPEN) ON TOP
- ORGANIC MULCH 3" DEEP IN REMAINING YARD, TYP. SYMBOL
- NEW WATER METER PER CIVIL PLANS
- EXISTING PILASTER/ WALL ON NEIGHBORING PROPERTY TO REMAIN
- TREE ROOT BARRIERS WHERE TREES ARE WITHIN 5' OF SIDEWALK

LANDSCAPE CONCEPT STATEMENT

THE LANDSCAPE FOR THIS SMALL LOT SUBDIVISION RESPECTS THE ARCHITECTURAL STYLE AS WELL AS THE SURROUNDING NEIGHBORHOOD. WATER-CONSERVING, LOW-MAINTENANCE, NON-INVASIVE PLANTS THAT SLOW, SPREAD AND FILTER STORM WATER RUNOFF FROM PERVIOUS AND IMPERVIOUS SURFACES ARE PROPOSED. VERTICAL PLANTINGS ARE STRATEGICALLY PLACED TO PROVIDE PRIVACY FOR EACH RESIDENT. NEW TREES GIVE SHADE TO PEDESTRIANS, AVOID CONFLICTS WITH UTILITIES, AND PRESERVE VEHICULAR SIGHT LINES IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE. ALL LANDSCAPE WILL BE MAINTAINED BY THE OWNER.



LANDSCAPE AREA CALCULATIONS

BASE ZONE RM-1-2	
APPLICABLE CODE: SDMC 142.0403, 142.0404, 142.0413	
TOTAL LOT AREA	7,003 SF
STREET YARD TOTAL AREA	969 SF
PLANTING AREA REQUIRED (50%)	485 SF
PLANTING AREA PROVIDED:	485 SF
EXCESS AREA PROVIDED:	0 SF
AREA ALLOWED AS UNATTACHED PAVERS	97 SF
AREA PROVIDED AS UNATTACHED PAVERS	24 SF
PLANT POINTS REQUIRED (5%):	48
PLANT POINTS PROVIDED:	106
EXCESS POINTS PROVIDED:	58
POINTS ACHIEVED WITH TREES:	40
REMAINING YARD NOT REQUIRED FOR SMALL LOT SUBDIVISION	
VEHICULAR USE AREA NOT APPLICABLE FOR DRIVEWAY SERVICING SINGLE DWELLING	

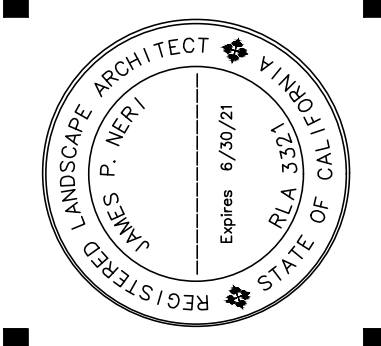
STREET TREE CALCULATION

(1) 24" BOX TREE REQUIRED FOR EVERY 30' STREET FRONTAGE
 FAY AVENUE
 STREET FRONTAGE: 50'
 STREET TREE REQUIRED: 2 TOTAL; PROVIDED: 2 TOTAL

MINIMUM STREET TREE SEPARATION DISTANCE:

IMPROVEMENT/	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS/ STOP SIGNS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET
SEWER LINES	10 FEET

Project No. - XX
 Drawn - XXX
 Checked - JPN
NLA
NERI LANDSCAPE ARCHITECTURE
 928 HORNBLAND STREET, SUITE # 3
 SAN DIEGO, CA 92109
 TEL: 619.594.7423
 WWW.NERILANDSCAPE.COM



LANDSCAPE IMPROVEMENT PLANS FOR
7214 FAY AVENUE UNITS
 7214 FAY AVENUE,
 La Jolla, CA 92037

FOR APPROVAL
 6/17/2020

LANDSCAPE PLAN AND NOTES
 1

ALL PLANS, DESIGNS AND IDEAS SHOWN ON THIS DRAWING ARE THE PROPERTY OF NERI LANDSCAPE ARCHITECTURE AND SHALL NOT BE USED, DISCLOSED OR REPRODUCED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE, WITHOUT WRITTEN CONSENT FROM NERI LANDSCAPE ARCHITECTURE.

ALL PLANS, DESIGNS AND IDEAS SHOWN ON THIS DRAWING ARE THE PROPERTY OF NERI LANDSCAPE ARCHITECTURE AND SHALL NOT BE USED, DISCLOSED OR REPRODUCED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN CONSENT FROM NERI LANDSCAPE ARCHITECTURE.

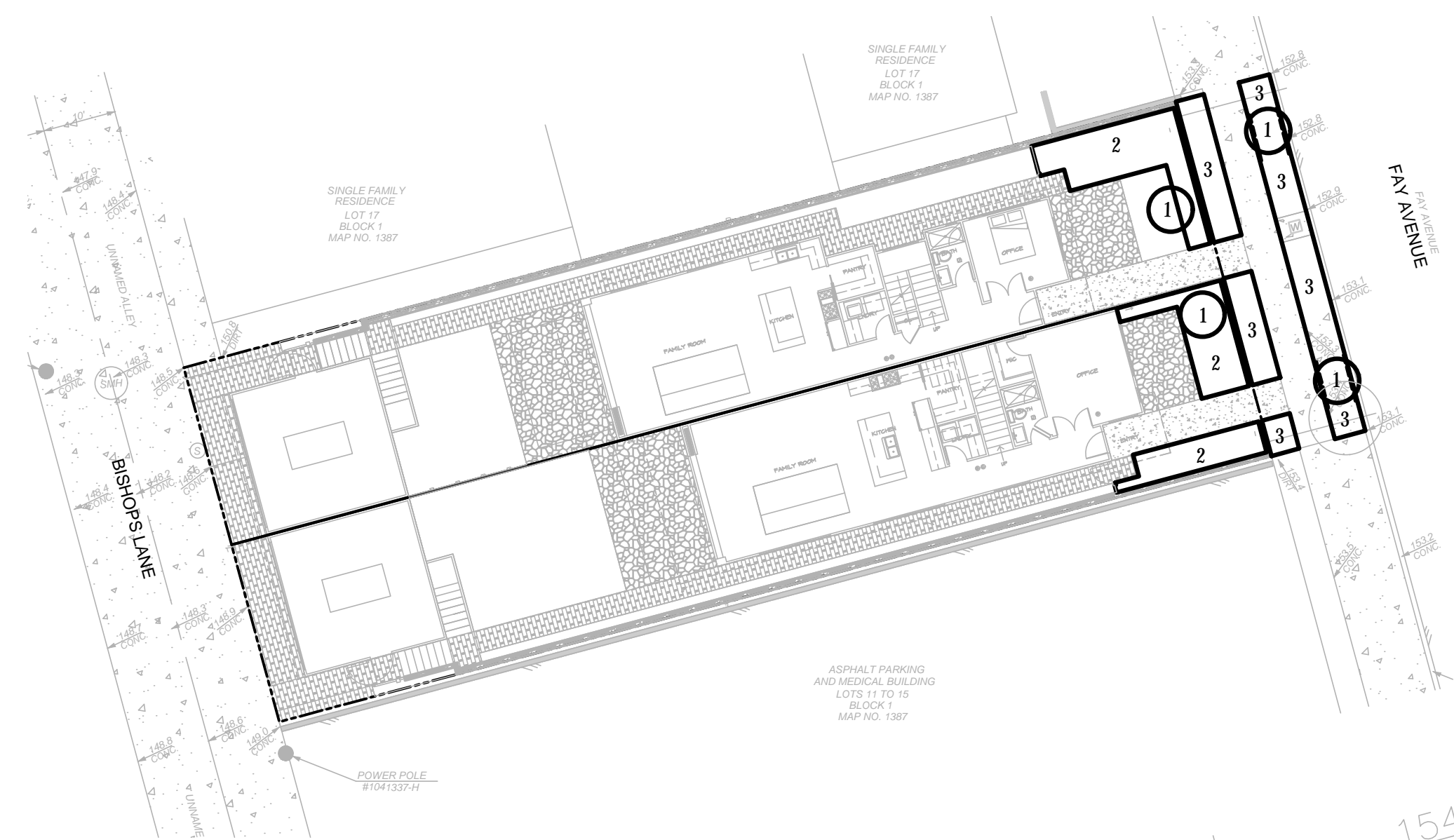
PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

• Denotes Preferred Species

PLANT MATERIAL	QTY	%	SIZE
STREET TREES			
Medium scale tree - 30' tall x 20' wide, such as:	2	100%	24" BOX
• <i>Jacaranda mimosifolia</i>			"Jacaranda"
SHADE TREES			
Small scale tree - 15' tall x 15' wide, such as:	2	100%	24 GAL
• <i>Cercis canadensis</i>			"Eastern Redbud"
• <i>Lagerstroemia indica</i>			"Crape Myrtle"
• <i>Magnolia x 'Little Gem'</i>			"Dwarf Magnolia"
EVERGREEN SCREENING HEDGE			
Medium scale shrub - 10' tall x 4' wide, such as:	7	100%	5 GAL
• <i>Grewia occidentalis</i>			"Lavender Starflower"
• <i>Myrica californica</i>			"Pacific Wax Myrtle"
• <i>Pittosporum eugenioides</i>			"Tarata Pittosporum"
FOUNDATION SHRUB			
Small scale shrub - 2.5' tall x 3' wide, such as:	23	100%	5 GAL
• <i>Polygala fruticosa</i> 'Petite Butterfly'			"Sweet Pea Shrub"
• <i>Buxus microphylla</i>			"Littleleaf Boxwood"
• <i>Westringia fruticosa</i> Grey Box			"Dwarf Coast Rosemary"
ACCENT PERENNIAL			
Medium scale shrub - 5' tall x 5' wide, such as:	15	100%	1 GAL
• <i>Achillea 'Moonshine'</i>			"Yarrow"
• <i>Erigeron glaucus</i> 'Arthur Menzies'			"Beach Aster"
• <i>Penstemon eatonii</i>			"Firecracker Penstemon"
GRASS-LIKE PERENNIAL			
Medium scale shrub - 3' tall x 3' wide, such as:	11	100%	5 GAL
• <i>Chondropetalum tectorum</i>			"Small Cape Rush"
• <i>Juncus textilis</i>			"Basket Rush"
• <i>Leymus condensatus</i> 'Canyon Prince'			"Giant Rush"
FOUNDATION PERENNIAL			
Small scale shrub - 2' tall x 2' wide, such as:	9	100%	1 GAL
• <i>Dianella tasmanica</i> 'Variegata'			"Flax Lily"
• <i>Liriope muscari</i> 'Variegata'			"Lily Turf"
• <i>Phormium 'Tom Thumb'</i>			"New Zealand Flax"
GROUND COVER			
Low-growing groundcover - 1' tall x 3' wide, such as:	447	100%	4" POTS @ 12" O.C.
• <i>Cistanthe grandiflora</i>			"Rock Purslane"
• <i>Osteospermum fruticosum</i>			"Trailing African Daisy"
• <i>Senecio cineraria</i>			"Silver Dust"

HYDROZONE DIAGRAM

NOT TO SCALE



WATER BUDGET CALCULATIONS:

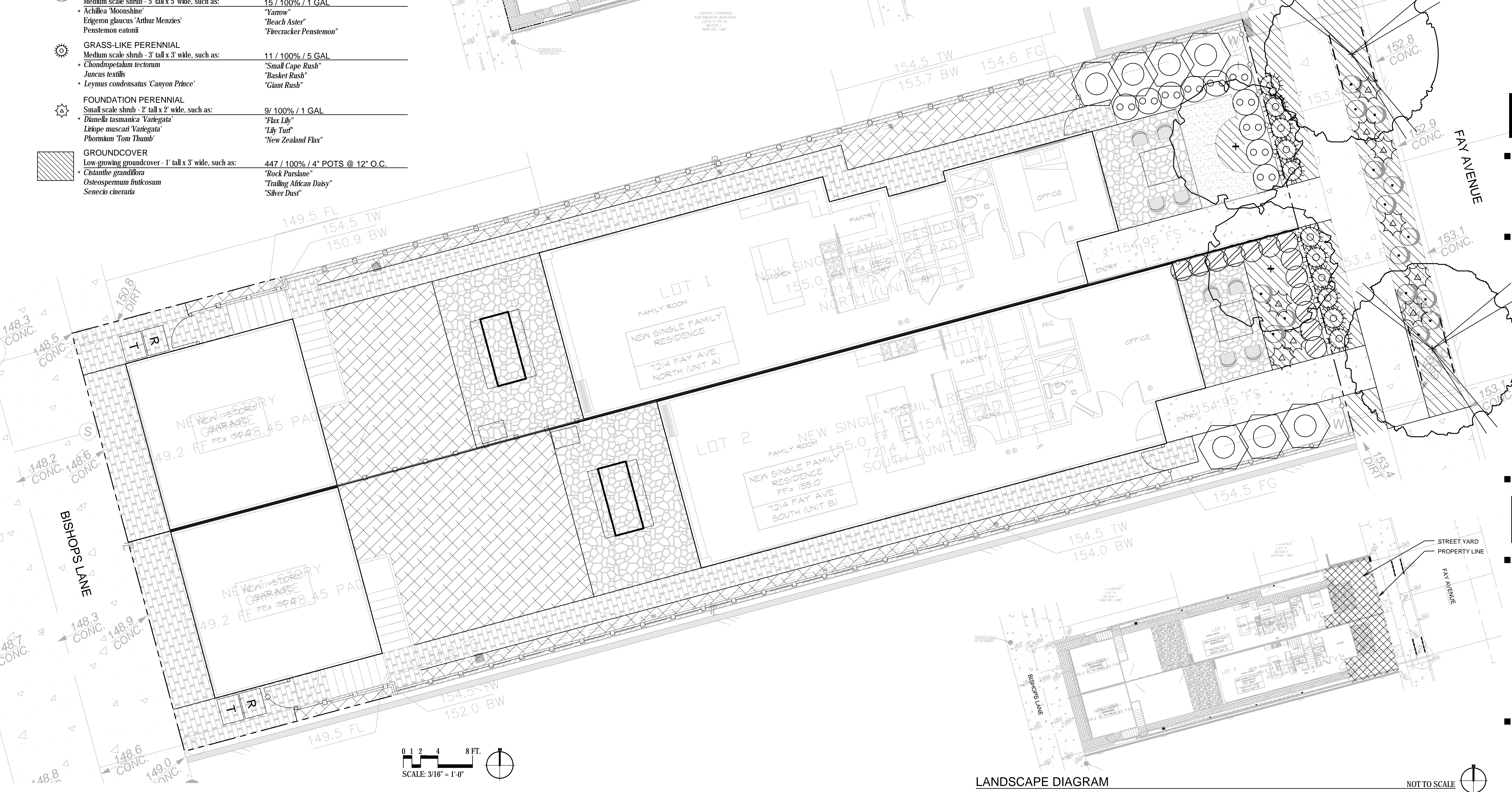
TOTAL LANDSCAPE AREA (LA) = 852 SF
 SPECIAL LANDSCAPE AREA (SLA) = 0 SF
 ET_o = 40
 ETAF = .55

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):
 MAWA = (ET_o)(0.62)[(0.55 x LA) + (0.45 x SLA)]
 (40)(0.62) [(.55 x 852) + (.45 x 0)] = 10,434 GAL/YR

ETWU = (ET_o)(0.62) [(PF x HA/IE) + (SLA)]
 ESTIMATED TOTAL WATER USE (ETWU): 10,434 GAL/YR

ESTIMATED TOTAL WATER USE

HYD.	PLANT FACTOR	HYDROZONE AREA IN S.F.	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	ETAF X HA	RESULT IN GAL/YR.
1	0.4	112	DRIP	.81	0.49	55.3	1,372
2	0.4	367	DRIP	.81	0.49	181.2	4,495
3	0.4	373	DRIP	.81	0.49	184.2	4,568
TOTAL							10,434



LANDSCAPE DIAGRAM

NOT TO SCALE

Project No. - XX
 Drawn - XXX
 Checked - JPN

NLA
NERI LANDSCAPE ARCHITECTURE
 928 HORNBLAND STREET, SUITE # 3
 SAN DIEGO, CA 92109
 TEL: 619.594.2424 FAX: 619.594.2423
 WWW.NERILA.COM

REGISTERED ARCHITECT
 P. NERI
 License 6/09/21
 REGISTERED LANDSCAPE ARCHITECT
 J. NERI
 License 6/09/21

LANDSCAPE IMPROVEMENT PLANS FOR
7214 FAY AVENUE UNITS
 7214 FAY AVENUE,
 La Jolla, CA 92037

FOR APPROVAL
 6/17/2020

LANDSCAPE PLAN
 AND NOTES

12