

**BARRIO LOGAN COMMUNITY PLANNING GROUP
NOTICE OF PUBLIC MEETING AGENDA
2212 MAIN STREET, SAN DIEGO CA 92113**

**6:00 PM – 8:00 PM
November 18, 2015**

-
1. Call to Order- Brent Beltran, Vice-Chairperson
 2. Approval of the minutes of the October 21, 2015 meeting
 3. Adoption of the Agenda
 4. Staff Reports
 5. Comments from the public
 6. Comments and discussion from the Planning Group: Maintenance assessment District, light and noise, logo design, and other considerations.
 7. Information Item: John Alvarado – Good Neighbor Initiative
 8. Information item. Kyle - Bike San Diego - bike parking
 9. Information item: Clay Company – future plans for the Chevron Station at Main and Division
 10. Action item: T-Mobile - installation at 2393 Newton Ave at 26th Street
 11. Adjournment: Next meeting December 16, 2015

**Mark Steele, Chair
Brent Beltran, Vice Chair
David Favela, Secretary
Rafael Castellanos
Mario Chacon
Tim Fraser
Catherine Herbst
Fernando Hernandez
Capt. Curt Jones
Juanita Lopez
Elvia Martinez
Teresa Montero
Erick Ortega
Hector Perez
Tom Ryan
Josie Talamantez
Hector Villegas**

Barrio Logan Planning Group contact: Mark Steele mark@mwsteele.com



LOCATION ©2014 Google Maps



EXISTING



PROPOSED LOOKING NORTHWEST FROM BOSTON AVENUE



LOCATION

©2014 Google Maps



EXISTING



PROPOSED

LOOKING NORTHEAST FROM MAIN STREET



EXISTING



PROPOSED LOOKING EAST FROM MAIN STREET



LOCATION

©2014 Google Maps



EXISTING



PROPOSED

LOOKING SOUTHWEST FROM 26TH STREET

T-Mobile

T-Mobile
 10509 VISTA SORRENTO PARKWAY
 SUITE 206
 SAN DIEGO, CA 92121

PLANS PREPARED BY:

NATIONAL
 ENGINEERING & CONSULTING, INC
 27 ORCHARD, LAKE FOREST, CA 92630
 PHONE: (949) 716-9990 | FAX: (949) 716-9997

CONSULTANT:



18301 VON KARMAN AVENUE
 SUITE 910
 IRVINE, CA 92612
 PHONE: (949) 387-1265
 FAX: (949) 387-1275

ZONING DRAWING
 IF USING 11"X17" PLOT, DRAWINGS WILL BE HALF SCALE

SITE NUMBER: SD06358 **CITY: SAN DIEGO**
SITE NAME: 26TH & NEWTON **COUNTY: SAN DIEGO**
SITE TYPE: ROOFTOP **JURISDICTION: CITY OF SAN DIEGO**

PROJECT SUMMARY:

SITE ADDRESS:
 2393 NEWTON AVENUE
 SAN DIEGO, CA 92113

PROPERTY OWNER:
 PI PROPERTIES No 86 LLC
 610 N. SANTA ANITA AVE
 ARCADIA, CA 91006
 CONTACT: ERIK PARKER
 PHONE: (619) 696-8330
 E-MAIL: erik.parker@cbre.com

PROJECT DESCRIPTION:
 PROJECT ENTAILS THE FOLLOWING:
 -INSTALL (4) PROPOSED FRP SCREENED ANTENNA ENCLOSURES
 -INSTALL (8) PROPOSED AIR 21' 4" PANEL ANTENNAS @ POSITIONS 1&4
 -INSTALL (8) PROPOSED KATHREIN 6" PANEL ANTENNAS @ POSITIONS 2&3
 -INSTALL (16) PROPOSED TMA/RRU'S
 -INSTALL HCS CABLES
 -INSTALL (1) PROPOSED GPS ANTENNA
 -INSTALL (1) PROPOSED 8' HIGH CMU WALL EQUIPMENT ENCLOSURE
 -INSTALL (1) PROPOSED TELCO CABINET
 -INSTALL (1) PROPOSED PPC CABINET
 -INSTALL (3) PROPOSED ERICSSON RBS 6201 OUTDOOR CABINETS

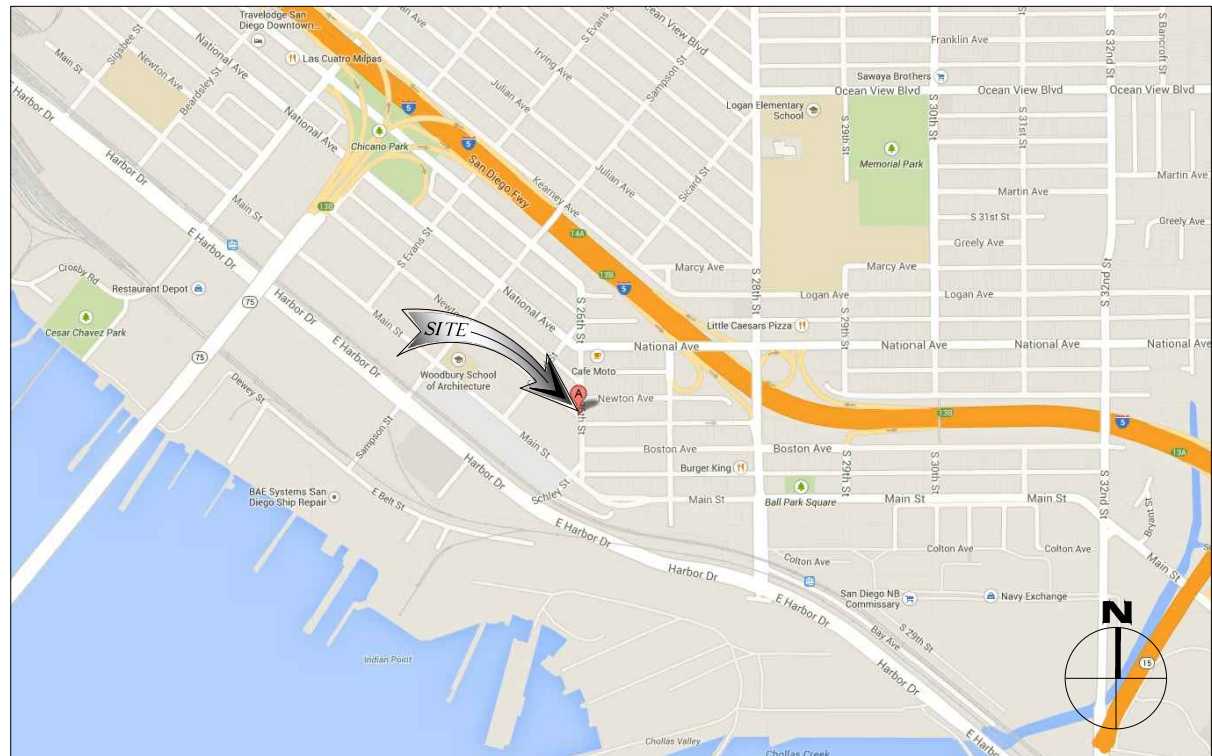
ZONING: BLPD-SUBD-B, BARRIO LOGAN PLANNED DISTRICT SUB B
LATITUDE: 32° 41' 45.9096" N
LONGITUDE: 117° 8' 17.8800" W

EQUIPMENT LEASE AREA: ±134.40 SQ. FT.
ANTENNA LEASE AREA: ±506.40 SQ. FT.
TOTAL LEASE AREA: ±640.80 SQ. FT.

LOCATION INFORMATION:
 LEGAL DESCRIPTION: ALL OF ALLEY CLSD ADJ & LOTS 29 THRU 44 BLK 99 TR 379
 COUNTY: SAN DIEGO, CA SUBDIVISION: S D LAND & TOWN CO ADJ
 CENSUS TRACT/BLOCK: 50.00/1 TRACT: 379
 LEGAL BOOK/PAGE: 538-74 SCHOOL DISTRICT: SAN DIEGO
 LEGAL LOT: 29-44
 LEGAL BLOCK: 99
 APN: 538-741-07-00

SHEET INDEX:

SHEET:	DESCRIPTION:
T-1	TITLE SHEET
RF-1	RF SIGNAGE
LS-1	TOPOGRAPHIC SURVEY
LS-2	TOPOGRAPHIC SURVEY
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	PROPOSED EQUIPMENT AND ANTENNA LAYOUT PLANS
A-4	ARCHITECTURAL ELEVATIONS
L-1	PLANTING PLANS
L-1.1	IRRIGATION PLANS
L-3	PLANTING DETAILS AND NOTES
L-4	IRRIGATION DETAILS & NOTES



NO.	DATE:	DESCRIPTION:	BY:
1	08/26/14	90% ZONING	SA
2	09/18/14	CLIENT REVISIONS	SA
3	10/31/14	100% ZONING	EVT
4	04/20/15	CLIENT REVISION	EVT
5	09/02/15	CITY REVISIONS	DP

SITE INFORMATION:

SD06358
26TH & NEWTON
 2393 NEWTON AVENUE
 SAN DIEGO, CA 92113

CONSULTING TEAM:

PROJECT MANAGER:
 SMARTLINK
 18301 VON KARMAN AVE., STE 910
 IRVINE, CA 92612
 CONTACT: ROCKI LAM
 PHONE: (949) 387-1265
 MOBILE: (801) 603-2052
 FAX: (410) 263-5470
 EMAIL: rocki.lam@smartlinkllc.com

ARCHITECTURAL ENGINEERING:
 NATIONAL ENGINEERING & CONSULTING, INC.
 27 ORCHARD
 LAKE FOREST, CA. 92630
 PHONE: (949) 716-9990
 FAX: (949) 716-9997

SITE ACQUISITION:
 SMARTLINK
 18301 VON KARMAN AVE., STE 910
 IRVINE, CA 92612
 CONTACT: JERROD PLOOF
 PHONE: (858) 344-4444
 FAX: (949) 387-1275
 EMAIL: jerrod.ploof@smartlinkllc.com

ZONING:
 SMARTLINK
 18301 VON KARMAN AVE., STE 910
 IRVINE, CA 92612
 CONTACT: JERROD PLOOF
 PHONE: (858) 344-4444
 FAX: (949) 387-1275
 EMAIL: jerrod.ploof@smartlinkllc.com

RF ENGINEER:
 T-MOBILE USA
 10509 VISTA SORRENTO PARKWAY
 SUITE 206
 SAN DIEGO, CA 92121
 CONTACT: PEDRO ABE
 PHONE: (858) 334-6135
 EMAIL: pedro.abe@t-mobile.com

CONSTRUCTION MANAGER:
 T-MOBILE
 10509 VISTA SORRENTO PARKWAY
 SUITE 206
 SAN DIEGO, CA 92121
 CONTACT: KIRT BABCOCK
 PHONE: (858) 334-6139
 EMAIL: kirt.babcock@t-mobile.com

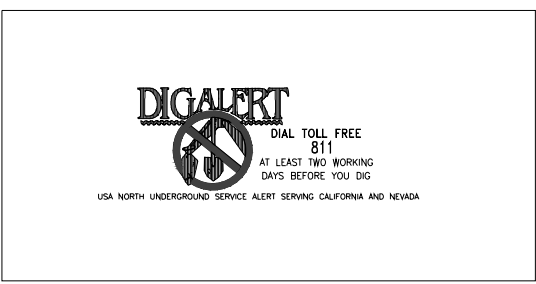
APPROVALS:

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

	PRINT NAME	SIGNATURE	DATE
LANDLORD	_____	_____	_____
ZONING REP.	_____	_____	_____
DEVELOP. MGR	_____	_____	_____
CONST. MGR	_____	_____	_____
PROJECT MGR	_____	_____	_____
ZONING MGR.	_____	_____	_____
RF ENGINEER	_____	_____	_____
OPERATIONS	_____	_____	_____
SAC REP.	_____	_____	_____

DIRECTIONS FROM SAN DIEGO T-MOBILE OFFICE:

1. HEAD NORTHWEST ON VISTA SORRENTO PKWY TOWARD LUSK BLVD
2. TURN LEFT ONTO SORRENTO VALLEY BLVD
3. TURN RIGHT ONTO ROSELLE ST
4. TURN LEFT TO MERGE ONTO I-5 S
5. TAKE THE 28TH STREET EXIT TOWARD NATIONAL AVENUE SD
6. KEEP RIGHT AT THE FORK, FOLLOW SIGNS FOR 28TH ST N/NATIONAL AVE AND MERGE ONTO S 27TH ST
7. TURN LEFT ONTO NATIONAL AVE
8. TAKE THE 1ST LEFT ONTO S 26TH ST
9. TURN RIGHT ONTO NEWTON AVE
 DESTINATION WILL BE ON THE LEFT
 2393 NEWTON AVE
 SAN DIEGO, CA 92113



APPLICABLE CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

1. 2013 CALIFORNIA ADMINISTRATIVE CODE.
2. 2013 CALIFORNIA BUILDING CODE (CBC).
3. 2013 CALIFORNIA ELECTRICAL CODE (CEC).
4. 2013 CALIFORNIA ENERGY CODE.
5. 2013 CALIFORNIA MECHANICAL CODE (CMC).
6. 2013 CALIFORNIA PLUMBING CODE (CPC).
7. ANSI/TIA-222-G LIFE SAFETY CODE NFPA-101
8. LOCAL BUILDING CODE.

POWER & TELCO UTILITY CONTACTS

POWER: SDG&E
 CONTACT: CUSTOMER SERVICE
 PHONE: (800) 411-7343

TELCO:
 PHONE COMPANY: T-MOBILE
 CONTACT: CUSTOMER SERVICE
 (800) 222-0400

SEAL:

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

**IN CASE OF
EMERGENCY
CALL
1-818-756-9674**

**SITE NUMBER: SD06358
SITE NAME: 26TH & NEWTON**

EMERGENCY CONTACT SIGNAGE

NOTICE
RF SAFETY PROGRAM
IN EFFECT AT THIS SITE

GUIDELINES:

- ⚠️ ONLY AUTHORIZED PERSONNEL MAY ENTER this site.
- ⚠️ All personnel must have RF SAFETY TRAINING as per the written RF SAFETY PROGRAM for this site.
- ⚠️ Obey all posted signs.
- ⚠️ Assume all antennas are active, unless LOCKED OUT.
- ⚠️ Before working on antennas, notify owners and DISABLE APPROPRIATE TRANSMITTERS.
- ⚠️ Do not stop or work in front of active antennas.
- ⚠️ Maintain a safe distance from all antennas.
- ⚠️ Do not stop or work in front of active antennas.
- ⚠️ USE personal RF MONITORS while working at this site.
- ⚠️ Replace all transmitter shields after service.
- ⚠️ Do not mount or use antennas in equipment rooms.

INFORMATION

ACTIVE ANTENNAS ARE MOUNTED

- ON THE OUTSIDE FACE OF THIS BUILDING
- BEHIND THIS PANEL
- ON THIS STRUCTURE

STAY BACK A MINIMUM OF 3 FEET FROM THESE ANTENNAS
Contact T-Mobile West at 800- and follow their instructions prior to performing any maintenance or repairs closer than 3 feet from the antennas.
This is T-Mobile West site _____

T-Mobile

10509 VISTA SORRENTO PARKWAY
SUITE 206
SAN DIEGO, CA 92121

PLANS PREPARED BY:

NATIONAL
ENGINEERING & CONSULTING, INC.
27 ORCHARD, LAKE FOREST, CA 92630
PHONE: (949) 716-9990 | FAX: (949) 716-9997

CONSULTANT:

smartlink

18301 VON KARMAN AVENUE
SUITE 910
IRVINE, CA 92612
PHONE: (949) 387-1265
FAX: (949) 387-1275

SITE IDENTIFICATION SIGNAGE	1	SITE IDENTIFICATION SIGNAGE	2	SITE IDENTIFICATION SIGNAGE	3	NOT USED	4
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NO.	DATE:	DESCRIPTION:	BY:
1	08/26/14	90% ZONING	SA
2	09/18/14	CLIENT REVISIONS	SA
3	10/31/14	100% ZONING	EVT
4	04/20/15	CLIENT REVISION	EVT
⚠️	09/02/15	CITY REVISIONS	DP

CAUTION




Beyond this point:
Radio frequency fields at this site may exceed FCC rules for human exposure.

For your safety, obey all posted signs and site guidelines for working in radio frequency environments.

It accords with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b)

NOTICE



Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

It accords with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b)

WARNING



Beyond this point:
Radio frequency fields at this site exceed the FCC rules for human exposure.

Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

It accords with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b)

RF SIGNAGE	5	RF SIGNAGE	6	RF SIGNAGE	7	NOT USED	8
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SITE INFORMATION:

SD06358

26TH & NEWTON

2393 NEWTON AVENUE
SAN DIEGO, CA 92113

SEAL:

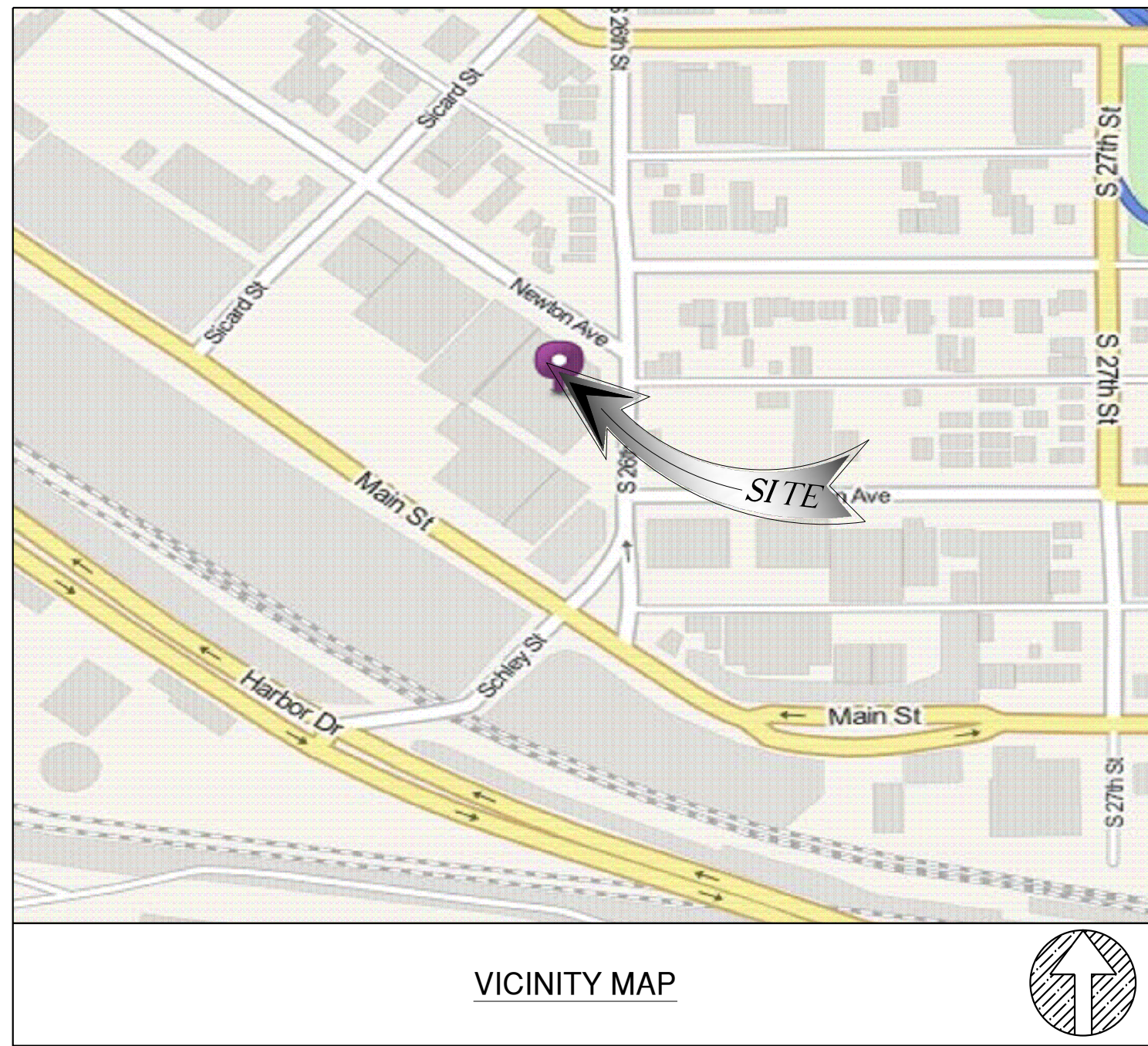
SHEET TITLE:

RF SIGNAGE

SHEET NUMBER:

RF-1

NOT USED	9	NOT USED	10	NOT USED	11	NOT USED	12
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LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 29 THROUGH 44, INCLUSIVE, BLOCK 99 OF SAN DIEGO LAND AND TOWN COMPANY ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 379, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 30, 1886. TOGETHER WITH THE ALLEY ADJOINING SAID LOTS ON THE SOUTH-WEST.

ASSESSOR'S PARCEL NUMBER: 538-741-07

SITE ADDRESS

2393 NEWTON AVENUE SAN DIEGO, CA 92113

APN
538-741-07-00

RECORD OWNER

RANCHO SFF, LP, A CALIFORNIA LIMITED PARTNERSHIP

TITLE REPORT

LEGAL DESCRIPTION AND EXCEPTIONS WERE TAKEN FROM PRELIMINARY TITLE REPORT PREPARED BY COMMONWEALTH LAND TITLE COMPANY ORDER NO. 08023538 DATED AUGUST 13, 2014.

SCHEDULE B EXCEPTION

- ITEMS A, B, AND C ARE TAXES AND LIEN RELATED
- ITEM 1 IS WATER RIGHTS RELATED
- ITEMS 2, 3, 7, 8 ARE AGREEMENT RELATED
- ITEM 10 IS COVENANT AGREEMENT RELATED
- ITEM 11 IS REDEVELOPMENT AGENCY RELATED
- ITEM 12 IS DEED OF TRUST RELATED

4 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: DEWITT TRANSFER & STORAGE CO., A CALIFORNIA CORPORATION
 PURPOSE: ACCESS TO AND MAINTENANCE OF THE BUILDINGS AND FENCES
 RECORDING DATE: JUNE 14, 1976
 RECORDING NO: AS INSTRUMENT NO. 76-182930 OF OFFICIAL RECORDS
 AFFECTS: PORTIONS OF THE LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND.

DOES NOT AFFECT THE CONSTRUCTION AREA.

5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION
 PURPOSE: PIPELINE, UTILITIES, INGRESS AND EGRESS
 RECORDING DATE: JUNE 16, 1976
 RECORDING NO: AS INSTRUMENT NO. 76-186269 OF OFFICIAL RECORDS
 AFFECTS: PORTIONS OF THE LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND.

DOES NOT AFFECT THE CONSTRUCTION AREA.

6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

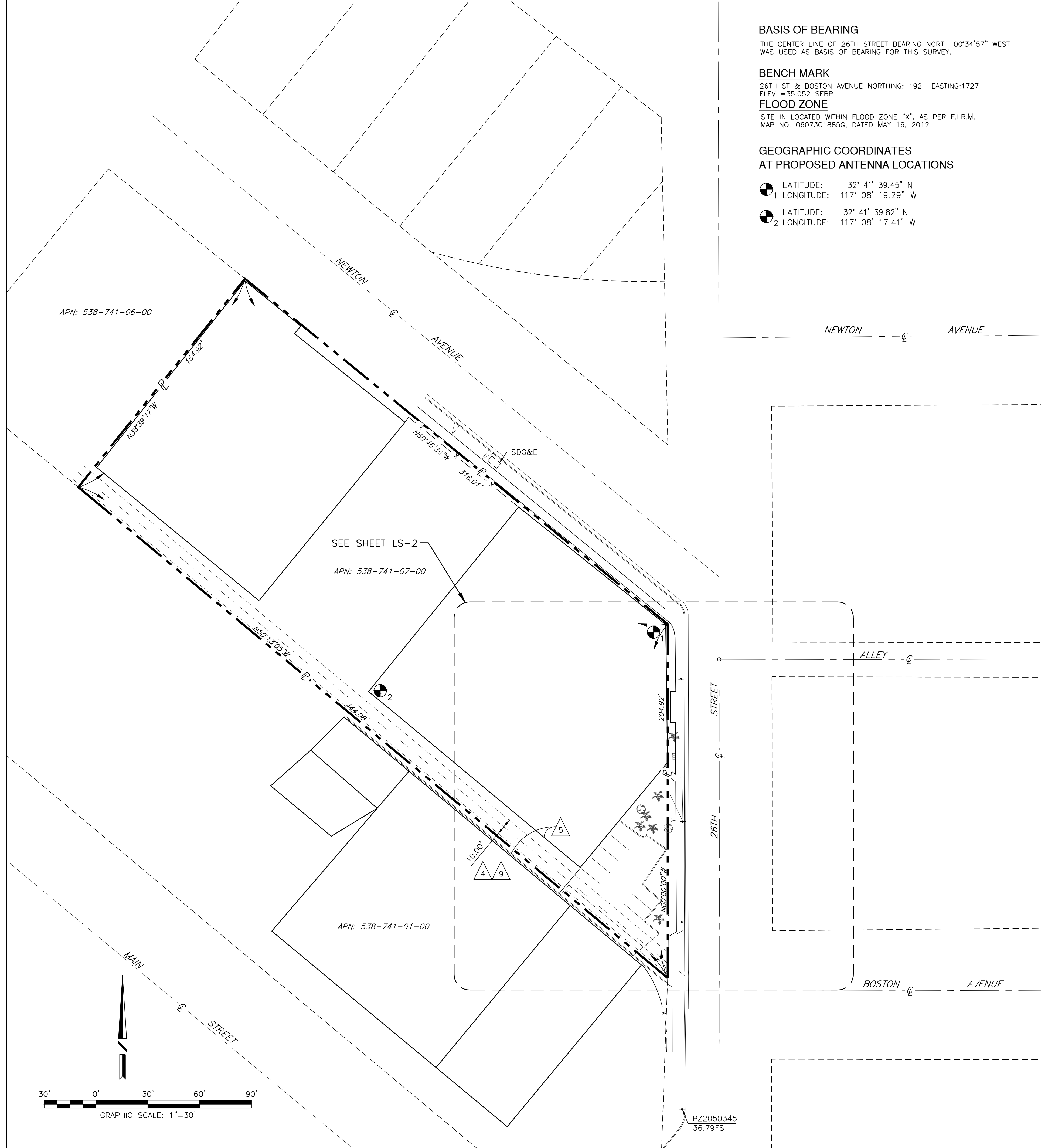
GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
 PURPOSE: POLE LINES, UNDERGROUND CONDUITS AND INCIDENTAL PURPOSES WITH THE RIGHT OF INGRESS AND EGRESS
 RECORDING DATE: MAY 03, 1989
 RECORDING NO: AS INSTRUMENT NO. 89-231920 OF OFFICIAL RECORDS

THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD. MAY OR MAY NOT AFFECT THE CONSTRUCTION AREA.

9 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT:

RESERVED BY: RAMSER DEVELOPMENT
 PURPOSE: SANITARY SEWERS AND INCIDENTAL PURPOSES
 RECORDING DATE: JUNE 01, 1989
 RECORDING NO: AS INSTRUMENT NO. 89-289240 OF OFFICIAL RECORDS
 AFFECTS: PORTIONS OF THE LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND.

SAID EASEMENT HAS BEEN GRANTED AND/OR RESERVED IN VARIOUS INSTRUMENTS OF RECORD. DOES NOT AFFECT THE CONSTRUCTION AREA.



BASIS OF BEARING

THE CENTER LINE OF 26TH STREET BEARING NORTH 00°34'57" WEST WAS USED AS BASIS OF BEARING FOR THIS SURVEY.

BENCH MARK

26TH ST & BOSTON AVENUE NORTHING: 192 EASTING:1727
 ELEV =35.052 SEBP

FLOOD ZONE

SITE IS LOCATED WITHIN FLOOD ZONE "X", AS PER F.I.R.M. MAP NO. 06073C1885G, DATED MAY 16, 2012

GEOGRAPHIC COORDINATES AT PROPOSED ANTENNA LOCATIONS

- 1 LATITUDE: 32° 41' 39.45" N
LONGITUDE: 117° 08' 19.29" W
- 2 LATITUDE: 32° 41' 39.82" N
LONGITUDE: 117° 08' 17.41" W



10509 VISTA SORRENTO PARKWAY
 SUITE 206
 SAN DIEGO, CA 92121

PLANS PREPARED BY:



CONSULTANT:



NO.	DATE	DESCRIPTION	BY:
1	08/15/14	PRELIM	MM
2	10/29/14	FINAL	TN

SITE INFORMATION:

SD06358

26TH & NEWTON

2393 NEWTON AVENUE
 SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NUMBER:

LS-1

SHEET 1 OF 2

PLANS PREPARED BY:



CONSULTANT:



18301 VON KARMAN AVENUE
SUITE 910
IRVINE, CA 92612
PHONE: (949) 387-1265
FAX: (949) 387-1275

NO.	DATE:	DESCRIPTION:	BY:
1	08/26/14	90% ZONING	SA
2	09/18/14	CLIENT REVISIONS	SA
3	10/31/14	100% ZONING	EVT
4	04/20/15	CLIENT REVISION	EVT
△	09/02/15	CITY REVISIONS	DP

SITE INFORMATION:

SD06358

26TH & NEWTON

2393 NEWTON AVENUE
SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-1

Lessee's Certificate
Standard Wireless Facility Project
for Post Construction BMPs

I/we the undersigned as Lessee(s) of the property described as
2393 Newton Ave., San Diego, CA 92113
(Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design -

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shutoff devices and flow reducers

I/we will maintain the above Standard Permanent BMPs for the duration of the lease.

Lessee Jerrold Ploof, as agent for T-Mobile Company Name Smartlink LLC, as agent for T-Mobile

(print name)
Date 6/12/2015

Lessee Jerrold Ploof Date 6/12/2015

**PROPOSED T-MOBILE
EQUIPMENT LEASE
AREA LOCATION**
REFER TO EQUIPMENT PLAN
ON SHEET 1/A-2

NOTES:

1. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT OF WAY.
2. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP) THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
5. NOTICE SIGNS AND MAP, DRAWINGS OR SKETCH OF ANTENNA LOCATIONS SHOULD BE POSTED AT EACH ROOFTOP ACCESS POINT (AT LOWER LADDER LEVEL).

DRAINAGE NOTE:

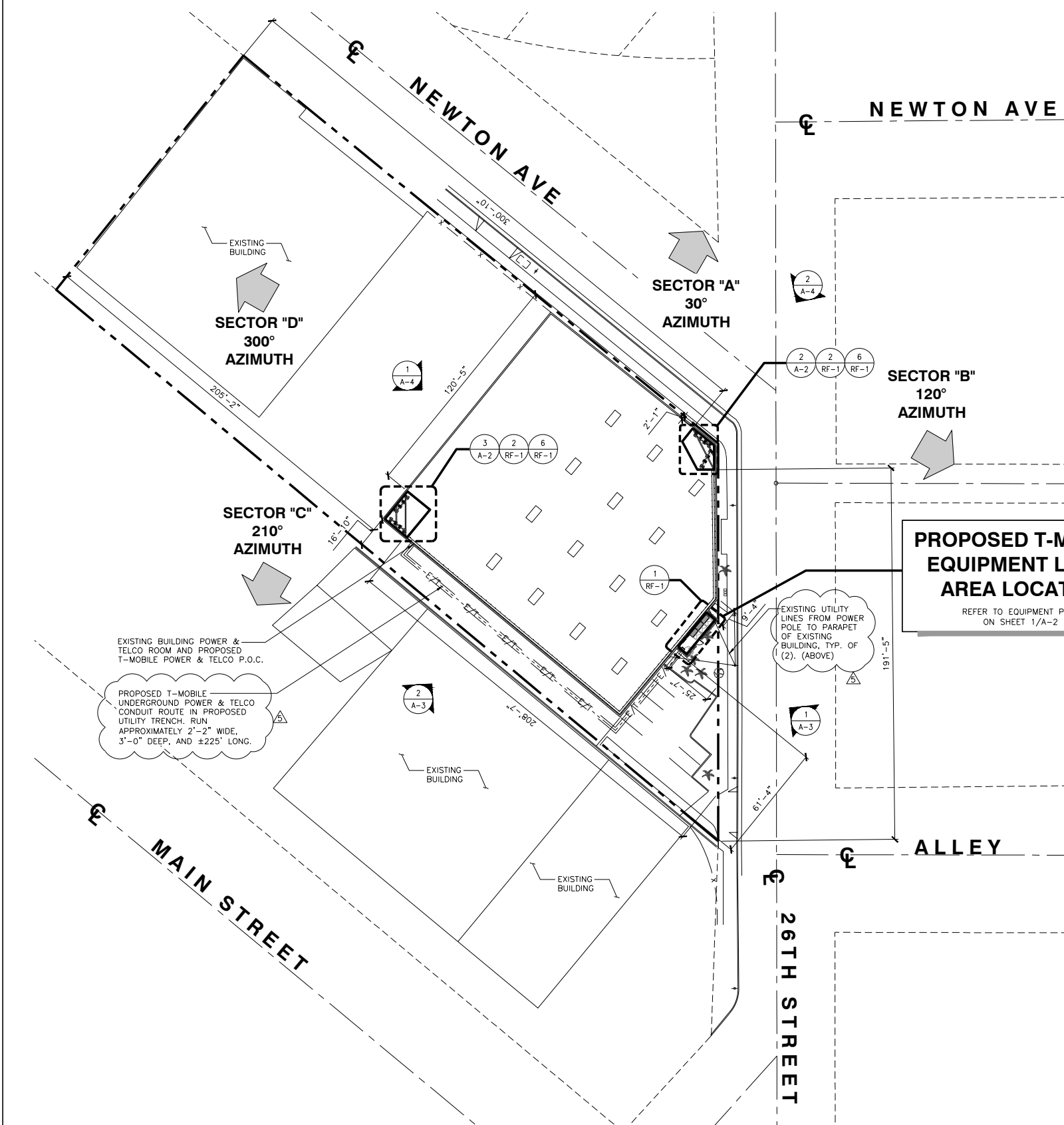
THE PROPOSED EQUIPMENT SHELTER WILL NOT BLOCK OR ALTER THE EXISTING DRAINAGE PATTERN. THE ELEVATION BEGINS AT A HIGH POINT OF 41.44' AND 42.12' ALONG THE PARALLEL EXISTING BUILDING. MOVING PERPENDICULAR TO 26TH STREET, THERE ARE SPOT ELEVATIONS OF 40.58' AND 40.88', CONFIRMING POSITIVE DRAINAGE TO THE STREET AND CURB.

GRADING DATA TABLE

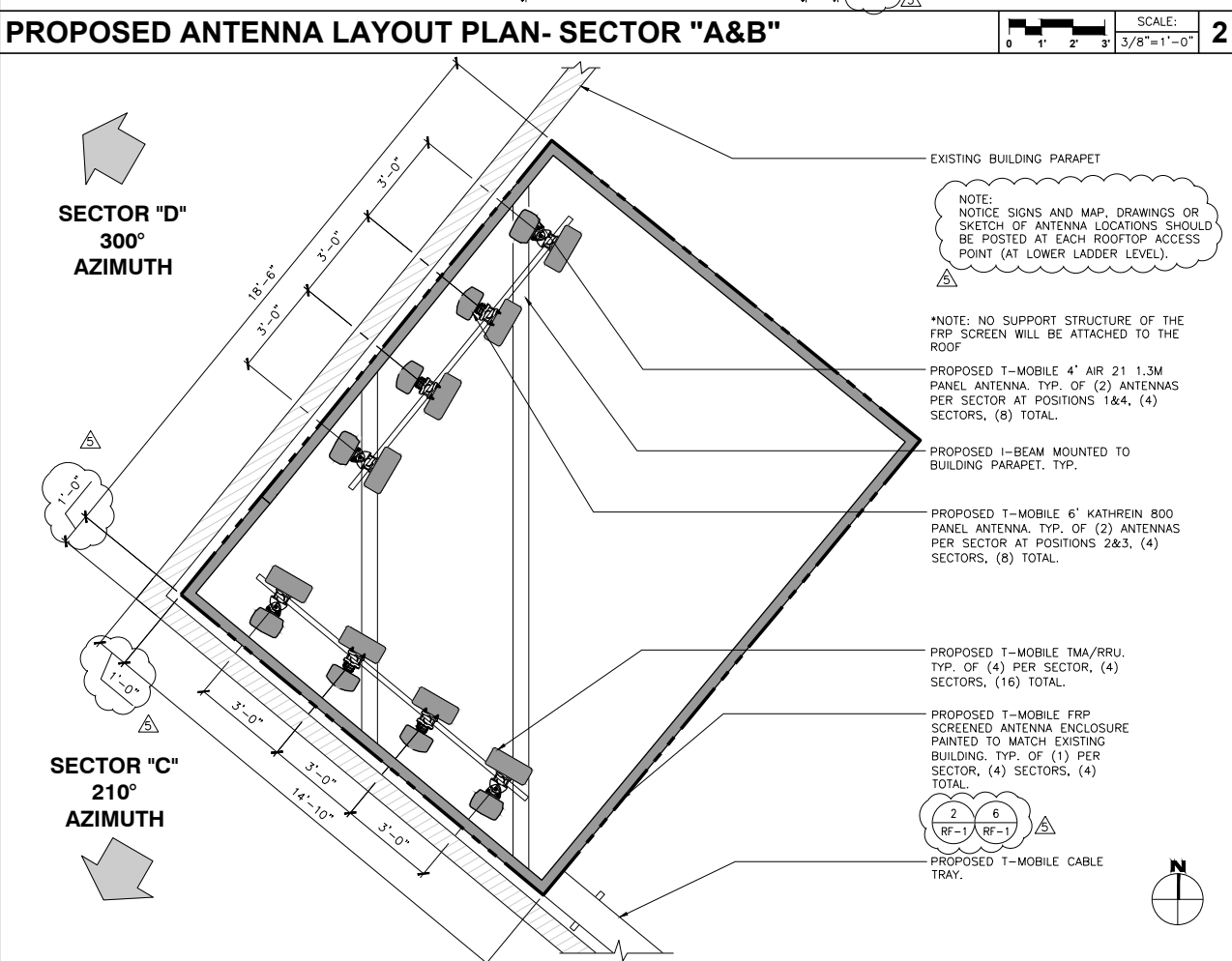
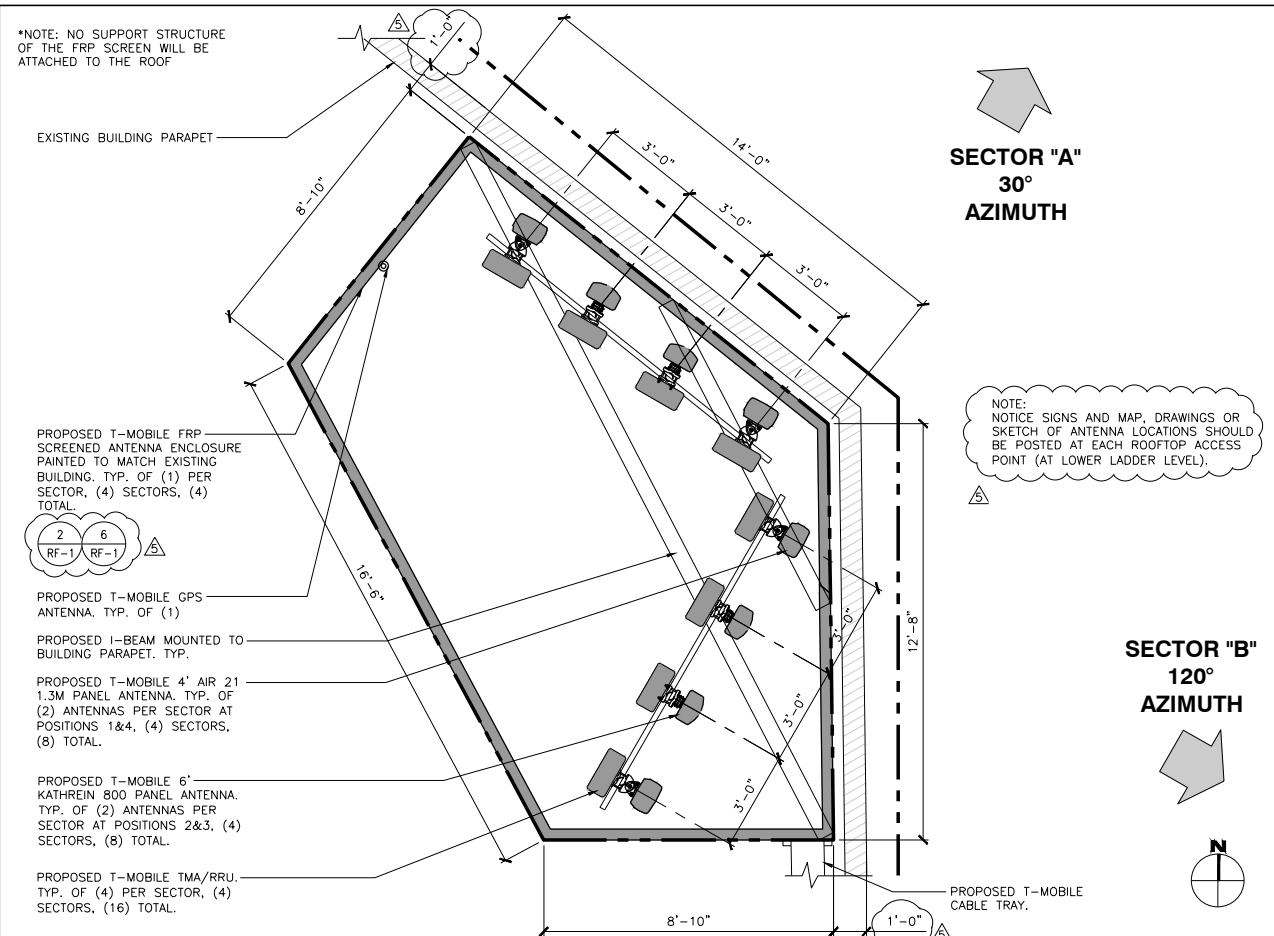
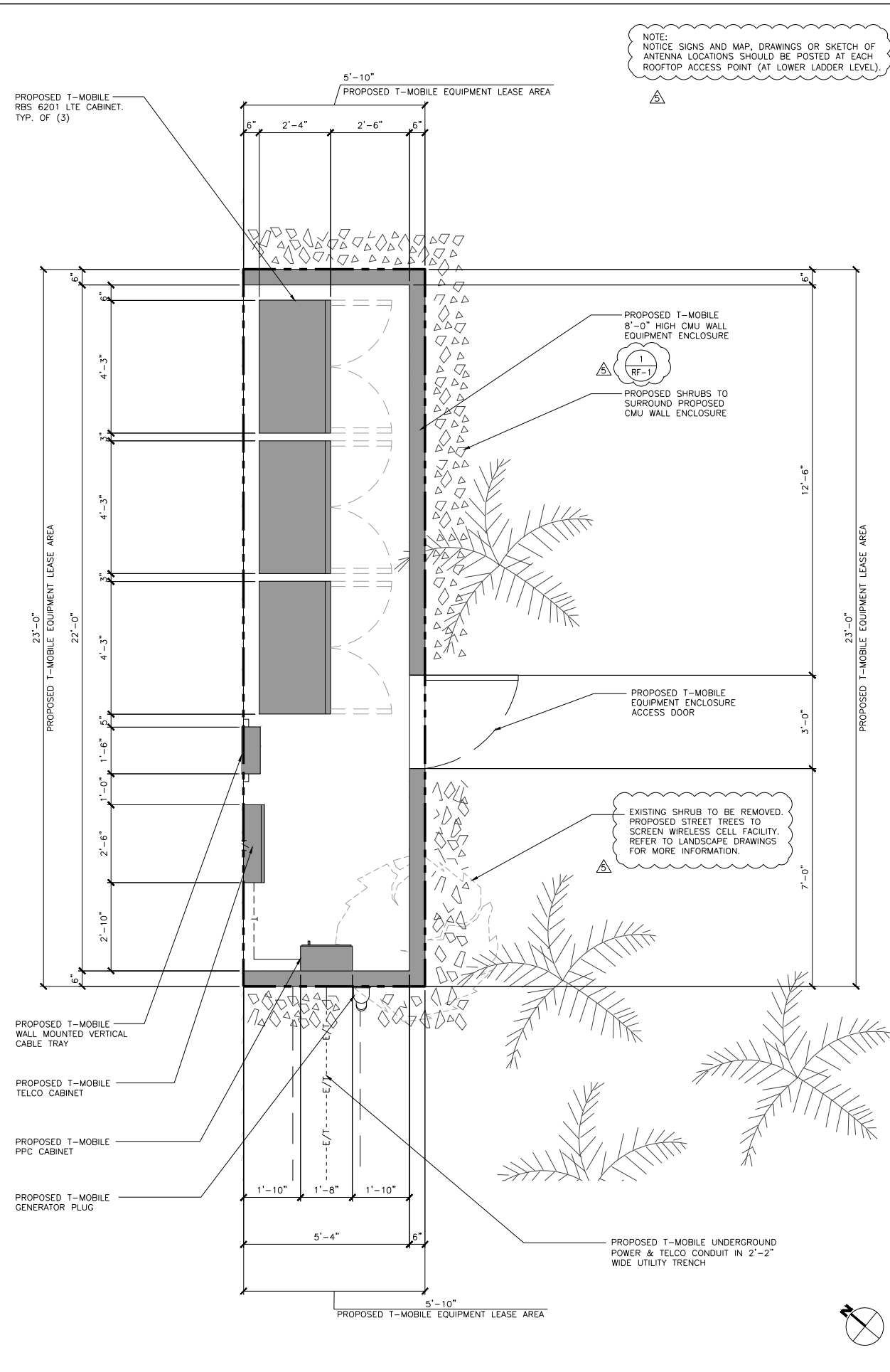
CUT & FILL TOTAL FOR PROPOSED CONSTRUCTION
FILL = 0 CU. YD. / CUT = ±4.54 CU. YD.
IMPORT = 0 CU. YD. / EXPORT = ±4.54 CU. YD.



SCALE: 1" = 30'



SITE PLAN



PROPOSED EQUIPMENT LAYOUT PLAN

PROPOSED ANTENNA LAYOUT PLAN- SECTOR "C&D"

T-Mobile
 10509 VISTA SORRENTO PARKWAY
 SUITE 206
 SAN DIEGO, CA 92121

PLANS PREPARED BY:
NATIONAL
 ENGINEERING & CONSULTING, INC
 27 ORCHARD LAKE FOREST, CA 92630
 PHONE: (949) 716-9990 | FAX: (949) 716-9997

CONSULTANT:
smartlink
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 SUITE, 910
 IRVINE, CA 92612
 PHONE: (949) 387-1265
 FAX: (949) 387-1275

NO.	DATE	DESCRIPTION	BY:
1	08/26/14	90% ZONING	SA
2	09/18/14	CLIENT REVISIONS	SA
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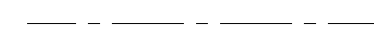








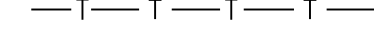
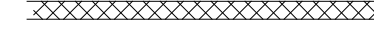


















































SITE INFORMATION:
SD06358
26TH & NEWTON
 2393 NEWTON AVENUE
 SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:
PROPOSED EQUIPMENT & ANTENNA LAYOUT PLANS

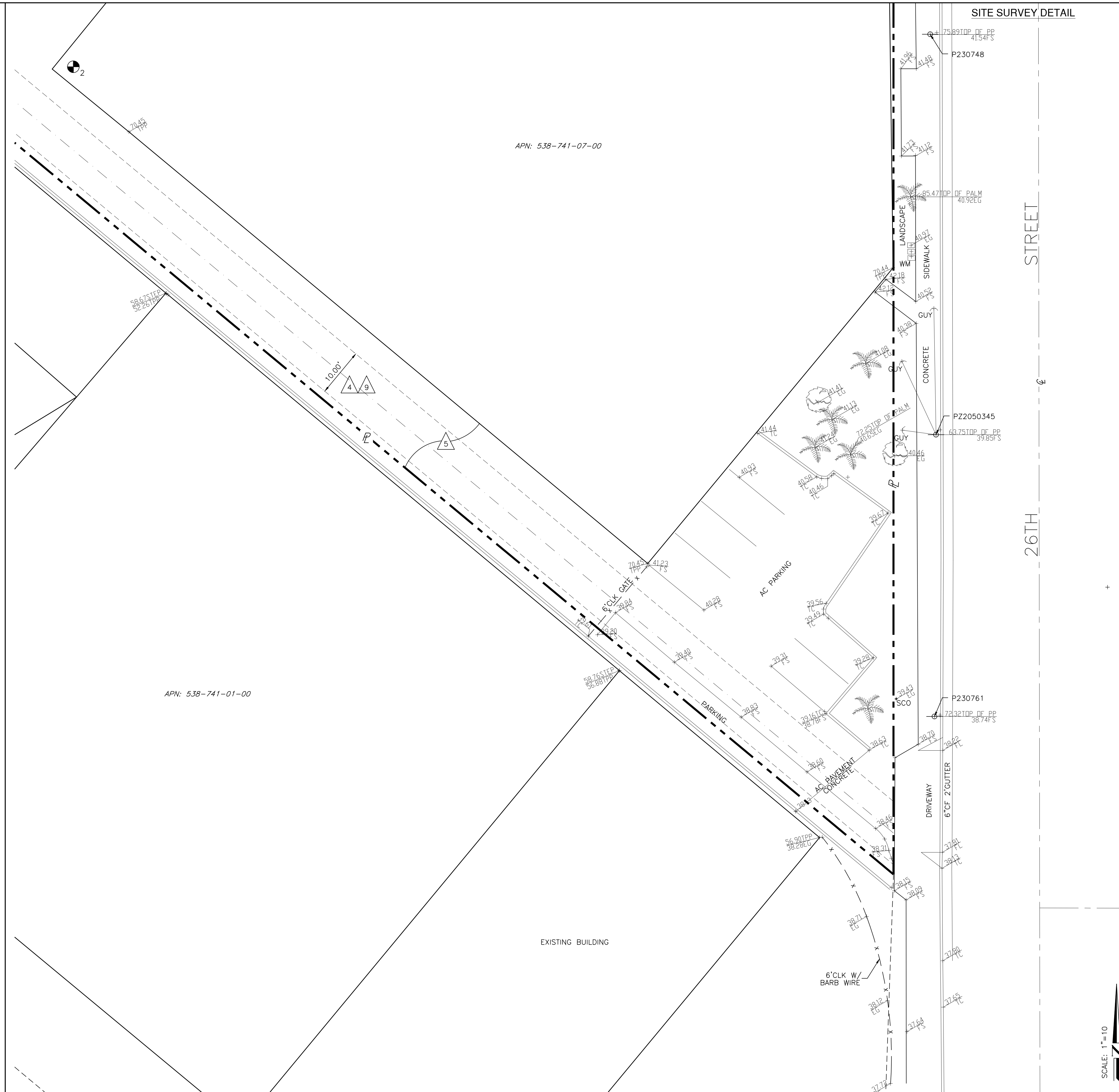
SHEET NUMBER:
A-2

LEGEND

-  CENTER LINE
-  PROPERTY LINE
-  CHAIN-LINK FENCE
-  WOOD FENCE
-  EASEMENT LINE
-  GAS LINE
-  SEWER LINE
-  WATER LINE
-  TELEPHONE CABLE
-  WOOD WALL
-  CMU WALL
-  EDGE OF PAV'T
-  BOLLARD
-  FOUND
-  GUY WIRE ANCHOR
-  EDGE OF PAVEMENT
-  FLOW LINE
-  FINISH SURFACE
-  HEIGHT
-  NATURAL GRADE
-  ROOF GRADE
-  MANHOLE
-  MAIL BOX
-  PROPERTY LINE
-  POWER POLE
-  PULL BOX
-  RAISED METAL PLATFORM
-  STREET SIGN/STOP SIGN
-  STORM DRAIN CATCH BASIN
-  STORM DRAIN MAN HOLE
-  TOP OF ANTENNA
-  TOP OF CURB
-  TOP OF WALL
-  TOP OF "X"
-  UNDERGROUND ACCESS
-  BACK FLOW PREVENTER
-  WATER METER
-  WATER VALVE
-  EXISTING LIGHT
-  EXISTING ELECTRICAL MANHOLE
-  EXISTING POLE
-  EXISTING STREET LIGHT
-  EXISTING TELE. MANHOLE
-  EXISTING WATER METER
-  EXISTING BACKFLOW PREVENTER
-  EXISTING SIGN
-  EXISTING TRAFFIC SIGNAL
-  EXISTING ANTENNA
-  EXISTING MICROWAVE DISH
-  EXISTING SEWER MANHOLE
-  POWER POLE
-  GUY WIRE ANCHOR
-  CATCH BASIN
-  FIRE HYDRANT
-  VALVE (UTILITY)
-  TREE
-  PINE TREE
-  BUSH
-  PALM TREE
-  EXISTING CONCRETE WALK/PATH
-  EXISTING GRASS/TURF

MONUMENTS

-  MONUMENT FD.
(AS NOTED)



SITE SURVEY DETAIL

T-Mobile
 10509 VISTA SORRENTO PARKWAY
 SUITE 206
 SAN DIEGO, CA 92121

PLANS PREPARED BY:

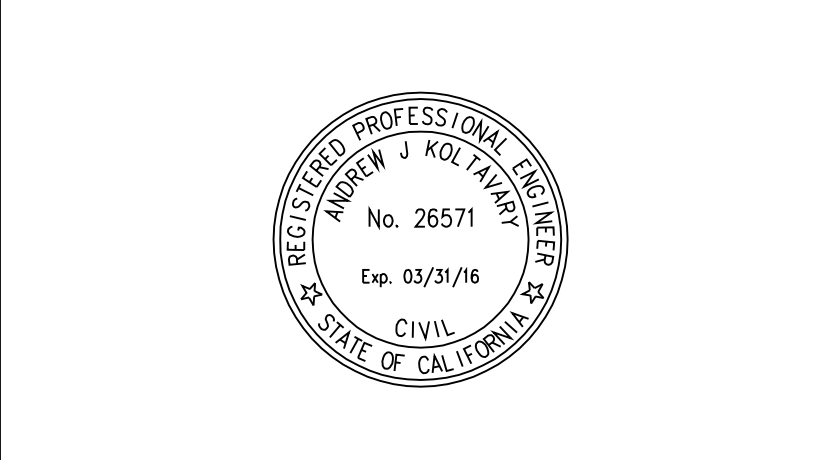
 NATIONAL
 ENGINEERING & CONSULTING, INC.
 27 ORCHARD LAKE FOREST, CA 92630
 PHONE: (949) 716-9990 | FAX: (949) 716-9997

CONSULTANT:

 smartlink
 18301 VON KARMAN AVENUE
 SUITE 910
 IRVINE, CA 92612
 PHONE: (949) 387-1265
 FAX: (949) 387-1275

NO.	DATE	DESCRIPTION	BY:
1	08/15/14	PRELIM	MM
2	10/29/14	FINAL	TN

SITE INFORMATION:
SD06358
26TH & NEWTON
 2393 NEWTON AVENUE
 SAN DIEGO, CA 92113

SEAL:


SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER:
LS-2
 SHEET 2 OF 2

PLANS PREPARED BY:



CONSULTANT:



18301 VON KARMAN AVENUE
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IRVINE, CA 92612
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NO.	DATE	DESCRIPTION	BY:
1	08/26/14	90% ZONING	SA
2	09/18/14	CLIENT REVISIONS	SA
3	10/31/14	100% ZONING	EVT
4	04/20/15	CLIENT REVISION	EVT
5	09/02/15	CITY REVISIONS	DP

SITE INFORMATION:

SD06358

26TH & NEWTON

2393 NEWTON AVENUE
SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:

**ARCHITECTURAL
ELEVATIONS**

SHEET NUMBER:

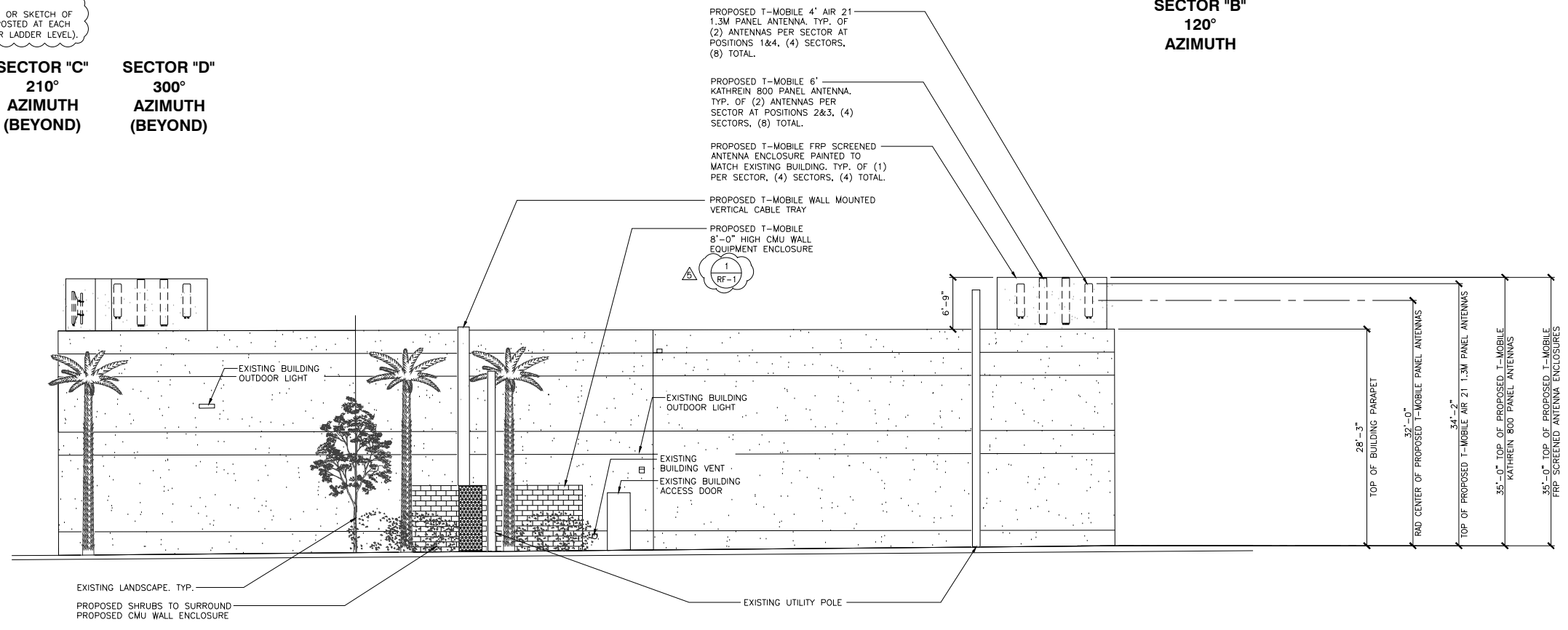
A-3

**SECTOR "B"
120°
AZIMUTH**

**SECTOR "C"
210°
AZIMUTH
(BEYOND)**

**SECTOR "D"
300°
AZIMUTH
(BEYOND)**

NOTE:
NOTICE SIGNS AND MAP, DRAWINGS OR SKETCH OF
ANTENNA LOCATIONS SHOULD BE POSTED AT EACH
ROOFTOP ACCESS POINT (AT LOWER LADDER LEVEL).



PROPOSED SOUTHEAST ELEVATION



PROPOSED T-MOBILE 4' AIR 21 1.3M PANEL ANTENNA, TYP. OF (2) ANTENNAS PER SECTOR AT POSITIONS 1&4, (4) SECTORS, (8) TOTAL.

PROPOSED T-MOBILE 6' KATHREIN 800 PANEL ANTENNA, TYP. OF (2) ANTENNAS PER SECTOR AT POSITIONS 2&3, (4) SECTORS, (8) TOTAL.

PROPOSED T-MOBILE FRP SCREENED ANTENNA ENCLOSURE PAINTED TO MATCH EXISTING BUILDING, TYP. OF (1) PER SECTOR, (4) SECTORS, (4) TOTAL.



PROPOSED T-MOBILE WALL MOUNTED VERTICAL CABLE TRAY

PROPOSED T-MOBILE 8'-0" HIGH CMU WALL EQUIPMENT ENCLOSURE

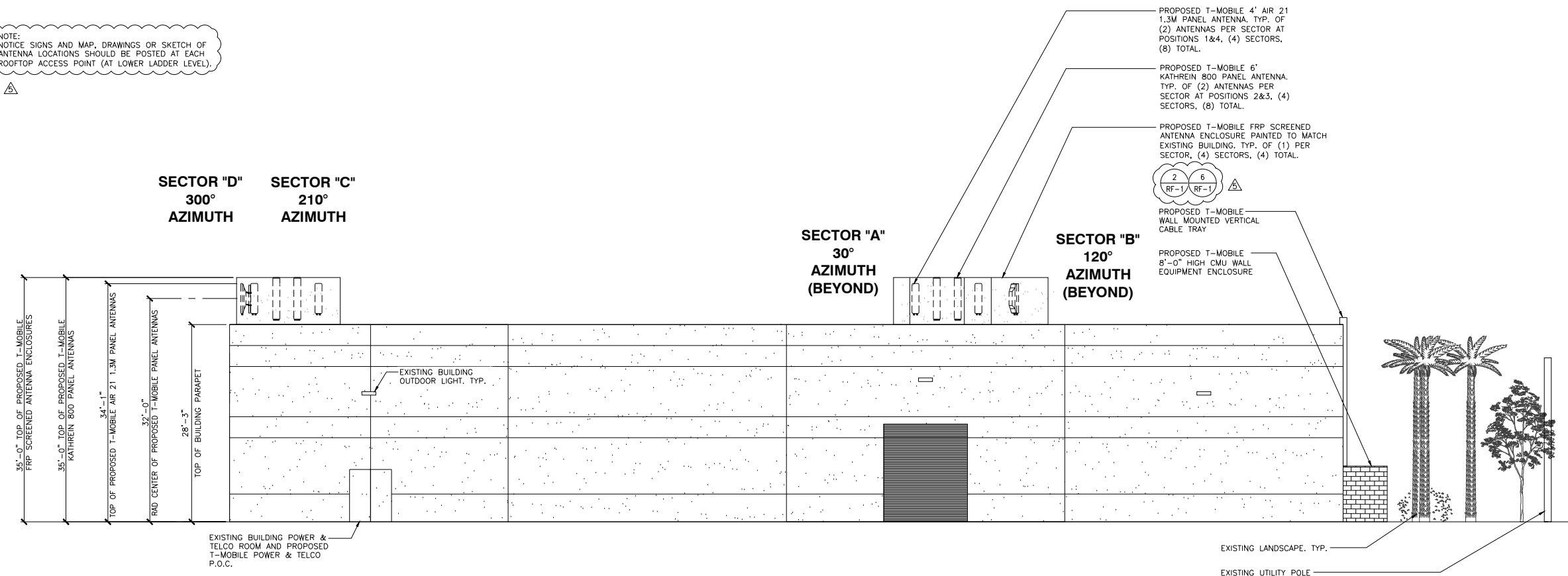
**SECTOR "D"
300°
AZIMUTH**

**SECTOR "C"
210°
AZIMUTH**

**SECTOR "A"
30°
AZIMUTH
(BEYOND)**

**SECTOR "B"
120°
AZIMUTH
(BEYOND)**

NOTE:
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PROPOSED SOUTHWEST ELEVATION



NO.	DATE:	DESCRIPTION:	BY:
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3	10/31/14	100% ZONING	EVT
4	04/20/15	CLIENT REVISION	EVT
△	09/02/15	CITY REVISIONS	DP

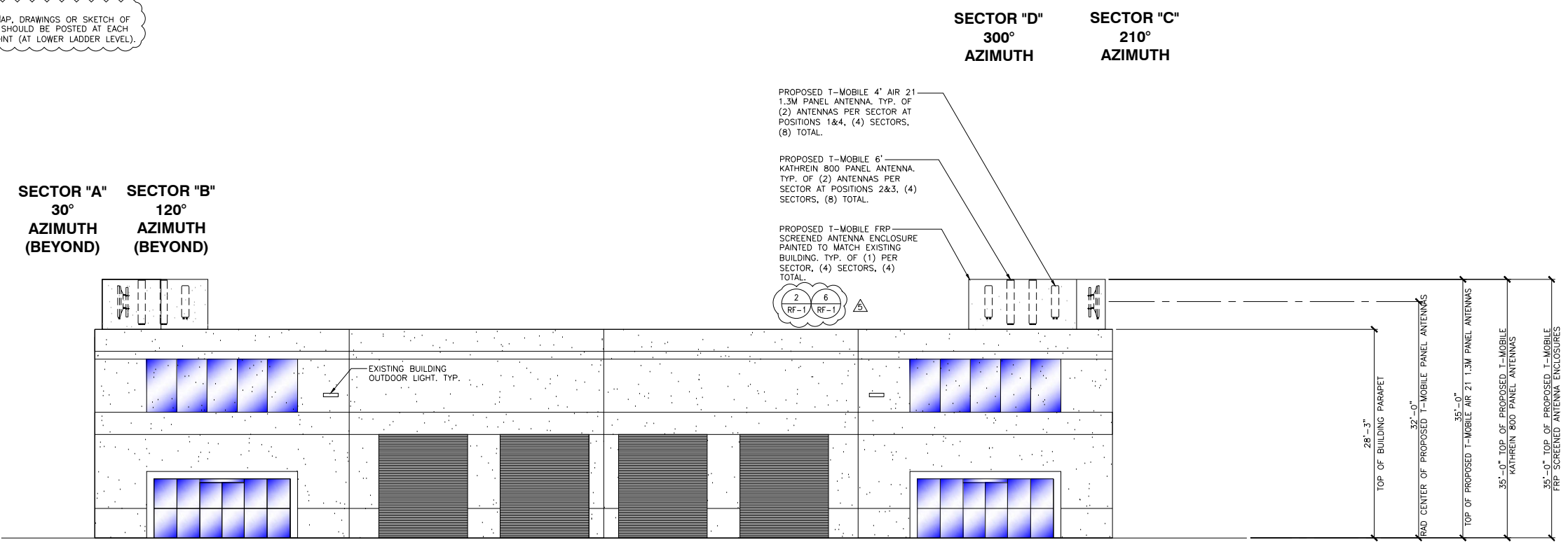
SITE INFORMATION:
SD06358
26TH & NEWTON
 2393 NEWTON AVENUE
 SAN DIEGO, CA 92113

SEAL:

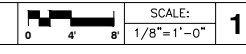
SHEET TITLE:
ARCHITECTURAL ELEVATIONS

SHEET NUMBER:
A-4

NOTE:
 NOTICE SIGNS AND MAP, DRAWINGS OR SKETCH OF
 ANTENNA LOCATIONS SHOULD BE POSTED AT EACH
 ROOFTOP ACCESS POINT (AT LOWER LADDER LEVEL).

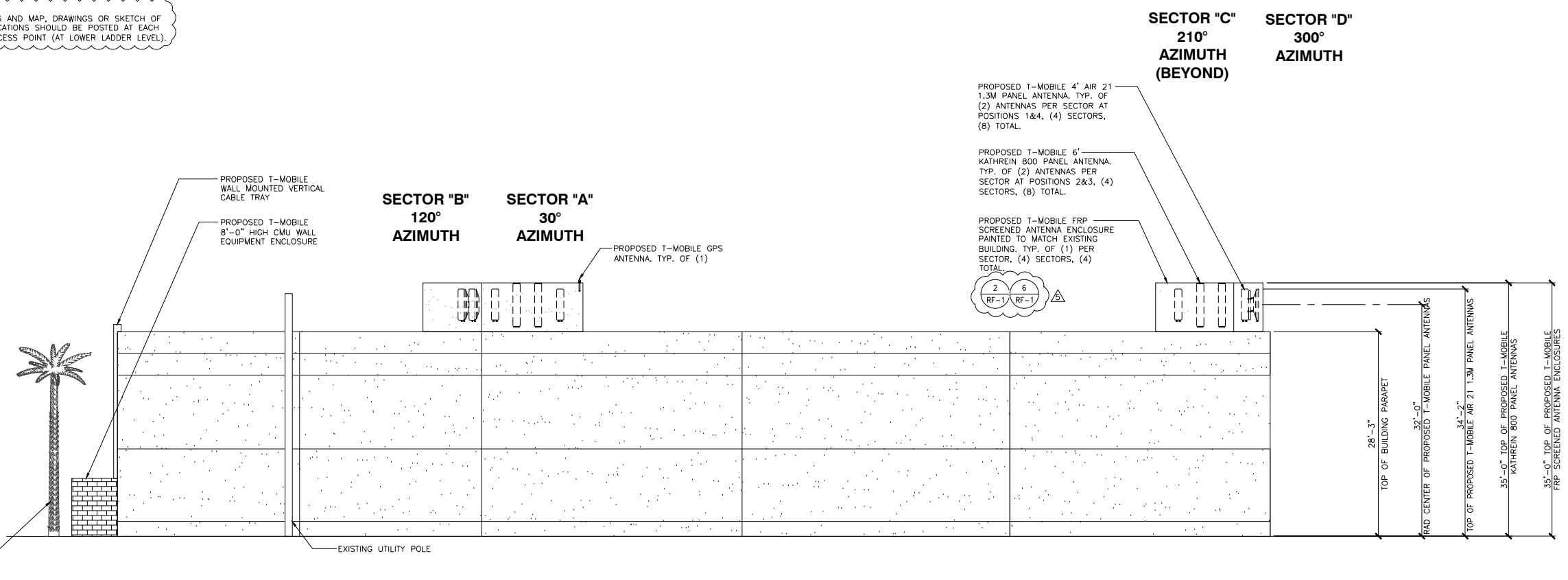


PROPOSED NORTHWEST ELEVATION

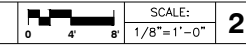


1

NOTE:
 NOTICE SIGNS AND MAP, DRAWINGS OR SKETCH OF
 ANTENNA LOCATIONS SHOULD BE POSTED AT EACH
 ROOFTOP ACCESS POINT (AT LOWER LADDER LEVEL).



PROPOSED NORTHEAST ELEVATION



2

CITY NOTES

MINIMUM TREE SEPARATION DISTANCE
 IMPROVEMENT/ MINIMUM DISTANCE TO STREET TREE
 TRAFFIC SIGNALS (STOP SIGN)-20 FEET
 UNDERGROUND UTILITY LINES-5 FEET (10' FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES- 10 FEET
 DRIVEWAY (ENTRIES)-10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)-25 FEET

"ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS"

"IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED."

IRRIGATION TYPE:
 THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED BUBBLER SYSTEM WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.

MAINTENANCE:
 "ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY:"

T-MOBILE
 LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC R.O.W SHALL BE MAINTAINED BY:

T-MOBILE

THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT."

"IF ANY LANDSCAPE MATERIAL OR IRRIGATION SYSTEMS ARE DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPLACED AND REPAIRED IN-KIND"

"A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5)."

"EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

"MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411."

"TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL." PLEASE CLEARLY IDENTIFY THE INSTALLATION OF ROOT BARRIERS IN THE LOCATIONS SUBJECT TO THESE CONDITIONS PER 142.0403(B).

"TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY, PER SDMC 142.0403(B)(10)"

"IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN-KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE DAMAGE"

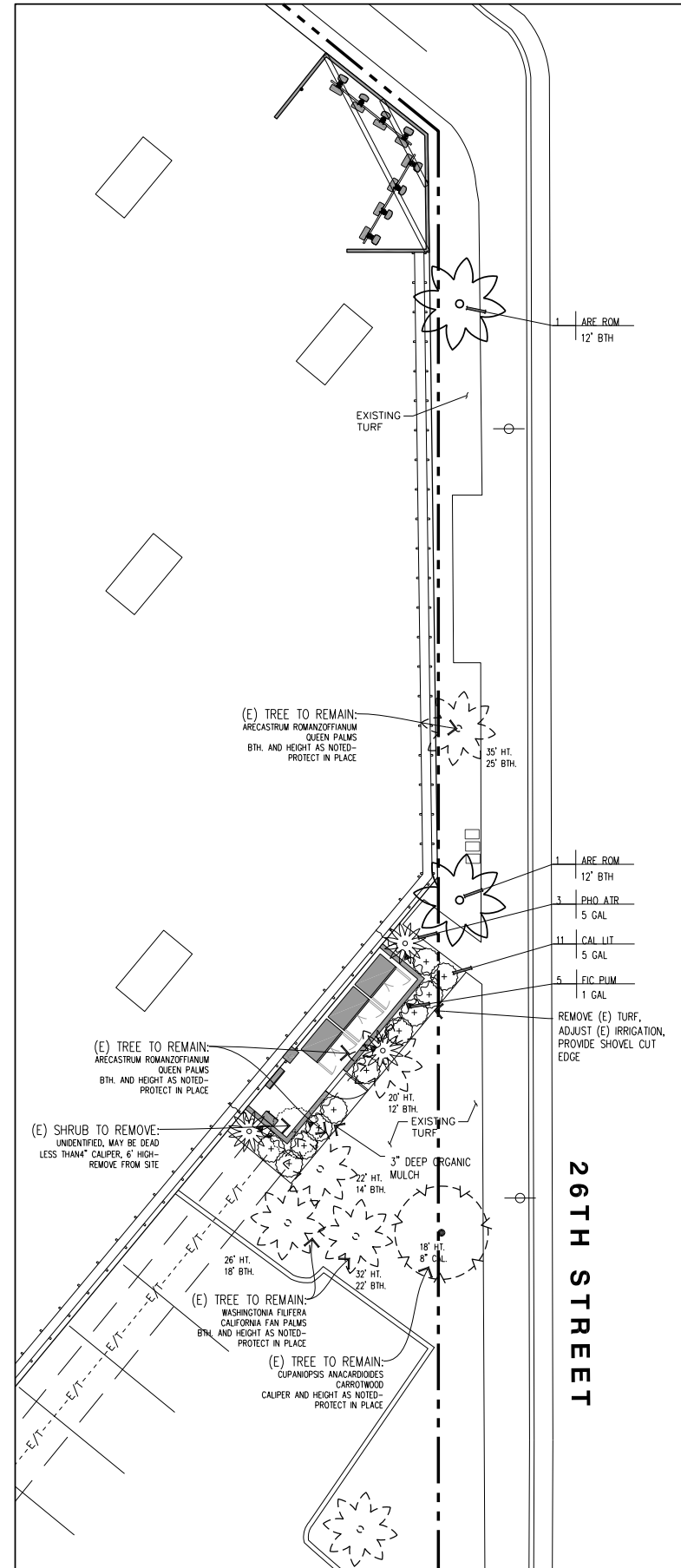
ARCHITECT OR DEVELOPER SHALL PERFORM AN AGRONOMIC SOILS TEST FOR FERTILITY AND TO DETERMINE DRAINAGE CAPABILITY. FOLLOW THE LAB SPECIFICATIONS DURING PLANTING.
 LAB SHALL BE INDEPENDENT FROM THE AMENDMENT SUPPLIER. GENERIC AMENDMENTS SHALL BE USED. PROOF OF AMENDMENTS USED SHALL BE PROVIDED TO THE CLIENT.

PLANTING LEGEND

TREES		SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DETAIL	MATURE (20YR)	MAINTAIN TYPE
	ARE ROM	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM	MATCHED HEIGHT	12' BTH	2	M	40' x 15'	SAME	

SHRUBS and VINES		SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DETAIL	MATURE (20YR)	QUICKS REPAIRING
	CAL LIT	CALLISTEMON "LITTLE JOHN"	DWARF BOTTLE BRUSH		5 gal	11	K	3' x 5'	3-L	
	PHO ATR	PHORHUM I. "ATROPURPUREUM"	RED FLAX		5 gal	3	K	6' x 5'	3-M/L	
	FIC PUM	FICUS PUMILA	CREeping FIG		1 gal	9	L	SPREADS TO 10'+	3-M	

MULCH BARE GROUND BETWEEN ALL SHRUBS AND TREES 3" DEEP. BETWEEN GROUND COVERS 1-1/2" DEEP- USE PARTIALLY COMPOSTED, NITROGEN STABILIZED TREE TRIMMINGS. 0-2 INCH SCREENED COMPOST OR PRE- APPROVED EQUIVALENT.



T-Mobile
 10509 VISTA SORRENTO PARKWAY
 SUITE 206
 SAN DIEGO, CA 92121

PLANS PREPARED BY:

 NATIONAL ENGINEERING & CONSULTING, INC
 27 ORCHARD LAKE FOREST, CA 92630
 PHONE: (949) 716-9990 | FAX: (949) 716-9997

CONSULTANT:
 Smartlink.jpg
 18301 VON KARMAN AVENUE
 SUITE, 910
 IRVINE, CA 92612
 PHONE: (949) 387-1265
 FAX: (949) 387-1275

NO.	DATE	DESCRIPTION	BY
1	08/26/14	90% ZONING	SA
2	09/18/14	CLIENT REVISIONS	SA
3	10/31/14	100% ZONING	EVT
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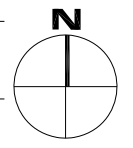
SITE INFORMATION:
SD06358
26TH & NEWTON
 2393 NEWTON AVENUE
 SAN DIEGO, CA 92113

SEAL:

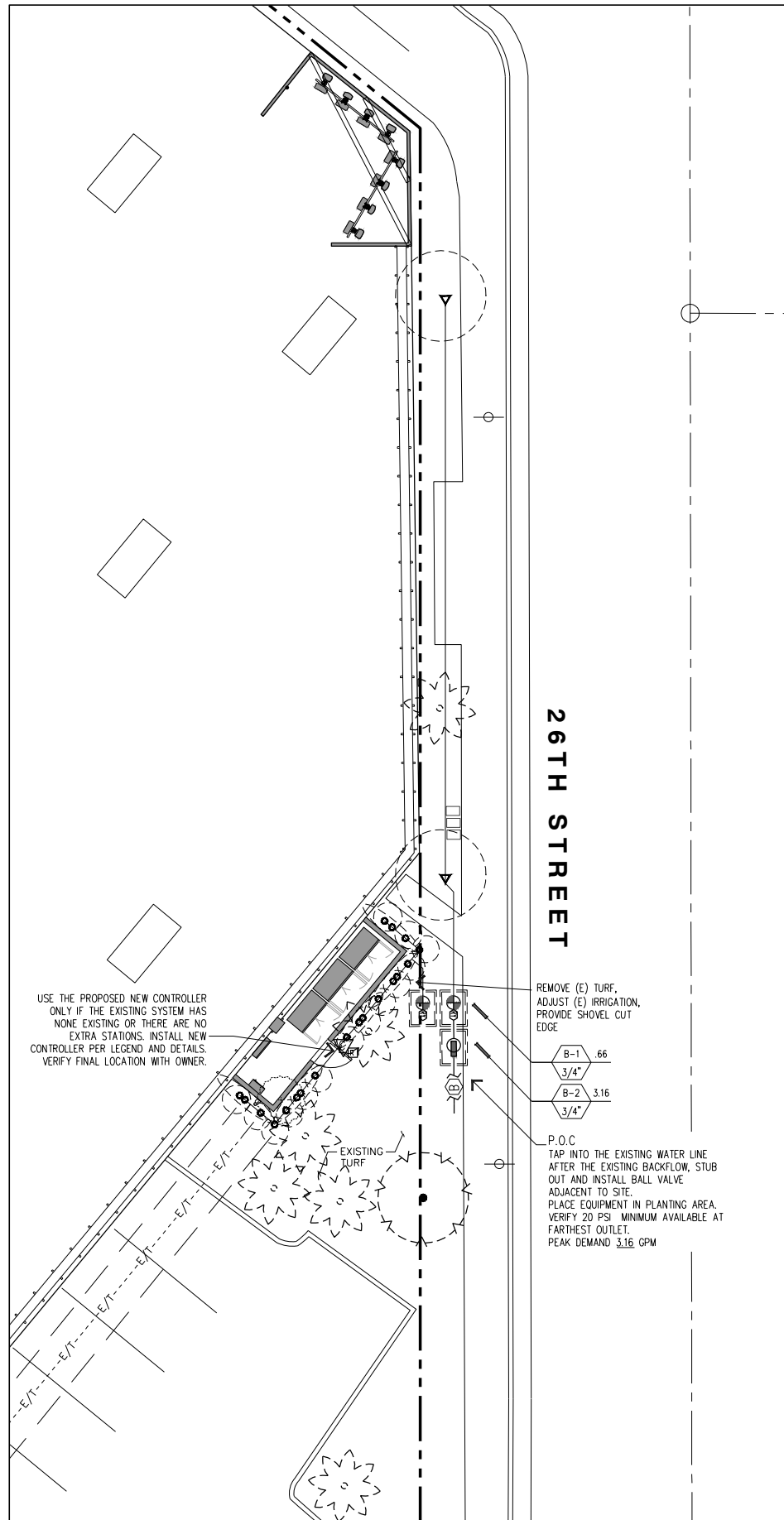
SHEET TITLE:
PLANTING PLANS

SHEET NUMBER:
L-1

DMLA
 Landscape Architecture
 34032 Alcazar Drive, Dana Point, Ca 92629 p(949)388-3369



SCALE:
 1/8"=1'-0"
1



NOTES FOR MODIFYING EXISTING SYSTEMS

THIS PROJECT IS A MODIFICATION OF AN EXISTING SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE CONDITIONS AND EQUIPMENT RELATED TO THIS SYSTEM. THIS VERIFICATION SHALL INCLUDE, BUT IS NOT LIMITED TO: THE EXISTING PRESSURE AND FLOW AVAILABLE, THE MAINLINE SIZE AND LOCATION, THE EXISTENCE, LOCATION AND FUNCTION OF VALVES, MASTER VALVES, BACKFLOW AND CONTROLLER. CONTRACTOR SHALL NOTIFY THE O.A.R. (OWNER'S AUTHORIZED REPRESENTATIVE) IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THE FIELD VERIFICATION AND THE DRAWINGS.

WATER MUST BE PROVIDED TO ALL PLANT MATERIAL DURING AND AFTER CONSTRUCTION. THE TIMING AND AMOUNT OF WATER APPLIED SHALL MAINTAIN THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION.

THE CONTRACTOR SHALL CUT, CAP AND/OR DIVERT IRRIGATION LINES PRIOR TO ANY SITE DEMOLITION OR EXCAVATION IN ORDER TO PRESERVE WATERING TO THE REMAINING SITE AREAS DURING AND AFTER CONSTRUCTION.

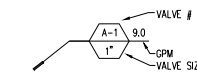
THE CONTRACTOR SHALL ADD NEW HEADS TO MATCH THE EXISTING SYSTEM AND ADJUST/ RELOCATE EXISTING SPRINKLER HEADS TO ACCOMMODATE THE PROPOSED INSTALLATION AND INSURE 100% COVERAGE OF THE EXISTING AND NEW PLANTINGS. NEW HEADS MAY BE ADDED IN ONE OF THE FOLLOWING WAYS:

- (A) CONNECT TO AN EXISTING LATERAL LINE* PROVIDING SIMILAR WATERING REQUIREMENTS AS THE PLANT MATERIAL PROPOSED AND ADD NEW HEADS TO MATCH THE EXISTING HEADS, OR THE HEADS THAT HAVE BEEN REMOVED.
 - (B) CONNECT TO THE PRESSURE MAINLINE* OF THE EXISTING IRRIGATION SYSTEM AFTER THE EXISTING BACKFLOW DEVICE AND RUN A CONTROL WIRE FROM THE EXISTING CONTROLLER TO THE NEW VALVE(S). ONLY POSSIBLE IF THERE ARE AVAILABLE STATION(S) ON THE EXISTING CONTROLLER OR THE CONTROLLER'S AVAILABLE STATIONS CAN BE INCREASED (UPGRADED).
 - (C) CONNECT TO THE EXISTING IRRIGATION WATER SOURCE* OR MAINLINE* AND PROVIDE A NEW BACKFLOW DEVICE AND AUTOMATIC CONTROLLER TO CONTROL THE VALVES.
 - *DO NOT EXCEED THE MAXIMUM GALLONS PER MINUTE AN EXISTING PIPE CAN PROVIDE (FLOW VELOCITY SHALL NOT BE GREATER THAN 5 FEET PER SECOND).
- THE CONTRACTOR SHALL VERIFY IF THE EXISTING SYSTEM USES A MASTER VALVE - ANY NEW VALVES MUST BE CONNECTED BY WIRE TO THE MASTER VALVE AND CONTROLLER.

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	REMARKS	DETAIL
M	EXISTING WATER METER AND SERVICE LINE (VERIFY SIZES AND FUNCTION IN THE FIELD)		--
[Symbol]	EXISTING BACKFLOW PREVENTER (VERIFY SIZES AND FUNCTION IN THE FIELD)		--
[Symbol]	NIBCO 1580A BALL VALVE (LINE SIZE)		B
[Symbol]	RAIN BRD X227-PRF SERIES CONTROL ZONE ASSEMBLY WITH REMOTE CONTROL LOW FLOW DVF VALVES AND PRF PRESSURE REGULATING FILTER. INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX.		D
[Symbol]	RAINBRD ESP-SMFC CONTROLLER (4 STATION) IN WALL MOUNT BOX PROVIDE AND INSTALL RAIN SWITCH AND ANEMOMETER PER MANUFACTURER SENSOR TO HAVE CLEAR VIEW OF SKY USE NEW CONTROLLER ONLY IF THE EXISTING CONTROLLER CANNOT BE USED		A
[Symbol]	PVC WATER PIPE CL. 315 (MAINLINE 2" AND LARGER)		--
[Symbol]	PVC WATER PIPE SCH. 40 (MAINLINE 1-1/2" AND SMALLER)		--
[Symbol]	PVC WATER PIPE CL. 200 3/4"-1-1/2" (LATERALS)		--
[Symbol]	PVC PIPE/SLEEVE SCH. 40 - 2" MIN. OR 2X DIA. OF PIPE OR WIRE BUNDLE. INSTALL WHERE SHOWN AND ALL STREET OR DRIVE CROSSINGS		--

SYMBOL		DESCRIPTION	DISCHARGE - GPM	PSI	RADIUS	PRECP RATE	DETAIL
Q	T	W	TI	TQ	F		
[Symbol]		RAINBRD PFR-FRA SERIES POLY-FLEX RISER AND ADAPTER WITH ONE OF THE FOLLOWING PRESSURE COMPENSATING MODULES:					
[Symbol]		RAINBRD PC-05-1032 OUTLETS FOR SHRUBS (2) PER PLANT	5.0 GPM	---	---	---	E
[Symbol]		RAINBRD PC-10-1032 OUTLETS FOR TREES (2) PER PLANT	10.0 GPM	---	---	---	E



CONTRACTOR SHALL CAP, DIVERT AND/OR ADJUST ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE NEW PLANTINGS. ENOUGH WATER MUST BE APPLIED TO THE EXISTING PLANTINGS DURING AND AFTER CONSTRUCTION OPERATIONS TO INSURE PLANT SURVIVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REGULATING SOIL MOISTURE CONTENT AND DRAINAGE UNTIL THE END OF CONTRACTED MAINTENANCE RESPONSIBILITY.

GENERAL WATERING GUIDELINE AS FOLLOWS:
 WARM WEATHER - FILL BASIN 2X / WEEK
 COOL WEATHER - FILL BASIN 1X / WEEK

CONTRACTOR SHALL CHECK SOIL MOISTURE AT LEAST WEEKLY WITH MOISTURE PROBE. SAMPLE THE ROOTBALL AND SURROUNDING SOIL. SOIL SHOULD BE MOIST THROUGHOUT THE SOIL PROFILE. THE ROOTBALL MUST NOT BE ALLOWED TO DRY OUT OR BE ALLOWED TO SIT IN STANDING WATER. EVER. ADJUST WATERING SCHEDULE BASED UPON RESULTS.

T-Mobile
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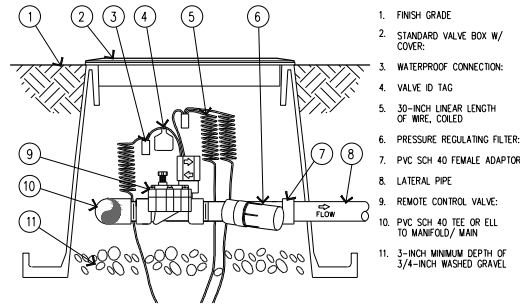
SEAL:

SHEET TITLE:
IRRIGATION PLANS

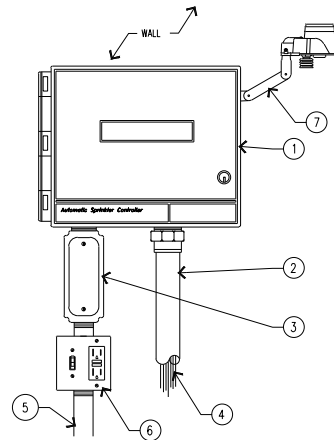
SHEET NUMBER:
L-1.1

DMLA
 Landscape Architecture
 34032 Alcazar Drive, Dana Point, Ca 92629 p:(949)388-3369

SCALE:
 1/8" = 1'-0" 1



1. FINISH GRADE
2. STANDARD VALVE BOX W/ COVER
3. WATERPROOF CONNECTION:
4. VALVE ID TAG
5. 30-INCH LINEAR LENGTH OF WIRE, COILED
6. PRESSURE REGULATING FILTER:
7. PVC SCH 40 FEMALE ADAPTOR
8. LATERAL PIPE
9. REMOTE CONTROL VALVE:
10. PVC SCH 40 TEE OR ELL TO MANIFOLD/ MAIN
11. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL



1. CONTROLLER: INDOOR/ OUTDOOR WALL MOUNT IN LOCKING WEATHERPROOF CABINET
2. 1.5-INCH PVC SCH 40 CONDUIT AND FITTINGS
3. JUNCTION BOX
4. WIRES TO REMOTE CONTROL VALVES
5. 1-INCH PVC SCH 40 CONDUIT TO POWER SUPPLY
6. POWER SUPPLY AND RECEPTACLE
7. RAIN SENSOR, MOUNT TO CABINET MAY BE MOUNTED REMOTELY, REFER TO MFG. SPECS.

I. GENERAL CONDITIONS

THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING WATER PRESSURE (P.S.I.) AND AVAILABLE FLOW (G.P.M.) PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL PRESSURE AND FLOW AVAILABLE WITH THOSE SHOWN IN THESE DRAWINGS. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREAS SIZE AND LAYOUT THAT WERE NOT CONSIDERED IN THE ORIGINAL DESIGN. NOTIFY THE O.A.R. OF SUCH OBSTRUCTIONS AND DIFFERENCES IMMEDIATELY. IN THE EVENT THAT THE NOTIFICATIONS REQUIRED BY THESE NOTES ARE NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REVISION NECESSARY.

II. QUALITY ASSURANCE AND REQUIREMENTS

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK, AND PRIMARY MAINTENANCE. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

III. MATERIALS/ INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORSEEN OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING. THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FINAL LOCATION OF THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE APPROVED BY THE O.A.R. PRIOR TO INSTALLATION.

THE 120 VOLT ELECTRICAL CONNECTION FOR THE CONTROLLER SHALL BE FURNISHED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE ROUTE OF THE ELECTRICAL SERVICE TO THE APPROVED CONTROLLER LOCATION WITH THE GENERAL CONTRACTOR. THE SERVICE TO THE CONTROLLER JUNCTION BOX SHALL BE INSTALLED BY A LICENSED ELECTRICIAN. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS TO THE AUTOMATIC CONTROLLERS FROM THE PROVIDED JUNCTION BOX.

ALL WIRES FROM THE CONTROLLER TO THE AUTOMATIC VALVES SHALL BE COPPER, DIRECT BURIAL, MINIMUM #14 GAUGE. INSTALL IN THE SAME TRENCH AS THE MAINLINE WHERE POSSIBLE. COMMON WIRE TO BE WHITE IN COLOR. CONTROL WIRES TO BE A DIFFERENT COLOR FOR EACH CONTROLLER USED. BUNDLE AND TAPE WIRES A MINIMUM OF TEN (10) FEET ON CENTER.

THE CONTRACTOR SHALL RUN THREE (3) SPARE WIRES AND ONE (1) COMMON WIRE FROM THE CONTROLLER TO EACH END OF THE MAIN LINE FOR FUTURE USE. EXTEND THE WIRES AN EXTRA TEN (10) FEET, MAKE A COIL AND PLACE IN A RECTANGULAR PULL BOX. LABEL THE LID "SW".

ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. SIZE WIRE SLEEVES SO THAT WIRES ARE NOT BOUND IN PIPE. MINIMUM COVERAGE FOR SLEEVES SHALL BE TWENTY FOUR (24) INCHES FOR SLEEVED LATERAL LINES, THIRTY (30) INCHES FOR 120 VOLT WIRING IN CONDUIT AND THIRTY SIX (36) INCHES FOR SLEEVED MAINLINE AND/OR CONTROL WIRING. ALL LATERAL LINE PIPING UNDER PAVEMENT NOT SLEEVED, SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO PAVING. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM. TRENCH MUST BE FREE OF ROCKS, DEBRIS OR ANY SHARP OBJECTS. SNAKE PLASTIC PIPE IN TRENCH. MINIMUM COVERAGE FOR MAINLINE SIZES 1-1/2" AND SMALLER IS EIGHTEEN (18) INCHES, FOR SIZES 2" AND LARGER COVERAGE IS TWENTY FOUR (24) INCHES. FOR LATERAL LINES TWELVE (12) INCHES. 120 VOLT WIRING IN CONDUIT THIRTY (30) INCHES AND LOW VOLTAGE CONTROL WIRE TWELVE (12) INCHES MINIMUM OR THE SAME DEPTH AS THE MAINLINE. DO NOT INSTALL ANY PIPE OR WIRING DIRECTLY OVER ANOTHER.

BALL VALVES, GATE VALVES, REMOTE CONTROL VALVES (EXCEPT FOR ANTI-SIPHON TYPE) AND QUICK COUPLERS SHALL BE INSTALLED IN BELOW GRADE LOCKABLE "BOXES" MANUFACTURED BY AMETEX OR CARSON. USE ROUND BOXES FOR GATE VALVE, BALL VALVES AND QUICK COUPLERS AND RECTANGULAR BOXES FOR REMOTE CONTROL VALVES. VALVE BOX LIDS SHALL BE GREEN COLOR, LABELED "BV", "GV", "RC" OR "RCV" WITH CONTROLLER STATION NUMBER.

SET VALVE BOXES ONE (1) INCH ABOVE FINISH GRADE. SET VALVES AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND THE VALVE. INSTALL IRRIGATION EQUIPMENT SO THE VALVE BOXES FIT WITHOUT CUTTING THE WALLS OF THE VALVE BOXES. CUT VALVE BOXES SHALL BE REPLACED AT NO COST TO THE OWNER. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS, UNLESS DIRECTED OTHERWISE BY THE O.A.R. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE.

INSTALL ALL SPRINKLERS ON RISERS TWELVE (12) INCHES AWAY FROM WALLS AND STRUCTURES. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUNDCOVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE (1) INCH ABOVE FINISH GRADE.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH ADJACENT PAVING.

AFTER RECEIVING NOTIFICATION BY THE O.A.R., THE CONTRACTOR, WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE QUARTER (1/4) INCH ABOVE FINISH GRADE.

INSTALL ANTI DRAIN VALVES TO ELIMINATE LOW HEAD DRAINAGE. ANTI DRAIN VALVE (ADV) UNITS MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION, CONTRACTOR SHALL VERIFY WITH ON SITE GRADES IF THERE IS AN ELEVATION DIFFERENCE OF TWO (2) FEET OR MORE BETWEEN THE HIGHEST AND LOWEST SPRINKLER HEAD ON A SYSTEM. INSTALL THE ADV WHERE NECESSARY.

ALL SOLVENT WELD PVC PRESSURE LINES AND FITTINGS MUST RECEIVE PRIMER BEFORE SOLVENT WELDING.

IV. ADJUSTING AND TESTING THE SYSTEM

AFTER PIPELINE ASSEMBLY THE CONTRACTOR SHALL THOROUGHLY FLUSH THE SYSTEM, WITH OPEN ENDS ALL CAPPED PRESSURE TEST FOR FOUR (4) HOURS AT 150 P.S.I.

AFTER COVERAGE AND PRESSURE TESTING THE CONTRACTOR SHALL INSTALL ALL TERMINAL FIXTURES AND PERFORM A COVERAGE TEST. THE CONTRACTOR SHALL ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVERSPRAY. THIS SHALL INCLUDE THE USE OF VARIABLE ARC NOZZLES (VAN) AND PRESSURE COMPENSATING SCREENS (PCS), THE SELECTION OF THE BEST DEGREE OF ARC TO FIT THE SITE AND THROTTLING OF THE FLOW CONTROL AT EACH VALVE TO FIND THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

THE ENTIRE SYSTEM SHALL BE IN FULL AUTOMATIC OPERATION FOR ONE SEVEN (7) DAYS PRIOR TO ANY PLANTING.

V. SUBMITTALS

UPON COMPLETION THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. THESE AS-BUILTS SHALL SHOW THE LOCATIONS OF ALL POINTS OF CONNECTION, VALVES, CROSSINGS, QUICK COUPLERS AND OTHER MAINLINE COMPONENTS DIMENSIONED ACCURATELY FROM TWO (2) PERMANENT SITE OBJECTS. IN ADDITION THE CONTRACTOR SHALL SUPPLY TWO (2) CONTROLLER CHARTS SHOWING EACH VALVE'S COVERAGE AREA COLOR CODED TO THE CORRESPONDING CONTROLLER STATION.

THE CONTRACTOR MUST ALSO FURNISH TWO (2) SETS EACH OF THE FOLLOWING: ANY SPECIAL VALVE OR SPRINKLER ADJUSTMENT TOOLS, KEYS FOR THE CONTROLLER ENCLOSURES, QUICK COUPLER KEYS AND ANY OPERATION MANUALS FOR THE EQUIPMENT INSTALLED.

VI. GUARANTEE

THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.

VII. MAINTENANCE

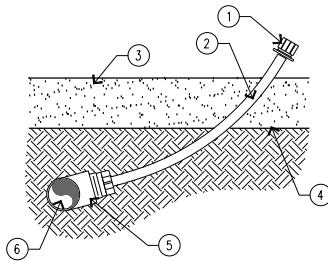
A QUALIFIED SUPERVISOR SHALL BE RESPONSIBLE FOR OPERATING THE IRRIGATIONS SYSTEMS, ADJUSTING THE CONTROLLERS AND OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM.

CHART ALL CONTROLLER PROGRAMS, RECORDING DATE, TIME, LENGTH OF WATERING FOR EACH STATION. RESET CONTROLLER AT LEAST MONTHLY TO ACCOUNT FOR SEASONAL VARIATIONS. INSPECT AND ADJUST THE ENTIRE IRRIGATION SYSTEM WEEKLY DURING APRIL THRU OCTOBER AND BI-WEEKLY FOR THE REST OF THE YEAR. CHECK FOR LEAKS, WET AND DRY SPOTS. USE A MOISTURE SENSING DEVICE TO EVALUATE ACTUAL SOIL MOISTURE. OBSERVE NOZZLES FOR PROPER PATTERN AND PRESSURE.

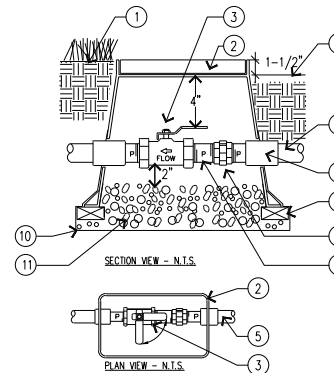
(G) NOT USED

(D) DRIP VALVE ASSEMBLY

(A) WALL MOUNT CONTROLLER



1. EMITTER- PLACE 1"-2" ABOVE SURFACE OF MULCH
2. POLYFLEX RISER: (LENGTH AS REQUIRED) NO "SPRAG" TUBING
3. TOP OF MULCH
4. FINISH GRADE
5. PVC SCH 40 TEE OR ELL
6. PVC LATERAL PIPE PVC LATERAL PIPE



1. FINISHED GRADE IN TURF AREAS
2. PLASTIC RECTANGULAR VALVE BOX WITH BOLT DOWN COVER. USE STAINLESS BOLT NUT AND WASHER. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE. HEAT BRAND "BY" DRIV LID.
3. BALL VALVE, SEE LEGEND
4. FINISHED GRADE IN SHRUB AREAS
5. PRESSURE SUPPLY LINE DEPTH AS PER SPECS.
6. SCH 80 PVC COUPLING AND T.O.E. NIPPLES
7. BRICK SUPPORTS 4 REQ. PER BOX
8. SCH 80 PVC UNION
9. SCH 80 PVC NIPPLES
10. LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES
11. 3/4" ROCK, 3 CUBIC FT.

NOTE: BOX TO BE INSTALLED AS TO ALLOW FOR PROPER OPERATION OF BALL VALVE. INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE. INSTALL VALVE OFF-CENTER IN BOX. INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAIN LINE DEPTH.

(H) NOT USED

(E) DRIP ON POLY FLEX RISER

(B) BALL VALVE

CONTRACTOR SHALL CAP, DIVERT AND/OR ADJUST ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE NEW PLANTINGS. ENOUGH WATER MUST BE APPLIED TO THE EXISTING PLANTINGS DURING AND AFTER CONSTRUCTION OPERATIONS TO INSURE PLANT SURVIVAL.

(I) NOT USED

(F) NOT USED

(C) NOT USED

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NO.	DATE	DESCRIPTION	BY:
1	08/26/14	90% ZONING	SA
2	09/18/14	CLIENT REVISIONS	SA
3	10/31/14	100% ZONING	EVT
4	04/20/15	CLIENT REVISION	EVT

SITE INFORMATION:
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SEAL:

SHEET TITLE:
IRRIGATION DETAILS AND NOTES

SHEET NUMBER:
L-4

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