

THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED:	December 8, 2021	REPORT NO. HO-21-058
HEARING DATE:	December 15, 2021	
SUBJECT:	8553 LA JOLLA SHORES DRIVE, Process Three	Decision
PROJECT NUMBER:	<u>672419</u>	
OWNER/APPLICANT:	Bruce Lightner and Sherri Lightner, as Truster 01/13/94/ Skip Reichenberg	e(s) of the Lightner Trust dated

<u>SUMMARY</u>

<u>Issue</u>: Should the Hearing Officer approve construction of a 1,200 square-foot companion unit and 474 square-foot garage located at 8553 La Jolla Shores Drive within the La Jolla Community Planning area?

Staff Recommendation(s):

1. Approve Coastal Development Permit No. 2461887 and Site Development Permit No. 2586653.

<u>Community Planning Group Recommendation</u>: On March 7, 2021, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the proposed project without any conditions.

<u>La Jolla Shores Planned District Advisory Board</u>: On March 17, 2021, the La Jolla Shores Advisory Board voted 3-1-0 to recommend approval of the proposed project.

<u>Environmental Review</u>: This Project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 23, 2021, and the opportunity to appeal that determination ended on October 7, 2021.

BACKGROUND

The 0.44-acre site is located at 8553 La Jolla Shores Drive and is developed with a 3,061 square-foot single-family dwelling unit within an established residential area in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The site is in the La Jolla Shores Planned District-Single Family zone, the Coastal (Non-Appealable) Overlay Zone, Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone (Attachments 1-3).

The existing structure is more than 45 years old, requiring City staff to evaluate the proposal for historic significance in accordance with San Diego Municipal Code (SDMC) section <u>143.0212</u>. Staff determined that the existing structure does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The project is within the Coastal Overlay Zone and requires a Coastal Development Permit pursuant to SDMC section <u>126.0702</u>, and a Process Three, Site Development Permit is required pursuant to SDMC section <u>1510.0201</u>. The discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in SDMC section <u>112.0103</u>. Therefore, the decision to approve, conditionally approve, or deny the project will be made by the Hearing Officer and is appealable to the Planning Commission.

DISCUSSION

The project proposes the construction of a 1,200 square-foot detached companion unit above a 474 square-foot garage, for a total of 1,674 square-feet. The properties surrounding the project site are one and two-story homes with a variety of architectural features inclusive of a companion unit on the property. As required by the La Jolla Shores Planned District, a neighborhood survey of the existing development pattern and bulk and scale was submitted for the analysis of the project. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed companion unit and garage were determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned District Ordinance Single Family Zone (LJSPD–SF), a including building height of 25 feet, which is below the 30foot height limit. No deviations or variances are required.

The project conforms with the development regulations of the LJSPD–SF Zone, and the Coastal Overlay Zone, and is consistent with the land use designation of single-family residential development (0-5 DU/AC) in the Community Plan. An existing single dwelling unit will remain on site and the proposed companion unit does not count towards the allowable density, thus the project is in conformity of the land use designation and will not exceed the prescribed density of the area. The project site is not located within the First Public Roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan.

The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA), and does not contain any other type of Environmentally Sensitive Lands (ESL) as defined in SDMC section <u>113.0103</u> and was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, Existing Facilities.

CONCLUSION

City staff has reviewed this application for a Coastal Development Permit and Site Development Permit, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

- 1. Approve Coastal Development Permit No. 2461887 and Site Development Permit No. 2586653, with modifications.
- 2. Deny Coastal Development Permit No. 2461887 and Site Development Permit No. 2586653, if the findings required to the approve the project cannot be affirmed.

Respectfully submitted,

Denise Vo, Development Project Manager

Attachments:

- 1. Project Location Map
- 2. Community Plan Land Use Map
- 3. Aerial Photograph
- 4. Draft Resolution with Findings
- 5. Draft Permit with Conditions
- 6. Community Planning Group Recommendation
- 7. La Jolla Shores Planned District Advisory Board
- 8. Ownership Disclosure
- 9. Project Plans





Project Location Map

8553 LJ Shores Dr. / 8553 La Jolla Shores Drive PROJECT NO. 672419



ATTACHMENT 1





Land Use Map

8553 LJ Shores Dr. / 8553 La Jolla Shores Drive PROJECT NO. 672419







Aerial Photo

8553 LJ Shores Dr. / 8553 La Jolla Shores Drive PROJECT NO. 672419



ATTACHMENT 4

HEARING OFFICER RESOLUTION NO. _____ SITE DEVELOPMENT PERMIT NO. 2586653 COASTAL DEVELOPMENT PERMIT NO. 2461887 8553 LA JOLLA SHORES DRIVE PROJECT NO. 672419

WHEREAS, BRUCE D. LIGHTNER AND SHERRI S. LIGHTNER, Trustee(s) of the Lightner Trust dated 01/13/94, Owner/Permittee, filed an application with the City of San Diego for a permit for a companion unit and garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 2586653 and Coastal Development Permit No. 2461887), on portions of a 0.44-acre site;

WHEREAS, the project site is located at 8553 La Jolla Shores Drive in the La Jolla Shores Planned District-Single Family zone, the Coastal (Non-Appealable) Overlay Zone, Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone within the La Jolla Community Plan;

WHEREAS, the project site is legally described as all those portions of Lot 1297, Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to map by James Pascoe in 1890,copy of said map was filed in the office of the county recorder of San Diego County November 14, 1921 and is known as miscellaneous Map No. 36 Parcel 1 and 2. Excepting from Parcels 1 and 2 above those portions thereof lying within the boundaries of land conveyed to Roy B. Klapper and wife, by deed dated September 10, 1953 and recorded in book 5019, page 487 of official records.;

WHEREAS, on December 15, 2021 the Hearing Officer of the City of San Diego considered Site Development Permit No. 2586653 and Coastal Development Permit No. 2461887 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on September 23, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301; and there was no appeal of the

Environmental Determination filed within the time period provided by San Diego Municipal Code

section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following

findings with respect to Site Development Permit No. 2586653 and Coastal Development Permit No.

2461887:

A. SITE DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0505]

1. <u>Findings for all Site Development Permits:</u>

a. The proposed development will not adversely affect the applicable land use plan.

The proposed project (project) is located at 8553 La Jolla Shores Drive and is developed with an existing one-story, single-family residence within an established residential area in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project proposes a 1,200 square-foot detached companion unit above a 474 square-foot garage, for a total of 1,674 square feet.

The La Jolla Community Plan identifies the project site as Very Low Density Residential (0-5 du/ac). An existing single dwelling unit will remain on site and the proposed companion unit does not count towards the allowable density, thus the project is in conformity of the land use designation and will not exceed the prescribed density of the area. The project site is surrounded by single-family residences and is not located within the first public roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan. In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public accessway identified in the Community Plan. The project complies with the development standards required by the underlying LJSPD-SF Zone regulations including height, density, building setbacks, floor area ratio, and lot coverage.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development is consistent with the relevant SDMC, policies, and regulations whose primary focus is the protection of the public's health, safety, and welfare. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of SDMC in effect for this project. Conditions included, but not limited to,

an Encroachment Maintenance Removal Agreement for items in the city right-of-way and a Water Pollution Control Plan (WPCP). Such conditions within the permit have been determined necessary to avoid adverse impact upon the public health, safety, and general welfare of persons residing or working in the surrounding area.

The project shall comply with the development conditions in effect for the subject property and other regulations and guidelines pertaining to the subject property per the SDMC. Such conditions within the permit have been determined necessary to avoid adverse impact upon the public health, safety, and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property and other regulations and guidelines pertaining to the subject property per the SDMC

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed project was determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned District Ordinance Single Family Zone (LJSPD–SF), including a building height of 25 feet, which is below the 30-foot height limit. Further, the La Jolla Community Plan states that in order to promote transitions in scale between new and older structures, it is recommended to create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The proposed companion unit acknowledges this recommendation by providing the offsetting planes and building articulation to avoid a box-like structure and promote a transition between the existing structure on site. No deviations or variances are required. Therefore, the project will comply with the regulations of the Land Development Code.

B. COASTAL DEVELOPMENT PERMIT DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project (project) is located at 8553 La Jolla Shores Drive and is developed with an existing one-story, single-family residence within an established residential area in

the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project proposes 1,200 square-foot detached companion unit above a 474 square-foot garage, for a total of 1,674 square feet.

The project site is located approximate 0.1 mile from the Pacific Ocean, is not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in the Community Plan. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed additions were determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned District Ordinance Single Family Zone (LJSPD–SF), including a building height of 25 feet, which is below the 30-foot height limit.

The La Jolla Community Plan states that in order to promote transitions in scale between new and older structures, it is recommended to create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The proposed companion unit acknowledges this recommendation by providing the offsetting planes and building articulation to avoid a box-like structure and promote a transition between the existing structure on site. Further, the proposed companion unit is allowed to encroach into required setbacks, however, complies with the bulk and scale comparisons within the neighborhood by stepping back the upper floor away from the property line. This allows for light and air to pass through and avoids bulky structures at that location. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program Land Use Plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site does not contain and is not adjacent to any sensitive biological resources, sensitive coastal bluffs, steep hillsides, or special flood hazard areas, and is not located within or adjacent to the City's Multiple Species Conservation Program/Multiple Habitat Planning Area. Therefore, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Community Plan designates the site for low residential development allowing 0 to 5 dwelling units per acre (du/ac). The project proposes a companion unit which

does not count towards the allowable density and the project does not exceed the prescribed density of the area, thus is consistent with the land use designation and complies with the allowable density. Policy #1 within the La Jolla Community Plan states that residential designations maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density. The project adheres to this policy by not exceeding the density and proposing an accessory structure.

The property is not located between the sea and the first public roadway paralleling the sea and does not impact any view corridor, intermittent or partial vistas, view sheds or scenic overlooks as identified in the adopted Community Plan. The proposed project is located within the existing disturbed and developed site and is designed in conformance with the LISPD-SF Zone development regulations, including required setbacks, floor area ratio, and height; it is also consistent with the bulk, scale, and style of the surrounding community. To promote transitions in scale between new and older structures, it is recommended to create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The proposed companion unit acknowledges this recommendation by providing the offsetting planes and building articulation to avoid a box-like structure and promote a transition between the existing structure on site. Further, the proposed companion unit is allowed to encroach into required setbacks, however, complies with the bulk and scale comparisons within the neighborhood by stepping back the upper floor away from the property line. This allows for light and air to pass through and avoids bulky structures at that location. the proposed building height is 25 feet, which is below the allowed 30-foot height limit.

The project site, located approximate 0.1 miles east of the Pacific Ocean, is not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in the Community Plan.

The project meets all applicable regulations and policy documents, and is consistent with the land use designation, design guidelines, and development standards for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act. The project site is located approximately 0.1 miles east of the Pacific Ocean and not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in Figure 9 of the Community Plan. The project will be developed entirely within private property and will not adversely impact any public recreation opportunities. Therefore, the project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are

incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing

Officer, Site Development Permit No. 2471986 and Coastal Development Permit No. 2554358 is

hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits,

terms and conditions as set forth in Site Development Permit No. 2586653 and Coastal

Development Permit No. 2461887, a copy of which is attached hereto and made a part hereof.

Denise Vo Development Project Manager Development Services

Adopted on December 15, 2021

IO#: 24008735

RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 11004543

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2461887 SITE DEVELOPMENT PERMIT NO. 2586653 8552 LJ SHORES DRIVE - PROJECT NO. 672419 DEVELOPMENT SERVICES DEPARTMENT

This Coastal Development Permit No. 2461887 and Site Development Permit No. 2586653 is granted by the Development Services Department of the City of San Diego to BRUCE D. LIGHTNER and SHERRI S. LIGHTNER, as Trustee(s) of the Lightner Trust dated 01/13/94, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0502 and 126.0702. The 0.44 -acre site is located at 8553 La Jolla Shores Drive in the La Jolla Shores Planned District-Single Family zone, the Coastal (Non-Appealable) Overlay Zone, Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone within the La Jolla Community Plan area. The project site is legally described as: All those portions of Lot 1297, Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to map by James Pascoe in 1890,copy of said map was filed in the office of the county recorder of San Diego County November 14, 1921 and is known as miscellaneous Map No. 36 Parcel 1 and 2. Excepting from Parcels 1 and 2 above those portions thereof lying within the boundaries of land conveyed to Roy B. Klapper and wife, by deed dated September 10, 1953 and recorded in book 5019, page 487 of official records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to construct a detached companion unit and garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 15, 2021, on file in the Development Services Department.

The project shall include:

- a. A 1,200 square-foot detached companion unit above a 474 square-foot garage; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 30, 2024.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

CLIMATE ACTION PLAN REQUIREMENTS:

10. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the landscape and irrigations located within the City's right-of-way, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

- 13. The companion unit may not be sold or conveyed separately from the primary dwelling unit.
- 14. The companion unit shall not be used for a rental term of less than 30 consecutive days.

INFORMATION ONLY:

• The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 15, 2021and [Approved] Resolution Number].

ATTACHMENT 5

COASTAL DEVELOPMENT PERMIT NO. 2461887 SITE DEVELOPMENT PERMIT NO. 2586653 Date of Approval: December 15, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Denise Vo Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

TRUSTEE(S) OF THE LIGHTNER, TRUST DATED 01/13/94 Owner/Permittee

Bу

Bruce D. Lightner Owner

By_

Sherri S. Lightner Owner

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

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SD	City of San Diego Development Services	Comn Committ	nunity Plai tee Distrib	nning ution Form		
Project Name: 8553 La Jolla Shore	es Dr.	Project Numbe 672419	r:			
Community: La Jo	lla					
For pro Select "Search f	oject scope and contact info log into OpenDSD at <u>htt</u> or Project Status" and inpu	ormation (project ma <u>ps://aca.accela.com/</u> t the Project Number	nager and applicant), <u>SANDIEGO</u> . r to access project infe	ormation.		
 Vote to Appro Vote to Appro Vote to Appro Vote to Deny 	ove with Conditions Listed Belo ove with Non-Binding Recomm	ow nendations ListedBelow	/			
# of Members Yes	6 # of Member 0	ers No	# of Members Absta	in		
Conditions or Rec Approved on Cons	ommendations: sent 3/4/21		1			
No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)						
NAME: Suzanne W	/eissman					
TITLE: Secretary, I	LJCPA		DATE: March 07, 20)21		
	Attach additional pages if r	necessary (maximum 3	attachments).			

ATTACHMENT 7



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

APPROVED Meeting Minutes for March 17, 2021 615 Prospect Street Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Jane Potter	Present	Herbert Lazerow	Present
Andrea Moser	Present	Suzanne Weissman	Present

1. Call to Order: 10:00 a.m.

Potter called the meeting to order at 10:00 a.m.

2. Approval of the Agenda:

Lazerow moved to approve, Moser seconded. Motion passed 4-0-0.

3. Non-agenda public comment:

Staff reported no non-agenda public comment was received.

4. Approval of the minutes for February 17, 2021

Lazerow said Project 1 should be Project A. The Moser's comment on air conditioning should read air conditioning for living. Next line regarding articulation and following line are confusing. On page 3, under Board Comment, third and fourth bullets are redundant. On the 8405 Paseo del Ocaso property the motion should read the board's final recommendation was to approve as revised as long as there are no street trees on Camino del Oro.

5. Project Review:

ACTION ITEM A – PTS 672419 – 8553 La Jolla Shores Drive ADU SDP/CDP Location: 8553 La Jolla Shores Drive APN: 346-110-17-00 **Description:** Proposal for a new 1,200 sf detached Accessory Dwelling Unit with new 474 sf garage on a 0.44-acre lot. The Applicant is seeking a recommendation of approval for a Site Development Permit and Coastal Development Permit from the Advisory Board.

Presented by: Skip Reichenberg, <u>skipr@marrokal.com</u>, (619) 457-735

Presentation:

- Presenter described first floor having garage, two bedrooms and bath
- Second floor has great room, kitchen, dining room and deck, and master suite
- Board and batten with stucco exterior finish blends in with neighboring properties
- Windows face west for privacy of neighbors
- ADU is placed at south east of site to minimize views of the ADU
- Bamboo to be re-planted to screen project from neighbor

Comments and discussion from the Advisory Board included:

- ADU's are desirable and this project is attractive
- Question asked as to whether the property does not need to have windows. Presenter responded there are no windows, per fire regulations
- Configuration of ADU thought to be 'weird'. Chain link fence 50 feet from La Jolla Shores Dr. demarcates area that is not part of the subject property
- If the proposal is legal then the board should approve
- Closeness of proposal to both property lines and lack of second-story step back on proposed ADU are issues

Public Comment:

- Merten were received
- Concern over location, bordering neighbor's property, jammed against their property line with a solid two-story stucco wall
- Presenter said large portion of property is public Right-of-Way with access easements
- Lights, windows, doors, and bamboo removal are all privacy issues for neighbor and interfere with enjoyment of neighbor's garden
- Question raised as to whether applicant owns adjacent property to south. Response was "yes."
- The project's Location on property line is not considered a desirable design
- Project minimizes impact to neighbor's coastal views, per applicant
- Outreach to neighbors was made with no response
- Not all the bamboo is to be removed, per applicant

Motion:

Moser moved to approve project as presented. Potter seconded. Motion failed 3-1-0. No other motions were offered resulting in no recommendation from the Advisory Board as 4 affirmative votes are required to pass a motion by the Advisory Board.

6. ACTION ITEM B – PTS 670093– Barba/Lowther Residence SDP/CDP

Location: 8561 El Paseo Grande APN: 346-090-20-00

Description: Proposal for the demolition of an existing 3,044 sf house and construction of a 5,804 sf two-story single family dwelling on a 0.15-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Presented by: Claude-Anthony Marengo, <u>CAMarengo@M2A.io</u>, (619) 4417-1111

Presentation:

- Presenter reviewed changes to project, including lowering project below the existing grade to create lower overall height, by four feet, plus increase step back of two feet for second story
- Other changes included reduced rear setback with addition of planter
- Though FAR was unchanged, bulk and scale were reduced by lowering building into site, thus keeping project more in conformity with neighbors

Public Comment:

- Neighbor reported not being noticed of proposal. Presenter said they hired a third party and gave a list to the City for noticing
- Bulk and scale are not compatible with neighboring structures
- Drainage is a problem in area with nearby storm drain. Presenter said water was per City SD discharge regulations
- Earthquake fault runs down street
- Basement should be included in total FAR and CDP/SDP findings cannot be made

Comments and discussion from the Advisory Board included:

- Changes based on previous board comment have resulted in a good project
- Clarification requested whether reduced height would make project shorter than houses on either side. Presenter said the new design is 4 feet shorter than previous. Project is taller than building to left but equal to building on right

- Request for clarification on the reduced setback from street. Applicant responded that the setback was reduced approximately about 5 feet equal to neighboring properties
- Request for previous FAR. Applicant responded that the FAR was .65 with lot coverage of 45%
- Front would be 26 feet from property line
- Since most bulk is at rear of property inclination is to support

Motion:

Potter moved to approval as revised. Moser seconded. Motion passed 4-0-0

7. ACTION ITEM C - PTS 589178 - Lookout Lot - Lot 2 SDP/CDP

Location: 7729 Lookout Drive

APN: 352-012-17-00

Description: Proposal for a new 3,849 sf single-family dwelling, 507 sf garage, and 1,011 sf full basement of a 0.12-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Presented by: Tony Crisafi/Nick Wilson, <u>nwilson@islandarch.com</u>, (858) 459-9291

Presentation:

- Design was reconfigured and lowered in height to address neighbor's view issue
- Project is two stories
- Proposed landscaping between proposal and adjacent historic house
- Side elevations are articulated
- Small covered terrace on side yard
- Monterey stye architecture with simple detailing, including rafter tails and wood posts with cedar front and garage doors
- Rear elevation steps back
- Thirty percent landscaping coverage
- Sixty percent lot coverage compliance
- Rear setback increased from 4 to 7.3 feet
- FAR decreased from .79 to .75

Public Comment:

- Staff said comment received for Lot 2 and Lot 5
- Susan McKean protested discussing Lot 5
- Presenter asked for point of order on why discussion being protested
- Chair opined more efficient to discuss both projects and then take public comment

ATTACHMENT 7

8. Action Item D –PTS 482904 – Lookout Lot – Lot 5 SDP/CDP Location: 7813 Lookout Drive APN

APN: 352-012-20-00

Description: Proposal for a new 4,900 sf single family dwelling which includes partial basement on a 0.12-acre site. Click HERE to view Attachment 4 on the City's website. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Presented by: Tony Crisafi/Nick Wilson, <u>nwilson@islandarch.com</u>, (858) 459-9291

Presentation:

- Building pushed 5 feet into grade on sloping lot
- Two-car garage at street level
- Upper level of house also pushed into lot
- Flat red tiled sloping roof, rafter tail detail
- House, and kitchen tucked into site with entry set back
- Walls articulated
- FAR is .53
- Landscaping ratio is 35 percent
- Building coverage is 53 percent where 60 percent allowed

Public Comment:

- Staff cited several comments received, as well as commenters present at meeting
- Neighbor requested applicant return for future consideration

Board Comment:

- Member requested tabling project with request that applicant provide complete plans
- Presenter said applicant may forego consideration by the board, as the project has previously received extensive review as well as with neighbors. The applicant may just move ahead with a City review.
- Staff responded that is the applicant's right and that they would need to explain to the decision maker at the City
- Member asked if board could make a decision without applicant's presence. Staff responded in affirmative, but urged applicant's presence for inclusivity reasons
- Presenter said complete plans were provided on the City website

Motion:

Lazerow moved to table project with or without applicant. Weissman seconded.

ATTACHMENT 7

Passed 4-0-0

Next meeting date: April 21, 2021.

Adjournment: 12:19 p.m.

Minutes taken by Tony Kempton, Associate Planner, Planning Department



City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000

Ownership Disclosure Statement

FORM	
DS-31	8

October 2017

Approval Type: Check appropria Neighborhood Development R Tentative Map Vesting Tent	te box for type o Permit □ Site D tative Map □ N	of approval(s) requested: Development Permit	❑ Neighborhood Use Peri lanned Development Per Plan Amendment • ❑ Otl	mit 🗆 Coast mit 🗅 Cond ner	tal Developm litional Use P	ent Permit ermit 🗅 Variance
Project Title:			Proje	ct No. For C	ity Use Only	:
Project Address:						
Specify Form of Ownership/Le	gal Status (ple	ase check):				
Corporation Limited Liabili	ty -or- 🛛 Gene	ral – What State?	Corporate Identifie	cation No		
🗖 Partnership 🗖 Individual						
By signing the Ownership Disclo with the City of San Diego on t owner(s), applicant(s), and other individual, firm, co-partnership, with a financial interest in the a individuals owning more than 1 officers. (A separate page may b ANY person serving as an offic A signature is required of at lea notifying the Project Manager c ownership are to be given to the accurate and current ownership	sure Statemen he subject pro r financially inte joint venture, a opplication. If t 0% of the shar be attached if n cer or director ast one of the of any changes e Project Mana information co	t, the owner(s) acknowle perty with the intent to erested persons of the a association, social club, f he applicant includes a c es. If a publicly-owned c tecessary.) If any person of the nonprofit organ property owners. Attacc in ownership during the ger at least thirty days p buld result in a delay in th	edge that an application for record an encumbrance bove referenced property fraternal organization, con corporation or partnershi corporation, include the n is a nonprofit organizatio ization or as trustee or h additional pages if nee e time the application is prior to any public hearing the hearing process.	or a permit, against the y. A financia poration, e: p, include t iames, titles on or a trust beneficiary ded. Note: being proce g on the sub	map or othe property. F ally intereste state, trust, r he names, tii , and addres , list the name of the nong The applica ssed or cons ject property	r matter will be filed Please list below the d party includes any receiver or syndicate tles, addresses of all ses of the corporate ses and addresses of profit organization. nt is responsible for sidered. Changes in y. Failure to provide
Property Owner						
Name of Individual:			Ow	ner 🛛 Te	nant/Lessee	Successor Agency
Street Address:						
City:				State	:	Zip:
Phone No.:		Fax No.:	Email:			
Signature:			Date:			
Additional pages Attached:	🖵 Yes	🗖 No				
Applicant						
Name of Individual:			□ Ow	ner 🛛 🖵 Te	nant/Lessee	Successor Agency
Street Address:						
City:				State	:	Zip:
Phone No.:		Fax No.:	Email:			
Signature:			Date:			
Additional pages Attached:	🖵 Yes	D No				
Other Financially Interested P	ersons					
Name of Individual:			🛛 🖓	ner 🛛 Te	nant/Lessee	Successor Agency
Street Address:						
City:				State	:	Zip:
Phone No.:		Fax No.:	Email:			
Signature:			Date:			
Additional pages Attached:	🗆 Yes	D No				

Printed on recycled paper. Visit our web site at <u>www.sandiego.gov/development-services</u>. Upon request, this information is available in alternative formats for persons with disabilities.

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SPECIAL INSPECTIONS REQUIRED
DEFERRED SUBMITTALS
N/A
SOILS NOTE

LIGHTNER Residence - Companion Unit

8553 La Jolla Shores Drive, La Jolla, CA 92037

BUILDING AREA TABULATION

Existing Floor Area =	3,061	Sq. Ft.
Total (E) Living Area =	3,061	Sq. Ft.
Existing Garage =	564	Sq. Ft.
Total (E) Building Area =	3,625	Sq. Ft.
Proposed C.I. 1st Floor Area -	474	Sa Et
Proposed C.U. 2nd Floor Area =	726	Sq. Ft.
Total C.U. Living Area =	1,200	Sq. Ft.
Proposed Garage =	474	Sq. Ft.
Total Proposed Building Area =	1,674	Sq. Ft.
Total (E) Building Area	2 625	Sa Et
Total Proposed Building Area =	3,625 1,674	Sq. Ft. Sq. Ft.
Total Adjusted Building Area =	5,299	Sq. Ft.
Area of Interior Remodel =	0	Sq. Ft.

Floor Area Ratio = 60%

Existing FAR = 19% Proposed FAR = 5,299 s.f. % 19,181 s.f. = 27.6%

Max. Lot Coverage = 60%

Existing Lot Coverage = 19% Proposed Lot Coverage = 5,299 s.f. % 19,181 s.f. = 27.6%

SCOPE OF WORK

This project consists of a new detached 1,200 s.f. Companion Unit and new 474 s.f. detached garage with new driveway as needed. Including discretionary Coastal Development Permit, La Jolla Planned District approval.

PROJECT DATA

8553 La Jolla Shores Drive, La Jolla, CA 92037 APN = 346-110-17-00 Gross Site Area = 19,181 Sq. Ft. Legal = MM0036 LOT 1297 Map DOC48178REC4-9-56 IN

Zone = La Jolla Shores Planned (LJSPD-SF Zone) La Jolla Community Plan Area District 1, Coastal (Non-APP) Overlay & Coastal Ht. Limit Parking Impact Overlay Geoligic Hazard Category

- 2

Construction Type = V-BOccupancy = R-3 & UYear of Construction = 1959 Sprinklers = Non

PROJECT TEAM

OWNER: Bruce & Sherri Lightner 8553 La Jolla Shores Drive, La Jolla, CA 92037

CONTRACTOR: Marrokal Design & Remodeling LLC 9842 River Street Lakeside, CA 92040 619-441-9300

DESIGNER: John Paratore Marrokal Design & Remodeling LLC 9474 Kearny Villa Road, Suite 205 San Diego, CA 92126 619-441-9300

ENGINEER: Evan A. Coles SolidForms Engineering 9474 Kearny Villa Road, Suite 215 San Diego, CA 92126 858-376-7734

CIVIL ENGINEER: Robert Chan Allied Earth Technology 7915 Silverton Avenue, Suite 317 San Diego, CA 92126 858-586-1665

GREEN BUILDING CODE REQUIREMENTS

Storm Water Drainage/Retention during Construction Projects which disturb less than one acre of soil shall manage storm water drainage during construction by one of the following: A. Retention basins. B. Where storm water is conveyed to a public drainage system, water shall be filtered by use of a barrier system, wattle or other approved method. CGC 4.106.2. 2. Grading and Paving Site grading or drainage system will manage all surface water flows to keep water from entering buildings (swales, water collection, French drains, etc.). CGC 4.106.3. Exception: Additions not altering the drainage path. 3. Recycling A minimum of 65% of construction waste is to be recycled. CGC 4.408.1. 4. Recycling The contractor shall submit a Construction Waste Management Plan to the jurisdiction agency that regulates waste management, per CGC 4.408.2. . Operation and Maintenance Manual The builder is to provide an operation manual (containing information for maintaining appliances, etc.) for the owner at the time of final inspection. CGC 4.410.1. 6. Pollutant Control During construction, ends of duct openings are to be sealed, and mechanical equipment is to be covered. CGC 4.504.1. 7. Pollutant Control VOC's must comply with the limitations listed in Section 4.504.3 and Tables 4.504.1, 4.504.2, 4.504.3 and 4.504.5 for: Adhesives, Paints and Coatings, Carpet and Composition Wood Products. CGC 4.504.2. Interior Moisture Control The moisture content of wood shall not exceed 19% before it is enclosed in construction. The moisture content needs to be certified by one of 3 methods specified in Section 4.505.3. Building materials with visible signs of water damage should not be used in construction. The moisture content must be determined by the contractor by one of the methods listed in CGC 4.505.3. 9. Indoor Air Quality Bathroom fans shall be Energy Star rated, vented directly to the outside and controlled by a humidistat. CGC 4.506.1. 10. Prior to final inspection the licensed contractor, or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.



- 2019 California Plumbing Code
- 2019 California Building Energy Efficiency Standards
- 2019 California Building Code
- 2019 California Fire Code

W - E

A-1

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OF

SHEETS

DISTURBED AREA TABULATION

Total Disturbance Area =1,400 Sq. Ft.Existing Impervious Area =8,380 Sq. Ft. Proposed Impervious Area = 1,568 Sq. Ft. Total Impervious Area =

9,948 Sq. Ft.

Impervious areas include rooftop, deck, concrete, pavement, brick, etc 0 Cubic Yards Amout of Cut =

Amount of Fill = Import / Export = Max. Cut Depth = 0 Ft. Max. Fill Depth = 0 Ft.

0 Cubic Yards (All footing cuts will be 0 Cubic Yards under the footprint of the new ADU)

5 feet or more of cut / fill measured vertically that is not directly under the footprint / envelope of the proposed structure requires a separate grading permit per SDMC 129.0602

The project proposes to export <u>0</u> cubic yards of material from this site. All export material shall be discharged to a legal disposal site in accordance with the 2019 Greenbook and supplemental amendments. The approval of this project does not allow processing and sale of the material, all such activities require a separate conditional use permit. The existing grade will not be modifided.

No work will be performed in the Right of Way.

Note:

The project does not propose a substantial amount of grading which would exceed the City's threshold of 1,000 CY of cut to a depth of 10-feet, therefore impacts would remian below a level of signigicance.

Note:

Note:

Note:





FIRE PROTECTION

- 1. Smoke Alarms shall comply with NFPA 72 and Section R314. SD $m{\Sigma}$ Smoke alarms shall be listed in accordance with UL 217. Combination smoke and carbon monoxide
- alarms shall be listed in accordance with UL 217 and UL 2034. Systems and components shall be California State Fire Marshal listed and approved in accordance with California Code of Regulations, Title 19, Division 1 for the purpose for which they are installed.
- 3. Smoke Alarms shall be installed in the following locations:
- a. In each sleeping room b. Outside each separate sleeping area in the immediate vicinity of the bedrooms. c. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an
- intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level. d. Smoke alarms shall be installed not less than 3 feet (914 mm) horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by Section R314.3.
- Smoke Alarms Specific location requirements:

17.6.3.

- a. Smoke alarms and smoke detectors shall not be located where ambient conditions, including humidity and temperature, are outside the limits specified by the manufacturer's published instructions.
- b. Smoke alarms and smoke detectors shall not be located within unfinished attics or garages or in other spaces where temperatures can fall below 40°F (4°C) or exceed 100°F (38°C).
- c. Where the mounting surface could become considerably warmer or cooler than the room, such as a poorly insulated ceiling below an unfinished attic or an exterior wall, smoke alarms and smoke detectors
- shall be mounted on an inside wall. d. Smoke alarms or smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance. Exception: Ionization smoke alarms with an alarmsilencing switch or Photoelectric smoke alarms shall be permitted to be installed 10 feet (3 m) or greater from a permanently installed cooking appliance. Photoelectric smoke alarms shall be permitted to be installed greater than 6 feet (1.8 m) from a permanently installed cooking appliance where the kitchen or cooking area and adjacent spaces have no clear interior partitions and the 10 ft distances would prohibit the placement of a smoke alarm or smoke detector required by other sections of the code. Smoke alarms listed for use in close proximity to a permanently installed cooking appliance.
- e. Installation near bathrooms. Smoke alarms shall be installed not less than a 3 foot (0.91 m) horizontal distance from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by other sections of the code.
- f. Smoke alarms and smoke detectors shall not be installed within a 36 in. (910 mm) horizontal path from the supply registers of a forced air heating or cooling system and shall be installed outside of the direct airflow from those registers.
- g. Smoke alarms and smoke detectors shall not be installed within a 36 in. (910 mm) horizontal path from the tip of the blade of a ceiling-suspended (paddle) fan. h. Where stairs lead to other occupied levels, a smoke alarm or smoke detector shall be located so that
- smoke rising in the stairway cannot be prevented from reaching the smoke alarm or smoke detector by an intervening door or obstruction. i. For stairways leading up from a basement, smoke alarms or smoke detectors shall be located on the
- basement ceiling near the entry to the stairs. j. For tray-shaped ceilings (coffered ceilings), smoke alarms and smoke detectors shall be installed on the highest portion of the ceiling or on the sloped portion of the ceiling within 12 in. (300 mm) vertically down from the highest point.
- k. Smoke alarms and detectors installed in rooms with joists or beams shall comply with the requirements of 17.7.3.2.4. I. Heat alarms and detectors installed in rooms with joists or beams shall comply with the requirements of
- 5. Where more than one smoke alarm is required to be installed within an individual dwelling or sleeping unit, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- 6. Smoke alarms shall receive their primary power from the building wiring provided that such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms with integral strobes that are not equipped with battery backup shall be connected to an emergency electrical system. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting 17. All domestic hot water piping to have the following minimum insulation installed: 1/2" pipe (1/2" insulation); 3/4" pipe switch other than as required for overcurrent protection.
- Smoke alarms are permitted to be solely battery operated in existing areas of buildings undergoing alterations or repairs that do not result in the removal of interior walls or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for building wiring without the removal of interior finishes.
- 8. Smoke Alarms will be installed according to the 2019 CRC Section R314.
- 9. Smoke alarms & carbon monoxide alarms shall be per: SD CM CM
- California state fire marshal approved listing 7263-1610:0121 Company: "Kidde safety" smoke alarm-combination smoke/carbon monoxide Model: KN-COPE-I 120 VAC powered with 9VDC battery backup or provide equal from listing report.
- 10. Where an addition, alteration or repair to an individual dwelling unit or guestroom in Group R requires a permit, battery-operated smoke alarms shall be installed in the existing construction in accordance with the preceding item.
- 11. When alterations, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with smoke alarms located as required for new dwellings.
- 12. Smoke alarms & carbon monoxide alarms that are more than 10 years old shall be replaced with new alarms. Verify the age of the existing alarms in the field and replace them as needed.
- 13. Carbon Monoxide Alarms shall comply with Section R315. CM

monoxide alarm shall be installed within the bedroom.

- 14. Carbon monoxide alarms shall be listed in accordance with UL 2034. Combination carbon monoxide and smoke alarms shall be listed in accordance with UL 2034 and UL 217.
- 15. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units which FUEL BURNING appliances are installed and in dwelling units that have attached garages.
- 16. Carbon monoxide alarms shall be installed in the following locations: a. Outside of each separate sleeping area in the immediate vicinity of the bedrooms b. On every occupiable level of a dwelling unit, including basements. c. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon
- 17. Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.
- 18. Carbon monoxide alarms in Group R occupancies shall be permitted to be battery-powered or plug-in with a battery backup in existing buildings built prior to January 1, 2011, under any of the following conditions:
- a. Repairs or alterations do not result in the removal of interior wall and ceiling finishes exposing the structure in areas/spaces where carbon monoxide alarms are required.
- 19. Where more than one carbon monoxide alarm is required to be installed within a dwelling unit or within a sleeping unit in Group R occupancies, the alarms shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit. Interconnection is not required in existing buildings built prior to January 1, 2011, under any of the following conditions:
- a. Repairs or alterations do not result in the removal of interior wall and ceiling finishes exposing the structure in areas/spaces where carbon monoxide alarms are required.
- 20. In existing dwellings, where a permit is required for alterations, repairs or additions exceeding \$1,000 dollars, existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with carbon monoxide alarms in the specific dwelling unit or sleeping unit for which the permit was obtained.
- 21. Carbon monoxide alarms will be installed according to the 2019 CRC Section R315.
- 22. Doors between garages and occupiable spaces (enclosed spaces including habitable spaces. bathrooms, closets, halls, storage and utility areas, etc.) shall be gasketed or made substantially airtight with weather stripping.
- MECHANICAL 1. Exhaust fans 🛛 FAN 🌒
- Per 2019 Green Code Sec. 4.506.1 Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
- a. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. b. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. Humidity controls shall be capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).
- 2. Rooms containing bathtubs, showers, spas and similar bathing fixtures shall be mechanically ventilated.
- 3. A mechanical exhaust system, supply system, or combination thereof shall be installed for each dwelling unit to provide whole-building ventilation with outdoor air complying with ASHRAE Standard 62.2-2007 as adopted by the California Energy Commission.

- 4. An intermittently or continuously operating local mechanical exhaust system (with outdoor air) shall be installed in each kitchen and bathroom complying with ASHRAE Standard 62.2-2007 as adopted by the California Energy Commission. Intermittent local ventilation exhaust airflow rates shall be 50 cfm in bathrooms and 100 cfm in kitchens. Continuous local ventilation exhaust airflow rates shall be 20 cfm in bathrooms and 5 ach (air changes/hour) in kitchens based on kitchen volume. New exhaust fans shall have a noise rating of a maximum 1 "Sone" (for the continuous use calculation) or 3 "Sone" (for the intermittent use calculation).
- 5. Elements of appliances which create a glow or spark must be located a minimum of 18" above the floor. Ducts through garage into dwelling shall be minimum 26-gauge galvanized steel.
- 6. Provide an unobstructed passage 24" wide, not more than 20 feet in length, with solid continuous flooring from attic access to FAU equipment/control panel. The work platform shall be 30" min. in front of equipment with 30" clear headroom. Provide a permanent electrical receptacle outlet & lighting fixture controlled by a switch at the attic access.
- 7. The return air plenum serving the mechanical equipment must be fully ducted from the equipment to the conditioned space. Drop ceilings, wall cavities and equipment platforms may not be used as plenums.
- following requirements: 8. Screen louvers shall not be installed at dryer vent terminations per Sec. 504.3.1 CMC. i. Be listed, as defined in Section 100.1, for zero clearance insulation contact (IC) by Underwriters Laboratories or other nationally recognized testing/rating laboratory; and 9. Environmental air ducts and exhaust terminations shall terminate not less than 3' feet from a property line and 3' feet from ii. Have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals openings into the building. when tested in accordance with ASTM E283. An exhaust fan housing shall not be required to be
 - PLUMBING
- 1. Permanent vacuum breakers shall be included with all new hose bibs. Hose bibs shall be fitted with a non-removable backflow device
- 2. State Health and Safety Code Sec 17921.9 bans the use of chlorinated polyvinyl chloride (CPVC) and crosslinked polvethylene (PEX) for interior water supply piping
- 3. Shower and tub-shower combination control valve must be pressure balanced.
- 4. "PEX" piping is not an approved material for water supply and distribution systems in California for residential occupancies.
- 5. A 12" minimum access panel to bathtub trap connection is required unless plumbing is without slip joints.
- 6. Max. temperature of 120° to be provided by the use of pressure balance or thermostatic mixing valves.
- 7. All metal piping systems and all grounded metal parts in contact with the circulating water shall be bonded together using a solid copper bonding jumper, insulated, covered, or bare, not smaller than 8AWG.
- 8. Built-in Tubs with Showers shall have waterproof joints between the tub and adjacent wall
- 9. Hot water piping between water heater and all kitchen fixtures shall be insulated.
- 10. New Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor
- 11. Building drain and vent piping shall comply with sections 701.0 and 903.0 of the California Plumbing Code.
- All sanitary system materials shall be listed by an approved listing agency.
- 13. Showers and tub-shower combinations shall be provided with mixing valves per section 408.3 CPC.
- 14. ALL ABS and PVC piping and fittings shall be enclosed within walls and floors covered with "type X gypsum board" or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- 15. Existing "noncompliant" fixtures (toilets that use more than 1.6 gallons of water per flush, urinals that use more than one gallon of water per flush, showerheads that have a flow capacity of more than 2.5 gallons of water per minute, and interior faucets that emit more than 2.2 gallons of water per minute) shall be replaced. Certification of compliance shall be given to the building inspector prior to final permit approval. California SB407.
- 16. Below grade hot water piping is required to be installed in a waterproof and non-crushable sleeve or casing that allows for replacement of both the piping and insulation per ES 150.O(j).
- (1" insulation); 1" to 1-1/2" pipe (1-1/2" insulation). CPC 609.11 & ES 150.0(j). Additionally, the 1/2" hot water pipe to the kitchen sink, and the cold water pipe within 5 feet of the water heater both require 1" minimum insulation. ES 150.0(j).

ELECTRICAL

- 1. Receptacle outlet locations shall comply with NEC Article 210.52
- 2. Tampered-Resistant Receptacles shall be installed for all receptacles in the dwelling unit.
- 3. All 125-volt, single-phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, kitchens or similar rooms or areas shall be protected by a listed arc-fault circuit interrupter, combination-type, installed to provide protection of the branch circuit.
- 4. AFCI protection required in rooms where power circuitry is modified, replaced or affected by new work.
- type installed to provide protection of branch circuit.
- 6. Receptacles in a damp or wet location shall comply with NEC Article 406.8
- 7. Two dedicated 20-ampere branch circuits are required in kitchen/dining area.
- 8. Bathroom circuiting shall be either: a) 20-ampere circuit dedicated to each bathroom. or b) at least one 20-ampere circuit supplying only bathroom receptacle outlets.
- 9. All lights in closets shall comply with NEC 410.8 for clearance to combustibles.
- 10. In Kitchens and Dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12 inches. Receptacles shall be installed so that no point along the wall line is more than 24 inches measured horizontally from a receptacle outlet in that space. Island and peninsular countertops 12 inches by 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter top spaces.
- 11. Mounting of lighting control devices such as switches / dimmers / occupancy sensors in bathrooms shall comply with Art. 680.11(D). No light switch within 36 inches of bath / tub / shower edge.
- TITLE 24
- An electronically signed and registered Installation Certificate(s) (CF-6R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF-6R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF-1R. Certificate of Occupancy will not be issued until forms CF-6R are reviewed and approved.
- 2. An electronically signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF-4R) shall be posted at the building site by a certified HERS rater. A registered CF-4R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF-6R. Certificate of Occupancy will not be issued until CF-4R is reviewed and approved.
- 3. 2008 EES Compliance Forms CF-1R and Installation Certificates to be assembled and posted weather-protected within structure. Applicable forms to be completed by contractors/installers for review by inspectors. CF-6R-LTG-01 must be completed for review at framing inspection.
- 4. Manufactured windows shall have a label attached certified by the National Fenestration Rating Council (NFRC) and showing compliance with energy calculations.

GREEN BUILDING

- 1. All Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) will be water conserving and will comply with the 2019 CGBSC Sec. 4.303.1
- 2. Toilets shall not exceed 1.28 gallons per flush.
- 4. Multiple Showerheads, when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. A hand-held shower shall be considered a showerhead.
- 5. Lavatory faucets shall have a maximum flow rate of not more than 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
- 6. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and
- must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. 7. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the
- applicable standards referenced in Table 1701.1 of the *California Plumbing Code*. 2019 CGBSC Sec. 4.303.2
- 8. Any installed gas fireplace shall be a directvent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 20199 CGBSC Sec. 4.503.1

- 5. AFCI-protected outlets and power points to be protected by a listed Arc Fault Circuit Interrupter, combination
- 12. Provide arc-fault circuit interrupter (AFCI) for outlets in residential units per NEC 210.12.

- 3. Single Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi.

ELECTRICAL LIGHTING

LOW-RISE RESIDENTIAL BUILDINGS – SECTION 150.0 – MANDATORY FEATURES AND DEVICES

- 150(k) Residential Lighting 1. Luminaire Requirements
- A. Luminaire Efficacy: All installed luminaires shall be high efficacy in accordance with TABLE 150.0-A.
- B. Blank Electrical Boxes. The number of electrical boxes that are more than 5 feet above the finished
- floor and do not contain a luminaire or other device shall be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or fan speed control. C. Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings shall meet all of the
- certified airtight; and iii. Be sealed with a gasket or caulk between the luminaire housing and ceiling, and shall have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk; and iv. For luminaires with hardwired ballasts or drivers, allow ballast or driver maintenance and replacement to be readily accessible to building occupants from below the ceiling without
- requiring the cutting of holes in the ceiling; and v. Shall not contain screw base sockets; and vi. Shall contain light sources that comply with References Joint Appendix JA8, including the elevated temperature requirements, and that are marked "JA8-2016-E" as specified in Reference Joint Appendix JA8
- D. Electronic Ballasts. Ballasts for fluorescent lamps rated 13 watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.
- E. Night Lights. Permanently installed night lights and night lights integral to installed luminaires or exhaust fans shall be rated to consume no more than five watts of power per luminaire or exhaust fan as determined in accordance with Section 130.0(c). Night lights shall not be required to be controlled by vacancy sensors.
- F. Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans shall meet the applicable requirements of Section 150.0(k) EXCEPTION to Section 150.0(k)1F: Lighting installed by the manufacturer in kitchen exhaust hoods.
- G. Screw based luminaires. Screw based luminaires shall meet all of the following requirements: The luminaires shall not be recessed downlight luminaires in ceilings; and ii. The luminaires shall contain lamps that comply with Reference Joint Appendix JA8; and
- iii. The installed lamps shall be marked with "JA8-2016" or "JA8-2016-E" as specified in Reference Joint Appendix JA8. **EXCEPTION** to Section 150.0(k)1G: Luminaires with hard-wired ballasts for high intensity discharge
- H. Enclosed Luminaires. Light sources that are not marked "JA8-2016-E" shall not be installed in enclosed luminaires.
- 2. Interior Lighting Switching Devices and Controls.
- A. All forward phase cut dimmers used with LED light sources shall comply with NEMA SSL 7A. B. Exhaust fans shall be switched separately from lighting systems.
- EXCEPTION to Section 150.0(k)2B: Lighting integral to an exhaust fan may be on the same switch as the fan provided the lighting can be switched OFF in accordance with the applicable provisions in Section 150.0(k)2 while allowing the fan to continue to operate for an extended period of time. C. Luminaires shall be switched with readily accessible controls that permit the luminaires to be manually switched ON and OFF.
- D. Lighting controls and equipment shall be installed in accordance with the manufacturer's instructions. E. No controls shall bypass a dimmer or vacancy sensor function where that dimmer or vacancy sensor has been installed to comply with Section 150.0(k)
- F. Lighting controls shall comply with the applicable requirements of Section 110.9. G. An Energy Management Control System (EMCS) may be used to comply with dimmer requirements in Section 150.0(k) if at a minimum it provides the functionality of a dimmer in accordance with Section 110.9. meets the installation certificate requirements in Section 130.4, the EMCS requirements in Section 130.5(f), and complies with all other applicable requirements in Section 150.0(k)2. H. An Energy Management Control System (EMCS) may be used to comply with vacancy sensor requirements in Section 150.0(k) if at a minimum it provides the functionality of a vacancy sensor in accordance with Section 110.9, meets the installation certificate requirements in Section 130.4, the EMCS requirements in Section 130.5(f), and complies with all other applicable requirements in Section
- 150.0(k)2. . A multiscene programmable controller may be used to comply with dimmer requirements in Section 150.0(k) if at a minimum it provides the functionality of a dimmer in accordance with Section 110.9, and complies with all other applicable requirements in Section 150.0(k)2.
- J. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces shall be controlled by a vacancy sensor K. Dimmers or vacancy sensors shall control all luminaires required to have light sources compliant with Reference Joint Appendix JA8.
- EXCEPTION 1 to Section 150.0(k)2K: Luminaires in closets less than 70 square feet. EXCEPTION 2 to Section 150.0(k)2K: Luminaires in hallways. L. Undercabinet lighting shall be switched separately from other lighting systems.
- SECTION 150.0 MANDATORY FEATURES AND DEVICES
- 3. **Residential Outdoor Lighting.** In addition to meeting the requirements of Section 150.0(k)1A, luminaires providing residential outdoor lighting shall meet the following requirements, as applicable:
- A. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, shall meet the requirement in item i and the requirements in either item ii or item iii:
- i. Controlled by a manual ON and OFF switch that does not override to ON the automatic actions of Items ii or iii below: and ii. Controlled by photocell and motion sensor. Controls that override to ON shall not be allowed
- unless the override automatically reactivates the motion sensor within 6 hours; or iii. Controlled by one of the following methods: a. Photocontrol and automatic time switch control. Controls that override to ON shall not be
- allowed unless the override shall automatically return the photocontrol and automatic time switch control to its normal operation within 6 hours.; or b. Astronomical time clock. Controls that override to ON shall not be allowed unless the override shall automatically return the astronomical clock to its normal operation within 6 hours and
- which is programmed to automatically turn the outdoor lighting OFF during daylight hours; or c. Energy management control system which meets all of the following requirements: At a minimum provides the functionality of an astronomical time clock in accordance with Section 110.9; meets the Installation Certification requirements in Section 130.4; does not
- have an override or bypass switch that allows the luminaire to be always ON; and, is programmed to automatically turn the outdoor lighting OFF during daylight hours. 4. Internally illuminated address signs. Internally illuminated address signs shall: TABLE 150.0-A CLASSIFICATION OF HIGH EFFICACY LIGHT SOURCES High Efficacy Light Sources Luminaires installed with only the lighting technologies in this table shall be classified as high efficacy Light sources in this column other than those | Light sources in this column shall be certified to the nstalled in ceiling recessed downlight Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JA8 and uminaires are classified as high efficacy and are **not** required to comply with Reference be marked as meeting JA8. Joint Appendix JA8 . Pin-based linear or compact fluorescent All light sources in ceiling recessed downlight light sources using electronic ballasts. luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless 2. Pulse-start metal halide. of lamp type as described in Section 150.0(k)1C. 3. High pressure sodium. 9. GU-24 sockets containing LED light sources. 4. GU-24 sockets containing light sources). Any light source not otherwise listed in this table and other than LEDs.^{a,b} certified to the Commission as complying with Joint 5. Luminaires with hardwired high frequency Appendix 8. generator and induction lamp. 6. Inseparable SSL luminaires that are installed outdoors. . Inseparable SSL luminaires containing colored light sources that are installed to provide decorative lighting.
- a. GU-24 sockets containing light sources such as compact fluorescent lamps and induction lamps. b. California Title 20 Section 1605(k)3 does not allow incandescent sources to have a GU-24 base.

KEY	WIDTH	HEIGHT	COUNT			
1	5' - 0"	4' - 0"	3	W		
2	4' - 0"	3' - 0"	I	W		
3	4' - 0"	5' - 0"	I	W		
4	2' - 0"	4' - 0"	2	W		
5	2' - 0"	2' - 0"	I	W		
8	2' - 0"	5' - 0"	2	W		
9	3' - 0"	2' - 0"	I	W		
10	2' - 6"	6' - 0"	2	W		
11	4' - 0"	2' - 0"	I	W		
Grand to	otal: 14					
NOTES						

ALL WINDOWS TO BE WHITE MI ALL EXISTING WINDOW, SKYLIG ALL WINDOWS IN SHOWER / TU

IOTE: DOOR GLAZING TO BE SHGC = 0.2

	DOOR SCHEDULE							
KEY	WIDTH	HEIGHT	COUNT	FINISH	DESCRIPTION			
A	8' - 0"	8' - 0"			BI-PASS DOOR			
В	3' - 0"	6' - 8"			HALF LITE DOOR TEMPERED GLASS			
С	2' - 8"	6' - 8"	2		SOLID CORE			
D	2' - 0"	6' - 8"			SOLID CORE			
E	2' - 6"	6' - 8"	4		SOLID CORE			
F	2' - 4"	6' - 8"	1		SOLID CORE			
G	1' - 8"	6' - 8"			SOLID CORE			
Н	2' - 0"	6' - 8"	-		FRENCH DOOR TEMPERED GLASS			
I	2' - 6"	6' - 8"	2		POCKET DOOR SOLID CORE			
J	2' - 4"	6' - 8"	1		POCKET DOOR SOLID CORE			
K	8' - 0"	6' - 8"		WHITE VINYL	SLIDING GLASS DOOR TEMPERED GLASS			
L	5' - 0"	6' - 8"	2	WHITE VINYL	SLIDING GLASS DOOR TEMPERED GLASS			
М	4' - 0"	6' - 8"	2		BI-PASS DOOR			
Ν	16'-0"	8' - 0"			GARAGE OVERHEAD DOOR			
Grand to	otal: 21							

NOTES

DTES:	
	ALL GLASS DOORS TO BE WHITE MIL
	ALL EXISTING DOOR SIZES AND ROU

NOTE: DOOR GLAZING TO BE SHGC = 0.23 AND U-FACTOR = 0.30

NOTES . ALL EXISTING DOOR SIZES AND ROUGH OF

			REVISIONS
	W		
T F	INISH	DESCRIPTION	
WH	HITE VINYL	SLIDING, DUAL GLAZED CLEAR GLASS & SCREEN	
WH	HITE VINYL	SLIDING, DUAL GLAZED CLEAR GLASS & SCREEN	
WH	HITE VINYL	FIXED, DUAL GLAZED CLEAR GLASS	I Iohn Parato
WH	HITE VINYL	SINGLE HUNG, DUAL GLAZED CLEAR GLASS & SCREEN	
WH	HITE VINYL	CASEMENT, DUAL GLAZED CLEAR GLASS & SCREEN	Steve Walto
WH	HITE VINYL	SINGLE HUNG, DUAL GLAZED CLEAR GLASS & SCREEN	PROJECT DESIGN
WH	HITE VINYL	FIXED, DUAL GLAZED CLEAR GLASS	
WH	HTE VINYL	SINGLE HUNG, DUAL GLAZED CLEAR GLASS & SCREEN	
WH	HTE VINYL	SLIDING, DUAL GLAZED CLEAR GLASS & SCREEN	
ILGUARI GHT SIZE JB WET J 23 AND L	D VINYL WIN ES AND ROU ARES SHAL J-FACTOR =	NDOWS. JGH OPENINGS SHALL BE VERIFIED PRIOR TO ORDERING NEW WINDOWS. L BE OF VINYL OR FIBERGLASS UNLESS NOTED OTHERWISE ON THE PLANS. 0.30	Center Diego, cA 92126

. ALL EXISTING WINDOW, SKYLIGHT SIZES AND ROUGH OPENINGS SHALL BE VERIFIED IN FIELD PRIOR TO ORDERING NEW WINDOWS. 2. ALL WINDOWS IN SHOWER / TUB WET AREAS SHALL BE OF VINYL OR FIBERGLASS UNLESS NOTED OTHERWISE ON THE PLANS.

> GUARD VINYL WINDOWS. JGH OPENINGS SHALL BE VERIFIED IN FIELD PRIOR TO ORDERING NEW DOORS

ENINGS SHALL	BE VERIFIED	IN FIELD PI	RIOR TO ORD	ERING NEW	DOORS.



Project Ad	Development services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000 Applicability Checklist November 2018	PART D: PDP Exempt Requiremen PDP Exempt projects are require
	Iress: 8553 La Jolla Shores Drive, 1 Construction Storm Water BMB Pequirements:	If "yes" was checked for any que "PDP Exempt."
All constru	ction sites are required to implement construction BMPs in accordance with the performance standards m Water Standards Manual. Some sites are additionally required to obtain coverage under the State	If "no" was checked for all quest
Constructi For all pr PART B.	on General Permit (CGP) ¹ , which is administered by the State Regional Water Quality Control Board. ojects complete PART A: If project is required to submit a SWPPP or WPCP, continue to	Does the project ONLY include h Are designed and constructed non-erodible permeable areas Are designed and constructed
1. Is the pr with Cor land dis	Determine Construction Phase Storm Water Requirements. oject subject to California's statewide General NPDES permit for Storm Water Discharges Associated istruction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with curbance greater than or equal to 1 acre.)	Green Streets guidance in the
2. Does th grubbin	SWPPP required, skip questions 2-4 X No; next question e project propose construction or demolition activity, including but not limited to, clearing, grading, g, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?	 Does the project ONLY include retrand constructed in accordance wit Yes; PDP exempt requirements
X Yes; 3. Does th nal purp	WPCP required, skip questions 3-4 No; next question a project propose routine maintenance to maintain original line and grade, hydraulic capacity, or origi- sose of the facility? (Projects such as pipeline/utility replacement)	PART E: Determine if Project is a Projects that match one of the definition a Storm Water Quality Management Pl
4. Does th	WPCP required, skip question 4 No; next question a project only include the following Permit types listed below?	If "yes" is checked for any numbe ority Development Project".
• Electr Spa P	Ical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, ermit. dual Bight of Way Permits that exclusively include only ONE of the following activities: water service	If "no" is checked for every numl "Standard Development Project"
 Right the fc repla 	of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of illowing activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter cement, and retaining wall encroachments.	 New Development that creates collectively over the project site mixed-use, and public development Redevelopment project that are
T Ye	es; no document required	2. Redevelopment project that creating impervious surfaces on an existing surfaces. This includes commercial
Checl	one of the boxes below, and continue to PART B:	development projects on public or 3. New development or redevelopment
	If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B	and drinks for consumption, includ prepared foods and drinks for imn development creates and/or repla
X	If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.	 New development or redevelopment of the development will grade on any
	If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2.	 New development or redevelopment or redevelopment or more of imp New development or redevelopment o
1. More info www.san	rmation on the City's construction BMP requirements as well as CGP requirements can be found at: Jiego.gov/stormwater/regulations/index.shtml	surface (collectively over the projection
City has al State Cons and receiv nificance (that apply	gned the local definition of "high threat to water quality" to the risk determination approach of the truction General Permit (CGP). The CGP determines risk level based on project specific sediment risk ing water risk. Additional inspection is required for projects within the Areas of Special Biological Sig-ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements to projects; rather, it determines the frequency of inspections that will be conducted by city staff.	as an isolated flow from the project lands).
		create and/or replaces 5,000 squa project meets the following criteria
	PART B and continued to Section 2	 S. New development of redevelopment of redevelopment of redevelopment of redevelopment of redevelopment of 100 c 9. New development or redevelopment of s541, 7532-7534, or 7536-7539.
Complete 1. 🔲	PART B and continued to Section 2 ASBS a. Projects located in the ASBS watershed.	 S. New development of redevelopment of redevelopment of redevelopment of redevelopment of 100 cm 9. New development or redevelopment or redevelopment or redevelopment of states and/or replaces 5,000 sque projects categorized in any one of 5541, 7532-7534, or 7536-7539. 10. Other Pollutant Generating Projects in the disturbance of one or states of the disturbance of the disturbance
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to implement site design and source control Bl	MPs.
ions in Part D, continue to Part F and check the	box labeled
ns in Part D, continue to Part E.	
v or retrofit sidewalks, bicycle lanes, or trails that:	
o direct storm water runoff to adjacent vegetated a Or;	reas, or other
be hydraulically disconnected from paved streets	and roads? Or;
ith permeable pavements or surfaces in accordanc ty's Storm Water Standards manual?	e with the
apply 🕅 No; next question	
itting or redeveloping existing paved alleys, streets or r he Green Streets guidance in the <u>City's Storm Water St</u>	oads designed andards Manual?
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riority Development Project (PDP). s below are subject to additional requirements includin (SWQMP). in PART E, continue to PART F and check the bo	ng preparation of ox labeled "Pri-
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ject party violating this okal Design Center. any tely of these and shall Company. Reproductio beginning construction

	Calculation Date/Time: 2021- Input File Name: LightnerADU	01-11T08:36:56-08:00 .ribd19x	CF1R-PRF-01E (Page 1 of 11)	CERTIFICATE OF COMPLI Project Name: Lightner / Calculation Description:	ANCE DU Title 24 Analysis			Calculation Date/Ti Input File Name: Li	ime: 2021-01-11T0 ghtnerADU.ribd19x	8:36:56-08:00	0	(Page
ENERAL INFORMATION O Project Name Lightner ADU				OPAQUE SURFACES 01	02	03	04	05	06	Malinak	07	08
Kun Title Title 24 Analysis Project Location 8553 La Jolla Shores Drive City, San Diego	05	Standarde Version 2019		Name Front Wall	Zone ADU	Construction R-15 Wall (wd)	Azimuth 295	Orientation	Gross Area (ft ²) 286	A	ow and Doo rea (ft2) 106.807	Tilt (deg 90
Zip code 92037 08 Climate Zone 7	07 09 Front Orientati	Software Version EnergyPro 8.2		Front Wall Askew Right Wall (wd)	ADU ADU	R-15 Wall (wd) R-15 Wall (wd)	310 205	n/a Right	364 66		60 20	90 90
Building Type Single family Project Scope NewConstruction	11 Number 13 Num	r of Dwelling Units 1 mber of Bedrooms 3		Right Wall Right Wall Askew	ADU ADU	R-15 Wall R-15 Wall (wd)	205 220	Right n/a	136 189	3	0 33.3834	90 90
4 Addition Cond. Floor Area (ft ²) 0	15	Number of Stories 2		Back Wall Back Wall Askew	ADU ADU	R-15 Wall R-15 Wall	115 130	Back n/a	309 259		35 18	90 90
Total Cond, Floor Area (ft ²) 1199	19 Glazi	ing Percentage (%) 25.70%		Left Wall Left Wall Askew	ADU ADU	R-15 Wall R-15 Wall	25	Left n/a	145 352		15 20	90 90
2 Is Natural Gas Available? Yes	21 ADU Cond	itioned Floor Area n/a		Interior Surface to Garag	ADU	R-15 Wall1	n/a	n/a	156		0	n/a
IPLIANCE RESULTS IPLIANCE RESULTS 01 Building Complies with Computer Performance	SPROVIDE	R		Gar Roof (Attic)	ADU	R-13 Wall R-38 Roof Attic	n/a n/a	n/a n/a	345 819	-	0 n/a	n/a n/a
02 This building incorporates features that require field testing and/ 03 This building incorporates one or more Special Features shown b	/or verification by a certified HERS rater under t below	he supervision of a CEC-approved HERS	S provider.	Raised Floor Crawl	ADU	R-19 Floor Crawlspac	n/a	n/a	474		n/a	n/a
				01	02	03	04 Roof Rise (x in 12	05	06 Roof Emittance	Padi	07	08
				Attic ADU	Attic RoofADU	Ventilated	4	0,1	0.85	. Kau	Yes	No
				FENESTRATION / GLAZING	02	03	04	05 06 07	08 09	10	11 1	2 13
				Name	Туре	Surface	Orientation Az	timuth Width Heig (ft) (ft)	Mult. Area (ft ²)	U-factor S	-factor ource SH	GC Sourc Sh
	Residentian Date /Times	USDS Developer		Fr Door #H	Window	Front Wall	Front	295 3 6.6	7 1 20.01	0.3	NFRC 0	23 NFRC Bug
221-P010004672A-000-000-0000000-0000 willding Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2021-01-11 09:57:24 Report Version: 2019.1.300 Schema Version: rev 20200901	Report Generated: 202	CalCERTS inc. 21-01-11 08:38:08	Registration Number: 221-4 221-4 CA Building Energy Efficier	2010004672A-000-000- cy Standards - 2019	000000-0000 Residential Compliance	Report V Schema	tion Date/Time: 2021-01-' /ersion: 2019.1.300 Version: rev 2020090'	11 09:57:24	Report	Provider: t Generated:	Cak 2021-01-11 08:38
TIFICATE OF COMPLIANCE ject Name: Lightner ADU culation Description: Title 24 Analysis	Calculation Date/Time: 2021- Input File Name: LightnerADL	01-11T08:36:56-08:00 J.ribd19x	CF1R-PRF-01E (Page 2 of 11)	CERTIFICATE OF COMPL Project Name: Lightner Calculation Description:	ANCE ADU Title 24 Analysis		_	Calculation Date/1 Input File Name: L	"ime: 2021-01-1170 ightnerADU.ribd19)8:36:56-08:0 x	00	CF1R- (Page
RGY DESIGN RATING	Energy Design Ratings	Compliance Mare	gins	FENESTRATION / GLAZING	02	03	04	05 06 07	7 08 09	10	11	12 13
Efficiency	r ³ (EDR) Total ² (EDR)	Efficiency' (EDR)	Total ² (EDR)	Name	Туре	Surface	Orientation A:	zimuth Width Heig (ft) (ft	t) Mult. Area (ft ²)	U-factor U	J-factor Source SI	IGC Sourc St e St
Standard Design 54.4 Proposed Design 54.2	4 23.1 2 23	0.2	0.1	SI Door #K up SI Door #L up	Window Window	Front Wall Front Wall	Front Front	295 8 6.6 295 5 6.6	57 1 53.41 57 1 33.38	0.3 0.3	NFRC C	.23 NFRC Bug
	RESULT: ^{3:} COMPLIES			Window (2) #1 Window (2) #8 up	Window Window	Front Wall Askew Front Wall Askew		310 310	1 40 1 20	0.3	NFRC C	.23 NFRC Bug .23 NFRC Bug
iciency EDR includes improvements to the building envelope and more encler tal EDR includes efficiency and demand response measures such as photovolta ilding complies when efficiency and total compliance margins are greater than	aic (PV) systems and batteries n or equal to zero			Si Door #L up.	Window	Right Wall (wd)	Right	205 4 5 220 5 6.6	1 20 57 1 33.38	0.3	NFRC C	.23 NFRC Bug .23 NFRC Bug
Standard Design PV Capacity: 2.02 kWdc Proposed PV kWh output exceeds proposed electricity use by 0.041% which PV System resized to 2.02 kWdc (a factor of 2.018) to achieve 'Standard Desig	may violate NEM rules. Contact local utility. ign PV' PV scaling		-	Window #1 up Window #10 up	Window	Back Wall Back Wall Back Wall	Back	115	1 20	0.3	NFRC C	.23 NFRC Bug
La Cal	ENERGY USE SUMMARY	10		Window #9 Window #2 up	Window	Back Wall Askew	left	130	1 b 1 12	0.3	NFRC C	.23 NFRC Bug .23 NFRC Bug
Energy Use (kTDV/ft ² -yr) Standard Desi	ign Proposed Design	Compliance Margin	Percent Improvement	Window #4	Window	Left Wall Askew		40	1 8	0.3	NFRC C	23 NFRC Bug
Space Heating 1.28 Space Cooling 9.46	3.96 9.13 3.24	-2.68 0.33	-209.4 3.5	Window #4 up	Window	Left Wall Askew		40	1 8	0.3	NFRC C	.23 NFRC Bug
Water Heating 19.12 Self Utilization/Flexibility Credit n/a	16.57 0	2.55 0	13.3 n/a	OVERHANGS AND FINS	02	03 04	05 06	07 08	09 10	11	12	13
Compliance Energy Total 33.1	32.9	0.2	0.6	Window		Overhang		Let	ft Fin		1	Right Fin
IDED DU EVETENAE CINADU ELED			_	a contract of the	Douth	Nint Ha Laft Estant	light Fire Ut	Death Tentla	Disti Dat	Un Danil	Toul	- DI-+ D
01 02 03 04	05 06 07	08 09 10	11 12	Fr Door #H	Depth 6	Dist Up Left Extent E 1.25 2 2	Right Atent Flap Ht. 2 0	Depth Top Up 0 0	Dist L Bot	Up Depti	h Top L	p Dist R 0
D1 D2 D3 D4 stem Size Wdc) Exception Module Type Array Type	05 06 07 Power Electronics CFI Azimuth (deg)	08 09 10 Tilt Array Angle Tilt: (x in Input (deg) 12)	11 12 nverter Eff. (%) (%)	Fr Door #H SI Door #K up	Depth 6	Dist Up Left Extent P 1.25 2 2 2	tight xtent Flap Ht. 2 0 2 0	Depth Top Up 0 0 0 0	Dist L Bot 0 0 0 0	Up Depth 0 0	h Top L 0 0	p Dist R
D1 D2 D3 D4 ystem Size kWdc) Exception Module Type Array Type 2.02 NA Standard Fixed	05 06 07 Power Electronics CFI Azimuth (deg) none true 150-270	08 09 10 Tilt Array Angle (deg) Tilt: (x in 12) Ir n/a n/a <=7:12	11 12 nverter Eff. (%) Annual Solar Access (%) 96 100	Fr Door #H SI Door #K up SI Door #L up Window #3 up	Depth 6 1. 7.25 1	Dist Up Left Extent P 1.25 2 2 2 2 2 2 2 2 2 2 2 2 2 2	tight xtentFlap Ht.2020202020	Depth Top Up 0 0 0 0 0 0 0 0 0 0	Dist L Bot 0 0 0 0 0 0 0 0 0 0	Up Depth 0 0 0 0 0 0 0 0	h Top L 0 0 0	p Dist R 0 0 0 0
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Old O2 O3 O4 System Size (kWdc) Exception Module Type Array Type 2.02 NA Standard Fixed gistration Number: 221-P010004672A-000-00000000-0000 221-P010004672A-000-0000000-0000 Building Energy Efficiency Standards - 2019 Residential Compliance TIFICATE OF COMPLIANCE Lect Name: Lightner ADU Exception Exception Exception	05 06 07 Power Electronics CFI Azimuth (deg) none true 150-270 Registration Date/Time: 2021-01-11 09:57:24 2021-01-11 09:57:24 Report Version: 2019.1.300 Schema Version: rev 20200901 Schema Version: 2021-01-11 09:57:24 Calculation Date/Time: 2021-01-01 Calculation Date/Time: 2021-01-01	08 09 10 Tilt Input Array Angle (deg) Tilt: (x in 12) Ir n/a n/a <=7:12	11 12 nverter Eff. (%) Annual Solar Access (%) 96 100 CalCERTS inc. D21-01-11 08:38:08 CF1R-PRF-01E (Page 3 of 11)	Fr Door #H SI Door #K up SI Door #K up SI Door #L up Window #3 up Registration Number: 221. CA Building Energy Efficie CERTIFICATE OF COMPLU Project Name: Lightner	Depth 0 6 1. 7.25 1 1 1 9010004672A-000-000 000 ncy Standards - 2019 000	Dist Up Left Extent E 1.25 2 1 2 2 2 1 2 2 2 1 2 2 2 1 -0000000-0000 9 Residential Compliance	tight ctent Flap Ht. 2 0 2 0 2 0 2 0 2 0 Registra Report Scheme	Depth Top Up 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 ation Date/Time: 2021-01- 2021-01- Version: 2019.1.300 a Version: rev 2020.004 Version: rev 2020.004	Dist L Bot 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Up Depth 0 0 0 0 HERS Repor	h Top L 0 0 0 0 Provider: rt Generated	p Dist R 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
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01 02 03 04 ystem Size Exception Module Type Array Type 2.02 NA Standard Fixed tration Number: 221-P010004872A-000-00000000-0000 ulding Energy Efficiency Standards - 2019 Residential Compliance FICATE OF COMPLIANCE Et Name: Lightner ADU Iation Description: Title 24 Analysis RED SPECIAL FEATURES Illowing are features that must be installed as condition for meeting the mode Celling has high level of insulation Window overhangs and/or fins FEATURE SUMMARY Illowing is a summary of the features that must be field-verified by a certified is provided in the building tables below. Registered CF2Rs and CF3Rs are required in sulation installation (QII) Indoor air quality ventilations: — Quality insulation installation (QII) Indoor air quality ventilations: — None — — Distribution System Verifications: — — None — — Distribution System Verifications: — — None — — Distribution System Verifications: — — None — —	OS O6 O7 Power Electronics CFI Azimuth (deg) none true 150-270 Registration Date/Time: 2021-01-11 09:57:24 2021-01-11 09:57:24 Report Version: 2019.1.300 Schema Version: rev 20200901 Calculation Date/Time: 2021- Input File Name: LightnerADU eled energy performance for this computer analy HERS Rater as a condition for meeting the mode ulred to be completed in the HERS Registry	08 09 10 Tilt Array Angle Tilt: (x in 12) n/a n/a <=7:12	11 12 nverter Eff. (%) Annual Solar Access (%) 96 100 CalCERTS inc. D21-01-11 08:38:08 CF1R-PRF-01E (Page 3 of 11) atter analysis. Additional	Fr Door #H SI Door #K up SI Door #L up Window #3 up Registration Number: 221. CA Building Energy Efficie CERTIFICATE OF COMPLU Project Name: Lightner / Calculation Description: OVERHANGS AND FINS 01 Window SI Door #L up. OPAQUE SURFACE CONSTI 01 Construction Name Ř-15 Wall (wd)	Depth 6 1 7.25 1 7.25 1 P010004672A-000-000 ncy Standards - 2019 ANCE ADU Title 24 Analysis ANCE ADU Title 24 Analysis 02 02 9 9 P010005 Exterior Walls	Dist Up Left Extent E 1.25 2 1 2 2 2 1 2 2 2 1 2 2 2 1 -0000000-0000 - P Residential Compliance - 03 04 0 -0verhang - 03 0 -0verhang - -0verhang	ight Flap Ht. 2 2 0 2 0 2 0 2 0 2 0 2 0 2 0 8 egistra Report Schema 05 06 1 1 1 1 1 2 0 0 1 2 1 2 1 2 1 2 1 2 1 1 1 1 1 1 1 1	Depth Top Up 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 ation Date/Time: 2021-01- Version: 2019.1.300 a Version: 2019.1.300 a Version: 2019.1.300 a Calculation Date/T Input File Name: Li 07 08 Lef Depth 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Dist L Bot 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 -11 09:57:24 01 interior 2021-01-11TC ightnerADU.ribd19: 09 10 it Fin Dist L Bot I 0 0 06 / Interior / Exterior Continuous R-value None / None	Up Depth 0 0 0 0 0 0 0 0 HERS Repoint Repoint 0 Repoint 0 Up Depth 0 0 VP Depth 0 0 0 0 0 0 0.089 0.089	h Top U 0 0 0 0 0 Provider: rt Generated 0 12 12 0 12 0 0	p Dist R 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 ca 0
01 02 03 04 ystem Size Exception Module Type Array Type 2.02 NA Standard Fixed stration Number: 221-P010004672A-000-00000000-0000 ulding Energy Efficiency Standards - 2019 Residential Compliance IFICATE OF COMPLIANCE ct Name: Lightner ADU Intel 24 Analysis IRED SPECIAL FEATURES Illowing are features that must be installed as condition for meeting the mode Ceiling has high level of insulation Window overhangs and/or fins FEATURE SUMMARY System Verifications: - None - Distribution System Verifications: - None -	05 06 07 Power Electronics CFI Azimuth (deg) none true 150-270 Registration Date/Time: 2021-01-11 09:57:24 2021-01-11 09:57:24 Report Version: 2019.1.300 Schema Version: rev 20200001 Calculation Date/Time: 2021. Input File Name: LightnerADU eled energy performance for this computer analy HERS Rater as a condition for meeting the mode ured to be completed in the HERS Registry	08 09 10 Tilt: Array Angle Tilt: (x in 12) n/a n/a <=7:12	11 12 nverter Eff. (%) Annual Solar Access (%) 96 100 CalCERTS inc. 021-01-11 08:38:08 CF1R-PRF-01E (Page 3 of 11)	Fr Door #H SI Door #K up SI Door #L up Window #3 up Registration Number: 221. CA Building Energy Efficie CERTIFICATE OF COMPLI Project Name: Lightner / Calculation Description: OVERHANGS AND FINS 01 Window SI Door #L up. OPAQUE SURFACE CONSTI 01 Construction Name Ř-15 Wall (wd)	Depth 6 1 7.25 1 7.25 1 1 010004672A-000-000 ncy Standards - 2019 ANCE ADU Title 24 Analysis 02 02 9 1 9 Surface Type Exterior Walls	Dist Up Left Extent F 1.25 2 1 2 2 1 2 2 1 2 2 1 2 2 1 2 2 1 2 2 1 2 2 1 -0000000-0000 - - 9 Residential Compliance - 03 04 _ 03 04 _ 03 04 _ 03 04 _ 03 04 _ 03 04 _ 03 04 _ 03 03 _ 03 _ _ 03 _ _ 03 _ _ 03 _ _ 03 _ _ 03 _ _ 03 _ _	ight ttent Flap Ht. 2 0 1 2 0 2 0 2 0 2 0 2 0 2 0 2 0 2 0 2	Depth Top Up 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 ation Date/Time: 2021-01. 2021-01. 2021-01. Version: 2019.1.300 a aversion: rev 2020.0047 a Calculation Date/TI Input File Name: Li 07 08 Eef Depth Top Up 0 0 0 Composition 705 Composition Composition Composition Composition 00 0 0 Composition Composition Composition Composition Composition	Dist L Bot 0 0	Up Depth 0 0 0 0 0 0 0 0 0 0 HERS Repoint 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0.089 0	h Top U 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	p Dist R 0 0 0 0 0 0 0 0 0 0 0 0 0 0 10 0 12 0 13 0 13 0 13 0 13 0 13 0 0 0 0 0
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11	205			Right			136		0	1	1	90
wd)	220			n/a			189		33.3834	Dec 1	1	90
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-1	04	0	5	06	07	08	09	10	11	12	13	14
	Orientation	Azim	nuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Sourc e	Exterior Shading
	Front	29	5	3	6.67	1	20.01	0.3	NFRC	0.23	NFRC	Bug Screen
ce	Reg Rep	istratio ort Ver	n Dat	e/Time: 202 2019.1.3	21-01-11 (9:57:24			HERS Provide Report Gener	r: ated: 202	1-01-11	CalCERTS 08:38:08

Project Name: Lightner	ADU		Calc	ulation Date/Ti	me: 2021-01-11TO	3:36:56-08-0	0	(Page 7 of
alculation Description:	Title 24 Analysis		Inpu	it File Name: Lig	htnerADU.ribd19x			(rage / or
PAQUE SURFACE CONSTR	UCTIONS					-		
01	02	03	04	05	06	07		08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Asse	mbly Layers
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x8 @ 16 in. O. C.	R-19	None / None	0.047	Floor Su Floor Siding/sh Cavity / F	rface: Carpeted Deck: Wood eathing/decking rame: R-19 / 2x8
R-38 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Celling Cavity / F Inside Finit	Joists: R-28.9 insul. rame: R-9.1 / 2x4 sh: Gypsum Board
BUILDING ENVELOPE - HER	S VERIFICATION				_			
01		02			03		1	04
Quality Insulation In	stallation (QII)	High R-value Spray Fo	am Insulation	Building Enve	lope Air Leakage		CF	M50
Require	d	Not Requi	red E	Not Required n/a				
WATER HEATING SYSTEMS	1	1112	RS PR	evi	O LA	120	-	
01	02	03	04		05	1	06	07
Name	System Type	Distribution Type	Water Heater Na	me (#)	Solar Heating System	Compac	t Distribution	HERS Verification
DHW Sys 1	Domestic Hot Water	Standard Distribution	DHW Heater :	L (1)	n/a		None	n/a

Registration Number: 221-P010004672A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2019 Residential Compliance

CERTIFICATE OF COMPLIANCE

Project Name: Lightner ADU

01

WATER HEATERS

Name

DHW Heater 1

Name

WATER HEATING - HERS VERIFICATION

01 02

Heating Component 1

Calculation Description: Title 24 Analysis

02

Heating Element Type

Gas

Pipe Insulation

Consumer

Instantaneous

DHW Sys 1 - 1/1 Not Required Not Required Not Required

System Type

Heating and cooling system

other

Registration Date/Time: 2021-01-11 09:57:24 HERS Provider: CalCERTS inc. Report Version: 2019.1.300 Report Generated: 2021-01-11 08:38:08 Schema Version: rev 20200901

Calculation Date/Time: 2021-01-11T08:36:56-08:00

n/a

 03
 04
 05
 06
 07
 08

 Parallel Piping
 Compact Distribution Distribution
 Compact Distribution Type
 Recirculation Control
 Central DHW Distribution
 Shower Drain Water Heat Recovery

 Not Required
 Not Required
 Not Required
 Not Required
 Not Required

03

Number of Units

1

n/a

 Distribution Name
 Required Thermostat Type
 Status
 Verified Existing Condition
 Heating Equipment Count
 Cooling Equipment Count

NA

1

04

Heating Efficiency

AFUE-80

New

n/a

Input File Name: LightnerADU.ribd19x

 03
 04
 05
 06
 07
 08
 09
 10
 11
 12

 Tank Type
 # of Units
 Tank Vol. (gal)
 Tank Factor or Efficiency
 Input Rating or Pilot
 Tank Insulation or Pilot
 Standby Loss or Recovery Efficiency
 Ist Hr. Rating or Flow Rate
 NEEA Heat Pump Brand or Model
 Tank Location or Ambient Condition

0

02 03 04 05 06 07 08 09 10 11

0 0.96-UEF 200000-Btu/Hr

Heating Unit Name Name Fan Name

02

System Type

Central gas furnace

 Heating Component
 Cooling Component
 Air

 1
 1
 Distribution

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n/a

	04	05	06	07	08	09	10	1	1	12	13	14
1	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-facto	or U-fa	ctor rce	SHGC	SHGC Sourc e	Exterior Shading
	Front	295	8	6.67	1	53.41	0.3	NF	RC	0.23	NFRC	Bug Screen
1	Front	295	5	6.67	1	33,38	0.3	NF	RC	0.23	NFRC	Bug Screen
		310			1	40	0.3	NF	RC	0.23	NFRC	Bug Screen
		310			1	20	0.3	NF	RC	0.23	NFRC	Bug Screen
	Right	205	4	5	1	20	0.3	NF	RC	0.23	NFRC	Bug Screen
T		220	5	6.67	1	33.38	0.3	NF	RC	0.23	NFRC	Bug Screen
T	Back	115			1	20	0.3	NF	RC	0.23	NFRC	Bug Screen
	Back	115		5.000	.1.	15	0.3	NF	RC	0.23	NFRC	Bug Screen
		130			1	6	0.3	NF	RC	0.23	NFRC	Bug Screen
	LC C	130	175	5. mail	1	12	0.3	NF	RC	0.23	NFRC	Bug Screen
	Left	25		100	1	15	0.3	NF	RC	0.23	NFRC	Bug Screet
	0.0	40		, 1 1	1	8	0.3	NF	RC	0.23	NFRC	Bug Screen
-	11 - 2	40		6. In	1	- 4	0.3	NF	RÇ	0.23	NFRC	Bug Screet
		40			1	8	0.3	NF	RC	0.23	NFRC	Bug Screen
-		_				_	_					
)5	06	07	0	8	09	1	.0	11		12	13	14
		-		Left Fi	in					Right	Fin	
ght	flap Ht.	Depth	Тор	Up	Dist L	Bot	Up	Depth	Te	op Up	Dist R	Bot Up
2	0	0	(0	0		0	0		0	a	D
2	0	0		2	Û		0	0		0	O	0
2	D	0	1	2	0		0	D		0	٥	D
2	0	0	0	0	0	1 13	0	0		0	0	0
-	Reg	istration Dat	te/Time:		-	-	-	HERS Pro	vide			-
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_					and ourself	-	
T	15 (0.3 NF	RC 0.23	NFRC	Bug Screen	SPACE CONDITIONING SYS	TEMS
	8 (0.3 NF	RC 0.23	NFRC	Bug Screen	01	
-	4 (0.3 NF	RC 0.23	NFRC	Bug Screen		
	8 (0.3 NF	RC 0.23	NFRC	Bug Screen	Name	
							1.
1	10	11	12	13	14	New FAU1	
			Righ	nt Fin			4
L	Bot Up	Depth	Top Up	Dist R	Bot Up	HVAC - HEATING UNIT TYP	ES
-	-	-				01	
	0	0	0	Q	0	Name	
	0	D	0	0	0	Heating Com	onent
	0	0	0	0	D		
-		-	1				

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Registration Number: 221-P010004672A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2019 Residential Compliance

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Setback

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: Lightner ADU Calculation Date/Time: 2021-01-11T08:36:56-08:00 (Page 9 of 11) Calculation Description: Title 24 Analysis Input File Name: LightnerADU.ribd19x HVAC - COOLING UNIT TYPES 01 02 05 06 08 03 04 07 Mulit-speed Compressor
 Name
 System Type
 Number of Units
 Efficiency EER/CEER
 Efficiency SEER
 Zonally Controlled
 HERS Verification 1 n/a n/a Not Zonal Single Speed Cooling Component 1 No Cooling n/a HVAC - DISTRIBUTION SYSTEMS
 01
 02
 03
 04
 05
 06
 07
 08
 09
 10
 11
 12

 Duct Ins. R-value
 Duct Location
 Surface Area
 Design Type Supply Return Supply Return Supply Return Supply Return Duct Leakage HERS Verification Name Туре ------_____ _____ Air No n/a Bypass Sealed and Distribution Tested System 1-hers-dist Air Distribution Unconditioned attic Non-Verified R-6 R-6 Attic Attic n/a System 1 Duct the second secon HVAC DISTRIBUTION - HERS VERIFICATION 01 02 03 04 05 06 07 08 09 Low Leakage Duct Leakage Verification Low-leakage Air Handler Space Verified Duct Verified Duct **Deeply Buried** Duct Leakage Name **Buried Ducts** Target (%) Location Design Ducts Air Distribution 5.0 Not Required Not Required Not Required Credit not taken Not Required No Yes System 1-hers-dist HVAC - FAN SYSTEMS 03 04 Fan Power (Watts/CFM) Name Name Туре HVAC Fan 1 HVAC Fan 0.45 n/a

Registration Number: 221-P010004672A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2019 Residential Compliance

Registration Date/Time: 2021-01-11 09:57:24 HERS Provider: CalCERTS inc. Report Version: 2019.1.300 Report Generated: 2021-01-11 08:38:08 Schema Version: rev 20200001

CERTIFICATE OF COMPLIANCE Project Name: Lightner ADU Calculation Description: Title 24 Analysis IAQ (INDOOR AIR QUALITY) FANS 01 02 03 Dwelling Unit IAQ CFM IAQ Watts/CFM SFam IAQVentRpt 64 0.25	Calculation Date/Time: 2021-01-11T08:36:56-08:00 Input File Name: LightnerADU.ribd19x 04 05 IAQ IAQ Fan Type IAQ Recovery Effectiveness (%) SREIA Default 0 0	CF1R-PRF-01E (Page 10 of 11) 06 Recovery Effectiveness - NQ Recovery Effectiveness - SRE n/a	REVISIONS BY
PROJECT NOTES Energy Pro uses ASHRAE method for HVAC sizing. Askew = walls 15 degrees more than the azimuth relating to front door. Generation Number: 221-P010004672A-000-000000000000 CA Building Energy Efficiency Standards - 2019 Residential Compliance Registration Number: 221-P010004672A-000-00000000000000000000000000000000	Istration Date/Time: 2021-01-11T08:36:56-08:00 Imput File Name: LightnerADU.ribd19x	CalCERTS inc. 021-01-11 08:38:08 CF1R-PRF-01E (Page 11 of 11)	Plans Prepared By: Marrokal Design Center 9474 Kearny Villa Rd., Suite 205 San Diego, CA 92126 Skip Reichenberg Phone (858) 549-9000 Skipr@marrokal.com Fax (858) 549-9011
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT 1. I certify that this Certificate of Compliance documentation is accurate and complete. Documentation Author Name: Diane Mendoza Company: D & R Calcs Address: 14107 Ipava Drive City/State/Zip: Poway, CA 92064 RESPONSIBLE PERSON'S DECLARATION STATEMENT I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility fo 2. I certify that the energy features and performance specifications identified on this Certificate 3. The building design features or system design features identified on this Certificate of Complic calculations, plans and specifications submitted to the enforcement agency for approval with Responsible Designer Name: Jorge Segoviano	Documentation Author Signature: Diane Mondeca Signature Date: 2021-01-11 08:44:32 CEA/ HERS Certification Identification (If applicable): n/a Phone: 858-486-9506 The building design identified on this Certificate of Compliance. of Compliance conform to the requirements of Title 24, Part 1 and Part 5 of the Califor ance are consistent with the Information provided on other applicable compliance doc this building permit application. Responsible Designer Signature: Jorge Segaviano	hese plans in any form except for this specific job shall immediately report any and all discrepancies	Main Office 9842 River Street 9842 River Street Lakeside, CA 92040 fel: 619-441-9300 fel: 619-588-5917 MAL License #1010116 www.marrokal.com
MARROKAL DESIGN & REMODELING LLC Address: 9842 RIVER STREET City/State/Zip: LAKESIDE, CA 92040 Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of Registration Provider responsibility for the accuracy of the information. Registration Number: 221-P010004672A-000-00000000000000000000000000000000	2021-01-11 09:57:24 License: n/a Phone: 619-441-9300 X123 f this registered document, and in no way implies istration Date/Time: 2021-01-11 09:57:24 ort Version: 2019.1.300 Report Generated: 20	The formula of the fo	MARRO DESIGN & REM
	ama Varcine rav 2020001	Original drawings and/or electronic files of these blueprints are the property of ownership to Civil Court action. All dimensions and conditions on job site s	A Home Remodel For: Bruce & Sherri Lightner 8553 La Jolla Shores Drive, La Jolla, CA 92037 Sheet Title: Title 24 Calculations
			DRAWN / CHECKED S.E.R. / S.W. DATE / TIME 5/5/2021 1:21:09 PM PROJECT NUMBER 20-0029 JOB NAME LIGHTNER SHEET A-1-4 OF 1 SHEETS

2019 Low-Rise Residential Mandatory Measures Summary

	2019 Low-Rise Residential Mandatory Measures Summary		2019 Low-Rise Residential Mandatory Measures Summary
NOTE: Low-rise	residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach	Requirements f	for Ventilation and Indoor Air Quality:
(01/2020)	e respective section for more miorination. Exceptions may apply.	£ 150 0(a)1;	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation
Building Envelo	pe Measures:	§ 150.0(0)1.	and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*	§ 150.0(o)1C:	Single Family Detached Dwelling Units. Single family detached dwelling units, and attached dwelling units not sharing cellings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)1C.
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).	-	Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped." Air Leakage, All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked.	§ 150.0(o)1E:	accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be < 0.3 CFM at 50 Pa
§ 110.7:	gasketed, or weather stripped.		(0.2 Inch water) per square toot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RAS.8.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).	§ 150.0(o)1F:	ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within 20 percent of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance.
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).	§ 150.0(o)1G:	Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.	§ 150.0(o)2:	Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Atlairs.	B. 1010-101-0	rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.
	Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached	Pool and Spa S	ystems and Equipment Measures:
§ 150.0(a):	insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling."	§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance beating.
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.	الافتراد الدراب	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or
0 4E0 0/->>	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. On acute non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls	§ 110.4(b)1:	dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 150.0(c):	must meet Tables 150.1-A or B.*	§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.	§ 110.4(b)3:	Directional inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
3 10010101	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without	\$ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(f):	facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).	§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.
\$ 150 0(a)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor reterder. This continues also applies to controlled wantifation grout appear for buildings complying with the properties to \$ 150 0(d).	Lighting Measu	ires:
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.	§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*	§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A.
Fireplaces, Deco	prative Gas Appliances, and Gas Log Measures:	8 150.0(k)1B	other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or
8 110 5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.	3 (00/04/04/2)	fan speed control.
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.	§ 150.0(k)1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.	§ 150.0(k)1D:	Electronic Ballasts for Fluorescent Lamps. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control."	§ 150.0(k)1E;	Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be
Space Condition	ning, Water Heating, and Plumbing System Measures: Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated	§ 150.0(k)1F:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k)."
§ 110.0-§ 110.3:	appliances must be certified by the manufacturer to the California Energy Commission.*	§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K. Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary begins operation when the beating load can be met by the heat pump alone; and in which the	§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 110.2(b):	cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.	\$ 150 0(k)11	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no
§ 110.2(c):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.	3	more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
	Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must	§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 110.3(c)4:	meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of	§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems."
§ 110.3(c)6:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.	§ 150.0(k)2C:	Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.*
	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except	§ 150.0(k)2D:	Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.
§ 110.5:	appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.* Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook.	§ 150.0(k)2E:	comply with § 150.0(k).
§ 150.0(h)1:	Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual: or the ACCA Manual J using design conditions specified in § 150.0(h)2.	§ 150.0(k)2F:	Interior Switches and Controls, Lighting controls must comply with the applicable requirements of § 110.9.

2019 Low-Rise Residential Mandatory Measures Summary

§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems mu manufacturer's instructions.
§ 150.0(j)1:	Storage Tank Insulation. Unfired hot water tanks, such as stor a minimum of R-12 external insulation or R-16 internal insulation
§ 150.0(j)2A:	Water Piping, Solar Water-heating System Piping, and Spac be insulated as specified in Section 609.11 of the California Plu insulation wall thickness of one inch or a minimum insulation R- water piping with a nominal diameter equal to or greater than 3/ than 3/4 inch that is: associated with a domestic hot water recirc buried below grade, and from the heating source to kitchen fixtu
§ 150.0(j)3:	Insulation Protection. Piping insulation must be protected from wind as required by Section 120.3(b). Insulation exposed to wea Insulation covering chilled water piping and refrigerant suction p Class I or Class II vapor retarder. Pipe insulation buried below g
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas the following: A dedicated 125 volt, 20 amp electrical receptacle copper branch circuit, within three feet of the water heater witho word "spare" and be electrically isolated. Have a reserved single for the branch circuit and labeled with the words "Future 240V U outside termination and the space where the water heater is ins of the water heater, and allows natural draining without pump as
§ 150.0(n)2:	Recirculating Loops. Recirculating loops serving multiple dwel
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems ar Corporation (SRCC), the International Association of Plumbing a agency that is approved by the Executive Director.
Ducts and Fans	Measures:
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning due contractor installs the insulation, the contractor must certify to the
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenum and ANSI/SMACNA-006-2006 HVAC Duct Construction Standar plenums must be insulated to a minimum installed level of R-6.0 space as confirmed through field verification and diagnostic test surrounded by directly conditioned space are not required to be mechanically fastened. Openings must be sealed with mastic, ta 181, UL 181A, or UL 181B or aerosol sealant that meets the req inch, the combination of mastic and either mesh or tape must be designed or constructed with materials other than sealed sheet in Building cavities and support platforms may contain ducts. Ducts reductions in the cross-sectional area."
§ 150.0(m)2:	Factory-Fabricated Duct Systems. Factory-fabricated duct sys connections, and closures; joints and seams of duct systems an tapes unless such tape is used in combination with mastic and c
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fabricated duct systems mastics, sealants, and other requirements specified for duct con
§ 150.0(m)7:	Backdraft Damper. Fan systems that exchange air between the
§ 150.0(m)8:	Gravity Ventilation Dampers. Gravity ventilating systems servi manually operated dampers in all openings to the outside, except
§ 150.0(m)9:	Protection of Insulation. Insulation must be protected from dar to weather must be suitable for outdoor service. For example, pu foam insulation must be protected as above or painted with a co
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner core flex ducts mu
§ 150.0(m)11:	Duct System Sealing and Leakage Test. When space condition occupiable space, the ducts must be sealed and duct leakage te accordance with § 150.0(m)11 and Reference Residential Appe
§ 150.0(m)12:	Air Filtration. Space conditioning systems with ducts exceeding equivalent filters. Filters for space conditioning systems must ha drops and labeling must meet the requirements in §150.0(m)12.
§ 150.0(m)13:	Space Conditioning System Airflow Rate and Fan Efficacy. for the placement of a static pressure probe, or a permanently in per ton of nominal cooling capacity, and an air-handling unit fan CFM for all others. Small duct high velocity systems must provid unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing

100

gunits must have a clearance of at least five feet from the outlet of any dryer ist be equipped with liquid line filter driers if required, as specified by the

rage tanks and backup storage tanks for solar water-heating systems, must have on where the internal insulation R-value is indicated on the exterior of the tank. ce Conditioning System Line Insulation. All domestic hot water piping must imbing Code. In addition, the following piping conditions must have a minimum -value of 7.7: the first five feet of cold water pipes from the storage tank; all hot /4 inch and less than one inch; all hot water piping with a nominal diameter less culation system, from the heating source to storage tank or between tanks,

n damage, including that due to sunlight, moisture, equipment maintenance, and ather must be water retardant and protected from UV light (no adhesive tapes). piping located outside the conditioned space must include, or be protected by, a grade must be installed in a waterproof and non-crushable casing or sleeve. or propane water heaters to serve individual dwelling units must include all of e connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG out obstruction. Both ends of the unused conductor must be labeled with the e pole circuit breaker space in the electrical panel adjacent to the circuit breaker Use"; a Category III or IV vent, or a Type B vent with straight pipe between the stalled; a condensate drain that is no more than two inches higher than the base ssistance; and a gas supply line with a capacity of at least 200,000 Btu per hour. Iling units must meet the requirements of § 110.3(c)5.

nd collectors must be certified and rated by the Solar Rating and Certification and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing

ct must comply with § 604.0 of the California Mechanical Code (CMC). If a e customer, in writing, that the insulation meets this requirement. ns must meet the requirements of the CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 rds Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and 0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned ting (RA3.1.4.3.8). Portions of the duct system completely exposed and insulated. Connections of metal ducts and inner core of flexible ducts must be ape, or other duct-closure system that meets the applicable requirements of UL quirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 e used. Building cavities, support platforms for air handlers, and plenums metal, duct board or flexible duct must not be used to convey conditioned air. ts installed in cavities and support platforms must not be compressed to cause

stems must comply with applicable requirements for duct construction, nd their components must not be sealed with cloth back rubber adhesive duct draw bands. s must comply with applicable requirements for: pressure-sensitive tapes, nstruction.

e conditioned space and outdoors must have backdraft or automatic dampers. ing conditioned space must have either automatic or readily accessible, pt combustion inlet and outlet air openings and elevator shaft vents. mage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed

protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular oating that is water retardant and provides shielding from solar radiation. ust have a non-porous layer between the inner core and outer vapor barrier. oning systems use forced air duct systems to supply conditioned air to an ested, as confirmed through field verification and diagnostic testing, in endix RA3.

g 10 feet and the supply side of ventilation systems must have MERV 13 or ave a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure . Filters must be accessible for regular service.*

Space conditioning systems that use ducts to supply cooling must have a hole nstalled static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per de an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling is required in accordance with Reference Residential Appendix RA3.3.*



2019 Low-Rise Residential Mandatory Measures Summary

And the state of the	
§ 150.0(k)2G:	Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.
§ 150.0(k)2H:	Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.
§ 150.0(k)2l:	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.
§ 150.0(k)2J;	Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls."
§ 150.0(k)2K:	Interior Switches and Controls. Under cabinet lighting must be controlled separately from celling-installed lighting systems.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either § 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aii (astronomical time clock), or an EMCS.
§ 150.0(k)3B:	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)3A or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)3C:	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(c).
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the
§ 150.0(k)6A:	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-A and be controlled by an occupant sensor.
§ 150.0(k)6B:	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must: i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.
Solar Ready Bui	dings:
§ 110.10(a)1:	Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).
§ 110.10(a)2:	Low-rise Multifamily Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).
§ 110.10(b)1:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.*
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.
§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".

ightner ADU	ATING	AND COOLING LOAD	SSUM	MARY		1 Date		
ginnerrie						1/1	11/2021	
ystem Name						Floor	Floor Area	
lew FAU			_				1,199	
NGINEERING CHECKS		SYSTEM LOAD	5 57.00T			550.405 T.T.		
lumber of Systems	1		COIL	COOLING P	EAK	COIL H	IG. PEAK	
leating System	25.000	and and a store	CFM	Sensible	Latent	CFM	Sensible	
Output per System	35,000	Total Room Loads	576	12,205	1,172	203	11,16	
Total Output (Btuh)	35,000	Return Vented Lighting		227			41	
Output (Btuh/sqft)	29.2	Return Air Ducts					41	
Cooling System	0	Return Fan	0	0	o	0		
Output per System	0	Ventilation Supply Eap		0				
Total Output (Btun)	0.0	Supply Air Ducts		337			41	
Total Output (Phub/soff)	0.0	Supply All Ducis		530				
Total Output (Bitun/sqlt)	0.0	TOTAL SYSTEM LOAD		12.879	1,172		11,98	
ir System	017	TOTAL STSTEM LOAD						
CEM par System	855	HVAC FOURPMENT SELECTION						
Abdum (afm)	855	Bryant Heating & Cool 311.JAV/024045		0	ol		35.00	
Airflow (cfm)	0.71	Jan 1 Sang a 600101 10/1024040			<u> </u>	F	50,00	
Airflow (cfm/sqπ)	0.0						-	
Airnow (cim/Ton)	0.0%	Total Adjusted System Output		0	0		35,00	
Outside Air (76)	0.00	(Adjusted for Peak Design conditions)		Ll		-		
		TIME OF SVETEM DEAK			Aug 3 PM		Jan 1 Al	
	2°F 75	/ 62 °F 55 / 54 °F						
3 / 70 °F 75 / 6: Dutside Air 0 cfm	Supply Fan 855 cfm	Cooling Coil	→[]			55	/ 54 °F	
3 / 70 °F 75 / 63 Dutside Air 0 cfm 75 / 62 °F	Supply Fan 855 cfm		→ []	46.8%	RC	55 DOM 75	/54 °F /62 °F J	

showing Uvalue. Solar Heat Gain Co-efficient = 0.23 windows, doors

Ufactor = 0.30 windows, doors Owner to purchase windows & doors w/ specified Uvalues & SHGC's or better.

*Hot Water Heater = (1) tankless NPE-150S or eq. Uniform Energy Factor is 0.96 min. Input 140,000 Btu.

IAQ FAN - 64 cfm flow & 0.25 cfm power. Verify w/ Mech. (continuous ventilation per ASHRAE 62.2 is req'd for IAQ.) HERS VERIFIED Note IAQ fan on plan w/ timer switch with a manual off & sound rating 1 sone.

AFUE - 0.80 min. (new FAU) SEER - N/A NO HERS REQUIRED

Duct Insulation = R-6 min. Duct (HERS) 5% Leakage Test - YES

*Heater Sizing Total Sensible heat load = 11,989 Btu BRYANT #311JAV024045 or eq. - 35,000 Btu.

*A/C Sizing Sensible Cool'g Load = 12,879 Btu - N/A. Total

WHOLE HOUSE ATTIC COOLING FAN - N/R for compliance

*These load calculations, sizing & equipment are for Title 24 purposes & should be verified HVAC by a Mechanical Engineer/Contractor. Owner may install any Make & Model HVAC equipment that is equal or greater than the minimum efficiencies listed above. All equipment is listed "or eq"

ALL LIGHTING TO BE HIGH EFFICACY - SEE MF1R FOR SWITCHING & NOTES. LOCAL EXHAUST FAN RATES BATH = 50 CFM, KITCHEN = 100 CFM. (HERS VERIFIED) ** SONE RATING = 1 FOR CONTINUOUS FAN AND 3 FOR INTERMITTENT FAN.

ĺ	REVISIONS BY
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	5.E.K. / S.W. DATE / TIME 5/5/2021
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	<u>20-0029</u> '
	JOB NAME LIGHTNER
	JOB NAME LIGHTNER SHEET
	JOB NAME LIGHTNER SHEET A-1-5





ATTACHMENT 9

Driginal drawings and/or electronic files of these blueprints are the property of Marrokal Construction Company. Reproduction of these plans in any form except for this specific job will subject ownership to Civil Court action. All dimensions and conditions on job site shall be verified prior to beginning construction and shall immediately report any and all discrepancies to Marroka

Proposed ADU Second Floor Electrical Plan

Proposed ADU First Floor Electrical Plan

ELECTRICAL LEGEND								
	Door Bell	↓	Outdoor flood light					
Ļ	Switch	SD	Smoke alarm					
<u>ا</u> 3	Three way switch	🔇 СМ	Carbon monoxide alarm					
ŞD	Dimmer switch	9	Exhaust fan					
¦∨s }	Vacancy sensor	J	Junction box					
	Recessed can light	Œ	110 Volt duplex outlet					
Ţ		{ }	110 Volt duplex outlet below counter					
	Linear light	← ^{WP} GFCI	Waterproof with ground fault circuit interrupter					
T	Under cabinet Light	⊖ GFCI	Ground fault circuit interrupter					
	Wall mounted light	⊖= AFCI	Arc fault circuit interrupter					
	Ceiling mounted light /	⊖ ^{1/2} HOT	Switch operated outlet					
Ť	Pendant light	€ 220∨	220 Volt duplex outlet					
$\langle \mathbf{\Phi} \rangle$	Ceiling mounted directional light	⊢+ CABLE TV	Cable television					
۲	Puck light	⊢K PHONE	Telephone jack					
50-	Bath fan & light combination	⊢+ FG	Fuel gas					
SEE 150 PAGE, F PROJEC	SEE 150(K) RESIDENTIAL LIGHTING SECTION IN THE GENERAL NOTES PAGE, FOR ALL LIGHTING REQUIREMENTS APPLICABLE TO THIS PROJECT SHEET A-1-1.							

PHOTOGRAPHIC SURVEY PLAN 1" = 40'-0"

LA JOLLA SHORES DRIVE

PROPERTY LINE (TYP.)

SETBACK LINE (TYP.)

Shores Drive

La la la la mais

(5,861 S.F. LIV. AREA)

8575 La Jolla

8560 Avenida

De Las Ondas

(4,115 S.F. LIV. AREA)

8553 La Jolla Shores Drive (3,061 S.F. LIV. AREA)

8551 La Jolla Shores Drive (1,695 S.F.

8519 La Jolla Shores Drive (4,954 S.F. LIV. AREA)

8526 l Shore: (4 119 S E I

8540 Avenida

De Las Ondas

(3,448 S.F. LIV. AREA)

(3,464 S.F. LIV. AREA)

8545 Avenida De Las Ondas

FIRE HYDRANT

(5,104 S.F. LIV. AREA)

8550 Avenida

De Las Ondas

(2,486 S.F. LIV. AREA)

ATTACHMENT 9

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MAR ESIGN &

SURVEY

Sheet Title: PHOTOGRAPHIC

OF **1** SHEETS

APN - 3460902200

APN - 3460902300

APN - 3460902400

APN - 3460902500

APN - 3460902600

APN - 3460903000

APN - 3460903100

APN - 3460903400

APN - 3461010200

APN - 3461010300

APN - 3460903600

APN - 3460903500

REVISIONS BY DESIGN CONSULTANT(S) Steve Walton PROJECT DESIGNER Enrique C. property of Marrokal Cons on job site shall be verifie files of these blueprints are All dimensions and conditi tronic ction. SURVEY Lightner La Jolla, CA 9. PHOTOGRAPHIC rri DRAWN / CHECKED S.E.R. / S.W. DATE / TIME 5/5/2021 1:22:05 PM PROJECT NUMBER 20-0029 JOB NAME SHEET SRVY-3 of **1** SHEETS

ATTACHMENT 9

APN - 3461010400

APN - 3461010500

APN - 3461010600

APN - 3461100200

APN - 3461100300

APN - 3461100400

APN - 3461100500

APN - 3461100600

ATTACHMENT 9

REVISIONS

BY

SURVEY

GRAPHIC

FIRE HYDRANT

8553 La Jolla Shores Dr. La Jolla, CA 92037

FIRE HYDRANT

La Jolla Shores FBF HYDRANT

Southeast Lot

FIRE HYDRANT

