



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 21, 2021 REPORT NO. HO-21-018

HEARING DATE: April 28, 2021

SUBJECT: KEARNY MESA LOGISTIC SDP- PROJECT NO. 649192

PROJECT NUMBER: [649192](#)

OWNER/APPLICANT: CH REALTY VIII LPC I SAN DIEGO, KEARNY MESA LP/LATTITUDE 33

SUMMARY

Issue: Should the Hearing Office approve a Site Development Permit to demolish all existing structures on the site and construct a single distribution building, and permit a new industrial/logistics building that will have 298,420 square feet of ground floor and 45,580 square feet of mezzanine space, totaling 344,000 square feet and will be constructed on the southern and western portions of the site, located at 5670 Kearny Mesa Road, within the Kearny Mesa Community Plan?

Staff Recommendation(s):

1. Adopt MND No. 649192 and Adopt the MMRP.
2. Approve Site Development Permit No. 2350105.

Community Planning Group Recommendation: On January 20, 2021, the Kearny Mesa Planning Group voted 11-0-0 to approve the project without any conditions (Attachment 7).

Environmental Review: A Mitigated Negative Declaration No. 649192, has been prepared for the project in accordance with state of California Environmental Quality Act (CEQA) guidelines. A mitigation, monitoring and reporting program has been prepared and will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process (Attachment 6).

BACKGROUND

The project site is located at 5670 Kearny Mesa Road, the site is Zoned IL-2-1, in the Airport Land Use Compatibility Overlay zone (MCAS Miramar and Montgomery Field), the Airport Influence Area (MCAS Review Area 1/Montgomery Field Review Area 2), the Airport Safety Zone (MCAS Transition

zone), the High Fire Severity zone, the Fire Brush Zones, the Residential Tandem Parking Overlay zone, the Transit Priority Area, and the FAA Part 77 Notification Area, within the Kearny Mesa Community Plan (Attachment 1). The project is not within a flood overlay zone. The project is in an area known for potential fire hazards. A complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standard. The project site is located at the terminus of Kearny Mesa Road, beyond which lies open space that is within the City's Vernal Pool Habitat Management Plan and the City's Multi-Habitat Planning Area. Eastern portions of the project site also are within the boundary of the City's Vernal Pool Habitat Management Plan and the City's Multi-Habitat Planning Area (MHPA).

The project site is currently developed with three industrial buildings, ancillary structures (shipping and receiving buildings, maintenance building, detached garage, and boresight tower), and an asphalt-paved surface parking lot. The project site also contains undeveloped land in the northeastern portion of the site. Access to the site is provided via Kearny Mesa Road on the southwest side of the property. Adjacent uses include SR 52 to the north, light industrial land uses in single-story structures to the southwest and across SR 163, open space to the east, SR 163 to the south and east, and light industrial structures and open space to the west.

Due to Industrial development on a premise containing environmentally sensitive lands, a decision for a Site Development Permit is required in accordance with San Diego Municipal Code Sections (SDMC) [126.0502 \(a\)\(2\)\(4\)](#) and [143.0110](#). The decision may be appealed to the Planning Commission. A Site Development Permit may be approved or conditionally approved only if the decision maker makes all of the findings in Section [126.0505\(a\)](#) and the supplemental findings in Section [126.0505\(b\) through \(m\)](#) that are applicable to the proposed development (Attachment 4).

DISCUSSION

Project Description

The project proposes to demolish all existing structures on the site and construct a single distribution building. The new industrial/logistics building will have 298,420 square feet of ground floor and 45,580 square feet of mezzanine space, totaling 344,000 square feet, on a site that contains Environmentally Sensitive Lands. The site is comprised of two parcels: Parcel 1 contains the developed portions of the site, with the three existing industrial and automotive-related buildings, ancillary structures (all existing structures will be demolished), and a parking lot; Parcel 2, which supports vernal pool habitat will remain as is, with no new development proposed on that parcel. The project has been designed to ensure all new development will be constructed on the southern and western portions of the site. No deviations are proposed with this project and the project complies with all regulations of the Land Development Code.

The project would also consist of off-site road improvements along Magnatron Boulevard located west of the site. The project would construct a curb and gutter along both sides of the road, in addition to a non-contiguous sidewalk and landscaping on the east side of the road. The project will also construct sidewalks along the project frontage on Kearny Mesa Road and provide pedestrian pathways to access the site from public roadways. The project would include the installation and

maintenance of a landscaped buffer between the sidewalk and roadway. The project site is located in a developed area where public services are already provided.

Vernal pools, designated as an environmentally sensitive area, are located within the eastern portion of the site on land that is within the City's Vernal Pool Habitat Management Plan (VPHCP) and Multi-Habitat Planning Area (MHPA). The project would preserve the vernal pool habitat consistent with the VPHCP, on Parcel 2. Parcel 1 will contain all new development (Attachment 9). A biological open space/vernal pool preserve is located on the east end of the site adjacent to the developable area of the Project and is not open to the public. The preserve is screened and will remain protected from vehicular or other human-caused damage, encroachment and urban runoff. No grading will occur within the preserve. No direct impacts would occur to the preserve, including its associated watersheds. Implementation of the Section 1.4.3 MHPA Land Use Adjacency Guidance Measures and VPHCP Section 5.2.1 Vernal Pool Avoidance and Minimization Measures have been made conditions of the Site Development Permit to ensure the maintenance of the vernal pool preserve in perpetuity.

Due to impacts to Biological Resources, Cultural Resources, Land Use and Planning (MHPA/VPHCP), Transportation/Traffic, and Tribal Cultural Resources, a Mitigated Negative Declaration and MMRP was prepared for the project and Subsequent revisions in the project proposal create the specific mitigation identified in Section V of the Mitigated Negative Declaration.

Community Plan Analysis

The project site is located in the IL-2-1 Zone of the Kearny Mesa Community Plan (KMCP). The 1992 KMCP designates the land use as Industrial and Business Parks. The proposed project was deemed complete under the 1992 KMCP that designates the land use as Industrial and Business Parks ([Figure 4](#)). The KMCP updated in 2020 also designates the project site for industrial uses. Therefore, the proposed project is consistent with the community plan land use designation. A primary goal of the KMCP is to maintain Kearny Mesa as a regional employment center, containing a mix of industrial, office, and retail land uses. The proposed project will ensure that employment areas will continue to exist within the community and provide new jobs to the region. The Community Plan includes policies to encourage a variety of industrial, technology, and business uses and preserve industrial lands for employment uses and collocation of industrial operations that cannot locate in commercially designated areas. The Community Plan also includes specific recommendations to preserve and manage vernal pools in accordance with the VPHCP, and urban design guidelines that enhanced pedestrian amenities and planted parkways between the public right-of-way should be provided. Consistent with the Community Plan and VPHCP, no vernal pool habitat will be affected with the proposed project, pedestrian amenities and landscaped areas will be provided. The development has been designed to comply with all of the applicable development regulations, including those of the IL-2-1 Zone.

Conclusion

The Project complies with the requirements of IL-2-1 Zone, all applicable sections of the Land Development Code, and the Kearny Mesa Community Plan. Staff has prepared draft findings in the affirmative to approve the Project and recommends approval of Site Development Permit No. 2350105.

ALTERNATIVES

1. Approve Site Development Permit No. 2350105, with modifications.
2. Deny Site Development Permit No. 2350105, if the findings required to approve the project cannot be affirmed.

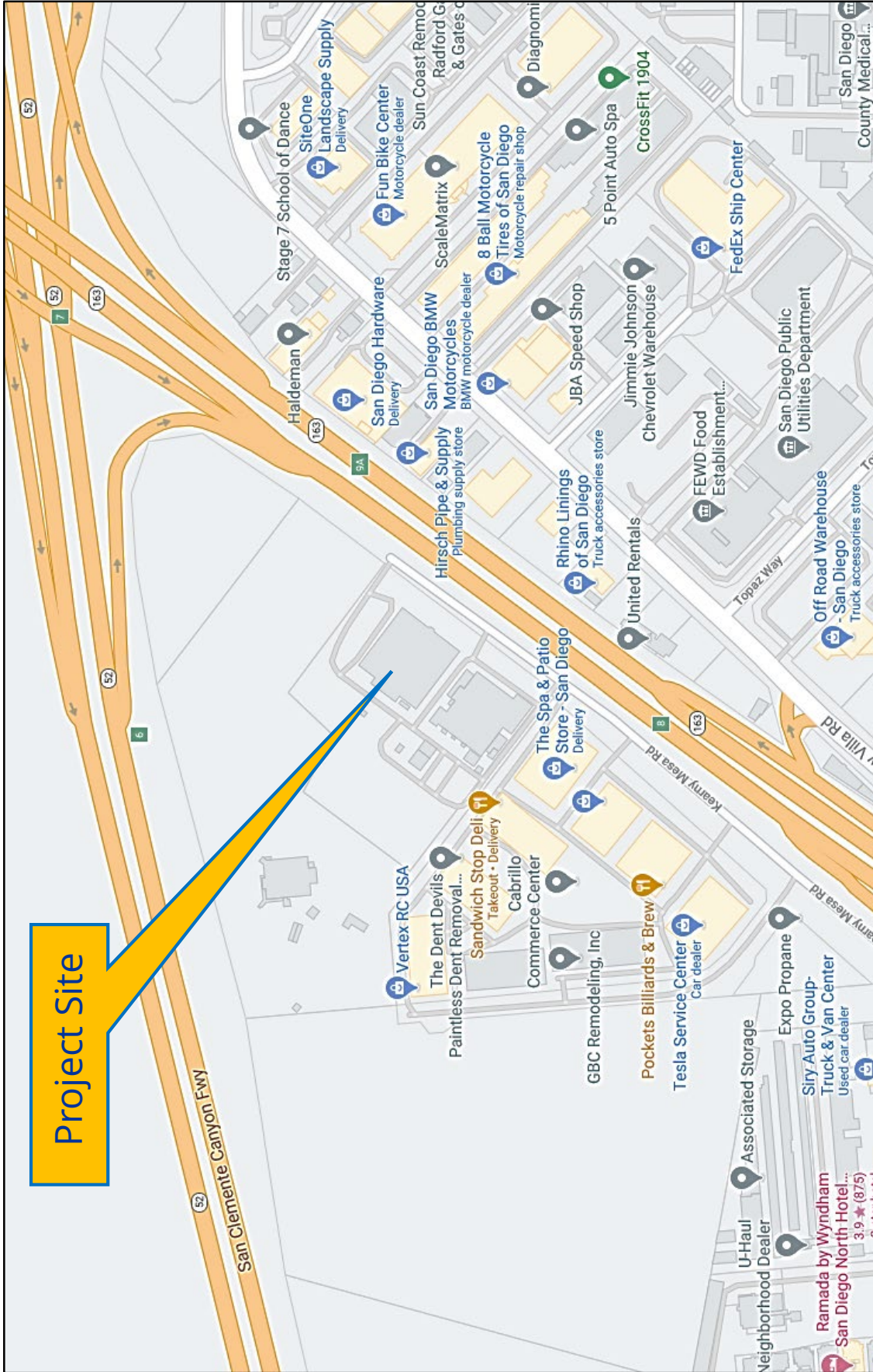
Respectfully submitted,

Derrick Johnson (D.J.)

Derrick Johnson (D.J.), Development Project Manager

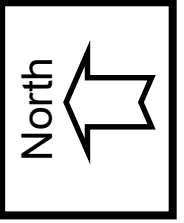
Attachments:

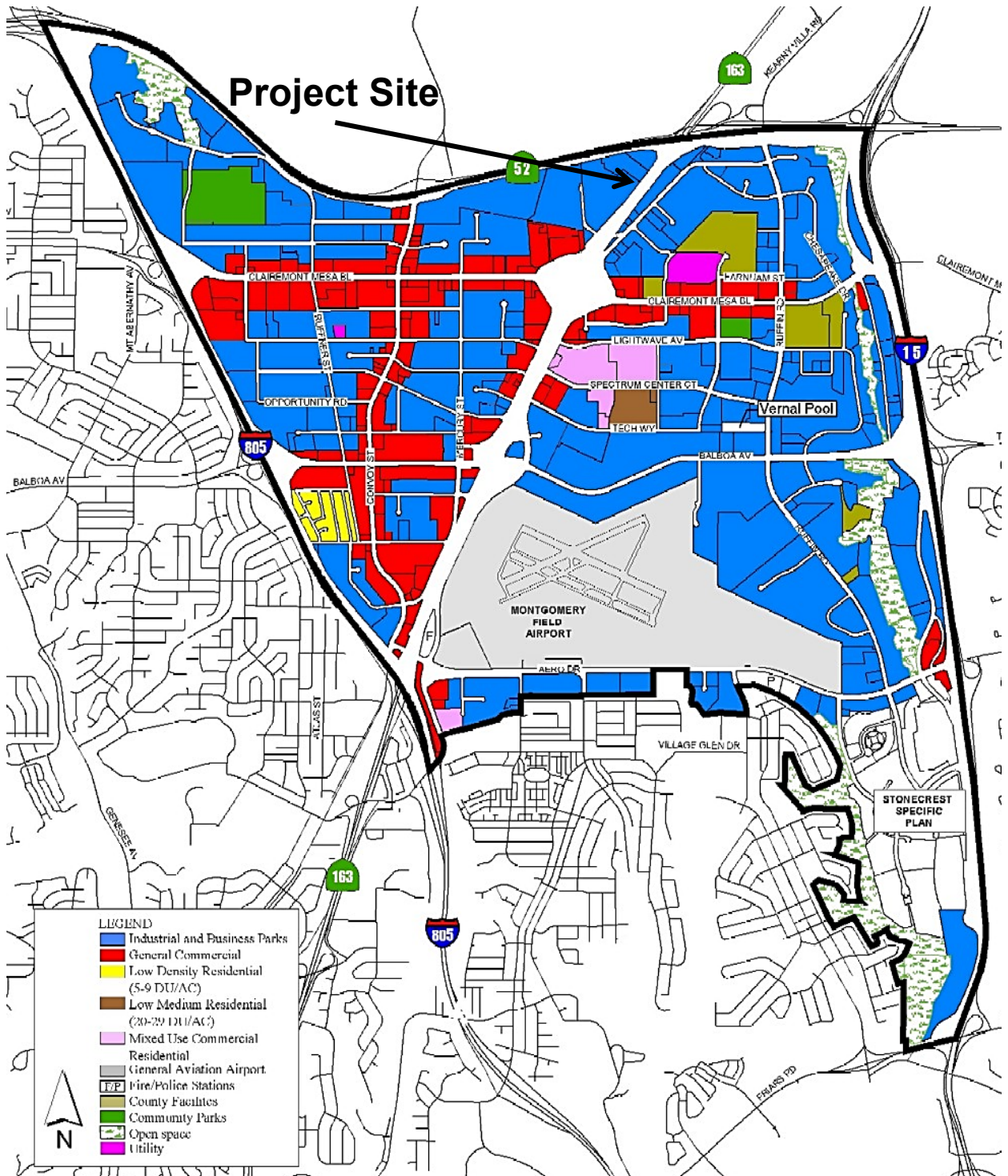
1. Project Location Map
2. 1992 Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution (MND) with MMRP
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

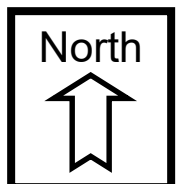
Kearny Mesa Logistic SDP / 5650 and 5670 Kearny Mesa Road
PROJECT NO. 649192

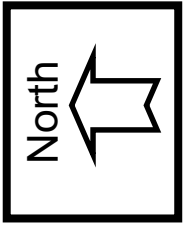




Land Use Map

Kearny Mesa Logistic SDP / 5650 and 5670 Kearny Mesa Rd
PROJECT NO. 649192





Aerial Photo

Kearny Mesa Logistic SDP / 5650 and 5670 Kearny Mesa Road
PROJECT NO. 649192



DECISION MAKER HEARING OFFICER
RESOLUTION NO. XXXX
SITE DEVELOPMENT PERMIT No. 2350105
KEARNY MESA LOGISTIC SDP- PROJECT NO. 649192
MMRP

WHEREAS, CH REALTY VIII LPC I SAN DIEGO, KEARNY MESA LP, A CALIFORNIA LIMITED PARTNERSHIP, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish all existing structures on the site and construct a single distribution building. The new industrial/logistics building will have 298,420 square feet of ground floor and 45,580 square feet of mezzanine space, totaling 344,000 square feet and will be constructed on the southern and western portions of the site (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2350105, on portions of a 20.77-acre site;

WHEREAS, the project site is located at 5670 Kearny Mesa Road, the site is Zoned IL-2-1, in the Airport Land Use Compatibility Overlay zone (MCAS Miramar and Montgomery Field), the Airport Influence Area (MCAS Review Area 1/Montgomery Field Review Area 2), the Airport Safety Zone (MCAS Transition zone), the High Fire Severity zone, the Fire Brush Zones, the Residential Tandem Parking Overlay zone, the Transit Priority Area, and the FAA Part 77 Notification Area, within the Kearny Mesa Community Plan;

WHEREAS, the project site is legally described as: a portion of Lot 78 of Rancho Mission in the City of San Diego, County of San Diego, State of California;

WHEREAS, on April 28, 2021, the Hearing Officer of the City of San Diego considered Site Development Permit No. 2350105, pursuant to the Land Development Code of the City of San Diego;
NOW, THEREFORE,

BE IT RESOLVED by Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2350105:

SITE DEVELOPMENT PERMIT SDMC SECTION 126.0505

1. The proposed development will not adversely affect the applicable land use plan.

The project site is located in the IL-2-1 Zone of the Kearny Mesa Community Plan (KMCP). Figure 4 of the 1992 KMCP designates the land use as Industrial and Business Parks. The proposed project is consistent with the designation. The site is comprised of two parcels: Parcel 1 contains the developed portions of the site, with the three existing industrial and automotive-related buildings, ancillary structures (all existing structures will be demolished), and a parking lot; Parcel 2 is undeveloped, contains vernal pool habitat, and no new development is proposed on Parcel 2. A primary goal of the 1992 KMCP is to ensure the continued development of Kearny Mesa as a regional employment center, containing a mix of industrial, office, retail and compatible housing land uses. The proposed project will ensure that employment areas will continue to exist within the community and provide new jobs to the region. The adopted 1992 Community Plan Industrial Element includes a policy that industrially designated areas should be utilized for general industrial, business park, and scientific research and development uses as described above. The Industrial Element also includes site-specific recommendations to preserve environmental resources, such as vernal pool habitat, and urban design guidelines that basic pedestrian amenities and landscaped setbacks between the public right-of-way and new buildings should be provided. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP). A Biological Technical Report (BTR; HELIX 2020b) and a Vernal Pool Management and Monitoring Plan (VPMMP; HELIX 2020c) were prepared for the proposed project. Consistent with the Industrial Element, no vernal pool habitat will be affected with the proposed project, pedestrian amenities and landscaped areas will be provided. The development has been designed to comply with all of the applicable development regulations, including those of the IL-2-1 Zone. Therefore, the proposed development will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes to demolish existing structures and the construction of a single distribution building that will be comprised of 298,420 square feet of ground floor and 45,580 square feet of mezzanine space, totaling 344,00 square feet and will not have any impact on the provision of essential public services. Mitigated Negative Declaration was prepared for the project. Subsequent revisions in the project proposal and specific mitigation measures identified in Section V of the Mitigated Negative Declaration means that the project avoids or mitigates the potentially significant environmental effects identified, and the preparation of an Environmental Impact Report was not required. The project would also consist of off-site road improvements along Magnatron Boulevard located west of the site.

The project would construct a curb and gutter along both sides of the road, in addition to a non-contiguous sidewalk and landscaping on the east side of the road. The project also is required to

construct sidewalks along the project frontage on Kearny Mesa Road and provide pedestrian pathways to access the site from public roadways. The project would also include the installation and maintenance of a landscaped buffer between the sidewalk and roadway. The project site is located in a developed area where public services are already provided. The project would not adversely affect existing levels of facilities to the area and would not require the construction of new or expanded governmental facilities. No impacts to other public facilities would occur.

The permit controlling the development and industrial use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to building permit issuance to determine the development of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure development is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes to demolish all existing structures on the site and construct a single distribution building. The new building will have 298,420 square feet of ground floor and 45,580 square feet of mezzanine space, totaling 344,000 square feet. Per San Diego Municipal Code Section 131.0603, the purpose of the IL zones is to provide for a wide range of manufacturing and distribution activities. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The project is consistent with these development regulations and will construct a single distribution building to facilitate manufacturing. No deviations are being requested with this project. Therefore, the project complies with the regulations of the Land Development Code.

Supplemental Findings - Environmentally Sensitive Lands

4. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The proposed development will occur within previously disturbed areas of the site. The site is comprised of two parcels, Parcel 1, contains the developed portions of the site, with the three existing industrial and automotive-related buildings, ancillary structures (all existing structures will be demolished), and a parking lot. Parcel 2 contains vernal pools and is designated as an environmentally sensitive area, on land that is within the City's Vernal Pool Habitat Management Plan (VPHCP) and Multi-Habitat Planning Area (MHPA). The existing vernal pool habitat in the eastern portion of the site would be preserved on Parcel 2. No development has occurred on Parcel 2, and no new development is proposed on Parcel 2, consistent with the VPHCP. HELIX Environmental prepared a Biological Technical Report (BTR; HELIX 2020b) and a Vernal Pool Management and Monitoring Plan (VPMMP; HELIX 2020c) for the proposed project. The BTR prepared for the

proposed project included a literature review, general biological survey, rare plant surveys, and a jurisdictional delineation. Several special status plant and animal species were observed in the study area during biological surveys. The proposed project has been specifically designed to occur within existing developed and disturbed areas associated with previous development. The on-site MHPA/100 percent conserved vernal pool habitat preserve will be conveyed to the City's MSCP preserve through either fee title to the City, covenant of easement granted in favor of the City and wildlife agencies or dedication of land in fee title to the City. Conveyance of any land in fee and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

5. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The portion of the project site where the building would be located would be graded in preparation for project construction. No vernal pools will be impacted. Grading quantities are estimated at 23,700 cubic yards (cy) of cut, 16,700 cy of fill, and 7,000 cy of export. The project site is underlain by the Linda Vista geological formation, which has a moderate sensitivity rating for paleontological resources. In accordance with the City's CEQA Thresholds, a significant Impact could occur in formations with a moderate sensitivity rating if grading would exceed 2,000 cy and at a depth of 10 feet or more. While project grading would exceed 2,000 cy, excavation would not exceed a depth beyond 6 feet. Compliance with the City's Geology permit conditions will ensure that new structures will be built to reduce the potential for geologic impacts from regional hazards. The project is not within a flood overlay zone. The project is in an area known for potential fire hazards. A complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

6. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project site is located at the terminus of Kearny Mesa Road, beyond which lies open space that is within the City's Vernal Pool Habitat Management Plan and the City's Multi-Habitat Planning Area. The City's MSCP Subarea Plan addresses the impacts to preserve areas from adjacent development in Section 1.4.3, Land Use Adjacency Guidelines (LUAGs). The LUAGs provide requirements for land use adjacent to the habitat preserve in order to minimize indirect impacts to the sensitive resources contained therein. The project involves the redevelopment of an existing cubic property which occurs adjacent to the VPHCP Hardline and represents expansion of the City's MHPA. The proposed project would conform the LUAGs. Implementation of mitigation measures BIO-1 would reduce potential noise impacts to breeding coastal California gnatcatcher to a less than significant level, and implementation of mitigation measure BIO-3 would ensure inadvertent impacts to the MHPA/VPHCP Hardline area located adjacent to construction work areas are avoided. Land Use Adjacency Requirements and Compliance with the Avoidance and Minimization Measures in Section 5.2.1 of

the VPHCP are included as conditions of the Site Development Permit. These requirements will be depicted verbatim within the contract specifications and on construction documents (as necessary) for the Project Site. Therefore, the project has been sited and designed to prevent adverse impacts.

7. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP). A Biological Technical Report (BTR; HELIX 2020b) and a Vernal Pool Management and Monitoring Plan (VPMMP; HELIX 2020c) were prepared for the proposed project. The BTR prepared for the proposed project included a literature review, general biological survey, rare plant surveys, and a jurisdictional delineation. Several special status plant and animal species were observed in the study area during biological surveys. Approximately 0.8 acre of sensitive Tier II habitat, consisting of 0.2 acre of Diegan coastal sage scrub and 0.5 acre of Baccaras scrub, 0.002 acre of Tier III chamise chaparral, and 4.9 acres of Tier IIIB non-native grassland would be preserved within the project's biological open space/vernal pool preserve and managed in perpetuity in accordance with the project's site-specific VPMMP (HELIX 2021). In addition to on-site preservation of existing habitat, the project shall provide monetary compensation for impacts through contribution to the City's HAF. Monetary compensation is an acceptable mitigation method as detailed in City's Biology Guidelines (Section III.B.1.c.). The project meets the City's intended use for the HAF as impacts to sensitive vegetation communities would be less than 5 acres representing a small, isolated site that does not contain long-term conservation value.

The proposed project has been specifically designed to occur within existing developed and disturbed areas associated with previous development. A biological open space/vernal pool preserve is located on the east end of the site adjacent to the developable area of the Project and is not open to the public. The preserve is screened and will remain protected from vehicular or other human-caused damage, encroachment and urban runoff. No grading will occur within the preserve. No direct impacts would occur to the preserve, including its associated watersheds. Implementation of the MSCP SAP Section 1.4.3 MHPA Land Use Adjacency Guidance Measures and VPHCP Section 5.2.1 Vernal Pool Avoidance and Minimization Measures would be conditions of the Site Development Permit. Therefore, the proposed development will be consistent with the City of San Diego's MSCP Subarea Plan and the VPHCP.

8. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project is located at 5670 Kearny Mesa Road which is over 10 miles to the closest public beach or shoreline. The project is required to provide Water and Sewer Best Management Practices as will treat all drainage and runoff from the site. Therefore, the project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

9. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project has been evaluated for compliance with the applicable land use plans, regulations of the Land Development Code, and the California Environmental Quality Act (CEQA), and the proposed project is in conformance with all applicable land use policies and San Diego Municipal Code (SDMC) regulations. A Mitigated Negative Declaration was prepared for the project in accordance with CEQA that identifies project specific mitigation measures to reduce impacts to below a level of significance for Biological Resources, Cultural Resources, Land Use and Planning (MHPA/VPHCP), Transportation/Traffic, and Tribal Cultural Resources. The project as revised now avoids or mitigates the potentially significant environmental effects previously identified, and the preparation of an Environmental Impact Report was not required. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site development Permit No. 2350105, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2350105, a copy of which is attached hereto and made a part hereof.

Derrick Johnson (D.J.)
Development Project Manager
Development Services

Adopted on April 28, 2021

IO#: 24008427

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008427

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT No. 2350105
KEARNY MESA LOGISTIC SDP - PROJECT No. 649192

This Site Development Permit No. 2350105 is granted by the Hearing Officer of the City of San Diego to CH Realty VIII LPC I San Diego, Kearny Mesa LP, a California Limited Partnership, Owner, and/Permittee, pursuant to San Diego Municipal Code [SDMC] 126.0502 and 126.0505 sections. The 20.77-acre site is located at 5670 Kearny Mesa Road, the site is Zoned IL-2-1, in the Airport Land Use Compatibility Overlay zone (MCAS Miramar and Montgomery Field), the Airport Influence Area (MCAS Review Area 1/Montgomery Field Review Area 2), the Airport Safety Zone (MCAS Transition zone), the High Fire Severity zone, the Fire Brush Zones, the Residential Tandem Parking Overlay zone, the Transit Priority Area, and the FAA Part 77 Notification Area, within the Kearny Mesa Community Plan. The project site is legally described as: a portion of Lot 78 of Rancho Mission in the City of San Diego, County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the construction of a single distribution building that will be comprised of 298,420 square feet of ground floor and 45,580 square feet of mezzanine space, totaling 344,00 square feet, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 28, 2021, on file in the Development Services Department.

The project shall include:

- a. The construction of a single distribution building that will be comprised of 298,420 square feet of ground floor and 45,580 square feet of mezzanine space, totaling 344,00 square feet.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 12, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the

City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation

issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 649192 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 649192 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Biological Resources, Cultural Resources, Land Use and Planning, Transportation/Traffic, and Tribal Cultural Resources.

CLIMATE ACTION PLAN REQUIREMENTS:

15. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

GEOLOGY REQUIREMENTS:

16. Prior to the issuance of any construction permits (either grading or building), the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

17. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

AIRPORT REQUIREMENTS:

18. Prior to the issuance of any construction permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

19. The Owner/Permittee shall be restricted to any structure heights that would penetrate Part 77 Navigable Airspace within its boundaries. It shall also be restricted to the heights of temporary cranes and equipment erected during construction activities. Therefore, the developer shall be directed to file Notices of Proposed Construction or Alteration (Form 7460-1) with the Federal Aviation Administration and obtain Notices of Determination to ensure no objects related to this project present hazards to air navigation.

20. The Owner/Permittee shall ensure all overhead lighting is always directed downward to avoid glare.

21. The Owner/Permittee shall secure all trash/storage containers to detour birds from flocking in the MYF Traffic Pattern Zone (TPZ).

ENGINEERING REQUIREMENTS:

22. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond, the closure of the non-utilized driveway with current city standard curb and gutter and sidewalk/parkway, adjacent to the site on Kearny Mesa Road, satisfactory to the City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond, the reconstruction of the two existing utilized driveways per current City Standards, adjacent to the site on Kearny Mesa Road, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond, the removal of existing gates from the Kearny Mesa Road Right-of-Way, satisfactory to the City Engineer.

25. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond, the removal and replacement of the existing grate inlet with city standards curb inlet, adjacent to the site on Kearny Mesa Road, satisfactory to the City Engineer.

26. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond, the construction of a new current city standard non-contiguous sidewalk, curb and gutter, adjacent to the site on Kearny Mesa Road, satisfactory to the City Engineer.

27. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for the private Storm Drain located in the public easement, satisfactory to the City Engineer.

28. The drainage system proposed for this development is subject to approval by the City Engineer.
29. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
30. The project proposes to export 7,000 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
31. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
32. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
33. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
34. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
35. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

36. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

37. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

38. Prior to issuance of any construction permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

39. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

40. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT REQUIREMENTS:

41. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

42. The Brush Management Program shall be based on a standard Zone One of 35-ft. in width and a Zone Two of 65-ft. in width, exercising the Zone Two reduction option and Alternative Compliance measures set forth under §142.0412(f), §142.0412(i), and §142.0412(j). Zone One shall range from 31-ft. to 80-ft. in width with a corresponding Zone Two of 0-ft. to 12-ft. in width, extending out from the structures towards the native/naturalized vegetation as shown on Exhibit "A." Where the full brush management zones cannot be provided, alternative compliance measures shall be required to the satisfaction of the Development Services Department and the Deputy Fire Marshall.

43. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

44. Prior to issuance of any construction permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

45. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

46. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

MULTIPLE SPECIES CONSERVATION PROGRAM:

47. Land Use Adjacency Requirements and Compliance with the Avoidance and Minimization Measures in Section 5.2.1 of the VPHCP shall be included as conditions of the Site Development Permit (SDP). These requirements shall also be depicted verbatim within the contract specifications and on construction documents (as necessary) for the Project Site.

48. Biological Technical Report Mitigation Measures BIO-1, -2 and -3 shall be depicted verbatim within the contract specifications and on construction documents (as necessary) for the Project Site.

49. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall depict the following requirements on the construction documents and plans for Project Site:

- Grading/Land Development/MHPA Boundaries -Within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.
- Drainage - All staging and developed/paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved temporary and permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.
- Toxics/Project Staging Areas/Equipment Storage - Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Provide a note in/on the CD's that states: "All construction related activity that may have

potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."

- Lighting -All lighting within or adjacent to the MHPA is directed away/shielded from the MHPA or limited to the immediate area and is in compliance with City Outdoor Lighting Regulations per LDC Section 142.0740.
- Barriers -Existing fences/walls; and/or signage along the MHPA boundaries shall remain and or be added to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.
- Invasives - No invasive, non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- Brush Management -Brush management zones will not be greater in size that is currently required by the City's regulations (this includes use of approved alternative compliance). Within Zone 2 the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with City standards and shall avoid/minimize impacts to covered species to the maximum extent possible. For all new development, regardless of the ownership, the brush management in the Zone 2 area will be the responsibility of a home-owner's association or other private party.
- Noise - Construction noise that exceeds the maximum levels allowed (60 dB or greater at the beginning edge of the habitat) shall be avoided during the breeding seasons for the following: CA gnatcatcher (3/1-8/15). If construction is proposed during the breeding season for the species the following measures are required:

COASTAL CALIFORNIA GNATCATCHER (Federally Threatened)

Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

NO CLEARING, GRUBBING, GRADING, OR OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR BETWEEN MARCH 1 AND AUGUST 15, THE BREEDING SEASON OF THE COASTAL CALIFORNIA GNATCATCHER, UNTIL THE FOLLOWING REQUIREMENTS HAVE BEEN MET TO THE SATISFACTION OF THE CITY MANAGER:

- A. A QUALIFIED BIOLOGIST (POSSESSING A VALID ENDANGERED SPECIES ACT SECTION 10(a)(1)(A) RECOVERY PERMIT) SHALL SURVEY THOSE HABITAT AREAS WITHIN THE MHPA THAT WOULD BE SUBJECT TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DECIBELS [dB(A)] HOURLY AVERAGE FOR THE PRESENCE OF THE COASTAL CALIFORNIA GNATCATCHER. SURVEYS FOR THE COASTAL CALIFORNIA GNATCATCHER SHALL BE CONDUCTED PURSUANT

TO THE PROTOCOL SURVEY GUIDELINES ESTABLISHED BY THE U.S. FISH AND WILDLIFE SERVICE WITHIN THE BREEDING SEASON PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. IF GNATCATCHERS ARE PRESENT, THEN THE FOLLOWING CONDITIONS MUST BE MET:

I. BETWEEN MARCH 1 AND AUGUST 15, NO CLEARING, GRUBBING, OR GRADING OF OCCUPIED GNATCATCHER HABITAT SHALL BE PERMITTED. AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; AND

II. BETWEEN MARCH 1 AND AUGUST 15, NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES WOULD RESULT IN NOISE LEVELS EXCEEDING 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED GNATCATCHER HABITAT. AN ANALYSIS SHOWING THAT NOISE GENERATED BY CONSTRUCTION ACTIVITIES WOULD NOT EXCEED 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED HABITAT MUST BE COMPLETED BY A QUALIFIED ACOUSTICIAN (POSSESSING CURRENT NOISE ENGINEER LICENSE OR REGISTRATION WITH MONITORING NOISE LEVEL EXPERIENCE WITH LISTED ANIMAL SPECIES) AND APPROVED BY THE CITY MANAGER AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON, AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; OR

III. AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, UNDER THE DIRECTION OF A QUALIFIED ACOUSTICIAN, NOISE ATTENUATION MEASURES (e.g., BERMS, WALLS) SHALL BE IMPLEMENTED TO ENSURE THAT NOISE LEVELS RESULTING FROM CONSTRUCTION ACTIVITIES WILL NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF HABITAT OCCUPIED BY THE COASTAL CALIFORNIA GNATCATCHER. CONCURRENT WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION OF NECESSARY NOISE ATTENUATION FACILITIES, NOISE MONITORING* SHALL BE CONDUCTED AT THE EDGE OF THE OCCUPIED HABITAT AREA TO ENSURE THAT NOISE LEVELS DO NOT EXCEED 60 dB (A) HOURLY AVERAGE. IF THE NOISE ATTENUATION TECHNIQUES IMPLEMENTED ARE DETERMINED TO BE INADEQUATE BY THE QUALIFIED ACOUSTICIAN OR BIOLOGIST, THEN THE ASSOCIATED CONSTRUCTION ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT ADEQUATE NOISE ATTENUATION IS ACHIEVED OR UNTIL THE END OF THE BREEDING SEASON (AUGUST 16).

* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB (A) hourly average or to the ambient noise level if it already exceeds 60 dB (A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

B. IF COASTAL CALIFORNIA GNATCATCHERS ARE NOT DETECTED DURING THE PROTOCOL SURVEY, THE QUALIFIED BIOLOGIST SHALL SUBMIT SUBSTANTIAL EVIDENCE TO THE CITY MANAGER AND APPLICABLE RESOURCE AGENCIES WHICH DEMONSTRATES WHETHER OR NOT MITIGATION MEASURES SUCH AS NOISE WALLS ARE NECESSARY BETWEEN MARCH 1 AND AUGUST 15 AS FOLLOWS:

I. IF THIS EVIDENCE INDICATES THE POTENTIAL IS HIGH FOR COASTAL CALIFORNIA GNATCATCHER TO BE PRESENT BASED ON HISTORICAL RECORDS OR SITE CONDITIONS, THEN CONDITION A.III SHALL BE ADHERED TO AS SPECIFIED ABOVE.

II. IF THIS EVIDENCE CONCLUDES THAT NO IMPACTS TO THIS SPECIES ARE ANTICIPATED, NO MITIGATION MEASURES WOULD BE NECESSARY.

ON-SITE VERNAL POOL PRESERVE CONSERVATION/COVENANT OF EASEMENT

50. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the on-site MHPA/100 percent conserved vernal pool habitat preserve shall be conveyed to the City's MSCP preserve through either fee title to the City, covenant of easement granted in favor of the City and wildlife agencies or dedication of land in fee title to the City. Conveyance of any land in fee to the City shall require approval from the Park and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes.

51. To facilitate MHPA conveyance, any non-fee areas shall have covenant of easements for MHPA lands placed over them if located in the MHPA and be maintained in perpetuity by the owner/Permittee/Applicant unless otherwise agreed to by the City for acceptance of dedicated land in fee title.

VPHP SECTION 5.2.1 VERNAL POOL AVOIDANCE AND MINIMIZATION REQUIREMENTS

52. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall depict the following requirements on the construction documents and plans for Project Site.

53. Any development adjacent to the MHPA shall be constructed to slope away from the extant pools to be avoided, to ensure that runoff from the project does not flow into the pools.

54. Covered projects shall require temporary fencing (with silt barriers) of the limits of project impacts (including construction staging areas and access routes) to prevent additional vernal pool impacts and prevent the spread of silt from the construction zone into adjacent vernal pools. Fencing shall be installed in a manner that does not impact habitats to be avoided. Final construction plans shall include photographs that show the fenced limits of impact and all areas of vernal pools to be impacted or avoided. If work inadvertently occurs beyond the fenced or

demarcated limits of impact, all work shall cease until the problem has been remedied to the satisfaction of the City. Temporary construction fencing shall be removed upon project completion.

55. A qualified monitoring biologist that has been approved by the City shall be on-site during project construction activities to ensure compliance with all mitigation measures identified in the CEQA environmental document. The biologist shall be knowledgeable of vernal pool species biology and ecology. The biologist shall perform the following duties:

- a. Oversee installation of and inspect the fencing and erosion control measures within or upslope of vernal pool restoration and/or preservation areas a minimum of once per week and daily during all rain events to ensure that any breaks in the fence or erosion control measures are repaired immediately.
- b. Periodically monitor the work area to ensure that work activities do not generate excessive amounts of dust.
- c. Train all contractors and construction personnel on the biological resources associated with this project and ensure that training is implemented by construction personnel. At a minimum, training shall include (1) the purpose for resource protection; (2) a description of the vernal pool species and their habitat(s); (3) the conservation measures that must be implemented during project construction to conserve the vernal pool species, including strictly limiting activities, and vehicles, equipment, and construction materials to the fenced project footprint to avoid sensitive resource areas in the field (i.e., avoided areas delineated on maps or on the project site by fencing); (4) environmentally responsible construction practices as outlined in measures 5, 6 and 7; (5) the protocol to resolve conflicts that may arise at any time during the construction process; and (6) the general provisions of the project's mitigation monitoring and reporting program (MMRP), the need to adhere to the provisions of FESA, and the penalties associated with violating FESA.
- d. Halt work, if necessary, and confer with the City to ensure the proper implementation of species and habitat protection measures. The biologist shall report any violation to the City within 24 hours of its occurrence.
- e. Submit regular (e.g., weekly) letter reports to the City during project construction and a final report following completion of construction. The final report shall include as-built construction drawings with an overlay of habitat that was impacted and avoided, photographs of habitat areas that were avoided, and other relevant summary information documenting that authorized impacts were not exceeded and that general compliance with all conservation measures was achieved.

56. The following conditions shall be implemented during project construction:

- a. Employees shall strictly limit their activities, vehicles, equipment, and construction materials to the fenced project footprint.

- b. The project site shall be kept as clean of debris as possible. All food-related trash items shall be enclosed in sealed containers and regularly removed from the site.
- c. Disposal or temporary placement of excess fill, brush, or other debris shall be limited to areas within the fenced project footprint.

57. All equipment maintenance, staging, and dispensing of fuel, oil, coolant, or any other such activities shall occur in designated areas within the fenced project impact limits. These designated areas shall be located in previously compacted and disturbed areas to the maximum extent practicable in such a manner as to prevent any runoff from entering the vernal pools or their watersheds and shall be shown on the construction plans. Fueling of equipment shall take place within existing paved areas greater than 100 feet from the vernal pools or their watersheds. Contractor equipment shall be checked for leaks prior to operation and repaired as necessary. A spill kit for each piece of construction equipment shall be on-site and must be used in the event of a spill. "No-fueling zones" shall be designated on construction plans.

58. Grading activities immediately adjacent to vernal pools shall be timed to avoid wet weather to minimize potential impacts (e.g., siltation) to the vernal pools unless the area to be graded is at an elevation below the pools. To achieve this goal, grading adjacent to avoided pools shall comply with the following:

- a. Grading shall occur only when the soil is dry to the touch both at the surface and 1 inch below. A visual check for color differences (i.e., darker soil indicating moisture) in the soil between the surface and 1 inch below indicates whether the soil is dry.
- b. After a rain of greater than 0.2-inch, grading shall occur only after the soil surface has dried sufficiently as described above, and no sooner than 2 days (48 hours) after the rain event ends.
- c. To prevent erosion and siltation from storm water runoff due to unexpected rains, best management practices (i.e., silt fences) shall be implemented as needed during grading.
- d. If rain occurs during grading, work shall stop and resume only after soils are dry, as described above.
- e. Grading shall be done in a manner to prevent runoff from entering preserved vernal pools.
- f. If necessary, water spraying shall be conducted at a level sufficient to control fugitive dust but not to cause runoff into vernal pools.
- g. If mechanized grading is necessary, grading shall be performed in a manner to minimize soil compaction (i.e., use the smallest type of equipment needed to feasibly accomplish the work).

59. Prior to project construction, topsoil shall be salvaged from the impacted vernal pools or road ruts with fairy shrimp on-site consistent with the requirements of the approved restoration plan (e.g., free of versatile fairy shrimp [*Branchinecta lindahli*]). Vernal pool soil (inoculum) shall be collected when dry to avoid damaging or destroying fairy shrimp cysts and plant seeds. Hand tools (i.e., shovels and trowels) shall be used to remove the first 2 inches of soil from the pools. Whenever possible, the trowel shall be used to pry up intact chunks of soil, rather than loosening the soil by raking and shoveling, which can damage the cysts. The soil from each pool shall be stored individually in labeled boxes that are adequately ventilated and kept out of direct sunlight in order to prevent the occurrence of fungus or excessive heating of the soil and stored off-site at an appropriate facility for vernal pool inoculum. Inoculum from different source pools shall not be mixed for seeding any restored pools, unless otherwise approved by the City and Wildlife Agencies. The collected soils shall be spread out and raked into the bottoms of the restored pools. Topsoil and plant materials salvaged from the upland habitat areas to be impacted shall be transplanted to, and/or used as a seed/cutting source for, the upland habitat restoration/creation areas to the maximum extent practicable as approved by the City.

60. Permanent protective fencing along any interface with developed areas and/or use other measures approved by the City to deter human and pet entrance into on- or off-site habitat shall be installed. Fencing shall be shown on the development plans and should have no gates (accept to allow access for maintenance and monitoring of the biological conservation easement areas) and be designed to prevent intrusion by pets. Signage for the biological conservation easement area shall be posted and maintained at conspicuous locations.

PLANNING/DESIGN REQUIREMENTS:

61. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

62. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

63. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

64. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

65. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond the design and construction of a 12" public water main within Magnatron Boulevard, right-

of-way as shown on the approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and the City Engineer.

66. Prior to the issuance of any construction permits, if it is determined during the building permit review process the existing sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

67. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

68. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private sewer facilities encroaching into the Public Right-of-Way.

69. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

70. The Owner/Permittee shall be responsible for any damage caused to City of San Diego water and sewer facilities within the vicinity of the project site, due to the construction activities associated with this project, in accordance with Municipal Code section 142.0607. In the event that any such facility loses integrity then, the Owner/Permittee shall repair or reconstruct any damaged public water and sewer facility in a manner satisfactory to the Public Utilities Director and the City Engineer.

71. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

72. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

73. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

TRANSPORTATION REQUIREMENTS

74. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless

otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

75. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the construction of two 30 feet wide current city standard driveways, adjacent to the site on Kearny Mesa Road, satisfactory to the City Engineer.

76. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the construction of two 30 feet wide current city standard driveways, adjacent to the site on Magnatron Boulevard, satisfactory to the City Engineer.

77. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond to dedicate additional right-of-way to construct 14 feet wide non-contiguous sidewalk (9 feet landscape and 5 feet wide sidewalk) along the project's frontage on Kearny Mesa Road, satisfactory to the City Engineer.

78. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the dedication of additional right-of-way to construct Magnatron Boulevard with 30 feet curb to curb pavement within 40 feet of right of way, satisfactory to the City Engineer.

79. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond to dedicate additional right-of-way to construct 10 feet wide non-contiguous sidewalk (5 feet landscape and 5 feet wide sidewalk) along the project's frontage on Magnatron Boulevard, satisfactory to the City Engineer.

80. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond to dedicate and construct an industrial cul-de-sac with 55 feet turning radius of pavement within 65 feet of right of way at the northern end of Magnatron Boulevard, satisfactory to the City Engineer.

81. The Owner/Permittee shall provide and maintain 10 feet by 10 feet visibility triangle area on both sides of each driveway on Kearny Mesa Road measured along the property line. No obstacles higher than 36 inches shall be located within this area e.g. shrubs, landscape, walls, columns, signs etc.

82. The Owner/Permittee shall provide and maintain 10 feet by 10 feet visibility triangle area on both sides of each driveway on Magnatron Boulevard measured along the property line. No obstacles higher than 36 inches shall be located within this area e.g. shrubs, landscape, walls, columns, signs etc.

83. Prior to issuance of the first construction permit, the Owner/Permittee shall assure the improvements at the intersection of Clairemont Mesa Boulevard and Kearny Mesa Road, to extend the left turn pocket striping of the inner left turn lane immediately adjacent to the southbound through. The left turn pocket extension would be 160 feet. The project also shall improve signal timing and coordination between the intersection and the southbound ramps to address queuing in

the westbound right turn lane, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

84. Prior to issuance of the first construction permit, the Owner/Permitee shall assure the improvements at the intersection of Clairemont Mesa Boulevard and SR 163 Southbound Ramps, to improve signal timing and coordination between this intersection and the adjacent City-operated intersection of Kearny Mesa Road to address queuing in the eastbound right turn lane, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 28, 2021 and Resolution No. XXX.

ATTACHMENT 5

Site Development Permit No. 2350105
April 28, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Derrick Johnson (D.J.)
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CH Realty VIII LPC I San Diego, Kearny mesa LP
Owner/Permittee

By _____
Brig Black
Vice President

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-XXX

ADOPTED ON April 28, 2021

WHEREAS, on October 7, 2019 CH REALTY VIII LPC I SAN DIEGO, KEARNY MESA LP, A CALIFORNIA LIMITED PARTNERSHIP submitted an application to the Development Services Department for a Site Development Permit (SDP) for the Kearny Mesa Logistics Center Project

WHEREAS, the matter was set for a public to be conducted by the Hearing Officer of the City of San Diego; and WHEREAS, the issue was heard by the Hearing Officer on April 28, 2021; and WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 649192 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101 or City Clerk, 202 C Street, San Diego, CA 92101

BE IT FURTHER RESOLVED, that Development Services is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project

By: _____

Derrick Johnson, Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

Site Development Permit (SDP)

PROJECT NO. 649192

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 649192 shall be made conditions of Site Development Permit and Coastal Development Permit as may be further described below.

MITIGATION MONITORING AND REPORTING PROGRAM:**A. GENERAL REQUIREMENTS****Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice to Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD) (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/developmentservices/industry/information/standtemp.shtml>.
4. The TITLE INDEX SHEET must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. SURETY AND COST RECOVERY. The DSD Director or City Manager may require appropriate surety instruments or bonds from private Permit. Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

Post Plan Check (After permit issuance/Prior to start of construction)

6. PRE-CONSTRUCTION MEETING is required ten (10) working days prior to beginning any work on this project. The Permit Holder/Owner is responsible to arrange and perform this meeting by contacting the City Resident Engineer (RE) of the Field Engineering Division and City staff from Mitigation Monitoring Coordination (MMC). Attendees must also include the Permit Holder's Representative(s), Job Site Superintendent, and the following consultants:
- Qualified biologist
 - Qualified archaeologist and Native American monitor

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a. The primary point of contact is the RE at the Field Engineering Division – 858-627-3200.
 - b. For clarification of environmental requirements, applicant is also required to call RE and MMC at 858-627-3360.
7. MMRP COMPLIANCE. This Project, Project Tracking System (PTS) Number 649192 and/or Environmental Document Number 649192, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

8. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: **None required.**
9. MONITORING EXHIBITS: All consultants are required to submit to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery- When deemed necessary by the DSD Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

10. OTHER SUBMITTALS AND INSPECTIONS: The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST

Issue Area	Document Submittal	Associated Inspection/ Approvals/Notes
General	Consultant qualification letters	Prior to preconstruction meeting
General	Consultant construction monitoring exhibits	Prior to preconstruction meeting
Biological Resources (construction noise)	Acoustical analysis (if construction commences during the avian breeding season and adjacent habitat is occupied by gnatcatcher)	Prior to construction
Biological Resources	Monitoring reports	Following construction monitoring
Cultural Resources/Tribal Cultural Resources	Monitoring Reports	Following construction monitoring

B. SPECIFIC MMRP ISSUE AREA CONDITIONS REQUIREMENTS

BIO-1 Biological Resources-Upland Habitat : Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall mitigate for direct impacts to 0.8 acres of Tier II Baccharis scrub (including disturbed), 1.2 acres of Tier II Diegan coastal sage scrub (including disturbed), 0.2 acres of Tier IIIA chamise chaparral and 0.1 acres of Tier IIIB non-native grassland, all located outside of the MHPA. Mitigation shall be provided in accordance with ratios provided in Table 3 of the City's Biology Guidelines (2018) for an anticipated mitigation obligation of 2.15 acres. Mitigation shall consist of payment into the City's Habitat Acquisition Fund for direct impacts to 2.15 acres of Tier II, Tier IIIA and Tier IIIB habitat.

BIO-2 Biological Resource Protection During Construction: Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Environmental Designee shall verify that the following project requirements are shown on the construction plans:

- **Prior to Construction**
 - **Biologist Verification** – The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist

(Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.

- **Preconstruction Meeting** – The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- **Biological Documents** – The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.
- **Biological Construction Mitigation/Monitoring Exhibit** – The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. Prior to the issuance of grading permits, the BCME shall be approved by MMC and referenced in the construction documents.
- **Avian Protection Requirements** – To avoid any direct impacts to any species identified as a listed, candidate, sensitive, or special status species in the MSCP, removal of habitat that supports active nests in the proposed area of disturbance shall occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report in conformance with the City's Biology Guidelines (i.e., appropriate follow up surveys, monitoring schedules, construction, and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC

Section and Biologist shall verify and approve that all measures identified in the report are in place prior to and/or during construction.

- **Resource Delineation** – Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- **Education** – Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).
- **During Construction**
 - **Monitoring** – All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on “Exhibit A” and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSVr). The CSVr shall be emailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
 - **Subsequent Resource Identification** – The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc.). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state, or federal regulations have been determined and applied by the Qualified Biologist.
- **Post Construction Measures**
 - In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state, and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

CUL-1 Historical Resources (Archaeology) and Tribal Cultural Resources: All grubbing and clearing activities and initial ground disturbing activities within the undeveloped portion of the property associated with the project shall complete the following:

- **Prior to Permit Issuance**

- Entitlements Plan Check
 - Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.
- Submit Letters of Qualification to ADD
 - The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 - MMC shall provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
 - Prior to the start of work, the applicant shall obtain written approval from MMC for any personnel changes associated with the monitoring program.

- **Prior to Start of Construction**

- Verification of Records Search
 - The PI shall provide verification to MMC that a site-specific records search (1/4-mile radius) has been completed. Verification includes but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 - The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 - The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

- Principal Investigator Shall Attend Preconstruction Meetings
 - Prior to beginning any work that requires monitoring; the Applicant shall arrange a Preconstruction Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Preconstruction Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - If the PI is unable to attend the Preconstruction Meeting, the Applicant shall schedule a focused Preconstruction Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
- Identify Areas to be Monitored
 - Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
- When Monitoring Will Occur
 - Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.
- **During Construction**
 - Monitor(s) Shall be Present During Grading/Excavation/Trenching
 - The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The

Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.

- The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 - The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
 - The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- Discovery Notification Process
 - In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating, or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
 - The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 - The PI shall immediately notify MMC by phone of the discovery and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
 - No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
 - Determination of Significance
 - The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.

- a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
- b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
- c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

- **Discovery of Human Remains**

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- Notification
 - Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
 - The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- Isolate discovery site
 - Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
 - The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.

- If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- If Human Remains are determined to be Native American
 - The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
 - NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 - The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
 - The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 - Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being granted access to the site, OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner shall reinter the human remains and items associated with Native American human remains with appropriate dignity on the property in a location not subject to further and future subsurface disturbance, THEN
- a. To protect these sites, the landowner shall do one or more of the following:
 - 1. Record the site with the NAHC;
 - 2. Record an open space or conservation easement; or
 - 3. Record a document with the County. The document shall be titled:

“Notice of Reinterment of Native American Remains” and shall include a legal description of the property, the name of the property owner, and the owner’s acknowledged signature, in addition to any other information required by PRC 5097.98. The document shall be indexed as a notice under the name of the owner.
- **Night and/or Weekend Work**

- If night and/or weekend work is included in the contract
 - When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the Preconstruction meeting.
 - The following procedures shall be followed.
 - a. No Discoveries: In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8:00 a.m. of the next business day.
 - b. Discoveries: All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries: If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact MMC, or by 8:00 a.m. of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- If night and/or weekend work becomes necessary during the course of construction:
 - The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - The RE, or BI, as appropriate, shall notify MMC immediately.
 - All other procedures described above shall apply, as appropriate.
- **Post Construction**
 - Preparation and Submittal of Draft Monitoring Report
 - The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.

- a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
- b. Recording Sites with State of California Department of Parks and Recreation
 1. The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- o Handling of Artifacts
 - The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued.
 - The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 - The cost for curation is the responsibility of the property owner.
- o Curation of artifacts: Accession Agreement and Acceptance Verification
 - The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 - The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

- When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- Final Monitoring Report(s)
 - The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

LU-1 Exterior-to-Interior Noise Analysis. Prior to the issuance of building permits, the project applicant shall perform an exterior-to-interior analysis for all mezzanine office spaces. The exterior-to-interior analysis shall demonstrate that interior noise levels do not exceed 50 CNEL.

The information in the analysis shall include wall heights and lengths, room volumes, window, and door details typical for a building plan, as well as information on any other openings in the building shell. With this specific building plan information, the analysis shall determine the predicted interior noise levels for the planned office spaces. If predicted noise levels are found to exceed 50 CNEL, within the office spaces, the analysis shall identify architectural materials or techniques that could be included to reduce noise levels to 50 CNEL in office spaces. Standard measures such as glazing with appropriate Sound Transmission Class (STC) ratings, as well as walls with appropriate STC ratings, should be considered. Final plans shall demonstrate that interior noise levels do not exceed 50 CNEL for proposed office spaces.

Minutes of the Monthly Meeting of the
Kearny Mesa Planning Group
January 20, 2021
Online Zoom Meeting

Planning Group Members in Attendance:

<input checked="" type="checkbox"/> Derek Applbaum	<input checked="" type="checkbox"/> Juan Arriaga	<input checked="" type="checkbox"/> Robyn Badilla	<input checked="" type="checkbox"/> Dave Dilday
<input type="checkbox"/> Buzz Gibbs	<input checked="" type="checkbox"/> Dana Hooper	<input type="checkbox"/> Mike Huntoon	<input type="checkbox"/> Tana Lorah
<input checked="" type="checkbox"/> Meridith Marquis	<input checked="" type="checkbox"/> John Mulvihill	<input checked="" type="checkbox"/> Tim Nguyen	<input type="checkbox"/> Ray Richmond
<input checked="" type="checkbox"/> Karen Ruggels	<input checked="" type="checkbox"/> Jeff Sallen	<input type="checkbox"/> Isaac Wang	<input checked="" type="checkbox"/> Paul Yung

Community Members in Attendance:

Ryan Childs, Justin Giles, Diana Lara, Jon Shiner, Erica Harris, Becky Rapp, Rosa Kwon, Scott Moffatt, Dana Tsui, Roman Lopez, Kent Lee, Catherine Lippiz, Matt Semic, Michaela Valk and Camille Passon.

1. **Call to Order:** The Meeting was brought to order at 11:34 AM by Jeff Sallen, Chair of the Kearny Mesa Planning Group. Jeff thanked everybody for participating on the meeting via Zoom.
2. **Meeting Minutes:** Copies of the Minutes from the September 16, 2020 meeting were shared on the screen with all participants. A motion to approve the minutes was given and the minutes were approved (9-0-2).
3. **Non-Agenda Public Comments:** Jeff S. asked if there was any public comments. The following comments were provided:
 - Jon Shiner representing Councilmember Chris Cate provided an update on few community items including the approval of the Convoy District.
 - Catherine Lippiz expressed her concern regarding Cannabis advertising. She has addressed directly with the City.
 - Diana Lara introduced herself as a representative to Councilmember Chris Cate office.
 - Becky Rapp expressed her concern with Cannabis facilities and asked for the quantity of facilities to not be increased.
4. **Information Item(s):**
 - Michaela Valk introduced herself as representing Community Engagement for the new Mayor and as point of contact with the Mayor's office. She provided her contact information: Michaela Valk mvalk@sandiego.gov (619)549-5299 Mayor Todd Gloria's Office, Director of Community Engagement
5. **Action Item(s):**
 - Camille Passon with Latitude 33, representing the Lincoln Property Group, introduced The Kearny Mesa Logistic Center project. The proposed project includes a request for a site development permit for the redevelopment of a 20.7-acre lot located at 5670 Kearny Mesa

Road. The project would replace three existing buildings with one (approx. 330,000 SF) single-story industrial/logistics building as well as associated parking and landscaped areas. The existing vernal pool habitat in the eastern portion of the site would be preserved. The project would construct sidewalks along the project frontage and provide pedestrian pathways to access the site from public roadways. Off-site road improvements along Magnatron Boulevard consist of a curb and gutter along both sides of the road and a non-contiguous sidewalk and landscaping on the east side of the road. The project is consistent with the Industrial and Technology Park designation of the Kearny Mesa Community Plan and the IL-2-1 zone

A motion to support the project was given and the motion was approved (11-0-0).

6. **Adjournment to next regular meeting:** February 17, 2021. Jeff Sallen thanked everyone for attending and concluded the Zoom meeting.



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Kearny Mesa Logistics Center

Project No. For City Use Only: _____

Project Address: 5670 Kearny Mesa Rd., San Diego, CA 92111

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General – What State? CA Corporate Identification No. _____

☒ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: CH REALTY VIII-LPC I SAN DIEGO KEARNY MESA, L.P.

☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 600 B St.

City: San Diego

State: CA Zip: 92101

Phone No.: 619-230-8885

Fax No.: _____

Email: BBlack@LPC.com

Signature: _____

Date: 10/1/19

Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: Latitude 33 Planning & Engineering

☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 9968 Hibert St.

City: San Diego

State: CA Zip: 92131

Phone No.: 858-875-1715

Fax No.: _____

Email: mellssa.krause@latitude33.com

Signature: _____

Date: 10/03/19

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____

☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____

State: _____ Zip: _____

Phone No.: _____

Fax No.: _____

Email: _____

Signature: _____

Date: _____

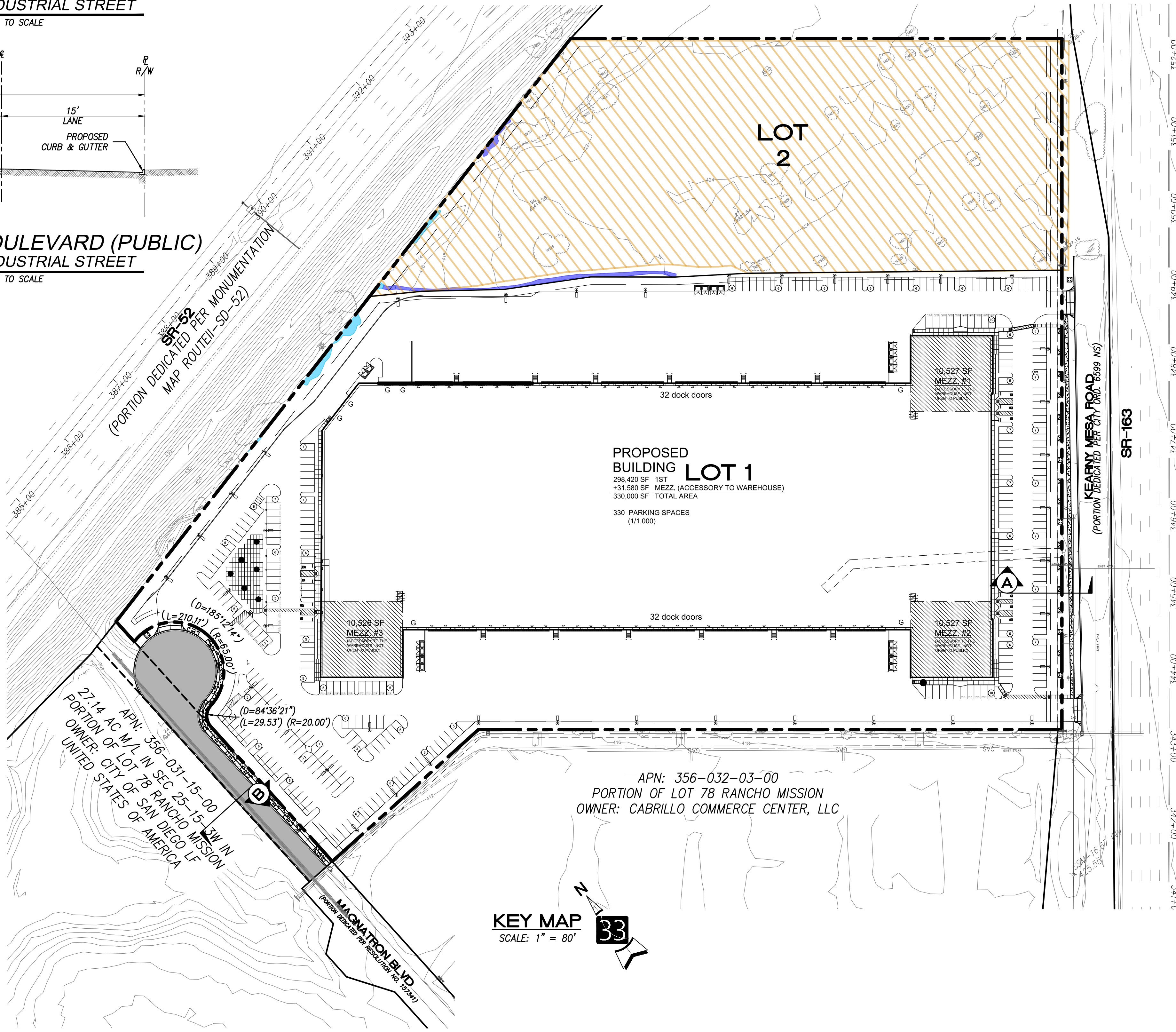
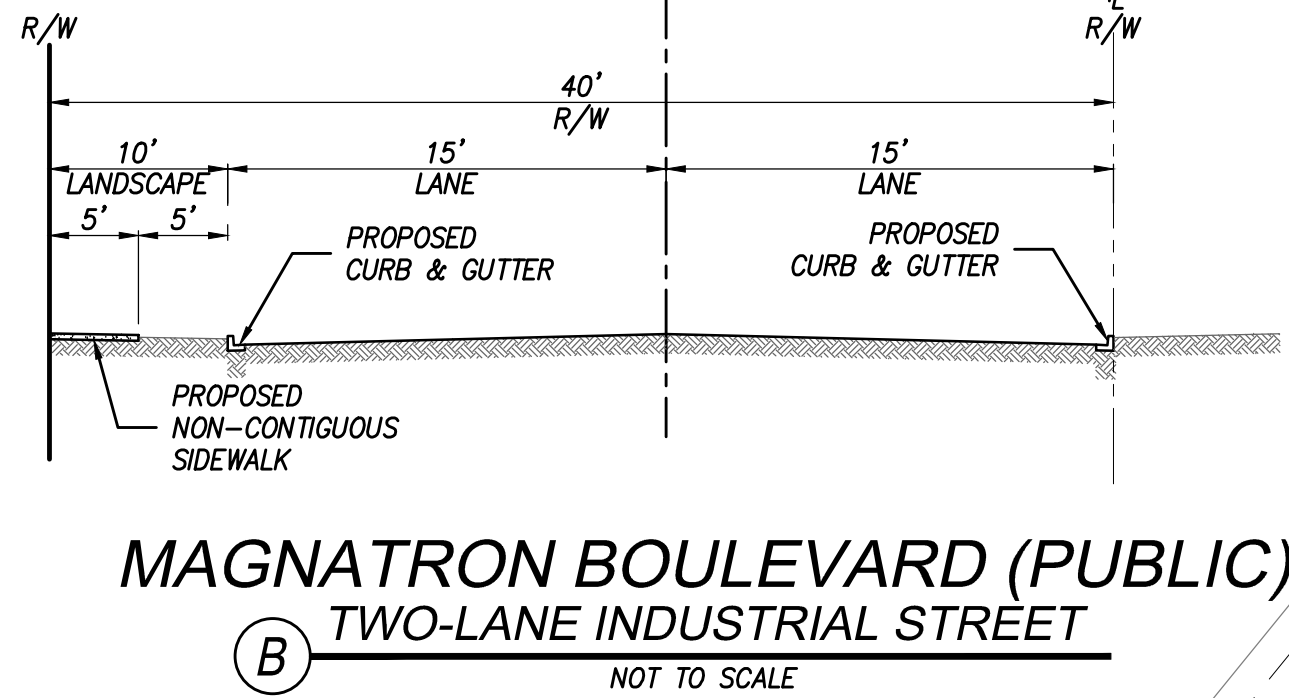
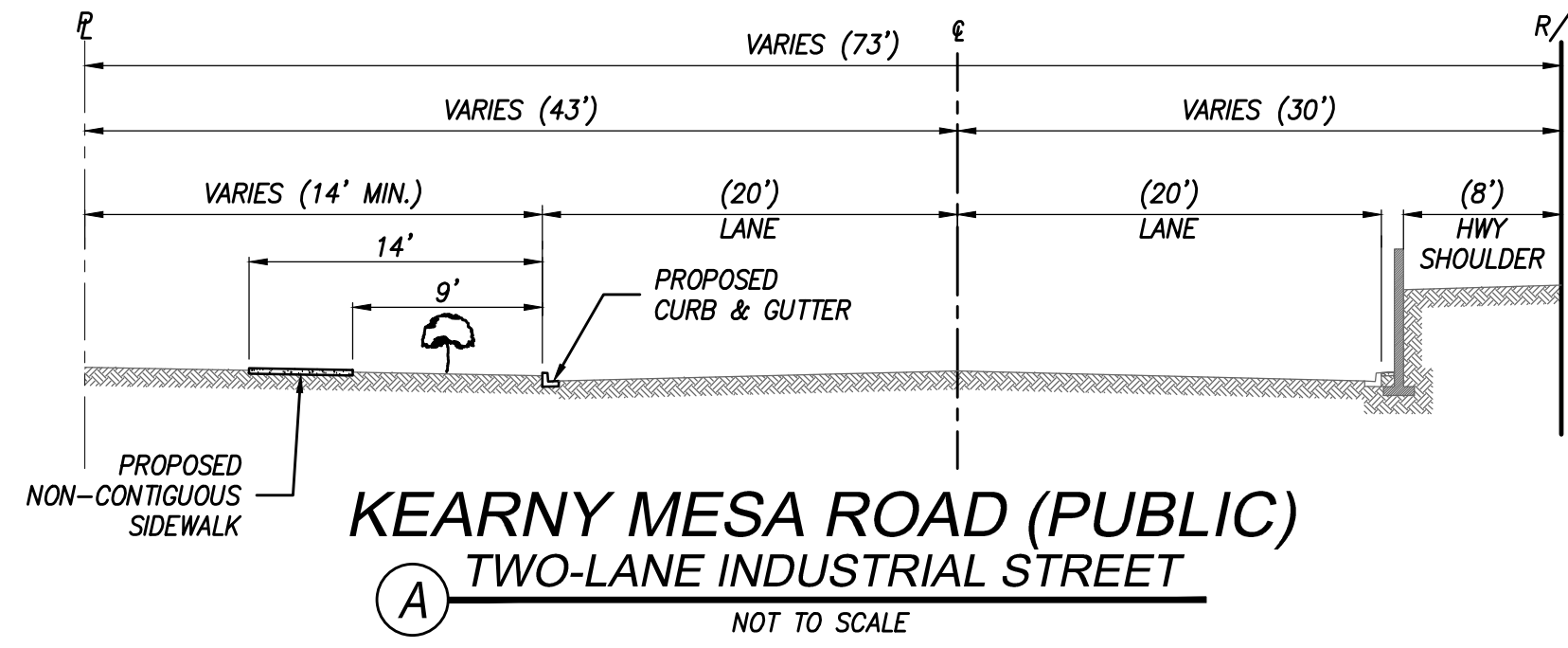
Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

KEARNY MESA LOGISTICS CENTER

SITE DEVELOPMENT PERMIT NO. 2350105

CITY OF SAN DIEGO - PTS NO. 649192



GENERAL NOTES

- TOTAL AREA WITHIN PROJECT BOUNDARY IS 20.77 ACRES
- EXISTING ZONING IS IL-2-1 WITH OVERLAY ZONES INCLUDING AIRPORT INFLUENCE AREA, HIGH FIRE SEVERITY ZONE, FIRE BRUSH ZONES, RESIDENTIAL TANDEM PARKING OVERLAY ZONE, TRANSIT PRIORITY AREA, AND FAA PART 77 NOTIFICATION AREA
- GAS AND ELECTRIC: SAN DIEGO GAS & ELECTRIC
- TELEPHONE: PACIFIC TELEPHONE COMPANY
- CABLE TELEVISION: TIME WARNER CABLE, COX COMMUNICATIONS
- SEWER AND WATER: CITY OF SAN DIEGO
- DRAINAGE SYSTEM: CITY OF SAN DIEGO
- FIRE: CITY OF SAN DIEGO
- SCHOOL DISTRICT: SAN DIEGO UNIFIED SCHOOL DISTRICT
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND
- CONTOUR INTERVAL: 2 FEET
DATUM: A BRASS PLUG AT THE SOUTH EAST CORNER OF THE INTERSECTION OF KEARNY VILLA ROAD AND KEARNY VILLA COURT
- ELEVATION: 426.71' MSL, PER U.S.G.S. ADJUSTMENT OF 1970 (NAD 83)
SOURCE: PHOTOGRAMMETRIC AERIAL SURVEY DATED 02/25/2019 AND A FIELD SURVEY BY TERRASCRIBE, INC. ON 03/05/2019
- ALL PROPOSED SLOPES ARE 2:1 UNLESS NOTED OTHERWISE
- GRADING SHOWN HEREIN IS PRELIMINARY AND IS SUBJECT TO MODIFICATION IN FINAL DESIGN
- LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION IN FINAL DESIGN
- ALL EXISTING BUILDINGS AND STRUCTURES SHALL BE REMOVED
- AT NO TIME WILL THE DEVELOPER REQUEST, NOR THE CITY PERMIT, WATER METERS AND SERVICES WITHIN ANY VEHICULAR USE AREA TO SERVE THIS DEVELOPMENT
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBMITTER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, DATED MAY 30, 2003 INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET (10') OF ANY SEWER AND FIVE FEET (5') OF ANY WATER FACILITIES

DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:
A SITE DEVELOPMENT PERMIT FOR 1 INDUSTRIAL WAREHOUSE BUILDING
- LOT SUMMARY
LAND USE:
EXISTING: LIGHT INDUSTRIAL
PROPOSED: LIGHT INDUSTRIAL
- STREET ADDRESS: 5670 KEARNY MESA ROAD, SAN DIEGO, CA 92111
- SITE AREA:
TOTAL SITE AREA: 904,732 SF (20.77 ACRES)
- ZONING: IL-2-1
- COVERAGE DATA:
MAX F.A.R. = 0.3
TOTAL GROSS FLOOR AREA: 330,000 S.F. (INCLUDING 31,580 SF OF ACCESSORY MEZZANINE SPACE)
PROPOSED F.A.R. = 0.36
- DENSITY:
NUMBER OF EXISTING DWELLING UNITS TO REMAIN ON SITE: NONE
NUMBER OF PROPOSED DWELLING UNITS ON SITE: NONE
NUMBER OF PROPOSED SHOPKEEPER UNITS ON SITE: 0
- YARD/SETBACK:
FRONT YARD: REQUIRED: 15' MINIMUM/20' STANDARD PROPOSED: 15' (PARKING)
SIDE YARD: REQUIRED: 15' MINIMUM/20' STANDARD PROPOSED: 15' (MINIMUM)
REAR YARD: REQUIRED: 10' PROPOSED: 10' (MINIMUM)
REAR YARD: REQUIRED: 0' MINIMUM/15' STANDARD PROPOSED: 15' (MINIMUM)
- PARKING (INDUSTRIAL):
SEE SHEET T1 FOR DETAILED PARKING CALCULATIONS. NOTE THAT ALL MEZZANINE SPACE PROPOSED AS PART OF THIS PROJECT IS PROPOSED ACCESSORY TO THE WAREHOUSE USE. PER TABLE 142-05G, FOOTNOTE 4 OF THE SDMG, COMMERCIAL SPACE USED AS RETAIL TO THE MAIN USE CAN BE PARKED AT THE REQUIRED RATE OF THE MAIN USE (1 SPACE PER THOUSAND SQUARE FEET).
- TYPE OF CONSTRUCTION: III-B (TO BE FULLY SPRINKLERED)
- OCCUPANCY CLASSIFICATION: B, F, S1
- YEAR CONSTRUCTED FOR ALL BUILDINGS ON SITE: 1950-1960
- GEOLOGIC HAZARD CATEGORY: 51 AND 52
- LANDSCAPE AREA SQUARE FOOTAGE: 79,284 SQUARE FEET (SEE LANDSCAPE CALCULATIONS, SHEET L2.1)

LEGAL DESCRIPTION

A PORTION OF LOT 78 OF RANCHO MISSION IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

ASSESSOR'S PARCEL NO.

356-032-01, 356-032-02

COORDINATE INDEX

1886-6288 NAD 83
225-1727 L.C.

BENCHMARK

THE BENCHMARK FOR THIS PROJECT IS THE BRASS PLUG AT THE SOUTH EAST CORNER OF THE INTERSECTION OF KEARNY VILLA ROAD AND KEARNY VILLA COURT

ELEVATION: 426.71' MSL, PER U.S.G.S. ADJUSTMENT OF 1970 (NAD 83)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE 6, NAD83 (EPOCH 1991.35) PER FOUND CONTROL MONUMENTS 813 AND 811 AS SHOWN ON RECORD OF SURVEY 14492 RECORDED IN THE COUNTY OF SAN DIEGO, BEARING BEING N 64°3'16" W.

GRADING DATA

- TOTAL AMOUNT OF SITE TO BE GRADED: 15.40 AC
- PERCENT OF TOTAL SITE GRADED: 74.1%
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 0.07 AC
- PERCENT OF THE EXIST. SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 100%
- PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 0.34%
- AMOUNT OF CUT: 23,700 CUBIC YARDS
- AMOUNT OF FILL: 16,700 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE(S): 10.00' FEET 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPE(S): 3.00' FEET 2:1 SLOPE RATIO
- AMOUNT OF EXPORT: 7,000 CUBIC YARDS

LOT ACREAGE SUMMARY

LOT #	PROPOSED LOT SIZE (ACRES)	LOT DESCRIPTION
1	15.32	LIGHT INDUSTRIAL
2	5.45	PROTECTED HABITAT (VERNAL POOLS)
TOTAL	20.77	TOTAL GROSS ACREAGE

SHEET INDEX

SHEET	DESCRIPTION
C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	GRADING AND UTILITY PLAN
C4	SITE PLAN
C5	MAPPING PLAN
C6	FIRE ACCESS PLAN
T1	TITLE & DATA SHEET
A1	PROPOSED SITE PLAN
A2	PROPOSED SITE SECTIONS AND TRASH ENCLOSURE PLAN & ELEVATIONS
A3	PROPOSED GROUND FLOOR PLAN
A4	PROPOSED MEZZANINE LEVEL PLAN
A5	PROPOSED ROOF PLAN
A6	PROPOSED EXTERIOR ELEVATIONS
L1.1	PROPOSED LANDSCAPE PLAN
L1.2	PROPOSED LANDSCAPE PLAN
L2.1	LANDSCAPE CALCULATIONS
L3.1	BRUSH MANAGEMENT PLAN
E1	SITE PHOTOMETRIC PLAN

MAPPING NOTE

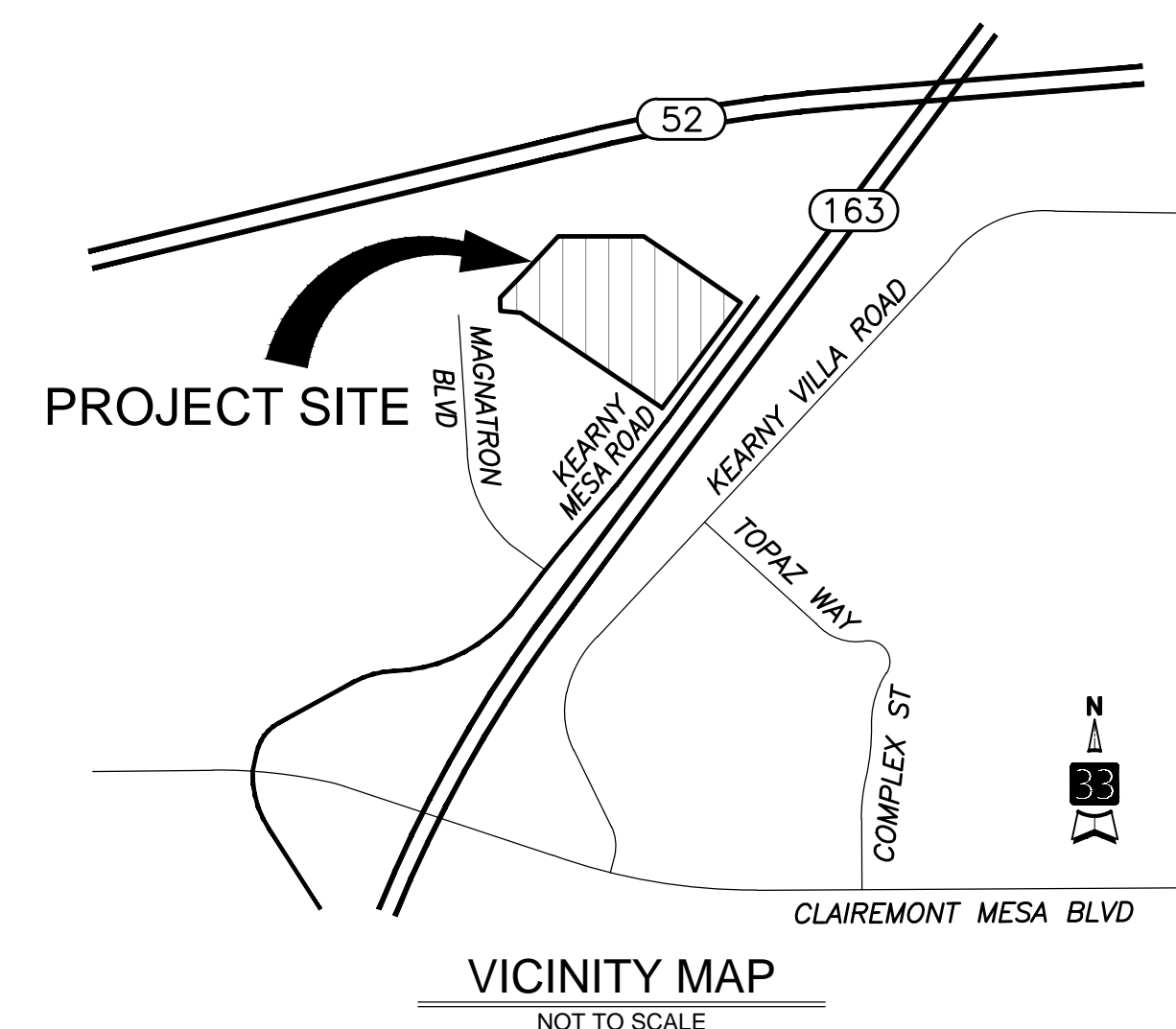
A LOT LINE ADJUSTMENT PARCEL MAP OR OTHER EASEMENT DEDICATION DOCUMENT SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS AND EXISTING SURVEY MONUMENTS SHALL BE PRESERVED AND/OR REPLACED.

CERTIFICATION STATEMENT

- I HEREBY ACKNOWLEDGE AND CERTIFY THAT:
 - I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
 - I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
 - I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
 - MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
 - SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
 - IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
 - THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4.

JUSTIN GILES

SIGNATURE: _____ DATE: _____



PREPARED BY:
Name: LATITUDE 33
Address: 9968 HIBERT STREET, 2ND FLR
SAN DIEGO, CA 92131
Phone no. (858) 751-0633

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PROJECT NAME:
KEARNY MESA LOGISTICS CENTER
SHEET TITLE:
COVER SHEET

Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: SEPTEMBER 4, 2020
Revision 2: MARCH 31, 2020
Revision 1: JANUARY 15, 2020

Original Date: OCTOBER 1, 2019

Sheet 1 of 18

PTS # 649192

Drawing Date: 09-04-2020
Check By: MJS
Drawn By: JRG
Scale: AS NOTED
Job Number: 1657.10
Sheet Number

EXISTING CONDITIONS NOTES

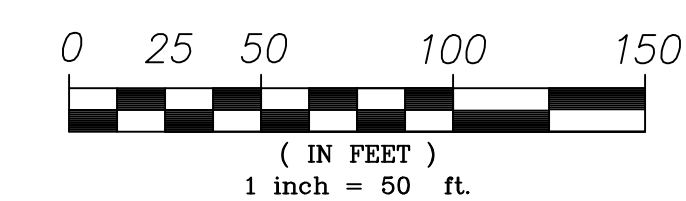
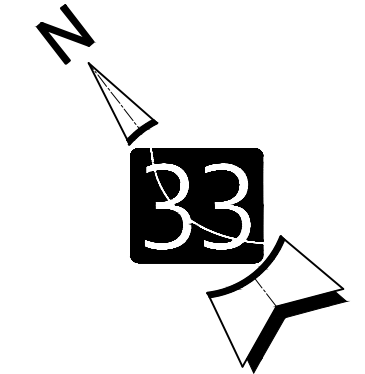
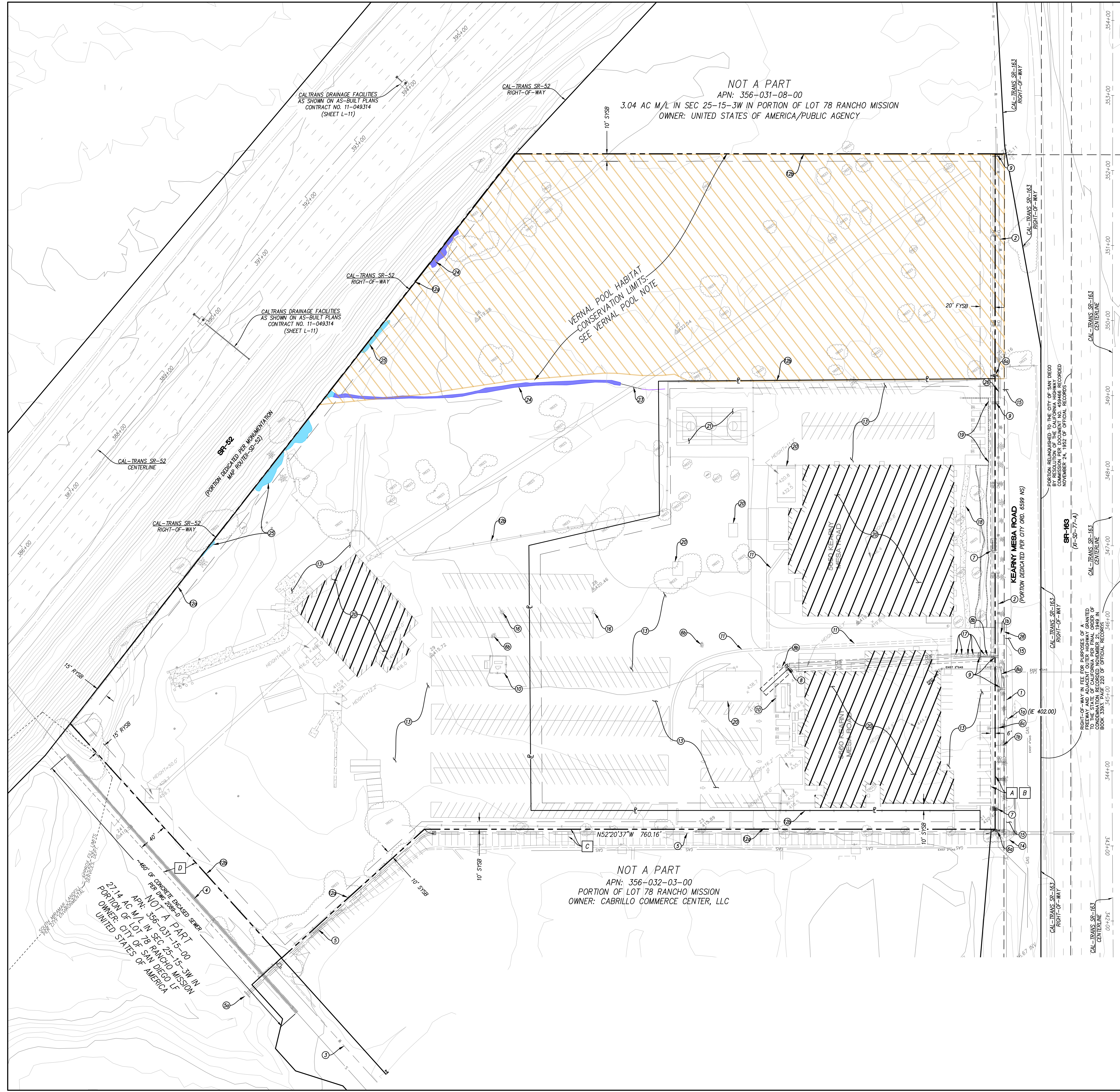
- 1) EXISTING 8" V.C. SEWER MAIN PER DWG 3161-D TO REMAIN
- 10) EXISTING SEWER MANHOLE TO REMAIN (IE PER PLAN)
- 10) EXISTING SEWER LATERAL TO BE RETAINED.
- 2) EXISTING 12" A.C. WATER MAIN PER DWG 15936-D TO REMAIN
- 4) EXISTING 12" A.C. WATER MAIN PER DWG 15963-D TO REMAIN
- 4) EXISTING 12" V.C. SEWER MAIN PER DWG 2089-D TO REMAIN (PORTIONS ENCASED IN CONCRETE)
- 5) EXISTING 48" C.I.P. CONCRETE STORM DRAIN MAIN PER DWG 15936-D TO REMAIN
- 50) EXISTING STRAIGHT CONCRETE HEADWALL TO REMAIN
- 60) EXISTING FIRE HYDRANT ASSEMBLY TO REMAIN
- 60) EXISTING FIRE HYDRANT ASSEMBLY TO BE DEMOLISHED
- 60) EXISTING FIRE SERVICE TO BE KILLED AT THE MAIN
- 7) EXISTING WATER METER/BACKFLOW PREVENTER ASSEMBLY TO BE KILLED AT THE MAIN
- 80) EXISTING OVERHEAD ELECTRIC LINE TO REMAIN
- 80) EXISTING OVERHEAD ELECTRIC LINE TO BE DEMOLISHED
- 9) EXISTING POWER POLE TO REMAIN
- 10) EXISTING ELECTRICAL ENCLOSURE TO BE DEMOLISHED
- 11) EXISTING CONCRETE SWALE TO BE DEMOLISHED
- 120) EXISTING CHAIN LINK FENCE TO REMAIN
- 120) EXISTING CHAIN LINK FENCE TO BE DEMOLISHED
- 13) EXISTING ASPHALT CONCRETE TO BE DEMOLISHED
- 14) EXISTING ASPHALT BERM TO REMAIN
- 15) EXISTING DRIVEWAY CUT TO BE CLOSED.
- 16) EXISTING LIGHT POLE TO BE DEMOLISHED
- 17) EXISTING CONCRETE BOLLARDS TO BE DEMOLISHED
- 18) EXISTING P.C.C SIDEWALK TO BE DEMOLISHED
- 19) EXISTING RETAINING WALL TO BE DEMOLISHED
- 20) EXISTING STRUCTURE TO BE DEMOLISHED
- 21) EXISTING BASKETBALL COURT TO BE DEMOLISHED
- 23) EXISTING CULVERT TO BE DEMOLISHED
- 24) EXISTING DISTURBED WETLANDS TO REMAIN. PROTECT IN PLACE
- 25) EXISTING HERBACEOUS WETLANDS TO REMAIN. PROTECT IN PLACE
- 26) EXISTING DRIVEWAY GATES TO BE DEMOLISHED
- 27) EXISTING DRIVEWAY CUT TO BE CLOSED OFF WITH CURRENT CITY STANDARD CURB, GUTTER, AND PARKWAY. SEE SHEET C4 FOR MORE DETAILS.

EXISTING EASEMENTS

- A AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, RECORDED DECEMBER 27, 1955 AS BOOK 5917, PAGE 591, O.R.
- B AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, RECORDED MARCH 16, 1956 AS BOOK 6020, PAGE 19, O.R.
- C A 10' STORM DRAIN EASEMENT PER DWG. NO. 15936-S-D
- D A 40' EASEMENT AND RIGHT-OF-WAY FOR ROAD PURPOSES AND TRANSMISSION OF UTILITIES PER DOC NO. 110421 RECORDED SEPTEMBER 4TH, 1952. BOOK 4581 PAGE 373, O.R.

VERNAL POOL NOTE

VERNAL POOL HABITAT CONSERVATION PLAN LIMITS HAVE BEEN DELINEATED ON THIS SHEET PER THE CITY OF SAN DIEGO VERNAL POOL HABITAT CONSERVATION PLAN, DATED OCTOBER 2017 AND THE VERNAL POOL HABITAT CONSERVATION PLAN INTERACTIVE MAP.



PREPARED BY:
Name: LATITUDE 33
Address: 9968 HIBERT STREET, 2ND FLR
SAN DIEGO, CA 92131
Phone no. (858) 751-0633

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

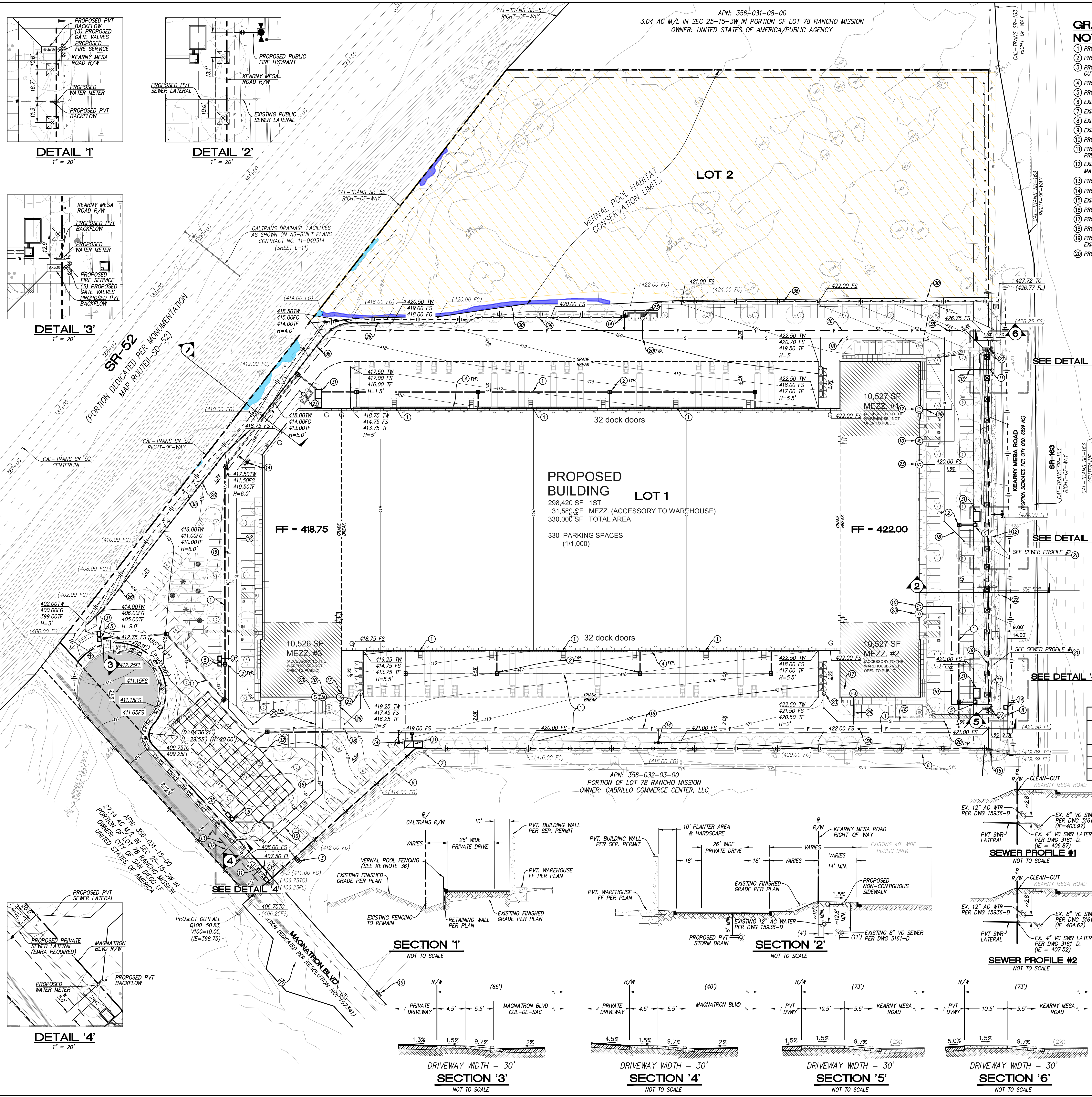
PROJECT NAME:
KEARNY MESA LOGISTICS CENTER
SHEET TITLE:
EXISTING CONDITIONS AND DEMO

Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	SEPTEMBER 4, 2020
Revision 2:	MARCH 31, 2020
Revision 1:	JANUARY 15, 2020

Original Date: OCTOBER 1, 2019
Sheet 2 of 18

PTS # 649192

Drawing Date: 09-04-2020
Check By: MJS
Drawn By: JRG
Scale: AS NOTED
Job Number: 1657.10
Sheet Number



GRADING + UTILITY

NOTES

- PROPOSED PRIVATE STORM DRAIN
- PROPOSED PRIVATE STORM DRAIN CLEAN OUT
- PROPOSED PUBLIC STORM DRAIN TYPE A-4 CLEAN OUT
- PROPOSED PRIVATE TRENCH DRAIN
- PROPOSED PRIVATE STORM DRAIN CURB INLET
- EXISTING PUBLIC STORM DRAIN
- EXISTING PUBLIC STORM DRAIN CLEAN OUT
- EXISTING PUBLIC STORM DRAIN CATCH BASIN
- EXISTING PRIVATE STORM DRAIN CURB INLET
- PROPOSED PRIVATE WATER SERVICE
- PROPOSED 2" WATER METER & PRIVATE BACKFLOW PREVENTOR
- EXISTING PUBLIC WATER MAIN (SEE SHEET C2 FOR MATERIAL AND SIZE)
- PROPOSED PUBLIC 12" PVC WATER MAIN W/ END CAP
- PROPOSED PRIVATE FIRE HYDRANT
- EXISTING PUBLIC FIRE HYDRANT
- PROPOSED PRIVATE FIRE SERVICE MAIN
- PROPOSED PRIVATE FIRE SERVICE
- PROPOSED PRIVATE SEWER MAIN
- PROPOSED PRIVATE SEWER LATERAL CONNECTED TO EXISTING SEWER LATERAL @ PL
- PROPOSED PRIVATE SEWER CLEAN OUT

LEGEND

- PROPOSED PRIVATE STORM DRAIN
- PROPOSED PRIVATE STORM DRAIN CLEAN OUT
- PROPOSED PRIVATE STORM DRAIN INLET
- PROPOSED PRIVATE RETAINING WALL
- PROPOSED MAJOR CONTOUR (5' & 10')
- PROPOSED MINOR CONTOUR (1' INCREMENTS)
- PROPOSED PUBLIC WATER MAIN
- PROPOSED PRIVATE WATER SERVICE
- PROPOSED PRIVATE FIRE MAIN
- PROPOSED PRIVATE FIRE SERVICE
- PROPOSED PRIVATE SEWER MAIN
- PROPOSED PRIVATE SEWER LATERAL
- PROPOSED LOT LINE
- EXISTING DISTURBED WETLANDS
- EXISTING HERBACEOUS WETLANDS
- EXISTING VERNAL POOL LIMITS
- PROPOSED STREET TREE 40 SF ROOT ZONE
- PROPOSED TREE (SEE SHEETS L.1.1 AND L.2.1)

GRADING DATA

- TOTAL AMOUNT OF SITE TO BE GRADED: 15.40 AC
- PERCENT OF TOTAL SITE GRADED: 74.1%
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 0.07 AC
- PERCENT OF THE EXIST. SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 100%
- PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 0.34%
- AMOUNT OF CUT: 23,700 CUBIC YARDS
- AMOUNT OF FILL: 16,700 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE(S): 10.00' FEET 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPE(S): 3.00' FEET 2:1 SLOPE RATIO
- AMOUNT OF EXPORT: 7,000 CUBIC YARDS

UTILITY NOTES

- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.

DRAINAGE NOTE

NO RUNOFF FROM THE PUBLIC RIGHT-OF-WAY HAS BEEN DESIGNED TO DRAIN TOWARDS THE PRIVATE PROPERTY. ALL FINISHED GRADES HAVE BEEN DESIGNED TO DRAIN AWAY FROM THE PL AND TOWARDS THE PUBLIC STREETS IN ORDER TO MAINTAIN PROPER SEPARATION OF PRIVATE AND PUBLIC RUNOFF.

AREA SUMMARY TABLE

	EXISTING CONDITION	PROPOSED CONDITION	DIFFERENCE
IMPERVIOUS AREA	426,792 SF (9.80 AC) - 63%	624,775 SF (14.34 AC) - 92%	+197,983 SF (29% INCREASE)
PERVIOUS AREA	251,866 (5.78 AC) - 37%	53,883 SF (1.24 AC) - 8%	-197,983 SF
TOTAL AREA	678,658 (15.58 AC) - 100%	678,658 SF (15.58 AC)	---

PREPARED BY:
Name: LATITUDE 33
Address: 9668 HIBERT STREET, 2ND FLR
SAN DIEGO, CA 92131
Phone no. (858) 751-0633

Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: _____

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PROJECT NAME:
KEARNY MESA LOGISTICS CENTER
SHEET TITLE:
GRADING & UTILITY PLAN

Original Date: OCTOBER 1, 2019
Sheet 3 of 18
PTS # 649192

Drawing Date: 09-04-2020
Check By: MJS
Drawn By: JRG
Scale: AS NOTED
Job Number: 1657.10
Sheet Number: _____

SITE PLAN NOTES

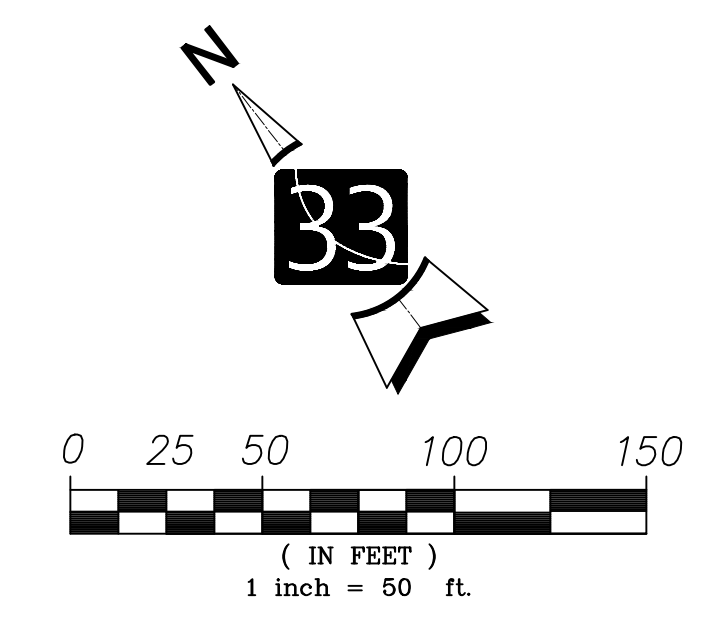
1. PROPOSED 6" CURB & GUTTER PER SDG-151
2. EXISTING 3 DRIVEWAYS ON KEARNY MESA ROAD TO BE CLOSED AND REPLACED WITH 2 NEW DRIVEWAYS PER CITY STANDARD (SDG-160)
3. TWO (2) NEW PROPOSED DRIVEWAYS ON MAGNATRON BLVD EXTENSION PER CITY STANDARD (SDG-160)
4. PROPOSED AMENITY LIMITS
5. PROPOSED VISIBILITY TRIANGLE, NO STRUCTURE OR LANDSCAPE OVER 3' IN HEIGHT PERMITTED WITHIN THIS AREA.
6. PROPOSED MEZZANINE (ACCESSORY TO WAREHOUSE - NOT OPEN TO PUBLIC)
7. PROPOSED DOCK-HIGH LOADING DOCKS
8. PROPOSED AT-GRADE LOADING DOCK
9. PROPOSED SIDEWALK PER SDG-155
10. INSTALL FENCING AT VERNAL POOL PRESERVE LIMITS. FENCING SHALL BE 3-STRAND SMOOTH WIRE, SPLIT RAIL, OR EQUIVALENT FENCING THAT ALLOWS FOR WILDLIFE PASSAGE
11. PROPOSED STREET TREE ROOT ZONE (40 SF). SEE L1.1 AND L2.1 FOR PLANTING PLANS.
12. PROPOSED BUILDING LIMITS

LEGEND

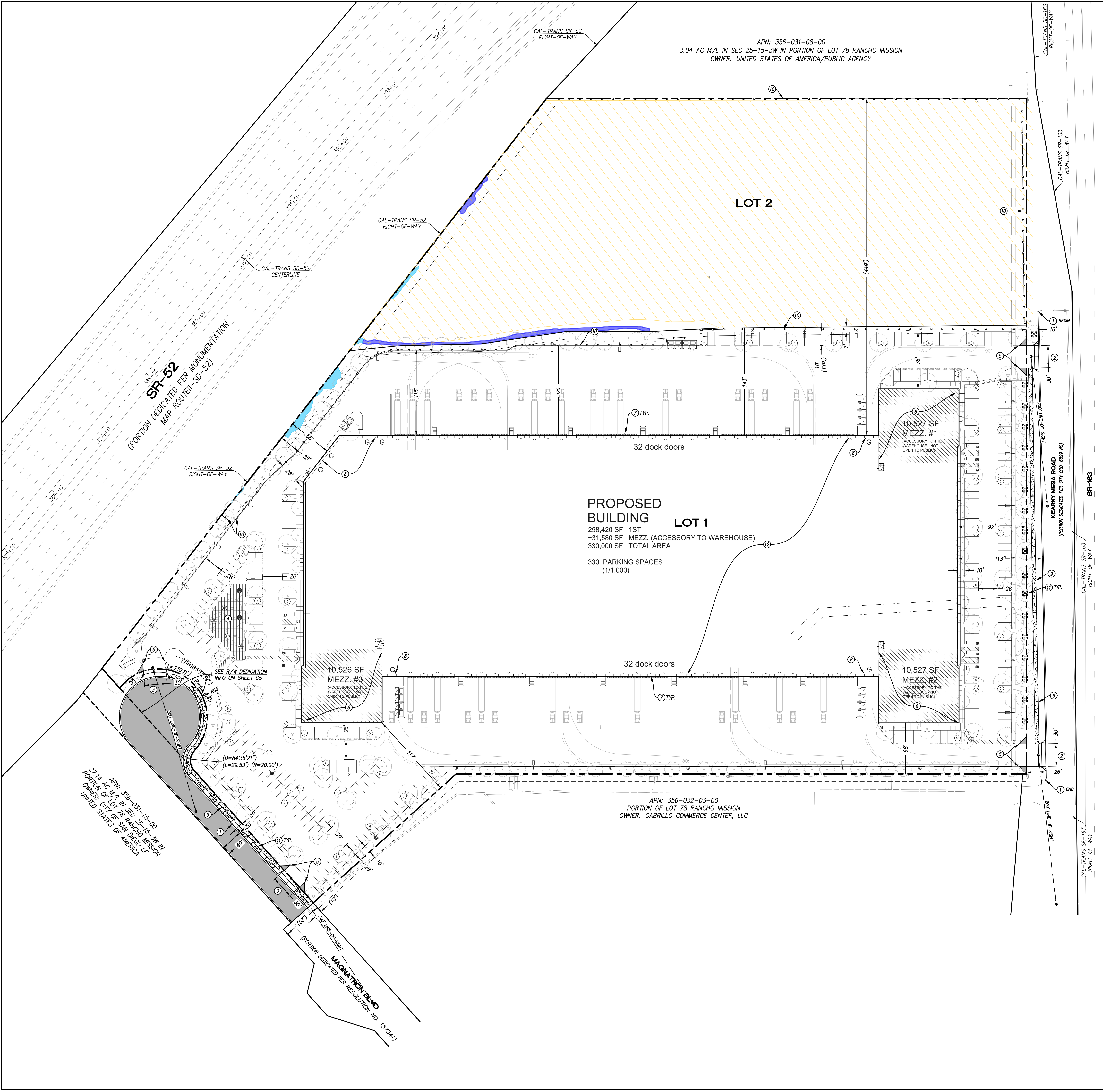
- PROPERTY LINE/TM BOUNDARY
PROPERTY SETBACK
EASEMENT
PUBLIC RIGHT OF WAY
LOT LINE
LOT NUMBER
PROPOSED CURB
PROPOSED CURB AND GUTTER
PROPOSED DRIVEWAY CUT
PROPOSED SIDEWALK
PROPOSED SITE LIGHT
PROPOSED VISIBILITY TRIANGLES
PROPOSED VERNAL POOL FENCING (SEE KEYNOTE 10)
EXISTING VERNAL POOL FENCING TO REMAIN
PROPOSED STREET TREE 40 SF ROOT ZONE
PROPOSED TREE (SEE SHEETS L1.1 AND L2.1)

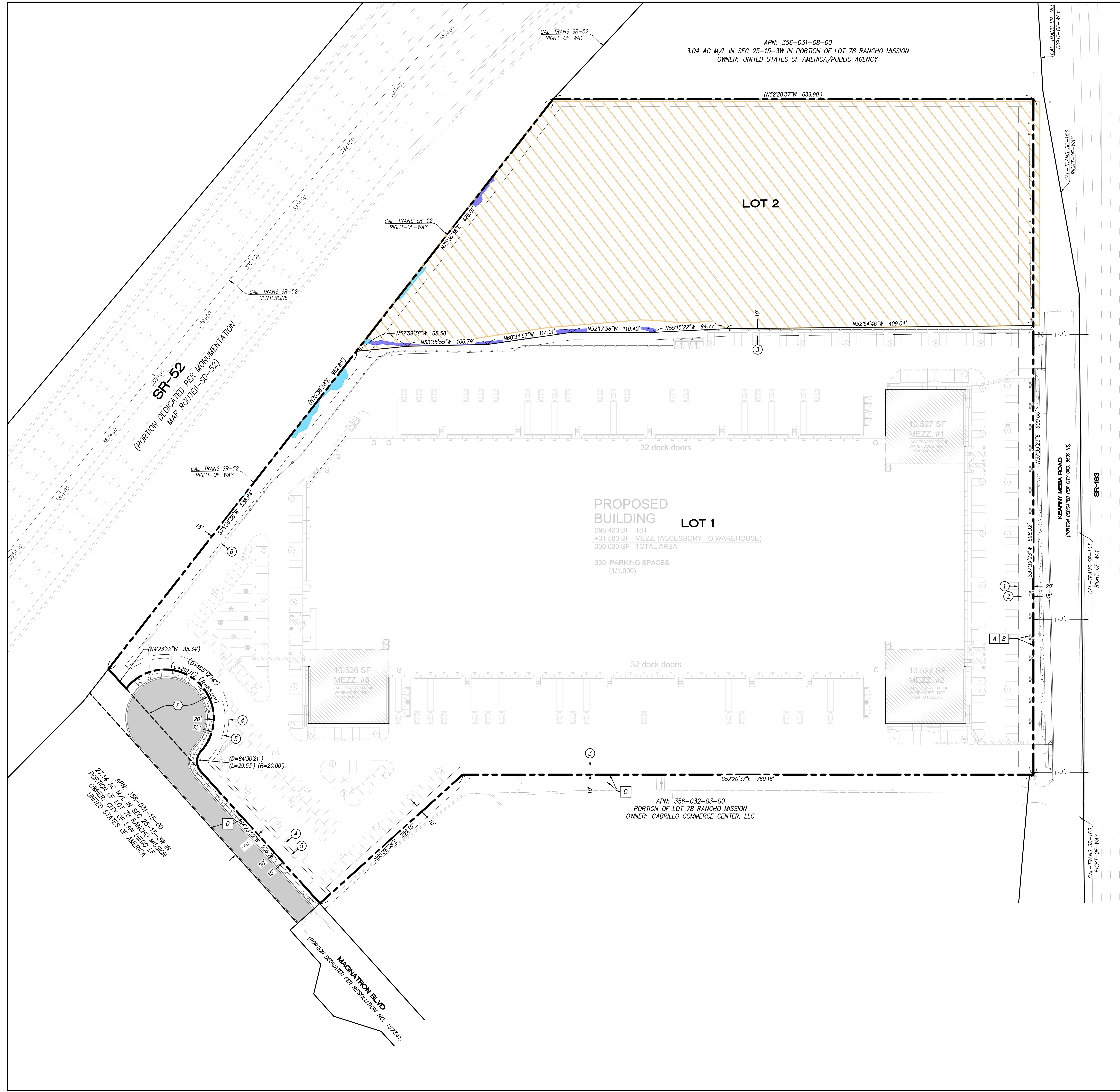
GENERAL NOTES

1. NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
2. SEE ARCHITECTURAL SITE PLAN, SHEET AS1, FOR SIGNAGE DESIGNATING PEDESTRIAN CROSSINGS AND ROUTES OF TRAVEL.
3. SEE ARCHITECTURAL SITE PLAN, SHEET AS1, FOR SITE PLAN ITEMS SHOWN BUT NOT SPECIFICALLY CALLED OUT PER THIS PLAN.
4. MINIMUM SIGHT DISTANCE OF 200' PROVIDED AT EACH DRIVEWAY PER HIGHWAY DESIGN MANUAL TABLE 201.1, BASED ON 30 MPH DESIGN SPEED FOR KEARNY MESA ROAD AND MAGNATRON BLVD.



PREPARED BY: Name: LATITUDE 33 PLANNING & ENGINEERING Address: 9968 HIBERT STREET, 2ND FLR SAN DIEGO, CA 92131 Phone no. (858) 751-0633	Revision 12: _____ Revision 11: _____ Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: SEPTEMBER 4, 2020 Revision 2: MARCH 31, 2020 Revision 1: JANUARY 15, 2020 Original Date: OCTOBER 1, 2019 Sheet 4 of 18 PTS # 649192
PROJECT ADDRESS: 5670 KEARNY MESA ROAD SAN DIEGO, CA 92111	
PROJECT NAME: KEARNY MESA LOGISTICS CENTER	
SHEET TITLE: CIVIL SITE PLAN	





MAPPING LEGEND

PROPERTY LINE/TM BOUNDARY
PUBLIC RIGHT OF WAY
LOT LINE
EASEMENT LINE
SETBACK LINE
STREET CENTERLINE
EXISTING LOT NUMBER
PROPOSED LOT NUMBER

LOT 1
LOT 1

EXISTING EASEMENTS

A AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, RECORDED DECEMBER 27, 1955 AS BOOK 5917, PAGE 591, O.R.

B AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, RECORDED MARCH 16, 1956 AS BOOK 6020, PAGE 19, O.R.

C A 10' STORM DRAIN EASEMENT PER DWG. NO. 15936-5-D

D A 40' EASEMENT AND RIGHT-OF-WAY FOR ROAD PURPOSES AND TRANSMISSION OF UTILITIES PER DOC NO. 110421 RECORDED SEPTEMBER 4TH, 1952. BOOK 4581 PAGE 373, O.R.

PROPOSED EASEMENT

E PORTION OF MAGNATRON BOULEVARD TO BE DEDICATED TO THE CITY OF SAN DIEGO PER SUBSEQUENT LOT LINE ADJUSTMENT PARCEL MAP OVER SUBJECT PROPERTY

SETBACK NOTES

1 STANDARD FRONT YARD SETBACK
2 MINIMUM FRONT YARD SETBACK
3 MINIMUM SIDE YARD SETBACK
4 STANDARD STREET SIDE YARD SETBACK
5 MINIMUM STREET SIDE YARD SETBACK
6 MINIMUM REAR SETBACK

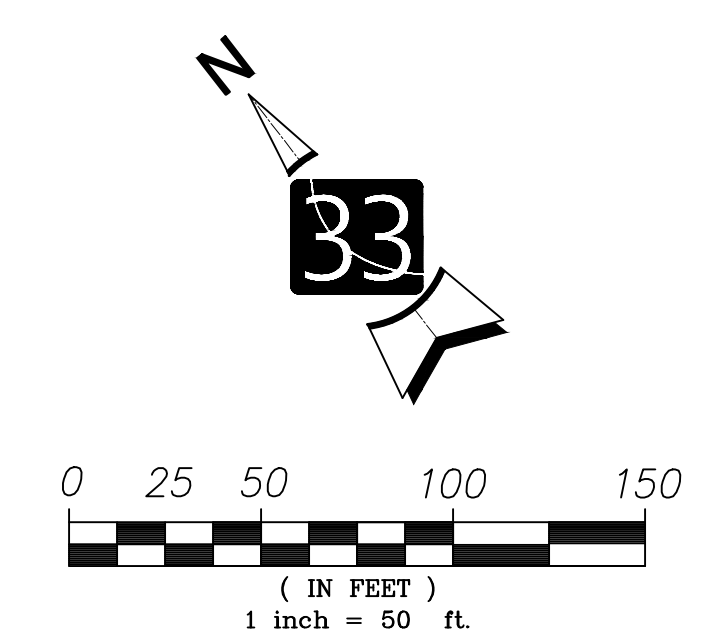
MAPPING NOTES

1. TOTAL NUMBER OF LOTS/PARCELS EXISTING: 2
TOTAL NUMBER OF LOTS/PARCELS PROPOSED: 2

2. TOTAL AREA WITHIN THE PROJECT BOUNDARY: 20.77 ACRES (904,732 SF)

ACREAGE SUMMARY

LOT #	PROPOSED LOT SIZE (ACRES)	LOT DESCRIPTION
1	15.32	LIGHT INDUSTRIAL
2	5.45	PROTECTED HABITAT (VERNAL POOLS)
TOTAL	20.77	TOTAL GROSS ACREAGE



PREPARED BY:
Name: LATITUDE 33
PLANNING & ENGINEERING
Address: 9968 HIBERT STREET, 2ND FLR
SAN DIEGO, CA 92131
Phone no. (858) 751-0633

Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: SEPTEMBER 4, 2020
Revision 2: MARCH 31, 2020
Revision 1: JANUARY 15, 2020

Original Date: OCTOBER 1, 2019

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PROJECT NAME:
KEARNY MESA LOGISTICS CENTER

SHEET TITLE:
MAPPING PLAN

Sheet 5 of 18

PTS # 649192

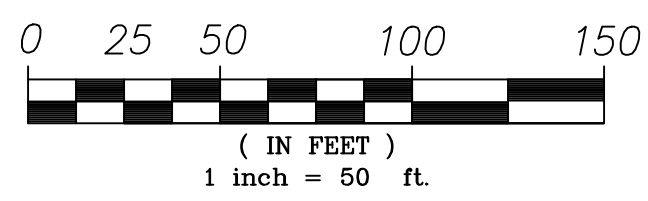
Drawing Date: 09-04-2020
Check By: MJS
Drawn By: JRG
Scale: AS NOTED
Job Number: 1657.10
Sheet Number: _____

FIRE DEPARTMENT NOTES

1. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION CFC 501.4.
2. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS P-00-6.
3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3.
4. PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-08-01.
5. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
6. CFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS - A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
7. CFC 507.5.6 - PHYSICAL PROTECTION - WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312.
8. AERIAL FIRE ACCESS ROAD(S) ADJACENT TO BUILDINGS THAT ARE GREATER THAN 30 FEET IN HEIGHT FROM GRADE PLANE, SHALL HAVE A MINIMUM WIDTH OF 26 FEET. THE PROXIMAL EDGE OF AERIAL FIRE ACCESS SHALL BE A MINIMUM OF 15-30 FEET FROM THE BUILDING FACADE(S) AND/OR PLUMB LINE OF EAVE(S). AERIAL ACCESS SHALL BE PROVIDED ALONG ONE ENTIRE LONG SIDE(S) OF THE BUILDING(S). SHOW ALL PROPOSED LOCATIONS WHERE AERIAL ACCESS IS BEING PROVIDED. (SEE FPB POLICY A-14-1)
9. WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2208.
10. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM, WITH KNOX KEYSWITCH OVERRIDE, SATISFACTORY TO THE FIRE MARSHAL SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO THE PROJECT.
11. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.
12. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
13. CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
14. ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927.
15. SAN DIEGO MUNICIPAL CODE SECTION 855.0507 ITEM (C) HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED IN ROAD/LANE AND/OR BETWEEN CURBS. THE MARKER(S) SHALL BE AT A RIGHT ANGLE TO THE HYDRANT.
16. ALL RED CURB/NO PARKING SIGN AREAS HAVE BEEN SHOWN WITH A KEY INDICATOR. ALL REQUIRED ACCESS ROADWAYS SHALL NOT PROVIDE LESS THAN THE REQUIRED APPROVED WIDTH AND/OR BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE INADEQUATE WIDTH HAS NOT PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEN SUCH ACCESS SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1.
17. ALL FIRE LANE SHALL BE RED CURB AND/OR RED STRIPED. ADDITIONAL RED CURB WILL BE REQUIRED ON MAGNATRON BLVD AND KEARNY MESA RD, TO EXTEND 20' ON EITHER SIDE OF EACH DRIVEWAY APRON. FOR THE CURB ACROSS FROM THE SOUTHWEST DRIVEWAY ON MAGNATRON BLVD; PERPENDICULAR FROM THE DRIVEWAY CENTERLINE, 50' OF RED CURB IN BOTH DIRECTIONS.
18. CFC SEC. 906 - AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10-BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR.
19. CFC SEC. 804 - DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.
20. THE LOCATION(S) OF AN APPROVED "KNOX" KEY BOX ARE SHOWN ON THE FIRE ACCESS PLAN AND FOLLOW THE SAN DIEGO FIRE DEPARTMENT FPB POLICY K-15-2. (SANDIEGO.GOV/FIRE, SERVICES & PROGRAMS, POLICIES, KNOX BOX REQUIREMENTS), PROVIDE A KNOX KEY BOX FOR EACH OFFICE LOCATION; WAREHOUSE SECTIONAL LEASE SPACES.
21. STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 906 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD (2A10BC) AS FOLLOWS:
 1. AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 2. IN EVERY STORAGE AND CONSTRUCTION SHED.
 3. ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS. CFC 3315
22. EXTERIOR DOORS AND OPENINGS REQUIRED BY CFC/CBC SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ACCESS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE FIRE CODE OFFICIAL. CFC SEC. 504
23. STREETS AND ROADS SHALL BE IDENTIFIED WITH APPROVED SIGNS. TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OR NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. CFC 505.2.
24. ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
25. D104.2 BUILDINGS OR FACILITIES HAVING A GROSS BUILDING AREA OF MORE THAN 62,000 SQ. FT. SHALL BE PROVIDED WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS. EXCEPTION - PROJECTS HAVING A GROSS BUILDING AREA OF UP TO 124,000 SQ. FT. THAT HAVE A SINGLE APPROVED FIRE APPARATUS ACCESS ROAD WHEN ALL BUILDINGS ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLERS SYSTEMS. THIS PROJECT EXCEEDS 344,000 SQ. FT. AND REQUIRES 2 ACCESS ROADS.
26. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ACCESS ROADS TO EXTERIOR OPENINGS REQUIRED BY THE FIRE OR THE BUILDING CODE SHALL BE PROVIDED. SHOW WALKWAY ON PLANS.
27. FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER. ROOMS CONTAINING CONTROLS FOR A/C SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.
28. INFORMATION: SPRINKLER SYSTEM DESIGN IS BASED ON STORAGE HEIGHT AND THE COMMODITY BEING STORED. WAREHOUSE OWNERS/TENANTS SHOULD BE AWARE OF THE HIGH PILED STORAGE REQUIREMENTS THAT COULD REQUIRE UPGRADING OF PLANNED SPRINKLER SYSTEM, ADDITIONAL SPRINKLERS FOR RACKS AND OTHER DESIGN REQUIREMENTS (SMOKE AND HEAT VENTS). DEFERRING OF FIRE SPRINKLER AND/OR FIRE ALARM SYSTEMS MAY CREATE ADDITIONAL ISSUES.
29. USE OF PROPANE (FLAMMABLE GAS) TO POWER LIFTING TRUCKS REQUIRES STORAGE OF ADDITIONAL PROPANE CYLINDERS. THIS PROJECT SHOULD CONSIDER PROVIDING FLAMMABLE GAS STORAGE LOCATIONS BY DESIGN. IF WAREHOUSE CAN BE SUBDIVIDED FOR LEASING PURPOSES, CONSIDER PROVIDING PROPANE STORAGE FOR EACH LEASE SPACE. INTERIOR AND EXTERIOR PROPANE STORAGE, REQUIRE A HAZ-MAT REVIEW CYCLE AND APPROVAL. IF PROVIDING, SHOW ON FIRE ACCESS PLAN.

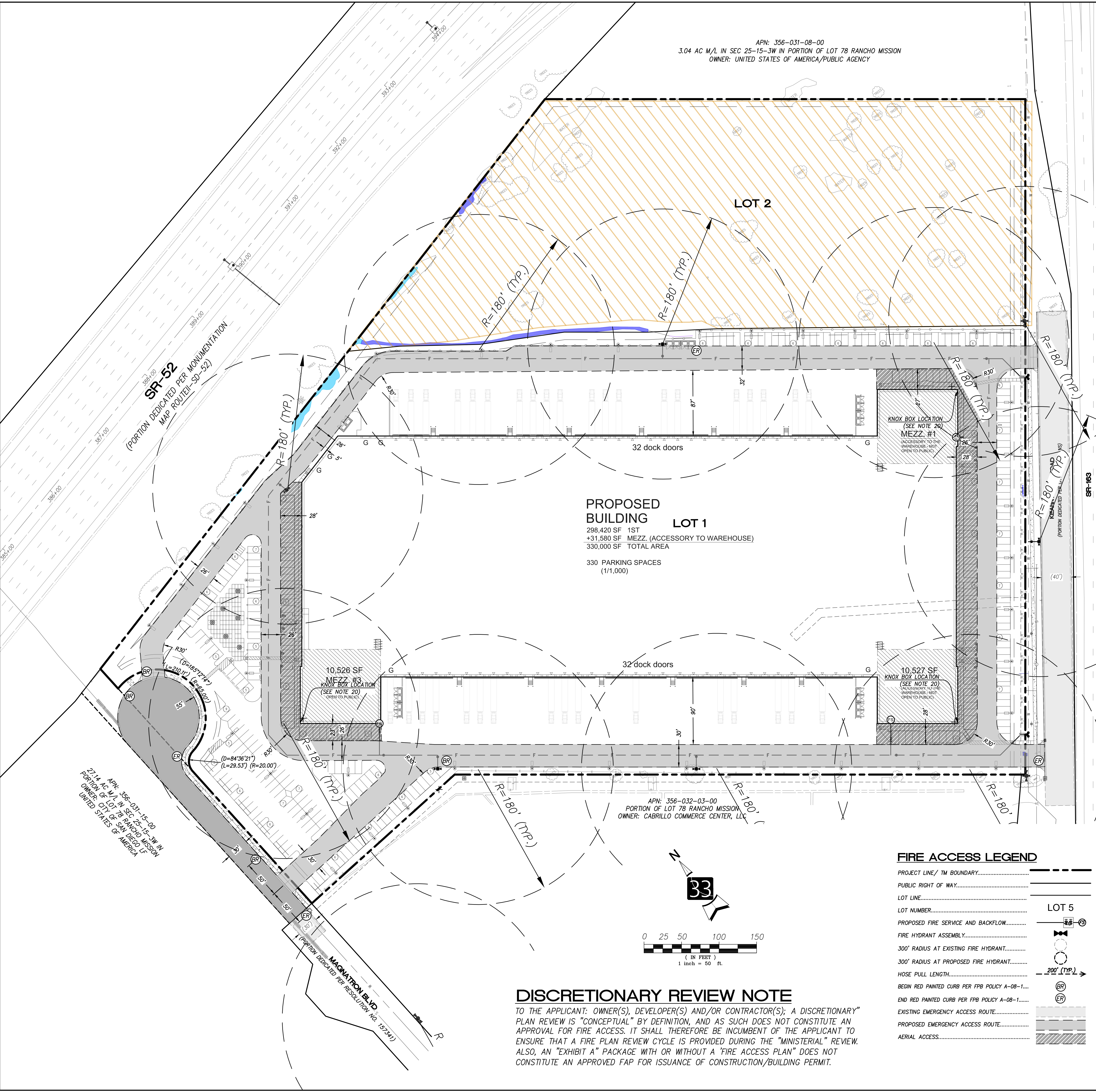
FIRE ACCESS LEGEND

- PROJECT LINE/ TM BOUNDARY.....
- PUBLIC RIGHT OF WAY.....
- LOT LINE.....
- LOT NUMBER.....
- PROPOSED FIRE SERVICE AND BACKFLOW.....
- FIRE HYDRANT ASSEMBLY.....
- 300' RADIUS AT EXISTING FIRE HYDRANT.....
- 300' RADIUS AT PROPOSED FIRE HYDRANT.....
- HOSE PULL LENGTH.....
- BEGIN RED PAINTED CURB PER FPB POLICY A-08-1.....
- END RED PAINTED CURB PER FPB POLICY A-08-1.....
- EXISTING EMERGENCY ACCESS ROUTE.....
- PROPOSED EMERGENCY ACCESS ROUTE.....
- AERIAL ACCESS.....
- LOT 5
- 200' (TYP.)
- BR
- ER



DISCRETIONARY REVIEW NOTE

TO THE APPLICANT: OWNER(S), DEVELOPER(S) AND/OR CONTRACTOR(S); A DISCRETIONARY PLAN REVIEW IS "CONCEPTUAL" BY DEFINITION, AND AS SUCH DOES NOT CONSTITUTE AN APPROVAL FOR FIRE ACCESS. IT SHALL THEREFORE BE INCUMBENT OF THE APPLICANT TO ENSURE THAT A FIRE PLAN REVIEW CYCLE IS PROVIDED DURING THE "MINISTERIAL" REVIEW. ALSO, AN "EXHIBIT A" PACKAGE WITH OR WITHOUT A "FIRE ACCESS PLAN" DOES NOT CONSTITUTE AN APPROVED FAP FOR ISSUANCE OF CONSTRUCTION/BUILDING PERMIT.



PREPARED BY:
Name: LATITUDE 33
Address: 9968 HIBERT STREET, 2ND FLR
SAN DIEGO, CA 92131
Phone no. (858) 751-0633

Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: SEPTEMBER 4, 2020
Revision 2: MARCH 31, 2020
Revision 1: JANUARY 15, 2020

Original Date: OCTOBER 1, 2019

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

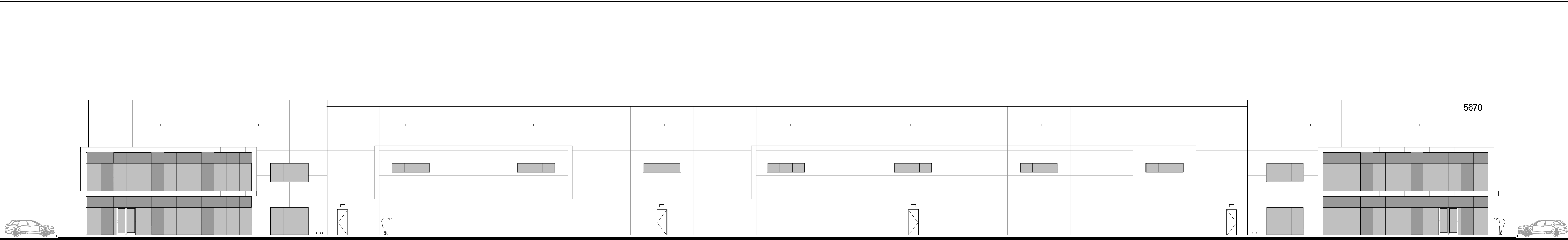
PROJECT NAME:
KEARNY MESA LOGISTICS CENTER

SHEET TITLE:
FIRE ACCESS PLAN

PTS # 649192

Sheet 6 of 18

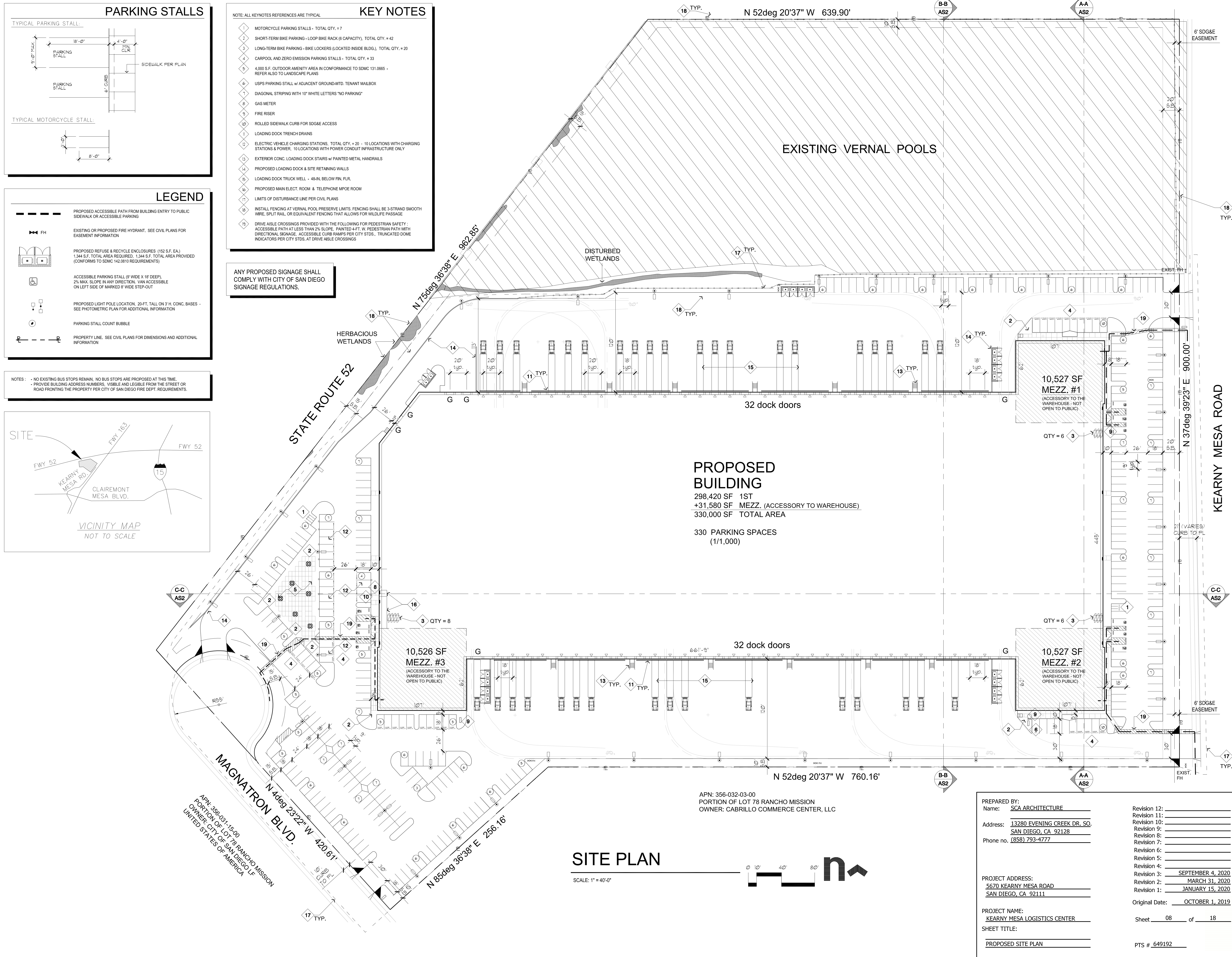
Drawing Date: 09-04-2020
Check By: MJS
Drawn By: JRG
Scale: AS NOTED
Job Number: 1657.10
Sheet Number: _____

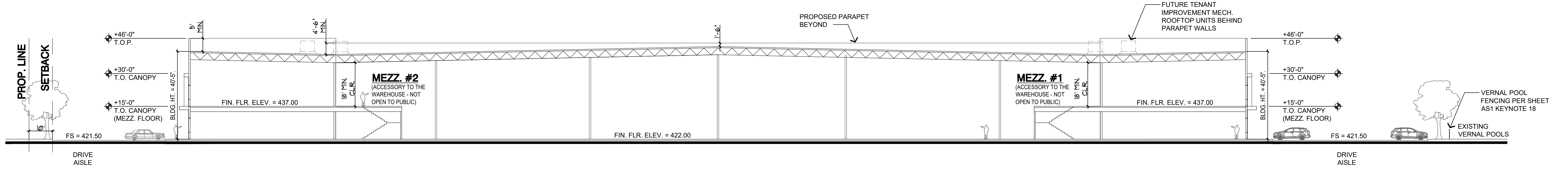


PLANNING APPLICATION FOR : KEARNY MESA LOGISTICS CENTER

5670 KEARNY MESA ROAD, SAN DIEGO, CALIFORNIA

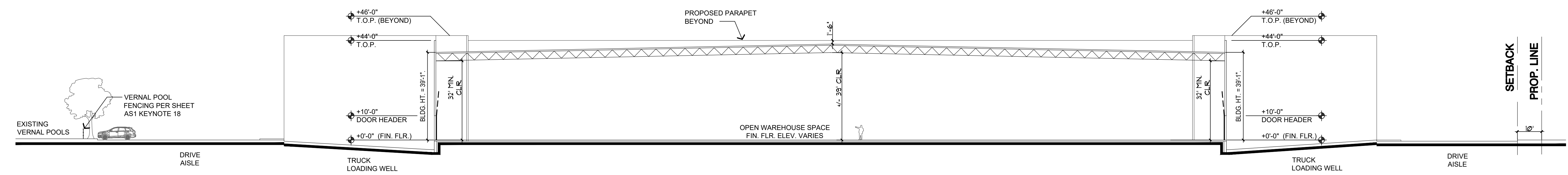
PARKING CALCULATIONS		PROJECT DATA		PROJECT TEAM		SHEET INDEX	
<div>TOTAL BUILDING AREA330,000 S.F.</div> <div>PARKING RATIO1 STALL PER 1,000 S.F. OF BLDG. AREA</div> <div>TOTAL PARKING SPACES330 STALLS PROVIDED (322 REGULAR + 8 ACCESSIBLE)</div> <div>NOTE : ALL MEZZANINE SPACE PROPOSED AS PART OF THIS PROJECT IS PROPOSED ACCESSORY TO THE WAREHOUSE USE, PER TABLE 142-05G, FOOTNOTE 4 OF THE S.D.M.C. COMMERCIAL SPACE USED AS RETAIL TO THE MAIN USE CAN BE PARKED AT THE REQUIRED RATE OF THE MAIN USE (1 SPACE PER 1000 SQUARE FEET).</div> <div>ELECTRIC VEHICLE CHARGINGREQUIRED SPACES x 6% 330 x 6% = 20 PROVIDED (18 REGULAR + 2 ACCESSIBLE)</div> <div>CLEAN AIR / VANPOOL / EVREQUIRED SPACES x 10% 330 x 10% = 33 PROVIDED</div> <div>MOTORCYCLEREQUIRED SPACES x 2% 330 x 2% = 7 PROVIDED</div> <div>SHORT-TERM BICYCLE PARKINGBLDG. AREA x .1 space / 1000 s.f. 330,000 x .1/1000 = 33 REQUIRED 42 PROVIDED (OUTDOOR BIKE RACKS)</div> <div>LONG-TERM BICYCLE PARKINGPARKING STALLS x 5% 330 x 5% = 17 BIKE LOCKERS REQUIRED 20 LOCKERS SHALL BE PROVIDED (INSIDE BLDG.)</div>		<div>BASE ZONE :IL-2-1</div> <div>COMMUNITY PLAN NAME :RANCHO MISSION</div> <div>ASSESSOR'S PARCEL NO. :356-032-01 AND 356-032-02</div> <div>PARCEL INFORMATION :PORTION OF LOT 78 OF R.O.S. MAP NO. 5405</div> <div>TOTAL SITE AREA :21.04 ACRES (916,502.4 S.F.)</div> <div>CONSTRUCTION TYPE :III - B (TO BE FULLY-SPRINKLERED)</div> <div>OCCUPANCY CLASSIFICATION :B, F1, S1</div> <div>EXISTING USE :RESEARCH & DEVELOPMENT BLDGS. (TO BE DEMOLISHED)</div> <div>PROPOSED USE :WAREHOUSE</div> <div>FRONT SETBACK :15 FEET MINIMUM / 20 FEET STANDARD</div> <div>REAR SETBACK :0 FEET MINIMUM / 10 FEET STANDARD</div> <div>SIDE YARD SETBACK :10 FEET</div> <div>MAX. BUILDING HEIGHT :NO RESTRICTIONS APPLY IN THIS INDUSTRIAL ZONE</div> <div>MAX. BUILDING COVERAGE :50 % (ACTUAL = 37 %)</div> <div>MAX. FLOOR AREA RATIO :0.5</div> <div>FLOOD ZONE DESIGNATION :PER FLOOD INSURANCE RATE MAP NO. 06073C1610G, PROJECT SITE LIES IN FLOOD ZONE 'X'</div> <div>ENCROACHMENTS :NONE</div> <div>VERNAL POOL LIMITS :PER THE CITY OF SAN DIEGO VERNAL POOL HABITAT CONSERVATION PLAN AND INTERACTIVE MAP, DATED OCT.2017</div>		<div>OWNER : OH REALTY VIII,LPC I SAN DIEGO KEARNY MESA, L.P. 600 B STREET, SUITE 2480 SAN DIEGO, CA 92101 PHONE: (619) 230-8881 CONTACT: SCOTT MOFFATT</div> <div>CIVIL ENGINEER: LATTITUDE 33 PLANNING & ENGINEERING 9968 HIBERT STREET 2ND FLOOR SAN DIEGO, CA 92131 PHONE: (858) 751-0633 CONTACT: JUSTIN GILES</div> <div>ARCHITECT: SCA ARCHITECTURE 13280 EVENING CREEK DRIVE SOUTH SUITE 125 SAN DIEGO, CA 92128 PHONE: (858) 793-4777 CONTACT: DENNIS F. SEGUBAN</div> <div>LANDSCAPE ARCHITECT: RIDGE LANDSCAPE ARCHITECTS 8841 RESEARCH DRIVE SUITE 200 IRVINE, CA 92618 PHONE: (949) 387-1323 CONTACT: RON STARK</div> <div>ELECTRICAL ENGINEER: MICHAEL WALL ENGINEERING 4115 SORRENTO VALLEY BLVD. SAN DIEGO, CA 92121 PHONE: (858) 638-0600 CONTACT: RAY THOMPSON</div>		<div>C1 COVER SHEET</div> <div>C2 EXISTING CONDITIONS</div> <div>C3 GRADING AND UTILITY PLAN</div> <div>C4 SITE PLAN</div> <div>C5 MAPPING PLAN</div> <div>C6 FIRE ACCESS PLAN</div> <div>T1 TITLE & DATA SHEET</div> <div>AS1 PROPOSED SITE PLAN</div> <div>AS2 PROPOSED SITE SECTIONS AND TRASH ENCLOSURE PLAN & ELEVATIONS</div> <div>A1 PROPOSED GROUND FLOOR PLAN</div> <div>A2 PROPOSED MEZZANINE LEVEL PLAN</div> <div>A3 PROPOSED ROOF PLAN</div> <div>A4 PROPOSED EXTERIOR ELEVATIONS</div> <div>L1.1 PROPOSED LANDSCAPE PLAN</div> <div>L1.2 PROPOSED LANDSCAPE PLAN</div> <div>L2.1 LANDSCAPE CALCULATIONS</div> <div>L3.1 BRUSH MANAGEMENT PLAN</div> <div>E1 SITE PHOTOMETRIC PLAN</div>	
LEGAL DESCRIPTION							
<p>THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS :</p> <p>THAT PORTION OF LOT 78 OF RANCHO MISSION OF SAN DIEGO, ACCORDING TO THE PARTITION MAP THEREOF MADE IN THE ACTION OF JUAN M. LUCO, ET AL., VS. THE COMMERCIAL BANK OF SAN DIEGO, ET AL., ON FILE IN THE OFFICE OF THE COUNTY CLERK OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS :</p> <p>BEGINNING AT THE INTERSECTION OF THE EASTERLY LINE OF SAID LOT 78 AND THE NORTHWESTERLY LINE OF PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA, BY DECREE OF CONDEMNATION RECORDED NOVEMBER 21, 1949 IN BOOK 3393, PAGE 220 OF OFFICIAL RECORDS OF SAN DIEGO COUNTY, SAID NORTHWESTERLY LINE BEING ALSO THE NORTHWESTERLY LINE OF THAT PORTION OF STATE HIGHWAY X1-SD-77-A RELINQUISHED TO THE CITY OF SAN DIEGO BY RESOLUTION OF THE CALIFORNIA HIGHWAY COMMISSION, PASSED NOVEMBER 17, 1952, A COPY OF WHICH SAID RESOLUTION WAS FILED AS DOCUMENT NO. 459466 NOVEMBER 24, 1952, IN THE OFFICE OF THE CITY CLERK OF SAID CITY OF SAN DIEGO; THENCE SOUTH 37DEG. 13' 15" WEST ALONG SAID NORTHWESTERLY LINE, 1195.84 FEET TO A POINT; THENCE NORTH 52DEG. 46' 45" WEST 61.0 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 52DEG. 46' 45" WEST, 640.0 FEET; THENCE SOUTH 75DEG. 10' 30" WEST, 962.85 FEET; THENCE SOUTH 4DEG. 49' 30" EAST 420.61 FEET; THENCE NORTH 85DEG. 10' 30" EAST, 256.16 FEET; THENCE SOUTH 52DEG. 46' 45" EAST, 760.0 FEET; THENCE NORTH 37DEG. 13' 15" EAST, 900 FEET TO THE TRUE POINT OF BEGINNING.</p>		<div>PROJECT DESCRIPTION</div> <div>PROJECT CONSISTS OF :</div> <div>1. PROPOSED 330,000 TOTAL S.F. NEW WAREHOUSE BLDG. WHICH ALSO INCLUDES 31,580 TOTAL S.F. OF MEZZANINE AREA (ACCESSORY TO WAREHOUSE SPACE) - PARKING COUNT UTILIZED AT 1:1000 RATIO</div> <div>2. 64 TOTAL ABOVE-GRADE LOADING DOCK DOORS; SEVEN TOTAL GRADE-LEVEL LOADING DOCK DOORS</div> <div>3. 1,344 TOTAL S.F. OF NEW REFUSE & RECYCLE ENCLOSURE AREA (FIVE LOCATIONS)</div> <div>4. COLD-SHELL ONLY, NO TENANT IMPROVEMENT SCOPE, NO RESTROOMS, NO MECH. ROOFTOP EQUIPMENT</div> <div>5. ROOF SHALL HAVE 9,920 TOTAL S.F. OF SKYLIGHT AREA (310 TOTAL PROPOSED SKYLIGHTS) AND 42,930 S.F. OF REQUIRED SOLAR AREA</div> <div>VICINITY MAP</div> <div></div>					
				<div>PREPARED BY: Name: SCA ARCHITECTURE</div> <div>Address: 13280 EVENING CREEK DR. SO. SAN DIEGO, CA 92128</div> <div>Phone no. (858) 793-4777</div> <div>PROJECT ADDRESS: 5670 KEARNY MESA ROAD SAN DIEGO, CA 92111</div> <div>PROJECT NAME: KEARNY MESA LOGISTICS CENTER</div> <div>SHEET TITLE: TITLE & DATA SHEET</div>		<div>Revision 12: _____</div> <div>Revision 11: _____</div> <div>Revision 10: _____</div> <div>Revision 9: _____</div> <div>Revision 8: _____</div> <div>Revision 7: _____</div> <div>Revision 6: _____</div> <div>Revision 5: _____</div> <div>Revision 4: _____</div> <div>Revision 3: SEPTEMBER 4, 2020</div> <div>Revision 2: MARCH 31, 2020</div> <div>Revision 1: JANUARY 15, 2020</div> <div>Original Date: OCTOBER 1, 2019</div> <div>Sheet 07 of 18</div> <div>PTS # 649192</div>	





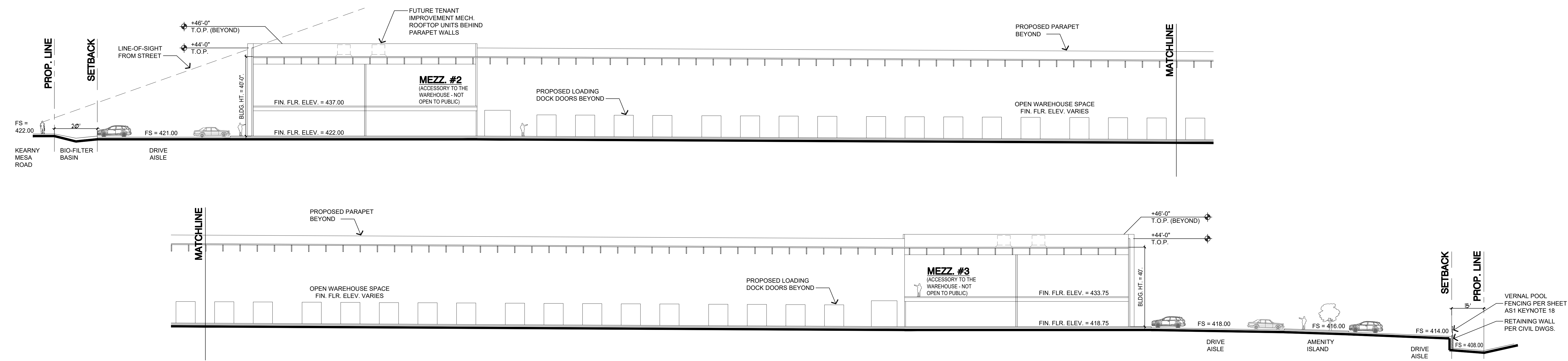
SITE SECTION A-A

SCALE: 1" = 20'-0"



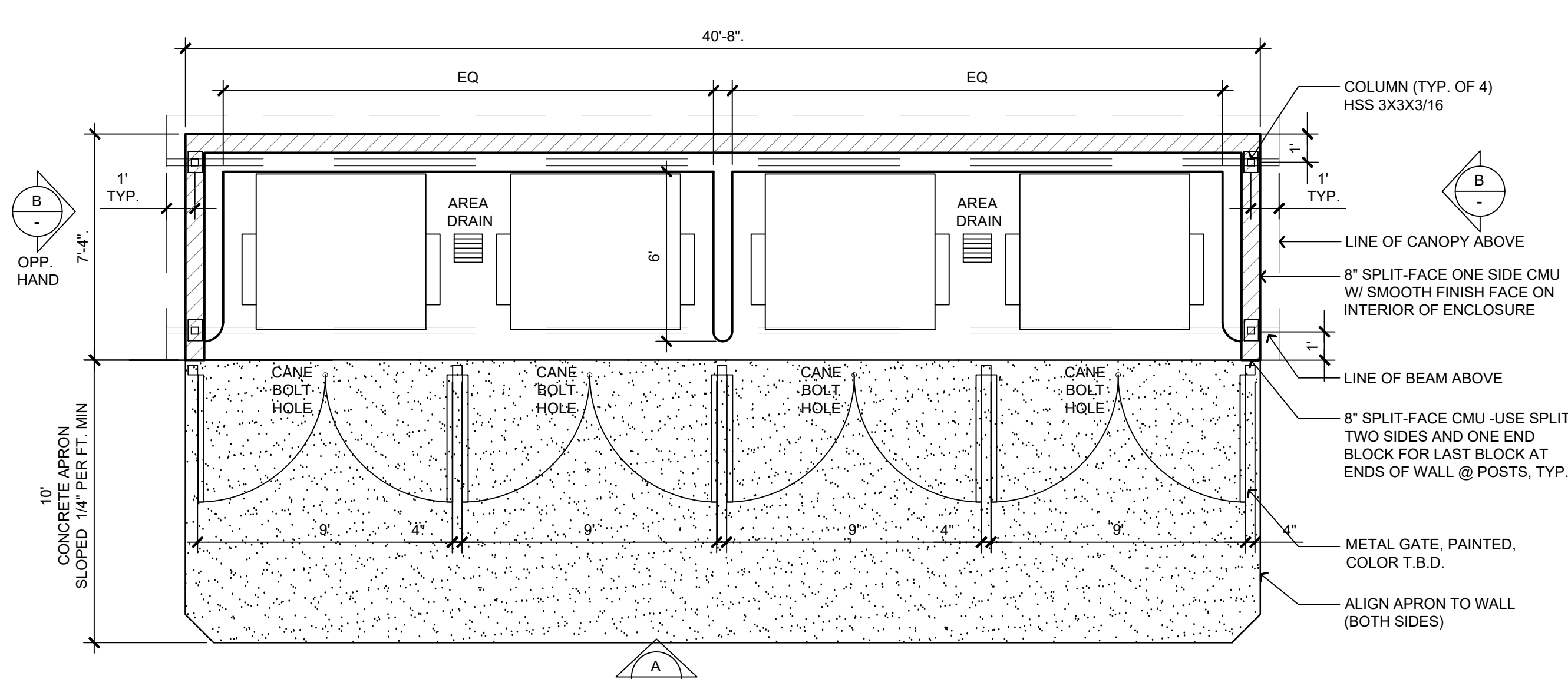
SITE SECTION B-B

SCALE: 1" = 20'-0"



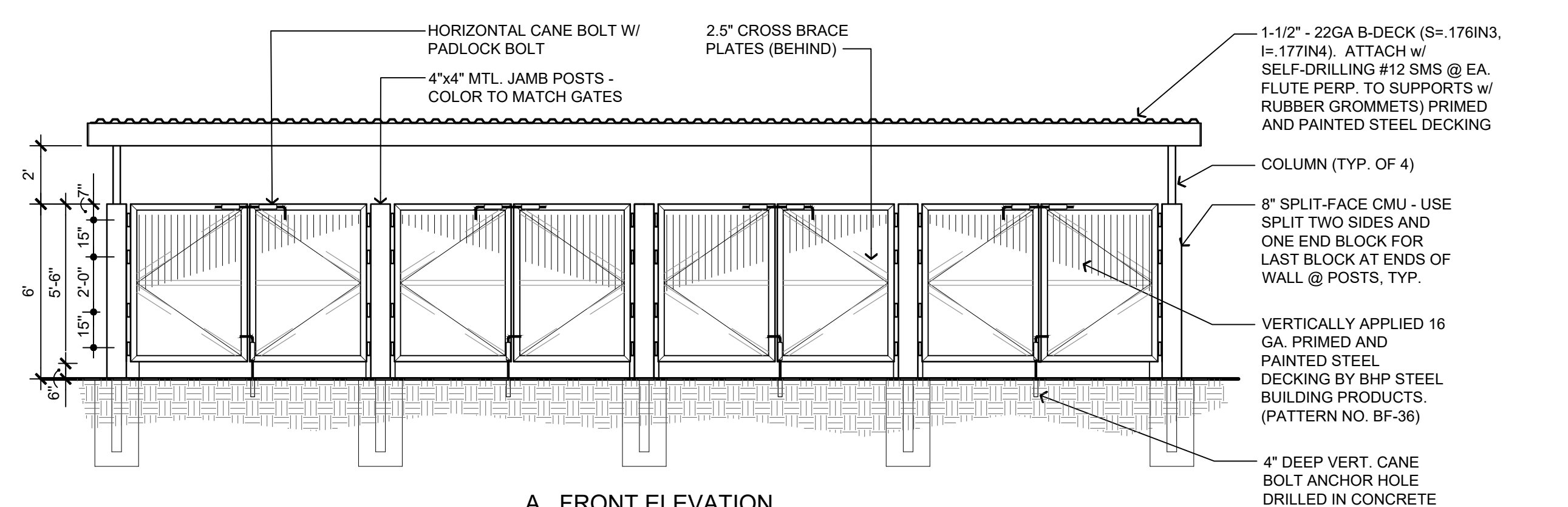
SITE SECTION C-C

SCALE: 1" = 20'-0"

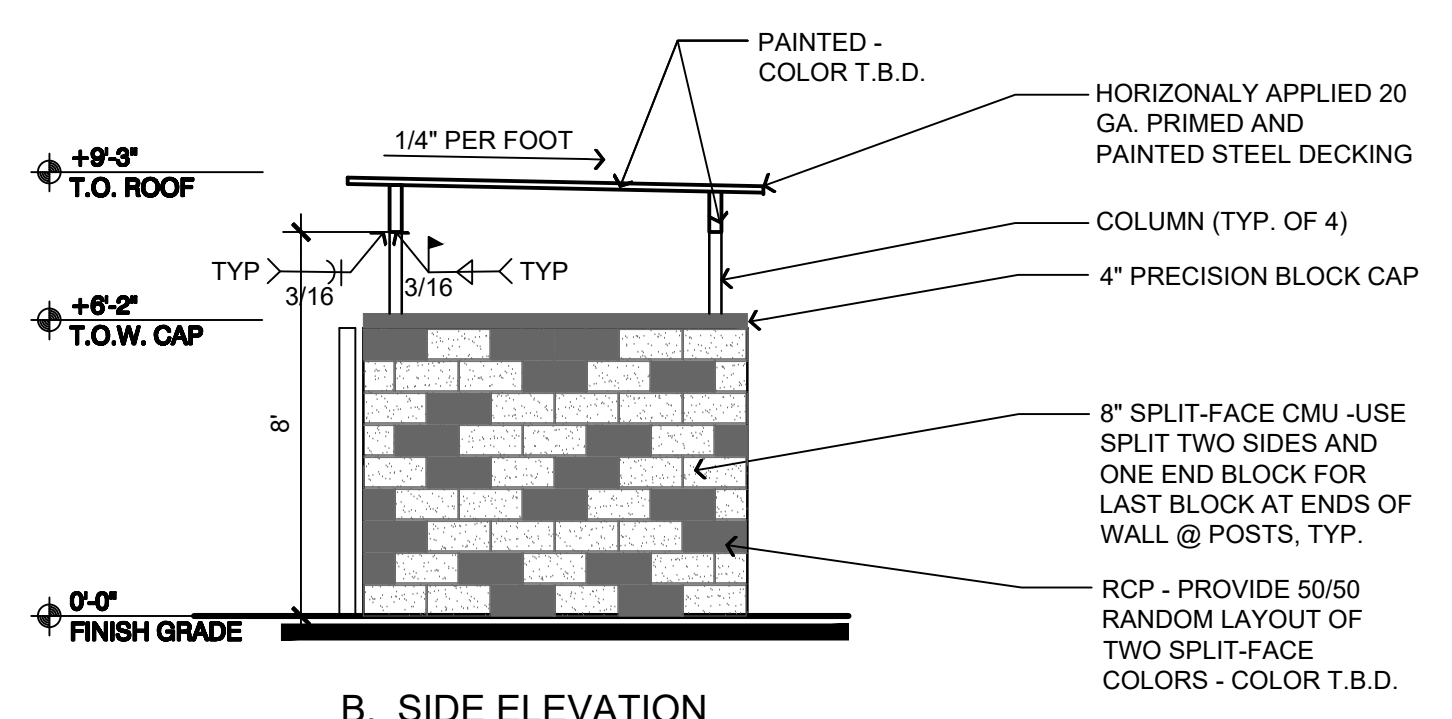


TYPICAL REFUSE & RECYCLE ENCLOSURE

SCALE: 1/4" = 1'-0"



A. FRONT ELEVATION



B. SIDE ELEVATION

PREPARED BY: Name: <u>SCA ARCHITECTURE</u>	Revision 12: _____
Address: <u>13280 EVENING CREEK DR. SO. SAN DIEGO, CA 92128</u>	Revision 11: _____
Phone no. <u>(858) 793-4777</u>	Revision 10: _____
	Revision 9: _____
	Revision 8: _____
	Revision 7: _____
	Revision 6: _____
	Revision 5: _____
	Revision 4: _____
	Revision 3: <u>SEPTEMBER 4, 2020</u>
	Revision 2: <u>MARCH 31, 2020</u>
	Revision 1: <u>JANUARY 15, 2020</u>
PROJECT ADDRESS: <u>5670 KEARNY MESA ROAD SAN DIEGO, CA 92111</u>	Original Date: <u>OCTOBER 1, 2019</u>
PROJECT NAME: <u>KEARNY MESA LOGISTICS CENTER</u>	Sheet <u>09</u> of <u>18</u>
SHEET TITLE: <u>PROPOSED SITE SECTIONS & REFUSE / RECYCLE ENCLOSURE</u>	PTS # <u>649192</u>

PROPOSED GROUND FLOOR PLAN

Due Dates

Planning	10.01.2019	
Design Development	-	
Construction Check	-	
Set	-	
Submit Set	-	
Construction Set	-	

09-04-20

Check By DFS

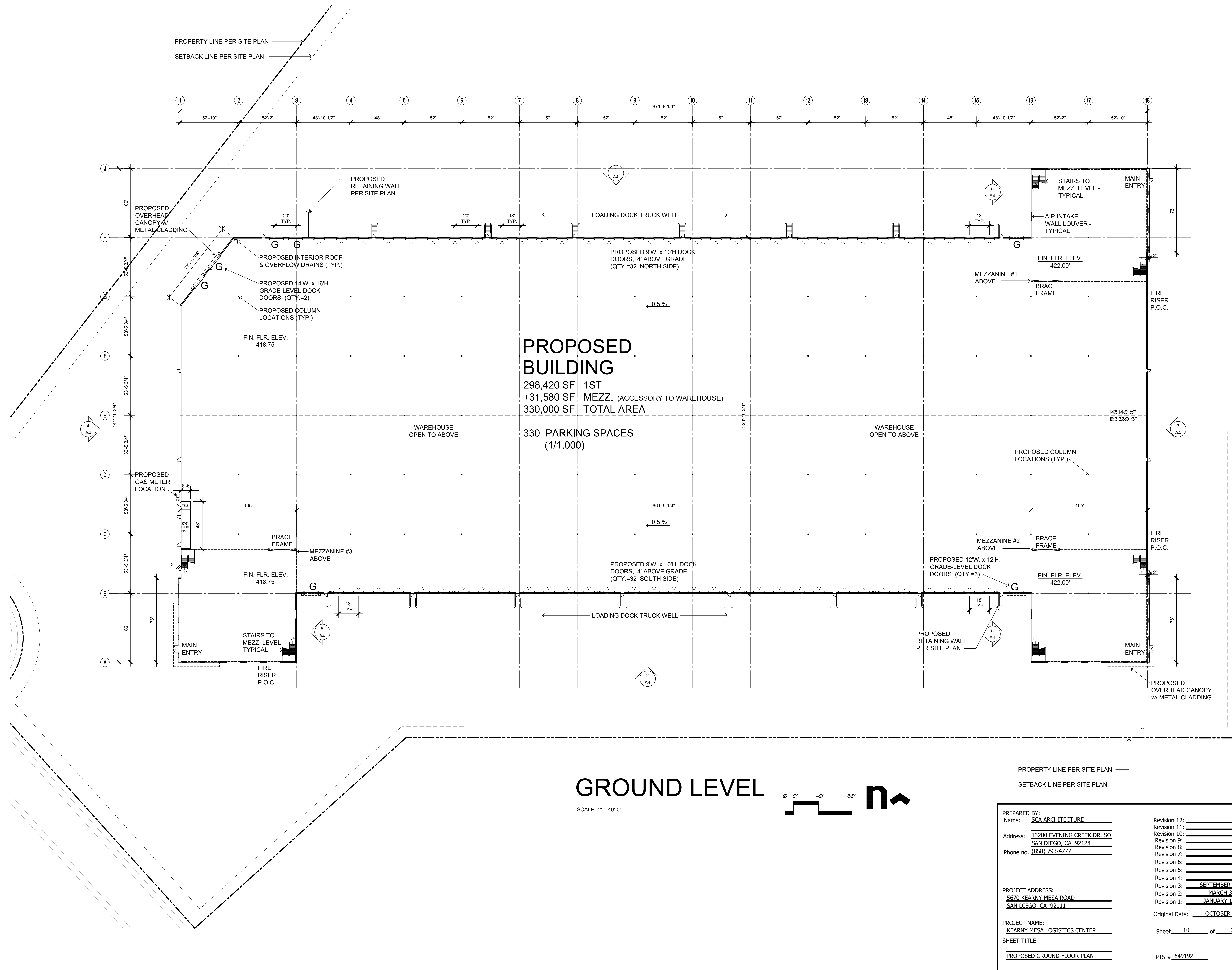
own By DFS

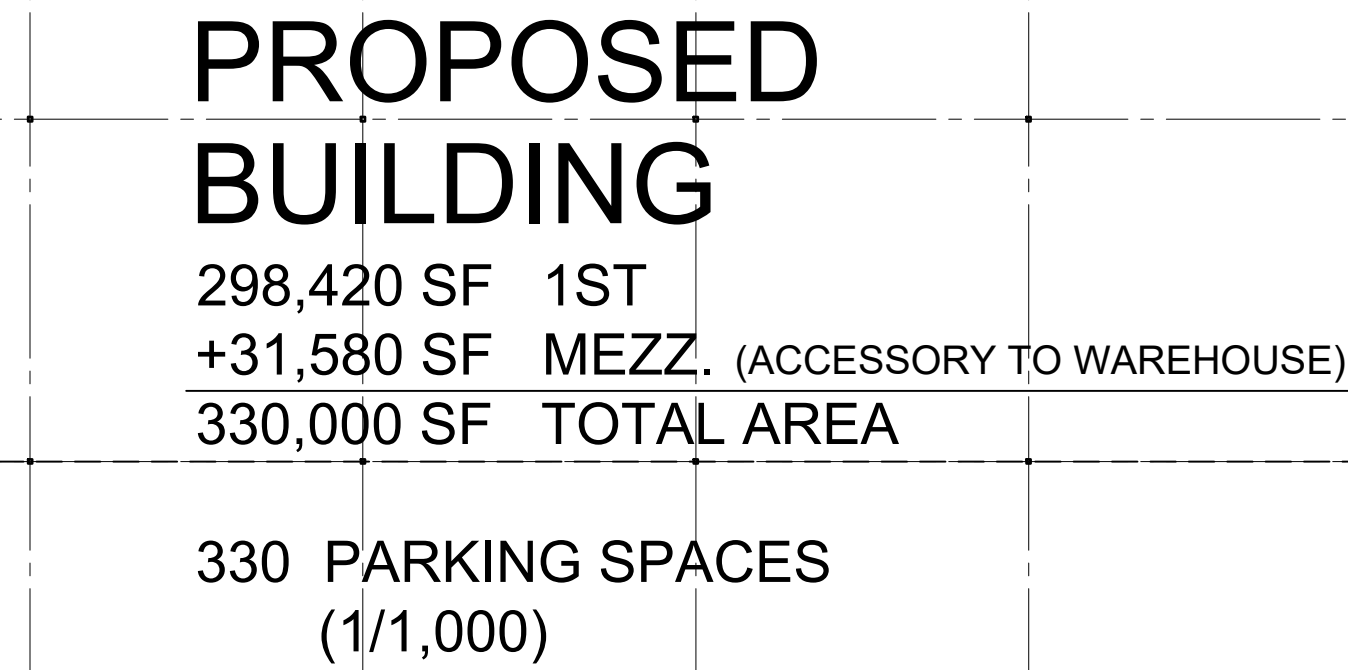
AS NOTED

Number 13013.555

et Number

A1





SCALE: 1" = 40'-0" (ACCESSORY TO THE WAREHOUSE - NOT OPEN TO PUBLIC)



PREPARED BY: _____
Name: SCA ARCHITECTURE

Address: 13280 EVENING CREEK DR. SO.
SAN DIEGO, CA 92128

Phone no. (858) 793-4777

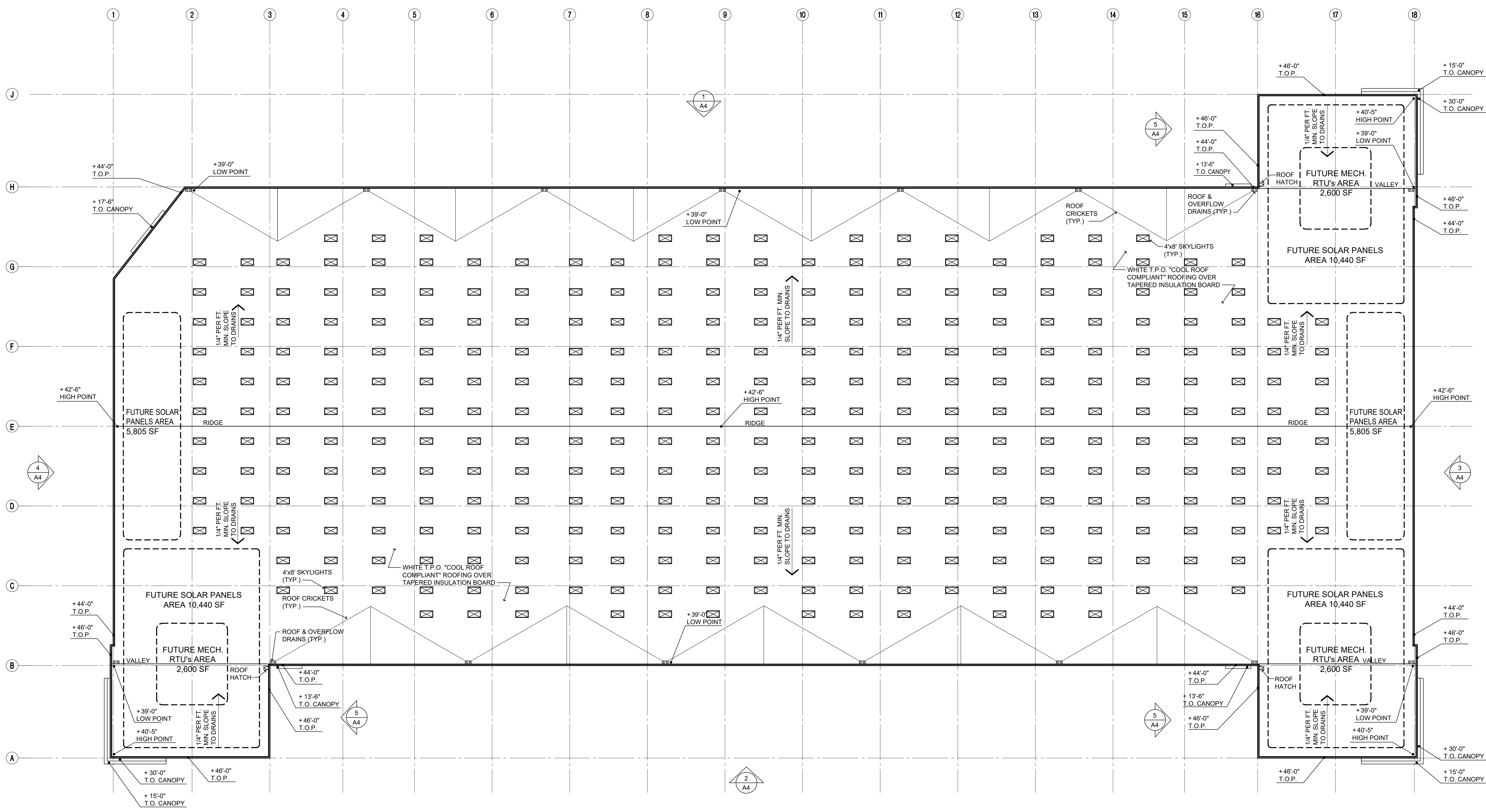
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: SEPTEMBER 4, 2020
Revision 2: MARCH 31, 2020
Revision 1: JANUARY 15, 2020

Original Date: OCTOBER 1, 2019

Sheet 11 of 18

SHEET TITLE: _____
PROPOSED MEZZANINE LEVEL PLAN

PTS # 649192



SKYLIGHT CALCS.

296,090 SF (ROOF AREA)
+34,580 SF (MEZZ. AREA)
330,670 SF x 3% = 9,920 SF TOTAL SKYLIGHT AREA

9,920 SF = 310 SKYLIGHTS REQUIRED (4'x8' EACH)
310 SKYLIGHTS PROPOSED

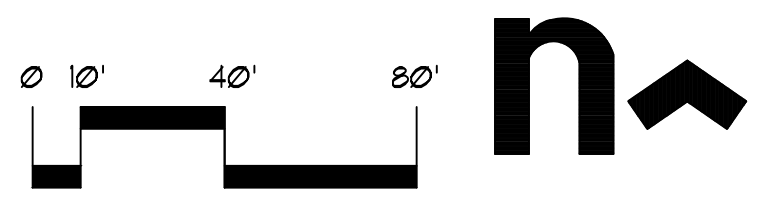
SOLAR AREA CALCS.

296,090 SF TOTAL ROOF AREA
- 9,920 SF TOTAL REQUIRED SKYLIGHT AREA
286,170 SF x 15% = 42,926 SF

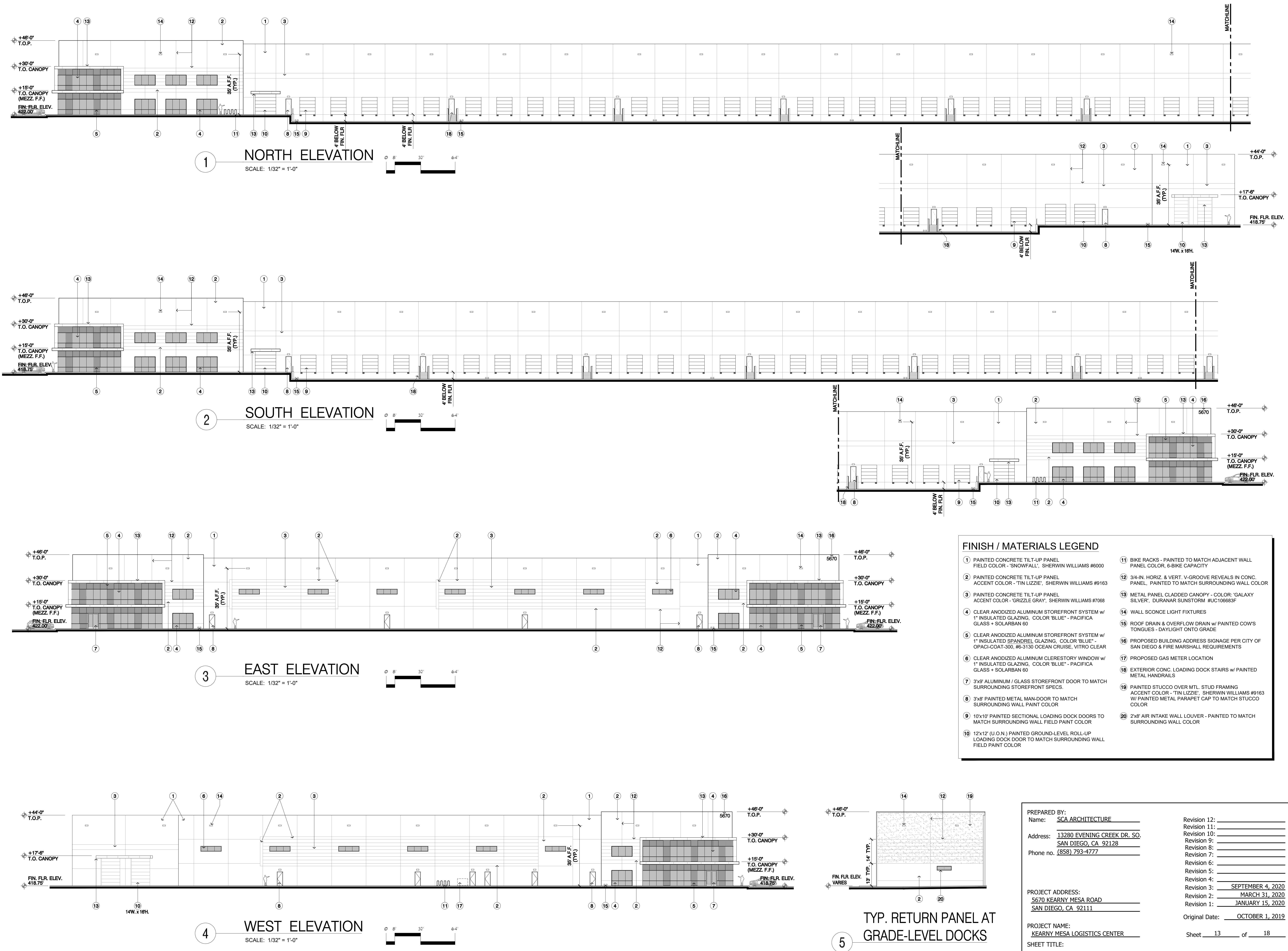
42,926 SF = REQUIRED SOLAR AREA
42,930 SF = PROPOSED SOLAR AREA
(10,440 + 10,440 + 10,440 + 5,805 + 5,805)

ROOF PLAN

SCALE: 1" = 40'-0"



PREPARED BY: Name: <u>SCA ARCHITECTURE</u>		Revision 12: _____
Address: <u>13280 EVENING CREEK DR. SO.</u> <u>SAN DIEGO, CA 92128</u>		Revision 11: _____
Phone no. <u>(858) 793-4777</u>		Revision 10: _____
PROJECT ADDRESS: <u>5670 KEARNY MESA ROAD</u> <u>SAN DIEGO, CA 92111</u>		Revision 9: _____
PROJECT NAME: <u>KEARNY MESA LOGISTICS CENTER</u>		Revision 8: _____
SHEET TITLE: <u>PROPOSED ROOF PLAN</u>		Revision 7: _____
		Revision 6: _____
		Revision 5: _____
		Revision 4: _____
		Revision 3: <u>SEPTEMBER 4, 2020</u>
		Revision 2: <u>MARCH 31, 2020</u>
		Revision 1: <u>JANUARY 15, 2020</u>
		Original Date: <u>OCTOBER 1, 2019</u>
		Sheet <u>12</u> of <u>18</u>
		PTS # <u>649192</u>



PLANT LEGEND						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	COMMENTS	WUCOLS*	MATURE HEIGHT / SPREAD
TREES						
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	36" BOX STD.	BUILDING PERIMETER	LOW	H: 20'-30' S: 10'-20'
	(ALT) PROSOPIS VELUTINA	VELVET MESQUITE			LOW	H: 30' S: 30'
	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	48" BOX MULTI - TRUNK	SPECIMEN ACCENT TREE	LOW	H: 15'-20" S: 20'-25'
	PINUS ELDARICA	AFGHAN PINE	24" BOX STD.	PERIMETER SCREENING	LOW	H: 30'-80" S: 15'-25'
(ALT) PINUS HALEPENSIS	ALEPPO PINE				LOW	H: 30'-60" S: 20'-40'
	RHUS LANCEA	AFRICAN SUMAC	24" & 36" BOX STD.	PARKING CANOPY	LOW	H: 20'-30" S: 20'-35'
(ALT) GEUJERA PARVIFLORA	AUSTRALIAN WILLOW				LOW	H: 30' S: 20'
TREES (TRANSITIONAL NATIVE BUFFER SPECIES)						
	QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	24" BOX STD.	NATIVE BUFFER / PARKING CANOPY	VERY LOW	H: 20'-70" S: 20'-70'
	PROSOPIS GLANDULOSA 'MAVERICK'	MAVERICK MESQUITE			LOW	H: 25'-35" S: 25'-35'
STREET TREES						
	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	24" BOX STD.	STREET TREE	LOW	H: 20'-35" S: 25'-40'
	PISTACHE CHINENSIS	CHINESE PISTACHE			MOD	H: 25'-35" S: 25'-35'
	LAGERSTROEMIA INDICA 'TUSCARORA'	CRAPE MYRTLE	24" BOX STD.	STREET TREE	MOD	H: 24' S: 25'
	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD			MOD	H: 25'-35" S: 25'-35'
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / SPACING	COMMENTS	WUCOLS*	MATURE HEIGHT / SPREAD
FOREGROUND SHRUBS AND GROUNDCOVERS						
	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GAL. / 24" O.C.	SUCCULENT FOREGROUND	LOW	H: 1'-2' S: 1'-2' -OR- H: 1'-2' S: 1'-3'
	ALOE RUDIKOPPE	LITTLE GEM ALOE				
	DIANELLA 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL. / 24" O.C.	SMALL FLOWERING	LOW	H: 18"-2' S: 18"-2'
	FESTUCA MAIREI	ATLAS FESCUE	5 GAL. / 36" O.C.	ORNAMENTAL GRASS	LOW	H: 18"-2' S: 18"-2' -OR- H: 1'-2' S: 1'-2'
	SESSLERIA AUTUMNALIS	AUTUMN MOOR GRASS				
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL. / 36" O.C.	FLOWERING LOW SHRUB	LOW	H: 1'-1-1/2' S: 2'-4' -OR- H: 1' S: 6'-12'
	MYOPORUM PACIFICUM	MYOPORUM				
	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY	18" O.C.	EVERGREEN GROUNDCOVER	LOW	H: 2' S: 4'-8'
MIDGROUND SHRUBS AND VINES						
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL. / 36" O.C.	FLOWERING SHRUB	LOW	H: 3' S: 5'
	HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL. / 36" O.C.	UPRIGHT ACCENT	LOW	H: 3'-4' S: 4'-6' -OR- H: 2'-3' S: 2'-3'
	ALOE VERA	ALOE VERA				
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL. / 36" O.C.	ORNAMENTAL GRASS	LOW	H: 4'-5' S: 4'-6' -OR- H: 3' S: 3'
	MUHLENBERGIA E. 'EL TORO'	BULL GRASS				
BACKGROUND / SHRUBS						
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL. / 42" O.C.	EVERGREEN HEDGE	LOW	H: 4'-6" S: 4'-5' -OR- H: 4'-6" S: 4'-6'
	OLEA MONTEIRA	LITTLE OLLIE				
MIDGROUND SHRUBS AND GROUNDCOVERS (TRANSITIONAL BUFFER SPECIES)						
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL. / 36" O.C.	NATIVE ORNAMENTAL GRASS	LOW	H: 5' S: 3' -OR- H: 2'-3' S: 2'-3'
	ELYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE GIANT RYE GRASS				
	SALVIA MELLIFERA	BLACK SAGE	1 GAL. / 36" O.C.	NATIVE FLOWERING SHRUB	VERY LOW	H: 3'-4' S: 3'-4' -OR- H: 3'-5' S: 3'-5'
	SALVIA APIANA 'COMPACTA'	WHITE SAGE				
	BACCHARIS PILULARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	1 GAL. / 48" O.C.	NATIVE MEDIUM HEIGHT MOUNDING SHRUB	LOW	H: 2'-3' S: 4'-8' -OR- H: 1'-3' S: 4'-6'
	BACCHARIS SAROTHROIDES	BROOM BACCHARIS				
BACKGROUND SHRUBS (TRANSITIONAL BUFFER SPECIES)						
	RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL. / 48" O.C.	NATIVE EVERGREEN HEDGE	LOW	H: 5'-8' S: 4'-6" -OR- H: 3'-4' S: 8'-12'
	MALOSMA LAURINA	LAUREL SUMAC				
MODULAR WETLAND SHRUBS						
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL. / 24" O.C.	ORNAMENTAL GRASS	LOW	H: 1'-2' S: 1'-2'

STREET TREE CALCULATIONS

MAGNATRON STREETScape L.F. = 402 L.F.
REQUIRED TREES = 13.4
PROVIDED TREES = 14

KEARNY MESA STREETScape L.F. = 528 L.F.
REQUIRED TREES = 17.6
PROVIDED TREES = 18

LANDSCAPE CALCULATIONS

TOTAL ONSITE LANDSCAPE AREA: 51,265 SF.
TOTAL OFFSITE LANDSCAPE AREA: 10,000 SF.
TOTAL 24" BOX TREES: 138
TOTAL 36" BOX TREES: 63
TOTAL 48" BOX TREES: 20
ONSITE HARDSCAPE AREA: 9375 SF.
OFFSITE HARDSCAPE AREA: 4190 SF.

PREPARED BY:
Name: SCA ARCHITECTURE
Address: 13280 EVENING CREEK DR. SO.
SAN DIEGO, CA 92128
Phone no. (858) 793-4777

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PROJECT NAME:
KEARNY MESA LOGISTICS CENTER
SHEET TITLE:
PROPOSED LANDSCAPE PLAN

Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: September 4, 2020
Revision 2: MARCH 31, 2020
Revision 1: JANUARY 15, 2020

Original Date: OCTOBER 1, 2019

Sheet 14 of 18

PTS # 649192

AB 1881 "MWELO" WATER BUDGET CALCULATIONS						
Maximum Applied Water Allowance (MAWA)						
The project's Maximum Applied Water Allowance shall be calculated using this equation:						
MAWA = (ETo) x (0.62) x [(0.45 x LA) + (0.55 x SLA)]						
ETo (Historical Evapotranspiration for Area) =				47.00		
ETAF (Evapotranspiration Adjustment Factor - LA) =				0.45		
ETAF (Evapotranspiration Adjustment Factor - SLA) =				0.55		
LA (Total Landscaped Area including SLA) =				79,284 ft2		
SLA (Special Landscaped Area) =				0 ft2		
0.62 (Conversion Factor)						
	Eto	ETAF	LA or SLA (ft ²)	Conversion	MAWA (Gallons Per Year)	
MAWA for LA =	47.00	x 0.45	x 79,284	x 0.62	1,039,651	
MAWA for SLA =	47.00	x 0.55	x 0	x 0.62	0	
Totals =	79,284				1,039,651	
Maximum Applied Water Allowance (MAWA) =				1,039,651 Gal/yr		1389.9 CCF/yr

Estimated Total Water Use (ETWU)						
The project's Estimated Total Water Use shall be calculated using this equation:						
ETWU = (Eto) (0.62) [(PF x HA) / IE + SLA]						
ETWU = Estimated Total Water Use per year (gallons)				47.00 (inches per year)		
Eto = Reference Evapotranspiration (inches)						
PF = Plant Factor from WUCOLS (see section 491)						
HA = Hydrozone Area [high, medium and low water use areas] (square feet)						
SLA = Special Landscape Area (square feet)						
0.62 = Conversion Factor						
IE = Irrigation Efficiency						
	Eto	Conversion	PF	HA (ft2) SLA (ft2)	IE	Gallons
Hydrozone Area # 2 (Shrub Drip LOW)	47.00	x 0.62	x 0.30	x 78,440	x 0.81	846,571
Hydrozone Area # 3 (Tree Bubbler)	47.00	x 0.62	x 0.50	x 844	x 0.75	16,396
Totals =				79,284		862,967
Estimated Total Water Use (ETWU) =				862,967 Gal / yr	1153.7 CCF / yr	
Percentage of savings over MAWA =				17.0%		
This Number Must Be Positive:						

MINIMUM TREE SEPARATION DISTANCE

TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

MAINTENANCE NOTE

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACE PER THE CONDITIONS OF THE PERMIT.

CITY OF SAN DIEGO NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5).
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.

DESIGN STATMENT

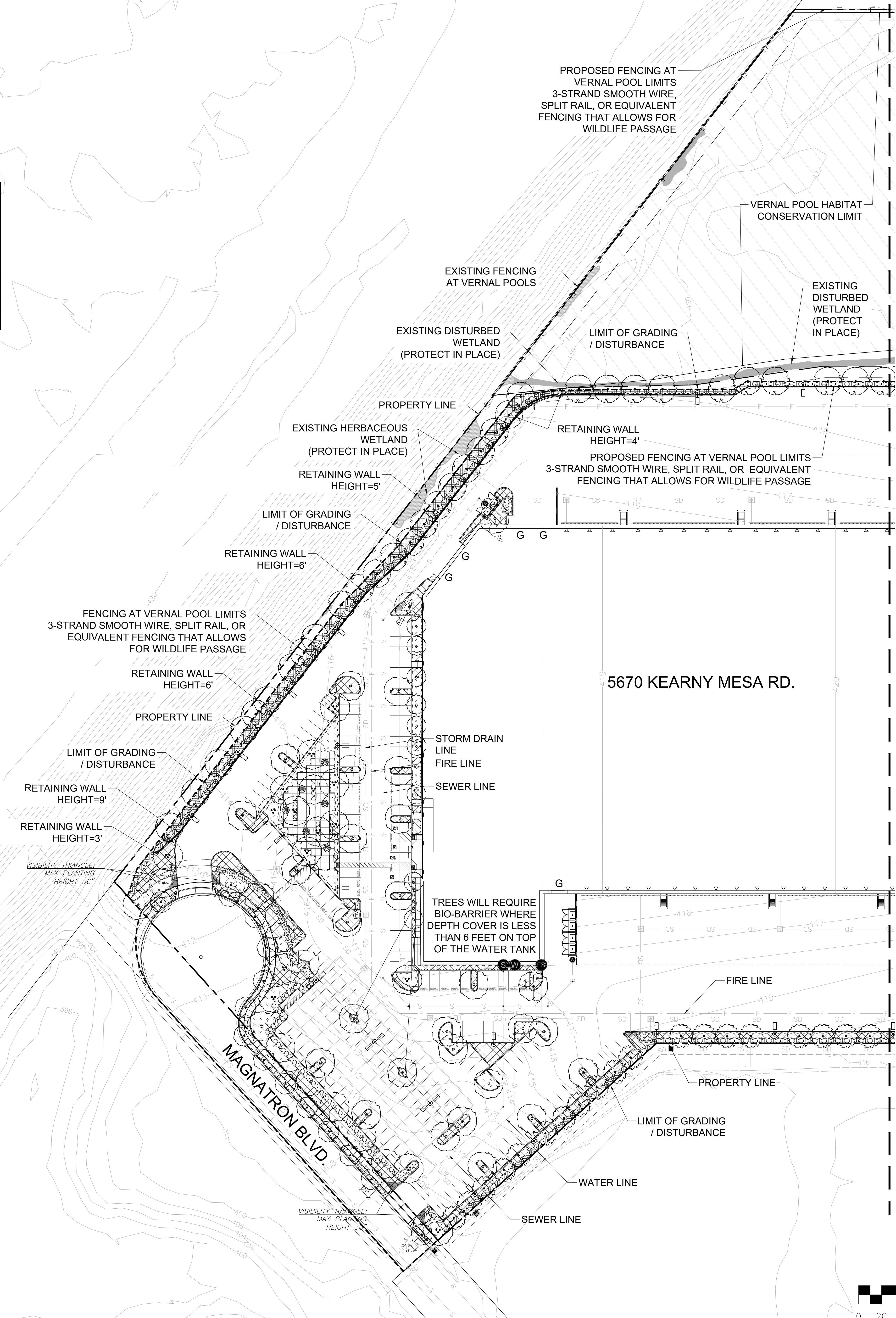
THE LANDSCAPE DESIGN WILL INCORPORATE THE PROPOSED WAREHOUSE BUILDING INTO THE EXISTING BUSINESS PARK. WILL HELP TO ENHANCE THE ARCHITECTURE AND WILL PROVIDE A BUFFER FROM THE FREEWAY TO THE NORTH AND THE EXISTING PROPERTIES TO THE SOUTH. PALO VERDE TREES WILL ACCENTUATE THE DRIVE ENTRIES AND THE OUTDOOR PATIO AREA. WHILE EVERGREEN CANOPY TREES (AFRICAN SUMAC) SHADE THE PARKING AREAS AND HELP TO SOFTEN THE BUILDING FACADE ALONG KEARNY MESA ROAD. EVERGREEN SCREENING TREES (AFGHAN PINE) ALONG THE PERIMETER OF THE PROPERTY HELP TO BUFFER VIEWS FROM HIGHWAY 52 ON THE NORTH AND THE EXISTING BUILDINGS TO THE SOUTH. THE PROPOSED PLANT PALETTE WILL CONSIST OF LOW-MAINTENANCE, DROUGHT-TOLERANT SHRUBS, SUCCULENTS AND ORNAMENTAL GRASSES THAT WILL PROVIDE YEAR-ROUND INTEREST AND SEASONAL COLOR. WITH EVERGREEN SHRUBS TO HELP SCREEN PARKING AND TRUCK SERVICE AREAS. THE EXISTING VERNAL POOLS TO THE EAST WILL BE PROTECTED IN PLACE, AND A LARGE BARRIER HEDGE OF TEXAS RANGER WILL BE USED TO PROVIDE SEPARATION BETWEEN THIS AREA AND THE PROPOSED SITE IMPROVEMENTS. NEW STREET TREES (CHINESE FLAME TREE AND CRAPE MYRTLE) WILL BE PROVIDED ALONG KEARNY MESA ROAD AND MAGNATRON BOULEVARD TO CREATE UNIFORMITY AND ENHANCE THE PROJECT FRONTAGE.

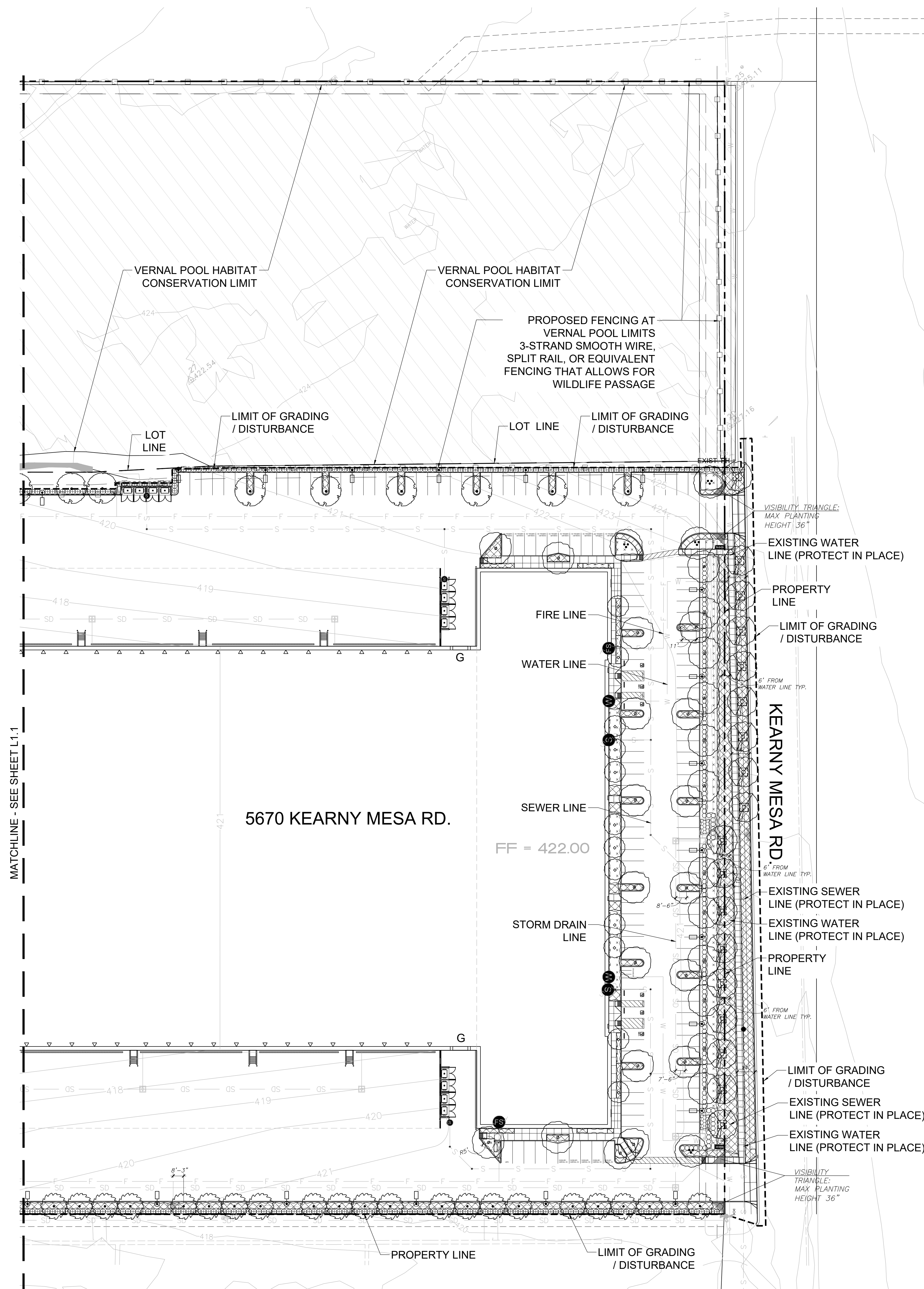
PROPOSED UTILITY LEGEND	
W	WATER LINE
SD	STORM DRAIN LINE
S	SEWER LINE
F	FIRE LINE

FENCING AT VERNAL POOL LIMITS	
	FENCE LINE

NOTE:

SEE ARCHITECTURAL SITE PLAN, SHEET AS1 FOR SIGNAGE DESIGNATING PEDESTRIAN CROSSINGS AND ROUTES OF TRAVEL





MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACE PER THE CONDITIONS OF THE PERMIT.

TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

SEE ARCHITECTURAL SITE PLAN, SHEET AS1
FOR SIGNAGE DESIGNATING PEDESTRIAN
CROSSINGS AND ROUTES OF TRAVEL

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL. LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5).
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.

— W —	WATER LINE
— SD —	STORM DRAIN LINE
— S —	SEWER LINE
— F —	FIRE LINE

FENCE LINE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	COMMENTS	WUCOLS*	MATURE HEIGHT / SPREAD
TREES						
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	36" BOX STD.	BUILDING PERIMETER	LOW	H: 20'-30' S: 10'-20'
	(ALT) PROSOPIS VELUTINA	VELVET MESQUITE			LOW	H: 30' S: 30'
	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	48" BOX MULTI-T. TRUNK	SPECIMEN ACCENT TREE	LOW	H: 15'-20' S: 20'-25'
	PINUS ELДАРICA	AFGHAN PINE	24" BOX STD.	PERIMETER SCREENING	LOW	H: 30'-80' S: 15'-25'
	(ALT) PINUS HALEPENSIS	ALEPPO PINE			LOW	H: 30'-60' S: 20'-40'
	RHUS LANCEA	AFRICAN SUMAC	24" & 36" BOX STD.	PARKING CANOPY	LOW	H: 20'-30' S: 20'-35'
	(ALT) GEIJERA PARVIFLORA	AUSTRALIAN WILLOW			LOW	H: 30' S: 20'

	QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	24" BOX STD.	NATIVE BUFFER / PARKING CANOPY	VERY LOW	H: 20'-70' S: 20'-70'
	PROSOPIA GLANDULOSA 'MAVERICK'	MAVERICK MESQUITE			LOW	H: 25'-35' S: 25'-35'

	KOELREUTERIA PAMICULATA	GOLDENRAIN TREE	24" BOX STD.	STREET TREE	LOW	H: 20'-35" S:25'-40"
	PISTACHE CHINENSIS	CHINESE PISTACHE			MOD	H: 25'-35" S:25'-35"
	LAGERSTROEMIA INDICA 'TUSCARORA'	GRAPE MYRTLE	24" BOX STD.	STREET TREE	MOD	H: 24' S: 25'
	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD			MOD	H: 25'-35" S:25'-35"

	ALOE 'BLUE ELF' - OR- ALOE LUDIKOPPE	BLUE ELF ALOE - LITTLE GEM ALOE	1 GAL / 24" O.C.	SUCCULENT FOREGROUND	LOW	H:1'-2' S:1'-2' -OR- H:1'-2' S:1'-3'
	DANIELLA 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL / 24" O.C.	SMALL FLOWERING	LOW	H: 18"-2' S: 18"-2'
	FESTUCA MAIREI -OR- SESLERIA AUTUMNALIS	ATLAS FESCUE -OR- AUTUMN MOOR GRASS	5 GAL / 30" O.C.	ORNAMENTAL GRASS	LOW	H: 18"-2' S: 18"-2' -OR- H: 1'-2' S: 1'-2'
	LANTANA 'NEW GOLD' -OR- YOPORUM PACIFICUM	NEW GOLD LANTANA -OR- PACIFICUM YOPORUM	5 GAL / 36" O.C.	FLOWERING LOW SHRUB	LOW	H: 1'-11/2" S: 2'-4" -OR- H: 1'-6" S: 1'-12"
	ROSMARINUS 'O' 'PROSTRATUS'	PROSTRATE ROSEMARY	FLATS / 18" O.C.	EVERGREEN GROUNDCOVER	LOW	H: 2' S: 4'-8"

	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL / 36" O.C.	FLOWERING SHRUB	LOW	H: 3' S: 5'
	HEPERALOE PARVIFOLIA -OR- ALOE VERA	RED YUCCA -OR- TRUE ALOE	5 GAL / 36" O.C.	UPRIGHT ACCENT	LOW	H: 3'-4' S: 4'-6' -OR- H: 2'-3' S: 2'-3'
	MULLENBERGIA -OR- MULLENBERGIA E. 'EL TORO'	DEER GRASS -OR- BULL GRASS	1 GAL / 36" O.C.	ORNAMENTAL GRASS	LOW	H: 4'-5' S: 4'-6' -OR- H: 3' S: 3'

○	WESTRINGIA FRUTICOSA -OR- OLEA MONTRA	COAST ROSEMARY -OR- LITTLE OLLIE	5 GAL. / 42" O.C.	EVERGREEN HEDGE	LOW	H: 4'-6" S: 4'-5" -OR- H: 4'-6" S: 4'-6"
---	--	--	----------------------	--------------------	-----	--

	MUHLLENBERGIA RIGENS -OR- ELYMUS CONDENSATUS 'CANYON PRINCE'	DEER GRASS -OR- CANYON PRINCE GIANT RYE GRASS	1 GAL / 36" O.C.	NATIVE ORNAMENTAL GRASS	LOW	H: 5'-3' -OR- H: 2'-3" Z: 3'-3"
	SALVIA MELIFERA -OR- SALVIA APIANA 'COMPACTA'	BLACK SAGE -OR- WHITE SAGE	1 GAL / 36" O.C.	NATIVE FLOWERING SHRUB	VERY LOW	H: 3'-4" Z: 3'-4" -OR- H: 3'-5" Z: 3'-5"
	BACCHARIS BULLARIS 'TWIN PEAKS' -OR- BROOM BACCHARIS SACCHORINES	DWARF COYOTE BUSH -OR- BROOM BACCHARIS	1 GAL / 48" O.C.	NATIVE MEDIUM HEIGHT MOUNDING SHRUB	LOW	H: 2'-3" Z: 4'-8" -OR- H: 1'-3" Z: 4'-6"

⊕	RHUS INTEGRIFOLIA -OR- MALOSMA LAURINA	LEMONADE BERRY -OR- LAUREL SUMAC	5 GAL. / 48" O.C.	NATIVE EVERGREEN HEDGE	LOW	H: 5'-8" S: 4'-6" -OR- H: 3'-4" S: 8'-12"
---	--	--	----------------------	------------------------------	-----	---

	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL. / 24" O.C.	ORNAMENTAL GRASS	LOW	H: 1'-2' S: 1'-2'
---	---------------	----------------------	-------------------	------------------	-----	-------------------

MAGNATRON STREETSCAPE L.F. = 402 LF.
REQUIRED TREES = 13.4
PROVIDED TREES = 14

TOTAL ONSITE LANDSCAPE AREA: 51,265 SF.
TOTAL OFFSITE LANDSCAPE AREA: 10,000 SF.
TOTAL 24" BOX TREES: 138
TOTAL 36" BOX TREES: 63
TOTAL 48" BOX TREES: 20
ONSITE HARDSCAPE AREA: 9375 SF.
OFFSITE HARDSCAPE AREA: 4190 SF.

PREPARED BY:
Name: SCA ARCHITECTURE
Address: 13280 EVENING CREEK DR. SO.
SAN DIEGO, CA 92128
Phone no. (858) 793-4777

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PROJECT NAME:
KEARNY MESA LOGISTICS CENTER

SHEET TITLE:

PROPOSED LANDSCAPE PLAN

Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	September 4, 2020
Revision 2:	MARCH 31, 2020
Revision 1:	JANUARY 15, 2020

Sheet 15 of 18

Sheet 15 of 18

PTS # 649192

BRUSH MANAGEMENT NOTES

DESIGN METHOD:

THE BRUSH MANAGEMENT ZONES DEVELOPED FOR THIS SITE WERE BASED ON THE INFORMATION PROVIDED IN CITY OF SAN DIEGO MUNICIPAL CODE SECTION 142.0412, AS THEY APPLY TO AN EXISTING DEVELOPMENT THAT IS ADJACENT TO NATIVE OR NATURALIZED VEGETATION. THE WIDTH OF ZONE ONE WAS ESTABLISHED AT 35' AS REQUIRED BY TABLE 142-04H (SEE BELOW), EXCEPT WHERE TOPOGRAPHY AND / OR EXISTING CONDITIONS REQUIRED A MODIFIED WIDTH, PURSUANT TO SECTION 142-04(i). IN THESE AREAS, ZONE ONE EXTENDS FROM THE FACE OF THE EXISTING STRUCTURE TO THE EDGE OF THE PROPOSED PAVEMENT, RANGING IN WIDTH FROM 31' TO 80', IN ORDER TO PROVIDE SUFFICIENT DEFENSIBLE SPACE, MINIMIZE IMPACTS TO THE UNDISTURBED NATURALIZED VEGETATION AND PROMOTE THE PUBLIC HEALTH, SAFETY AND WELFARE OF ANY PERSON WORKING IN THE AREA. THE WIDTH OF ZONE TWO WAS ESTABLISHED AT 65' AS REQUIRED BY TABLE 142-04H (SEE BELOW), EXCEPT WHERE TOPOGRAPHY AND / OR EXISTING CONDITIONS REQUIRED A MODIFIED WIDTH, PURSUANT TO SECTION 142-04(i). FOR THIS SITE, ZONE TWO WAS REDUCED TO 12'-6" AT THE NORTHWEST CORNER OF THE BUILDING AND TO 0' AT THE NORTHEAST CORNER OF THE BUILDING IN ORDER TO STAY CLEAR OF THE EXISTING WETLANDS, WHERE ANY DISTURBANCE TO THE EXISTING NATIVE OR NATURALIZED VEGETATION COULD BE DETRIMENTAL TO THE STABILITY OF THE EXISTING GEOLOGY.

TABLE 142-04H
BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTH REQUIRED	MODIFIED ZONE WIDTH PROVIDED
ZONE ONE WIDTH	35 FT.	VARIES FROM 31 FT. - 80 FT.
ZONE TWO WIDTH	65 FT.	VARIES FROM 0 FT. - 12'-6" FT.

ZONE ONE REQUIREMENTS

- THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
- PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
- TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
- ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS. REFER TO BRUSH MANAGEMENT MAINTENANCE PROGRAM NOTES BELOW.

ZONE TWO REQUIREMENTS

- THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
- NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
- WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
- WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
- THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTING. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(a), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
- ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS. REFER TO BRUSH MANAGEMENT MAINTENANCE PROGRAM NOTES BELOW.
- EXCEPT AS PROVIDED IN SECTION 142.0412(i), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

BRUSH MANAGEMENT MAINTENANCE PROGRAM NOTES

ZONE ONE:

BRUSH MANAGEMENT IN ZONE ONE SHALL OCCUR ON A MONTHLY BASIS, AT MINIMUM, AS A PART OF THE REGULAR MAINTENANCE PROGRAM FOR THE PROPERTY, AND SHALL INCLUDE THE FOLLOWING:

- PRUNING AND THINNING OF FOLIAGE AS NECESSARY TO REMOVE DEAD OR DAMAGED GROWTH, MAINTAIN THE FORM AND STRUCTURE OF THE PLANT MATERIAL, AND TO ENCOURAGE STRONG, HEALTHY GROWTH.
- CUTTING BACK GROUNDCOVERS, PERENNIALS AND GRASSES, AS APPROPRIATE FOR RENOVATION, ON A SEASONAL BASIS.
- CONTROLLING THE GROWTH OF WEEDS.
- OBSERVING IRRIGATION SYSTEMS AND REPAIRING OR REPLACING ANY DEFECTIVE OR MALFUNCTIONING COMPONENTS, ADJUSTING SYSTEM TO PROVIDE FULL COVERAGE WHILE PREVENTING OVERSPRAY, AND CHECKING FOR PROPER OPERATION OF AUTOMATIC CONTROLLER(S), VALVES AND RELATED EQUIPMENT.

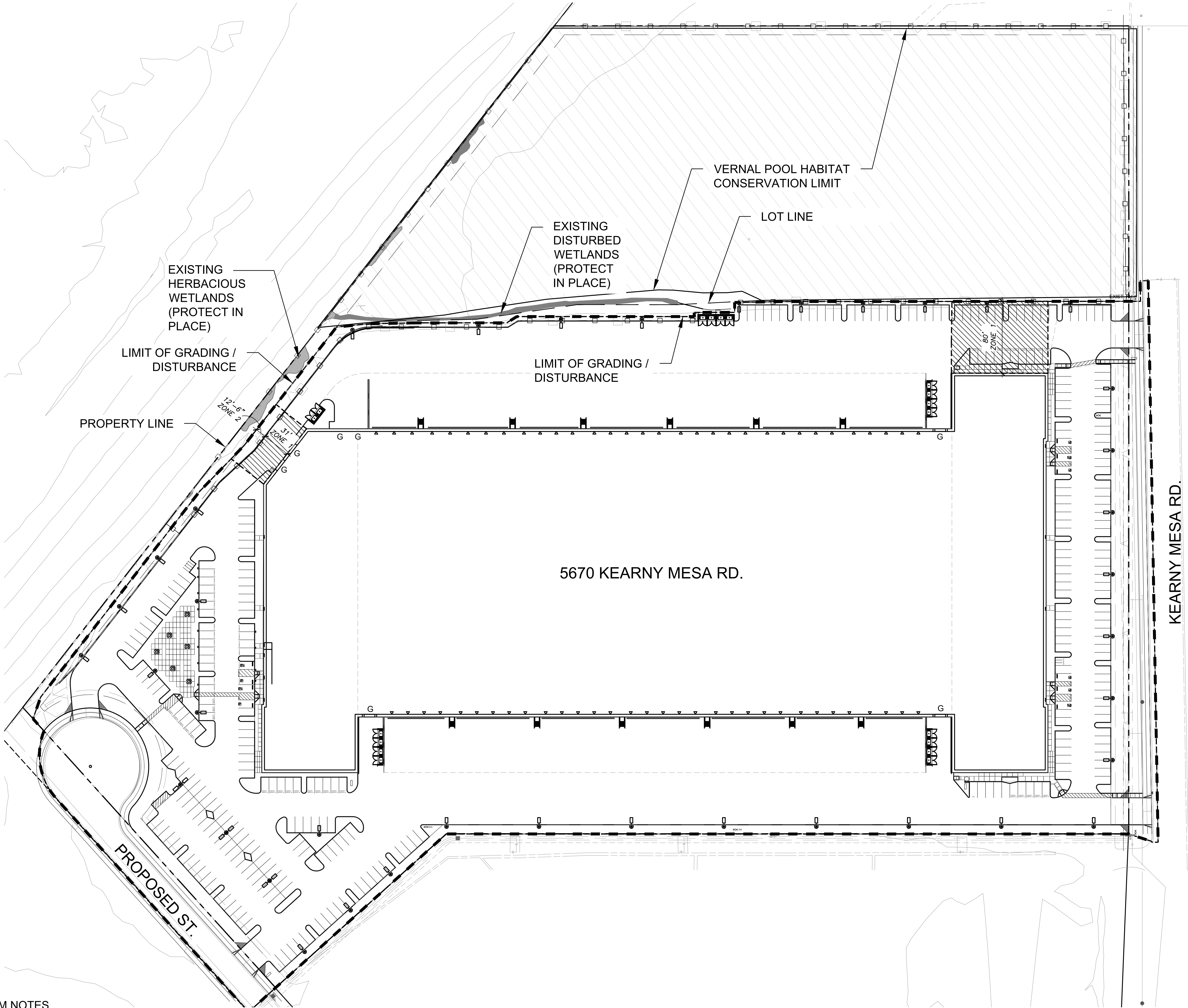
ZONE TWO:

BRUSH MANAGEMENT IN ZONE TWO SHALL OCCUR TWICE A YEAR, ONCE IN LATE FALL AND AGAIN IN EARLY SPRING, AND SHALL INCLUDE THE FOLLOWING:

- PRUNING AND THINNING OF FOLIAGE ONLY AS NECESSARY TO REMOVE DEAD OR DAMAGED GROWTH AND TO MAINTAIN THE FORM AND STRUCTURE OF THE PLANT MATERIAL.
- REMOVAL OF ALL INVASIVE SPECIES, INCLUDING BUT NOT LIMITED TO PAMPAS GRASS, STAR THISTLE, CASTOR BEAN PLANT AND ARUNDO DONAX.
- CONTROLLING THE GROWTH OF WEEDS.

RESPONSIBLE PARTIES:

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR SCHEDULING AND MONITORING THE MAINTENANCE WITHIN THE BRUSH MANAGEMENT ZONES. ALL LANDSCAPING / BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONE(S) AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF CH REALTY VII LPC I SAN DIEGO KEARNY MESA, L.P. THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.



BRUSH MANAGEMENT IMPLEMENTATION

ZONE ONE:

THE PROJECT IS PROVIDING A MODIFIED ZONE OF 31' AT NORTHWEST CORNER OF THE BUILDING AND A MODIFIED ZONE OF 80' AT THE NORTHEAST CORNER. PROJECT SITE TO BE MAINTAINED IN A ZONE ONE CONDITION. BRUSH MANAGEMENT ZONE ONE WILL CONSIST OF PAVING AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING ONLY. BRUSH MANAGEMENT IMPLEMENTATION WITHIN ZONE ONE SHALL ADHERE TO THE REQUIREMENTS OF THE THE CITY OF SAN DIEGO MUNICIPAL CODE SECTION 142.0412, AND WILL INCLUDE ALL ITEMS LISTED IN THE BRUSH MANAGEMENT NOTES ABOVE.

ZONE TWO:

BRUSH MANAGEMENT ZONE TWO AT NORTHWEST CORNER OF BUILDING WILL BE LOCATED BETWEEN THE EDGE OF ZONE ONE AND 12'-6" TO EDGE OF WETLAND AND AT THE NORTHEAST CORNER THERE IS NO ZONE TWO AS SHOWN ON THE PLAN. THIS ZONE WILL CONSIST OF PERMANENTLY IRRIGATED ORNAMENTAL PLANTING, NATIVE AND NATURALIZED VEGETATION ONLY. BRUSH MANAGEMENT IMPLEMENTATION WITHIN ZONE TWO SHALL ADHERE TO THE REQUIREMENTS OF THE THE CITY OF SAN DIEGO MUNICIPAL CODE SECTION 142.0412, TO THE EXTENT POSSIBLE, AND WILL INCLUDE ALL ITEMS LISTED IN THE BRUSH MANAGEMENT NOTES ABOVE.

PREPARED BY:

Name: SCA ARCHITECTURE

Address: 13280 EVENING CREEK DR. SO.
SAN DIEGO, CA 92128

Phone no. (858) 793-4777

Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	September 4, 2020
Revision 2:	MARCH 31, 2020
Revision 1:	JANUARY 15, 2020

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PROJECT NAME:
KEARNY MESA LOGISTICS CENTER

SHEET TITLE:

BRUSH MANAGEMENT PLAN

Original Date: OCTOBER 1, 2019

Sheet 17 of 18

PTS # 649192

Issue Dates

Planning	10.01.2019
Design Development	-
Plan Check	-
Bid Set	-
Permit Set	-
Construction Set	-

Drawing Date 09-4-20

Check By RS

Drawn By RGMQ

Scale AS NOTED

Job Number 13013.555

Sheet Number

L3.1

KEARNY MESA
LOGISTICS CENTER
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PTS # 649192

sca

©2020 SCA ARCHITECTURE

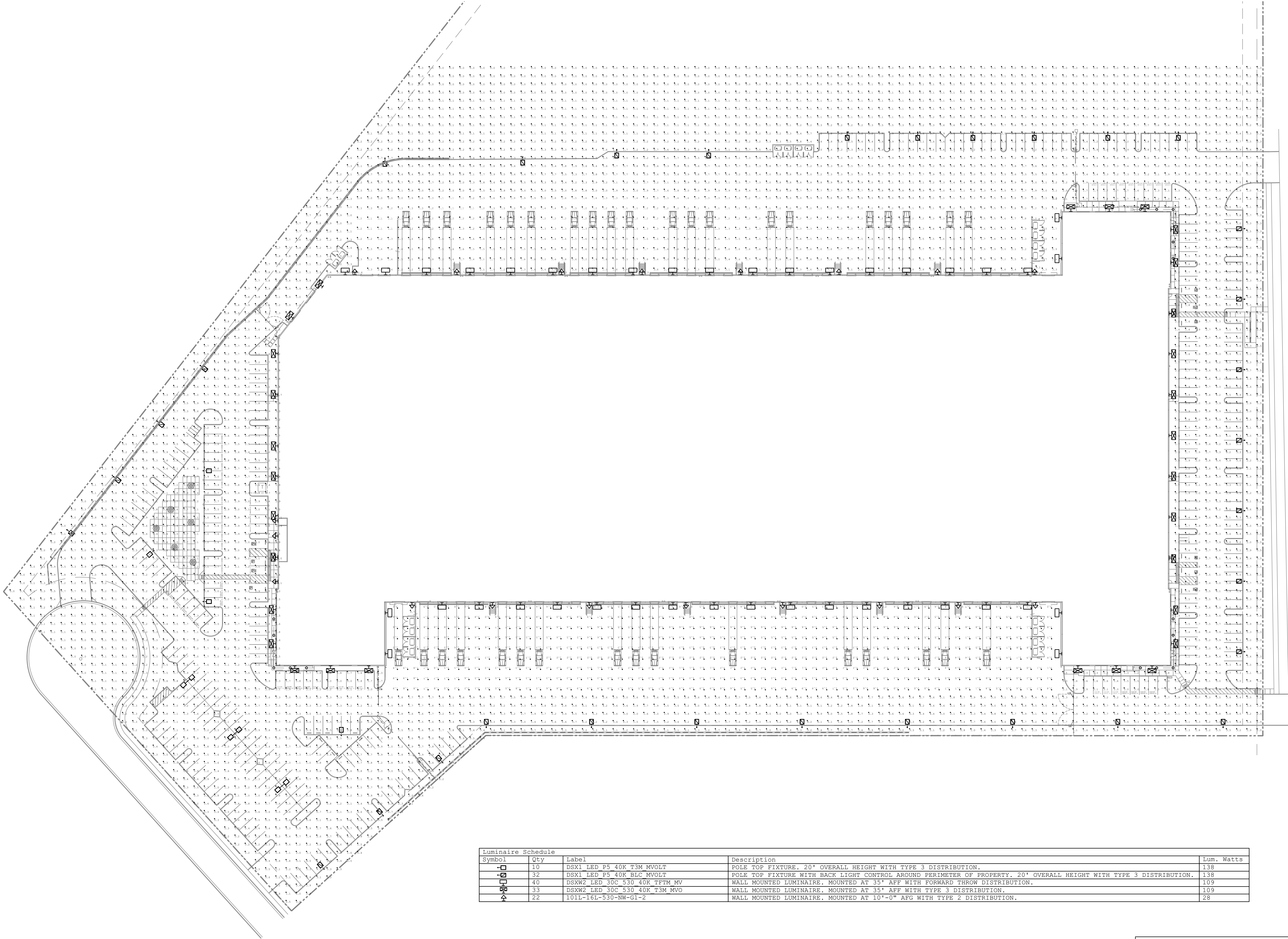
13280 Evening Creek Drive South | Suite 125
San Diego, CA 92128
858.793.4777 | sca-sd.com

A R C H I T E C T U R E

KEARNY MESA
LOGISTICS CENTER
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PTS # 649192

Issue Dates	
Planning	10.01.2019
Design Development	-
Plan Check	-
Bid Set	-
Permit Set	-
Construction Set	-
Drawing Date	09-04-20
Check By	RT
Drawn By	WD
Scale	AS NOTED
Job Number	13013.555
Sheet Number	E1



1 SITE LIGHTING PHOTOMETRIC PLAN
1" = 40'-0"

MICHAEL WALL ENGINEERING
858-638-0600
858-638-0640 (fax)
www.mwalleng.com
4115 Sorrento Valley Blvd.
San Diego, CA 92121
REGISTERED ELECTRICAL ENGINEERS

PREPARED BY:
Name: SCA ARCHITECTURE
Address: 13280 EVENING CREEK DR. SO.
SAN DIEGO, CA 92128
Phone no. (858) 793-4777

PROJECT ADDRESS:
5670 KEARNY MESA ROAD
SAN DIEGO, CA 92111

PROJECT NAME:
KEARNY MESA LOGISTICS CENTER

SHEET TITLE:

Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	SEPTEMBER 04, 2020
Revision 2:	MARCH 31, 2020
Revision 1:	JANUARY 15, 2019
Original Date:	OCTOBER 1, 2019
Sheet 18 of 18	
PTS # 649192	