

MIXED USE ELEMENT

Introduction

This Element builds upon City Council adopted policies set forth in the City of San Diego General Plan. A series of policies are established in the General Plan that set the framework for growth and new development within existing neighborhoods to be designed with a mixture of land uses that promote increased housing opportunities, walkability, social interaction, and a sense of place. This Element provides guidelines for implementation of the General Plan policies, and sets a framework for new mixed use infill development in the Skyline-Paradise Hills community.

The integration of commercial and residential uses is emphasized in villages and civic uses are also an important component. Uses such as, and similar to, retail, professional/administrative offices, commercial recreation facilities, and service businesses are allowed in villages. Areas where mixed use development is anticipated within the Skyline-Paradise Hills community are intended to enhance and create high quality, interactive urban neighborhoods by allowing for the development of well-planned, suitable, and appropriate mixed-use developments. The mixed use developments are also intended to support transit use, reduce dependence on the automobile, establish a pedestrian-friendly orientation, and offer flexibility for redevelopment opportunities while maintaining community character and providing a range of housing opportunities. Mixed use refers to the combining of compatible commercial, retail, and/or office uses in the same building (vertical mixed use) or on the same site (horizontal mixed use) as residential. This will include higher density residential development to serve many market segments, along with a mix of commercial, retail, civic, and recreational uses to serve the overall community.

Parts of the community, in particular areas along Imperial Avenue, are in need of enhancement. These areas currently include commercial development that is aging and not well sustained by the surrounding community. These areas, in addition to major areas in Southeastern San Diego (SESD), to the west of Skyline-Paradise Hills, are identified as being in need of reinvestment and redevelopment. Thus, the establishment of a Community Plan Implementation Overlay Zone (CPIOZ) is necessary to accomplish the vision within this portion of the Skyline-Paradise Hills community. This Element defines the vision, the design standards to implement that vision, and the development review process for new development within mixed use designated land in Skyline-Paradise Hills (SPH) CPIOZ.

Mixed Use Vision

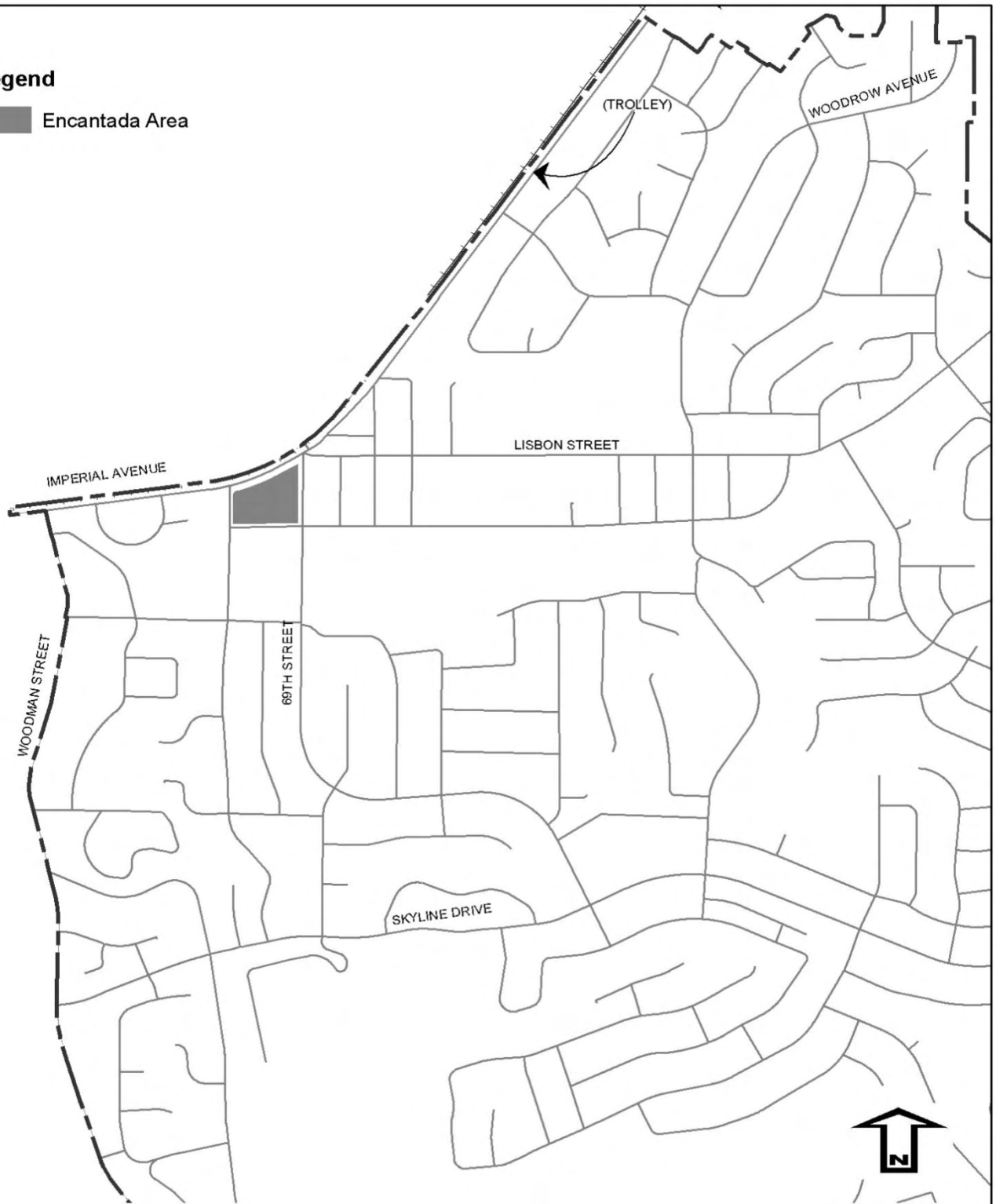
The Mixed Use Element envisions a revitalized community that provides a wide range of housing, shopping, and work opportunities conveniently joined together by the historic major transportation corridor along Imperial Avenue. The Element is supported by existing public infrastructure and amenities such as the Orange Line of the San Diego Trolley, the Encanto Branch of South Las Chollas Creek, and Marie Widman Memorial Park. It builds on current City of San Diego and Southeastern Economic Development Corporation (SEDC) planning documents and regulations including, the City of San Diego General Plan, the Land Development Code, the Central Imperial Redevelopment Plan, the Chollas Creek Enhancement Plan, the Imperial Avenue Corridor Master Plan, the City of Villages Strategy, and SEDC's Multi Family Development Guidelines.

The Mixed Use Element incorporates the housing and land use policies adopted in the General Plan, bringing together mixed-use residential, commercial, and retail uses, much as they were when this community began in the 1920s, but updated to the 21st Century. The community of Skyline-Paradise Hills includes a portion of the Encantada component, which is part of a larger Transit Corridor/Village that extends to the west into the Encanto Community. Figure V-1 depicts the location of the Village in the Skyline-Paradise Hills Community. The Orange Line of the San Diego Trolley, along with major bus routes, public roads, bikeways, and paths will tie the Skyline-Paradise Hills Village to the Villages in Southeastern San Diego and to downtown San Diego.

Encantada – This area is located in the eastern section of the Southeastern Economic Development Corporation's (SEDC's) Imperial Avenue Corridor Master Plan area, primarily on the south side of Imperial Avenue. In the Skyline-Paradise Hills Community, Encantada extends from Woodman Street, east to 69th Street. This area includes under-utilized commercial properties and Marie Widman Memorial Park. The Encantada vision creates a unique, family-friendly, mixed use community of transit-oriented retail, commercial and residential uses that blend in the old and the new. Sited at the base of green canyon edges, Encantada promotes a diverse offering of housing types and commercial spaces. Medium density residential uses are planned, with neighborhood commercial, residential allowed uses proposed for the southwest corner of the intersection of Imperial Avenue and 69th Street. Commercial uses should be those that support the neighboring multi-family and single-family developments.

Legend

 Encantada Area



Community Plan Implementation Overlay Zone(CPIOZ)

Skyline-Paradise Hills Community Plan

V-1
FIGURE

Creation of pedestrian-oriented street fronts along Imperial Avenue is achieved, by limiting traffic crossing points at sidewalks and encouraging pedestrian entries, porches, outdoor spaces and courtyards to be accessed directly off of Imperial Avenue. Driveways on Imperial Avenue are limited to reduce the amount of traffic crossing points at sidewalks and instead are provided through dedicated driveways set away from pedestrian zones.

Objectives:

The principal objective for the Mixed Use Element in Skyline-Paradise Hills is to:

PROMOTE MIXED USE AND HIGH QUALITY RESIDENTIAL DEVELOPMENTS THAT SUPPORT TRANSIT USE, REDUCE AUTOMOBILE DEPENDENCE, ESTABLISH A PEDESTRIAN-FRIENDLY ORIENTATION, AND OFFER FLEXIBILITY FOR REDEVELOPMENT OPPORTUNITIES WHILE MAINTAINING THE COMMUNITY CHARACTER.

Although the Skyline-Paradise Hills CPIOZ is small and focused, the following additional objectives are also included because the CPIOZ should be viewed in the context of the broader community:

- Create a range of housing opportunities and choices to provide quality housing for people of all income levels and ages.
- Achieve an overall mix of different housing types to add diversity to communities and to increase housing supply with emphasis on the following:
 - Incorporating a variety of multi-family housing types in multi-family project areas;
 - Incorporating a variety of single-family housing types in single-family projects/subdivisions;
 - Building town homes and small lot single-family homes as a transition between higher density homes and lower density single-family neighborhoods; and
 - Identifying sites that are suitable for revitalization and for the development of additional housing.
- Determine the appropriate mix of land uses within Skyline-Paradise Hills with attention to:
 - Surrounding neighborhood uses;
 - Uses that are missing from the community;
 - Community preferences; and
 - Availability of public facilities and services
- Provide opportunities for people to live, work and recreate in the same areas through the integration of mixed residential, commercial and recreational uses.
- Increase the opportunities within Skyline-Paradise Hills for rehabilitation of existing commercial centers and development of new commercial areas in the community through the integration of mixed land uses and compact building design.

- Focus more intense commercial and residential development in redevelopment areas in support of the Strategic Framework Element of the General Plan in a manner that is pedestrian-oriented and preserves the vast majority of single-family neighborhoods.
- Provide opportunities for a community-specific mix of uses within the community.
- Increase community vitality and character through incorporation of Smart Growth design principles in new developments including, but not limited to, a mix of land uses, compact building design, walkable neighborhoods, and a provision of a range of housing opportunities and choices.
- Encourage future development of a built environment that exists in a symbiotic relationship with the cultural environment through incorporation of unique community features and local architectural elements.

MIXED USE RECOMMENDATIONS

- Develop fronting on Imperial Avenue between 68th Street and 69th Street with a mixture of medium density residential and retail/commercial uses in a pedestrian-friendly setting that ultimately includes mixed use on the north-eastern corner of the block between 68th Street and 69th Street.

COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ)

Within the Skyline-Paradise Hills Community Plan area Mixed Use development can be implemented on certain parcels through the use of a Community Plan Implementation Overlay Zone (CPIOZ) as provided by Municipal Code Chapter 13, Article 2, Division 14. CPIOZs provide supplemental development regulations and guidelines that are tailored to specific sites within community plan areas of the City. The intent of these regulations is to ensure that *development* proposals are reviewed for consistency with the use and *development* criteria that have been adopted.

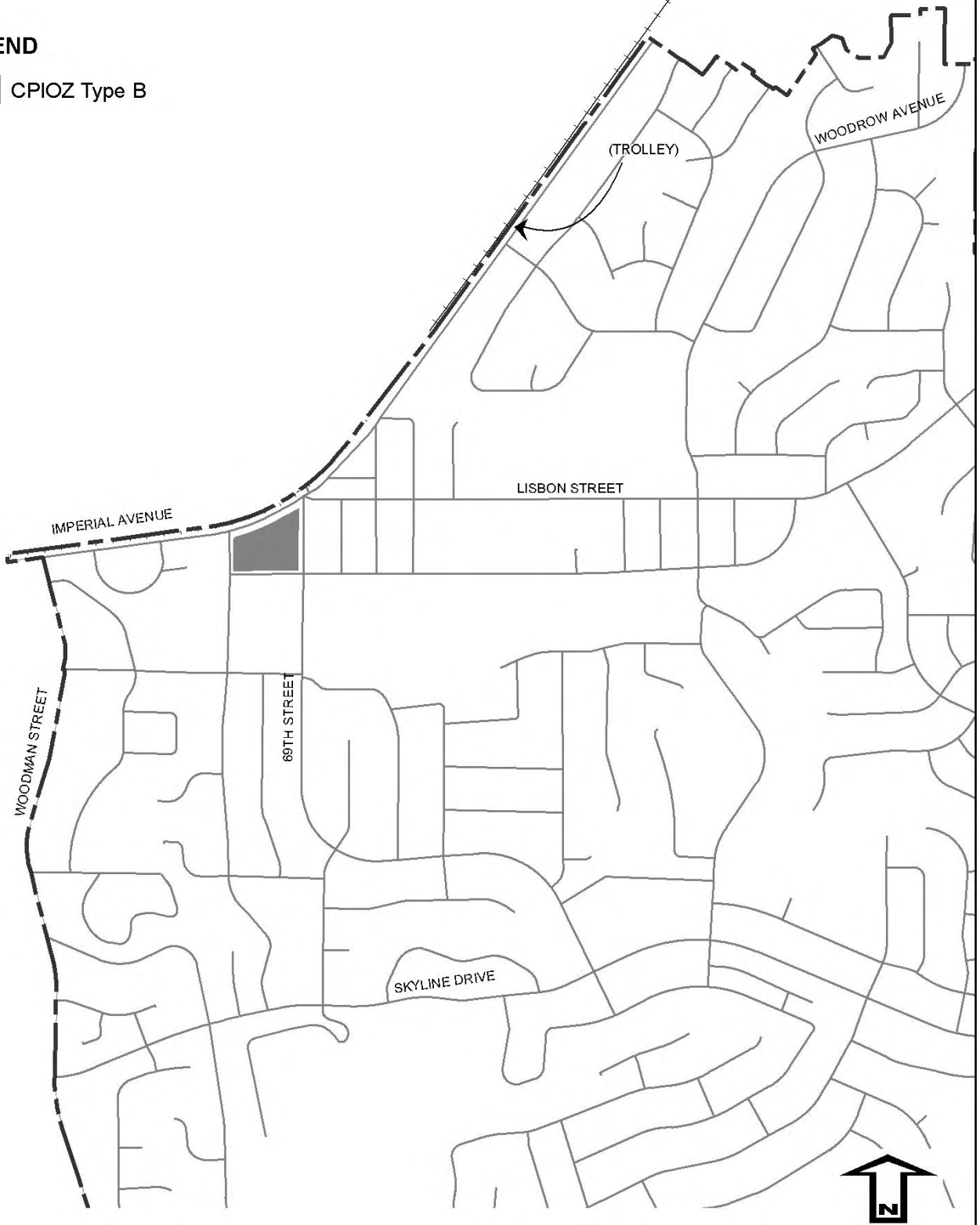
Figure V-2 identifies the specific parcels located within the CPIOZ. All of the parcels are CPIOZ Type B.

CPIOZ Type B

Development proposals on parcels identified as CPIOZ Type B require discretionary review to determine if the development proposal is consistent with the community plan and the supplemental development regulations and design guidelines. Development proposals on any parcel identified as CPIOZ Type B shall be required to obtain discretionary approval pro-cessed as a Site Development Permit, per Municipal Code Chapter 12, Article 6, Division 5. Applications for development on a CPIOZ Type B parcel shall meet the purpose and intent of these supplemental development regulations and design guidelines. Exceptions from these regulations may be granted by the Planning Director in accordance with the procedures of the Community Plan Implementation Overlay Zone (Municipal Code Article 2, Division 14).

LEGEND

 CPIOZ Type B



Community Plan Implementation Overlay Zone (CPIOZ)

V-2

Skyline-Paradise Hills Community Plan

FIGURE

Applications for development on a CPIOZ Type B parcel will require a discretionary review process and should address: 1) the design and compatibility of the project in relation to surrounding development, including conformance with the design guidelines of the Mixed Use Element. Projects may propose design solutions that differ from, but are of equal or higher quality to the design concepts set forth in this Element; and, 2) the ability of the project to support transit use, reduce dependence on the automobile, and establish a pedestrian-friendly orientation.

The CPIOZ does not supersede a project from complying with the permitting requirements found in Chapter 12, Article 6 of the Municipal Code. This includes projects that require a Planned Development Permit (PDP), Site Development Permit (SDP), Conditional Use Permit (CUP), Neighborhood Use Permit, Neighborhood Development Permit, limited uses, variances, or projects involving environmentally sensitive lands (ESL).

Land Use Designation:

The proposed SPH CPIOZ includes parcels totaling approximately 5.5 acres of land. These parcels will be developed pursuant to these Supplemental Development Regulations and design guidelines, which allow a greater variety and intensity of uses than base zoning and provides greater flexibility for creative site design. This will result in reduced automobile dependency, increased pedestrian activity and transit use, and the creation of high quality, interactive neighborhoods. The land use designation for the Skyline-Paradise Hills CPIOZ is shown on Figure V-3.

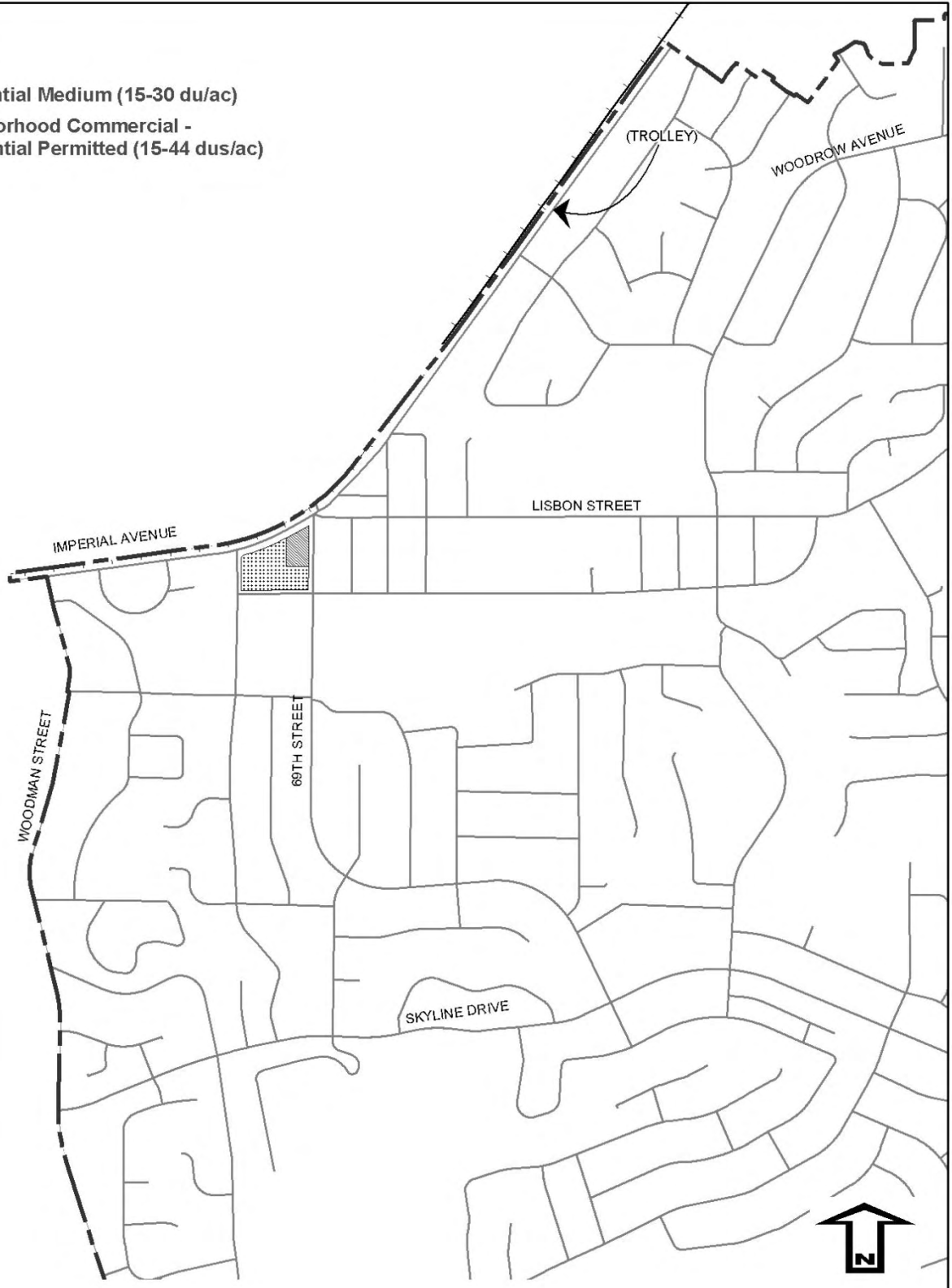
The density range for the Residential 15-30 du/ac is from the currently adopted Skyline-Paradise Hills Community Plan. The residential density range for Neighborhood Commercial (Residential Permitted) is tailored to meet the specific community needs of Skyline-Paradise Hills.

Residential 15-30 du/ac – Provides for both single-family and multifamily housing within a medium-density range.

Neighborhood Commercial (Residential Permitted) – Provides local convenience shopping, civic uses, and services serving an approximately three-mile radius. Housing may be allowed only within a mixed-use setting. This land use designation allows densities ranging from 15-44 dwelling units per acre.

LEGEND

-  Residential Medium (15-30 du/ac)
-  Neighborhood Commercial - Residential Permitted (15-44 dus/ac)



Proposed Land Use Designations for SPH CPIOZ

Skyline-Paradise Hills Community Plan

V-3
FIGURE

SUPPLEMENTAL DEVELOPMENT REGULATIONS

The Development Regulations contained in the City of San Diego Land Development Code apply to all development proposals in the SPH CPIOZ except as specifically modified in this section.

Commercial Floor Area Ratio (FAR) Limitations

The Neighborhood Commercial (Residential Permitted) designated parcels at the northeast corner of Imperial Avenue and 69th Street are limited to a commercial FAR of 0.6.

Interior Water Use

Potable water conservation shall be achieved by projects within the SESD CPIOZ. New residential and commercial/office/retail uses in the SESD CPIOZ shall achieve water savings by implementing the following measures to reduce anticipated single-family and multi-family water use to no more than 138.75, and 83.25 gallons per day per person, respectively (assuming 3.90 persons per household); and, commercial/retail/office water use to 30.4 gallons per day per employee:

- Toilets shall be high efficiency models (not exceed 1.28 gallons per flush);
- Residential kitchen sink fixtures shall not exceed 2 gallons per minute;
- Lavatories shall not exceed 1 gallon per minute;
- Showerheads shall not exceed 1.8 gallons per minute; and,
- Any dishwashers/washing machines provided by the developer shall meet US Environmental Protection Agency Watersense labeling requirements.

Potable water conservation measures required above shall be demonstrated by the applicant on plans submitted with the Site Development Permit Application for CPIOZ Type B parcels.

Parking

These parking requirements shall apply to development within the Skyline-Paradise Hills CPIOZ.

- Section 142.0525 of the Municipal Code applies to projects with multiple dwelling units within the SPH CPIOZ. The column headed Transit Area in Table 142-05C, shall establish the automobile spaces required. Section 142.0530 of the Municipal Code applies to projects with nonresidential development and mixed use development located within the SPH CPIOZ. The column headed Minimum Required Within a Transit Area in Tables 142-05D, 142-05E, and 142-05F shall establish the automobile spaces required.
- Tandem parking as described in Municipal Code Section 132.0905 is allowable within the SPH CPIOZ.

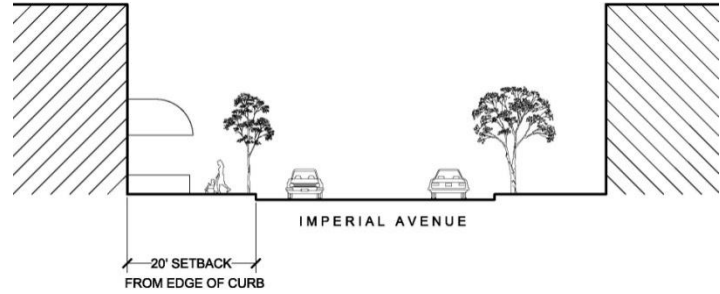
Building Site Orientation and Design

- Buildings fronting on Imperial Avenue shall be organized with primary entries oriented towards Imperial Avenue.

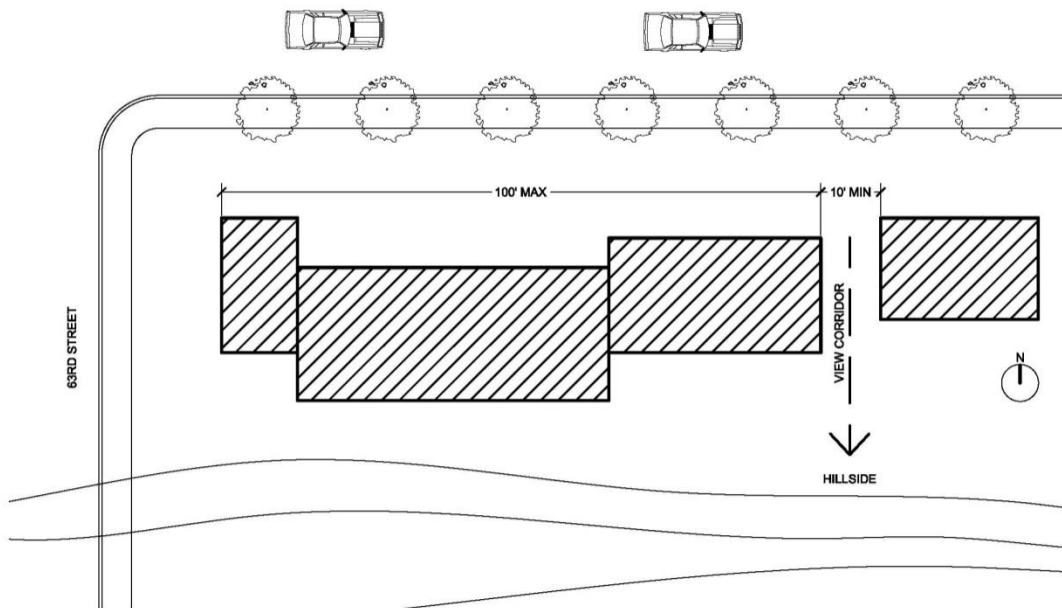


Dwelling units oriented to the street

- In the Encantada Area, all development along Imperial Avenue shall have a uniform setback of 20 feet from the edge of the curb. In addition, in the Encantada Area, buildings facing Imperial Avenue shall maintain a uniform building face setback as shown below.



- Between 68th Street and 69th Street, on the south side of Imperial Avenue, development massing shall allow for view openings/corridors between buildings to allow for views to the canyon edges and natural landscaping to the south. A minimum ten-foot wide view corridor from the street level shall be provided at a minimum of every 100 linear feet.



Architectural Design

- On-site parking shall be located behind or to the sides of buildings.
- Large parking areas shall be avoided. Parking areas shall be divided into a series of small parking courts with direct access to adjacent dwelling units. Dwelling units shall have sight lines out of the parking areas.

- At the street level, pedestrian scaled elements such as awnings, public plazas, planters, building bases, and lattices shall be included. Development projects shall include a minimum of three of the following menu of streetscape elements:

1. Public plazas.
2. Planters (Street tree landscaping treatments are required as a separate element).
3. Awnings.
4. Outdoor seating areas enclosed with a low fence enclosures.
5. Lattices
6. Building entry canopies.
7. Freestanding, pedestrian scaled community informational or wayfinding signs.



Awnings and Outdoor Seating



Entry Canopy and Planters



Public Plaza

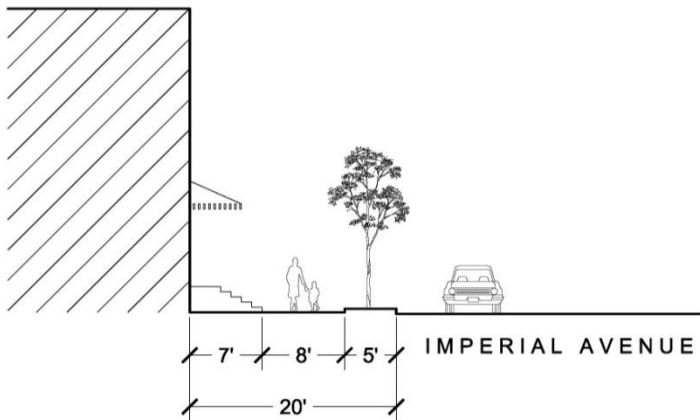


Informational or Wayfinding Signs

- Between public sidewalks and primary building entries, designs shall include semi-private outdoor spaces. For residential projects these shall include at least one of the following:
 1. seating areas,
 2. courtyards,
 3. stoops,
 4. latticed gateways,
 5. raised planter areas.

For commercial and mixed-use projects, these spaces shall be defined by using at least one of the following:

1. outdoor sitting/eating areas,
2. courtyards,
3. awnings,
4. entry shade structures,
5. raised planters.



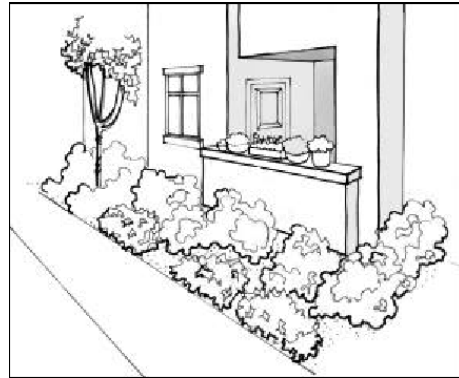
- The street wall façade along public right-of-ways shall be architecturally modulated by volumes that are 100 feet in width or less. Volumes along the street wall must be defined by structural bays, and/or substantial reveals or offsets in the wall plane, and by changes in the rhythmic pattern utilizing one or more of the following features:
 1. Window openings or balconies;
 2. Awnings, canopies, or entrances;
 3. Arcades, columns or pilasters;
 4. Materials and color; or
 5. Other architectural features.
- To create unified appearance accessory structures shall be designed as an integral part of the development's architecture. They shall be similar in material, color, and detail to the main buildings of the development.
- The street wall façade along public right-of-ways shall be architecturally modulated by volumes that are 100 feet in width or less. Volumes along the street wall must be defined by

structural bays, and/or substantial reveals or offsets in the wall plane, and by changes in the rhythmic pattern utilizing one or more of the following features:

1. Window openings or balconies;
 2. Awnings, canopies, or entrances;
 3. Arcades, columns or pilasters;
 4. Materials and color; or
 5. Other architectural features.
- Building facades that enclose stairwells shall include a minimum of one two-foot by two-foot residential-type window per floor. Building facades enclosing elevator shafts shall use architectural treatments to reduce the visual mass.
 - Garage doors shall incorporate architectural detail that is consistent with the overall development's architectural design.
 - Blank walls with rows of garage doors that face a public right-of-way are prohibited.
 - Each dwelling unit's entry shall include one or more of the following architectural elements:
 1. porches,
 2. stoops, or
 3. roof canopies;

and, one or more of the following detailing elements:

1. paint color,
 2. trim,
 3. materials,
 4. ledges, or
 5. awnings.
- Prefabricated metal stairs must include one or more of the following: screen walls, enhanced railings, or accent colors.
 - Roof lines shall be broken up and varied within the overall horizontal plane. Combinations of roof heights that create variation are required.



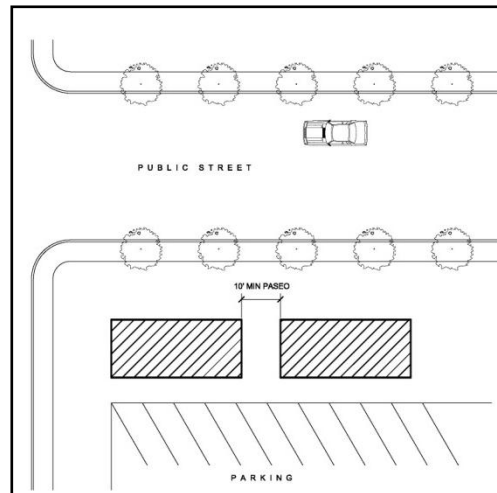
- Roof-mounted mechanical equipment visible from the public right-of-way shall be screened in a manner consistent with the appearance of the building, including materials and color.
- Utility meters and equipment should be placed in locations that are not exposed to view from the public right-of-way or they shall be suitably screened, including the use of landscape materials. Screening devices shall be compatible with the architecture and color of the adjacent buildings.
- Roof flashing and vents visible from the public right-of-way shall be painted to match adjacent surfaces or concealed in a manner consistent with the building's appearance.

Paseos

- At least one formal walkway (paseo) shall be provided connecting two or more of the following: residential/commercial/mixed use structures, on-site parking, open space, and public rights-of-way. The paseo shall be at least ten feet wide and shall include landscaping/architectural elements to provide a shade canopy over at least 10 percent of the paseo.



10' Wide Minimum Paseo



- Any provided paseos shall include two or more of the following:
 1. landscape planters,
 2. outdoor public seating spaces,
 3. site walls and lighting,
 4. benches.
- Commercial building facades exposed to any provided paseos shall have windows or fixed glazing areas of at least 30 percent of the total surface area of the wall facing the paseo.
- Residential building facades shall have windows or fixed glazing areas of at least 20 percent of the total surface area of the wall facing any provided paseo.

LANDSCAPING AND HARDSCAPING

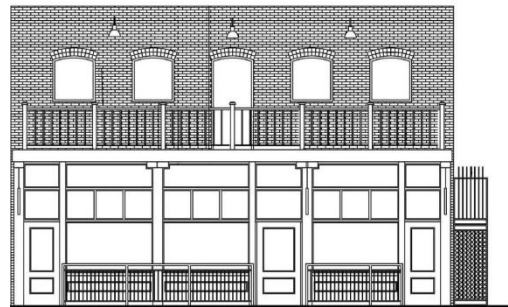
- Tree grates shall be flush with adjacent paving and shall have a minimum 12” diameter tree opening and shall have perforations that meet current ADA code.

Streetscape

- Street trees along trolley station frontage on the north and south sides of Imperial Avenue shall be large specimen species or distinct from surrounding street and median trees to accent the trolley station and adjacent plaza as a major community node and public gathering space.
- Driveways along Imperial Avenue shall not be allowed unless a secondary driveway access is unavailable. Exceptions include driveways into major parking lots that serve two or more parcels.
- The main entry to each dwelling unit shall be clearly visible from the nearest public right-of-way.

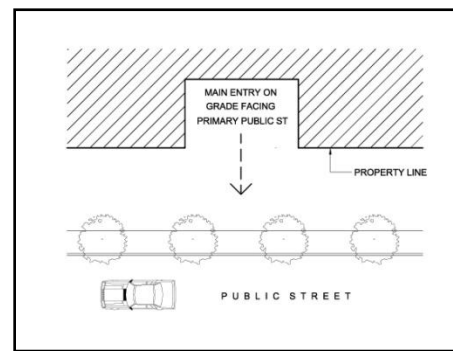
Commercial Frontage (applies on the easternmost parcel fronting Imperial Avenue between 68th Street and 69th Street)

- Commercial frontage shall be broken up so that no single frontage shall exceed 100 feet.
- A minimum of 60 percent of the street facing building façade shall be comprised of clear, non-reflective windows or storefront glass systems that allow views on indoor spaces.

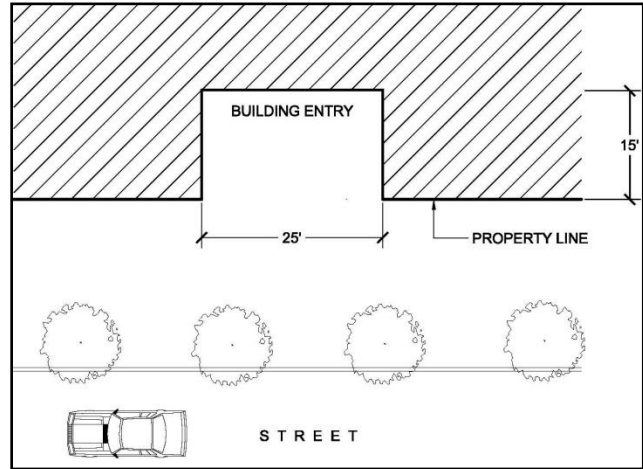


Minimum 60 percent of the street facing building façade at the ground level shall allow views into the indoor spaces.

- Direct access into each storefront shall be provided facing the public street. Access shall be provided for retail shops located at grade.



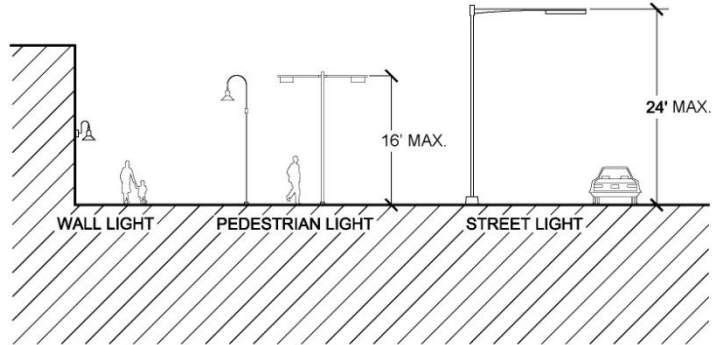
- Recessed entrances shall not exceed 25 feet in width and the face of the entry shall be within 15' of the property line.



- Walls exposed to streets other than Imperial Avenue or pedestrian passage ways between buildings shall have doors and/or windows, or fixed glazing areas of at least 30 percent of the total surface area of the wall facing these open spaces.
- Visible exterior security gates or bars are not allowed. Interior security systems or enclosures shall not be visible from the exterior of the building during normal business hours.
- In addition to the commercial storefronts requirements listed within this section, storefronts shall be comprised of a minimum of three of the following design elements:
 1. Awnings;
 2. 30" high max. storefront bulkhead or base faced with wood trim, brick or stone veneer, ceramic or glass tile;
 3. Transom windows to maximize natural daylight into the interior spaces;
 4. Pedestrian scaled hanging signage affixed to the building façade; and/or
 5. Outdoor seating area with a maximum 42" high fence enclosure.
- Commercial storefronts on street corner lots shall provide one or more of the following elements:
 1. Primary storefront entry;
 2. Outdoor seating area;
 3. Public Plaza;
 4. Vertical circulation access for pedestrians; or
 5. Location for public art or community informational kiosks.

LIGHTING

- Lighting for pedestrian corridors and streetscape sidewalks shall provide a minimum lighting standard of 4,000 lumens per fixture. Fixture height shall not exceed 16 feet in height.
- Lighting for open space areas and parking lots shall provide a minimum lighting standard of 8,000 lumens per fixture and shall not exceed 24 feet in height.



- Lighting in parking areas shall be arranged to prevent direct glare into adjacent dwelling units and onto neighboring uses/properties.
- Lighting fixtures on building facades shall be located to provide lighting to entries and public spaces. Fixtures shall be pedestrian-scaled and shall be located no higher than 12' above street level. Fixtures shall not exceed 8,000 lumens per fixture.

WALLS AND FENCES

- Chain link fencing is not allowed.

DEVELOPMENT AND DESIGN GUIDELINES

Applicable design guidelines from the Urban Design Element of this Community Plan should be applied to projects within the Skyline-Paradise Hills CPIOZ that require a discretionary review process. The following Development and Design Guidelines are provided specifically for the Skyline-Paradise Hills CPIOZ. These guidelines are intended to become the basis for more finite site design, building architecture, and detailed landscape and environmental character design.

Building Siting

- Buildings should be sited and designed so that windows of neighboring units do not overlook private open spaces likely to be used for private activities.
- The distance between units facing each other across a common landscaped open space should be sufficient for outdoor use and gatherings but should not compromise the privacy of individual dwelling units.

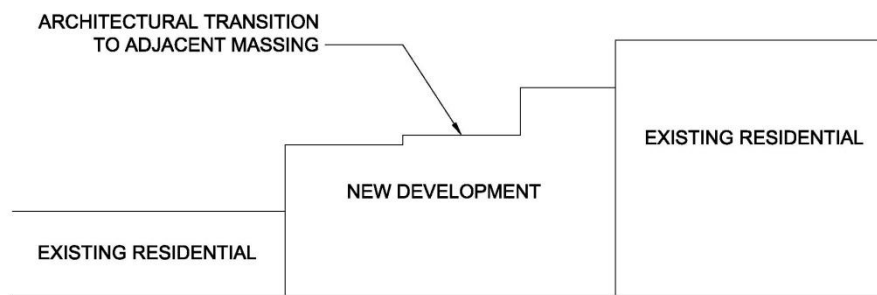


Private open space adjacent to common open space

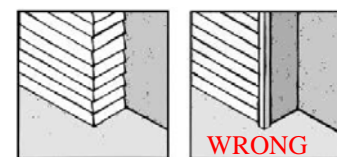
- Windows should be situated to allow occupants to have “eyes on the street” for natural surveillance.

Architectural Design

- Varied building heights shall be provided, both to provide visual interest and give the appearance of a collection of smaller structures. Building heights at the development’s edge shall be provided within the context of the project’s surroundings, the adjacent uses, and the distance from adjacent buildings. The development’s building height shall create a transition from the heights of adjacent existing residential development, rather than form abrupt height changes.
- Architectural forms and materials should remain simple and unobtrusive.



- Exterior building colors for the Encantada Area and surrounding corridor should be chosen to respond to the natural setting and historic background of the Encantada Area. The vision for the Encantada Area should be more subdued. The natural setting of the canyon edges shall also influence building colors and materials. Colors blend classic color combinations along with colors that compliment the surrounding natural landscape and park. The figure below provides color suggestions for both existing buildings and development projects within the Encantada Area.
- Special care should be used in the design of corner buildings due to their high visibility. Use building design to anchor a district, serve as landmarks and to provide a sense of enclosure for the intersection.
- Courtyard doors or gates used at building entries should be attractively designed as an important architectural feature of the building or development.
- Color should be used as an important design element in the development’s appearance. A complementary color palette should be used within any development. Muted tones for the predominant colors of the dwelling units and accessory structures are suggested. Appropriate use of more than one predominant paint color is encouraged. Compatible accent colors are encouraged to enhance important building elements. The color of shadow patterns, relief, decorative trim, and wood frames should be distinctive yet compatible with the overall color palette.



Veneer materials should turn corners and avoid exposed edges

- Materials such as brick, stone, copper, etc. should be left in their natural colors.
- Such materials should not appear thin and artificial. Veneer should turn corners and avoid exposed edges.
- The design, selection and placement of all site furnishings, such as tables, benches, bollards, and trash receptacles should be compatible with the overall site design and architectural character of the development.
- Downspouts, mailboxes, electrical components and other miscellaneous details shall be concealed or integrated into the building façade.
- Areas shall be provided around garages, tuck-under parking and underground parking entrances for landscaping, including a few large areas to accommodate trees.

Open Space

- Residents of new developments should have access to useable open space for recreation and social activities. Open spaces should be conveniently located for the majority of units.
- Open space areas should have well-defined edges, such as walkways, buildings, or landscaping.
- Boundaries between private and common open spaces should be clearly defined by elements such as low walls or plant materials.
- Private open space should be contiguous to the units it serves and should overlook the public right-of-way or common open space.
- Informal outdoor gathering areas and pedestrian nodes that can function as community gathering spaces should be created and incorporated into a project's overall site design. These areas should relate to the development's common facilities, such as the play areas, courtyards, laundry facilities, and community buildings.

Paseos

- Safe pedestrian paseo linkages should be provided between buildings and parking areas, open spaces, and adjacent neighborhoods. Paseos should be proportionate to their length and should be no less than 10' 0" wide.
- Secondary building entries from paseos, rear parking lots, and from side street building elevations are encouraged.
- Secondary commercial building entries off of a paseo should have a projection and/or hanging identity sign that should project no more than three feet from the face of the building.

Streetscape

- The identity of Imperial Avenue shall be reinforced by a pedestrian-oriented streetscape that shall include sidewalks, street lighting and a landscaped parkway with street trees.
- Sidewalks should allow room for wheelchairs together with outdoor spaces for restaurants, semi-public spaces, and planter areas.
- Cross circulation between vehicles and pedestrians should be minimized. A continuous, clearly marked walkway should be provided from the parking areas to main entrances of buildings. Walkways should be provided between residences, parking areas, and all site facilities for safe access.

- Seating surfaces should be an appropriate height above the finished grade and should include arms or other vertical projections to accommodate persons of limited mobility. They should be located in areas that are visible to street and sidewalk activities, but do not impede pedestrian use of adjacent walks.



- Seating should be designed in a way that discourages inappropriate use by skateboarders, stunt bikers, urban campers, etc.

- Bicycle racks should be provided at community nodes such as schools, libraries, retail developments and transit stops. They should be located within public view, but should not impede pedestrian use of adjacent walks.



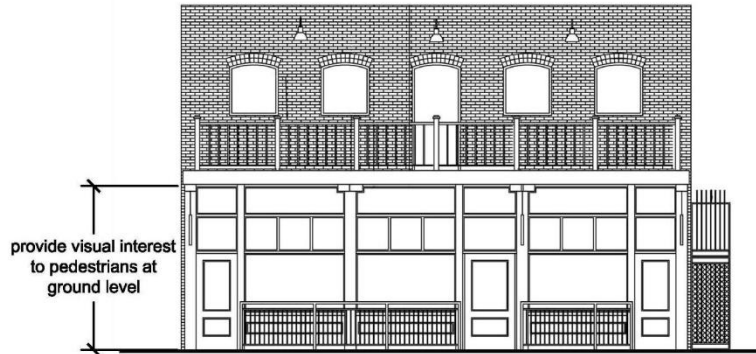
- Waste receptacles should be provided in high traffic areas such as parks, plazas, transit stops and retail developments in conjunction with building entries and/or outdoor seating areas but should not impede pedestrian use of adjacent walks.

- Service access and alleys should be visually minimized from Imperial Avenue and secondary streets and should not be accessed directly from these streets.
- Streetscapes should incorporate art and varied textures as a design solution to discourage graffiti and add interest.

Commercial Frontage

These guidelines apply to the mixed use parcels at the corner of Imperial Avenue and 69th Street.

- The ground level of buildings should be developed to provide visual interest to pedestrians.
- For restaurant uses, outdoor dining areas should be incorporated in order to create visual interest within the pedestrian walkway and to stimulate pedestrian activity.



- All publicly visible facades of a building should be treated equally in terms of materials, colors, and design details. The building should have a finished appearance on all visible sides.
- Storefront design, materials and colors, at both existing and new buildings, should complement the individual architectural character of each building.
- Awnings or canopies should be used to reduce glare on storefront glass and to shelter the pedestrian standing near the storefront. Cantilever awnings and canopies can also be used so as to keep the sidewalk as clear and unobstructed as possible. Care should be taken to preserve views down the street.



Adjacency/Compatibility

- New multi-family and mixed-use residential development should be compatible with residential development in the immediate area through the use of complementary building arrangements, buffers, step backs, and avoidance of overwhelming building scale and visual obstructions.



Dwelling units oriented to the street

Parking

- Parking should be convenient for residents, customers and visitors and its visual impact from neighboring properties and public rights of way should be softened or minimized. Parking courts should be well designed, with consideration given to landscaping, urban runoff management, lighting, building massing, and pedestrian/vehicular circulation.
- Parking areas should be located in the development's interior and not along street frontages, wherever possible. Driveway openings along street frontages should also be minimized.
- All parking areas should provide adequate lighting at nighttime utilizing fixtures that support the scale, character and identity of the Imperial Avenue Corridor.

Landscaping and Hardscaping

- Street trees along commercial development frontage of Imperial Avenue, east of 68th Street should be planted in a naturalized groundcover in the parkway, to reinforce the park-like setting of Encantada.
- Additional planting in new and existing medians should utilize the existing plant palette of *Platanus*. Species should be California Sycamore (*Platanus racemosa*) not London Plane Tree (*Platanus acerifolia*). Additional groundcover and shrubs should be low maintenance, drought tolerant and, to reinforce the sense of traveling along a valley floor. Riparian plant material such as *Ribes* and *Juncus* should also be used. Shrubs and groundcovers should be of a type that can move in the breeze and does not need to have its size controlled by hedging.
- Plant palette at plazas and parks should include a variety of low maintenance and low water plant materials with seasonal flowers and/or foliage color. To emphasize the more informal, town and country character of Encantada, plant palette should be naturalistic and include native species. Hedging and other formal landscape devices are inappropriate. Outdoors space definition, boundary articulation and landscape buffers should be achieved by naturalistic mass planting wherever possible.
- Landscaping, such as plant materials, paving, lighting, street furniture and signage should be used as a tool to unify public spaces and development.
- Deep well watering should be used on all trees planted in pavement to ensure deep root development and reduce the possibility of sidewalk heaving by roots.
- Proposed new medians should be planted in a similar manner to the enhanced existing medians.
- A paved maintenance strip should be maintained around the perimeter of all traffic medians. Maintenance strips should be of uniform width and not less than 18" including the curb.



- Median planting areas should be a minimum of 24” wide. If the median is too narrow to accommodate maintenance strips and minimum width planting areas, entire surface should be attractively paved. Medians should be designed to capture and allow urban runoff to infiltrate into the ground during dry weather to the maximum extent feasible to reduce urban runoff pollution. Where feasible, landscaped medians should be depressed and curb cuts established to permit urban runoff infiltration into the landscaped area.
- To highlight their distinct characters, the plant palette for parkways, plazas, parks and other public gathering spaces should vary between segments.
- Sidewalks should be of a single standard concrete mix so as to provide a uniform appearance throughout, except where designated as enhanced paving, such as crosswalks, plazas, parks, gateways, and enhanced street corners. Historic sidewalk stamps should be preserved and incorporated into new developments to the extent feasible.
- A simple, uniform score joint pattern that is coordinated with the location of tree grates, light poles, building entries and other design elements should be established to provide a cohesive appearance.
- Landscape buffers or screening elements shall be provided that separate public-right-of ways, alleys and adjacent properties from parking lots and help soften the visual impacts of parking lot edges.
- Where appropriate, new landscaping should complement existing landscape materials, location, and massing on adjacent developments.
- Use of landscaping is encouraged to define and accent specific areas such as building and parking lot entrances and the main walkways to community facilities.
- Different landscape designs and plant materials should be used in the various courtyards and common open space areas of the development to create an individual identity for each space.
- Landscape designs that emphasize water-efficient plants are encouraged. Water-intensive landscaping, such as turf grass, should be concentrated in areas of active recreation or use.
- Vines and climbing plants on buildings, trellises, perimeter walls, and fences subject to graffiti are encouraged, both to provide an attractive appearance and to minimize graffiti.
- To prevent water damage to foundations and building facades, an “irrigation free zone” should occur at all building foundations by locating irrigation heads at least 12 inches from the face of any building. The planting root balls of spreading shrubs can be placed just outside this 12-inch zone and foliage can still spread into the irrigation free zone to soften building foundations.

- Hardscape materials should be consistent with the architectural design or style of the development. The use of interlocking pavers, scored concrete, or rough-textured concrete to define site entries is strongly encouraged. Stamped concrete or colored concrete is not recommended due to excessive maintenance and repair costs associated with its use.
- The use of dense plantings to establish a barrier adjacent to ground level multi-family dwelling units is encouraged. Where appropriate, the use of thorny plants as barrier plantings is encouraged to enhance security. Mature shrubs located adjacent to multi-family residential buildings should generally be lower than the bottom of windows to maintain open sight lines.

Lighting

- Pedestrian lighting oriented for the public right-of-way and commercial properties should compliment any existing lighting fixtures found within the medians. Differing solutions for different areas of the CPIOZ are encouraged.
- Wherever possible pedestrian and vehicular lights should use the same pole to minimize sidewalk clutter.

Security

- Crime Prevention Through Environmental Design (CPTED) strategies should be incorporated into the site design, whenever possible. Contact the City of San Diego Police Department, Neighborhood Policing Resource Team for more information.

Walls and Fences

- The design of walls and fences, as well as the materials used, should be consistent with the overall development's design. Fence and wall color should be compatible with the development and adjacent properties.
- Natural materials, such as brick and stone, are encouraged for front yard retaining walls. If poured-in-place concrete is used, it should be treated with a decorative pattern or an exposed aggregate finish. Penetrable fencing material, such as wrought iron may be used in combination with retaining walls in front yards. To maintain the dwelling unit's strong visual connection with the street, retaining walls in front yards should not exceed two feet in height.
- Wall design and selection of materials should consider maintenance issues, especially graffiti removal and long-term maintenance. Concrete capstones on stucco walls are encouraged to help prevent water damage from rainfall and moisture. Graffiti coatings are available in several different product types, including sacrificial coating and non-sacrificial coating. These should be used in graffiti prone areas.
- Individual dwelling unit patio and rear yard fences and walls visible from the development's open space should be no higher than 42 inches for security reasons. Outdoor privacy walls between units, however, may be higher. To increase privacy, it is encouraged that the privacy walls be solid.

Signage

- Wayfinding signage of a uniform size and graphic template should be used in the Skyline-Paradise Hills CPIOZ to identify neighborhood institutions, landmarks and nodes, roadways, transit connections, and major roadways.
- All signage should have white or light colored type on a dark background. Type style should be in a simple and legible style, sized for optimal readability.
- Wherever possible, wayfinding, street identification and regulatory signs should be clustered onto existing poles to minimize sidewalk clutter.
- Monument signs should be prominently located at neighborhood gateways.
- Monument signs should reflect the character of the neighborhood and be coordinated with wayfinding graphics.
- Monument signs should be distinct but have common elements to identify the Imperial Avenue Corridor west of I-805, Village Center at Market and Euclid, and Hilltop area.
- Signage contributes to a development's identity as a unique environment. Professionally designed, creative signage is strongly encouraged, especially for internal directions and building identification.
- Building numbers and individual unit numbers should be readily visible, in a consistent location, well lit at night, and compatible with the overall design of a development.
- Exterior signs should be located within the base of the building with concern for the appropriateness of location, size, color, and lighting.
- Sign types should fit within the architectural details of the building they are placed on.
- Pedestrian-level display window signs applied directly to the glass should consist only of lettering without an opaque background.
- Window signs should not obscure the display area. The color of letters should contrast with the display background. Light colored letters or gold leafed letters with dark borders are effective.
- For shops and businesses along Imperial Avenue, smaller pedestrian oriented window signs are encouraged.



Visible building numbers help visitors to easily locate units

- Projection signs should complement the architecture of a building in respect to colors, materials, and structure.
- All projecting signs should be externally lit. External light sources should be shielded from viewers on the street to prevent glare. Flashing or moving signs are strongly discouraged.

Sustainable Design

- Sustainable design features should be incorporated into all projects. The Conservation Element of the General Plan includes policies to implement sustainable design. Examples of features that should be considered include: using low impact development features such as porous asphalt or infiltration swales to reduce runoff pollution, minimizing energy use through innovative site design and building orientation that address such factors as sun-shade patterns, prevailing winds, landscape, and sun-screens; incorporating energy efficient appliances and lighting; reusing building materials and reducing construction and demolition waste, and using cool roofing materials or vegetated eco-roofs.