



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 8, 2021 REPORT NO. HO-21-058

HEARING DATE: December 15, 2021

SUBJECT: 8553 LA JOLLA SHORES DRIVE, Process Three Decision

PROJECT NUMBER: [672419](#)

OWNER/APPLICANT: Bruce Lightner and Sherri Lightner, as Trustee(s) of the Lightner Trust dated 01/13/94/ Skip Reichenberg

SUMMARY

Issue: Should the Hearing Officer approve construction of a 1,200 square-foot companion unit and 474 square-foot garage located at 8553 La Jolla Shores Drive within the La Jolla Community Planning area?

Staff Recommendation(s):

1. Approve Coastal Development Permit No. 2461887 and Site Development Permit No. 2586653.

Community Planning Group Recommendation: On March 7, 2021, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the proposed project without any conditions.

La Jolla Shores Planned District Advisory Board: On March 17, 2021, the La Jolla Shores Advisory Board voted 3-1-0 to recommend approval of the proposed project.

Environmental Review: This Project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 23, 2021, and the opportunity to appeal that determination ended on October 7, 2021.

BACKGROUND

The 0.44-acre site is located at 8553 La Jolla Shores Drive and is developed with a 3,061 square-foot single-family dwelling unit within an established residential area in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The site is in the La Jolla Shores Planned District-Single Family zone, the Coastal (Non-Appealable) Overlay Zone, Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone (Attachments 1-3).

The existing structure is more than 45 years old, requiring City staff to evaluate the proposal for historic significance in accordance with San Diego Municipal Code (SDMC) section [143.0212](#). Staff determined that the existing structure does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The project is within the Coastal Overlay Zone and requires a Coastal Development Permit pursuant to SDMC section [126.0702](#), and a Process Three, Site Development Permit is required pursuant to SDMC section [1510.0201](#). The discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in SDMC section [112.0103](#). Therefore, the decision to approve, conditionally approve, or deny the project will be made by the Hearing Officer and is appealable to the Planning Commission.

DISCUSSION

The project proposes the construction of a 1,200 square-foot detached companion unit above a 474 square-foot garage, for a total of 1,674 square-feet. The properties surrounding the project site are one and two-story homes with a variety of architectural features inclusive of a companion unit on the property. As required by the La Jolla Shores Planned District, a neighborhood survey of the existing development pattern and bulk and scale was submitted for the analysis of the project. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed companion unit and garage were determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned District Ordinance Single Family Zone (LJSPD-SF), including building height of 25 feet, which is below the 30-foot height limit. No deviations or variances are required.

The project conforms with the development regulations of the LJSPD-SF Zone, and the Coastal Overlay Zone, and is consistent with the land use designation of single-family residential development (0-5 DU/AC) in the Community Plan. An existing single dwelling unit will remain on site and the proposed companion unit does not count towards the allowable density, thus the project is in conformity of the land use designation and will not exceed the prescribed density of the area. The project site is not located within the First Public Roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan.

The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include entering into an Encroachment Maintenance Removal Agreement for the landscape and irrigations located within the City's right-of-way and the preparation of a Water Pollution Control Plan (WPCP).

The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA), and does not contain any other type of Environmentally Sensitive Lands (ESL) as defined in SDMC section [113.0103](#) and was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, Existing Facilities.

CONCLUSION

City staff has reviewed this application for a Coastal Development Permit and Site Development Permit, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2461887 and Site Development Permit No. 2586653, with modifications.
2. Deny Coastal Development Permit No. 2461887 and Site Development Permit No. 2586653, if the findings required to approve the project cannot be affirmed.

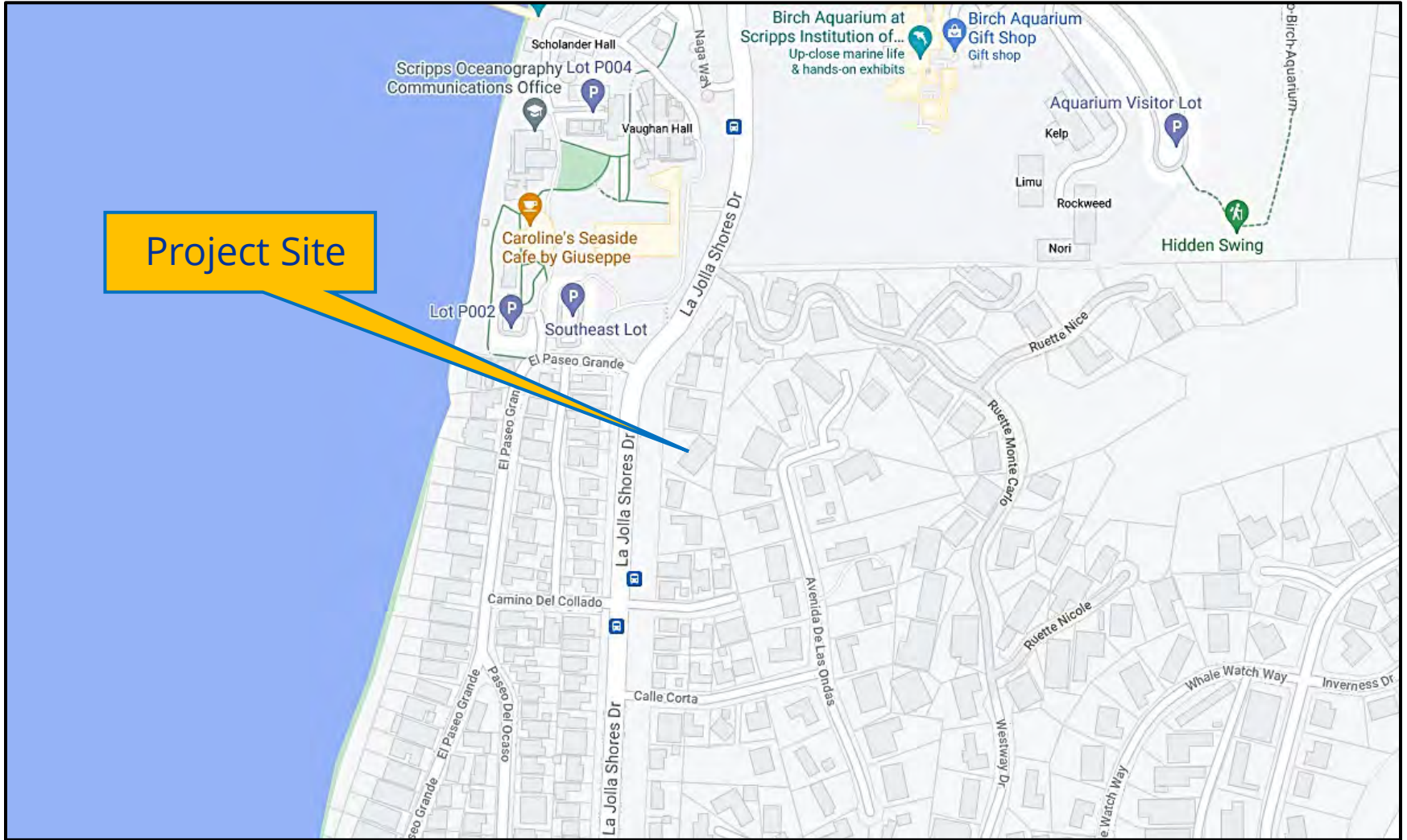
Respectfully submitted,



Denise Vo, Development Project Manager

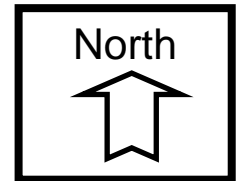
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Group Recommendation
7. La Jolla Shores Planned District Advisory Board
8. Ownership Disclosure
9. Project Plans



Project Location Map

8553 Lj Shores Dr. / 8553 La Jolla Shores Drive
PROJECT NO. 672419





- Legend**
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities
- E** Elementary School
 - J** Junior High School
 - H** High School
 - S** School
 - L** Library
 - F** Fire Station
 - PO** Post Office



Project Site

Community Land Use Map



La Jolla Community Plan
City of San Diego - Planning Department



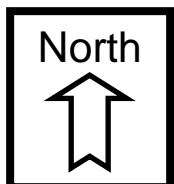
Figure 1

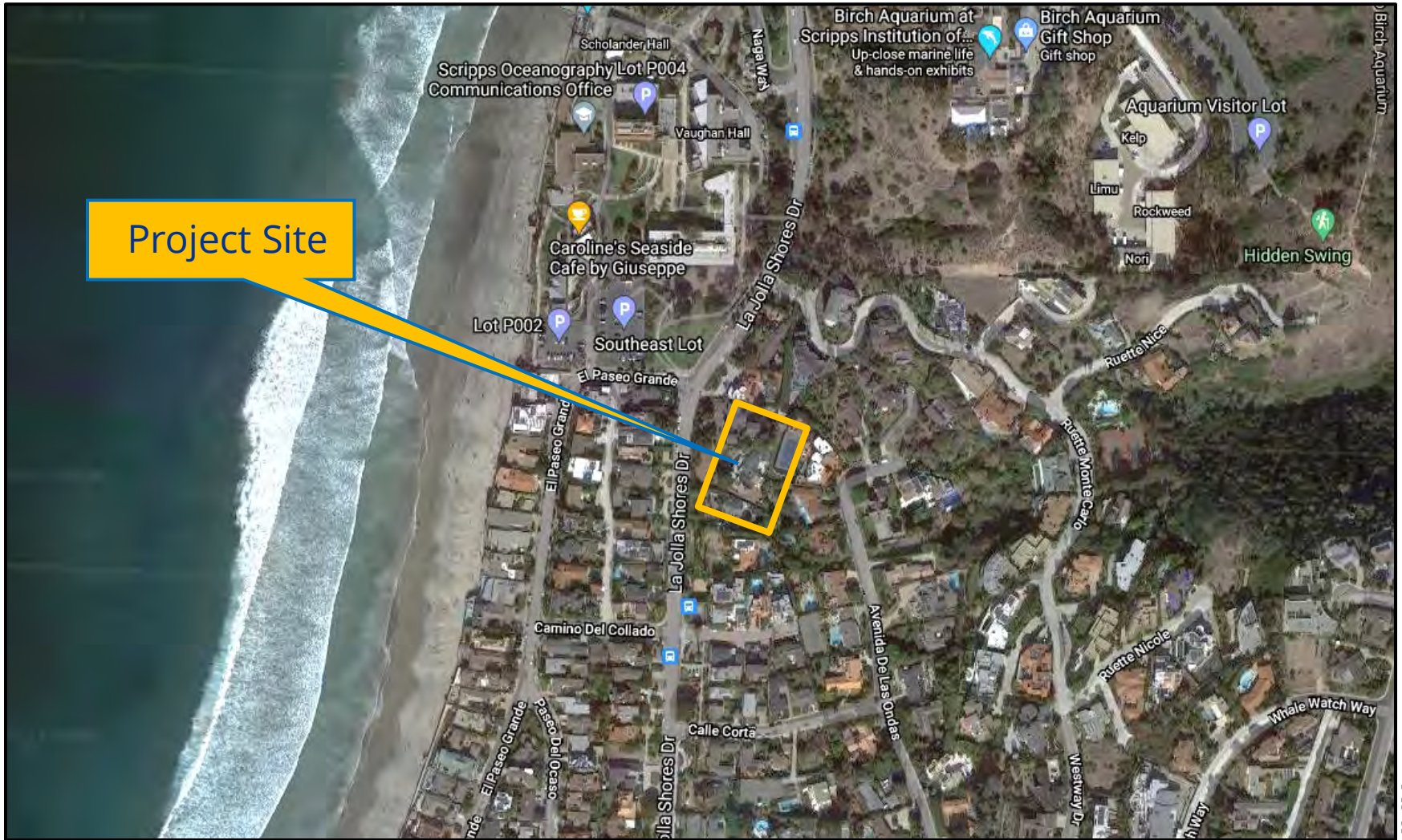
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Land Use Map

8553 LJ Shores Dr. / 8553 La Jolla Shores Drive
PROJECT NO. 672419





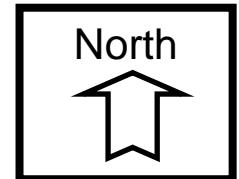
Project Site



Aerial Photo

8553 Lj Shores Dr. / 8553 La Jolla Shores Drive

PROJECT NO. 672419



HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. 2586653
COASTAL DEVELOPMENT PERMIT NO. 2461887
8553 LA JOLLA SHORES DRIVE PROJECT NO. 672419

WHEREAS, BRUCE D. LIGHTNER AND SHERRI S. LIGHTNER, Trustee(s) of the Lightner Trust dated 01/13/94, Owner/Permittee, filed an application with the City of San Diego for a permit for a companion unit and garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 2586653 and Coastal Development Permit No. 2461887), on portions of a 0.44-acre site;

WHEREAS, the project site is located at 8553 La Jolla Shores Drive in the La Jolla Shores Planned District-Single Family zone, the Coastal (Non-Appealable) Overlay Zone, Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone within the La Jolla Community Plan;

WHEREAS, the project site is legally described as all those portions of Lot 1297, Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to map by James Pascoe in 1890, copy of said map was filed in the office of the county recorder of San Diego County November 14, 1921 and is known as miscellaneous Map No. 36 Parcel 1 and 2. Excepting from Parcels 1 and 2 above those portions thereof lying within the boundaries of land conveyed to Roy B. Klapper and wife, by deed dated September 10, 1953 and recorded in book 5019, page 487 of official records.;

WHEREAS, on December 15, 2021 the Hearing Officer of the City of San Diego considered Site Development Permit No. 2586653 and Coastal Development Permit No. 2461887 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on September 23, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code

Section 21000 et seq.) under CEQA Guideline Section 15301; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2586653 and Coastal Development Permit No. 2461887:

A. SITE DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed project (project) is located at 8553 La Jolla Shores Drive and is developed with an existing one-story, single-family residence within an established residential area in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project proposes a 1,200 square-foot detached companion unit above a 474 square-foot garage, for a total of 1,674 square feet.

The La Jolla Community Plan identifies the project site as Very Low Density Residential (0-5 du/ac). An existing single dwelling unit will remain on site and the proposed companion unit does not count towards the allowable density, thus the project is in conformity of the land use designation and will not exceed the prescribed density of the area. The project site is surrounded by single-family residences and is not located within the first public roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan. In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public accessway identified in the Community Plan. The project complies with the development standards required by the underlying LJSPD-SF Zone regulations including height, density, building setbacks, floor area ratio, and lot coverage.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development is consistent with the relevant SDMC, policies, and regulations whose primary focus is the protection of the public's health, safety, and welfare. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of SDMC in effect for this project. Conditions included, but not limited to,

an Encroachment Maintenance Removal Agreement for items in the city right-of-way and a Water Pollution Control Plan (WPCP). Such conditions within the permit have been determined necessary to avoid adverse impact upon the public health, safety, and general welfare of persons residing or working in the surrounding area.

The project shall comply with the development conditions in effect for the subject property and other regulations and guidelines pertaining to the subject property per the SDMC. Such conditions within the permit have been determined necessary to avoid adverse impact upon the public health, safety, and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property and other regulations and guidelines pertaining to the subject property per the SDMC

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed project was determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned District Ordinance Single Family Zone (LJSPD-SF), including a building height of 25 feet, which is below the 30-foot height limit. Further, the La Jolla Community Plan states that in order to promote transitions in scale between new and older structures, it is recommended to create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The proposed companion unit acknowledges this recommendation by providing the offsetting planes and building articulation to avoid a box-like structure and promote a transition between the existing structure on site. No deviations or variances are required. Therefore, the project will comply with the regulations of the Land Development Code.

B. COASTAL DEVELOPMENT PERMIT DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project (project) is located at 8553 La Jolla Shores Drive and is developed with an existing one-story, single-family residence within an established residential area in

the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project proposes 1,200 square-foot detached companion unit above a 474 square-foot garage, for a total of 1,674 square feet.

The project site is located approximate 0.1 mile from the Pacific Ocean, is not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in the Community Plan. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed additions were determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned District Ordinance Single Family Zone (LJSPD-SF), including a building height of 25 feet, which is below the 30-foot height limit.

The La Jolla Community Plan states that in order to promote transitions in scale between new and older structures, it is recommended to create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The proposed companion unit acknowledges this recommendation by providing the offsetting planes and building articulation to avoid a box-like structure and promote a transition between the existing structure on site. Further, the proposed companion unit is allowed to encroach into required setbacks, however, complies with the bulk and scale comparisons within the neighborhood by stepping back the upper floor away from the property line. This allows for light and air to pass through and avoids bulky structures at that location. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program Land Use Plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site does not contain and is not adjacent to any sensitive biological resources, sensitive coastal bluffs, steep hillsides, or special flood hazard areas, and is not located within or adjacent to the City's Multiple Species Conservation Program/Multiple Habitat Planning Area. Therefore, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Community Plan designates the site for low residential development allowing 0 to 5 dwelling units per acre (du/ac). The project proposes a companion unit which

does not count towards the allowable density and the project does not exceed the prescribed density of the area, thus is consistent with the land use designation and complies with the allowable density. Policy #1 within the La Jolla Community Plan states that residential designations maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density. The project adheres to this policy by not exceeding the density and proposing an accessory structure.

The property is not located between the sea and the first public roadway paralleling the sea and does not impact any view corridor, intermittent or partial vistas, view sheds or scenic overlooks as identified in the adopted Community Plan. The proposed project is located within the existing disturbed and developed site and is designed in conformance with the LJSPD-SF Zone development regulations, including required setbacks, floor area ratio, and height; it is also consistent with the bulk, scale, and style of the surrounding community. To promote transitions in scale between new and older structures, it is recommended to create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The proposed companion unit acknowledges this recommendation by providing the offsetting planes and building articulation to avoid a box-like structure and promote a transition between the existing structure on site. Further, the proposed companion unit is allowed to encroach into required setbacks, however, complies with the bulk and scale comparisons within the neighborhood by stepping back the upper floor away from the property line. This allows for light and air to pass through and avoids bulky structures at that location. The proposed building height is 25 feet, which is below the allowed 30-foot height limit.

The project site, located approximate 0.1 miles east of the Pacific Ocean, is not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in the Community Plan.

The project meets all applicable regulations and policy documents, and is consistent with the land use designation, design guidelines, and development standards for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located approximately 0.1 miles east of the Pacific Ocean and not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in Figure 9 of the Community Plan. The project will be developed entirely within private property and will not adversely impact any public recreation opportunities. Therefore, the project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 2471986 and Coastal Development Permit No. 2554358 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 2586653 and Coastal Development Permit No. 2461887, a copy of which is attached hereto and made a part hereof.

Denise Vo
Development Project Manager
Development Services

Adopted on December 15, 2021

IO#: 24008735

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004543

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2461887
SITE DEVELOPMENT PERMIT NO. 2586653
8552 LJ SHORES DRIVE - PROJECT NO. 672419
DEVELOPMENT SERVICES DEPARTMENT

This Coastal Development Permit No. 2461887 and Site Development Permit No. 2586653 is granted by the Development Services Department of the City of San Diego to BRUCE D. LIGHTNER and SHERRI S. LIGHTNER, as Trustee(s) of the Lightner Trust dated 01/13/94, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0502 and 126.0702. The 0.44 -acre site is located at 8553 La Jolla Shores Drive in the La Jolla Shores Planned District-Single Family zone, the Coastal (Non-Appealable) Overlay Zone, Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone within the La Jolla Community Plan area. The project site is legally described as: All those portions of Lot 1297, Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to map by James Pascoe in 1890, copy of said map was filed in the office of the county recorder of San Diego County November 14, 1921 and is known as miscellaneous Map No. 36 Parcel 1 and 2. Excepting from Parcels 1 and 2 above those portions thereof lying within the boundaries of land conveyed to Roy B. Klapper and wife, by deed dated September 10, 1953 and recorded in book 5019, page 487 of official records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to construct a detached companion unit and garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 15, 2021, on file in the Development Services Department.

The project shall include:

- a. A 1,200 square-foot detached companion unit above a 474 square-foot garage; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 30, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

CLIMATE ACTION PLAN REQUIREMENTS:

10. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the landscape and irrigations located within the City's right-of-way, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

13. The companion unit may not be sold or conveyed separately from the primary dwelling unit.

14. The companion unit shall not be used for a rental term of less than 30 consecutive days.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

ATTACHMENT 5

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 15, 2021 and [Approved Resolution Number].

DRAFT

ATTACHMENT 5

COASTAL DEVELOPMENT PERMIT NO. 2461887
SITE DEVELOPMENT PERMIT NO. 2586653
Date of Approval: December 15, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Denise Vo
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**


The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**TRUSTEE(S) OF THE LIGHTNER,
TRUST DATED 01/13/94**
Owner/Permittee

By _____
Bruce D. Lightner
Owner

By _____
Sherri S. Lightner
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Page 3		City of San Diego · Information Bulletin 620		May 2020
		City of San Diego Development Services		Community Planning Committee Distribution Form
Project Name: 8553 La Jolla Shores Dr.			Project Number: 672419	
Community: La Jolla				
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>				
<input checked="" type="radio"/> Vote to Approve <input type="radio"/> Vote to Approve with Conditions Listed Below <input type="radio"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="radio"/> Vote to Deny				
# of Members Yes	# of Members No	# of Members Abstain		
14	0	1		
Conditions or Recommendations: Approved on Consent 3/4/21				
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				
NAME: Suzanne Weissman				
TITLE: Secretary, LJCPA			DATE: March 07, 2021	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>				



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

APPROVED Meeting Minutes for March 17, 2021

615 Prospect Street Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Jane Potter	Present	Herbert Lazerow	Present
Andrea Moser	Present	Suzanne Weissman	Present

1. Call to Order: 10:00 a.m.

Potter called the meeting to order at 10:00 a.m.

2. Approval of the Agenda:

Lazerow moved to approve, Moser seconded. Motion passed 4-0-0.

3. Non-agenda public comment:

Staff reported no non-agenda public comment was received.

4. Approval of the minutes for February 17, 2021

Lazerow said Project 1 should be Project A. The Moser's comment on air conditioning should read air conditioning for living. Next line regarding articulation and following line are confusing. On page 3, under Board Comment, third and fourth bullets are redundant. On the 8405 Paseo del Ocaso property the motion should read the board's final recommendation was to approve as revised as long as there are no street trees on Camino del Oro.

5. Project Review:

ACTION ITEM A – PTS 672419 – 8553 La Jolla Shores Drive ADU SDP/CDP

Location: 8553 La Jolla Shores Drive

APN: 346-110-17-00

ATTACHMENT 7

Description: Proposal for a new 1,200 sf detached Accessory Dwelling Unit with new 474 sf garage on a 0.44-acre lot. The Applicant is seeking a recommendation of approval for a Site Development Permit and Coastal Development Permit from the Advisory Board.

Presented by: Skip Reichenberg, skipr@marrokal.com, (619) 457-735

Presentation:

- Presenter described first floor having garage, two bedrooms and bath
- Second floor has great room, kitchen, dining room and deck, and master suite
- Board and batten with stucco exterior finish blends in with neighboring properties
- Windows face west for privacy of neighbors
- ADU is placed at south east of site to minimize views of the ADU
- Bamboo to be re-planted to screen project from neighbor

Comments and discussion from the Advisory Board included:

- ADU's are desirable and this project is attractive
- Question asked as to whether the property does not need to have windows. Presenter responded there are no windows, per fire regulations
- Configuration of ADU thought to be 'weird'. Chain link fence 50 feet from La Jolla Shores Dr. demarcates area that is not part of the subject property
- If the proposal is legal then the board should approve
- Closeness of proposal to both property lines and lack of second-story step back on proposed ADU are issues

Public Comment:

- Merten were received
- Concern over location, bordering neighbor's property, jammed against their property line with a solid two-story stucco wall
- Presenter said large portion of property is public Right-of-Way with access easements
- Lights, windows, doors, and bamboo removal are all privacy issues for neighbor and interfere with enjoyment of neighbor's garden
- Question raised as to whether applicant owns adjacent property to south. Response was "yes."
- The project's Location on property line is not considered a desirable design
- Project minimizes impact to neighbor's coastal views, per applicant
- Outreach to neighbors was made with no response
- Not all the bamboo is to be removed, per applicant

Motion:

Moser moved to approve project as presented. Potter seconded. Motion failed 3-1-0. No other motions were offered resulting in no recommendation from the Advisory Board as 4 affirmative votes are required to pass a motion by the Advisory Board.

6. ACTION ITEM B – PTS 670093– Barba/Lowther Residence SDP/CDP

Location: 8561 El Paseo Grande

APN: 346-090-20-00

Description: Proposal for the demolition of an existing 3,044 sf house and construction of a 5,804 sf two-story single family dwelling on a 0.15-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Presented by: Claude-Anthony Marengo, CAMarengo@M2A.io, (619) 4417-1111

Presentation:

- Presenter reviewed changes to project, including lowering project below the existing grade to create lower overall height, by four feet, plus increase step back of two feet for second story
- Other changes included reduced rear setback with addition of planter
- Though FAR was unchanged, bulk and scale were reduced by lowering building into site, thus keeping project more in conformity with neighbors

Public Comment:

- Neighbor reported not being noticed of proposal. Presenter said they hired a third party and gave a list to the City for noticing
- Bulk and scale are not compatible with neighboring structures
- Drainage is a problem in area with nearby storm drain. Presenter said water was per City SD discharge regulations
- Earthquake fault runs down street
- Basement should be included in total FAR and CDP/SDP findings cannot be made

Comments and discussion from the Advisory Board included:

- Changes based on previous board comment have resulted in a good project
- Clarification requested whether reduced height would make project shorter than houses on either side. Presenter said the new design is 4 feet shorter than previous. Project is taller than building to left but equal to building on right

ATTACHMENT 7

- Request for clarification on the reduced setback from street. Applicant responded that the setback was reduced approximately about 5 feet equal to neighboring properties
- Request for previous FAR. Applicant responded that the FAR was .65 with lot coverage of 45%
- Front would be 26 feet from property line
- Since most bulk is at rear of property inclination is to support

Motion:

Potter moved to approval as revised. Moser seconded. Motion passed 4-0-0

7. ACTION ITEM C – PTS 589178 – Lookout Lot – Lot 2 SDP/CDP

Location: 7729 Lookout Drive

APN: 352-012-17-00

Description: Proposal for a new 3,849 sf single-family dwelling, 507 sf garage, and 1,011 sf full basement of a 0.12-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Presented by: Tony Crisafi/Nick Wilson, nwilson@islandarch.com, (858) 459-9291

Presentation:

- Design was reconfigured and lowered in height to address neighbor's view issue
- Project is two stories
- Proposed landscaping between proposal and adjacent historic house
- Side elevations are articulated
- Small covered terrace on side yard
- Monterey style architecture with simple detailing, including rafter tails and wood posts with cedar front and garage doors
- Rear elevation steps back
- Thirty percent landscaping coverage
- Sixty percent lot coverage compliance
- Rear setback increased from 4 to 7.3 feet
- FAR decreased from .79 to .75

Public Comment:

- Staff said comment received for Lot 2 and Lot 5
- Susan McKean protested discussing Lot 5
- Presenter asked for point of order on why discussion being protested
- Chair opined more efficient to discuss both projects and then take public comment

8. Action Item D –PTS 482904 – Lookout Lot – Lot 5 SDP/CDP

Location: 7813 Lookout Drive

APN: 352-012-20-00

Description: Proposal for a new 4,900 sf single family dwelling which includes partial basement on a 0.12-acre site. Click [HERE](#) to view Attachment 4 on the City's website. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Presented by: Tony Crisafi/Nick Wilson, nwilson@islandarch.com, (858) 459-9291

Presentation:

- Building pushed 5 feet into grade on sloping lot
- Two-car garage at street level
- Upper level of house also pushed into lot
- Flat red tiled sloping roof, rafter tail detail
- House, and kitchen tucked into site with entry set back
- Walls articulated
- FAR is .53
- Landscaping ratio is 35 percent
- Building coverage is 53 percent where 60 percent allowed

Public Comment:

- Staff cited several comments received, as well as commenters present at meeting
- Neighbor requested applicant return for future consideration

Board Comment:

- Member requested tabling project with request that applicant provide complete plans
- Presenter said applicant may forego consideration by the board, as the project has previously received extensive review as well as with neighbors. The applicant may just move ahead with a City review.
- Staff responded that is the applicant's right and that they would need to explain to the decision maker at the City
- Member asked if board could make a decision without applicant's presence. Staff responded in affirmative, but urged applicant's presence for inclusivity reasons
- Presenter said complete plans were provided on the City website

Motion:

Lazerow moved to table project with or without applicant. Weissman seconded.

ATTACHMENT 7

Passed 4-0-0

Next meeting date: April 21, 2021.

Adjournment: 12:19 p.m.

Minutes taken by Tony Kempton, Associate Planner, Planning Department



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____

Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

SPECIAL INSPECTIONS REQUIRED

N/A

PROJECT SUMMARY

LIGHTNER Residence - Companion Unit

8553 La Jolla Shores Drive, La Jolla, CA 92037

BUILDING AREA TABULATION

Existing Floor Area =	3,061 Sq. Ft.
Total (E) Living Area =	3,061 Sq. Ft.
Existing Garage =	564 Sq. Ft.
Total (E) Building Area =	3,625 Sq. Ft.
Proposed C.U. 1st Floor Area =	474 Sq. Ft.
Proposed C.U. 2nd Floor Area =	726 Sq. Ft.
Total C.U. Living Area =	1,200 Sq. Ft.
Proposed Garage =	474 Sq. Ft.
Total Proposed Building Area =	1,674 Sq. Ft.
Total (E) Building Area =	3,625 Sq. Ft.
Total Proposed Building Area =	1,674 Sq. Ft.
Total Adjusted Building Area =	5,299 Sq. Ft.

Area of Interior Remodel =	0 Sq. Ft.
Floor Area Ratio = 60%	
Existing FAR = 19%	
Proposed FAR = 5,299 s.f. % 19,181 s.f. = 27.6%	
Max. Lot Coverage = 60%	
Existing Lot Coverage = 19%	
Proposed Lot Coverage = 5,299 s.f. % 19,181 s.f. = 27.6%	

SCOPE OF WORK

This project consists of a new detached 1,200 s.f. Companion Unit and new 474 s.f. detached garage with new driveway as needed. Including discretionary Coastal Development Permit, La Jolla Planned District approval.

PROJECT DATA

8553 La Jolla Shores Drive, La Jolla, CA 92037
 APN = 346-110-17-00
 Gross Site Area = 19,181 Sq. Ft.
 Legal = MM0036 LOT 1297
 Map DOC48178REC4-9-56 IN
 Zone = La Jolla Shores Planned (LJSPD-SF Zone)
 La Jolla Community Plan Area District 1,
 Coastal (Non-APP) Overlay & Coastal Ht. Limit
 Parking Impact Overlay
 Geologic Hazard Category

Construction Type = V-B
 Occupancy = R-3 & U
 Year of Construction = 1959
 Sprinklers = Non

PROJECT TEAM

OWNER:
 Bruce & Sherri Lightner
 8553 La Jolla Shores Drive, La Jolla, CA 92037

CONTRACTOR:
 Marrokal Design & Remodeling LLC
 9842 River Street
 Lakeside, CA 92040
 619-441-9300

DESIGNER:
 John Paratore
 Marrokal Design & Remodeling LLC
 9474 Kearny Villa Road, Suite 205
 San Diego, CA 92126
 619-441-9300

ENGINEER:
 Evan A. Coles
 SolidForms Engineering
 9474 Kearny Villa Road, Suite 215
 San Diego, CA 92126
 858-376-7734

CIVIL ENGINEER:
 Robert Chan
 Allied Earth Technology
 7915 Silverton Avenue, Suite 317
 San Diego, CA 92126
 858-586-1665

SHEET INDEX

SHEET	DESCRIPTION
A-1	Sheet Index, Project Summary, Vicinity Map, Green Bldg Notes
A-1-1	Proposed Site and WPCP Plan and Notes
A-1-2	General Notes, Door & Window Schedules
A-1-3	Storm Water Requirements Applicability Checklist
A-1-4	Title 24 Calculations
A-1-5	Mandatory Measures
A-2	Existing Floor Plan
A-3	Existing Part. Floor / Site Plan
A-4	Existing Exterior Elevations
A-5	Proposed First and Second Floor ADU Plans
A-6	Proposed Exterior Elevations
A-7	Proposed Roof Plan & Building Sections
A-8	General Details and Notes
C-1	Interior Cabinet Elevations
E-1	Proposed Electrical Plans
SRVY-1	PHOTOGRAPHIC SURVEY
SRVY-2	PHOTOGRAPHIC PARCEL SURVEY
SRVY-3	PHOTOGRAPHIC SURVEY
SRVY-4	PHOTOGRAPHIC SURVEY
SRVY-5	PHOTOGRAPHIC SURVEY
SRVY-6	Fire Hydrant Location Plan
SRVY-7	SURROUNDING AREA SETBACKS

REVISIONS	BY

DESIGN CONSULTANT(S)
John Paratore
Steve Walton
 PROJECT DESIGNER
Enrique C.

Plans Prepared By:
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 9474 Kearny Villa Rd., Suite 205 San Diego, CA 92126
Skip Reichenberg
 skip@marrokal.com Fax: (659) 549-9011
 Phone: (659) 549-9000

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 tel: 619-441-9300
 fax: 619-588-5917
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 www.marrokal.com



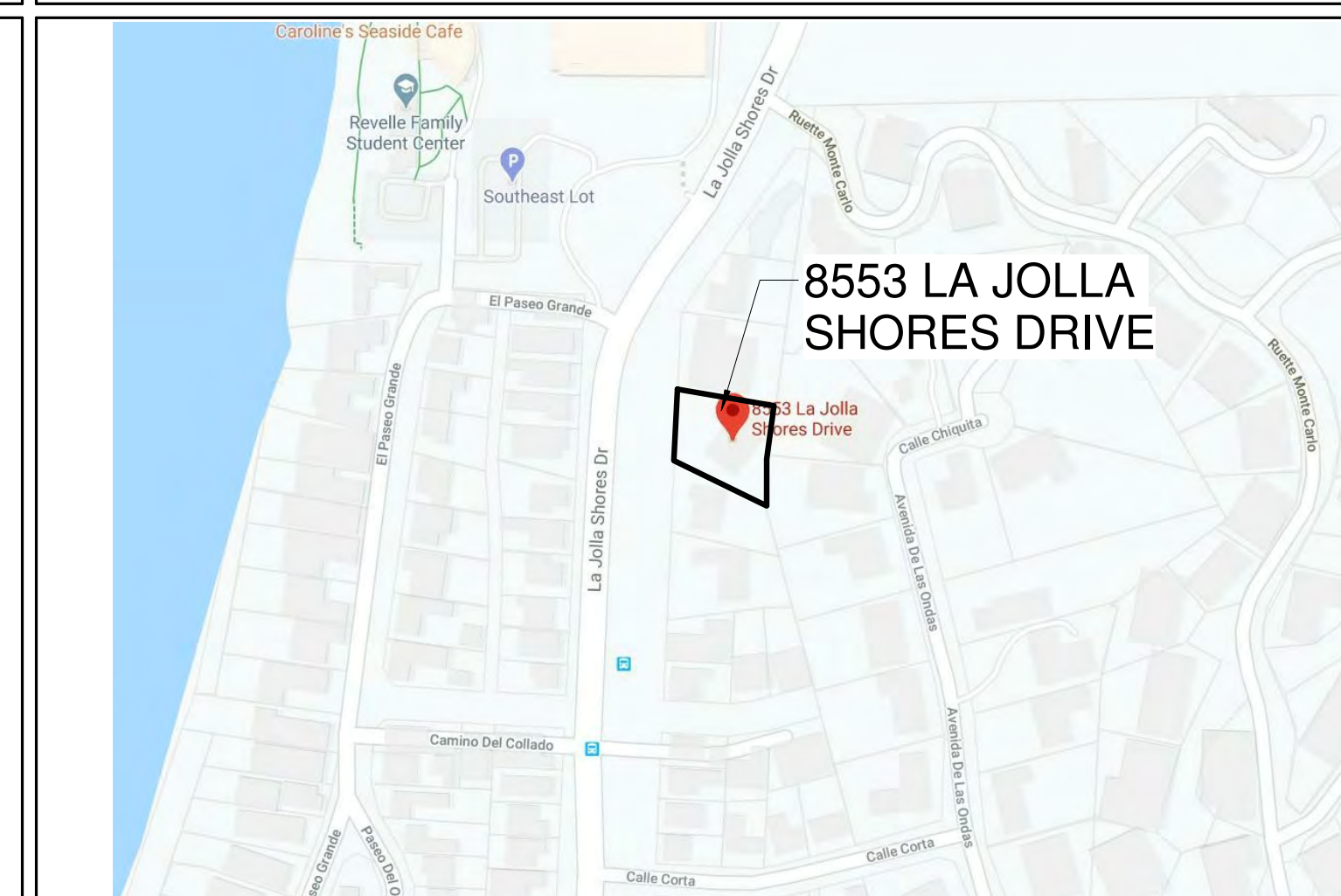
DEFERRED SUBMITTALS

N/A

GREEN BUILDING CODE REQUIREMENTS

- Storm Water Drainage/Retention during Construction**
 Projects which disturb less than one acre of soil shall manage storm water drainage during construction by one of the following:
 A. Retention basins.
 B. Where storm water is conveyed to a public drainage system, water shall be filtered by use of a barrier system, wattle or other approved method. CGC 4.106.2.
- Grading and Paving**
 Site grading or drainage system will manage all surface water flows to keep water from entering buildings (swales, water collection, French drains, etc.). CGC 4.106.3. Exception: Additions not altering the drainage path.
- Recycling**
 A minimum of 65% of construction waste is to be recycled. CGC 4.408.1.
- Recycling**
 The contractor shall submit a Construction Waste Management Plan to the jurisdiction agency that regulates waste management, per CGC 4.408.2.
- Operation and Maintenance Manual**
 The builder is to provide an operation manual (containing information for maintaining appliances, etc.) for the owner at the time of final inspection. CGC 4.410.1.
- Pollutant Control**
 During construction, ends of duct openings are to be sealed, and mechanical equipment is to be covered. CGC 4.504.1.
- Pollutant Control**
 VOC's must comply with the limitations listed in Section 4.504.3 and Tables 4.504.1, 4.504.2, 4.504.3 and 4.504.5 for: Adhesives, Paints and Coatings, Carpet and Composition Wood Products. CGC 4.504.2.
- Interior Moisture Control**
 The moisture content of wood shall not exceed 19% before it is enclosed in construction. The moisture content needs to be certified by one of 3 methods specified in Section 4.505.3. Building materials with visible signs of water damage should not be used in construction. The moisture content must be determined by the contractor by one of the methods listed in CGC 4.505.3.
- Indoor Air Quality**
 Bathroom fans shall be Energy Star rated, vented directly to the outside and controlled by a humidistat. CGC 4.506.1.
- Prior to final inspection the licensed contractor, or engineer in responsible charge of the overall construction must provide to the building department official **written verification** that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.

VICINITY MAP

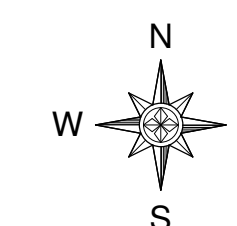


SOILS NOTE

N/A

APPLICABLE CODES

The design is according to the 2019 California Residential Code and, when applicable, the 2019 California Building Code. This project shall comply with the following codes:
 2019 California Residential Code
 2019 California Electrical Code
 2019 California Green Building Code
 2019 California Mechanical Code
 2019 California Plumbing Code
 2019 California Building Energy Efficiency Standards
 2019 California Building Code
 2019 California Fire Code



A Home Remodel For:
Bruce & Sherri Lightner
 8553 La Jolla Shores Drive, La Jolla, CA 92037
 Sheet Title:
Sheet Index, Project Summary, Vicinity Map, Green Bldg Notes

DRAWN / CHECKED	S.E.R. / S.W.
DATE / TIME	5/5/2021 1:20:53 PM
PROJECT NUMBER	20-0029
JOB NAME	LIGHTNER
SHEET	A-1
OF	1 SHEETS

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REVISIONS	BY
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	TIA
	LS

DESIGN CONSULTANT(S)
John Paratore
Steve Walton
 PROJECT DESIGNER
Enrique C.

Plans Prepared By:
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 9474 Kearny Villa Rd., Suite 205 San Diego, CA 92126
Skip Reichenberg
 Phone (659) 549-9000 skip@marrok.com Fax (659) 549-9011

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 Lakeside, CA 92040
 tel: 619-441-9300
 fax: 619-588-5917
 License #1010116
 www.marrok.com



A Home Remodel For:
Bruce & Sherri Lightner
 8553 La Jolla Shores Drive, La Jolla, CA 92037
 Sheet Title:
Proposed Site and WPCP Plan and Notes

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PROJECT NUMBER	20-0029
JOB NAME	LIGHTNER
SHEET	

A-1-1
 OF 1 SHEETS

BMP LEGEND

DIRECTION OF LOT DRAINAGE → →

MATERIALS & WASTE MANAGEMENT BMPs:

- WM-1 MATERIAL DELIVERY & STORAGE
- WM-4 SPILL PREVENTION AND CONTROL
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMPs:

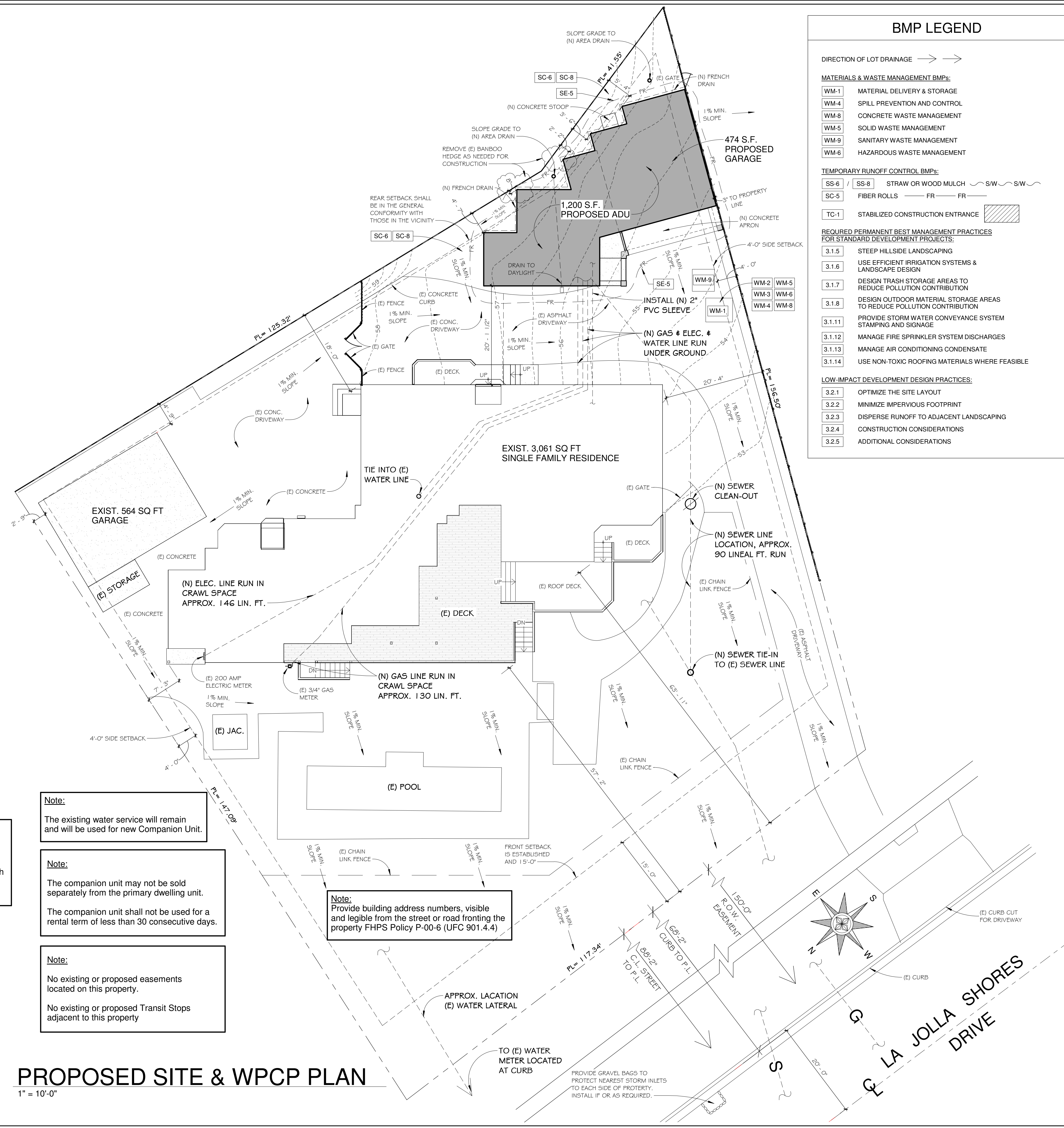
- SS-6 / SS-8 STRAW OR WOOD MULCH S/W S/W
- SC-5 FIBER ROLLS FR FR
- TC-1 STABILIZED CONSTRUCTION ENTRANCE

REQUIRED PERMANENT BEST MANAGEMENT PRACTICES FOR STANDARD DEVELOPMENT PROJECTS:

- 3.1.5 STEEP HILLSIDE LANDSCAPING
- 3.1.6 USE EFFICIENT IRRIGATION SYSTEMS & LANDSCAPE DESIGN
- 3.1.7 DESIGN TRASH STORAGE AREAS TO REDUCE POLLUTION CONTRIBUTION
- 3.1.8 DESIGN OUTDOOR MATERIAL STORAGE AREAS TO REDUCE POLLUTION CONTRIBUTION
- 3.1.11 PROVIDE STORM WATER CONVEYANCE SYSTEM STAMPING AND SIGNAGE
- 3.1.12 MANAGE FIRE SPRINKLER SYSTEM DISCHARGES
- 3.1.13 MANAGE AIR CONDITIONING CONDENSATE
- 3.1.14 USE NON-TOXIC ROOFING MATERIALS WHERE FEASIBLE

LOW-IMPACT DEVELOPMENT DESIGN PRACTICES:

- 3.2.1 OPTIMIZE THE SITE LAYOUT
- 3.2.2 MINIMIZE IMPERVIOUS FOOTPRINT
- 3.2.3 DISPERSE RUNOFF TO ADJACENT LANDSCAPING
- 3.2.4 CONSTRUCTION CONSIDERATIONS
- 3.2.5 ADDITIONAL CONSIDERATIONS



DISTURBED AREA TABULATION

Total Disturbance Area =	1,400 Sq. Ft.
Existing Impervious Area =	8,380 Sq. Ft.
Proposed Impervious Area =	1,568 Sq. Ft.
Total Impervious Area =	9,948 Sq. Ft.

Impervious areas include rooftop, deck, concrete, pavement, brick, etc

Amount of Cut =	0 Cubic Yards	(All footing cuts will be
Amount of Fill =	0 Cubic Yards	under the footprint of
Import / Export =	0 Cubic Yards	the new ADU)
Max. Cut Depth =	0 Ft.	
Max. Fill Depth =	0 Ft.	

5 feet or more of cut / fill measured vertically that is not directly under the footprint / envelope of the proposed structure requires a separate grading permit per SDMC 129.0602

The project proposes to export 0 cubic yards of material from this site. All export material shall be discharged to a legal disposal site in accordance with the 2019 Greenbook and supplemental amendments. The approval of this project does not allow processing and sale of the material, all such activities require a separate conditional use permit.

The existing grade will not be modified.
 No work will be performed in the Right of Way.

Note:
 The project does not propose a substantial amount of grading which would exceed the City's threshold of 1,000 CY of cut to a depth of 10-feet, therefore impacts would remain below a level of significance.

Note:
 The existing water service will remain and will be used for new Companion Unit.

Note:
 The companion unit may not be sold separately from the primary dwelling unit.
 The companion unit shall not be used for a rental term of less than 30 consecutive days.

Note:
 No existing or proposed easements located on this property.
 No existing or proposed Transit Stops adjacent to this property

Note:
 Provide building address numbers, visible and legible from the street or road fronting the property FHPS Policy P-00-6 (UFC 901.4.4)

PROPOSED SITE & WPCP PLAN

1" = 10'-0"

REVISIONS	BY

DESIGN CONSULTANT(S)
John Paratore
Steve Walton
 PROJECT DESIGNER
 Enrique C.

Plans Prepared By:
Marrokal Design Center
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A Home Remodel For:
Bruce & Sherri Lightner
 8553 La Jolla Shores Drive, La Jolla, CA 92037
 Sheet Title:
Storm Water Requirements Applicability Checklist

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 20-0029
 JOB NAME
 LIGHTNING
 SHEET

A-1-3

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City of San Diego Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5900

Storm Water Requirements Applicability Checklist

FORM DS-560
 November 2018

Project Address: 8553 La Jolla Shores Drive, Project Number:

SECTION 1. Construction Storm Water BMP Requirements:
 All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 Yes; SWPPP required, skip questions 2-4 No; next question
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?
 Yes; WPCP required, skip questions 3-4 No; next question
3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes; WPCP required, skip question 4 No; next question
4. Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
 - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.
 DS-560 (11-18)

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART D: PDP Exempt Requirements.

PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? Yes; PDP exempt requirements apply No; next question
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
 Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).

Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

1. ASBS
 a. Projects located in the ASBS watershed.
2. High Priority
 a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed.
 b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.
3. Medium Priority
 a. Projects that are not located in an ASBS watershed or designated as a High priority site.
 b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed.
 c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.
4. Low Priority
 a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

SECTION 2. Permanent Storm Water BMP Requirements.

Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
 Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No
3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

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7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No
8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No
9. New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. Yes No
10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

1. The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management

Skip Reichenberg Agent
 Name of Owner or Agent (Please Print) Title
 Signature Date
 5/5/2021 1:20:59 PM

REVISIONS table with columns for REVISIONS and BY.

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Plans Prepared By: Marrok Design Center 9474 Kearny Villa Rd., Suite 205 San Diego, CA 92126 Skip Reichenberg skip@marrok.com Fax (659) 549-9011

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A Home Remodel For: Bruce & Sherri Lightner 8553 La Jolla Shores Drive, La Jolla, CA 92037 Sheet Title: Title 24 Calculations

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A-1-4

CERTIFICATE OF COMPLIANCE Page 10 of 11. Includes project name, calculation date, and tables for IAQ (Indoor Air Quality) and PROTECT NOTES.

Registration information for Page 10, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 11 of 11. Includes project name, calculation date, and tables for DOCUMENTATION AUTHOR'S DECLARATION STATEMENT and RESPONSIBLE PERSON'S DECLARATION STATEMENT.

Registration information for Page 11, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 7 of 11. Includes project name, calculation date, and tables for OPAGUE SURFACE CONSTRUCTIONS, BUILDING ENVELOPE - HERS VERIFICATION, and WATER HEATING SYSTEMS.

Registration information for Page 7, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 8 of 11. Includes project name, calculation date, and tables for WATER HEATERS, WATER HEATING - HERS VERIFICATION, and SPACE CONDITIONING SYSTEMS.

Registration information for Page 8, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 9 of 11. Includes project name, calculation date, and tables for HVAC - HEATING UNIT TYPES, HVAC - COOLING SYSTEMS, HVAC - DISTRIBUTION SYSTEMS, and HVAC - DISTRIBUTION - HERS VERIFICATION.

Registration information for Page 9, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 9 of 11. Includes project name, calculation date, and tables for HVAC - FAN SYSTEMS.

CERTIFICATE OF COMPLIANCE Page 4 of 11. Includes project name, calculation date, and tables for OPAGUE SURFACES and ATTIC.

Registration information for Page 4, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 5 of 11. Includes project name, calculation date, and tables for FENESTRATION / GLAZING and OVERHANDS AND FINIS.

Registration information for Page 5, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 6 of 11. Includes project name, calculation date, and tables for OVERHANDS AND FINIS and OPAGUE SURFACE CONSTRUCTIONS.

Registration information for Page 6, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 6 of 11. Includes project name, calculation date, and tables for BUILDINGS - FEATURES INFORMATION and ZONE INFORMATION.

CERTIFICATE OF COMPLIANCE Page 1 of 11. Includes project name, calculation date, and tables for GENERAL INFORMATION and COMPLIANCE RESULTS.

Registration information for Page 1, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 2 of 11. Includes project name, calculation date, and tables for ENERGY DESIGN RATING and ENERGY USE SUMMARY.

Registration information for Page 2, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 3 of 11. Includes project name, calculation date, and tables for REQUIRED PV SYSTEMS - SIMPLIFIED and DC SYSTEM SIZE (kWdc).

Registration information for Page 3, including registration number, date, and provider details.

CERTIFICATE OF COMPLIANCE Page 3 of 11. Includes project name, calculation date, and tables for REQUIRED SPECIAL FEATURES and HERS FEATURE SUMMARY.



2019 Low-Rise Residential Mandatory Measures Summary

Table of 2019 Low-Rise Residential Mandatory Measures Summary. Includes sections for Building Envelope Measures, Fireplaces, Space Conditioning, Water Heating, and Heating/Cooling Loads.



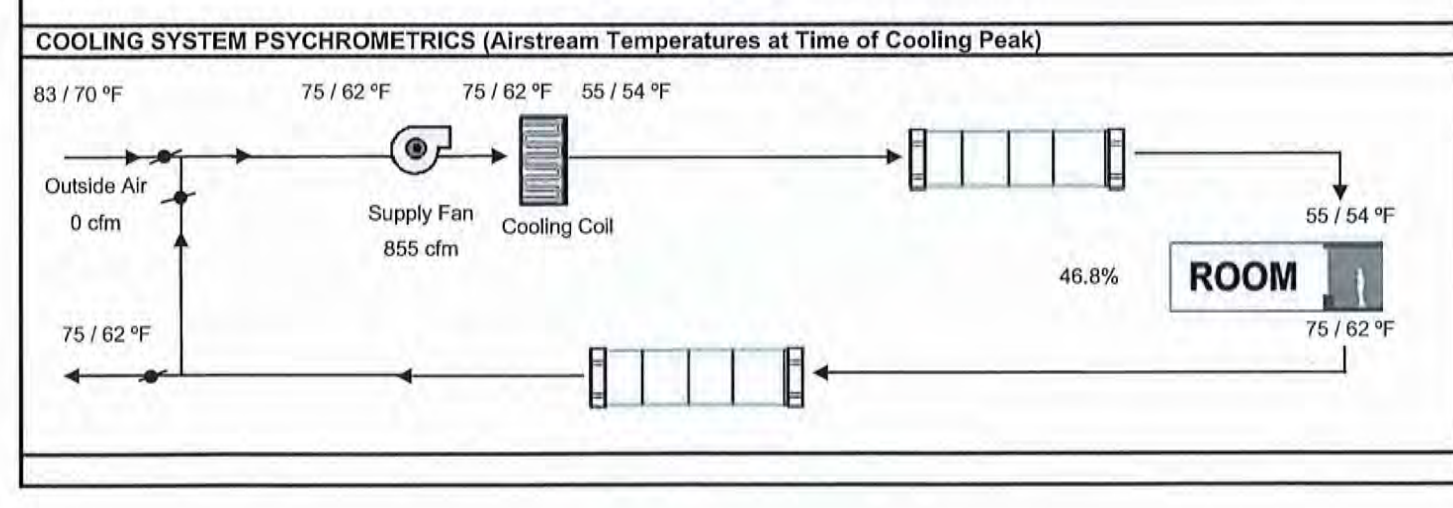
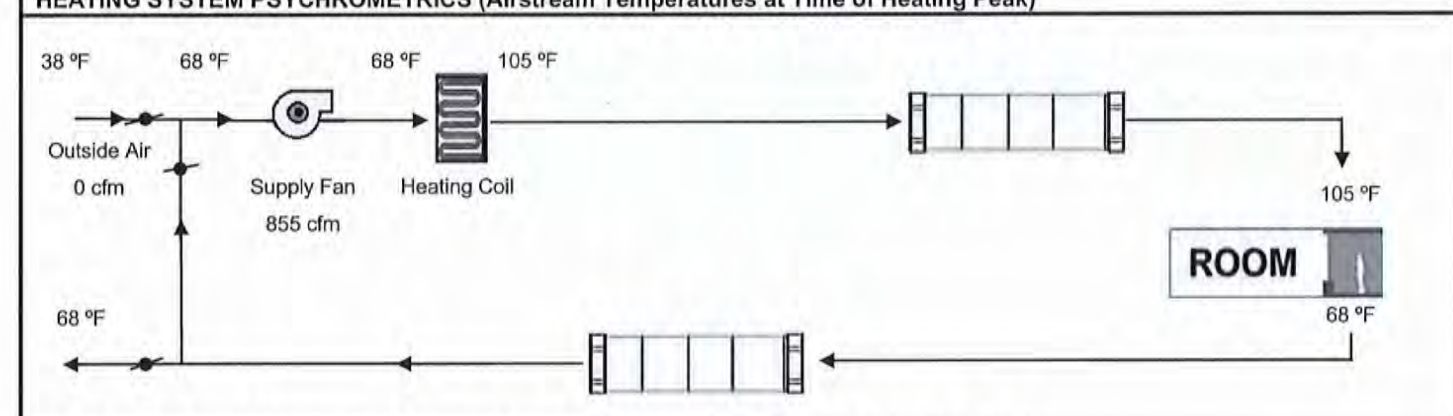
2019 Low-Rise Residential Mandatory Measures Summary

Table of 2019 Low-Rise Residential Mandatory Measures Summary. Includes sections for Requirements for Ventilation and Indoor Air Quality, Lighting, and HVAC System Heating and Cooling Loads.

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY table. Includes Project Name (Lightner ADU), System Name (New FAU), and detailed tables for Engineering Checks, System Load, and HVAC Equipment Selection.

HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak) table. Shows air stream temperatures and psychrometric data for heating peak.



TITLE 24 COMPLIANCE REQUIREMENTS SUMMARY

Summary of Title 24 compliance requirements for Lightner ADU. Includes requirements for Ceiling Insulation, Radiant Barrier, Wall Insulation, Floor Insulation, QII, Solar, Glazing, Solar Heat Gain Co-efficient, Hot Water Heater, IAQ Fan, AFUE, Duct Insulation, Heater Sizing, A/C Sizing, and Whole House Attic Cooling Fan.



2019 Low-Rise Residential Mandatory Measures Summary

Table of 2019 Low-Rise Residential Mandatory Measures Summary. Includes sections for Clearances, Liquid Line Drier, Storage Tank Installation, Water Piping, Insulation Protection, Gas or Propane Water Heating Systems, Recirculating Loops, Solar Water-Heating Systems, Ducts and Fans Measures, CMC Compliance, Factory-Fabricated Duct Systems, Backdraft Damper, Gravity Ventilation Dampers, Protection of Insulation, Porous Inner Core Flux Duct, Duct System Sealing and Leakage Test, Air Filtration, and Space Conditioning System Airflow Rate and Fan Efficacy.



2019 Low-Rise Residential Mandatory Measures Summary

Table of 2019 Low-Rise Residential Mandatory Measures Summary. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Internally Illuminated Address Signs, Residential Garages for Eight or More Vehicles, Interior Common Areas of Low-rise Multifamily Residential Buildings, Solar Ready Buildings, and Minimum Solar Zone Area.

REVISIONS table with columns for revision number, description, and date.

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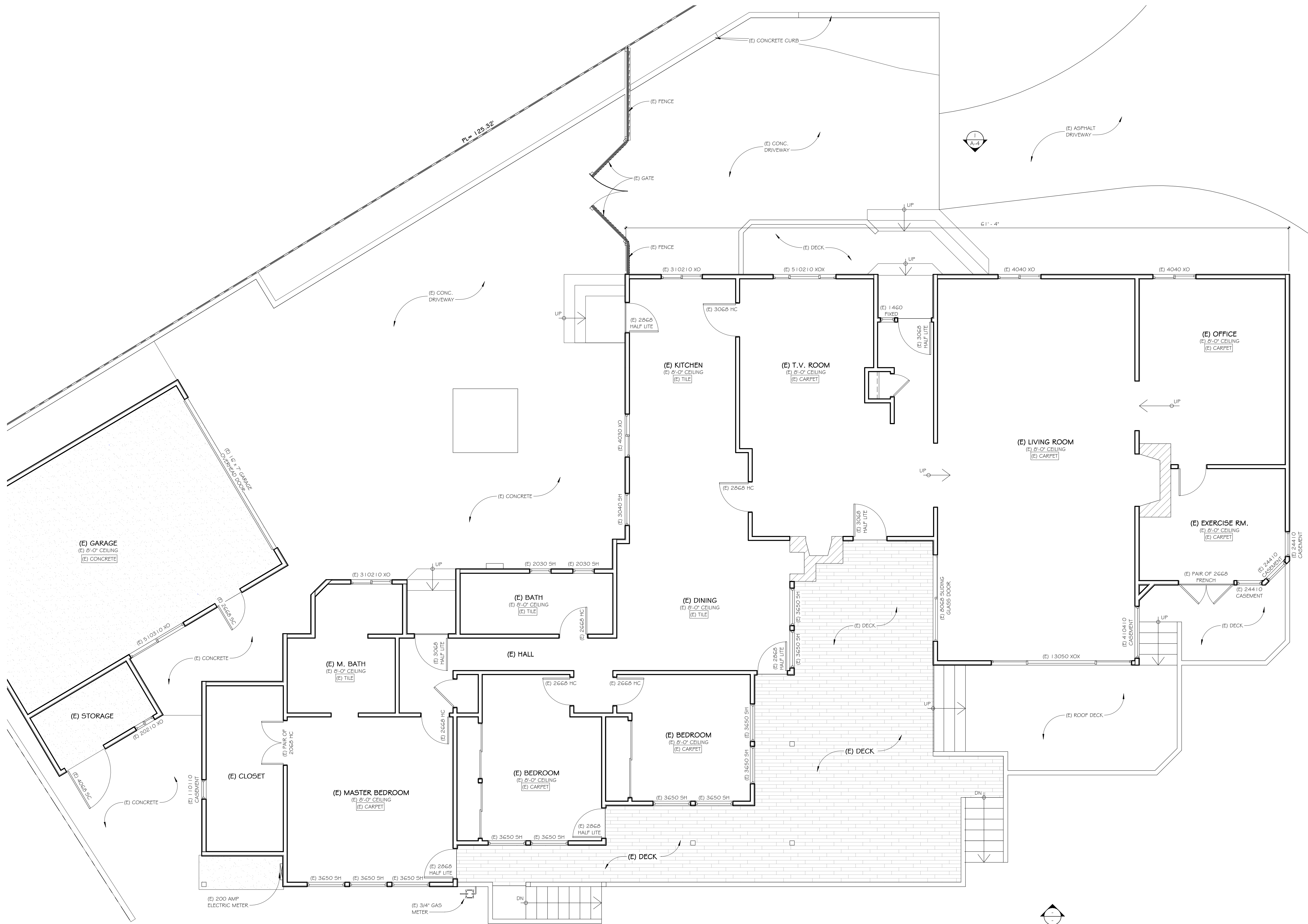
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A Home Remodel For:
Bruce & Sherri Lightner
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 Sheet Title:
Existing Floor Plan

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EXISTING MAIN HOUSE FLOOR PLAN
 1/4" = 1'-0"

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Steve Walton
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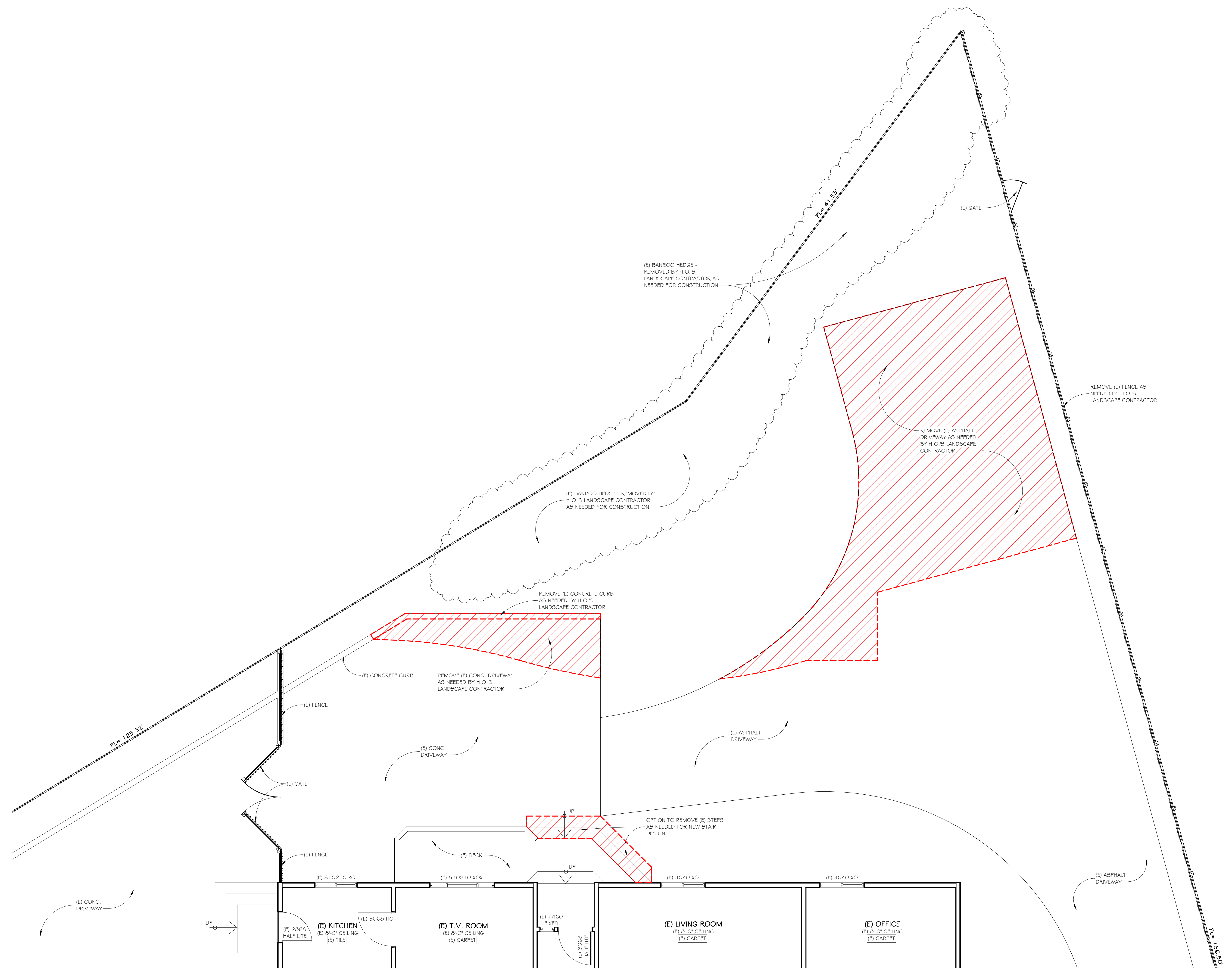
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 Sheet Title:
Existing Part. Floor / Site Plan

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EXISTING / DEMOLITION PARTIAL MAIN HOUSE FLOOR & SITE PLAN

1/4" = 1'-0"

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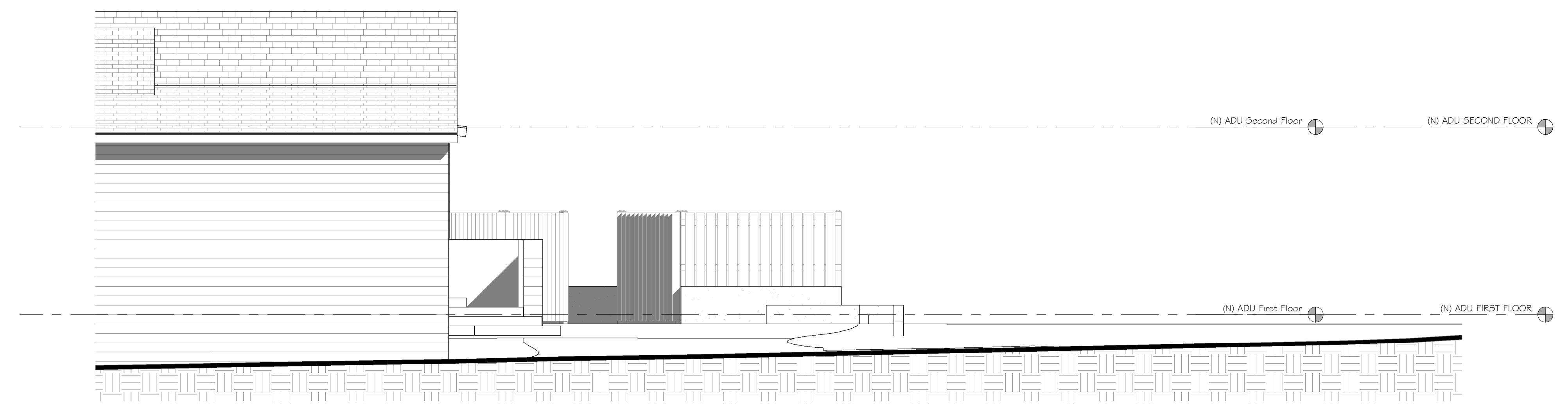
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Bruce & Sherri Lightner
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 Sheet Title:
Existing Exterior Elevations

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A-4



EXISTING ELEVATION - MAIN HOUSE - (REAR)
 1/4" = 1'-0"



EXISTING PARTIAL ELEVATION - MAIN HOUSE - (RIGHT SIDE)
 1/4" = 1'-0"

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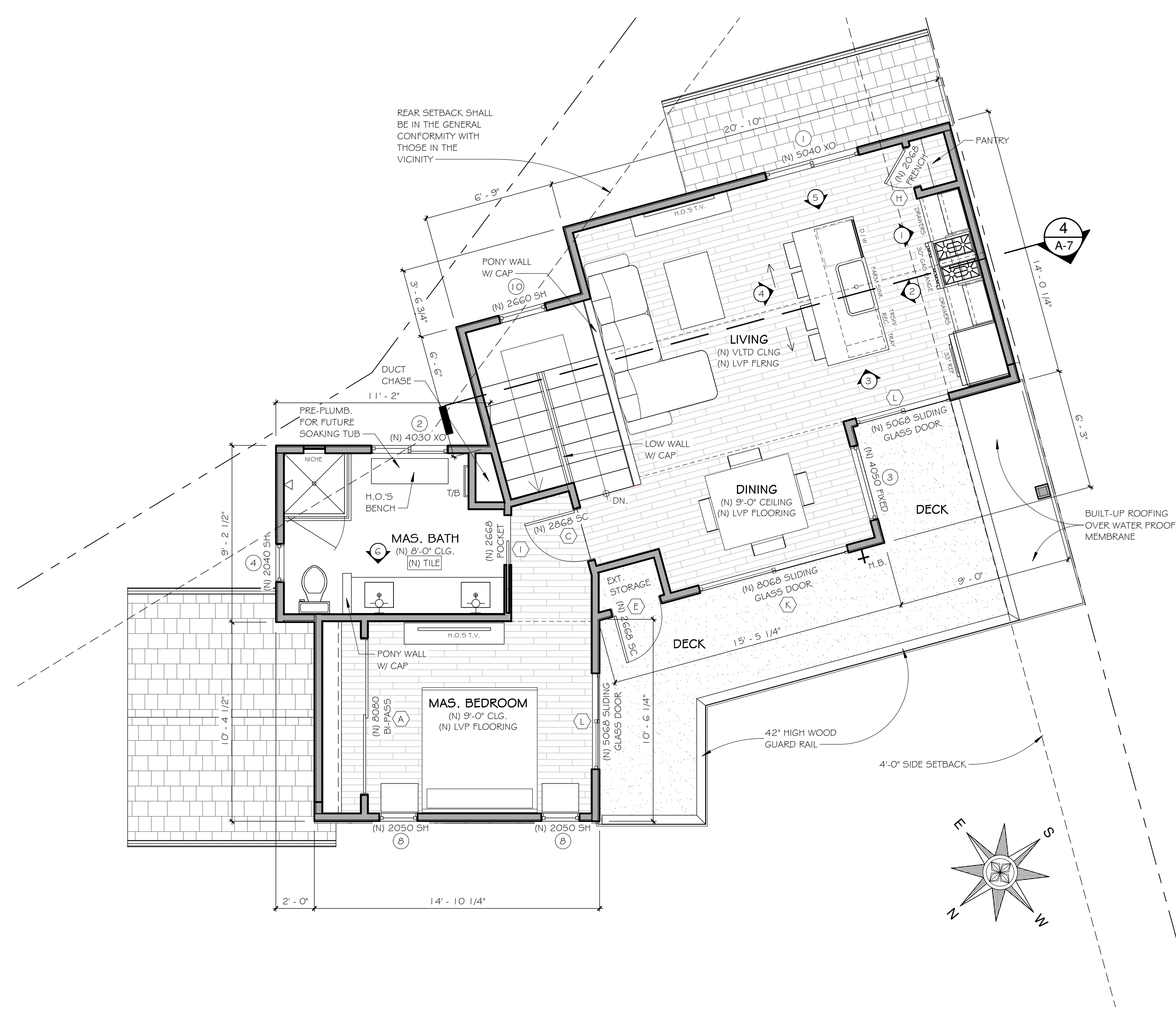
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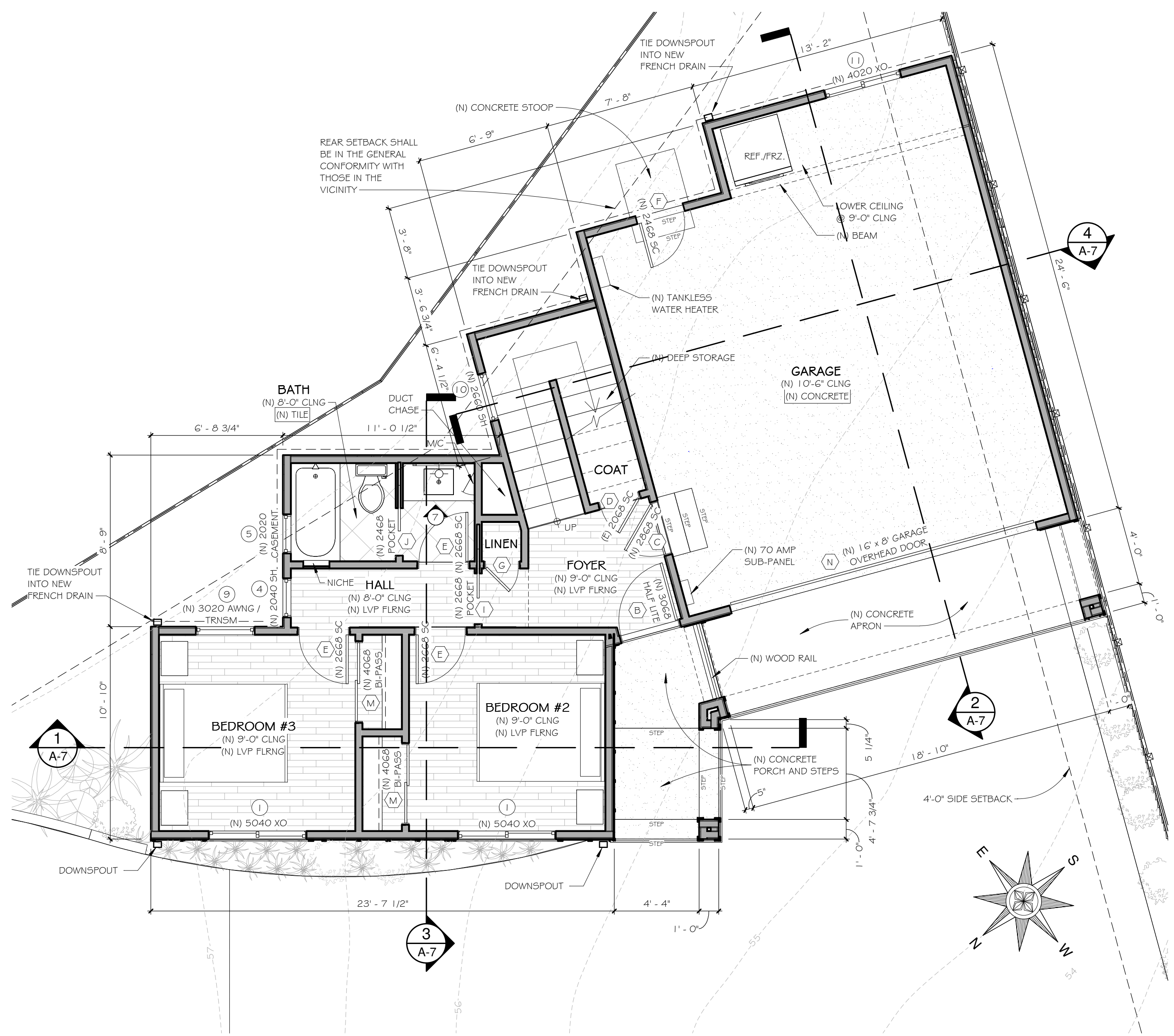


A Home Remodel For:
Bruce & Sherri Lightner
 8553 La Jolla Shores Drive, La Jolla, CA 92037
 Sheet Title:
Proposed First and Second Floor ADU Plans

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PROPOSED SECOND FLOOR PLAN - COMPANION UNIT
 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN - COMPANION UNIT
 1/4" = 1'-0"

WALL LEGEND

- (E) TO REMAIN
- (N) 2 x 4 WALLS
- (N) 2 x 6 WALLS

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A Home Remodel For:
Bruce & Sherri Lightner
 8553 La Jolla Shores Drive, La Jolla, CA 92037
 Sheet Title:
Proposed Exterior Elevations

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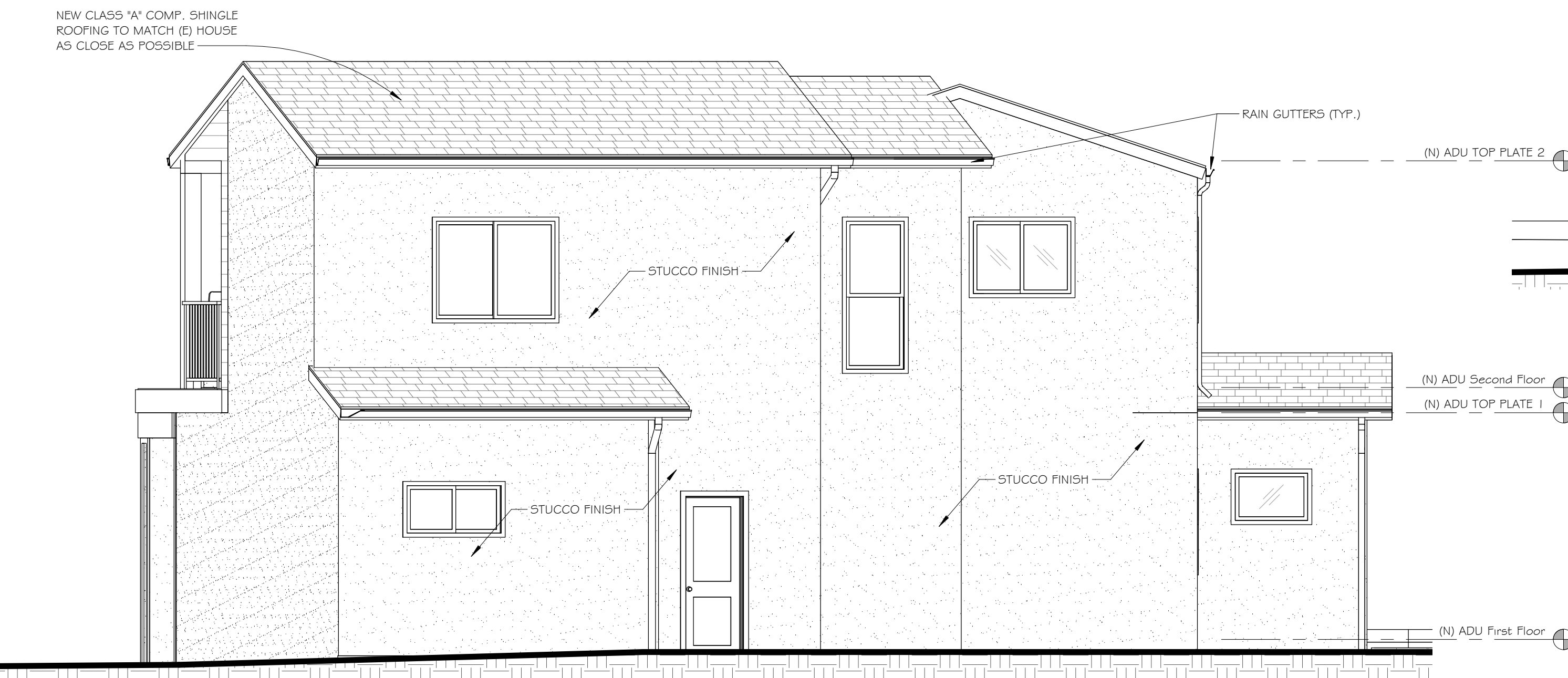
PROPOSED ELEVATION (FRONT)

1/4" = 1'-0"



PROPOSED ELEVATION (RIGHT SIDE)

1/4" = 1'-0"



PROPOSED ELEVATION (REAR)

1/4" = 1'-0"



PROPOSED ELEVATION (REAR)

1/4" = 1'-0"

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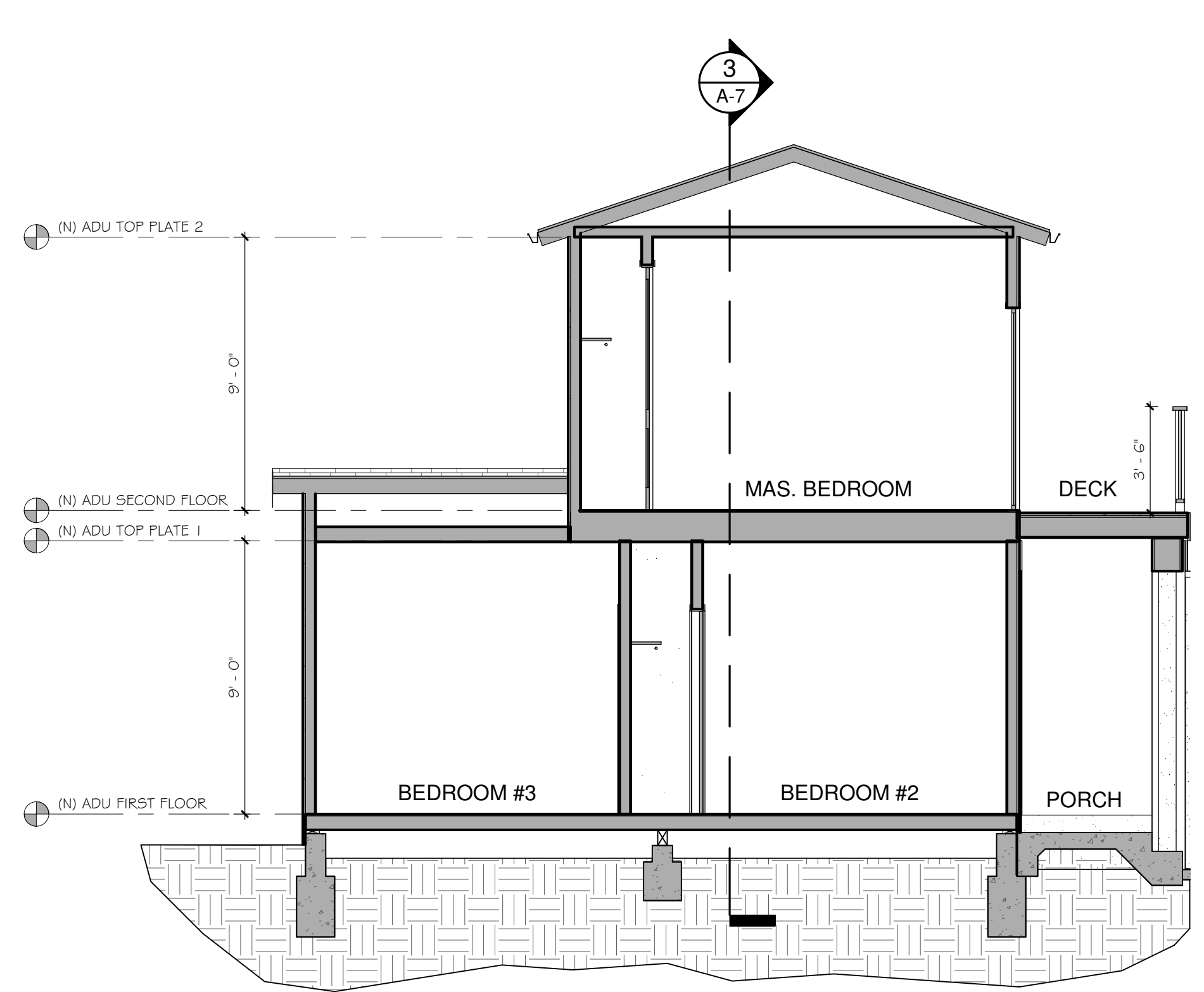
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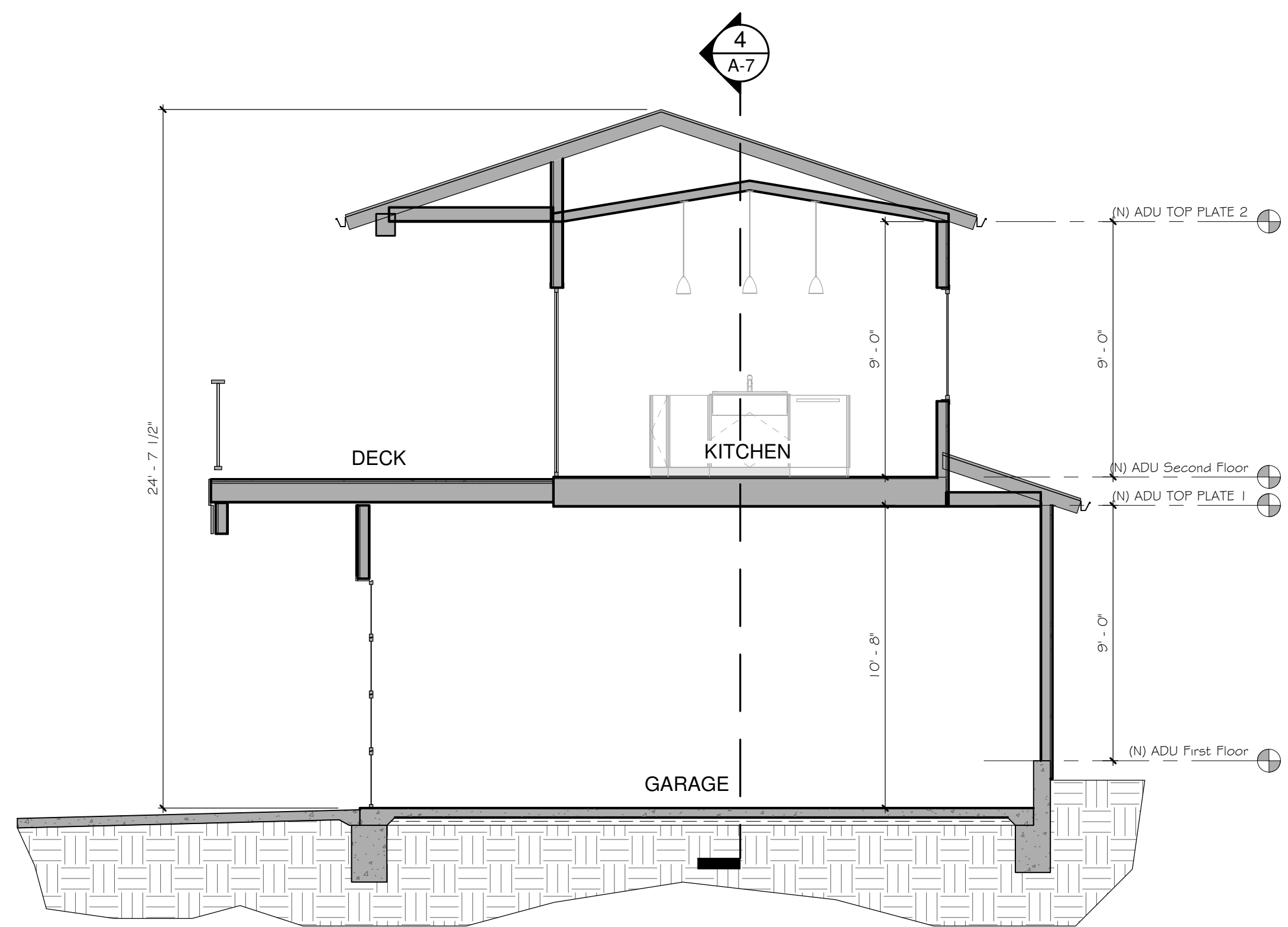


A Home Remodel For:
Bruce & Sherri Lightner
 8553 La Jolla Shores Drive, La Jolla, CA 92037
 Sheet Title:
Proposed Roof Plan & Building Sections

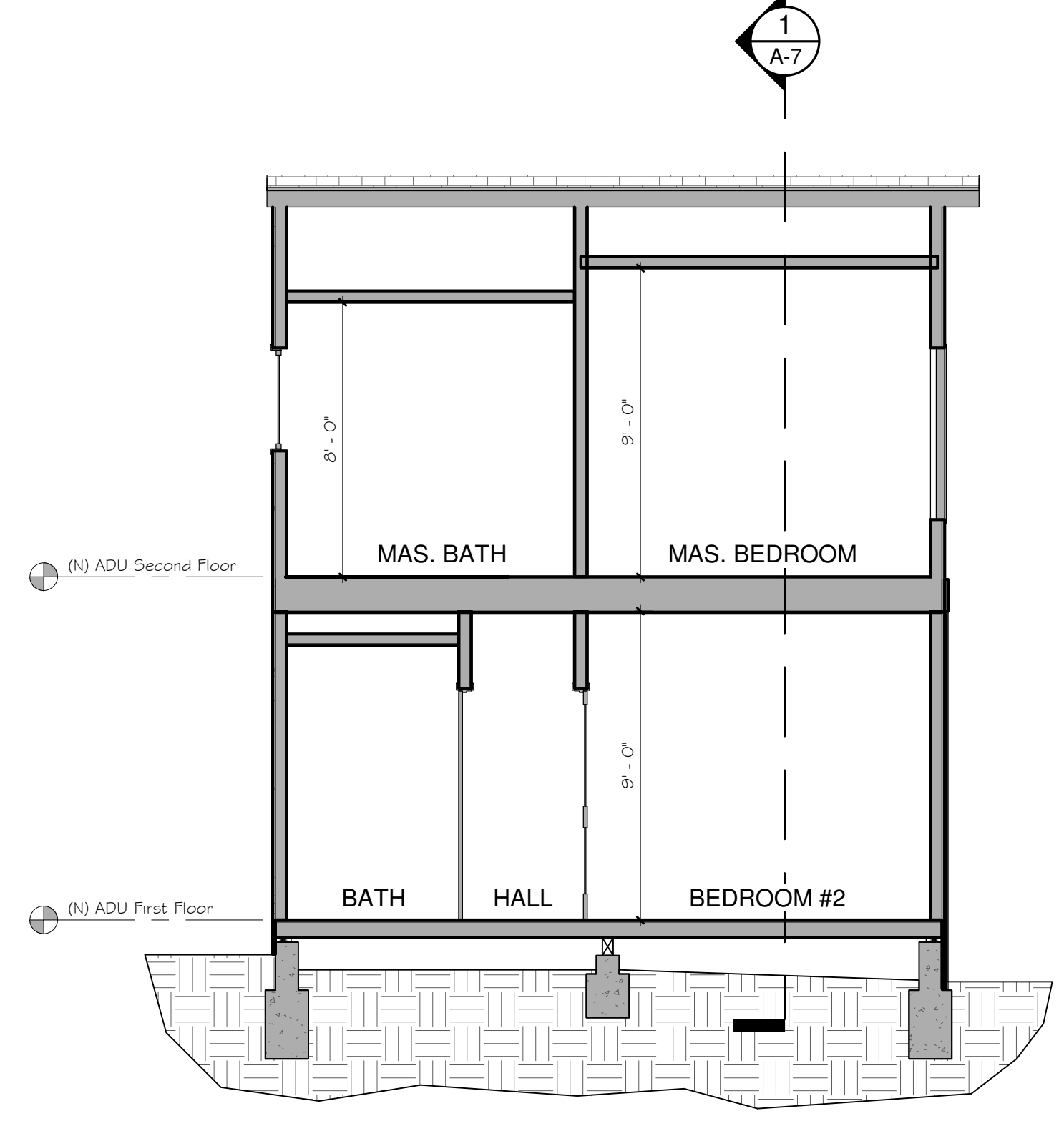
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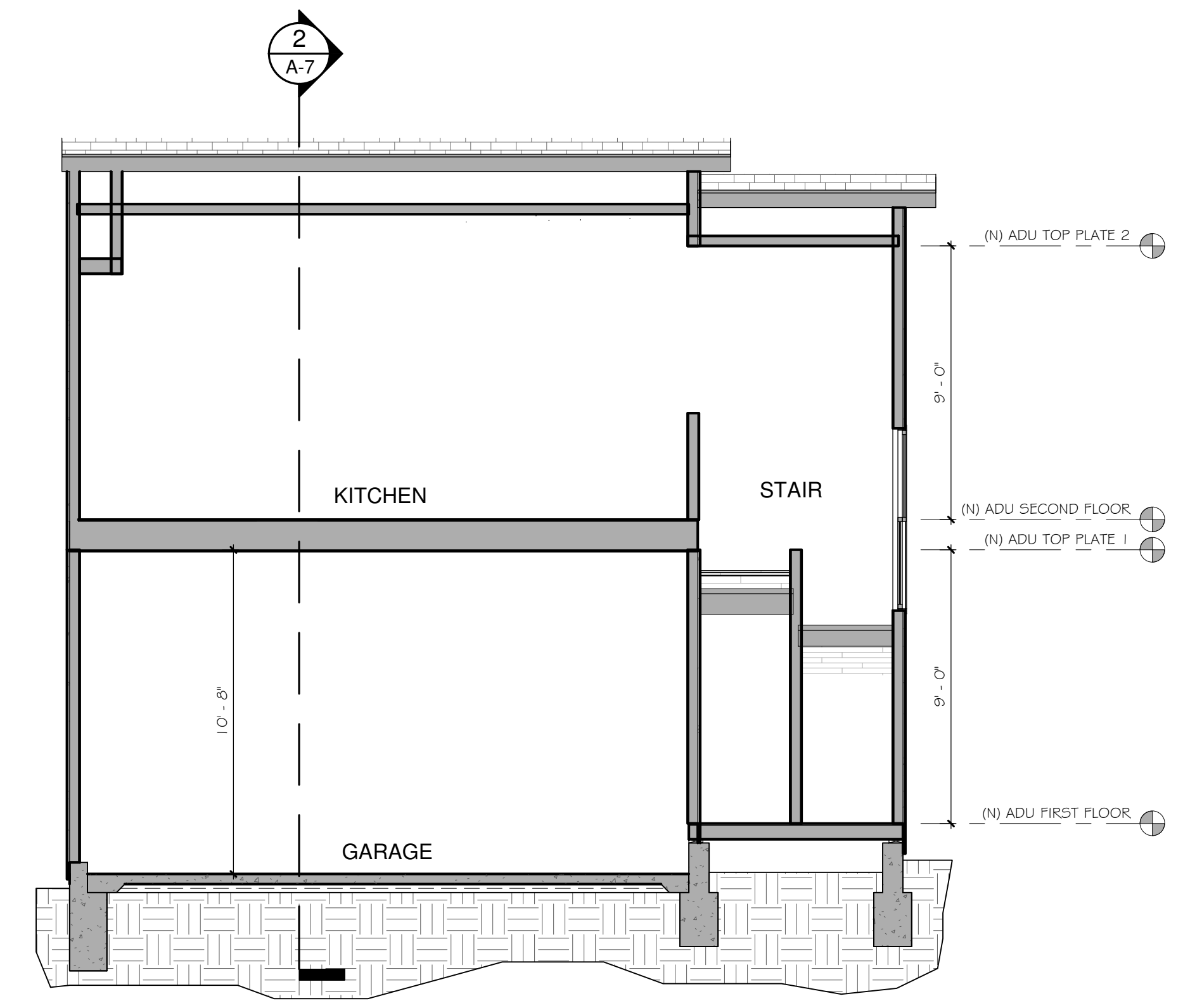
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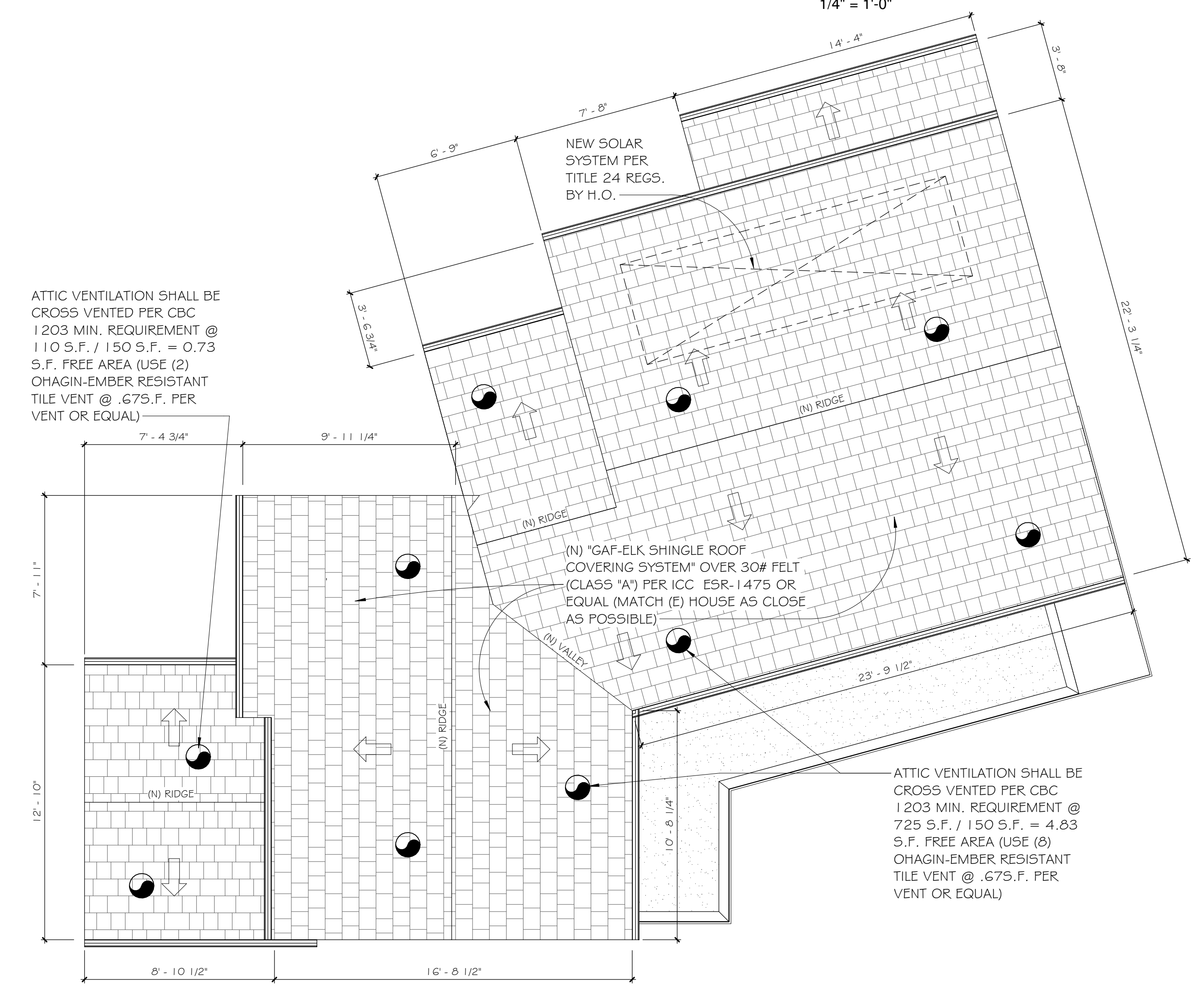
Section 2
 1/4" = 1'-0"



Section 3
 1/4" = 1'-0"

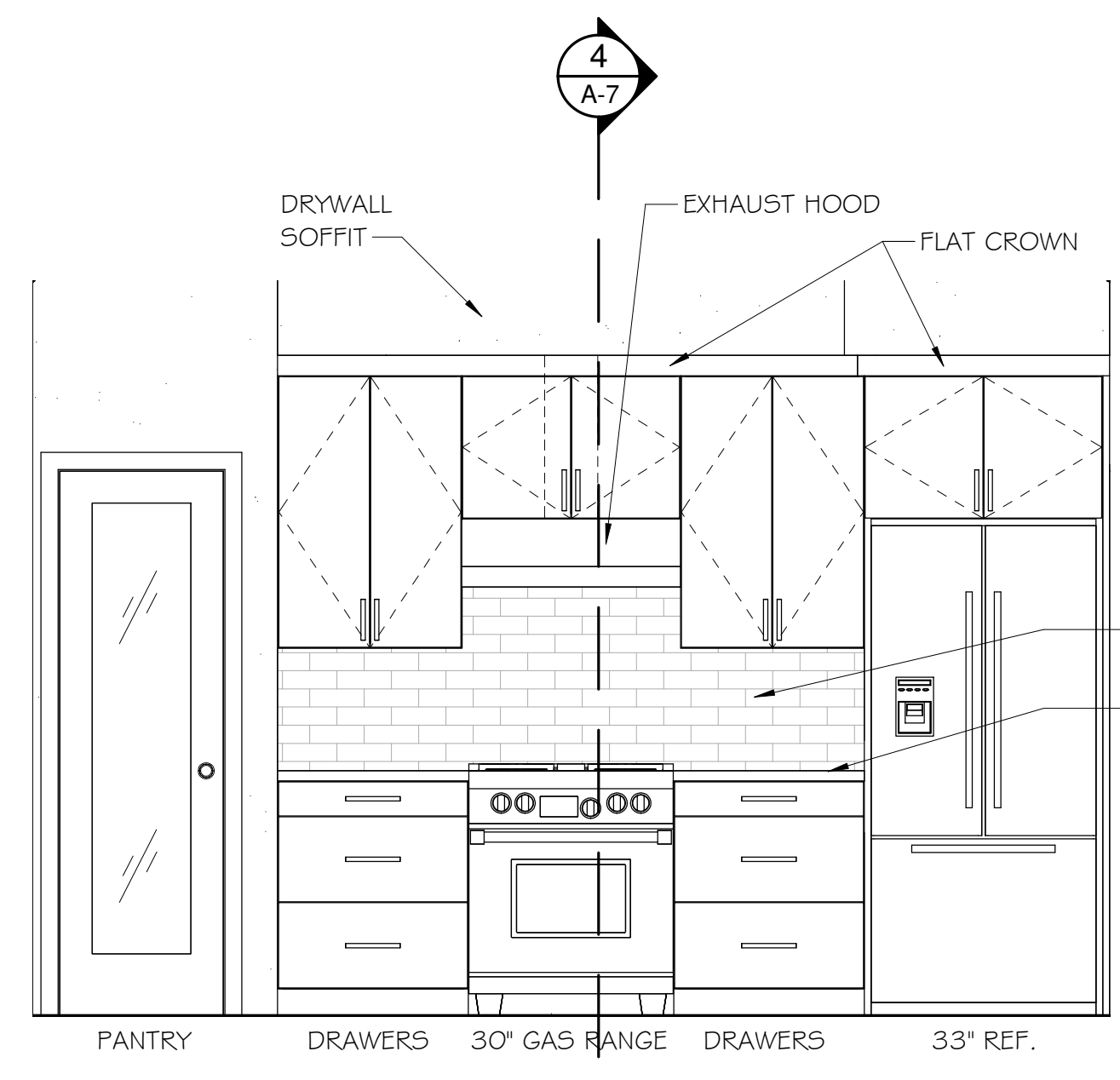


Section 4
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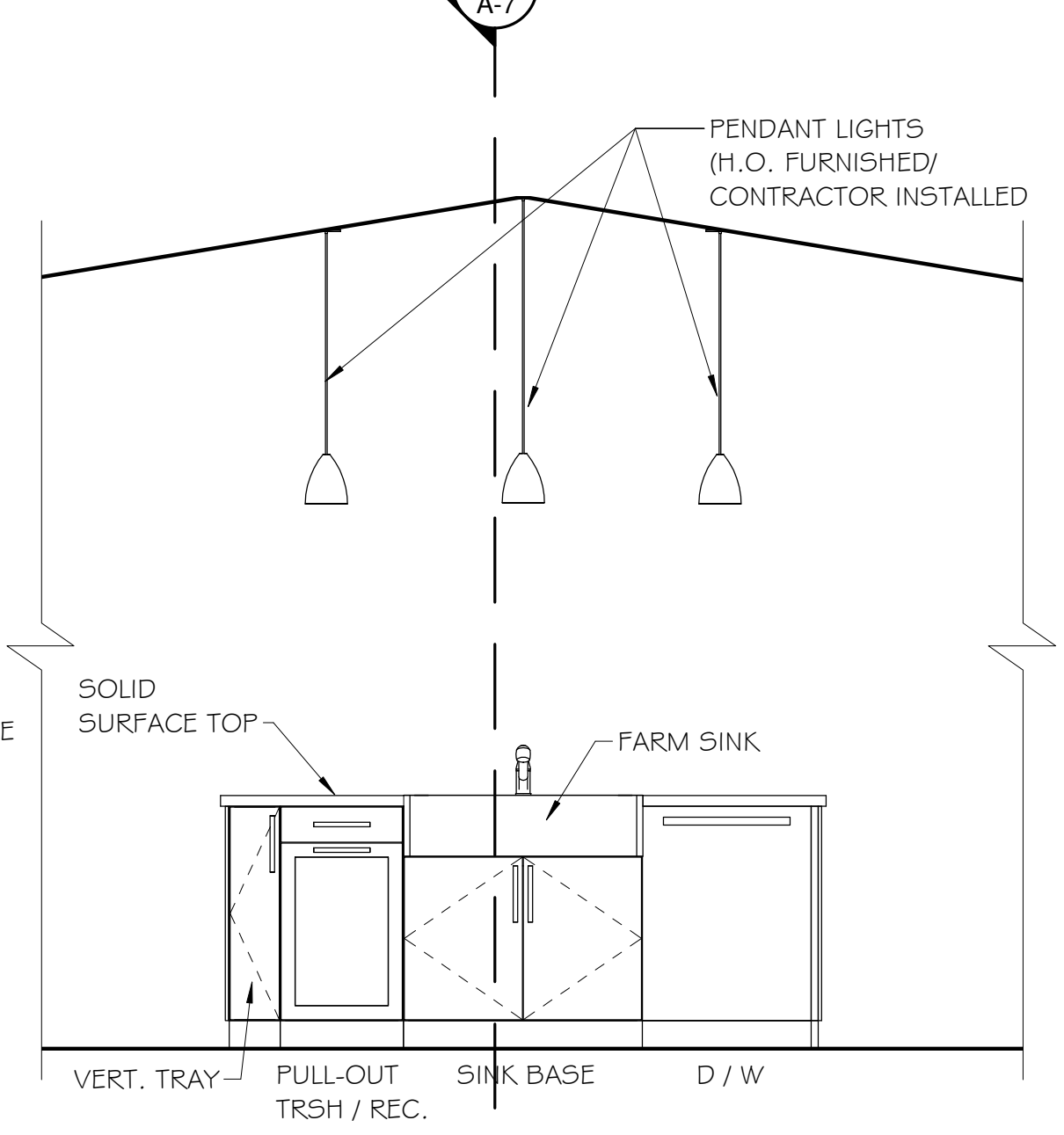


Proposed Companion Unit Roof Plan
 1/4" = 1'-0"

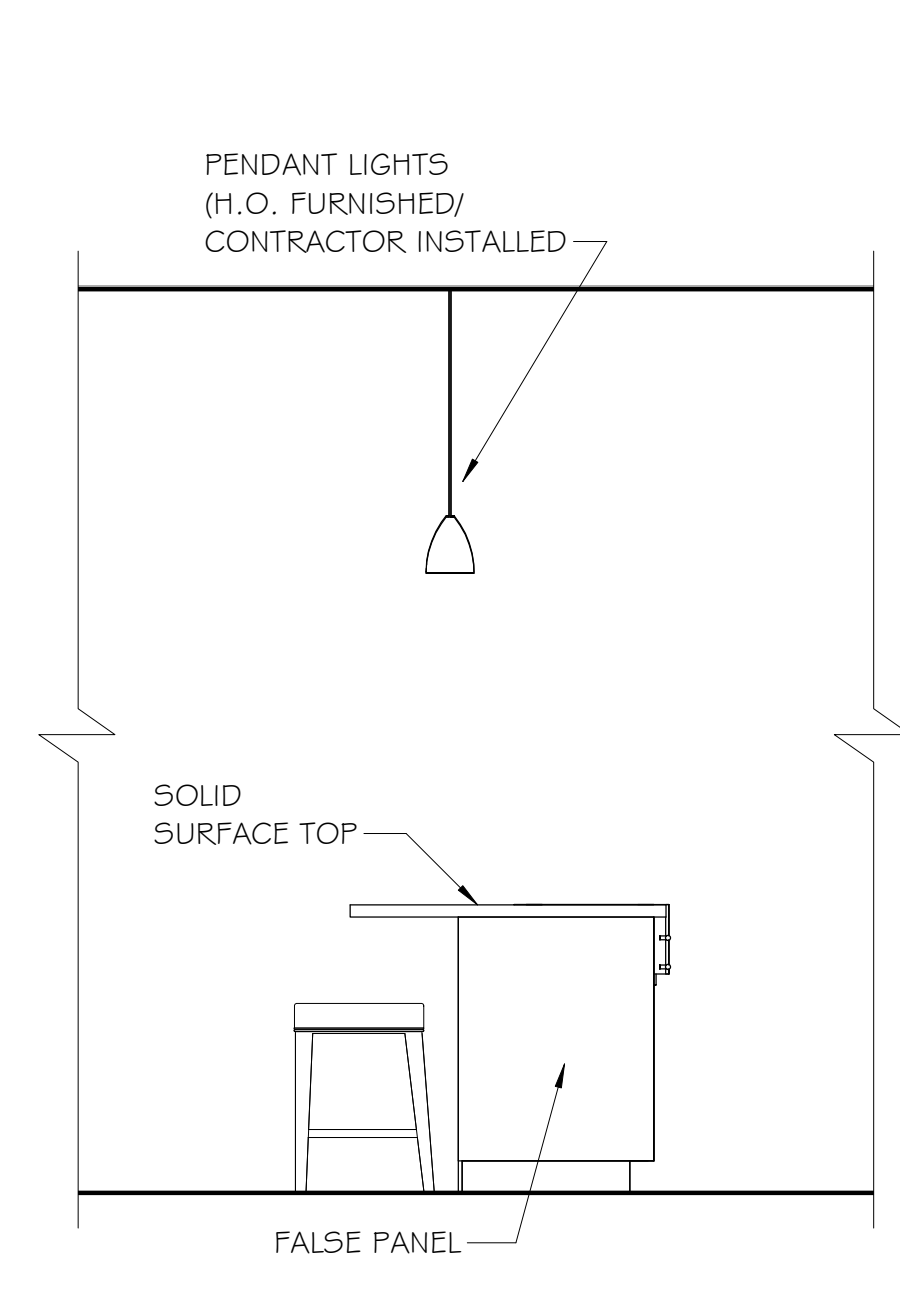
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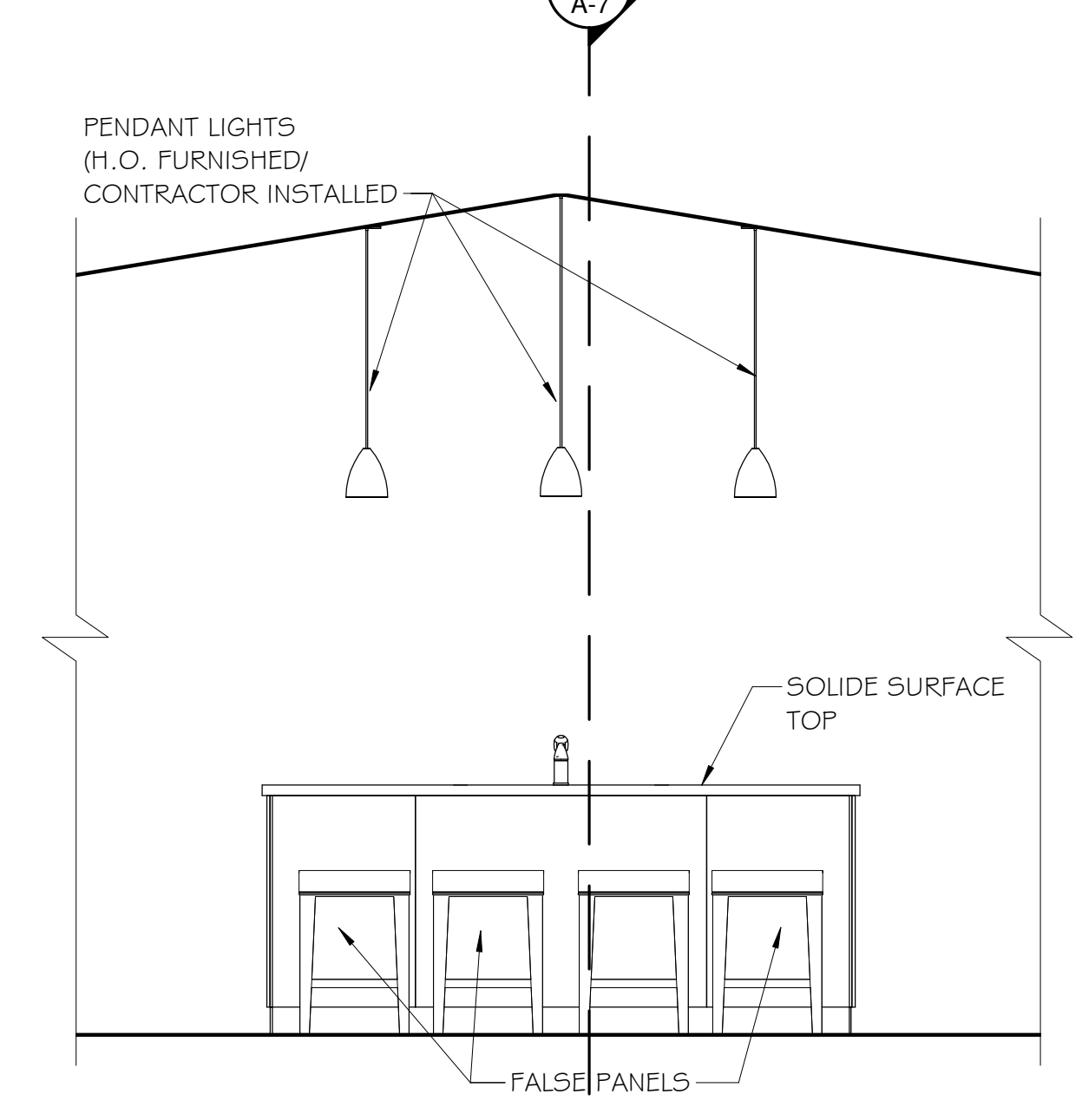
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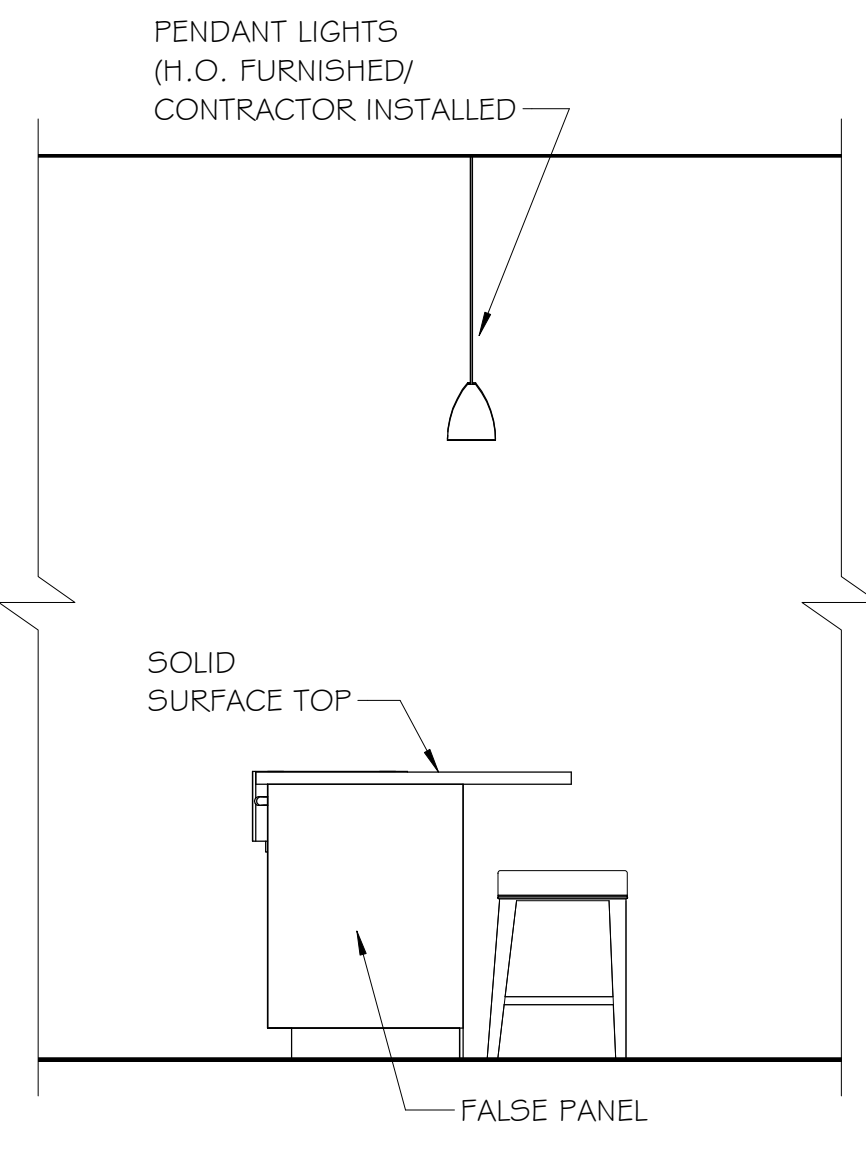
Elevation 2
1/2" = 1'-0"



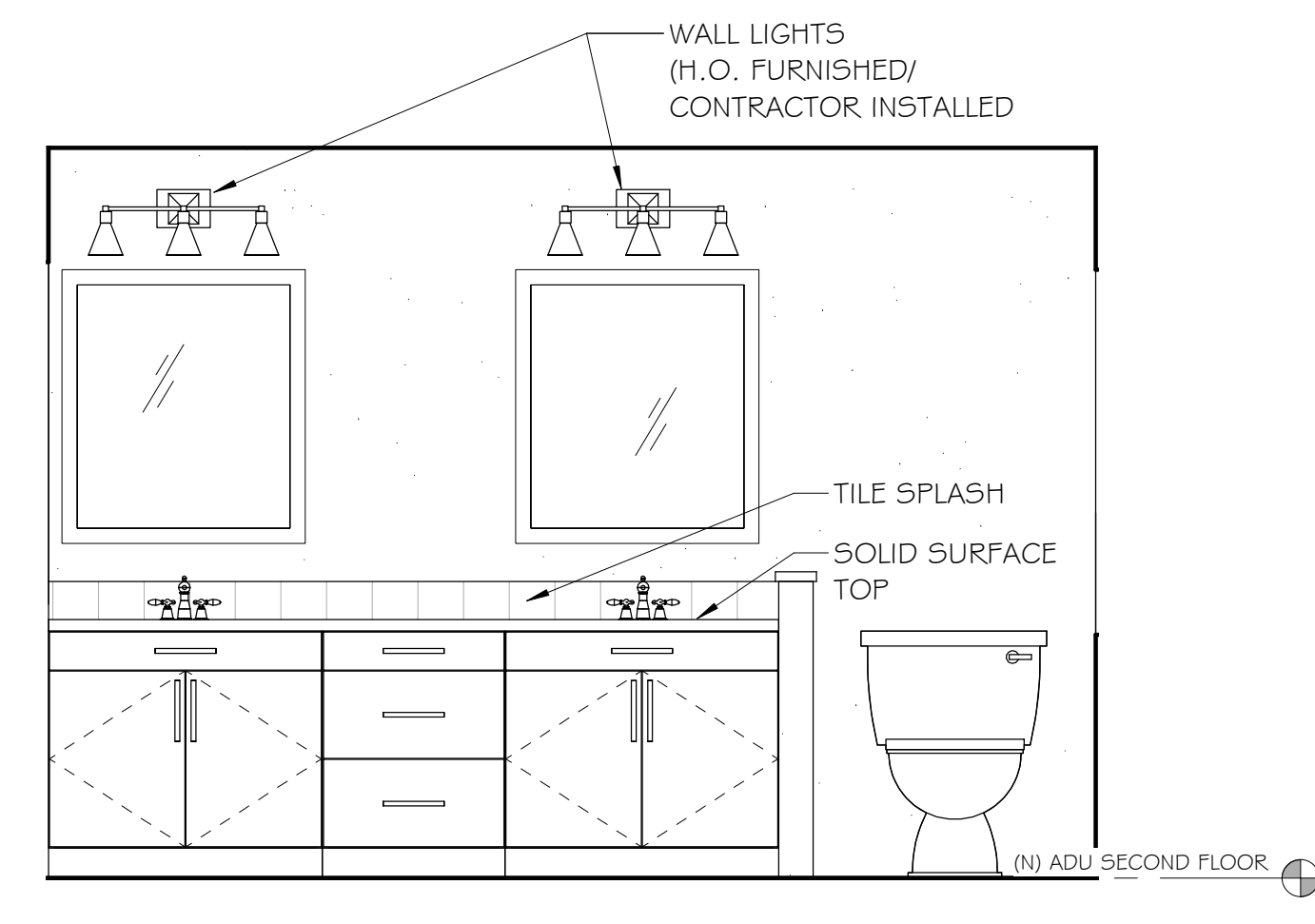
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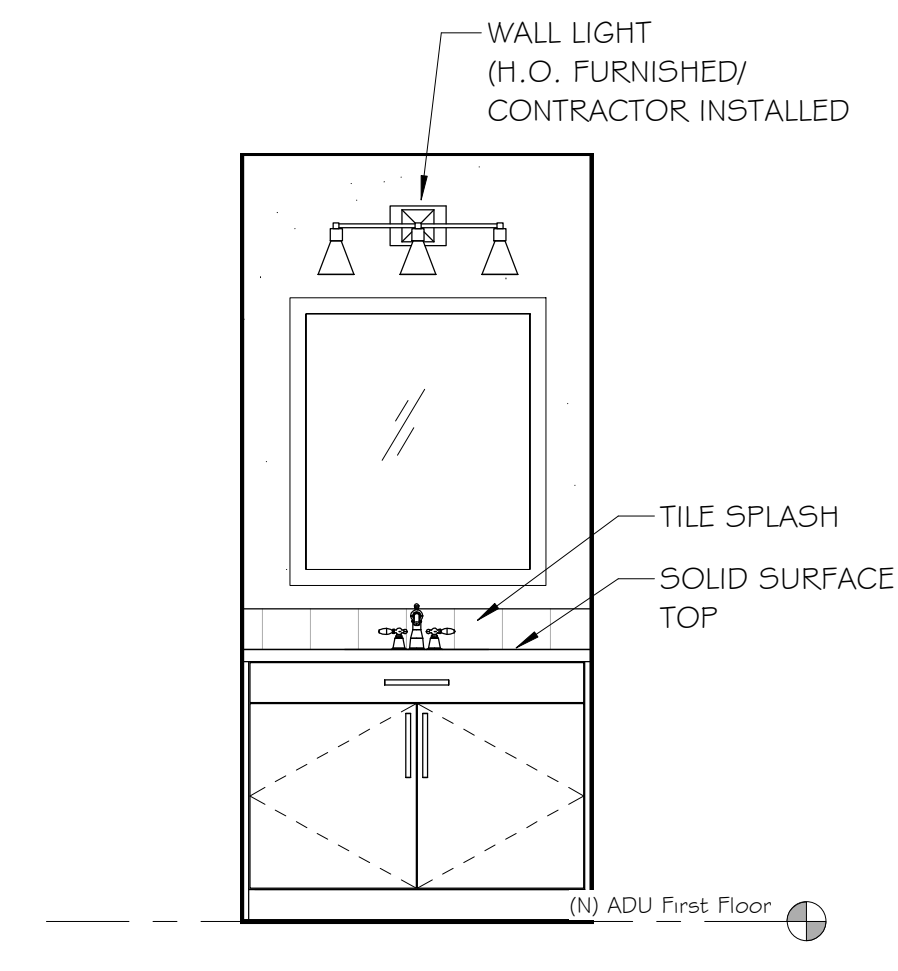
Elevation 4
1/2" = 1'-0"



Elevation 5
1/2" = 1'-0"



Elevation 6
1/2" = 1'-0"



Elevation 7
1/2" = 1'-0"

REVISIONS	BY

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A Home Remodel For:
Bruce & Sherri Lightner
8553 La Jolla Shores Drive, La Jolla, CA 92037
Sheet Title:
Interior Cabinet Elevations

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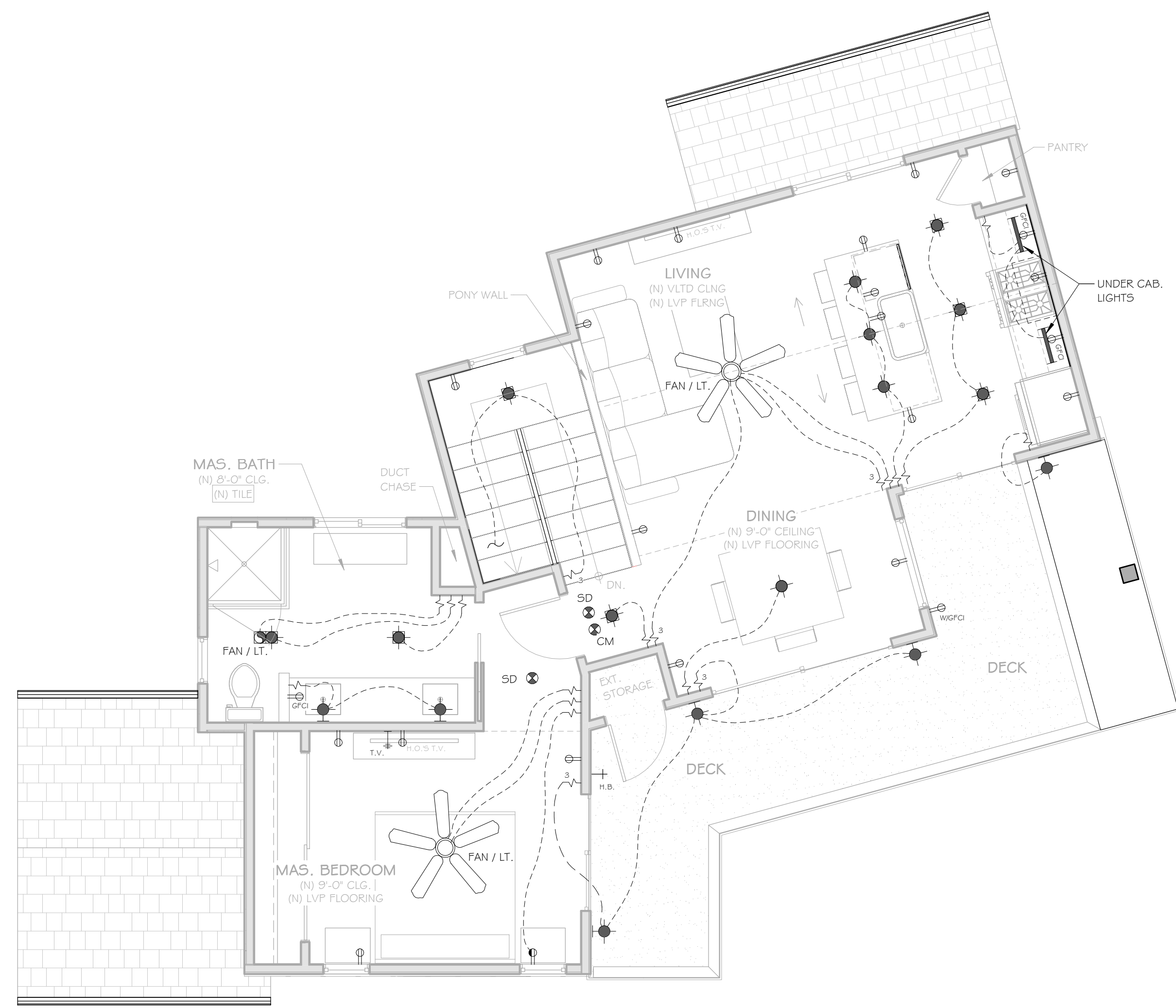
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A Home Remodel For:
Bruce & Sherri Lightner
 8553 La Jolla Shores Drive, La Jolla, CA 92037
 Sheet Title:
Proposed Electrical Plans

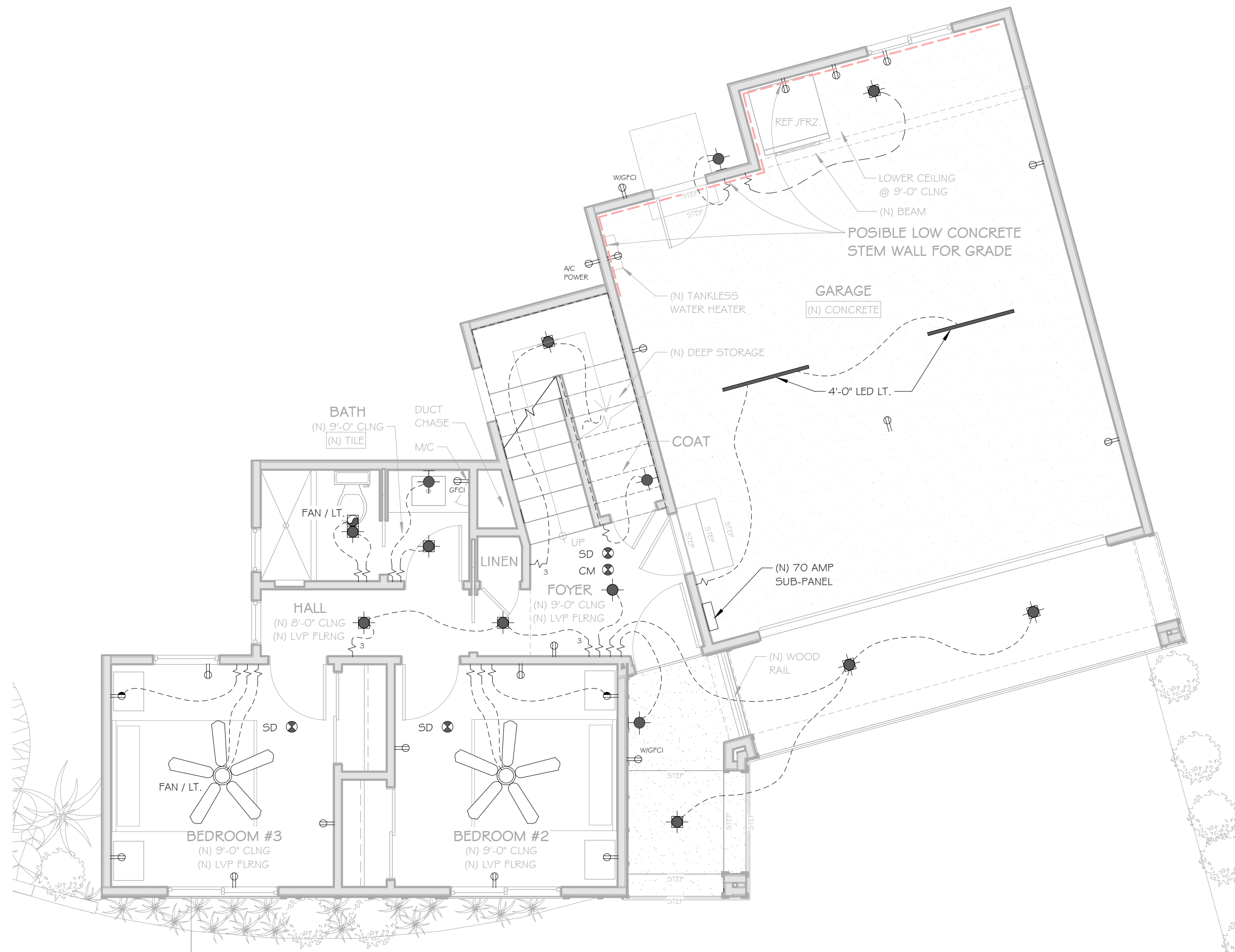
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LIGHTNER
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E-1



Proposed ADU Second Floor Electrical Plan

1/4" = 1'-0"



Proposed ADU First Floor Electrical Plan

1/4" = 1'-0"

ELECTRICAL LEGEND			
	Door Bell		Outdoor flood light
	Switch		Smoke alarm
	Three way switch		Carbon monoxide alarm
	Dimmer switch		Exhaust fan
	Vacancy sensor		Junction box
	Recessed can light		110 Volt duplex outlet
	Linear light		110 Volt duplex outlet below counter
	Under cabinet Light		Waterproof with ground fault circuit interrupter
	Wall mounted light		Ground fault circuit interrupter
	Ceiling mounted light/Pendant light		Arc fault circuit interrupter
	Ceiling mounted directional light		Switch operated outlet
	Puck light		220 Volt duplex outlet
	Bath fan & light combination		Cable television
			Telephone jack
			Fuel gas

SEE 150(K) RESIDENTIAL LIGHTING SECTION IN THE GENERAL NOTES PAGE, FOR ALL LIGHTING REQUIREMENTS APPLICABLE TO THIS PROJECT SHEET A-1-1.

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PHOTOGRAPHIC SURVEY PLAN

1" = 40'-0"

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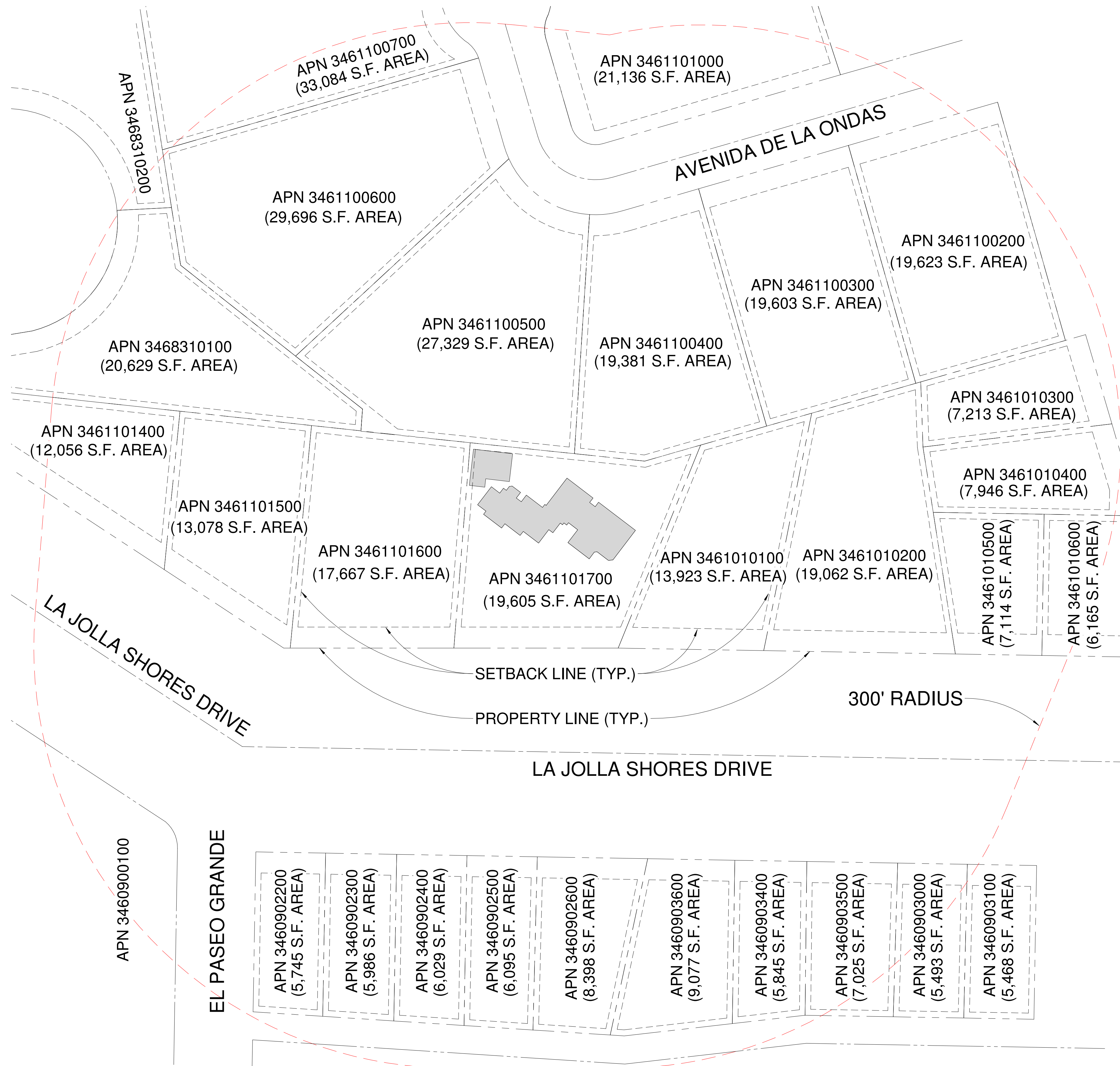
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PARCEL SURVEY PLAN

1" = 40'-0"

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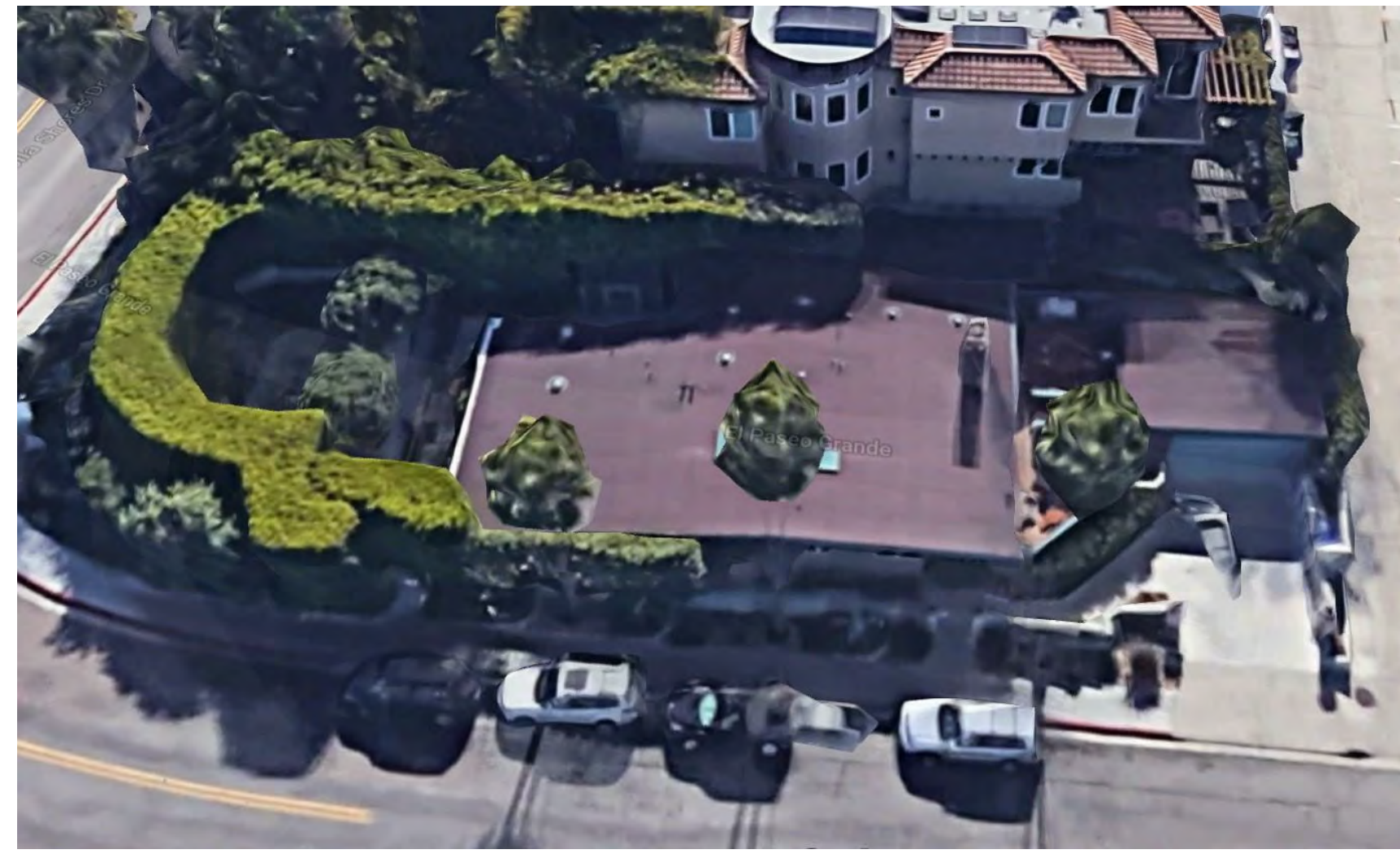


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PHOTOGRAPHIC PARCEL SURVEY

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SRVY-2

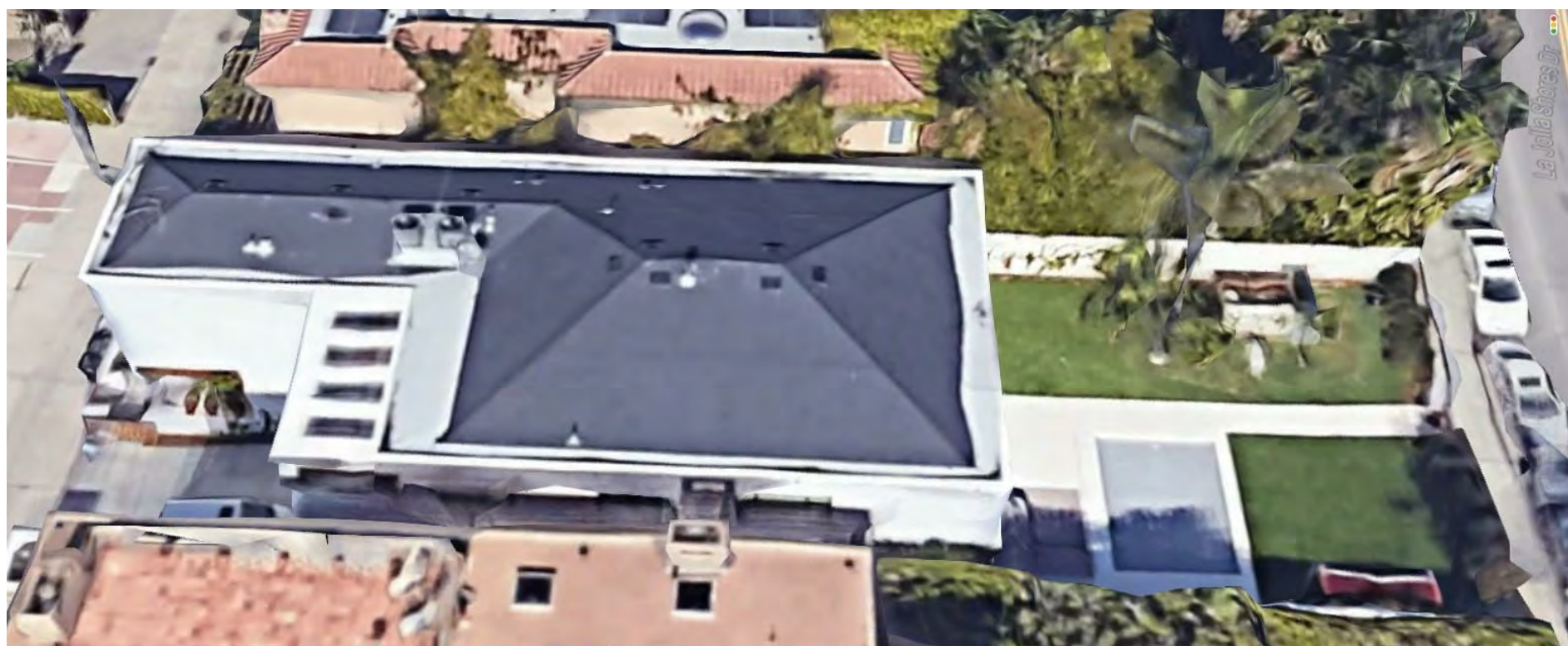
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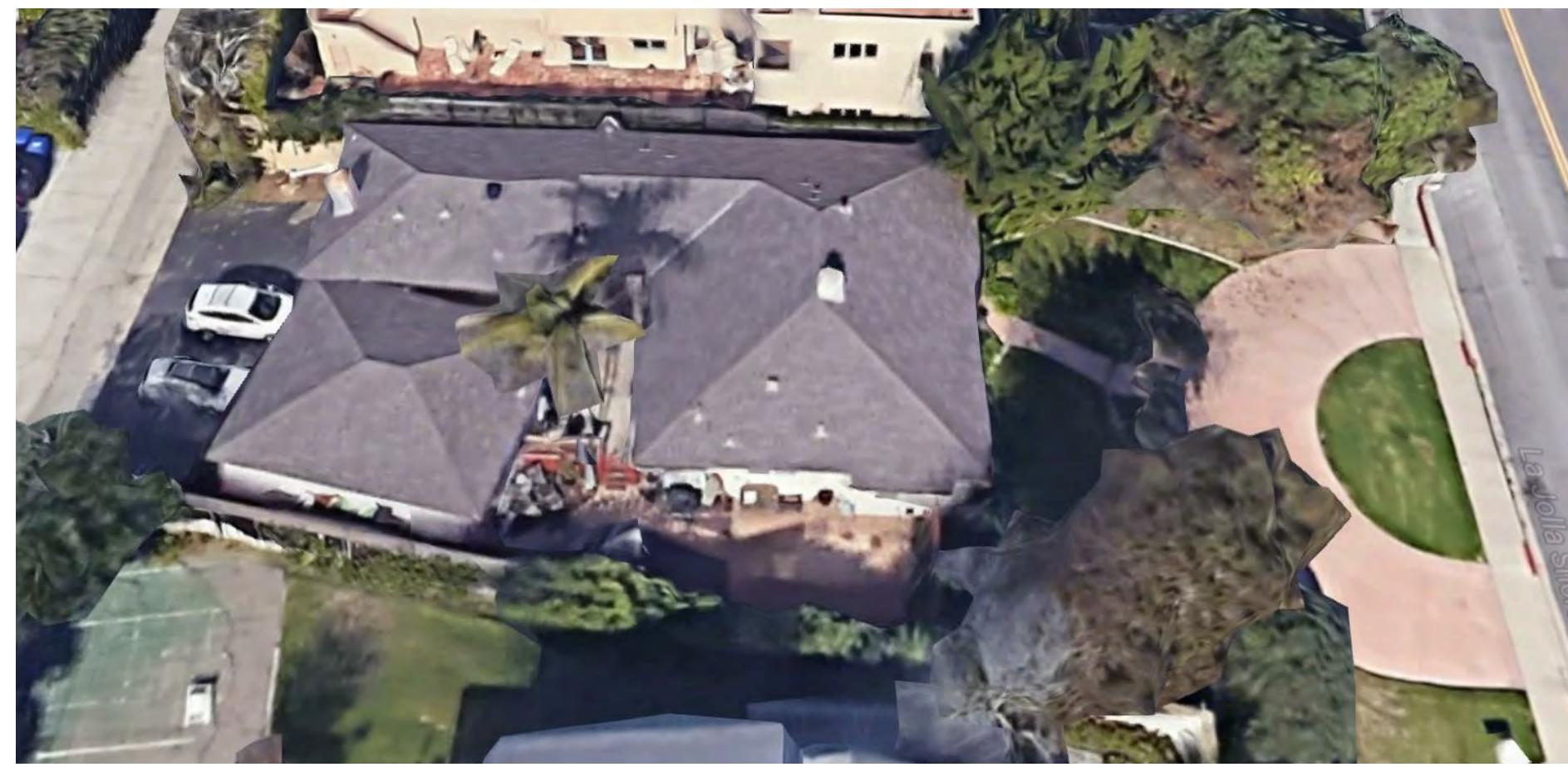
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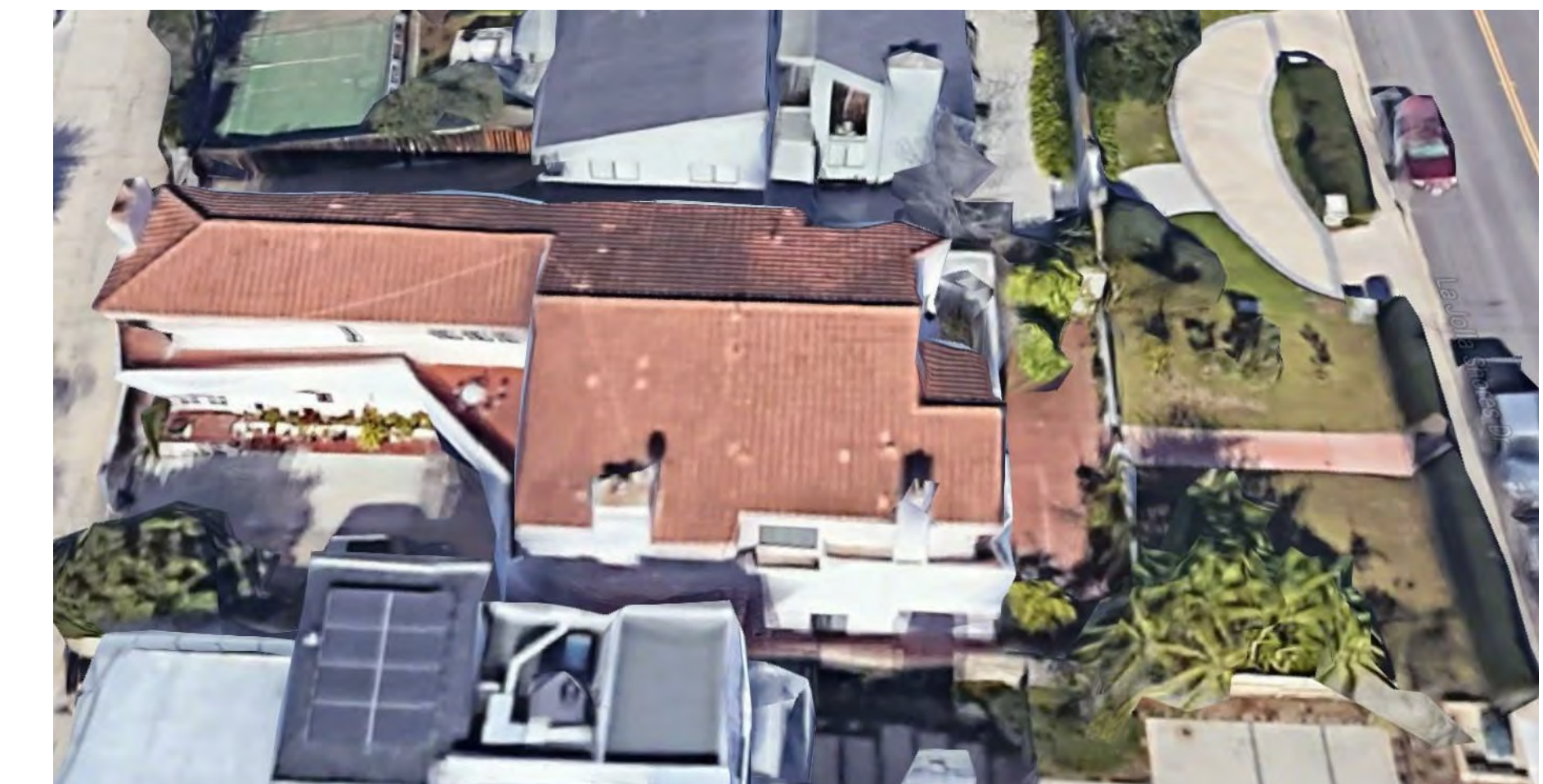
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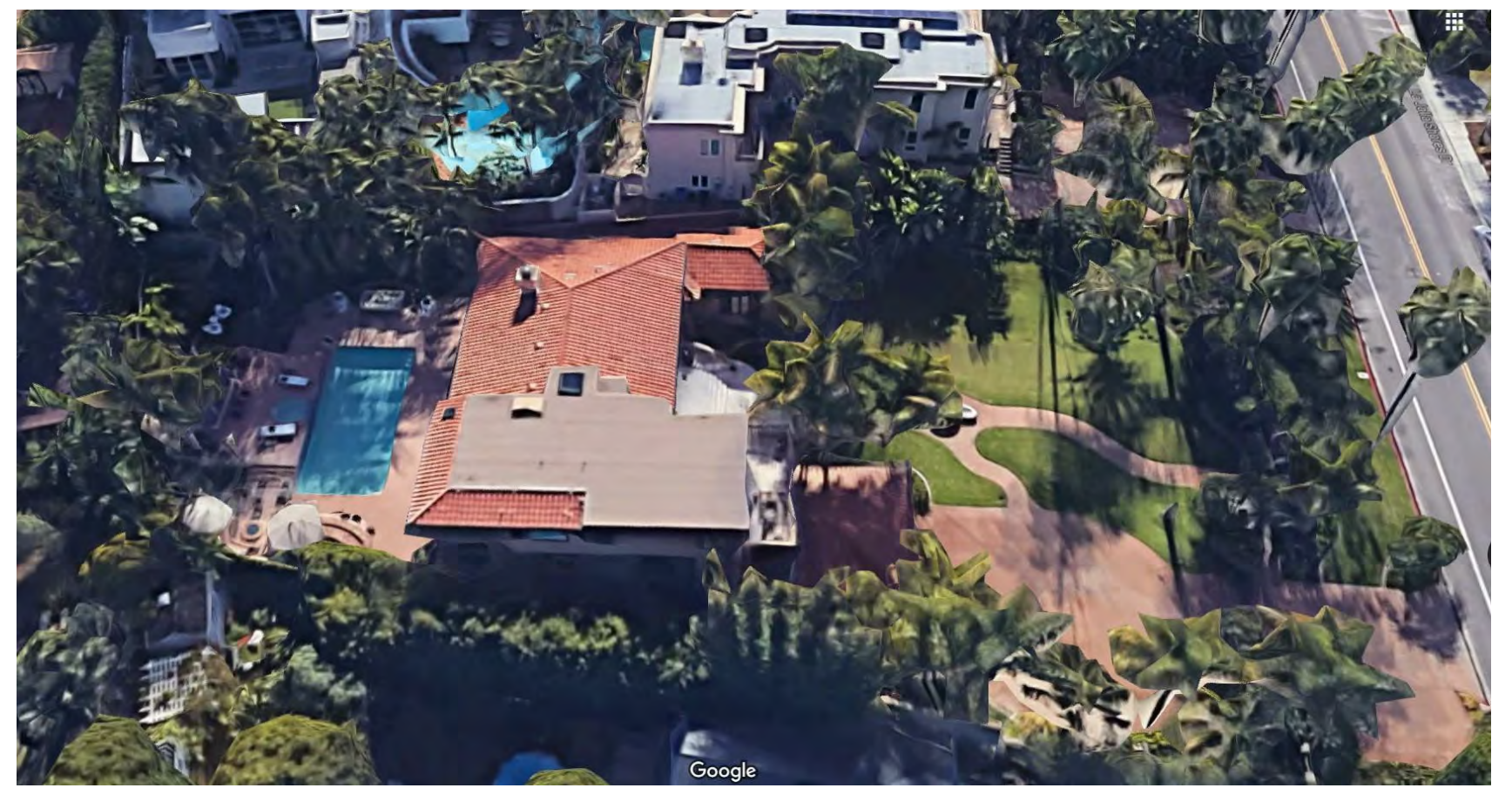
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APN - 3460903500



APN - 3460903600



APN - 3461010200



APN - 3461010300

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SRVY-3

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A Home Remodel For:
Bruce & Sherri Lightner
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SRVY-4



APN - 3461010400



APN - 3461100300



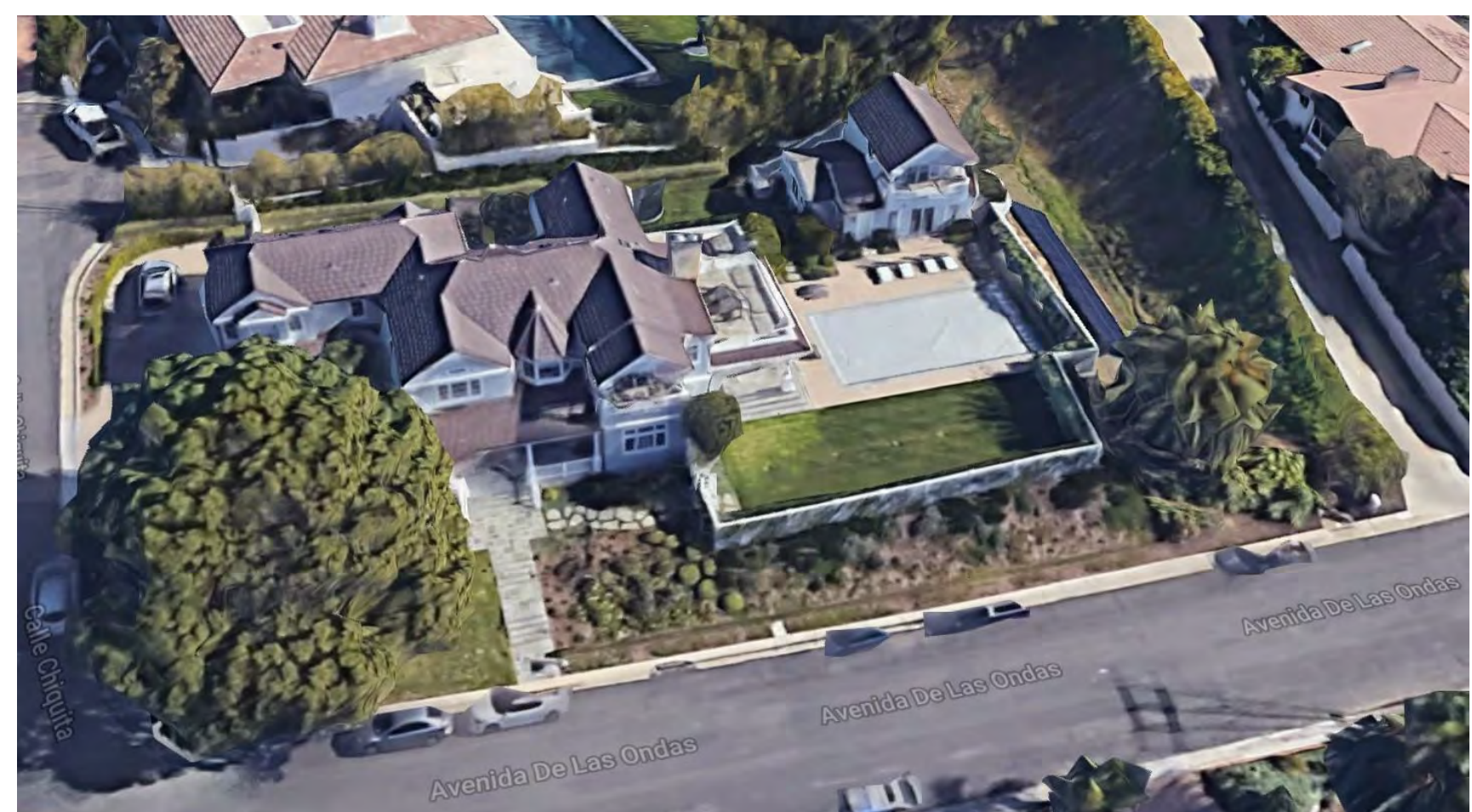
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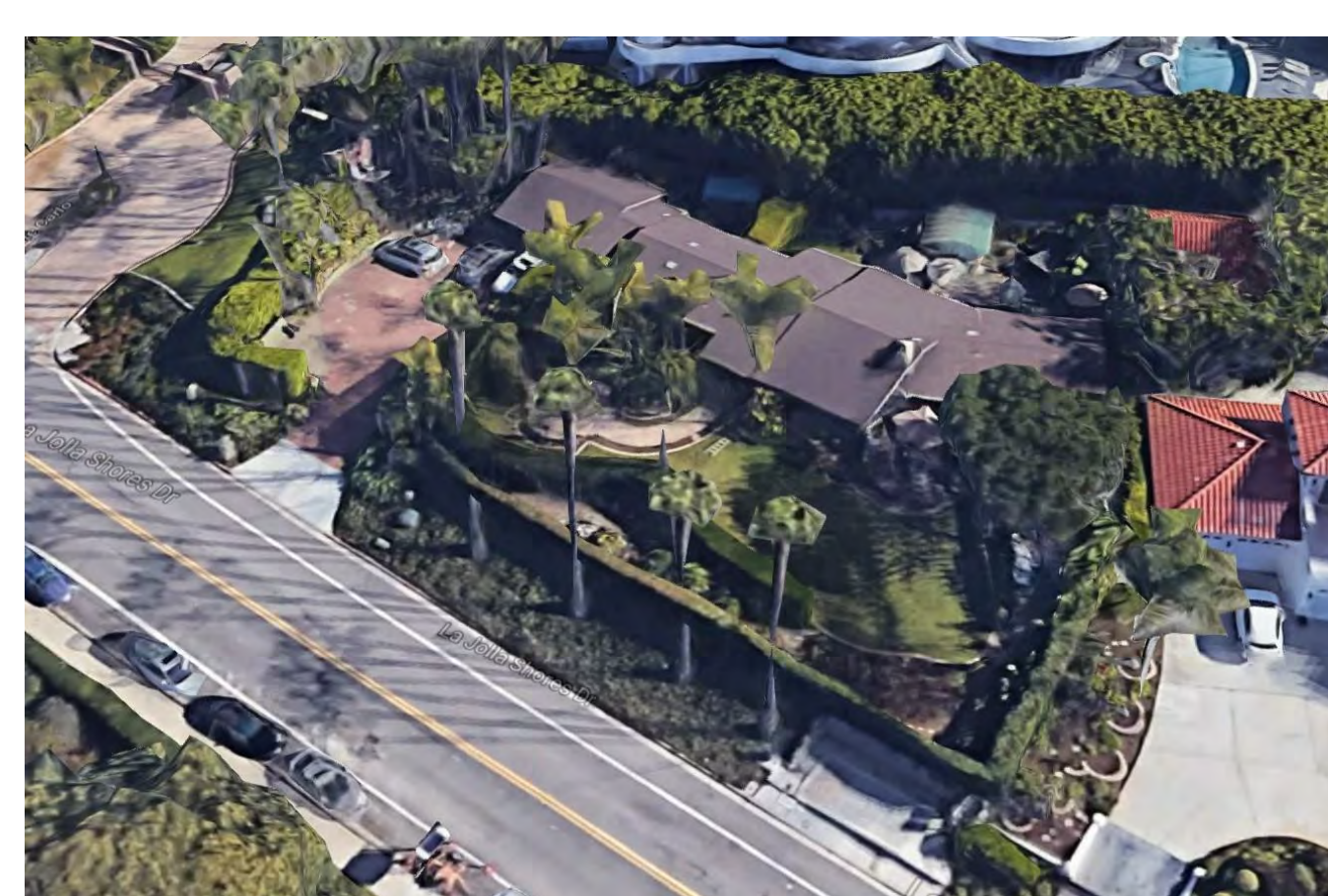
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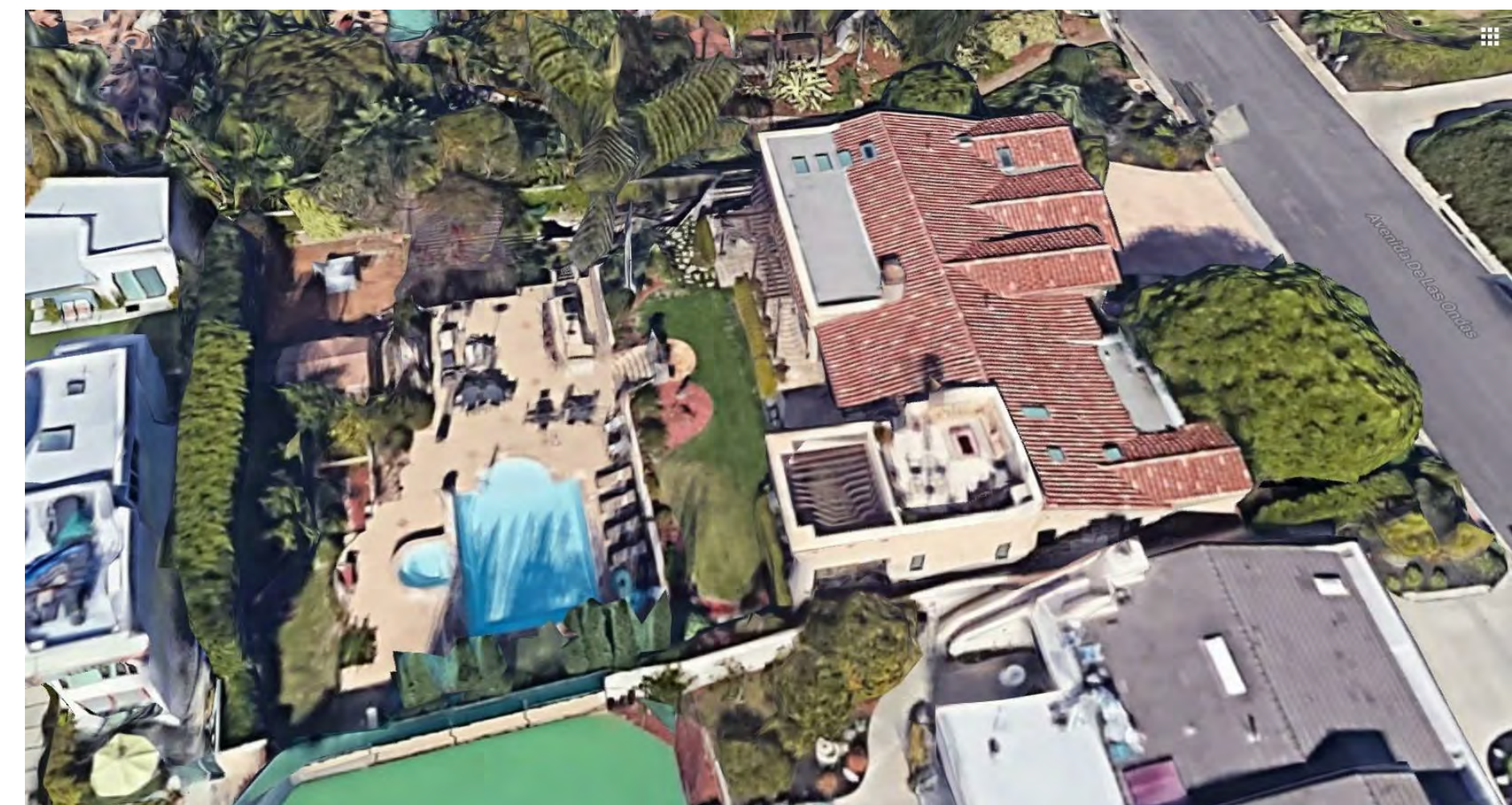
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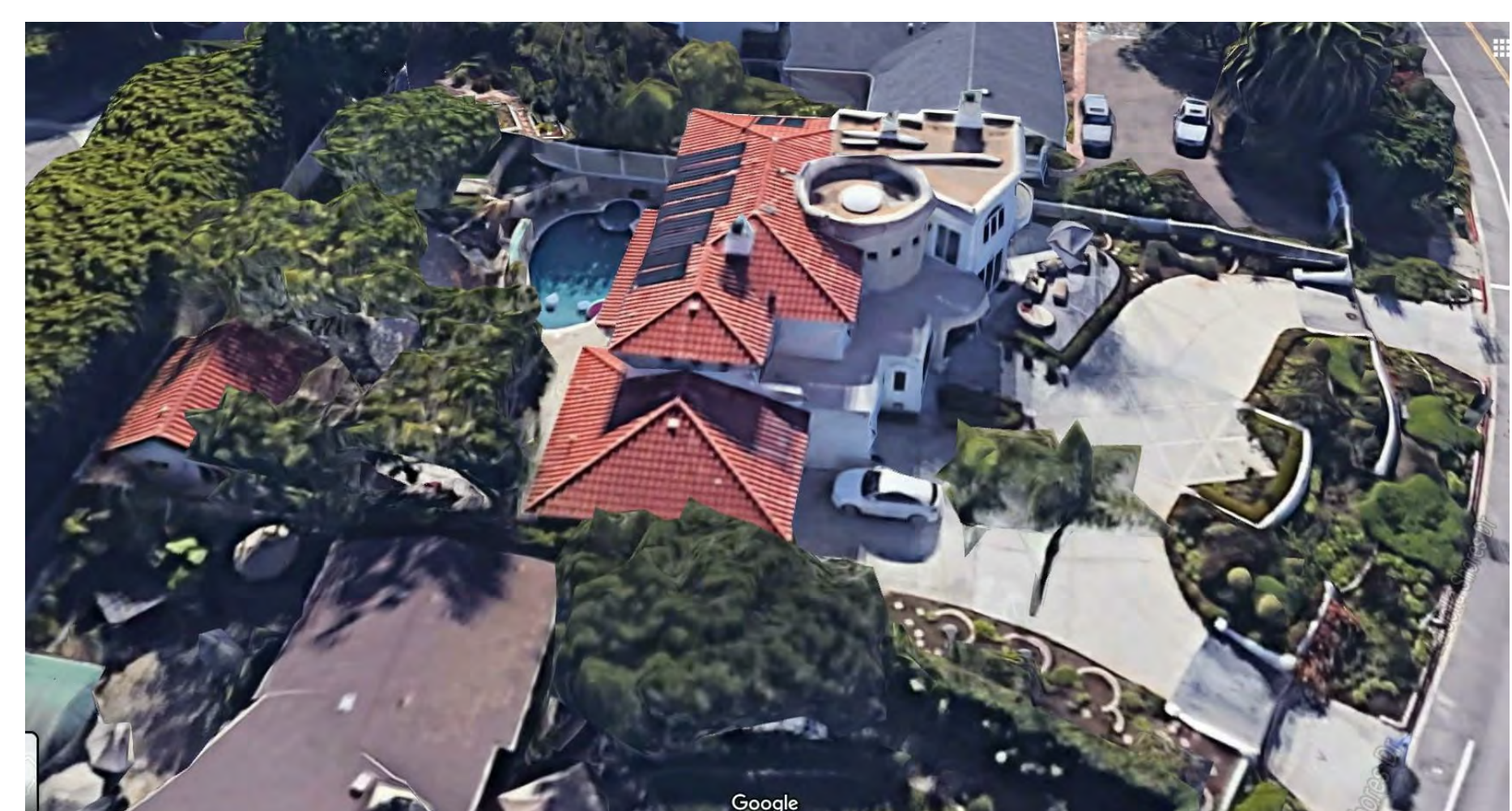
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APN - 3461101500

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APN - 3461101600



APN - 3461101700



APN - 3468310100



APN - 3468310200

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FIRE HYDRANT SURVEY PLAN

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Bruce & Sherri Lightner
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 Sheet Title:
Fire Hydrant Location Plan

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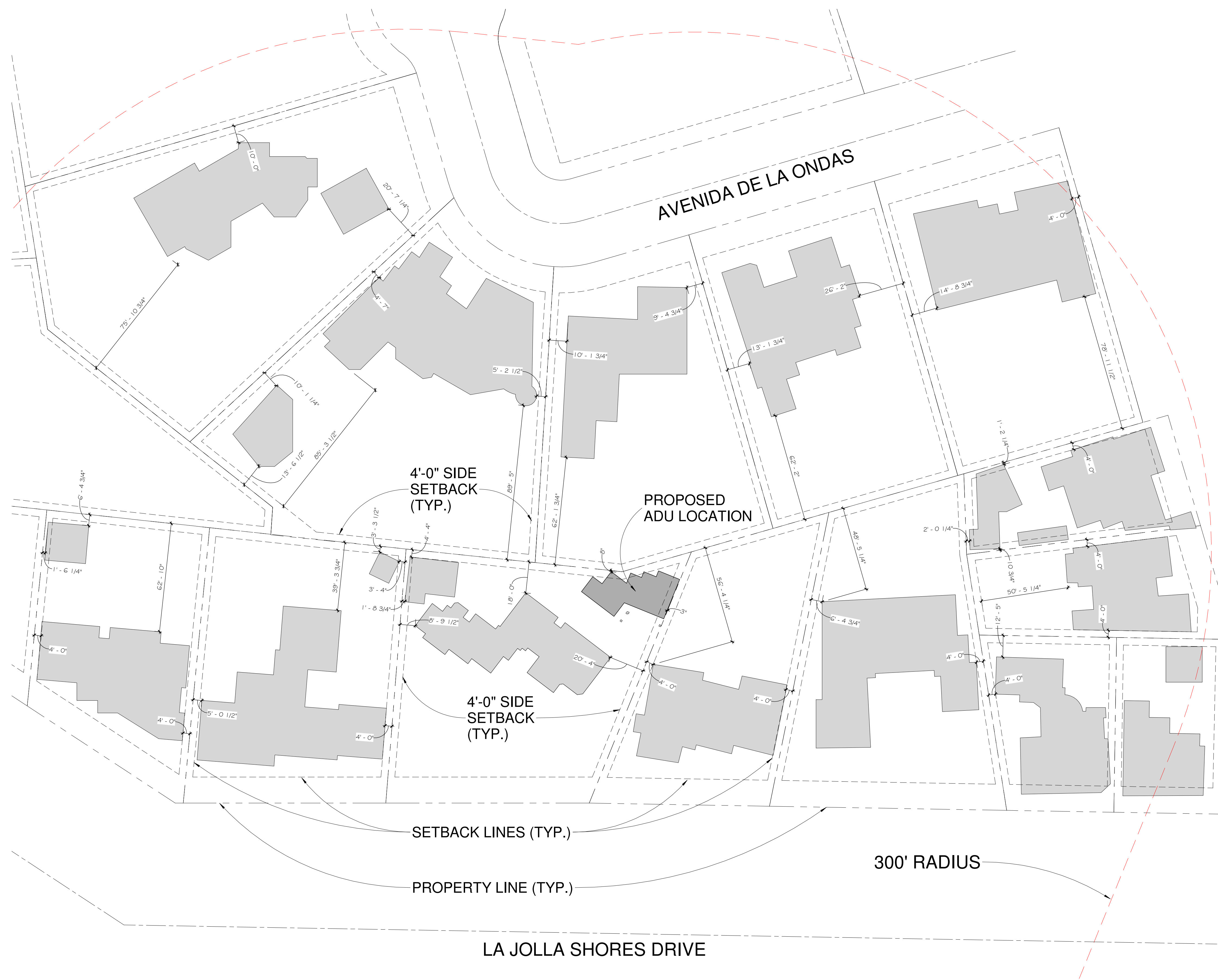
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A Home Remodel For:
Bruce & Sherri Lightner
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 Sheet Title:
SURROUNDING AREA SETBACKS

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SRVY-7
 OF 1 SHEETS



SURROUNDING AREA SETBACKS SURVEY PLAN
 1" = 30'-0"

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