

Designated by the City of San Diego Historical Resources Board April 26, 2007

Prepared by
The City of San Diego
City Planning and Community Investment Department
Historical Resources Section

Islenair

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Patty Vaccariello, Islenair James D. Newland, State Historian II

RESOLUTION NUMBER R-07042601 ADOPTED ON April 26, 2007

WHEREAS, the Historical Resources Board of the City of San Diego held a noticed public hearing on April 26, 2007, to consider the historical designation of the Islenair Geographic/Traditional Historic District (with various property owners) located at various addresses within the Islenair neighborhood, bounded by the properties along the north side of Isla Vista Drive to the north; the homes along the east side of Isla Vista Drive to the east; the Isla Vista cul-de-sac and the properties at 3203 and 3204 Belle Isle Drive to the south; and Euclid Avenue to the west; in the City of San Diego, County of San Diego, State of California; and

WHEREAS, in arriving at their decision, the Historical Resources Board considered the historical resources report prepared by the applicant, the staff report and recommendation, all other materials submitted prior to and at the public hearing, inspected the subject property and heard public testimony presented at the hearing; and

WHEREAS, the property would be added to the Register of Designated Historical Resources as **Site No. 807 [01-82]**, and

NOW, THEREFORE,

BE IT RESOLVED, the Historical Resources Board based its designation of the Islenair Geographic/Traditional Historic District on the following findings:

- 1. The Islenair Historic District is significant under HRB Criterion A as a special element of San Diego's historical, social, economic and architectural development:
 - a. reflecting the evolution of the small house movement which focused on quality design and construction in a compact, efficient layout from the Post-World War I through Post-World War II period;
 - b. reflecting architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952;
 - c. reflecting middle and working class subdivisions which allowed families the opportunity to invest in homeownership in a neighborhood which utilized and expressed modern planning and subdivision principles;
 - d. reflecting the patterns of local, early auto-oriented suburban development as advances in transportation technology made development in outlying communities both affordable and practical; and
 - e. reflecting the planning philosophy of adapting the design and layout of a subdivision to the natural topography on which the subdivision is to be located.
- 2. HRB Criterion C, as it embodies distinctive characteristics of a style, type and period of construction:
 - a. Style: Spanish Eclectic and Minimal Traditional.
 - b. Type: "small house" and "minimum house" construction types.
 - c. Period: San Diego's development of Automobile Suburbs between 1926 and 1952 (Post-WWI through Post-WWII).

BE IT FURTHER RESOLVED, that the following properties have been identified as Contributing Resources to the Islenair Geographic/Traditional Historic District and shall be designated under HRB Criterion F. These properties will be subject to the U.S. Secretary of the Interior's Standards, the City of San Diego Historic Resources Regulations, and any applicable development and design guidelines as they relate to Contributing Resources, and will be eligible for all benefits of historic designation:

HRB Site #	St#	St Name	APN	Legal Description	Status Code
807-01	3203	Belle Isle Drive	476-242-23-00	Islenair Unit #2, Block 8 Lot 8	5D1
807-02	3204	Belle Isle Drive	476-241-08-00	Islenair Unit #2 Block 7 Lot 9	5D1
807-03	3211	Belle Isle Drive	476-242-22-00	Islenair Unit #2 Block 8, Lot 7	5D1
807-04	3221	Belle Isle Drive	476-242-21-00	Islenair Unit #2 Block 8 Lot 6	5D1
807-05	3222	Belle Isle Drive	476-241-10-00	Islenair Unit #2 Block 7 Lot 11	5D1
807-06	3227	Belle Isle Drive	476-242-20-00	Islenair Unit #2 Block 8 Lot 5	5D1
807-07	3235	Belle Isle Drive	476-242-19-00	Islenair Unit #2 Block 8 Lot 4	5D1
807-08	3243	Belle Isle Drive	476-242-18-00	Islenair Unit #2 Block 8 Lot 3	5D1
807-09	3244	Belle Isle Drive	476-241-13-00	Islenair Unit #2 Block 7 Lot 14	5D1
807-10	3250	Belle Isle Drive	476-241-14-00	Islenair Unit #2 Block 7 Lot 15	5D1
807-11	3251	Belle Isle Drive	476-242-17-00	Islenair Unit #2 Block 8 Lot 2	5D1
807-12	3261	Belle Isle Drive	476-242-16-00	Islenair Unit #2 Block 8 Lot 1	5B
807-13	3262	Belle Isle Drive	476-241-15-00	Islenair Unit #2 Block 7 Lot 16	5D1
807-14	3304	Belle Isle Drive	476-151-19-00	Islenair Unit #1 Block 1 Lot 17, Block 4 Lot 2	5B
807-15	3315	Belle Isle Drive	476-152-11-00	Islenair Unit #1 Block 2 Lot 12	5D1
807-16	3323	Belle Isle Drive	476-152-05-00	Islenair Unit #1 Block 2 Lot 11	5D1
807-17	3328	Belle Isle Drive	476-151-22-00	Islenair Unit #1 Block 1 Lot 20	5D1
807-18	3329	Belle Isle Drive	476-152-10-00	Islenair Unit #1 Block 2 Lot 10	5D1
807-19	3336	Belle Isle Drive	476-151-23-00	Islenair Unit #1 Block 1 Lot 21	5D1
807-20	3344	Belle Isle Drive	476-151-24-00	Islenair Unit #1 Block 1 Lot 22	5D1
807-21	3345	Belle Isle Drive	476-152-08-00	Islenair Unit #1 Block 2 Lot 8	5D1
807-22	3403	Belle Isle Drive	476-152-07-00	Islenair Unit #1 Block 2 Lot 7	5D1
807-23	3411	Belle Isle Drive	476-152-06-00	Islenair Unit #1 Block 2 Lot 6	5D1
807-24	3412	Belle Isle Drive	476-151-26-00	Islenair Unit #1 Block 1 Lot 24	5D1
807-25	3422	Belle Isle Drive	476-151-27-00	Islenair Unit #1 Block 1 Lot 25	5D1
807-26	3423	Belle Isle Drive	476-152-05-00	Islenair Unit #1 Block 2 Lot 5	5D1
807-27	3426	Belle Isle Drive	476-151-28-00	Islenair Unit #1 Block 1 Lot 26	5D1
807-28	3435	Belle Isle Drive	476-152-04-00	Islenair Unit #1 Block 2 Lot 4	5D1
807-29	3439	Belle Isle Drive	476-152-03-00	Islenair Unit #1 Block 2 Lot 3	5D1
807-30	3442	Belle Isle Drive	476-151-30-00	Islenair Unit #1 Block 1 Lot 28	5D1
807-31	3443	Belle Isle Drive	476-152-02-00	Islenair Unit #1 Block 2 Lot 2	5D1
807-32	3458	Belle Isle Drive	476-151-31-00	Islenair Unit #1 Block 1 Lot 29	5D1
807-33	3462	Belle Isle Drive	476-151-32-00	Islenair Unit #1 Block 1 Lot 30	5D1
807-34	3323	Euclid Avenue	476-151-14-00	Islenair Unit #1, Block 1, Lot 14	5D1
807-35	3329	Euclid Avenue	476-151-13-00	Islenair Unit #1, Block 1, Lot 13	5D1
807-36	3333	Euclid Avenue	476-151-12-00	Islenair Unit #1, Block 1, Lot 12	5D1
807-37	3345	Euclid Avenue	476-151-11-00	Islenair Unit #1, Block 1, Lot 11	5D1
807-38	3405	Euclid Avenue	476-151-10-00	Islenair Unit #1, Block 1, Lot 10	5D1

HRB Site #	St#	St Name	APN	Legal Description	Status Code
807-39	3411	Euclid Avenue	476-151-09-00	Islenair Unit #1 Block 1, Lot 9	5D1
807-40	3419	Euclid Avenue	476-151-08-00	Islenair Unit #1, Block 1 Lot 8	5B
807-41	3443	Euclid Avenue	476-151-05-00	Islenair Unit #1, Block 1 Lot 5	5D1
807-42	3202	Isla Vista Drive	476-242-10-00	Islenair Unit #2, Block 8, Lot 10 and 9	5D1
807-43	3209	Isla Vista Drive	476-242-08-00	Islenair Unit #2, Block 6, Lot 8	5D1
807-44	3219	Isla Vista Drive	476-242-07-00	Islenair Unit #2, Block 6, Lot 7	5D1
807-45	3224	Isla Vista Drive	476-242-12-00	Islenair Unit #2, Block 8, Lot 12	5D1
807-46	3225	Isla Vista Drive	476-242-06-00	Islenair Unit #2, Block 8, Lot 12	5D1
807-47	3226	Isla Vista Drive	476-242-11-00	Islenair Unit #2, Block 6, Lot 6	5D1
807-48	3235	Isla Vista Drive	476-242-05-00	Islenair Unit #2, Block 6, Lot 5	5D1
807-49	3241	Isla Vista Drive	476-242-04-00	Islenair Unit #2, Block 6, Lot 4	5D1
807-50	3242	Isla Vista Drive	476-242-14-00	Islenair Unit #2, Block 8, Lot 14	5D1
807-51	3249	Isla Vista Drive	476-242-03-00	Islenair Unit #2, Block 6, Lot 3	5D1
007.50	2205	11 W . D .	476 242 01 00	Islenair Unit #1, Block 3, Lot 23	501
807-52	3305	Isla Vista Drive	476-242-01-00	and Islenair Unit #2, Block 6, Lot 1 Islenair Unit #1, Block 2, Lot 14	5D1
807-53	3306	Isla Vista Drive	476-152-14-00	and Islenair Unit #2, Block 5, Lot 2	5B
807-54	3314	Isla Vista Drive	476-152-15-00	Islenair Unit #1, Block 2, Lot 15	5D1
807-55	3315	Isla Vista Drive	476-160-20-00	Islenair Unit #1, Block 3, Lot 22	5D1
807-56	3321	Isla Vista Drive	476-160-19-00	Islenair Unit #1, Block 3, Lot 21	5D1
807-57	3330	Isla Vista Drive	476-152-17-00	Islenair Unit #1, Block 2, Lot 17	5D1
807-58	3338	Isla Vista Drive	476-152-18-00	Islenair Unit #1, Block 2, Lot 18	5D1
807-59	3344	Isla Vista Drive	476-152-19-00	Islenair Unit #1, Block 2, Lot 19	5D1
807-60	3345	Isla Vista Drive	476-160-17-00	Islenair Unit #1, Block 3, Lot 18	5D1
807-61	3404	Isla Vista Drive	476-152-20-00	Islenair Unit #1, Block 2, Lot 20	5D1
807-62	3405	Isla Vista Drive	476-160-16-00	Islenair Unit #1, Block 3, Lot 17	5D1
807-63	3410	Isla Vista Drive	476-152-21-00	Islenair Unit #1, Block 2, Lot 21	5D1
807-64	3420	Isla Vista Drive	476-152-22-00	Islenair Unit #1, Block 2, Lot 22	5D1
807-65	3421	Isla Vista Drive	476-160-14-00	Islenair Unit #1, Block 3, Lot 15	5D1
807-66	3427	Isla Vista Drive	476-160-13-00	Islenair Unit #1, Block 3, Lot 14	5D1
807-67	3428	Isla Vista Drive	476-152-23-00	Islenair Unit #1, Block 2, Lot 23	5D1
807-68	3435	Isla Vista Drive	476-160-12-00	Islenair Unit #1, Block 3, Lot 13	5D1
807-69	3440	Isla Vista Drive	476-152-24-00	Islenair Unit #1, Block 2, Lot 24	5D1
807-70	3443	Isla Vista Drive	476-160-11-00	Islenair Unit #1, Block 3, Lot 12	5D1
807-71	3449	Isla Vista Drive	476-160-10-00	Islenair Unit #1, Block 3, Lot 11	5D1
807-72	3455	Isla Vista Drive	476-160-09-00	Islenair Unit #1, Block 3, Lot 10	5D1
807-73	3472	Isla Vista Drive	476-150-01-00	Islenair Unit #1, Block 2, Lot 1	5D1
807-74	3473	Isla Vista Drive	476-160-07-00	Islenair Unit #1, Block 3, Lot 8	5D1
807-75	3505	Isla Vista Drive	476-160-06-00	Islenair Unit #1, Block 3, Lots 6 and 7	5D1
807-76	3511	Isla Vista Drive	476-160-05-00	Islenair Unit #1, Block 3, Lot 5	5D1
807-77	3518	Isla Vista Drive	476-151-33-00	Islenair Unit #1, Block 1, Lot 31	5D1
807-78	3533	Isla Vista Drive	476-160-02-00	Islenair Unit #1, Block 3, Lot 2	5D1
807-79	3534	Isla Vista Drive	476-151-01-00	Islenair Unit #1, Block 1, Lot 1	5D1
807-80	3541	Isla Vista Drive	476-160-01-00	Islenair Unit #1, Block 3, Lot 1	5D1
807-81	4802	Thorn Street	476-152-13-00	Islenair Unit #1, Block 2, Lot 13	5B
				and Islenair Unit #2, Block 5, Lot 1	
807-82	4827	Thorn Street	476-242-15-00	Islenair Unit #2, Block 8, Lot 15	5B

BE IT FURTHER RESOLVED, that the following properties have been identified as Non-Contributing Resources to the Islenair Geographic/Traditional Historic District. These properties will be subject to the U.S. Secretary of the Interior's Standards, the City of San Diego Historic Resources Regulations, and any applicable development and design guidelines as they relate to Non-Contributing resources:

HRB Site #	St#	St Name	APN	Legal Description	Status Code
n/a	3212	Belle Isle Drive	476-241-09-00	Islenair Unit #2, Block 7 Lot 10	6L
n/a	3230	Belle Isle Drive	476-241-11-00	Islenair Unit #2 Block 7 Lot 2	6L
n/a	3236	Belle Isle Drive	476-241-16-00	Islenair Unit #2 Block 7 Lot 13	6Z
n/a	3314	Belle Isle Drive	476-151-20-00	Islenair Unit #1 Block 1 Lot 18	6L
n/a	3320	Belle Isle Drive	476-152-21-00	Islenair Unit #1 Block 1 Lot 19	6L
n/a	3333	Belle Isle Drive	476-152-09-00	Islenair Unit #1 Block 2 Lot 9	6Z
n/a	3404	Belle Isle Drive	476-151-25-00	Islenair Unit #1 Block 1 Lot 23	6L
n/a	3434	Belle Isle Drive	476-151-29-00	Islenair Unit #1 Block 1 Lot 27	6L
n/a	3203	Euclid Avenue	476-241-07-00	Islenair Unit #2 Block 7 Lot 8	6Z
n/a	3211	Euclid Avenue	476-241-06-00	Islenair Unit #2, Block 7, Lot 7	6Z
n/a	3237	Euclid Avenue	476-241-04-00	Islenair Unit #2, Block 7, Lot 5	6Z
n/a	3243	Euclid Avenue	476-241-03-00	Islenair Unit #2, Block 7, Lots 3 and 4	6Z
n/a	3255	Euclid Avenue	476-241-02-00	Islenair Unit #2, Block 7, Lot 2	6Z
n/a	3275	Euclid Avenue	476-241-01-00	Islenair Unit #2, Block 7, Lot 1	6Z
n/a	3313	Euclid Avenue	476-151-15-00	Islenair Unit #1, Block 1, Lot 15	6Z
n/a	3427	Euclid Avenue	476-151-07-00	Islenair Unit #1, Block 1 Lot 7	6L
n/a	3435	Euclid Avenue	476-151-06-00	Islenair Unit #1, Block 1 Lot 6	6L
n/a	3449	Euclid Avenue	476-151-04-00	Islenair Unit #1, Block 1, Lot 4	6Z
n/a	3457	Euclid Avenue	476-151-03-00	Islenair Unit #1, Block 1, Lot 3	6Z
n/a	3461	Euclid Avenue	476-151-02-00	Islenair Unit #1, Block 1, Lot 2	6Z
n/a		Euclid Avenue	476-241-05-00	Islenair Unit #2 Block 7, Lot 6	6Z
n/a	3203	Isla Vista Drive	476-242-09-00	Islenair Unit #2, Block 6, Lot 9	6L
n/a	3232	Isla Vista Drive	476-242-13-00	Islenair Unit #2, Block 6, Lot 6	6Z
n/a	3255	Isla Vista Drive	476-242-02-00	Islenair Unit #2, Block 6, Lot 2	6Z
n/a	3324	Isla Vista Drive	476-152-16-00	Islenair Unit #1, Block 2, Lot 16	6L
n/a	3333	Isla Vista Drive	476-160-18-00	Islenair Unit #1, Block 3, Lots 19 and 20	6Z
n/a	3411	Isla Vista Drive	476-160-15-00	Islenair Unit #2, Block 3, Lot 16	6Z
n/a	3467	Isla Vista Drive	476-160-08-00	Islenair Unit #1, Block 3, Lot 9	6L
n/a	3517	Isla Vista Drive	476-160-04-00	Islenair Unit #1, Block 3, Lot 4	6L
n/a	3525	Isla Vista Drive	476-160-03-00	Islenair Unit #1, Block 3, Lot 3	6L
n/a	4750 4768 4766	Thorn Street	476-151-16-00 476-151-17-00 476-151-18-00	Islenair Unit #1, Block 1, Lot 16 and Islenair Unit #2, Block 4, Lot 1	6Z
n/a	4769	Thorn Street	476-241-01-00	Islenair Unit #2, Block 7, Lot 1	6Z

BE IT FURTHER RESOLVED, in light of the foregoing, the Historical Resources Board of the City of San Diego hereby approves the historical designation of the above named historic district. The designation includes the entire boundary of the district as Designated Historical Resource Site No. Site No. 807 [01-82].

BE IT FURTHER RESOLVED, that the boundaries of the district and the location of all contributing resources within that district will be identified in the City's Geographic Information Systems (GIS) database for the information and use of other City departments when considering projects which will impact the proposed district.

BE IT FURTHER RESOLVED, the Secretary to the Historical Resources Board shall include this resolution in the designation file for the Islenair District as part of the official designation record.

BE IT FURTHER RESOLVED, the Secretary to the Historical Resources Board shall prepare a resolution for each contributing resource within the District and cause a certified copy of said resolutions to be recorded in the office of the San Diego County Recorder at no fee, for the benefit of the City of San Diego, and with no documentary tax due.

Vote: 8-0-0

BY:

BY:

ROBERT VACCHI, Chair Historical Resources Board

APPROVED AS TO FORM AND LEGALITY: MICHAEL AGUIRRE,

CITY ATTORNEY

MARIANNE GREENE

Deputy City Attorney



Section 1

Islenair Historic District Designated April 26, 2007

Islenair

Executive Summary

Islenair is a small, working class, early auto-oriented suburb in the community of City Heights that reflects the small house movement which took hold following World War I and became a national standard of development in the wake of the Great Depression and the Post-World War II housing shortage. Its location marks a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and the use of previously unreachable and underutilized land to the east. The neighborhood serves as a



microcosm of architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952.

A significant number of the properties within the proposed district have retained their historical integrity and remain in good condition. Historical district designation provides an incentive for the continued revitalization of the neighborhood, and the preservation of its unique character, scale and setting. Both property owners and renters will benefit from the rehabilitation of the existing housing stock as follows:

- Special community scale and character will be maintained.
- Tax abatement or other economic incentives, such as façade easement donations or Mills Act property tax reduction agreements to encourage preservation and rehabilitation.
- Design assistance and review for alterations and new construction to ensure compatibility of development with historical context and neighborhood character preservation.
- Conditional Use Permits for alternative use of historical structures.
- State Historic Building Code providing flexibility in the application of building code standards.
- Prioritization for utility undergrounding and other physical revitalization programs.

Implementation of the programs listed above depends upon Islenair being designated as a historical district. The area's designation is important in order for the residents and owners to access the programs and resources while maintaining this neighborhood as a valuable historical resource within the City of San Diego.



Section 2

Islenair Historic District Designated April 26, 2007

Islenair

Introduction

In July of 2002, at the request of community representatives, City of San Diego Planning Department staff began research into the history of the Islenair subdivision, located in the San Diego community of City Heights. Following preliminary research, staff conducted an intensive architectural survey of Islenair with the purpose of completing individual California Department of Parks and Recreation Primary Record Forms (DPR-523) for each property and assessing the integrity of the district.

Research revealed that Islenair is a modest middle class subdivision designed in keeping with the suburban design philosophies of small, moderately priced homes along curving tree-lined streets which had begun with the City Beautiful movement in the 1890's. It borrowed design influences of other San Diego subdivisions in development at that time, such as Kensington, with its canyon orientation, curved streets, and palm tree-lined parkways; while at the same time maintaining the pattern of small-scale development, both in terms of the house size and the size of the neighborhood, that was typical of subdivisions in the City Heights area.

However, efforts to establish the district stalled shortly thereafter due to a lack of adequate staffing. Work on the district resumed in January of 2007, with an updated survey and a revised context statement, statement of significance, and period of significance. The updated survey revealed that of the 114 properties within Islenair, 82 properties contribute to the significance of Islenair, while 32 do not contribute due either to modifications or to a construction date outside the period of significance. Nearly three-quarters (72%) of the resources in Islenair have been identified as contributing to the significance of the district.

The report that follows includes:

- a description of the survey area and district boundary;
- a historical context for the development of Islenair;
- a statement of significance and period of significance;
- a detailed description of the survey methodology, including how historical integrity was assessed, the classification of contributing and non-contributing resources, and the use of California Historical Resource Status Codes;
- ◆ State of California Department of Parks and Recreation District Record (DPR-523D)
- ◆ State of California Department of Parks and Recreation Primary Record Forms (DPR-523A and 523-B) for each resource within the district boundary; and
- Development and Design Guidelines as well as the U.S. Secretary of the Interior's Standards to assist in review of development within the District.

Historic designation has many incentives that can benefit the owners of historic property. Among the many benefits for property owners is the Mills Act, which allows for a reduction in property taxes; and the use of the State Historic Building Code, which allows for greater leniency in the rehabilitation of historically designated homes. In return the property owner has the responsibility to be sensitive to the historic character of their home and district when proposing development or rehabilitation to their structure. If a property owner is interested in making changes to the exterior of their home, the U.S. Secretary of the Interior's Standards will be consulted. Historically designated properties generally lend themselves to the improvement of the surrounding community. Pride in homeownership also promotes revitalization in the neighborhood, and overall property value increases.

Survey Area A District Boundary

Section 3

Islenair Historic District Designated April 26, 2007

Islenair

Survey Area and Historic District Boundary

The boundary for the intensive survey was based on the original Islenair subdivision, consisting of Islenair Unit #1 (Map 1898) and Islenair Unit #2 (Map 1925), and included: the properties along the north side of Isla Vista Drive to the north; the homes along the east side of Isla Vista Drive to the east; the Isla Vista cul-de-sac and the properties at 3203 and 3204 Belle Isle Drive to the south; and Euclid Avenue to the west. The survey area included 113 buildings on 115 parcels.



Islenair is located in City Heights approximately 1 mile east of I-15 and 3 blocks south of University Avenue.



The District includes Islenair Unit #1 and Unit #2

Upon completion of the survey, it was determined that the original subdivision retained sufficient integrity to convey significance as a historic district. Therefore, the boundaries of the original Islenair subdivision, consisting of Islenair Unit #1 and Unit #2, shall serve as the boundary of the Islenair Historic District.



Section 4

Islenair Historic District Designated April 26, 2007

Islenair

Historic Context

Islenair is a small, working class, early auto-oriented suburb that reflects the small house movement which took hold following World War I and became a national standard of development in the wake of the Great Depression and the Post-World War II housing shortage. In order to provide a foundation for our analysis and place the development of Islenair in a larger national and regional context, this historical context statement will first look at national and local patterns of suburban development leading up to and through the introduction of automobile suburbs. With that broader understanding in place, the context statement will focus on the history and development of Islenair, how it relates to overall patterns of development, and why it is significant to the development history of San Diego.

EARLY SUBURBAN DEVELOPMENT

By the early to mid nineteenth century, the increasingly crowded, noisy and polluted nature of the city created a growing desire among Americans for a life in a semi-rural environment which brought nature and community together within a daily commute to and from work in the city. Inventions in building technology such as balloon-frame construction, which provided flexibility in design and allowed quicker construction with cheaper materials and less experienced labor, coupled with transportation technology, which made daily commutes possible and affordable, allowed this American ideal to become a reality for an increasingly wide range of socio-economic classes over time.¹

National Patterns²

The evolution of American suburbs from 1830 to 1960 can be divided into four stages related to advancements in transportation technology which allowed development to extend beyond the historical limits of human mobility. The early stages of suburban development in America from 1830 to roughly 1928, include Railroad and Horsecar Suburbs (1830-1890) and Streetcar Suburbs (1888-1928), which resulted from increased mobility within the boundaries of established transit.

Railroad and Horsecar Suburbs

The Railroad Suburb began in 1830 as railroad companies began to seek new sources of revenue by building passenger stations along their routes connecting cities with outlying rural villages. These stations became the focal point of villages that developed along the railroad lines and attracted land development companies which would lay out semi-rural residential communities. Also beginning in 1830's, the Horsecar Suburb developed as horse-drawn cars provided the first mass transit systems by offering regularly scheduled operations along a fixed route. The evolution of the horsecar to horse-drawn omnibus and then finally the horse-drawn streetcar allowed the perimeters of cities to slowly expand from 13 to 30 square miles. The cost of this newfound transportation began to determine where people lived, with middle and working classes settling in neighborhoods accessible by horse-drawn cars, and the upper and upper-middle classes settling in railroad suburbs.

¹ National Register Bulletin on Historic Residential Suburbs. See Bibliography for complete citation.

² This summary of national patterns of suburban development was compiled from the *National Register Bulletin on Historic Residential Suburbs*, and may contain direct or abridged quotes.

Streetcar Suburbs

The electric streetcar, introduced in 1887, quickly fostered a tremendous expansion of suburban growth, allowing people to travel in ten minutes as far as they could walk in 30 minutes. In cities of the emerging Midwest and West, streetcar lines influenced the initial pattern of suburban development. In many places the development of real estate would closely follow the introduction of the streetcar, with developers platting rectilinear subdivisions within a five or ten minute walk of the streetcar along its numerous stops. By keeping fares low, streetcars attracted a wide range of socio-economic classes, drawing middle and working classes to the city's periphery where land was cheaper, and became the primary means of transportation for all income levels.

San Diego's Early Growth and Development³

The urban and suburban development of San Diego, led by a number of civic leaders and entrepreneurs over time, is characterized by several great boom and bust eras which influenced San Diego's population and pattern of development.

Railroad Envy

San Diego developed as a frontier town in the mid nineteenth century and followed the model of frontier expansion with emphasis on land speculation, promotion, and railroad construction, the latter of which was considered the linchpin of successful urban development, generating population growth and commercial activity. In the case of San Diego the railroad would be used not for suburban expansion, but rather the creation of an urban center. New Town San Diego, located on San Diego Bay, was first platted in 1850 with the hope of establishing a railroad following the Mexican-American War. New Town experienced two years of growth before key financial backing dissolved and businesses were forced to relocate to Old Town or out of San Diego entirely. Despite some gains in the effort to build a railroad and additional land speculation in the Middletown area, development stalled until the end of the Civil War in 1865 when settlers began to move west once again.

Alonzo Horton, a seasoned urban pioneer and land speculator came to San Diego in 1865 and by 1867 had purchased 800 acres east of New Town and Middletown. He began an aggressive promotional campaign, offering free lots to anyone who would build a house worth \$500 on it. Horton's successful promotion attracted other speculators and developers to San Diego, and within the next five years 15 new subdivisions were laid out around Horton's Addition. 1868 and 1869 were boom years, with steady growth over the next three years until the economic panic of 1873. By 1875 the population had dropped from a high of 4,000 in 1873 to just 1,500. San Diego's civic leaders continued to focus on the development of the railroad. Construction of the Santa Fe Railroad began in 1880 and the first trains arrived in San Diego in 1882, leading to period of renewed and steady growth.

Local Streetcar Suburbs

This period of steady growth was followed by another boom that resulted in a population of 35,000 and a full-fledged land investment and speculation frenzy which created 30 new real estate tracts county-wide by 1888. These new tracts included the areas of Hillcrest and University Heights, located roughly two miles outside of the downtown core and accessed by new streetcar

³ This summary of early San Diego Development was drawn from the "Uptown Historic Context and Oral History Report". See Bibliography for complete citation.

lines running along Fourth Avenue and Switzer Canyon into the Uptown area. These and other first-ring subdivisions located on the periphery of downtown became San Diego's first Streetcar Suburbs. The boom resulted in over \$10 million in new improvements, including paving, electrical street lights and railways, sewage systems, and new construction before ending suddenly when the bottom fell out of the real estate market in the spring of 1888. By the 1890's the City's population settled to around 17,000.

The dawn of the Twentieth Century brought steadier development for San Diego, which experienced modest growth as a health and tourist resort. The economic promise of the Panama Canal, which broke ground in 1903, created yet another boom beginning in 1906. John D. Spreckels launched a major building campaign downtown to modernize the City and introduce multi-story concrete commercial buildings. As downtown began to change, families began

moving in greater numbers to the first ring "streetcar suburbs" created during the boom of the 1880's. George Marston, a Progressive and advocate of City Planning, which attempted to provide a rational control over the urban environment, invested heavily in civic improvements through the Nolen Plan and the creation of Balboa Park through the Parsons Plan. The Parsons Plan was superceded by the development of the 1915 Panama California Exposition, which would draw thousands to San Diego in celebration of the opening of the Panama Canal and the promise of the future.



Streetcar at the intersection of University Ave & Euclid Ave, 1931 San Diego Historical Society Title Insurance & Trust Collection

AUTOMOBILE ERA: SUBURBAN EXPANSION DURING THE 1920'S AND BEYOND

National Patterns⁴

The later stages of American suburbs from roughly 1908 through 1960 include Early Automobile Suburbs (1908-1945) and Post-World War II and Early Freeway Suburbs (1945-1960), which resulted from greater mobility for the individual through the use of the increasingly affordable and popular automobile, allowing development to extend beyond the limits of conventional mass-transit.⁵

Early Automobile Suburbs

In 1910, Henry Ford began producing his Model T automobile on a massive scale. His assembly-line operation greatly reduced the cost of automobile ownership, resulting in a sharp increase in

⁴ This summary of national patterns of suburban development was compiled from the *National Register Bulletin on Historic Residential Suburbs*, and may contain direct or abridged quotes.

⁵ National Register Bulletin on Historic Residential Suburbs. See Bibliography for complete citation.

the number of automobiles in operation nationwide from 500,000 in 1910 to 9.25 million in 1920. This rise in automobile ownership stimulated an intense period of suburban expansion between 1918 and the onset of the Depression. Suburban development began to fill in the areas between streetcar lines as the popularity of the automobile spurred the development of new streets, parkways and boulevards. As new roads were built, suburban development became decentralized, creating fringes of increasingly low densities. With commuters no longer needing to live within walking distance of the streetcar line, residential suburbs could be built at lower densities to form self-contained neighborhoods. This trend in suburban development further stimulated the construction of additional infrastructure, laying the groundwork for the highway system that would shape suburban development following WWII.

Post-World War II and Early Freeway Suburbs

The most dramatic stage of suburban development occurred as a result of increased automobile ownership, advances in building technology, and the Baby Boom following the end of WWII. Critical housing shortages, new low-cost long-term mortgages and use of the GI Bill greatly spurred the development of single family homes. In addition, the Highway Act of 1944 would provide increased connectivity to and between cities and outlying subdivisions.

San Diego's Suburban Expansion

During the decade of the 1920's the growth envisioned by San Diego's early pioneers was realized as the City's population doubled from 74,683 to 147,897. This was due in large part by a concerted and focused effort to attract the Navy and its resources to San Diego, which resulted in the construction of several Navy installations between 1917 and 1930. The Navy provided the population and the economy to allow the city to develop throughout the inter-war period and served as a major catalyst for the development of the harbor. To accommodate the rapidly growing population, development began to stretch outwards in all directions from Pacific Beach to East San Diego. ⁶

Impact of the Automobile

Automobile popularity and ownership in Southern California and across the country continued to reach new heights in the mid-to-late 1920's. Monies raised through the Gasoline Tax funded the construction of new roads throughout the United States. The *San Diego Union* estimated in 1926 that San Diego County had approximately 50,500 registered automobiles in a population of 202,000 people, or one car for every four people in San Diego County. In that same year the City Council approved funds for the purchase of San Diego's first traffic control signals (semaphores) as a traffic calming measure in the increasingly chaotic streets of downtown. The rise in automobile ownership did not escape the attention of San Diego's boosters, who released a "San Diego" booster plate that attached to the bottom of vehicle license plates.⁷

This rise in automobile ownership decreased dependency on the trolley line as a means of transportation outside of the City's core, and development began to spread and intensify in San Diego's peripheral communities, including East San Diego, which saw limited development during the era of Streetcar Suburbs.

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⁶ This summary of San Diego's Development was drawn from the "Uptown Historic Context and Oral History Report". See Bibliography for complete citation.

⁷ San Diego Union, "New San Diego Booster Plate Colored to Match 1926 California License". 3 Jan 1926 and "Officials O.K. New System for Local Traffic". 8 Jan 1926

DEVELOPMENT OF ISLENAIR

East San Diego and City Heights

City Heights saw its beginning in the speculative land boom of the 1880s during which several large subdivisions were platted and some improvements installed. However, the boom would soon bust, and development progressed slowly through the 1890's. By 1906 San Diego was gearing up for another boom in development, and John D. Spreckels announced that his San Diego Electric Trolley Company would extend its streetcar line out along University Avenue to City Heights. In an effort to promote development in City Heights, Columbian Realty sponsored some of the extension work and constructed a five-story observation tower to allow prospective buyers to look out over their potential purchases. In 1906 Columbian Realty re-platted the City Heights subdivision to accommodate the extension of the new trolley line, and over the next few years City Heights would continue to grow steadily as San Diego's eastern-most "streetcar suburb". Just six years later, City Heights had over 500 new residences, which prompted them to take advantage of the "Municipalities Act" passed by the State Legislature the previous year allowing communities with 500 residents or more to incorporate. In 1912 the community petitioned the County for incorporation and voted the City of East San Diego into existence.8

Development in East San Diego was predominantly comprised of modest homes, many of which were built in the Spanish styles, especially following the Panama California Exposition in 1915. The homes were small and often clustered near the trolley line for easy access and mobility. The neighborhoods themselves were often small and featured curved, rather than grid-pattern streets.



East San Diego Annexation Celebration, 1923 San Diego Historical Society Title Insurance & Trust Collection

In 1923 the City of San Diego annexed East San Diego, an indicator of its growth and prosperity. Prior to the mid-1920's, expansion to the east ended largely at the intersection of University Avenue and Euclid Avenue, the end of San Diego's eastern most trolley line. Sporadic development northeast and southeast of the intersection just above the natural limits of what we now know as the Auburn Creek branch of Chollas Creek, but was then known (and will be referred to in this history) as Chollas Valley, was present. Such development included subdivisions east of Euclid Avenue along University Avenue, such as Oak Park (map 1732); and along Euclid Avenue just south of University Avenue including Fairmount Addition (map 1347) and Fairhaven Acres (map

⁸ Newland, James D., M.A. "Historical and Architectural Report for Nomination of the Quartermass-Stensrud House and Carriage House 5602 Adams Avenue Community of El Cerrito to the City of San Diego Historic Site Register". 2002.

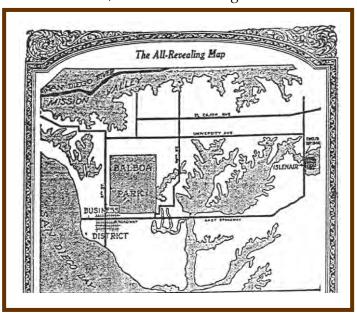
1490). However, all of these prior subdivisions were accessible by foot from the streetcar stop or by car through on-grade improvements which did not require significant investments in infrastructure to connect the areas divided by the numerous canyons and valleys that cut through the central mesa area. Due to the ever increasing popularity and affordability of the automobile, new infrastructure projects would be undertaken to open these previously undeveloped areas to suburbanization. Such infrastructure projects included the paving of University Avenue east of Euclid Avenue and the construction of the Euclid Avenue extension and bridge, which, at the time, would provide the only north-south connection between East Broadway and University Avenue east of 30th Street. This new infrastructure would make possible East San Diego's first autodependent suburbs, including Islenair.

The Euclid Avenue Extension

The development of Islenair, which, at the time developers James Love and William Touhey received approval had no means of vehicular access, was contingent upon the completion of the Euclid Avenue extension. The extension of Euclid Avenue from University Avenue south to East Broadway was publicized as the "next great cross-town highway", one of only five north/south highways in San Diego and the only north/south connection east of 30th Street. The project involved the paving of three and one half miles of road and the construction of four bridges, the largest of which would be directly north of Islenair and would allow access to the subdivision. ⁹

The progress of the planning and implementation of the project was closely followed in the press and promoted in Love and Touhey's advertisements for Islenair beginning in March of 1926. On April 18, 1926 the *San Diego Union* reported that Love and Touhey announced that final plans and specifications for the Euclid Avenue extension were promised within the next few days. In May, completion of the project was scheduled for fall. However, it wasn't until August that the San

Diego Board of Supervisors approved the \$220,000 needed to fund the project.¹⁰ Bids would not be accepted until September, 1926. At the September Board of Supervisors hearing, proponents of the expansion project ran into an unexpected roadblock when residents living north of University Avenue entered the chamber of the Board of Supervisors to protest bearing the financial burden for infrastructure that would not directly benefit them. The Board passed a resolution in response to citizen protest, which called for a re-evaluation of funding sources that would place the burden of expense more on property owners living on or near the Euclid Avenue extension.11



Map taken from a newspaper advertisement for Islenair showing Islenair adjacent to the new Euclid Extension

- 12 -

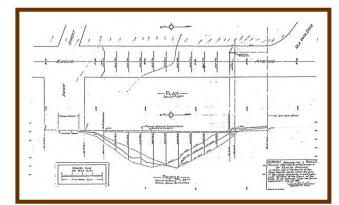
⁹ San Diego Union, Advertisements for Islenair. March through August 1926

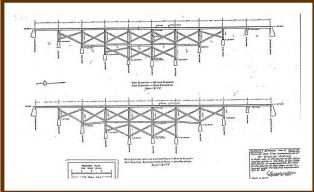
¹⁰ San Diego Union, "Five Mile Paving of Euclid Avenue to Cost \$220,000". 17 August 1926

¹¹ San Diego Union, "Protest Against Euclid Extension". 14 September 1926

In November the Board of Supervisors finally awarded the contract for the Euclid Avenue extension to David H. Ryan, who put in a bid only seventy-five dollars lower than Ben Pearce Construction Company. The firm of Watson, Valle and Gough served as engineers on the project. 12 Although no evidence has been found in *San Diego Union* articles, it appears that Ryan may not have actually done the work on the extension project. Sidewalk stamps along Euclid Avenue indicate that Ben Pearce did the paving in 1927. Why David Ryan was unable to complete the contract he was awarded is still unclear.

The construction of what is known as the "Euclid Avenue Bridge" was an element of the expansion project that was particularly vital for the development of Islenair. The bridge covered a 250-foot span that divided the area around the intersection of Euclid Avenue and University Avenue (north of Dwight Street) from the area that would become Islenair, allowing access to the new subdivision. The task of designing the bridge fell to Paul R Watson of Watson, Valle and Gough, who designed a wood truss bridge that was most likely completed in early 1927.





Engineering drawings for the Euclid Avenue Bridge directly north of Islenair.

In December of 1941 the *San Diego Union* reported that the City Council approved \$16,000 for the demolition of the Euclid Avenue Bridge to be replaced with a fill. According to the Union, the nearly fifteen year-old wood bridge was rotting and had to be demolished completely. The contract was awarded to the Macco Construction Company who was to start work on the project only ten days after the contract was signed. It is unclear when the bridge was actually demolished. The 1956 Sanborn Map shows the existence of a 250-foot wood bridge, which should not have been there if indeed the rotted bridge had been replaced with a fill in 1941. The outbreak of World War II one week before the Council's approval of funds may have de-railed the slated demolition until a later date.

Love & Touhey

As San Diego's population continued to increase during the 1920's and the proliferation of the automobile expanded the reach of suburbanization beyond the limitations of Streetcar Suburbs, real estate investors James Love and William J. Touhey set out to capitalize on this increased personal mobility and the wealth of undeveloped land in San Diego's periphery communities when the subdivision map for Islenair Unit 1 was filed in early 1926. The unit included the area on the east side of Euclid Avenue, the area north

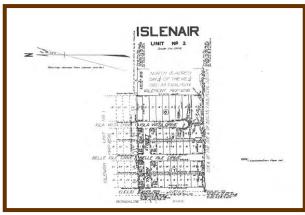


¹² San Diego Union, "Supervisors Let Euclid Avenue Paving Contract". 2 November 1926

of Thorn Street, and the area along Isla Vista Drive to the north and east. The City adopted the map for Islenair Unit 1 on March 22, 1926. Soon after, on July 6, 1926, the City adopted the subdivision map for Islenair Unit 2, which contained the area on the east side of Euclid Avenue, the area to the south of Thorn Street ending at 3203 and 3204 Belle Isle Drive, and the area along Isla Vista Drive to the east. Islenair Unit #2 had previously been surveyed and subdivided as Valemont (Map 1236) in 1909, however the subdivision had never been improved or developed, in all likelihood due to the canyon to the north and the need for infrastructure improvements which would not come until the construction of the Euclid Avenue bridge in 1927.



Map 1898 for Islenair Unit #1



Map 1925 for Islenair Unit #2

The Vision

For their development's location, Love and Touhey chose a stretch of land high above Chollas Valley surrounded on three sides by open canyon space. The picturesque location provided the inspiration for the subdivision's name, Islenair (or Island-in-the air). Lots along the east side of Isla Vista Drive would include portions of the canyon nearly half-way down the slope. Due to the limitations of grading and engineering technology, many of these lots would not be developed until the third phase of development in Islenair following World War II, and the canyon continues to be a character defining feature of the subdivision.

In addition to its aesthetic quality, the location selected by Love and Touhey was particularly suited to the transitional time in which the subdivision was developed. Advertised as a "Hub-Division" by the two developers, Islenair was only three blocks south of the eastern trolley terminus at University and Euclid Avenues; and yet at the same time the development of Islenair was a product of and was contingent upon the construction of new infrastructure necessitated by the increase in automobile ownership.

Love and Touhey planned Islenair as a self-contained, mixed use subdivision, taking advantage of their location on Euclid Avenue by allowing a variety of uses including business, "semi-business", and multi-family uses along the new high-profile thoroughfare. The interior of the subdivision would contain single family residential uses with some multi-family use permitted on large, high-profile corner lots.

Islenair was designed in keeping with the suburban design philosophies of small, moderately priced homes along curving tree-lined streets which had begun with the City Beautiful movement in the 1890's. It borrowed design influences of other San Diego subdivisions in development at that time, such as Kensington, with its canyon orientation, curved streets, and palm tree-lined parkways; while at the same time maintaining the pattern of small-scale development, both in terms of the house size and the size of the neighborhood, that was typical of subdivisions in the City Heights area. They promoted Islenair as "I.P.F." (improvements paid for) not "U.P.F" (you pay the improvements). Their lots, which were 50-foot frontages that usually sold for \$845 to \$1095, included the installation of gas, electricity, water, and paved sidewalks and curbs. Minimum allowable cost for construction and improvements on lots in Islenair was set at \$3,500, as opposed to the \$5,000 minimum set in subdivisions such as Kensington, which sold its lots for \$900 to \$3,700. This emphasis on small-scale, affordable development afforded middle and working class families the opportunity to invest in homeownership in a neighborhood which utilized and expressed modern planning and subdivision principles.

Promoting Islenair

Love and Touhey launched an aggressive and creative advertising campaign for Islenair beginning in March of 1926 with the motto, "the best of San Diego's four climates". Love and Touhey credited the subdivision's location with providing a consistently comfortable and pleasing climate, sunny and warm with a slight breeze and distant view of the ocean. The graphics in their advertisements conjured up fairy tale-like images of an oasis in the clouds.



Crossword puzzle advertisement for Islenair

Love and Touhey used newspaper advertisements as a platform for gimmicky showmanship to attract buyers to their Islenair subdivision. In May of 1926 Love and Touhey printed an Islenair "Cross-road" puzzle in their advertisement, which ran in the San Diego Union. Those who successfully completed the crossword puzzle could bring it in to Love and Touhey's office to receive a \$25 credit toward the purchase of an Islenair lot. According to the San Diego *Union*, the puzzle, which told the "story" of Islenair, attracted great attention and resulted in several hundred submittals to Love and Touhey, only a few of which were correct. Love and Touhey also held free tri-weekly luncheons at Islenair (transportation provided) under a tent where James Love would end the luncheon with a lecture on the "future of San Diego." These luncheons were very popular and attracted many potential buyers.

Love and Touhey managed to reach new heights in showmanship when they advertised in the paper that the final climactic scene of the 1926 Our Kids film, "Fire" would be shot at Islenair. The child comedy was to end with the fiery destruction of a two-story frame house on a lot in Islenair. Love and Touhey encouraged the public to attend and promised "Three Great Thrills Today: See a Comedy Filmed, a Spectacular Fire, and the Homesite of Your Dreams!" As an added bonus, the film's director, Mr. George deKirby, agreed to take moving pictures of those in attendance and release them locally.

Love and Touhey's advertising ingenuity led to the complete sale of Islenair Unit 1 in 90 days and anticipated the sell-out of Unit 2 in just 45 days. However, build-out of the subdivision would come slowly over the next 25 years, as individual property owners and small scale spec builders began to develop their parcels between the lean years of the Great Depression and World War II. Homes in Islenair would be built by a wide variety of contractors and designers. Some builders appear only once in Islenair's history, while others have many examples of their craftsmanship throughout the neighborhood. Such builders include: The Dennstedt Company, Cummins Brothers Construction, San Diego Building and Remodel Service, and R R West, who built at least ten of the homes in Islenair. The most noteworthy of the Islenair builders is Mr. Charles Tifal, who built five homes in Islenair and has been established by the City of San Diego Historical Resources Board as a Master Builder. Tifal worked both independently as a contractor and with his business partner, architectural designer Ralph Hurlburt. Together, Hurlburt and Tifal built an impressive resume of homes throughout San Diego, publishing a brochure of their work entitled "Distinctive Homes." Apparently working independently either for hire or as a spec builder, Tifal's work in Islenair expresses his quality craftsmanship in a more modest, "small house" scale.

First Phase of Development: 1927-1931

The first phase of development in Islenair, beginning with first sale of lots in 1927, was reflective of both the small house movement of the 1920's and the popularity of Spanish Revival or Eclectic architecture that swept San Diego following the immense success of the 1915 Panama-California Exposition in San Diego's Balboa Park, which attracted thousands of people to San Diego and resulted in one of the greatest local building booms in San Diego History.

After World War I, focus shifted to improving the quality of American domestic life through home ownership, standardized home building practices, and improvements. The small house movement focused on quality design and construction in a compact, efficient layout containing no more than six rooms. Small houses in the 1920's varied in style, with different regions promoting local trends.¹³ The small house movement was also aided by the growing

popularity of the automobile. The personal mobility afforded by the automobile often meant that people spent less of their leisure time at home, and therefore required less space for living and entertainment. Guest rooms often became a thing of the past as guests chose to stay in nearby

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¹³ National Register Bulletin on Historic Residential Suburbs. See Bibliography for complete citation.

hotels.¹⁴ Homes in Islenair, which were constructed as single-story, modest residences, reflect the small house movement and the influence of the automobile, with just enough room for a middle class family to live comfortably. The vast majority of homes have porte cocheres or detached garages designed in a style consistent with the architecture of the home.



In addition, homes built during this first phase were built exclusively in the Spanish Eclectic style, wildly popular throughout San Diego and actively promoted by leading architectural figures including Richard Requa, who published trade pamphlets such as *Old World Inspiration for American Architecture*. Development progressed steadily beginning in 1927 with the construction of twenty homes in just four years before the full effects of the Depression were felt. Construction in Islenair came to a halt by the end of 1931.

Second Phase of Development: 1935-1941

As the United States entered the leanest years of the Great Depression in the early thirties, new construction in Islenair ceased. As the Depression deepened and housing construction declined



program that would regulate home building practices for decades to come.

sharply, discussion of the ideal small house took on

foreclosures. The 1931 President's Conference for the design of residential neighborhoods resulted in

reforming the Nation's system of home financing, improving the quality of housing for moderate and lower-income groups, and stimulating the building industry. This meant establishing a new national priority of improving the design and efficiency of the American home while lowering its cost. This was achieved in large part through the Federal Housing Administration (FHA) established in 1934,

new urgency with the collapse of the home building industry and the rising rate of

recommendations from the Nation's leading experts on how to achieve the objectives of

which, through its approval of properties for

subdivision standards, instituted a national

mortgage insurance and publication of housing and

¹⁴ Brilliant, Ashleigh. *The Great Car Craze*. Santa Barbara: Woodbridge Press, 1989.

FHA's first publication of *Planning Small Houses* in 1936 featured five house types which offered "a range in comfort of living" while maintaining FHA's principle of "providing maximum accommodation within a minimum of means". The simplest FHA design, known as the "FHA minimum house", was designed for a family of three adults or two adults and two children and



Elevations and floor plans from the 1940 edition of FHA's "Principles of Planning Small Houses."

measured 534-624 square feet with a kitchen, a multi-purpose living room, two bedrooms and one bathroom. By 1940 Planning Small Houses provided a more flexible system of design based on expandability, standardization, and variability. The simple one story "minimum house" could be expanded as needed to accommodate growing families and design could be influenced by individual taste through the addition of simple architectural features and elements such as gables, porches, materials, roof types, windows and shutters.¹⁵

As building resumed in Islenair in 1935, likely through the use of government funding and assistance, the work of the FHA and the emphasis on the "minimum house" could be seen in the introduction of a new architectural style. The Minimal Traditional style, characterized by a simple floor plan; stucco exterior; hipped or gable roofs with composition shingles; and simple, single pane, 1-over-1, and 2-over-2 wood frame and sash windows, began to grow in popularity as the Spanish Eclectic style was slowly phased out. Modest design elements



and features were added to personalize these Minimal Traditional homes based on the preference of the owner. Moderne elements can be seen in the use of simple horizontal detailing and emphasis, round portal windows and glass block. Early Ranch elements can be seen in the use of low-to-medium pitch roofs, wood clapboard in the gable end, decorative "birdhouse" vents, and



shutters. Construction of both Minimal Traditional and Spanish Eclectic homes continued in Islenair during much of the second phase of development through 1937 when the last of the Spanish Eclectic style homes were built. Construction of Minimal Traditional homes continued until the onset of World War II, when resources were shifted to the war effort and construction once again came to a stop. By the end of the second phase of development, an additional 47 lots had been developed over a period of seven years.

¹⁵ This paragraph was drawn from the *National Register Bulletin on Historic Residential Suburbs* and may contain direct and/or abridged quotes. See Bibliography for complete citation.

Third Phase of Development: 1945-1952

Following the end of World War II, the lack of adequate new housing, continued population growth, and the return of young veterans looking to start families sparked an unprecedented boom in suburban development. Increased housing affordability through the FHA and the GI Bill put homeownership within reach of many Americans. Thanks to advances in mass-production during the War, new homes and subdivisions could be built at a much faster rate, reaching a high in 1950 with the construction of 1,692,000 new single family homes nation-wide. By this time Cape Cod and Ranch design influences had begun to re-shape the "minimal house". 16

When the War ended and construction in Islenair resumed in 1945, the Minimal Traditional style again proved fast, efficient and affordable. Moderne design influences gave way to



stronger, more updated Ranch influences, with slightly larger and longer floor plans and increased visibility of the



garage. It was also during this time that one-half of the lots fronting Euclid Avenue were developed. Only three had been developed during the first two phases of development and the remaining lots would be developed following the third phase of development. Despite allowances for multi-family and business related uses, only single family homes were developed along Euclid Avenue until 1948 when the first commercial building was developed and 1950 when the first multi-family building was developed. By the end of the third phase of development in 1952, an additional 37 lots had been developed and Islenair was nearly built-out with only a few lots remaining.

Remaining Development: 1957-1979

A handful of development occurred in the late 1950's through the 1970's, consisting almost exclusively of multi-family and commercial buildings along Euclid Avenue with the exception of one single family Ranch style home located on Isla Vista. These structures are not reflective of the character and quality of development in Islenair and occurred outside of the three main phases of development, and therefore are not contributors to the Islenair District.

¹⁶ This paragraph was drawn from the *National Register Bulletin on Historic Residential Suburbs* and may contain direct and/or abridged quotes. See Bibliography for complete citation.

THE COMMUNITY OF ISLENAIR

Population Characteristics

A community is characterized not only by the built environment, but by the people who live, work and play there. Readily available historic Census data was limited, and proved problematic for detailed analysis due to Census tract boundaries which changed over time and data that would include large portions of tracts at times and only portions of tracts at other times. However, the data which has been collected for the years 1930 through 1960 reveals the following:

- <u>Population</u>: steady growth, with generally around 1.5-3.0 people per dwelling unit.
- ◆ Occupation: predominantly working class, with occupations such as "Professional/Technical" (roughly 10%), "Mgr-Off-Propr" (roughly 10%), "Clerical" (roughly 20%), "Sales" (roughly 10%), "Craftsmen" (roughly 20%), "Operatives" (roughly 15%), "Pvt. Household" (roughly 2%), "Service" (roughly 10%), and "Laborers" (roughly 3%)
- ♦ <u>Income</u>: middle to lower range income
- ♦ Education: generally completed high school
- Race/Ethnicity: nearly exclusively Caucasian through the 1950's and 1960's.

The limited representation of minority and ethnic groups during the first few decades of development in City Heights and Islenair in particular was due in large part to deed conditions and restrictions which prohibited sale, transfer, lease, rental, use or occupancy of any portion of the premises to any person or persons other than of the Caucasian race, except as a servant of the occupant. Such restrictions based upon race were deemed unconstitutional by the United States Supreme Court in 1948. In recent decades, City Heights has risen above its discriminatory past to become one of the most ethnically diverse and inclusive communities in San Diego. Census data from 2000 indicated that of the 78,843 people living within the City Heights Community Planning Area, 31% are white, 14% are black or African American, 1% are American Indian, 17% are Asian, 7% are of two or more races, 30% are of "some other race", and of the total population, 53% are of Hispanic origin. This data closely reflects statistics for the census tract in which Islenair is located.

The ethnic and cultural diversity in City Heights and Islenair can be attributed to a number of refugee arrival trends in San Diego. According to data provided by the San Diego Chapter of the International Rescue Committee, refugee groups in East San Diego include:

- ♦ Vietnamese, who began arriving in 1975 following the fall of Saigon and now number in excess of 80,000 county-wide, with a large concentration in East San Diego.
- ♦ East Africans, including Ethiopians and Eritreans, who began arriving in 1981 until the Ethiopian program ended in 1991 following the removal of Ethiopia's dictator. The program was reopened in 1998 and new arrivals began to increase. East Africans now number in excess of 7,500, most of who are in East San Diego.
- ♦ Somalis, who begin arriving in 1991 is response to the Somali Civil War, and now number between 2,500 and 3,000, most of who are in East San Diego.
- ♦ Sudanese, who began arriving in 1992/93 and now number approximately 1,500, including 100 Lost Boys of Sudan. Most of the Sudanese refugees settled in East San Diego.

Islenair reflects the diversity of City Heights as a whole, and includes property owners and renters from a wide range of cultural and ethnic backgrounds, illustrating the ethnic and cultural evolution and integration of City Heights and San Diego as a whole.

Community Spirit

Throughout its history, residents have held a tremendous sense of community pride and spirit, and have worked to maintain Islenair's unique qualities and sense of place. This has been accomplished through informal social contacts and block parties as well as through more formal community organizations. Islenair community member Charlotte Crowley formed Charlotte's Neighbors Club on April 16, 1936, which met regularly at various homes in Islenair, as an informal gathering that grew to bi-monthly meetings where women of the community could sew, play games, socialize and participate in charitable endeavors. Even members who moved out of Islenair remained in contact with members of the club and the Islenair community. Their scrapbook of memories and meeting records remains today, entrusted to a member of the community to keep the history of the neighborhood alive.



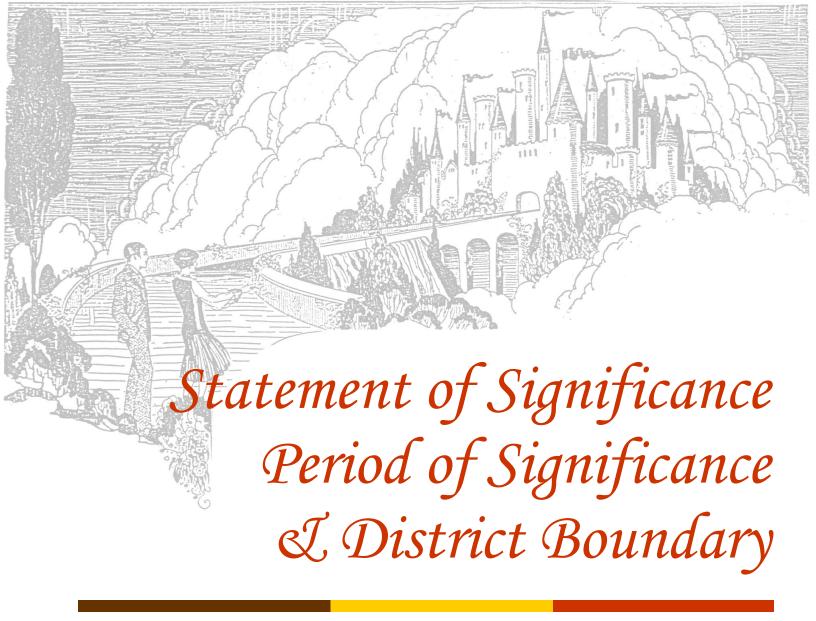
A number of years ago, when the community's characteristic palm-tree lined parkways were threatened with the proposed undergrounding of overhead utilities, community members rallied to save the trees, which are a distinct feature of the neighborhood. The undergrounding was delayed, and a key character defining feature of the community was preserved. Today this tradition of community pride and spirit is as vital as ever, as residents pursue the distinction of designation as a Historic District in an effort to protect the unique environment, history and character of Islenair.

CONCLUSION

Typical of subdivisions throughout the United States, Islenair developed as demand for a semirural, community-centered way of life grew and advances in transportation technology made development in outlying communities both affordable and practical. Its location marks a new

stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and the use of previously unreachable and underutilized land to the east. Development in Islenair reflects the small house movement which began in the 1920's and evolved through the Great Depression and World War II. The neighborhood serves as a microcosm of architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952.





Section 5

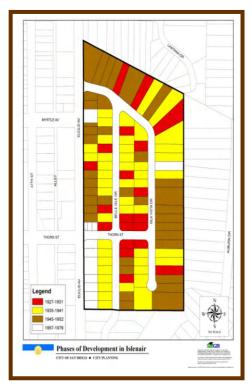
Islenair Historic District Designated April 26, 2007

Islenair

Statement of Significance Period of Significance and District Boundary

The neighborhood of Islenair is historically significant as a historic district under Historical Resources Board (HRB) Criterion A as a special element of San Diego's historical, social, economic and architectural development reflecting

- the evolution of the small house movement which focused on quality design and construction in a compact, efficient layout from the Post-World War I through Post-World War II period;
- architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952;
- middle and working class subdivisions which allowed families the opportunity to invest in homeownership in a neighborhood which utilized and expressed modern planning and subdivision principles;
- the patterns of local, early auto-oriented suburban development as advances in transportation technology made development in outlying communities both affordable and practical; and
- the planning philosophy of adapting the design and layout of a subdivision to the natural topography on which the subdivision is to be located.



Islenair is also significant under HRB Criterion C, as it embodies distinctive characteristics of a style (Spanish Eclectic and Minimal Traditional), type ("small house" and "minimum house") and period (San Diego's development of Automobile Suburbs between 1926 and 1952) of construction.

The District boundary is based on the original Islenair subdivision, consisting of Islenair Unit #1 (Map 1898) and Islenair Unit #2 (Map 1925), and includes: the properties along the north side of Isla Vista Drive to the north; the homes along the east side of Isla Vista Drive to the east; the Isla Vista cul-de-sac and the properties at 3203 and 3204 Belle Isle Drive to the south; and Euclid Avenue to the west. The District includes 113 buildings on 115 parcels.

The first phase of development in Islenair (1927-1931), beginning with the first sale of lots, is reflective of both the small house movement of the 1920's, which focused on quality design and construction in a compact, efficient layout

containing no more than six rooms; as well as the popularity of Spanish Revival or Eclectic architecture that swept San Diego following the immense success of the 1915 Panama-California Exposition in San Diego's Balboa Park, which attracted thousands of people to San Diego and resulted in one of the greatest local building booms in San Diego History. Construction progressed steadily during the first phase of development before the full effects of the Depression were felt and construction in Islenair came to a halt by the end of 1931.

As building resumed in Islenair during the second phase of development (1935-1941), the work of the newly formed Federal Housing Administration (FHA), which sought to improve the design and efficiency of the American home while lowering its cost, could be seen in the introduction of a new architectural style known as Minimal Traditional, which resulted from the FHA's model of the ideal "minimum house." Construction of both Minimal Traditional and Spanish Eclectic homes continued in Islenair during much of the second phase of development through 1937 when the last of the Spanish Eclectic style homes were built. Construction of Minimal Traditional homes continued until the onset of World War II, when resources were shifted to the war effort and construction once again came to a stop.



When the War ended and the third phase of development (1945-1952) in Islenair began, the Minimal Traditional style again proved fast, efficient and affordable. Moderne design influences gave way to stronger, more updated Ranch influences, with slightly larger and longer floor plans and increased visibility of the garage. It was also during this time that one-half of the lots fronting Euclid Avenue were developed. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

Islenair has remained rather unaffected by intrusions over the years, with most modifications stemming from maintenance issues as opposed to development or redevelopment pressures. As a result, it has retained the unique character of a small house subdivision.



Consistent with subdivision development throughout the United States, Islenair developed as demand for a semi-rural, community-centered way of life grew and advances in transportation technology made development in outlying communities both affordable and practical. Its location marks a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and the use of previously unreachable and underutilized land to the east. Development in Islenair reflects the small house movement which began in the 1920's and evolved through the Great Depression and World War II. The neighborhood serves as a microcosm of architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952.



Section 6

Islenair Historic District Designated April 26, 2007

Islenair

Methodology

RESEARCH

The history and significance of Islenair has been developed through primary research which includes newspaper articles, advertisements, deeds, water and sewer records, subdivision maps, engineering drawings, and other government documents gathered from the City of San Diego Clerk's office, the City of San Diego Water Department, the County of San Diego Assessor/Recorder/Clerk's office, local University libraries, and local public libraries. In addition, secondary sources including books, journal articles, and informal interviews were consulted to place the development of Islenair into its appropriate historical context.¹⁷

SURVEYS

2002

Staff from the Historical Resources section of the City of San Diego Planning Department conducted an intensive architectural survey of the original Islenair subdivision in March of 2002. At this time staff prepared State of California Department of Parks and Recreation (DPR) Primary Records (523-A) and Building, Structure and Object Records (523-B) for each property. The information included in these forms included basic site information, a photograph, the date of construction, the architectural style, an architectural description, a brief analysis of integrity, and a synopsis of the significance of the district as a whole. This information was complied, along with an Executive Summary, Introduction, History, description of the Survey Area, Methodology, and Statement of Significance, into a draft document for the Islenair Historical District. The document was updated and a second draft was released in November of 2002. The district effort was stalled shortly thereafter following review and direction from the Historical Resources Board's Policy Subcommittee and insufficient staffing to follow through with that direction.

2007

In January of 2007, Historical Resources staff was able to resume processing of the Islenair district and conducted a second intensive architectural survey to update the information gathered in 2002. Following this second survey, staff identified the need for a number of changes to the document, including the identification of architectural styles, the architectural descriptions, the analysis of modifications and integrity, and the ownership information. Given the extent of the update, and the fact that the 2002 survey was never submitted to the Office of Historic Preservation (OHP) or the South Coast Information Center (SCIC), staff opted to generate new DPR forms as opposed to simply updating the ones from 2002. The district nomination was considered by the Historical Resources Board (HRB) in March and April of 2007. On April 26, 2007 the HRB designated the Islenair Historic District under HRB designation criteria A and C. Information presented in this document reflects the Board's comments and final action.

 $^{^{\}rm 17}$ See Bibliography for complete list of references and works cited.

ANALYSIS

Architectural Evaluation

Several references were consulted when describing, evaluating and classifying the architecture of the resources in Islenair. These references include McAlester and McAlester's A Field Guide to American Houses; Carley's The Visual Dictionary of American Domestic Architecture, and Phillips' Old House Dictionary.¹⁸ Each architectural description includes the name of the building's style and its dominant physical characteristics. Any obvious alterations from the original condition are noted in Section B.6 of the DPR 523-B form. The date of construction and names of the architect and builder (if available) were derived from a thorough examination of the City of San Diego water and sewer records and identified in Sections P.6 and B.9, respectively.

Analysis of Integrity

In conducting the analysis of the integrity of the district, staff referred to National Register Bulletin 15, Section 8, "How to Evaluate the Integrity of a Property". The bulletin states, "For a district to retain integrity as a whole, the majority of the components that make up the district's character must possess integrity even if they are individually undistinguished. In addition, the relationships among the district's components must be substantially unchanged since the period of significance... A district is not eligible if it contains so many alterations or new intrusions that it no longer conveys the sense of historic environment."19 (emphasis added). Islenair has not been impacted by tear-downs, inappropriate infill or redevelopment to any significant degree and retains a distinct sense of time, place and character as a whole. Modifications typically center on maintenance issues, as opposed to development or redevelopment pressures.

In respect to a resources ability to contribute to a district, Bulletin 15 states, "A component of a district cannot contribute to the significance [of the district] if it has been substantially altered since the period of the district's significance or it does not share the associations of the district."20 During the intensive architectural survey staff identified modifications to each component of the district and evaluated their impact on the architectural and historical integrity of the resources at a contributing level. When necessary, these modifications were researched further through building records. Modifications were classified "mildly impairing integrity", "moderately impairing integrity" and "significantly impairing integrity".

Modifications which mildly impair integrity are cosmetic in nature and do not result in the loss of historic fabric. Resources with modifications that mildly impair integrity are classified as retaining a "Good" degree of integrity. Modifications which moderately impair integrity may involve some loss of historic fabric, but are reversible. These modifications do not detract to such an extent that the resource no longer conveys significance as part of the district as a whole and appropriate restorations could be incorporated into a restoration plan as part of a Mills Act agreement. Resources with modifications that moderately impair integrity are classified as retaining a "Good to Fair" or "Fair" degree of integrity. Modifications which significantly impair integrity involve the loss of historic fabric and are not easily reversed or restored. In some instances these modifications could be reversed or restored with the guidance of the Historical Resources Board. In these instances the restorations would need to occur before the property could be eligible for designation

²⁰ Ibid.

¹⁸ See Bibliography for complete citations

¹⁹ National Register Bulletin 15, "How to Evaluate the Integrity of a Property", page 6.

as a contributing resource. Resources with modifications that significantly impair integrity are classified as retaining a "Fair to Poor" or "Poor" degree of integrity.

The following table was created to assist in the understanding of the types of modifications seen in Islenair and how they impact the integrity of the buildings as contributing resources:

	MODIFICATIONS WHICH MILDLY IMPAIR INTEGRITY	MODIFICATIONS WHICH MODERATELY IMPAIR INTEGRITY	MODIFICATIONS WHICH SIGNIFICANTLY IMPAIR INTEGRITY		
General	Easily reversed	Somewhat easily reversed	Not easily reversed		
Characteristics	Minimal impact to the resource	Minimal to moderate impact to the resource	Moderate to significant impact to the resource		
	Does not modify or result in loss of original historic fabric	May slightly modify or result in loss of some original historic fabric	Modified or resulted in the loss of original historic fabric		
	Restoration easily achieved thru Mills Act conditions	Restoration may be achieved thru Mills Act conditions	May require restoration prior to designation		
	Minimal cost and effort	Moderate cost and effort	More significant cost and effort		
Types of Modifications	Wrought Iron Security Bars	Windows Replaced within the Same Opening	Window Replaced in New or Altered Openings		
	Inappropriate Awnings	Inappropriate Roofing	Replacing One Siding Type		
	Non-Historic Paint	Replacement of Porch Railings and Posts	with Another (i.e. Wood to Stucco)		
	Landscape Features & Overgrowth	Added Veneers (i.e. Brick, Stone)	Additions which do not Respect Scale, Spatial		
	In-Kind Replacement of Roofing	Highly Visible Aluminum	Relationships and Character Defining		
	Window Screens	Garage Door	Features		
		Inconsistent Stucco Texture			
Impact	These modifications will not be considered when determining contributing and non-contributing resources. However, owners may be required	These modifications will be considered when determining contributing and non-contributing resources. Four or more of these modifications may	These modifications will be considered when determining contributing and non-contributing resources. One or more of these modifications may		
	to reverse these	render the property non-	render the property non-		
	modifications as part of a	contributing. Owners may	contributing. Owners may		
	Mills Act Agreement.	work with staff and the HRB to restore the house	be able to work with staff and the HRB to restore the		
		and change the status.	house & change the status.		
Integrity	Good	Good to Fair, Fair	Fair to Poor, Poor		

Classification of Contributing and Non-Contributing Resources

All resources within the boundaries of the district are classified as either "contributing" or "non-contributing" resources. Contributing resources are those resources which were built within the period of significance, are reflective of and contribute to the significance of the district, and retain sufficient integrity to convey that significance. Contributing resources typically include buildings and structures, but may include landscaping, trees, and streetscapes (palm trees, parkways, sidewalk color and scoring, stamps and curb cuts) which are characteristic of the period of significance and architectural design. The resources identified as contributing at the time the district was designated are eligible for the benefits of designation, which includes the Mills Act agreement and property tax reduction. Contributing resources are required to comply with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties and any applicable development/design guidelines adopted for the district.

Non-contributing resources are those resources which either were built outside of the period of significance and are therefore not eligible for designation as part of the district; or were built within the period of significance but have been altered to such an extent that they no longer retain sufficient integrity to convey the significance of the district. It may be possible for some non-contributing properties to become eligible for designation as contributing resources if the modifications impairing their integrity were reversed through a restoration plan prior to designation. Such a restoration plan and designation would be at the discretion of the Board. The resources identified as non-contributing at the time the district was designated are not eligible for the direct benefits of designation, which includes the Mills Act agreement and property tax reduction. Non-contributing resources are only required to comply with the U.S. Secretary of the Interior's Standards and any applicable development/design guidelines as they relate to appropriate redevelopment of non-contributing resources.

Of the 114 properties within Islenair, 82 were determined to be contributing, while 32 were determined to be non-contributing, which results in 72% (percent) of the resources in Islenair identified as contributing to the significance of the district. Thirteen of the 32 non-contributing resources were identified as non-contributing due to cumulative modifications which had adversely impacted the integrity of the resource. However, these modifications, which are identified in section B.6 of the DPR 523-B form, could be restored with the direction of the Historical Resources Board and their staff. If these resources were to be restored, the Board may reconsider the classification of the resource from non-contributing to contributing. An additional ten of the 32 non-contributing resources were identified as non-contributing due to cumulative modifications which cannot be reversed without substantial reconstruction. The remaining nine of the 32 non-contributing resources were identified as noncontributing because they fell outside the period of significance for the district.



Use of Status Codes

California Historical Resource Status Codes from the State Office of Historic Preservation were used to identify the resources as contributing or con-contributing and to clarify the reason for that classification. The codes were modified slightly to suit local planning and preservation needs. The status codes, their meaning, and their application are as follows:

Status Code	Meaning	Application	Status
5D1	Contributor to a district that is designated locally.	Applied to all contributing resources, as approved by the HRB.	Contributing
5B	Locally significant both individually (designated or appears eligible) and as a contributor to a district that is locally designated or appears eligible for designation through survey evaluation.	Applied to resources identified as both contributing resources and as resources which appear to be eligible for designation as individually significant resources. (These properties will not be designated individually without a site specific intensive survey under all Board criteria under a separate Board action.)	Contributing
6L	Determined ineligible for local designation through local government review process due to modifications which have adversely impacted the integrity of the resource.	Applied to resources which have been modified to such an extent that they are no longer eligible for designation in their current condition. These resources may be eligible for designation upon reversal of modifications identified in Section B.6 of the DPR 523-B form, at the discretion of the Historical Resources Board, at which time the status code would be changed to 5D1.	Non-Contributing
6Z	Found ineligible for NR, CR or Local designation through survey evaluation.	Applied to resources which are not eligible for designation either due to extensive modifications which are not reversible, or due to a construction date outside of the period of significance.	Non-Contributing

The status codes as applied to all contributing and non-contributing resources have been evaluated by the Historical Resources Board and reflect the Board's final action. Any modifications to the status code will require review and action by the HRB.



Section 7

Islenair Historic District Designated April 26, 2007

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION DISTRICT RECORD

Primary # HRI # Trinomial

Page 1 of 4

*NRHP Status Code:

*Resource Name or # (Assigned by recorder): Islenair Historic District, HRB Site #807

D1. Historic Name: Islenair Historic District

D2. Common Name:

*D3. Detailed Description (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.):

Islenair is a small, working class, early auto-oriented suburb in the community of City Heights that reflects the small house movement which took hold following World War I and became a national standard of development in the wake of the Great Depression and the Post-World War II housing shortage. Islenair was designed in keeping with the suburban design philosophies of small, moderately priced homes along curving tree-lined streets which had begun with the City Beautiful movement in the 1890's. It borrowed design influences of other San Diego subdivisions in development at that time, such as Kensington, with its canyon orientation, curved streets, and palm tree-lined parkways; while at the same time maintaining the pattern of small-scale development, both in terms of the house size and the size of the neighborhood, that was typical of subdivisions in the City Heights area. Sidewalk stamps, denoting both street names and contractor identification and dates, are scattered throughout the district, primarily at corners, and are considered contributing elements of the district. Primary and BSOR forms have been prepared for each stamp and identify the location and content of each stamp. (See Continuation Sheet)

*D4. Boundary Description (Describe limits of district and attach map showing boundary and district elements.):

The the properties along the north side of Isla Vista Drive to the north; the homes along the east side of Isla Vista Drive to the east; the Isla Vista cul-de-sac and the properties at 3203 and 3204 Belle Isle Drive to the south; and Euclid Avenue to the west.

*D5. Boundary Justification:

The boundary for the historic district was based on the original Islenair subdivision, consisting of Islenair Unit #1 (Map 1898) and Islenair Unit #2 (Map 1925). Upon completion of the intensive level survey, it was determined that the original subdivision retained sufficient integrity to convey significance as a historic district. Therefore, the boundaries of the original Islenair subdivision, consisting of Islenair Unit #1 and Unit #2, shall serve as the boundary of the Islenair Historic District.

*D6. Significance: Theme: Small House Movement, Residential Architecture, Planning Area: City of San Diego
Period of Significance: 1926-1952 Applicable Criteria: City San Diego Criteria A and C
(Discuss district's importance in terms of its historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The neighborhood of Islenair (stemming from the developers' concept of an "Island-in-the-Air") is historically significant as a historic district under Historical Resources Board (HRB) Criterion A as a special element of San Diego's historical, social, economic and architectural development reflecting:

- the evolution of the small house movement which focused on quality design and construction in a compact, efficient layout from the Post-World War I through Post-World War II period;
- architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952;
- middle and working class subdivisions which allowed families the opportunity to invest in homeownership in a neighborhood which utilized and expressed modern planning and subdivision principles;
- the patterns of local, early auto-oriented suburban development as advances in transportation technology made development in outlying communities both affordable and practical; and
- the planning philosophy of adapting the design and layout of a subdivision to the natural topography on which the subdivision is to be located.

Islenair is also significant under HRB Criterion C, as it embodies distinctive characteristics of a style (Spanish Eclectic and Minimal Traditional), type ("small house" and "minimum house") and period (San Diego's development of Automobile Suburbs between 1926 and 1952) of construction. (See Continuation Sheet)

*D7. References (Give full citations including the names and addresses of any informants, where possible.):

Brilliant, Ashleigh. The Great Car Craze. Santa Barbara: Woodbridge Press, 1989.

Carley, Rachel. The Visual Dictionary of American Domestic Architecture. New York: Henry Holt and Company, 1994.

City of San Diego. California Room, San Diego Public Library. Sanborn Fire Insurance Map Books 1921-1970: San Diego City and County Directories, 1886-1984.

_____. Department of Water Utilities. Sewer and Water Permits. (See Continuation Sheet)

*D8. Evaluator: Kelley Saunders, Senior Planner Date: 4/26/2007

Affiliation and Address: City of San Diego Planning Department, 202 C Street MS 5A, San Diego CA 92101

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # HRI# Trinomial

Page 2 of 4

*Resource Name or # (Assigned by recorder): Islenair Historic District, HRB Site #807

.*Recorded by: Kelley Saunders, Senior Planner, City of San Diego *Date: 4/26/2007 🗵 Continuation 🗆 Update

*D3. Detailed Description: (Continued)

The district contains predominantly single family residential development on the interior streets of Belle Isle Drive and Isla Vista Drive, with some multi-family development on large corner lots and along Euclid Avenue, which also contains commercial development. Islenair has remained rather unaffected by intrusions over the years, with most modifications stemming from maintenance issues as opposed to development or redevelopment pressures. As a result, it has retained the unique character of a small house subdivision. The district area includes 113 buildings on 115 parcels, and a significant number of the properties (82) within the proposed district have retained their historical integrity and remain in good condition. Contributing and non-contributing resources within the district boundary are as follows:

Table 1. Contributing Resources

HRB	Street	tributing ixeso			Status		HRB	Street		Ĭ		Ctatus	
Site #	#	Street Name	APN	Date	Code	Туре	Site #	#	Street Name	APN	Date	Status Code	Туре
807-01	3203	Belle Isle Drive	476-242-23	1947	5D1	SFR	807-42	3202	Isla Vista Drive	476-242-10	1935	5D1	SFR
807-02	3204	Belle Isle Drive	476-241-08	1937	5D1	SFR	807-43	3209	Isla Vista Drive	476-242-08	1947	5D1	SFR
807-03	3211	Belle Isle Drive	476-242-22	1946	5D1	SFR	807-44	3219	Isla Vista Drive	476-242-07	1950	5D1	SFR
807-04	3221	Belle Isle Drive	476-242-21	1935	5D1	SFR	807-45	3224	Isla Vista Drive	476-242-12	1937	5D1	SFR
807-05	3222	Belle Isle Drive	476-241-10	1936	5D1	SFR	807-46	3225	Isla Vista Drive	476-242-06	1928	5D1	SFR
807-06	3227	Belle Isle Drive	476-242-20	1930	5D1	SFR	807-47	3226	Isla Vista Drive	476-242-11	1936	5D1	SFR
807-07	3235	Belle Isle Drive	476-242-19	1947	5D1	SFR	807-48	3235	Isla Vista Drive	476-242-05	1936	5D1	SFR
807-08	3243	Belle Isle Drive	476-242-18	1950	5D1	SFR	807-49	3241	Isla Vista Drive	476-242-04	1940	5D1	SFR
807-09	3244	Belle Isle Drive	476-241-13	1937	5D1	SFR	807-50	3242	Isla Vista Drive	476-242-14	1936	5D1	SFR
801-10	3250	Belle Isle Drive	476-241-14	1941	5D1	SFR	807-51	3249	Isla Vista Drive	476-242-03	1945	5D1	SFR
807-11	3251	Belle Isle Drive	476-242-17	1928	5D1	SFR	807-52	3305	Isla Vista Drive	476-242-01	1946	5D1	SFR
807-12	3261	Belle Isle Drive	476-242-16	1928	5B	SFR	807-53	3306	Isla Vista Drive	476-152-14	1929	5B	SFR
807-13	3262	Belle Isle Drive	476-241-15	1937	5D1	SFR	807-54	3314	Isla Vista Drive	476-152-15	1927	5D1	SFR
807-14	3304	Belle Isle Drive	476-151-19	1931	5B	SFR	807-55	3315	Isla Vista Drive	476-160-20	1946	5D1	SFR
807-15	3315	Belle Isle Drive	476-152-12	1930	5D1	SFR	807-56	3321	Isla Vista Drive	476-160-19	1946	5D1	SFR
807-16	3323	Belle Isle Drive	476-152-11	1939	5D1	SFR	807-57	3330	Isla Vista Drive	476-152-17	1948	5D1	SFR
807-17	3328	Belle Isle Drive	476-151-22	1945	5D1	SFR	807-58	3338	Isla Vista Drive	476-152-18	1931	5D1	SFR
807-18	3329	Belle Isle Drive	476-152-10	1947	5D1	SFR	807-59	3344	Isla Vista Drive	476-152-19	1936	5D1	SFR
807-19	3336	Belle Isle Drive	476-151-23	1936	5D1	SFR	807-60	3345	Isla Vista Drive	476-160-17	1945	5D1	SFR
807-20	3344	Belle Isle Drive	476-151-24	1939	5D1	SFR	807-61	3404	Isla Vista Drive	476-152-20	1936	5D1	SFR
807-21	3345	Belle Isle Drive	476-152-08	1936	5D1	SFR	807-62	3405	Isla Vista Drive	476-160-17	1935	5D1	SFR
807-22	3403	Belle Isle Drive	476-152-07	1928	5D1	SFR	807-63	3410	Isla Vista Drive	476-152-21	1937	5D1	SFR
807-23	3411	Belle Isle Drive	476-152-06	1936	5D1	SFR	807-64	3420	Isla Vista Drive	476-152-22	1950	5D1	SFR
807-24	3412	Belle Isle Drive	476-151-26	1939	5D1	SFR	807-65	3421	Isla Vista Drive	476-160-14	1937	5D1	SFR
807-25	3422	Belle Isle Drive	476-151-27	1936	5D1	SFR	807-66	3427	Isla Vista Drive	476-160-13	1937	5D1	SFR
807-26	3423	Belle Isle Drive	476-152-05	1941	5D1	SFR	807-67	3428	Isla Vista Drive	476-152-23	1928	5D1	SFR
807-27	3426	Belle Isle Drive	476-151-28	1929	5D1	SFR	807-68	3435	Isla Vista Drive	476-160-12	1936	5D1	SFR
807-28	3435	Belle Isle Drive	476-152-04	1936	5D1	SFR	807-69	3440	Isla Vista Drive	476-152-24	1936	5D1	SFR
807-29	3439	Belle Isle Drive	476-152-03	1941	5D1	SFR	807-70	3443	Isla Vista Drive	476-160-11	1928	5D1	SFR
807-30	3442	Belle Isle Drive	476-151-30	1947	5D1	SFR	807-71	3449	Isla Vista Drive	476-160-10	1940	5D1	SFR
807-31	3443	Belle Isle Drive	476-152-02	1928	5D1	SFR	807-72	3455	Isla Vista Drive	476-160-09	1946	5D1	SFR
807-32	3458	Belle Isle Drive	476-151-31	1935	5D1	SFR	807-73	3472	Isla Vista Drive	476-152-01	1937	5D1	SFR
807-33	3462	Belle Isle Drive	476-151-32	1935	5D1	SFR	807-74	3473	Isla Vista Drive	476-160-07	1929	5D1	SFR
807-34	3323	Euclid Avenue	476-151-14	1947	5D1	SFR	807-75	3505	Isla Vista Drive	476-160-06	1946	5D1	SFR
807-35	3329	Euclid Avenue	476-151-13	1946	5D1	SFR	807-76	3511	Isla Vista Drive	476-160-05	1928	5D1	SFR
807-36	3333	Euclid Avenue	476-151-12	1946	5D1	SFR	807-77	3518	Isla Vista Drive	476-151-33	1948	5D1	SFR
807-37	3345	Euclid Avenue	476-151-11	1948	5D1	SFR	807-78	3533	Isla Vista Drive	476-160-02	1946	5D1	SFR
807-38	3405	Euclid Avenue	476-151-10	1949	5D1	SFR	807-79	3534	Isla Vista Drive	476-151-01	1952	5D1	MFR
807-39	3411	Euclid Avenue	476-151-09	1929	5D1	SFR	807-80	3541	Isla Vista Drive	476-160-01	1951	5D1	MFR
807-40	3419	Euclid Avenue	476-151-08	1938	5B	SFR	807-81	4802	Thorn Street	476-152-13	1931	5B	SFR
807-41	3443	Euclid Avenue	476-151-05	1945	5D1	SFR	807-82	4827	Thorn Street	476-242-15	1931	5B	SFR

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI# Trinomial

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*Resource Name or # (Assigned by recorder): Islenair Historic District, HRB Site #807

.*Recorded by: Kelley Saunders, Senior Planner, City of San Diego *Date: 4/26/2007 🗵 Continuation 🗆 Update

*D3. Detailed Description: (Continued)

Table 2. Non-Contributing Resources

HRB	Street #		ADNI	D-1-	Status	T	HRB	Street		ADM	Data	Status	T
Site #	#	Street Name	APN	Date	Code	Туре	Site #	#	Street Name	APN	Date	Code	Туре
N/A	3212	Belle Isle Drive	476-241-09	1936	6L	SFR	N/A	3435	Euclid Avenue	476-151-06	1946	6L	Com
N/A	3230	Belle Isle Drive	476-241-11	1938	6L	SFR	N/A	3449	Euclid Avenue	476-151-04	1952	6Z	SFR
N/A	3236	Belle Isle Drive	476-241-12	1937	6Z	SFR	N/A	3457	Euclid Avenue	476-151-03	1973	6Z	Com
N/A	3314	Belle Isle Drive	476-151-20	1938	6L	SFR	N/A	3461	Euclid Avenue	476-151-02	1948	6Z	Com
N/A	3320	Belle Isle Drive	476-151-21	1930	6L	SFR	N/A		Euclid Avenue	476-241-05	N/A	6Z	N/A
N/A	3333	Belle Isle Drive	476-152-09	1936	6Z	SFR	N/A	3203	Isla Vista Drive	476-242-09	1951	6L	SFR
N/A	3404	Belle Isle Drive	476-151-25	1939	6L	SFR	N/A	3232	Isla Vista Drive	476-242-13	1935	6Z	SFR
N/A	3434	Belle Isle Drive	476-151-29	1936	6L	SFR	N/A	3255	Isla Vista Drive	476-242-02	1947	6Z	SFR
N/A	3203	Euclid Avenue	476-241-07	1958	6Z	MFR	N/A	3324	Isla Vista Drive	476-152-16	1935	6L	SFR
N/A	3211	Euclid Avenue	476-241-06	1960	6Z	MFR	N/A	3333	Isla Vista Drive	476-160-18	1950	6Z	SFR
N/A	3237	Euclid Avenue	476-241-04	1968	6Z	Com	N/A	3411	Isla Vista Drive	476-160-15	1957	6Z	SFR
N/A	3243	Euclid Avenue	476-241-03	1958	6Z	Com	N/A	3467	Isla Vista Drive	476-160-08	1939	6L	SFR
N/A	3255	Euclid Avenue	476-241-02	1958	6Z	MFR	N/A	3517	Isla Vista Drive	476-160-04	1946	6L	SFR
N/A	3275	Euclid Avenue	476-241-01	1979	6Z	Com	N/A	3525	Isla Vista Drive	476-160-03	1946	6L	SFR
N/A	3313	Euclid Avenue	476-151-15	1951	6Z	MFR	N/A	4750	Thorn Street	476-151-16	1958	6Z	MFR
N/A	3427	Euclid Avenue	476-151-07	1938	6L	SFR	N/A	4769	Thorn Street	476-241-01	1939	6Z	SFR

Figure 1. Islenair Streetscape: Isla Vista Drive looking north



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI# Trinomial

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*Resource Name or # (Assigned by recorder): Islenair Historic District, HRB Site #807

.*Recorded by: Kelley Saunders, Senior Planner, City of San Diego *Date: 4/26/2007 🗵 Continuation 🗆 Update

*D6. Significance: (Continued)

The first phase of development in Islenair (1927-1931), beginning with the first sale of lots, is reflective of both the small house movement of the 1920's, which focused on quality design and construction in a compact, efficient layout containing no more than six rooms; as well as the popularity of Spanish Revival or Eclectic architecture that swept San Diego following the immense success of the 1915 Panama-California Exposition in San Diego's Balboa Park, which attracted thousands of people to San Diego and resulted in one of the greatest local building booms in San Diego History. Construction progressed steadily during the first phase of development before the full effects of the Depression were felt and construction in Islenair came to a halt by the end of 1931.

As building resumed in Islenair during the second phase of development (1935-1941), the work of the newly formed Federal Housing Administration (FHA), which sought to improve the design and efficiency of the American home while lowering its cost, could be seen in the introduction of a new architectural style known as Minimal Traditional, which resulted from the FHA's model of the ideal "minimum house." Construction of both Minimal Traditional and Spanish Eclectic homes continued in Islenair during much of the second phase of development through 1937 when the last of the Spanish Eclectic style homes were built. Construction of Minimal Traditional homes continued until the onset of World War II, when resources were shifted to the war effort and construction once again came to a stop.

When the War ended and the third phase of development (1945-1952) in Islenair began, the Minimal Traditional style again proved fast, efficient and affordable. Moderne design influences gave way to stronger, more updated Ranch influences, with slightly larger and longer floor plans and increased visibility of the garage. It was also during this time that one-half of the lots fronting Euclid Avenue were developed. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

Consistent with subdivision development throughout the United States, Islenair developed as demand for a semi-rural, community-centered way of life grew and advances in transportation technology made development in outlying communities both affordable and practical. Its location marks a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and the use of previously unreachable and underutilized land to the east. Development in Islenair reflects the small house movement which began in the 1920's and evolved through the Great Depression and World War II. The neighborhood serves as a microcosm of architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952.

*D7. References (Continued)

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Section 8

Islenair Historic District Designated April 26, 2007

Islenair

Contributing Resources

Contributing resources are those resources which were built within the period of significance, are reflective of and contribute to the significance of the district, and retain sufficient integrity to convey that significance. Contributing resources typically include buildings and structures, but may include landscaping, trees, and streetscapes (palm trees, parkways, sidewalk color and scoring, stamps and curb cuts) which are characteristic of the period of significance and architectural design.

The following resources were identified as contributing resources by the Board at the time the district was designated and are eligible for the benefits of designation, which includes the Mills Act agreement and property tax reduction. Contributing resources are required to comply with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties and any applicable development/design guidelines adopted for the district.

Contributing Resources: Buildings

HRB	<u> </u>					Status	
Site #	Street #	Street Name	APN	Date	Style	Code	Integrity
807-01	3203	Belle Isle Drive	476-242-23	1947	Minimal Traditional	5D1	Good to Fair
807-02	3204	Belle Isle Drive	476-241-08	1937	Minimal Traditional	5D1	Good to Fair
807-03	3211	Belle Isle Drive	476-242-22	1946	Minimal Traditional	5D1	Good to Fair
807-04	3221	Belle Isle Drive	476-242-21	1935	Minimal Traditional	5D1	Good
807-05	3222	Belle Isle Drive	476-241-10	1936	Minimal Traditional	5D1	Fair
807-06	3227	Belle Isle Drive	476-242-20	1930	Spanish Eclectic	5D1	Good to Fair
807-07	3235	Belle Isle Drive	476-242-19	1947	Minimal Traditional	5D1	Fair
807-08	3243	Belle Isle Drive	476-242-18	1950	Minimal Traditional	5D1	Good to Fair
807-09	3244	Belle Isle Drive	476-241-13	1937	Minimal Traditional	5D1	Fair
801-10	3250	Belle Isle Drive	476-241-14	1941	Minimal Traditional	5D1	Good to Fair
807-11	3251	Belle Isle Drive	476-242-17	1928	Spanish Eclectic	5D1	Very Good
807-12	3261	Belle Isle Drive	476-242-16	1928	Spanish Eclectic	5B	Very Good
807-13	3262	Belle Isle Drive	476-241-15	1937	Minimal Traditional	5D1	Good to Fair
807-14	3304	Belle Isle Drive	476-151-19	1931	Spanish Eclectic	5B	Very Good
807-15	3315	Belle Isle Drive	476-152-12	1930	Spanish Eclectic	5D1	Good

HRB Site #	Street #	Street Name	APN	Date	Style	Status Code	Integrity
807-16	3323	Belle Isle Drive	476-152-11	1939	Minimal Traditional	5D1	Good to Fair
807-17	3328	Belle Isle Drive	476-151-22	1945	Minimal Traditional	5D1	Good to Fair
807-18	3329	Belle Isle Drive	476-152-10	1947	Minimal Traditional	5D1	Good to Fair
807-19	3336	Belle Isle Drive	476-151-23	1936	Spanish Eclectic	5D1	Very Good
807-20	3344	Belle Isle Drive	476-151-24	1939	Minimal Traditional	5D1	Good
807-21	3345	Belle Isle Drive	476-152-08	1936	Minimal Traditional	5D1	Good to Fair
807-22	3403	Belle Isle Drive	476-152-07	1928	Spanish Eclectic	5D1	Good to Fair
807-23	3411	Belle Isle Drive	476-152-06	1936	Spanish Eclectic	5D1	Good to Fair
807-24	3412	Belle Isle Drive	476-151-26	1939	Minimal Traditional	5D1	Good
807-25	3422	Belle Isle Drive	476-151-27	1936	Spanish Eclectic	5D1	Good to Fair
807-26	3423	Belle Isle Drive	476-152-05	1941	Minimal Traditional	5D1	Good
807-27	3426	Belle Isle Drive	476-151-28	1929	Spanish Eclectic	5D1	Good
807-28	3435	Belle Isle Drive	476-152-04	1936	Spanish Eclectic	5D1	Good to Fair
807-29	3439	Belle Isle Drive	476-152-03	1941	Minimal Traditional	5D1	Good to Fair
807-30	3442	Belle Isle Drive	476-151-30	1947	Minimal Traditional	5D1	Fair
807-31	3443	Belle Isle Drive	476-152-02	1928	Spanish Eclectic	5D1	Good
807-32	3458	Belle Isle Drive	476-151-31	1935	Spanish Eclectic	5D1	Good
807-33	3462	Belle Isle Drive	476-151-32	1935	Spanish Eclectic	5D1	Good
807-34	3323	Euclid Avenue	476-151-14	1947	Minimal Traditional	5D1	Good to Fair
807-35	3329	Euclid Avenue	476-151-13	1946	Minimal Traditional	5D1	Good to Fair
807-36	3333	Euclid Avenue	476-151-12	1946	Minimal Traditional	5D1	Good to Fair
807-37	3345	Euclid Avenue	476-151-11	1948	Minimal Traditional	5D1	Good
807-38	3405	Euclid Avenue	476-151-10	1949	Minimal Traditional	5D1	Good
807-39	3411	Euclid Avenue	476-151-09	1929	Spanish Eclectic	5D1	Good to Fair
807-40	3419	Euclid Avenue	476-151-08	1938	Art Moderne	5B	Good to Fair
807-41	3443	Euclid Avenue	476-151-05	1945	Minimal Traditional	5D1	Fair
807-42	3202	Isla Vista Drive	476-242-10	1935	Minimal Traditional	5D1	Very Good
807-43	3209	Isla Vista Drive	476-242-08	1947	Minimal Traditional	5D1	Fair

HRB Site #	Street #	Street Name	APN	Date	Style	Status Code	Integrity
807-44	3219	Isla Vista Drive	476-242-07	1950	Minimal Traditional	5D1	Very Good
807-45	3224	Isla Vista Drive	476-242-12	1937	Minimal Traditional	5D1	Very Good
807-46	3225	Isla Vista Drive	476-242-06	1928	Spanish Eclectic	5D1	Good
807-47	3226	Isla Vista Drive	476-242-11	1936	Minimal Traditional	5D1	Good
807-48	3235	Isla Vista Drive	476-242-05	1936	Minimal Traditional	5D1	Good
807-49	3241	Isla Vista Drive	476-242-04	1940	Minimal Traditional	5D1	Good to Fair
807-50	3242	Isla Vista Drive	476-242-14	1936	Minimal Traditional	5D1	Fair
807-51	3249	Isla Vista Drive	476-242-03	1945	Minimal Traditional	5D1	Good
807-52	3305	Isla Vista Drive	476-242-01	1946	Minimal Traditional	5D1	Fair
807-53	3306	Isla Vista Drive	476-152-14	1929	Spanish Eclectic	5B	Very Good
807-54	3314	Isla Vista Drive	476-152-15	1927	Spanish Eclectic	5D1	Good
807-55	3315	Isla Vista Drive	476-160-20	1946	Minimal Traditional	5D1	Good to Fair
807-56	3321	Isla Vista Drive	476-160-19	1946	Minimal Traditional	5D1	Good to Fair
807-57	3330	Isla Vista Drive	476-152-17	1948	Minimal Traditional	5D1	Good to Fair
807-58	3338	Isla Vista Drive	476-152-18	1931	Spanish Eclectic	5D1	Fair
807-59	3344	Isla Vista Drive	476-152-19	1936	Spanish Eclectic	5D1	Fair to Poor
807-60	3345	Isla Vista Drive	476-160-17	1945	Minimal Traditional	5D1	Fair
807-61	3404	Isla Vista Drive	476-152-20	1936	Spanish Eclectic	5D1	Good to Fair
807-62	3405	Isla Vista Drive	476-160-17	1935	Spanish Eclectic	5D1	Good to Fair
807-63	3410	Isla Vista Drive	476-152-21	1937	Spanish Eclectic	5D1	Good
807-64	3420	Isla Vista Drive	476-152-22	1950	Ranch	5D1	Good
807-65	3421	Isla Vista Drive	476-160-14	1937	Minimal Traditional	5D1	Fair
807-66	3427	Isla Vista Drive	476-160-13	1937	Minimal Traditional	5D1	Good
807-67	3428	Isla Vista Drive	476-152-23	1928	Spanish Eclectic	5D1	Fair
807-68	3435	Isla Vista Drive	476-160-12	1936	Minimal Traditional	5D1	Good to Fair
807-69	3440	Isla Vista Drive	476-152-24	1936	Spanish Eclectic	5D1	Good to Fair
807-70	3443	Isla Vista Drive	476-160-11	1928	Spanish Eclectic	5D1	Good to Fair
807-71	3449	Isla Vista Drive	476-160-10	1940	Minimal Traditional	5D1	Good to Fair

HRB						Status	
Site #	Street #	Street Name	APN	Date	Style	Code	Integrity
807-72	3455	Isla Vista Drive	476-160-09	1946	Minimal Traditional	5D1	Good to Fair
807-73	3472	Isla Vista Drive	476-152-01	1937	Spanish Eclectic	5D1	Good
807-74	3473	Isla Vista Drive	476-160-07	1929	Spanish Eclectic	5D1	Good
807-75	3505	Isla Vista Drive	476-160-06	1946	Minimal Traditional	5D1	Fair
807-76	3511	Isla Vista Drive	476-160-05	1928	Spanish Eclectic	5D1	Good to Fair
807-77	3518	Isla Vista Drive	476-151-33	1948	Ranch	5D1	Good
807-78	3533	Isla Vista Drive	476-160-02	1946	Minimal Traditional	5D1	Good to Fair
807-79	3534	Isla Vista Drive	476-151-01	1952	Ranch	5D1	Good to Fair
807-80	3541	Isla Vista Drive	476-160-01	1951	Ranch	5D1	Fair
807-81	4802	Thorn Street	476-152-13	1931	Spanish Eclectic	5B	Good
807-82	4827	Thorn Street	476-242-15	1931	Spanish Eclectic	5B	Very Good

Contributing Resources: Sidewalk Stamps (objects)

Stamp Content	Location
"BEN PEARCE 7-27"	Public Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01). There are two stamps in front of this parcel. This is the western-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16). There are three stamps in front of this parcel. This is the southwestern-most stamp.
"WE ASH 7 1926"	Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16). There are three stamps in front of this parcel. This is the center stamp.
"THORN ST"	Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16). There are three stamps in front of this parcel. This is the eastern-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33).
"WE ASH 7 26"	Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15). There are three stamps in front of this parcel. This is the center stamp.
"THORN ST"	Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15). There are three stamps in front of this parcel. This is the western-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19). There are three stamps in front of this parcel. This is the northeastern-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13). There are three stamps in front of this parcel. This is the northwestern-most stamp.

Stamp Content	Location
"WE ASH 7 1926"	Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13). There are three stamps in front of this parcel. This is the center stamp.
"WE ASH 7 1926"	Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14). There are three stamps in front of this parcel. This is the center stamp.
"ISLA VISTA DRIVE"	Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01). There are three stamps in front of this parcel. This is the eastern-most stamp.
"BEN PEARCE 7-27"	Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01). There are three stamps in front of this parcel. This is the western-most stamp.
"W.E. ASH 6 26"	Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01). There are three stamps in front of this parcel. This is the center stamp.
"ISLA VISTA DR"	Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14). There are three stamps in front of this parcel. This is the northeastern-most stamp.
"WE ASH 5-26"	Public Right-of-Way, located in front of 3472 Isla Vista (APN 476-150-01).
"THORNE ST"	Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13). There are three stamps in front of this parcel. This is the eastern-most stamp.
"THORN ST"	Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19). There are three stamps in front of this parcel. This is the western-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15). There are three stamps in front of this parcel. This is the southeastern-most stamp.
"WE ASH 7-1926"	Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15). There are three stamps in front of this parcel. This is the center stamp.
"THORN ST"	Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15). There are three stamps in front of this parcel. This is the western-most stamp.
"BEN PEARCE 7-27"	Public Right-of-Way, located in front of 4750 Thorn Street (APN 476-151-16).
"WE ASH 7-1926"	Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19). There are three stamps in front of this parcel. This is the center stamp.
"THORN ST"	Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14). There are three stamps in front of this parcel. This is the western-most stamp.
"W.E. ASH 5-29"	Public Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01). There are two stamps in front of this parcel. This is the eastern-most stamp.
"ISLA VISTA DR"	Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15). There are three stamps in front of this parcel. This is the southeastern-most stamp.

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR # Trinomial			
PRIMARY RECORD						
	Other Listings Review Code					Date
- 1 . 2	Noview Gode	reviewer				
Page 1 of 2	a Driva ADN 476 2	42.22				
* Resource Name or #: 3203 Belle Isl	e Drive, APN 476-2	42-23				
P1. Other Identifier:			• · Ca	. Di		
	tion Unrestricted		-			
b. USGS 7.5' Quad						
c. Address 3203 Belle Isle Dr						
d. UTM: (Give more than one for la	-				mE/	
e. Other Locational Data: (e.g. pa APN 476-242-23-00; Isle			resource, e	elevation, addit	ionai UTMS, etc.	. as app
* P3a. Description: (Describe resource The house at 3203 Belle Isle Driv gable roof with composition shin exterior. The porch, which is accowood posts. The entry door is set frame and sash windows. The yar detailing. Refer to BSOR Section	ye was built in 1947 gles; slight eave over essed by four concresperpendicular to the dis enclosed with a	in the Minim erhang; expose ete steps, is ce e street. Fenes a 3-foot high v	nial Tradit sed rafter entered or stration c wrought i	tional style a tails; and a m n the house a onsists of 2-c ron fence be	nd features a landerately text and supported over-2 double	ow-pitch side tured stucco by two 4x4 hung wood
* P4. Resources Present: Buildin	utes and codes) HP2 S g Structure Ob graph required for building	oject Site	District	P5b. Description Photo of the	District Other on of Photo: (Vie	ew, date, etc.) de from the
				* P6. Date Co	of-way. nstructed/Age and pric Historic	nd Sources:
San Million				1947 Water	and Sewer Re	ecords
				* P7. Owner a		
				Wingett Ma		
	The same of the sa			3203 Belle 1		
	The same of			San Diego C	CA 92105	
					Diego Plannir MS 4A	filiation, address) ng Dept
				* P10. Survey	corded: 1/17/2 Type: (Describ rchitectural)	
* P11. Report Citation: (Cite survey rep	ort/other sources or "non	ie")				
		,				
* Attachments: NONE Local Archaeological Record District R			tinuation Sh Ailling Statio	_	uilding, Structure Rock Art Record	, and Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3203 Belle Isle Drive, APN 476-242-23	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u>	34. Present Use: <u>SF Residential</u>
* B5. Architectural Style: <u>Minimal Traditional</u>	
* B6. Construction History: (Construction date, alterations, and date of The house was built in 1947 per water and sewer connection records. More wrought iron security door; and the replacement of the composition roof vertains a good to fair degree of integrity.	difications include the use of moderately textured stucco; the use of a
	Original Location:
* B8. Related Features: Detached garage located at the rear	
Detactied garage located at the real	
B9a. Architect: <u>Unknown</u>	
* B10. Significance: Theme <u>Early auto-oriented small house de</u> Period of Significance 1926-1952 Property Type Res	Area San Diego
(Discuss importance in terms of historical or architectural context as defined by t	
The neighborhood of Islenair is historically significant as a l	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "small	
	•
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure a	•
significant under HRB Criterion C, as it embodies distinctiv	*
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phas	
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minin	
of Spanish Eclectic homes is also seen during this phase. Th	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
D42 Demarket	
B13. Remarks:	and the second s
* B14. Evaluator: City San Diego Planning Staff	DEST Dates to the Green
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
	INTENANT HISTORICAL DISTERS T

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary #			
PRIMARY RECORD		NRHP Status Code $5D1$			
	Other Listings Review Code Review	ver	Date		
Page <u>1</u> of <u>2</u>					
* Resource Name or #: 3204 Belle Isle	Drive, APN 476-241-08				
P1. Other Identifier:					
	on Unrestricted	-			
			of1/4 of Sec; B.M. zip <u>92105</u>		
d. UTM: (Give more than one for large			mE/mN		
e. Other Locational Data: (e.g. parc APN 476-241-08-00; Islena		ns to resource, elevation, a	dditional UTMs, etc. as app		
* P3a. Description: (Describe resource ar The house at 3204 Belle Isle Drive with composition shingles; a slight The left hand side of the house feat flanked by 4-over-4 double hung w supported by two 4x4 wood posts, perpendicularly to the sidewalk. R	was built in 1937 in the M eave overhang; a moderate tures a hexagonal bay with good frame and sash window is set to the right and include	Tinimal Traditional style ely textured stucco exter a 6-over-6 double hung ws. The entry porch, acc des a large 12-pane fixe	and features a side gable roof rior; and a chimney at the side. wood frame and sash window cessed by two concrete steps and d window and an entry door set		
* P4. Resources Present: Building	es and codes) <u>HP2 Single far</u> Structure Object S sph required for buildings, structur	ite District Element es, and objects) P5b. Description Photo of public ris	of District Other (Isolates, etc.) ription of Photo: (View, date, etc.) the primary façade from the		
			Constructed/Age and Sources: historic		
		1937 Wa	ter and Sewer Records er and Address:		
			ouglas E Jr SWJY #Russel		
			le Isle Drive		
	Marie	San Dieg	o CA 92105		
Among the Paris Inches		* P8 Pace	rded by: (Name, affiliation, address)		
			an Diego Planning Dpt		
			eet, MS 4A		
	THE RESERVE	San Diego	CA 92101		
THE RESERVE OF THE PERSON NAMED IN	The second	* P9. Date	Recorded: 1/17/2007		
			vey Type: (Describe)		
		Intensive	(Architectural)		
到了一个一个一个一个一个一个一个一个一个一个一个一个一个一个一个一个一个一个一个	Will de la company de la compa				
* P11. Report Citation: (Cite survey report	t/other sources or "none")				
* Attachments	on Mon Chatch Man	Continuation Sheet	Duilding Christian and Object Description		
* Attachments:		☐ Milling Station Record	✓ Building, Structure, and Object Record Rock Art Record Artifact Record		
Photograph Record Other: (List)					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #			
BUILDING, STRUCTURE, AND OBJECT RECORD				
· · · · · · · · · · · · · · · · · · ·	* NRHP Status Code 5D1			
* Resource Name or #: 3204 Belle Isle Drive, APN 476-241-08				
B1. Historic Name:				
B2. Common Name				
B3. Original Use: SF Residential B4.	Present Use: SF Residential			
* B5. Architectural Style: Minimal Traditional				
* B6. Construction History: (Construction date, alterations, and date of alt The house was built in 1937 per water and sewer connection records. Modificent replacement of the composition roof with a new composition roof. The house	ications include the use of moderately textured stucco and the			
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrigonial Section * B8. Related Features: Detached garage located at the rear	ginal Location:			
Detached garage located at the real				
B9a. Architect: <u>Unknown</u> b.	Builder May Fitzanmayor			
	Builder: Max Fitzenmeyer			
* B10. Significance: Theme <u>Early auto-oriented small house dev</u> Period of Significance 1926-1952 Property Type <u>Resid</u>				
(Discuss importance in terms of historical or architectural context as defined by ther				
The neighborhood of Islenair is historically significant as a his				
special element of San Diego's historical, social, economic, an				
is comprised of working-class homes reflective of the "small h	ouse" movement, marked a new stage in the City of			
San Diego's expansion away from the city core and beyond the	e limits of natural topography as increases in mobility			
and population propelled the creation of new infrastructure and	d development to the east. Islenair is also historically			
significant under HRB Criterion C, as it embodies distinctive of				
Traditional styles of the "small house" and "minimum house"				
Automobile Suburbs between 1926 and 1952. The first phase of				
*	<u>*</u>			
small house movement of the 1920's and the immense popular	· 1			
progressed steadily during the first phase of development before				
Great Depression. The second phase of development (1935-19	41), reflects the work of the newly formed Federal			
Housing Authority (FHA) through the introduction of Minima	Traditional style architecture. The fading popularity			
of Spanish Eclectic homes is also seen during this phase. The t	hird phase of development (1945-1952) reflects the			
continued popularity of the Minimal Traditional style in the wa	*			
end of the third phase of development in 1952, Islenair was ne				
B11. Additional Resource Attributes: (List attributes and codes):	arry built out with only a few vacant fots remaining.			
* B12. References:	(Sketch map with north arrow required)			
Refer to District Bibliography for References Used				
B13. Remarks:				
	man			
* B14. Evaluator: City San Diego Planning Staff	330d Millin Table Cover			
Date of Evaluation: 1/17/2007				
(This space reserved for official comments.)				
(This space reserved for official confinients.)				
	ISLENAIR HISTORIC AL DISTRICT			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR # Trinomial			
PRIMARY RECORD						
	Other Listings Review Code					Date
Page _ 1_ of _ 2_						
* Resource Name or #: 3211 Belle Isle	Drive, APN 476-2	42-22				
P1. Other Identifier:						
	on Unrestricted		-			
b. USGS 7.5' Quad c. Address 3410 Belle Isle Driv						
d. UTM: (Give more than one for lar					mE/	
e. Other Locational Data: (e.g. par APN 476-242-22-00; Islen	cel #, legal description	n, directions to				
* P3a. Description: (Describe resource at The house at 3211 Belle Isle Drive roof with composition shingles; as chimney at the side. The entry por small roof projection supported by and sash windows and single pane analysis of integrity.	e was built in 1946 light eave overhan ch, which is access paired 4x4 wood p	in the Minimg; exposed rated by 5 concoposts. Fenestr	nal Tradition aftertails; a rete steps, ration cons	onal style and smooth studies centered of sists of 2-over	d features a love co exterior; are on the house are cr-2 double hur	w-pitch hipped and a brick and features a ang wood frame
* P4. Resources Present: Building	tes and codes) <u>HP2 S</u> Structure Ob aph required for building	ject Site [District		istrict Other (line of Photo: (View	•
			-	public right-	primary façad of-wav. structed/Age and ric Historic	
			Value	* P7. Owner ar	and Sewer Red nd Address: rick C EST Ol	
			CONTRACTOR OF THE PROPERTY OF	3211 Belle Is		
	A MARKET	Alema V	CORRESPONDED TO THE PARTY OF	San Diego C		
		10 / C	-			
					d by: (Name, affil Diego Planning	
				202 C Street,		у Дері
	and the same			San Diego CA		
A STATE OF THE STA		The second		* DO Data Baa	orded: <u>1/17/20</u>	007
					Type: (Describe)	
* P11. Report Citation: (Cite survey repo	rt/other sources or "non	e")				
* Attachments: NONE Locat	ion Map Sketch N	/lap ☐Con	tinuation She	et 🗸 Bu	ilding, Structure,	and Object Record
	cord Linear Feature	. —	Ailling Station		ock Art Record	Artifact Record

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT I	* NRHP Status Code 5D1
* Resource Name or #: 3211 Belle Isle Drive, APN 476-242-22	
B1. Historic Name: B2. Common Name	
B3. Original Use: SF Residential	R4 Present Use: SE Residential
* B5. Architectural Style: Minimal Traditional	54. Present osc. ST Residential
* B6. Construction History: (Construction date, alterations, and date of The house was built in 1946 per water and sewer connection records. Mo composition roof and the use of a wrought iron security door. The house in	difications include the replacement of the composition roof with a new
* B7. Moved? ✔No ☐Yes ☐Unknown Date* * B8. Related Features: Detached garage located at the rear	Original Location:
	ev Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Re (Discuss importance in terms of historical or architectural context as defined by The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "smal San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	theme, period, and geographic scope. Also address integrity.) historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically the characteristics of Spanish Eclectic and Minimal et construction types during San Diego's development of the of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
	ISLEVAIR RISCIONIC AL DISCIERE T

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
PRIMARY RECORD			Trinomial			
PRIMART RECORD	Other Listings		NRHP Status Code <u>5D1</u>			
	Review Code	Reviewe	r			Date
Page _1_ of _2_						
* Resource Name or #: 3221 Belle Is	le Drive, APN 476-2	242-21				
P1. Other Identifier:						
* P2. Location: Not for Public	ation Unrestricted			an Diego		
b. USGS 7.5' Quad					1/4 of Sec;	
c. Address 3221 Belle Isle D						
d. UTM: (Give more than one for	-				mE/	
e. Other Locational Data: (e.g. p APN 476-242-21-00; Isl			to resource,	elevation, additi	onai U i Ms, etc. a	is app
* P3a. Description : (Describe resource The house at 3221 Belle Isle Dri						
cross gable roof with composition				-		_
brick chimney on the south side.					•	
ventilator under the gable peak a				~ ~		
awning. The entry porch is locat				-		
wood posts. The entry door is se	_					
wood frame and sash windows v						
security bars have obscured the					•	-
reversible. A weathered wood pi	_	-	_			
analysis of integrity.		1 1	,			
, ,						
* P3b. Resource Attributes: (List attrib	outes and codes) <u>HP2 S</u>	Single fami	ly property			
* P4. Resources Present:	ng Structure OI	bject Site	District	✓ Element of D	istrict Other (Is	solates, etc.)
P5a. Photograph or Drawing (Photo	graph required for buildin	gs, structures	, and objects)	P5b. Description	n of Photo: (View,	date, etc.)
				Photo of the	primary façade	from the
AS.				public right-	of-wav.	
ASA.	a di				structed/Age and	
400.15	ANNA			Prehisto	ric Historic	Both
				=		
					and Sewer Reco	<u>ords</u>
	A SECTION OF THE SECT	_ E	Blands.	* P7. Owner ar		002 T
					& Margarete 20	002 1ru
Bush Market			- Marie	3221 Belle Is San Diego C		
	A STREET, STRE			San Diego C	A 92105	
	分析技术		1	* DO D	Library (Nilarana and CCC)	- (' - -
					d by: (Name, affilia Diego Planning	
	Land Land	2011	W. K.	202 C Street,		Дері
After the second	The state of the s		And the second	San Diego CA		
E - my line (CONTRACTOR OF THE PARTY OF THE			* P9. Date Rec	orded: $1/17/200$	07
			第19 10		Type: (Describe)	
				Intensive (A)	chitectural)	
	The state of the s	*n./c		J		
* P11. Report Citation: (Cite survey re	port/other sources or "nor	ne")				
	cation Map Sketch I		Continuation SI		ilding, Structure, a	
☐ Archaeological Record ☑ District F		re Record	Milling Stati	on Record	ock Art Record	Artifact Record
☐ Photograph Record ☐ Other: (List	:)					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #			
BUILDING, STRUCTURE, AND OBJECT RECORD				
Page _ 2_ of _ 2_	* NRHP Status Code 5D1			
* Resource Name or #: 3221 Belle Isle Drive, APN 476-242-21				
B1. Historic Name:				
B2. Common Name				
	Present Use: <u>SF Residential</u>			
* B5. Architectural Style: Minimal Traditional				
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1935 per water and sewer records. Modificati composition roof; the use of aluminum awnings; and the extensive use of w porch. The house is in good condition and retains a good degree of integrity	ons include the replacement of the composition roof with a new rought iron security bars on the windows and enclosing the entry			
* B7. Moved? No Yes Unknown Date Original Location: * B8. Related Features:				
A detached garage is located at the rear.				
B9a. Architect: <u>Unknown</u> b.	Builder: Unknown			
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>				
Period of Significance 1926-1952 Property Type Resid				
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a hi				
special element of San Diego's historical, social, economic, and				
is comprised of working-class homes reflective of the "small l				
San Diego's expansion away from the city core and beyond the	•			
and population propelled the creation of new infrastructure an	1 0 1 1			
significant under HRB Criterion C, as it embodies distinctive	•			
Traditional styles of the "small house" and "minimum house"	*			
Automobile Suburbs between 1926 and 1952. The first phase				
small house movement of the 1920's and the immense popula				
progressed steadily during the first phase of development before				
Great Depression. The second phase of development (1935-19				
Housing Authority (FHA) through the introduction of Minima				
of Spanish Eclectic homes is also seen during this phase. The	third phase of development (1945-1952) reflects the			
continued popularity of the Minimal Traditional style in the w	vake of the housing shortage following WWII. By the			
end of the third phase of development in 1952, Islenair was no	early built-out with only a few vacant lots remaining.			
B11. Additional Resource Attributes: (List attributes and codes):	(Oliverally and the second of			
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)			
Rolet to Bistilet Biologiuphy for References Cisca				
B13. Remarks:	2005			
	1221 Gallet train Direct			
* B14. Evaluator: City San Diego Planning Staff				
Date of Evaluation: 1/17/2007				
(This space reserved for official comments.)				
	ISLENAIR HISTORIC SLEDSTRIKT			
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		1	Primary #				
		!	HR #Trinomial				
PRIMARY RECORD		1	NRHP Status	Code 5D1			
	Other Listings Review Code	Reviewer				Date	
- 1 . 2							
Page 1 of 2	D.:: ADM 476 24	41 10					
* Resource Name or #: 3222 Belle Isla	e Drive, APN 476-24	41-10					
P1. Other Identifier:			•	D:			
	tion Unrestricted			n Diego			
b. USGS 7.5' Quad					_1/4 of Sec;		
c. Address <u>3222 Belle Isle Dr</u>							
d. UTM: (Give more than one for la	-				mE/		
e. Other Locational Data: (e.g. pa APN 476-241-10-00; Isle			to resource,	elevation, additio	nal UTMs, etc. as	s app	
* P3a. Description: (Describe resource The house at 3222 Belle Isle Driv cross gable roof with composition exterior; and a chimney on the so in the gable end. The right hand s lower than the roofline. The porch single pane fixed aluminum frame BSOR Section B.6. for modification	e was built in 1936 a shingles; a slight eauth side. The left had ide of the house feath cover appears to be and sash windows.	in the Min ave overha nd side of tures a flate e an addition The entry	imal Tradit ng; exposed the house for roof porch on. Fenestra	ional style and d rafter tails; a eatures a front supported on vation consists of	features a med moderately ten facing gable w wood posts and of 1-over-1 sing	dium pitch extured stucco rith clapboard I set slightly gle hung and	
* P4. Resources Present: Building	utes and codes) HP2 Signary Structure Object Taph required for building	ject Site	District	P5b. Description Photo of the p public right-o	etrict ☐ Other (Iso of Photo: (View, orimary façade f-way, etructed/Age and c	from the	
					C TINSTONE		
*				1036 Water a	nd Sewer Reco	orde	
	-	a.F		* P7. Owner and		nus	
	* T	1		Gleason Robe	ert		
				4311 Mt Henr	rv Avenue		
1		3:		San Diego CA			
	THE RESERVE						
IN ASSESSED IN				* P8. Recorded	by: (Name, affilia	tion, address)	
			4		iego Planning		
AND SHAPE OF THE PARTY OF THE P				202 C Street, N		2000	
	THE PERSON AND ADDRESS OF THE PERSON ADDRESS OF THE PERSON AND ADDRESS OF THE PERSON ADDRE		A. III	San Diego CA	92101		
A STATE OF THE STA	700		344				
	No. of the last of		-	* P9. Date Reco	rded: $1/17/200$)7	
				* P10. Survey T Intensive (Arc			
* P11. Report Citation: (Cite survey repo	ort/other sources or "none	a")					
i i i Nepoli Citation. (Cite Survey Tepo	71 (2011) OUT CES OF HORE	~ <i>)</i>					
* Attachments: NONE Loca	tion Map Sketch M	lap $\Box C$	ontinuation Sh	eet .✓ Buil	ding, Structure, ar	nd Object Record	
Archaeological Record District Re	. —	. —	Milling Statio		_	Artifact Record	
Photograph Record Other: (List)		:					

State of California The Resources Agency	Primary #				
DEPARTMENT OF PARKS AND RECREATION	HR#				
BUILDING, STRUCTURE, AND OBJECT RE					
<u> </u>	NRHP Status Code 5D1				
·					
B1. Historic Name:					
B2. Common Name	Present Use: SF Residential				
* B5. Architectural Style: Minimal Traditional	riesent ose. St. Residential				
* B5. Architectural Style: Minimal Traditional * B6. Construction History: (Construction date, alterations, and date of alterations.) The house was constructed in 1936 per water and sewer records. Modifications include the use of moderately textured stucco, the replacement of the composition roofing with new composition roofing, the replacement of the wood frame windows with aluminum windows, the addition of a wrought iron security screen over the entry door, and the addition of a small entry porch cover. The house is in good condition and retains a fair degree of integrity. * B7. Moved? No Yes Unknown Date Original Location:					
A detached garage is located at the rear.					
	Builder: HW Dingle				
* B10. Significance: Theme <u>Early auto-oriented small house dev</u> Period of Significance 1926-1952 Property Type <u>Reside</u>					
(Discuss importance in terms of historical or architectural context as defined by them					
The neighborhood of Islenair is historically significant as a hist special element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small he San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive of Traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development befor Great Depression. The second phase of development (1935-194) Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the way and of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes):	darchitectural development. The neighborhood, which duse" movement, marked a new stage in the City of elimits of natural topography as increases in mobility development to the east. Islenair is also historically haracteristics of Spanish Eclectic and Minimal construction types during San Diego's development of f development (1927-1931) is reflective of both the ty of Spanish Eclectic architecture. Construction the construction came to a halt with the onset of the 41), reflects the work of the newly formed Federal Traditional style architecture. The fading popularity hird phase of development (1945-1952) reflects the acket of the housing shortage following WWII. By the arrly built-out with only a few vacant lots remaining.				
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)				
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	TOTAL STATE OF THE				
	INLEXABLE HINTORILE ALL DON'T BIC T TO SEE ANY OWNERS OF THE PROPERTY.				

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary #				
			HR #			
		Trinomial				
PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
	er Listings					
Rev	view Code	Reviewer	·		D	ate
Page _ 1_ of _ 2_						
* Resource Name or #: 3227 Belle Isle Dri	ve. APN 476-24	12-20				
P1. Other Identifier:	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,					
* P2. Location: Not for Publication	✓ Unrestricted		a. County Sa	n Diego		
b. USGS 7.5' Quad					_1/4 of Sec;	B.M.
c. Address 3227 Belle Isle Drive					, . c. ccc, _	
d. UTM: (Give more than one for large a	nd/or linear feature)				mE/	
e. Other Locational Data: (e.g. parcel						
APN 476-242-20-00; Islenair			to resource,	cicvation, additic	mai OTMS, etc. as	арр
711 17 17 0 2 12 20 00, Islendii	Omt #2 Block o	Lot				
The house at 3227 Belle Isle Drive wa a clay tile shed roof at the parapet line smooth stucco exterior. The main entr accessed via three concrete steps. Fen windows. The entry door is set paralle integrity.	; a low-pitch from a just a set under a just a set under a just a set under a just a set a lower than a lower pitch from a lower pitch a low-pitch from a	ont-gable on projecting ts of paire	entry eleme g, front-gabl d 1-over-1 c	nt set just off-ce element with double hung al	center; and a gen an arched oper aminum frame a	nerally ning and is and sash
* P4. Resources Present: Building		ect Site	District	, —	strict Other (Iso	
P5a. Photograph or Drawing (Photograph	equired for building	s, structures	, and objects)	-	of Photo: (View, d	
-5%				Photo of the p	<u>orimary façade f</u>	from the
				public right-o	f-wav.	
					structed/Age and S	
				Prehistor	c Historic	Both
				-		
A seed	- 40				nd Sewer Recor	:ds
and the same of th	San State of Street, or other last	Millow		* P7. Owner and		
A 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	THE STREET	****	A STATE OF	McTague Pat		
Electric Control of the Control of t	The second second	-		3227 Belle Is		
		- 000		San Diego CA	4 92105	
		100	RE			
100 March 100 Ma					by: (Name, affiliation	
				202 C Street. N	<u>iego Planning I</u>	Dept
	-		STATE OF THE PARTY	San Diego CA		
	The same of the			Ban Diego Cri	72101	
	AND THE PERSON NAMED IN	No. of Concession, Name of Street, or other Persons, Name of Street, or ot	A MALE	* PO Date Peco	rded: <u>1/17/2007</u>	7
The state of the s		11233			ype: (Describe)	<u></u>
		THE REAL PROPERTY.		Intensive (Ar		
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m second	1 Sept. 2					
* P11 Papart Citation: (Cita auman ranget)	or courses or "par-	\"\		J		-
* P11. Report Citation: (Cite survey report/oth	er sources or "none	÷ /				
* Attachments: NONE Location N	Map	an 🗆	ontinuation Sh	noot A Dad	Idina Structura se	1 Object Bassed
	Linear Feature		Milling Station		Iding, Structure, and ock Art Record	Artifact Record
Photograph Record Other: (List)	Caldie		ig Otati	1.000iui\.		

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT R	
Page 2 of 2	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3227 Belle Isle Drive, APN 476-242-20	
B1. Historic Name:	
B3. Original Use: SF Residential B	A Present Use: SE Pasidential
* B5. Architectural Style: Spanish Eclectic	4. Tresent ose. <u>St. Residential</u>
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1930 per water and sewer records. Modificat with aluminum frame and sash windows. The house is in good condition and	ions include the replacement of the wood frame and sash windows
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateO * B8. Related Features: A detached garage is located at the rear.	riginal Location:
-	Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Resignation (Discuss importance in terms of historical or architectural context as defined by the special element of San Diego's historically significant as a historical element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure as significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house." Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-1 Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the vend of the third phase of development in 1952, Islenair was in B11. Additional Resource Attributes: (List attributes and codes):	istoric district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction for construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal al Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the work of the housing shortage following WWII. By the
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #			
DEL ARTIMENT OF FARROAND REGRE	ATTON		HR # Trinomial			
PRIMARY RECORD				Code 5D1		
	Other Listings					
	Review Code	Reviewer	•			Date
Page _ 1_ of _ 2_						
* Resource Name or #: 3235 Belle Isla	e Drive, APN 476-	242-19				
P1. Other Identifier:						
* P2. Location: Not for Publica	tion 🗸 Unrestricted	i	a. County Sa	ın Diego		
b. USGS 7.5' Quad		Date	_T; R	; 1/4 of _	1/4 of Sec	_; B.M.
c. Address 3235 Belle Isle Dr	ive		City <u>San</u>]	Diego		Zip <u>92105</u>
d. UTM: (Give more than one for la	arge and/or linear featu	ire)	Zon	e,	mE/_	mN
e. Other Locational Data: (e.g. pa APN 476-242-19-00; Isle			to resource,	elevation, addit	ional UTMs, etc.	as app
* P3a. Description: (Describe resource The house at 3235 Belle Isle Driv cross gable roof with composition right hand side of the house featur paired 1-over-1 aluminum frame centered on the house and feature perpendicularly to the sidewalk. It sash windows. Refer to BSOR Se	re was built in 194 in shingles; a slight res a front facing gand sash windows a roof extension Fenestration consistion B.6. for mod	7 in the Mineave overhagable with a The entry part of 1-over lifications and	imal Tradit ang; and a radit louvered of borch, which y a decorated I double had analysis	tional style and moderately tex utlet ventilator h is accessed vive wrought in ung and caser of integrity.	d features a m tured stucco e r under the ga via 4 concrete on post. The e	nedium pitch exterior. The ble peak and e steps, is entry door is set
	utes and codes) <u>HP2</u>				Caracian Double and	(11-1
	g Structure C				istrict Other	• •
P5a. Photograph or Drawing (Photog	raph required for buildi	ngs, structures	, and objects)		on of Photo: (View	
					primary façac	
				* P6 Date Cor	of-wav. istructed/Age an	nd Sources:
				Prehisto		
					TIO TISTOTIC	
				1047 Weter	and Sewer Re	
				* P7. Owner a		corus
			and the sales	Cauthen Fan	nily Trust 01-1	19-96
	and the		ALC: N	3235 Belle I		
	45	三		San Diego C		
4		1	A COLUMN			
THE RESERVE		1 101		* P8. Recorded	d by: (Name, aff	iliation, address)
			1000		Diego Plannin	g Dept
	1000	100		202 C Street,		
		THE R. P. LEWIS CO., LANSING, MICH.		San Diego CA	X 92101	
		Den 15 9	AL N	* DO D-1- D	orded: 1/17/2	007
The state of the s					Type: (Describe	
		- WAL		Intensive (A		<i>‡)</i>
	1	-				
		-	The same of the sa			
* P11. Report Citation: (Cite survey repo	ort/other sources or "no	one")				
		.,				
* Attachments: NONE Loca	tion Map Sketch	Мар ПС	ontinuation SI	neet Bu	uilding, Structure,	and Object Record
☐ Archaeological Record ✓ District R	ecord Linear Featu	ure Record	Milling Station		lock Art Record	Artifact Record
Photograph Record Other: (List)			-			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3235 Belle Isle Drive, APN 476-242-19	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	54. Tresent osc. St. Residential
* B6. Construction History: (Construction date, alterations, and date of	(alterations)
The house was constructed in 1947 per water and sewer records. Modifice of the composition roof with a new composition roof, the replacement of replacement of the porch post with a decorative wrought iron post. The house	ations include the use of moderately textured stucco, the replacement the wood frame and sash window with aluminum windows, and the
* B7. Moved? ✓ No Yes Unknown Date	Original Location:
B9a. Architect: <u>Unknown</u>	b. Builder: Cummins Brothers
* B10. Significance: Theme Early auto-oriented small house de	ev Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Res	sidential Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "smal San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularizes progressed steadily during the first phase of development be Great Depression. The second phase of development (1935-Housing Authority (FHA) through the introduction of Minimof Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically the characteristics of Spanish Eclectic and Minimal est construction types during San Diego's development of the of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $\underline{1/17/2007}$	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL DISTRICT

DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD		Primary #			
		HR #			
		Trinomial			
PRIMART RECORD		NRHP Status Code 5D1			
	Other Listings				
	Review Code Rev	viewer	Date		
Page _1_ of _2_					
Resource Name or #: 3243 Belle Isl	e Drive, APN 476-242-18				
P1. Other Identifier:					
P2. Location: Not for Publica	tion Vunrestricted	a. County <u>San Diego</u>			
b. USGS 7.5' Quad	Date		1/4 of Sec;B.M.		
c. Address 3243 Belle Isle Dr		City San Diego			
d. UTM : (Give more than one for I			mE/mN		
,	•	tions to resource, elevation, additi			
	enair Unit #2 Block 8 Lot 3		onal ormo, otol ac app		
111111702121000, 1510	Shan Cint "2 Block o 20t .				
The house at 3243 Belle Isle was with composition shingles; slight accessed via 5 concrete steps, is a single squared post. The entry chung aluminum windows. The window to the left to the same of th	eave overhang; and a mode centered on the main façac door is set perpendicularly indow to the far right of the	derately textured stucco exteri le and covered by a projection to the sidewalk. Fenestration he entry features wood shutter	or. The entry porch, which is a of the roofline supported on consists of 1-over-1 single s and an aluminum awning		
* P4. Resources Present: Buildin	utes and codes) HP2 Single and codes HP2 Single are are are are are are are are are ar	Site District Flement of D ptures, and objects) P5b. Description Photo of the public right- * P6. Date Con	istrict Other (Isolates, etc.) on of Photo: (View, date, etc.) primary façade from the of-way. istructed/Age and Sources:		
		1950 Water at Pr. Owner at Ngo Phuc SV	WJT Ngo Huynh Minh v Street #104		
		* P8. Recorded City of San I 202 C Street, San Diego CA	d by: (Name, affiliation, address) Diego Planning Dept MS 4A 4 92101 orded: 1/17/2007 Type: (Describe)		
* P11. Report Citation: (Cite survey rep	ort/other sources or "none")ation Map Sketch Map	Continuation Sheet ✓ Bu	uilding, Structure, and Object Record		
- -	ecord Linear Feature Recor		ock Art Record Artifact Record		

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT	
Page 2 of 2	* NRHP Status Code 5D1
* Resource Name or #: 3243 Belle Isle Drive, APN 476-242-18 B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1950 per water and sewer records. Modific of the composition roof with a new composition roof, the replacement of stair railing and security bars over the windows. The house is in good control of the construction of the construction of the replacement of stair railing and security bars over the windows.	ations include the use of moderately textured stucco, the replacement the windows with aluminum windows, and the use of a wrought iron
* B7. Moved? No Yes Unknown Date * B8. Related Features:	Original Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u>	
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	•
San Diego's expansion away from the city core and beyond	1 0 1 1
and population propelled the creation of new infrastructure	*
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popu	J 1
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	•
Housing Authority (FHA) through the introduction of Minir	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(0) 11 31 11 1 1
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Biologiaphy for References oscu	
B13. Remarks:	
	Million Well State and Crime
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DISTRICT
	Total schedul e 161 e pritols.

			Primary #			
PRIMARY RECORD		NRHP Status	Code 5D1			
	Other Listings Review Code Re	viewer			Date	
- 1 . 2	Treview Code Ite	viewei			Date	
Page 1 of 2 * Resource Name or #: 3244 Belle Isle	Drive APN 476-241-13	!				
P1. Other Identifier:	DIIVC, AI IV 470-241-13	<u> </u>				
* P2. Location: Not for Publication	on Unrestricted	a. County <u>Sa</u>	n Diego			
b. USGS 7.5' Quad						
c. Address 3244 Belle Isle Driv						
d. UTM: (Give more than one for large. Other Locational Data: (e.g. pare			elevation addition			
APN 476-241-13-00; Islen			eievation, additio	onai O i ws, etc.	as app	
* P3a. Description : (Describe resource at The house at 3244 Belle Isle Drive		-		_		
cross-gable roof with composition			•		•	
exterior; and a chimney on the wes		• •		•		
clapboard in the gable end, an alun	•			~ ~		
façade. The left hand side of the ho						
the roof supported on paired square						
of 3-over-3 double hung wood fram						
iron security bars cover the doors a				-		
integrity.						
* D2h Decembe Attributes. // ist attribut	es and codes) HP2 Single	family property				
•		Site District	✓ Element of Dis	strict Other	(Isolates etc.)	
P5a. Photograph or Drawing (Photogra			P5b. Description	_	,	
T 3a. Thotograph of Drawing (Filotogra	ipri required for buildings, stru	ciules, and objects)	Photo of the 1			
			public right-c	. • •		
			* P6. Date Cons	structed/Age an	nd Sources:	
			Prehistor	ic 🗸 Historic	Both	
			100= ***			
			1937 Water a		cords	
			Clemons Cur			
1	11	The state of	3244 Belle Is			
		A. 312	San Diego Ca			
The same of the sa	# # TT	The state of				
A CONTRACTOR OF THE PARTY OF TH	A THEOREM		* P8. Recorded			
		The state of the s	City of San D		g Dept	
	The state of the s	STATE OF THE PERSON	202 C Street, N San Diego CA			
		- 0	Sun Biogo eri	7=101		
			* P9. Date Reco	orded: $1/17/2$	007	
一种,他们			* P10. Survey T		e)	
			Intensive (Ar	chitectural)		
* P11. Report Citation: (Cite survey repor	t/other sources or "none")		I			
The Report Citation. (One survey repor	would souldes of Holle)					
* Attachments: NONE Locati	on Map Sketch Map	Continuation Sh	neet 🗸 Bui	Iding, Structure,	and Object Record	
☐ Archaeological Record		rd Milling Station		ock Art Record	Artifact Record	
Photograph Record Other: (List)						

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT R	
Page 2 of 2	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3244 Belle Isle Drive, APN 476-241-13 B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential B	4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	<u>or residential</u>
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1937 per water and sewer records. Modificat of the composition roof with a new composition roof, the replacement of o stair railing and security bars over the windows. The house is in good conditions to the construction of the composition roof with a new composition roof, the replacement of the composition roof with a new composition roof.	ions include the use of moderately textured stucco, the replacement ne window with an aluminum window, and the use of a wrought iron
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateO * B8. Related Features:	riginal Location:
A detached garage is located at the rear.	
B9a. Architect: Unknown b.	Builder: Unknown
	Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Resi	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a h	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small	•
San Diego's expansion away from the city core and beyond t	1 0 1 0
and population propelled the creation of new infrastructure at	•
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house"	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popular	2 1
progressed steadily during the first phase of development bef	
Great Depression. The second phase of development (1935-1	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Minim	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was n	early built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
2.01.1.0	
	TOTAL States (total Clay)
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DISTRICT
	Total de Commencial et al 1 m (MACA).

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #			
PRIMARY RECORD		NRHP Status	Code <u>5D1</u>			
	ther ListingsReview Code Re	wiewer			Date	
	eview Code ite	Wiewei			Date	
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3250 Belle Isle Di</u>	rive APN 476-241-14	L				
P1. Other Identifier:	,0,1111111110					
* P2. Location: Not for Publication		a. County <u>Sa</u>				
b. USGS 7.5' Quad						
c. Address 3250 Belle Isle Drived. UTM: (Give more than one for large) lego,			
e. Other Locational Data: (e.g. parcel APN 476-241-14-00; Islenain	#, legal description, dire	ctions to resource,				
* P3a. Description: (Describe resource and The house at 3250 Belle Isle Drive w hipped roof with composition shingle entry is set to the left and is accessed windows with decorative shutters. The frame and sash windows flanking the modifications and analysis of integrit	es; minimal eave over by two concrete steps he porch posts appear door may have been	e Minimal Tradit hang; and a heav s. Fenestration co to have been ren	ional style and fily textured stronsists of 4-over noved at some	features a mucco exterior. er-4 double h point in time	edium-pitch The main ung wood , and the wood	
* P4. Resources Present: Building	and codes) <u>HP2 Single</u> Structure Object [required for buildings, stru	Site District	✓ Element of Dis P5b. Description Photo of the p	n of Photo: (View	w, date, etc.)	
			public right-o	of-way.		
			* P6. Date Cons	•		
			Prehistor	ic Historic	Both	
			1941 Water a	nd Sewer Re	cords	
			* P7. Owner and	d Address:	0100	
3	PM	n offic	Allen Robert 3250 Belle Is			
		-	San Diego CA			
			* P8. Recorded			
			City of San D 202 C Street, N		g Dept	
-			San Diego CA			
All de			* P9. Date Reco	1/17/20	007	
			* P10. Survey T			
Hard Control of the C	San Market	The same of	Intensive (År			
* P11. Report Citation: (Cite survey report/o	ther sources or "none")		J			
(2.10 34.75) 150010						
* Attachments: NONE Location		Continuation Sh		-	and Object Record	
☐ Archaeological Record ☑ District Record ☐ Photograph Record ☐ Other: (List)	d Linear Feature Reco	ord Milling Station	on RecordRo	ock Art Record	Artifact Record	

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3250 Belle Isle Drive, APN 476-241-14	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u> B4	Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1941 per water and sewer records. Modification the composition roof with a new composition roof, and the apparent removes flanking the entry door at an early date. The house is in good condition and	ions include the use of heavily textured stucco, the replacement of al of the porch posts and the probable addition of the windows
* B7. Moved? ✓ No Yes Unknown Date Or * B8. Related Features:	riginal Location:
A detached garage is located at the rear.	
A detached garage is located at the rear.	
DOs Aubitant I Infraoren	Duilden University
B9a. Architect: <u>Unknown</u> b. * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area San Diego
Period of Significance 1926-1952 Property Type Resi	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	storic district under HRB Criterion A, as an intact and
special element of San Diego's historical, social, economic, a	nd architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small l	house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond the	ne limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure ar	nd development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house"	construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase	of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popula	
progressed steadily during the first phase of development before	ore construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-19	941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minima	al Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The	third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the w	wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was no	early built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	The state of the s
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DISTRICT
	Total surface a terminals

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #				
			HR #				
DDIMADY DECORD			Trinomial				
PRIMARY RECORD			NRHP Status C	ode <u>5D1</u>			
	Other Listings Review Code	Reviewer				 Date	
Page _ 1_ of _ 2_							
* Resource Name or #: 3251 Belle Isl	e Drive APN 476-2	42-17					
P1. Other Identifier:	0 1011,0,1111, 170 2	12 17				-	
	tion Unrestricted		a. County San	Diego			
b. USGS 7.5' Quad	 -					В.М.	
c. Address 3251 Belle Isle Dr							
d. UTM: (Give more than one for la	arge and/or linear feature				mE/		
e. Other Locational Data: (e.g. pa APN 476-242-17-00; Isle			to resource, ele	∍vation, additio	nal UTMs, etc. as	s app	
* P3a. Description: (Describe resource The house at 3251 Belle Isle Driv tile shed roof at the parapet line; entry porch is set to the left and is the sidewalk. Fenestration consist modifications and analysis of interpretation.	ve was built in 1928 a medium-pitch from s supported by a heats of a fixed arch wi	in the Spar nt-gable bay nvy square	nish Eclectic y set to the rig timber post. T	style and feat ght; and a sm The entry doo	tures a flat roo ooth stucco ex or is set perpen	of with a clay atterior. The adicularly to	
	utes and codes) <u>HP2 S</u> g Structure Ob			☑ Element of Dis	trict Other (Is	colates, etc.)	
P5a. Photograph or Drawing (Photog	raph required for building	gs, structures	and objects)	5b. Description	of Photo: (View,	date, etc.)	
			I I	hoto of the p	rimary façade	from the	
	THE STATE OF THE S		n n	oublic right-o	f-wav.		
	'Y)	Secretary of the second	*		tructed/Age and		
	V,			Prehistori	c ✓ Historic	Both	
H	100		建	000 111	1.0 5		
Acres 1				<u>928 Water an</u> P7. Owner and	nd Sewer Reco	ords	
The second second			20 (2)	Lopreste Dani			
The second second		100	Last Control Control Control	3251 Belle Isl			
Ren	A Company of the		THE RESERVE AND ADDRESS OF THE PARTY OF THE	San Diego, Ca			
	5000 40						
	The state of the s	W 6	*	P8. Recorded	by: (Name, affilia	ation, address)	
		V V		City of San D	iego Planning		
2/4 Marie 1997			2	02 C Street, M	IS 4A		
			S	San Diego, CA	92101		
	TOWN TO THE	The same of		D0 D-1- D	rded: 1/17/200)7	
		4100			·) /	
	San Maria			ntensive (Arc	ype: (Describe) chitectural)		
* P11. Report Citation: (Cite survey rep	ort/other sources or "nor	ne")					
* Attachments: NONE Loca	ation Map Sketch N	Мар <u>С</u>	ontinuation Shee	et 🕜 Buil	ding, Structure, a	nd Object Record	
☐ Archaeological Record ✓ District R	ecord Linear Featur	e Record	Milling Station	Record Ro	ck Art Record	Artifact Record	
Photograph Record Other: (List)							

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #					
BUILDING, STRUCTURE, AND OBJECT RECORD						
· · · · · · · · · · · · · · · · · · ·	* NRHP Status Code 5D1					
* Resource Name or #: 3251 Belle Isle Drive, APN 476-242-17						
B1. Historic Name:						
B2. Common Name						
	Present Use: <u>SF Residential</u>					
* B5. Architectural Style: <u>Spanish Eclectic</u>						
* B6. Construction History: (Construction date, alterations, and date of al The house was constructed in 1928 per water and sewer records. Modification The house is in excellent condition and retains a very good degree of integri	ons include the possible in-kind replacement of the clay tile roof.					
* B8. Related Features:	ginal Location:					
A detached garage is located at the rear.						
B9a. Architect: Unknown b.	Builder: Charles Tifal					
* B10. Significance: Theme Early auto-oriented small house dev						
Period of Significance 1926-1952 Property Type Resident						
(Discuss importance in terms of historical or architectural context as defined by the						
The neighborhood of Islenair is historically significant as a his						
special element of San Diego's historical, social, economic, ar						
is comprised of working-class homes reflective of the "small h	•					
San Diego's expansion away from the city core and beyond the	1 0 1 0					
and population propelled the creation of new infrastructure an significant under HRB Criterion C, as it embodies distinctive	•					
Traditional styles of the "small house" and "minimum house"	•					
Automobile Suburbs between 1926 and 1952. The first phase						
small house movement of the 1920's and the immense popular						
progressed steadily during the first phase of development before						
Great Depression. The second phase of development (1935-19						
Housing Authority (FHA) through the introduction of Minima	l Traditional style architecture. The fading popularity					
of Spanish Eclectic homes is also seen during this phase. The	third phase of development (1945-1952) reflects the					
continued popularity of the Minimal Traditional style in the w	• •					
end of the third phase of development in 1952, Islenair was ne	early built-out with only a few vacant lots remaining.					
B11. Additional Resource Attributes: (List attributes and codes):	(Objects), we will result a series of					
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)					
total to District District for the control of the c						
B13. Remarks:						
	BEET Baris value Drive					
* B14. Evaluator: City San Diego Planning Staff						
Date of Evaluation: 1/17/2007						
(This space reserved for official comments.)						
	ISLENAIR HISTORIE AL DISTRICT					
	10110 SONSON & 1811 P. P. P. S.					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary #HR #				
PRIMARY RECORD						
	Other Listings Review Code		er			Date
Page1_ of2_						
* Resource Name or #: 3261 Belle Isla	e Drive. APN 476	5-242-16				
P1. Other Identifier:	<u> </u>					
	tion U nrestricte	ed .	a. County Sa	n Diego		
b. USGS 7.5' Quad			-			
c. Address 3261 Belle Isle Dr						
d. UTM: (Give more than one for la					mE/	
e. Other Locational Data: (e.g. pa						
APN 476-242-16-00; Isle			o 10 1000u100,	olovation, addit	ionar o imo, oto.	uo upp
* P3a. Description: (Describe resource The house at 3261 Belle Isle Driving gable clay tile roofs; clipped eave north elevation. The entry access facing gable bay and features a nation over-1 double hung wood window of the entry, and 1-over-1 double B.6. for modifications and analyse	we was built in 192 es with a rounded ed via two concre arrower projecting w with decorative hung wood frame	28 in the Spacornice; clay te steps and g gable elem shutters in the shutters	nnish Eclect y tile vents; is centered ent with arc he gabled ba	ic style on a c smooth stucco on the main fa thed entryway ay, a large fixe	orner lot and for walls; and a acade to the learn remains a remains a few arched win arc	features a cross chimney on the ft of the front- consists of a 6- dow to the left
* P4. Resources Present: Buildin	utes and codes) HP2 g Structure	Object Site	e District	✓ Element of D	vistrict Other	,
P5a. Photograph or Drawing (Photog	graph required for build	aings, structure	s, and objects)		primary façac	
					primary raçac of-wav.	
					or-wav. nstructed/Age ar	
No of				Prehisto		
				1028 Water	and Sewer Re	oords
				* P7. Owner a		corus
	- 44	All of the second			F & Donna F	7
	# 3			3261 Belle I		
				San Diego, 0		
	of the last of the	The same				
	N. J.	mo fre		* P8 Recorde	d hv: (Name aff	filiation, address)
	Plant	A DE	· 生产		Diego Plannin	
				202 C Street,		ig Dtair
	7			San Diego, C.		
		and the sales	No. 19			
The state of the s		1	Marie -	* P9. Date Red	corded: $1/17/2$.007
	The same of the sa			* P10. Survey	Type: (Describe	e)
	TEX CO.	STATE OF		Intensive (A		·
The state of the s			Bearing			
		1				
* P11. Report Citation: (Cite survey rep	ort/other sources or "r	none")				
(2.1.2.2.1.3)		,	-			
* Attachments: NONE Loca	ation Map Sketc	h Map	Continuation SI	heet 🗸 B	uilding, Structure.	, and Object Record
Archaeological Record ✓ District R	. —	. —	Milling Station		Rock Art Record	Artifact Record
Photograph Record Other: (List)		,	- -			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #					
BUILDING, STRUCTURE, AND OBJECT RECORD						
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5B</u>					
* 7						
B1. Historic Name:						
B2. Common Name						
	4. Present Use: <u>SF Residential</u>					
* B5. Architectural Style: Spanish Eclectic						
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1928 per water and sewer records. Modificat The house is in excellent condition and retains a very good degree of integral to the condition of the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of integral to the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree of the condition and retains a very good degree	ions include the possible in-kind replacement of the clay tile roof.					
* B8. Related Features:	riginal Location:					
A detached garage is located at the rear.						
B9a. Architect: <u>Unknown</u> b.						
* B10. Significance: Theme <u>Early auto-oriented small house developerated of Significance 1926-1952</u> Property Type <u>Residented Significance Residented Significance Residen</u>						
(Discuss importance in terms of historical or architectural context as defined by the						
The neighborhood of Islenair is historically significant as a his						
special element of San Diego's historical, social, economic, a						
is comprised of working-class homes reflective of the "small						
San Diego's expansion away from the city core and beyond the	•					
and population propelled the creation of new infrastructure as	1 0 1 0					
significant under HRB Criterion C, as it embodies distinctive	•					
Traditional styles of the "small house" and "minimum house"	•					
Automobile Suburbs between 1926 and 1952. The first phase						
small house movement of the 1920's and the immense popular						
progressed steadily during the first phase of development bef						
Great Depression. The second phase of development (1935-1						
Housing Authority (FHA) through the introduction of Minim	•					
of Spanish Eclectic homes is also seen during this phase. The	•					
continued popularity of the Minimal Traditional style in the						
end of the third phase of development in 1952, Islenair was n	•					
B11. Additional Resource Attributes: (List attributes and codes):	builty built out with only a low vacant lots follaming.					
* B12. References:	(Sketch map with north arrow required)					
Refer to District Bibliography for References Used						
B13. Remarks:						
	Solitoria (Marie La Origon)					
* B14. Evaluator: City San Diego Planning Staff						
Date of Evaluation: 1/17/2007						
(This space reserved for official comments.)						
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State of California The Resources Agency		Primary # HR #				
DEPARTMENT OF PARKS AND RECREATION						
		-	rinomial			
PRIMARY RECORD			NRHP Status Code	5D1		
	Other Listings Review Code					Date
Page _ 1_ of _ 2_						
* Resource Name or #: 3262 Belle Is	sle Drive, APN 476-	241-15				
P1. Other Identifier:						
	ation Vunrestricted	i a	. County <u>San Die</u>	go		
b. USGS 7.5' Quad			T; R;		1/4 of Sec	;B.M.
c. Address 3262 Belle Isle I			_City San Diego			
d. UTM: (Give more than one for	large and/or linear featu					mN
e. Other Locational Data: (e.g. APN 476-241-15-00; Is			to resource, elevati	on, additio	onal UTMs, etc	. as app
The house at 3262 Belle Isle Dr multi-gabled roofs with compose east façade. The main entry, acceprojection supported on 4x4 wo center bay, an 8-lite vinyl slider doors and windows. An addition Refer to BSOR Section B.6. for	ive was built in 193 ition shingles; clapbressed via two concrud posts. Fenestration window, and an alunat the rear is visible	7 in the Mini- poard siding; rete steps, is son consists of minum slide e, but is step	mal Traditional multiple recesse set on the center f two fixed mult r. Wrought iron ped back from the	style on d bays; a bay and i-light we security	a corner lot a and a brick c is covered b bood frame w bars have be	and features himney on the y a shed roof indows on the en added to the
P4. Resources Present: Build	ibutes and codes) $\frac{\mathrm{HP2}}{\mathrm{Imp}}$ ing $\frac{\mathrm{HP2}}{\mathrm{Imp}}$ Structure $\frac{\mathrm{HP2}}{\mathrm{Imp}}$ ograph required for buildi	Object Site	District Eleand objects) P5b. Photouble * P6.	Description o of the place ic right-o	strict Othern of Photo: (Vieprimary faça of-way. structed/Age aric Histori	ew, date, etc.) de from the nd Sources:
			* P7. Estra 3262	Owner an ada Lidia 2 Belle Is		ecords
					Diego Staff MS 4A	filiation, address)
			* P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural)			
P11. Report Citation: (Cite survey re	port/other sources or "no	one")				
Attachments: NONE Lo Archaeological Record District			ontinuation Sheet Milling Station Reco		ilding, Structure	, and Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #					
BUILDING, STRUCTURE, AND OBJECT RECORD						
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>					
* Resource Name or #: 3262 Belle Isle Drive, APN 476-241-15						
B1. Historic Name:						
B2. Common Name						
	Present Use: <u>SF Residential</u>					
* B5. Architectural Style: Spanish Eclectic						
* B6. Construction History: (Construction date, alterations, and date of alterations.) The house was constructed in 1937 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the replacement of some windows with aluminum and vinyl windows, he use of a wrought iron security bars over the windows, and a 2002 addition at the rear which is visible, but stepped back from the main façade and clearly new. The house is in good to fair condition and retains a good to fair degree of integrity. * B7. Moved? No Yes Unknown Date Original Location:						
* B8. Related Features:						
A detached garage is located at the rear.						
B9a. Architect: <u>Unknown</u> b.	P. W. H. H. L.					
* B10. Significance: Theme Early auto-oriented small house dev						
Period of Significance 1926-1952 Property Type Resi						
(Discuss importance in terms of historical or architectural context as defined by the						
The neighborhood of Islenair is historically significant as a hi						
special element of San Diego's historical, social, economic, a						
is comprised of working-class homes reflective of the "small	•					
San Diego's expansion away from the city core and beyond the	1 0 1 1					
and population propelled the creation of new infrastructure at	*					
significant under HRB Criterion C, as it embodies distinctive	•					
Traditional styles of the "small house" and "minimum house' Automobile Suburbs between 1926 and 1952. The first phase						
small house movement of the 1920's and the immense popular						
progressed steadily during the first phase of development before						
Great Depression. The second phase of development (1935-1						
Housing Authority (FHA) through the introduction of Minima						
of Spanish Eclectic homes is also seen during this phase. The						
continued popularity of the Minimal Traditional style in the v						
end of the third phase of development in 1952, Islenair was n	early built-out with only a few vacant lots remaining.					
B11. Additional Resource Attributes: (List attributes and codes):						
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)					
Refer to District Biologiaphy for References used						
B13. Remarks:						
	SHI Sub-Ma Dries					
* B14. Evaluator: City San Diego Planning Staff						
Date of Evaluation: 1/17/2007						
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	ISLEVAIR HISTORICAL DISTERCT					
	Total communities of an expension.					

DEPARTMENT OF PARKS AND RECREATION			Primary #			
			HR #Trinomial			
PRIMARY RECORD						
TRIMART REGORD	Other Lietings					
	Review Code	Revie	ewer			Date
1 2	Treview Code					
Page 1 of 2	a Duizea ADN 4	76 151 10				
* Resource Name or #: 3304 Belle Isl	e Drive, APN 4	/0-131-19				
P1. Other Identifier: * P2. Location: Not for Publica	ation 🗸 Unrestric	etad	a County S	an Diego		
b. USGS 7.5' Quad			-			
c. Address 3304 Belle Isle Di						
d. UTM: (Give more than one for					mE/	
e. Other Locational Data: (e.g. p	-					
APN 476-151-19-00; Isla					,	
multi-gable roofs with clay tiles; smooth stucco exterior; and a chi is enclosed by a low stucco wall sidewalk. Fenestration consists o left bay, Craftsman pattern multi-and 1-over-1 double hug wood fr sash windows throughout. Two Mand analysis of integrity.	imney on the sounder a low-poing of single pane caulights-over-1 downward and sash w	uth elevation of arched op sement woo ouble hung vindows at the	n. The main er pening. The en d frame windo wood frame ar ne entry porch,	ntry is flanked atry door is secows under a f and sash winder and 1-over-1	I by projecting t perpendicular ixed triangular bws in the right I double hung	g gable bays and arly to the r transom in the at bay, multi-lite wood frame and
	•	Object	Site District	Photo of the public right * P6. Date Co	District Other of Photo: (Vice primary faças of-way.	ew, date, etc.) de from the and Sources:
A Comment of the Comm		1000	L	Prenis	toric Histori	ic Both
		_1		1931 Water	and Sewer R	ecords
The second secon				* P7. Owner		00100
		MACA.			k W and Barb	ara P
The second second	1	- 100		3304 Belle		
				San Diego.	CA 92105	
	MATTER P		Table 1	* B0 B 1	(N	(CP - C)
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一个是一个人的。 第一个人的是一个人的是一个人的是一个人的是一个人的是一个人的是一个人的是一个人的是		-	NAME OF THE OWNER, OF THE OWNER, OF THE OWNER, OF THE OWNER, OWNER, OWNER, OWNER, OWNER, OWNER, OWNER, OWNER,		Type: (Describ	pe)
7)	The same			Intensive (A	Architectural)	
			AND THE REAL PROPERTY.			
* P11 Penort Citation: (Cita current con	ort/other sources	r "nono"\				
* P11. Report Citation: (Cite survey rep	ontourer sources of	11011 0)				
* Attachments: NONE Loc	ation Map Ske	etch Map	Continuation S	heet F	Building, Structure	e, and Object Record
	Record Linear F		_	_	Rock Art Record	Artifact Record
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #					
BUILDING, STRUCTURE, AND OBJECT I						
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5B</u>					
* Resource Name or #: 3304 Belle Isle Drive, APN 476-151-19						
B1. Historic Name:						
B2. Common Name						
B3. Original Use: SF Residential	B4. Present Use: SF Residential					
* B5. Architectural Style: Spanish Eclectic	<u>or residential</u>					
* B6. Construction History: (Construction date, alterations, and date of alterations.) The house was constructed in 1931 per water and sewer records. Modifications include the possible in-kind replacement of the clay tile roof. The house is in excellent condition and retains a very good degree of integrity.						
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features: A detached garage is located at the rear.	Original Location:					
-	ev Area <u>San Diego</u>					
Period of Significance 1926-1952 Property Type Re						
(Discuss importance in terms of historical or architectural context as defined by The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "smal San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was	historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically the characteristics of Spanish Eclectic and Minimal ethic construction types during San Diego's development of the of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the					
B11. Additional Resource Attributes: (List attributes and codes):	induity carry and with the transfer in the second s					
* B12. References:	(Sketch map with north arrow required)					
Refer to District Bibliography for References Used B13. Remarks:	Total States to be Deleted					
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)						
	SLENAIR IURIDHIC AL DISTRICT FOLSO CONTROL OF TOTAL DISTRICT FOL					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD				Code <u>5D1</u>		
	Other Listings Review Code		r			
Page1_ of2_						
* Resource Name or #: 3315 Belle Isle	e Drive, APN 476	-152-12-00				
P1. Other Identifier:						
	tion U nrestricted	d	a. County Sa	n Diego		
b. USGS 7.5' Quad			-			
c. Address 3315 Belle Isle Dr						
d. UTM: (Give more than one for la				e,		
e. Other Locational Data: (e.g. pa APN 476-152-12-00; Isle			to resource,	elevation, additi	onal UTMs, etc. a	as app
The house at 3315 Belle Isle Driv clay tile roof at the parapet; clipp south elevation. The entry, access supported on square posts. The end hung wood frame and sash windows on the side of the side	ed eaves; clay tile sed via two concre ntry door is set par ows with decorativ	vents and dete steps, is smallel to the steps, see shutters, s	rains; a smo et to the rig sidewalk. Fe ingle pane f	ooth stucco ext ht and is cover enestration cor ixed wood fra	erior; and a cheed by a shed a sists of 1-ove me windows, a	nimney on the roof projection r-1 double and 1-over-1
* P4. Resources Present: Buildin	utes and codes) <u>HP2</u> g Structure 0 graph required for build	Object Site	District	P5b. Description Photo of the public right-control Photo Pho	strict Other (In of Photo: (View primary façado)f-way.	e from the
				* P7. Owner an	and Sewer Rec	
	A SANSAGE AND ASSAGE			3315 Belle Is		LIKS
THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS NAM				San Diego, C		
				* P8. Recorded City of San I 202 C Street, I San Diego, CA * P9. Date Reco	l by : (Name, affil Diego Planning MS 4A	g Staff
* P11. Report Citation: (Cite survey rep	ort/other sources or "n	one")		Intensive (Ar		
	S. Johnst Godings Of Th	···· ,				
* Attachments: NONE Local Archaeological Record District R			Continuation Sh		ilding, Structure, a	and Object Record Artifact Record

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3315 Belle Isle Drive, APN 476-152-12-00	
B1. Historic Name:	
B3. Original Use: SF Residential B4	Present Use: SE Decidential
* B5. Architectural Style: Spanish Eclectic	. Flesent ose. <u>SF Residential</u>
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1930 per water and sewer records. Modificati good condition and retains a good degree of integrity.	
* B7. Moved? ✔ No Yes Unknown Date Or * B8. Related Features: A detached garage is located at the rear.	iginal Location:
B9a. Architect: <u>Unknown</u> b. * B10. Significance: Theme Early auto-oriented small house dev	Builder: OG Dobbs Area San Diego
Period of Significance 1926-1952 Property Type Resid	
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a his special element of San Diego's historical, social, economic, as is comprised of working-class homes reflective of the "small Is San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure an significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house" Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-194). Housing Authority (FHA) through the introduction of Minima of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the wend of the third phase of development in 1952, Islenair was not be a support of the Minimal Resource Attributes: (List attributes and codes):	storic district under HRB Criterion A, as an intact and architectural development. The neighborhood, which nouse" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the rity of Spanish Eclectic architecture. Construction one construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal al Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the vake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
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DEPARTMENT OF PARKS AND RECREATION		•	Filliary #			
			HR #Trinomial			
PRIMARY RECORD		NRHP Statu	ıs Code <u>5D1</u>			
	Other Listings					
	Review Code				Date	
Page _ 1_ of _ 2_						
* Resource Name or #: <u>3323 Belle Isle</u>	Drive, APN 476-152	-05				
P1. Other Identifier:						
	ion Unrestricted					
b. USGS 7.5' Quad	Date	e;R_	; 1/4 of	_1/4 of Sec;	B.M.	
c. Address <u>3323 Belle Isle Dri</u>		City <u>San</u>	Diego		Zip <u>92105</u>	
d. UTM: (Give more than one for la	•		ne,			
e. Other Locational Data: (e.g. pa APN 476-152-05-00; Islen			e, elevation, addition	nai UlMs, etc. a	s app	
* P3a. Description: (Describe resource as The house at 3323 Belle Isle Driving a slight eave overhang; compositions south elevation. The entry, access projection supported by decorative set parallel to the sidewalk. Fenest and an aluminum casement window Section B.6. for modifications and	e was built in 1939 in on shingles with clay the ed by several concrete e wrought iron posts of tration consists of a late ow centered on a proje	the Minimal Trad tile ridge; a wood e steps, is set just r connected to a wro arge fixed single pa cting bay to the le	itional style and clapboard exteri ight of center ar ught iron porch ane window to the	features a hip for; and a chim and features a sh railing. The er the right of the	ped roof with nney on the hed roof ntry door is entry porch	
	ites and codes) HP2 Sing g Structure Object raph required for buildings,	t Site District	P5b. Description Photo of the public right-or * P6. Date Cons	strict Other (Is not Photo: (View, primary façade of-way. structed/Age and ic Historic	date, etc.) e from the Sources:	
			1020 Water	. 1 C D	1 .	
			* P7. Owner an	nd Sewer Reco	orus	
			Scott Donald			
		25	3323 Belle Is	le Drive		
			San Diego, C	A 92105		
		6		by: (Name, affilia		
			202 C Street, N	piego Planning	Staff	
1	The second	du la	San Diego, CA	92105		
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一种工作,		A THE STATE OF THE		ype: (Describe)		
			Intensive (Ar	chitectural)		
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t P44 Paragraph Oliverties (Oliverties)						
* P11. Report Citation: (Cite survey repo	ort/other sources or "none")					
* Attachments: NONE Loca	tion Map Sketch Map	Continuation	Sheet Rui	Idina, Structure a	and Object Record	
	ecord Linear Feature R	_	_	ock Art Record	Artifact Record	
Photograph Record Other: (List)						

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT R	ECORD
Page 2 of 2	* NRHP Status Code <u>5D1</u>
B1. Historic Name:	
B2. Common Name_ B3. Original Use: SF Residential B4	1 Present Use: SE Desidential
* B5. Architectural Style: Minimal Traditional	r. Hesen ose. <u>SI Residential</u>
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1939 per water and sewer records. Modification composition roof, and the replacement on an original window with an alumn and retains a good to fair degree of integrity.	ions include the replacement of the composition roof with a new
* B7. Moved? ✓ No Yes Unknown Date Or * B8. Related Features:	riginal Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b.	
* B10. Significance: Theme <u>Early auto-oriented small house developerated of Significance 1926-1952</u> Property Type <u>Resident Significance 1926-1952</u> Property Type <u>Resident Significance 1926-1952</u> Property Type <u>Resident Significance 1926-1952</u>	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small!	
San Diego's expansion away from the city core and beyond the	•
and population propelled the creation of new infrastructure ar	
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house"	*
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popula	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-19	
Housing Authority (FHA) through the introduction of Minima	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was no	
B11. Additional Resource Attributes: (List attributes and codes):	carry bunt-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
D13. Remarks.	110 MLL 64 09%
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL IOSTERI T
	Test in numeral or the municipality.

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATIO					
PRIMARY RECORD			Code <u>5D1</u>		
	her Listings				Date
	eview Code Review	ver			Date
Page 1 of 2	ivo ADN 476 151 00				
* Resource Name or #: <u>3328 Belle Isle Dr</u> P1. Other Identifier:	1ve, APN 4/0-151-22				
* P2. Location: Not for Publication	✓ Unrestricted	a. County Sa	n Diego		
b. USGS 7.5' Quad		-			
c. Address 3328 Belle Isle Drive					
d. UTM: (Give more than one for large			e,		
e. Other Locational Data: (e.g. parcel APN 476-151-22-00; Islenair		ns to resource,	elevation, addition	onal UTMs, etc	. as app
* P3a. Description: (Describe resource and in The house at 3328 Belle Isle Drive we medium pitch side gable roof with control The entry, accessed by two concreteds single wood post. The entry door is so hung wood frame and sash windows to window to the left of the entry door; the left of the entry door. The single of appears to retain the original wood do	as built in 1945 in the Momposition shingles, clipped steps, is set just left of cet parallel to the sidewal to the right of the entry of and single pane fixed virtual car garage, set a few feet	finimal Tradity ped eaves, and enter and feat k. Fenestratio loor; a 4-over nyl windows o back from th	tional style and a moderately ures a shed room includes 4-0 and the main façon the main façone, main façade,	features a d textured stu- of projection ver-4 and 8- g vinyl frame cade of the pris attached to	ominant cco exterior. supported by a over-8 double and sash rojecting bay to to the house and
* P3b. Resource Attributes: (List attributes : * P4. Resources Present: ✓ Building □ P5a. Photograph or Drawing (Photograph		ite District	Element of Dispersion Photo of the process of the p	n of Photo: (Vie primary faça	ew, date, etc.) de from the
			* P6. Date Cons	structed/Age a	nd Sources:
			1945 Water a	nd Sewer Re	ecords
	and the same of th		* P7. Owner an	d Address:	
T			Casebolt Nea		rust
		4	6775 Hibiscu Lemon Grove		
		1	Lemon Grove	2 CM 717 4 3	
		, ha	* P8. Recorded	by: (Name, af	filiation, address)
			City of San D		ng Staff
	Ommit		202 C Street, N San Diego, CA		
	William .		Ball Diego, Cr	72101	
			* P9. Date Reco	orded: 1/17/2	2007
		3353	* P10. Survey T		e)
			Intensive (Ar	cintectural)	
	国家 发生。				
* P11. Report Citation: (Cite survey report/ot	ther sources or "none")		•		
	·	_			
* Attachments: NONE Location		Continuation Sh		-	, and Object Record
☐ Archaeological Record ☐ District Record ☐ Photograph Record ☐ Other: (List)	d Linear Feature Record	Milling Station	лі кесога 🗀 Ко	ock Art Record	Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT R	
Page 2 of 2	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3328 Belle Isle Drive, APN 476-151-22	
B1. Historic Name:	
B2. Common Name	
	4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: <u>Minimal Traditional</u>	
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1945 per water and sewer records. Modificat composition roof, the use of a moderately textured stucco exterior, the repl kind vinyl window, and the replacement of two 16-lite fixed wood frame w modifications occurred within the same opening. The house is in good con * B7. Moved? No Yes Unknown Date O * B8. Related Features:	tions include the replacement of the composition roof with a new accement of a 4-over-4 double hung wood frame window with an invindows with single pane fixed vinyl windows. All window dition and retains a good to fair degree of integrity.
B9a. Architect: <u>Unknown</u> b.	Builder: Cummins Brothers
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type Resi	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a h	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond t	1 0 1 1
and population propelled the creation of new infrastructure at	
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house"	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popula	· ·
progressed steadily during the first phase of development bef	
Great Depression. The second phase of development (1935-1	941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minim	al Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The	third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the	wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was n	early built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	11/2 State Nate Daves
C'ARGE D' DE COCC	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HINDSHIP AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		F	Primary # HR #			
		ŀ				
			Trinomial			
PRIMARY RECORD		ı	NRHP Status	Code <u>5D1</u>		
	Other Listings Review Code	Reviewer				Date
- 1 - 2						
Page <u>1</u> of <u>2</u>	D.: A DN 476 14	52.10				
* Resource Name or #: 3329 Belle Isle	e Drive, APN 4/6-1;	52-10				
P1. Other Identifier:	den Dunestaleted		• • • • • • • • • • • • • • • • • • •	m Diago		
	tion Unrestricted			n Diego	4/4 - / 0	
b. USGS 7.5' Quad						
c. Address 3329 Belle Isle Dr				Diego		
d. UTM: (Give more than one for la	-			9,		
e. Other Locational Data: (e.g. pa APN 476-152-10-00; Isle			to resource,	elevation, addition	mai UTMs, etc. a	is app
* P3a. Description: (Describe resource The house at 3329 Belle Isle Driv composition shingles; slight eave right of center and covered by a residewalk. Fenestration consists of frame window. Refer to BSOR S	e was built in 1947 overhang; and a stu- oof projection support a 1-over-1 double-l	in the Minicco exterion orted by several triangles or the contraction of the contraction	mal Tradit r. The entry veral wood frame and	ional style and y, accessed by posts. The ent sash window a	I features a hip several concre ry door is set p	oped roof; ete steps, is set parallel to the
•	utes and codes) <u>HP2 S</u>		y property	✓ Element of Dis	strict Other (Is	solates, etc.)
	raph required for building		and objects)	, 	n of Photo: (View,	
1 3a. 1 notograph of Brawing (1 notog	rapit required for building	o, structures,	and objects)	-	orimary façade	
					of-wav.	
Section 1				* P6. Date Cons	structed/Age and	Sources:
		- 2		Prehistor	ic Historic	Both
		180	-			
			m.	1947 Water a	nd Sewer Rec	ords
No.				* P7. Owner an		
Ű				Peterson Jeffi		
				3329 Belle Is		
		Me		San Diego, C	A 92105	
1 1111111	10000000000000000000000000000000000000	The same of				
DESCRIPTION OF THE PROPERTY OF	160	4 141			by: (Name, affilia	
EREAUL.		-	A-LIFE CONTRACTOR		Diego Planning	Staff
753		SECTION AND DESCRIPTION OF THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS		202 C Street, N		
		PART OF T	15	San Diego, CA	. 92101	
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A CONTRACTOR OF THE PARTY OF TH		-			ype: (Describe)	
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一		100 m	-43			
	STORES - STORES		(10-50) VOIS		-	
* P11. Report Citation: (Cite survey repo	ort/other sources or "none	e")		1-	-	
		- /				
* Attachments: NONE Loca	tion Map Sketch M	lap \(\bigcap \)Co	ntinuation Sh	neet 🗸 Bui	Iding, Structure a	and Object Record
Archaeological Record District Re	. —		Milling Statio		ock Art Record	Artifact Record
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT RI	ECORD
· · · · · · · · · · · · · · · · · · ·	* NRHP Status Code 5D1
* Resource Name or #: 3329 Belle Isle Drive, APN 476-152-10	
B1. Historic Name:	
B2. Common Name	
	. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional * B6. Construction History: (Construction date, alterations, and date of al	torotions)
The house was constructed in 1947 per water and sewer records. Modification composition roof, the replacement of the simple porch railing, the replacement of the addition of wrought iron security grills. The house is in good condition a	ons include the replacement of the composition roof with a new ent of the wood windows with vinyl within the original opening, and
* B7. Moved? No Yes Unknown Date Ori B8. Related Features:	ginal Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b.	Builder: Unknown
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Resid	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a his special element of San Diego's historical, social, economic, ar	
is comprised of working-class homes reflective of the "small h	
San Diego's expansion away from the city core and beyond th	•
and population propelled the creation of new infrastructure an	1 0 1 1
significant under HRB Criterion C, as it embodies distinctive	*
Traditional styles of the "small house" and "minimum house"	•
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development befo	re construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-19	
Housing Authority (FHA) through the introduction of Minima	•
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was ne B11. Additional Resource Attributes: (List attributes and codes):	arry built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	2229 MILLAS (ILA 2487)
Dio. Romano.	and the second s
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLEVAIR HISTORICAL DISTRICT

State of California The Resources Agency			Primary #			
DEPARTMENT OF PARKS AND RECREA	ATION		HR #			
DDIMADY DECORD			Trinomial			
PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
	Other Listings Review Code	Reviewer			Г	Date
- 1 - 2						
Page <u>1</u> of <u>2</u>	- D.: A DN 476 14	51.02				
* Resource Name or #: <u>3336 Belle Isl</u>	e Drive, APN 4/6-1;	31-23				
P1. Other Identifier:	41 All		- O	m Diago		
 -	tion Unrestricted			n Diego	4/4 - (0	
b. USGS 7.5' Quad				; 1/4 of		
c. Address 3336 Belle Isle Dr				Diego		
d. UTM: (Give more than one for la	-),		
e. Other Locational Data: (e.g. pa APN 476-151-23-00; Isle			to resource,	elevation, additio	nai UTMS, etc. as	s app
* P3a. Description: (Describe resource The house at 3336 Belle Isle Drivitile shed roof at the parapet line; chimney on the north elevation. Tunder the roofline and supported Fenestration consists of 12-lite fit BSOR Section B.6. for modificat	we was built in 1936 a medium-pitch from the entry, accessed why two wood posts. Exed, 15-lite fixed, and	in the Spantegable baying four control The entry and 8-over-1	nish Eclecti y set to the pacete and the door is set pacete.	c style and feat right; a smooth ile steps, is set perpendicularly	tures a flat room stucco exterior to the left and to the sidewa	f with a clay or; and a recessed lk.
* P4. Resources Present: Buildin	utes and codes) HP2 S g Structure Ob graph required for building	ject Site	District		trict Other (Iso of Photo: (View, orimary façade	date, etc.)
	3400				f-wav.	
a us		M. Jan		* P6. Date Cons	tructed/Age and	Sources:
			W.	Prehistorio	c ✓ Historic	Both
ALCOHOL: WATER			24 136	1936 Water ar	nd Sewer Reco	ords
	CONTRACTOR OF THE			* P7. Owner and		
The second second		•	-		A & Raquel M	1 N
				3336 Belle Isl		
	REPORT OF		1	San Diego, CA	A 92105	
C. Marie C.	E STATE OF THE STA	ALC: NO.	100			
The state of the s		W	- SVI		by: (Name, affilia	
	100		Nint E		iego Planning	Staff
		W To.	大型	202 C Street, M San Diego, CA		
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THE RESERVE OF THE PERSON NAMED IN				* P9 Date Reco	rded: 1/17/200)7
				* P10. Survey Ty	<u>-</u>	
		Shirely .		Intensive (Arc		
	1.			ı 		
			100			
* P11. Report Citation: (Cite survey rep	ort/other sources or "none	e")				
	ation Map Sketch M		ontinuation Sh		ding, Structure, ar	_
☐ Archaeological Record ☑ District R		e Record	Milling Statio	n Record Ro	ck Art Record	Artifact Record
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	ECORD
Page _ 2_ of _ 2_	* NRHP Status Code 5D1
* Resource Name or #: 3336 Belle Isle Drive, APN 476-151-23	
B1. Historic Name:	
B2. Common Name	
	. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1936 per water and sewer records. Modificati house is in good condition and retains a very good degree of integrity.	
* B8. Related Features:	iginal Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b.	Builder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Residue	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	
special element of San Diego's historical, social, economic, as is comprised of working-class homes reflective of the "small l	
San Diego's expansion away from the city core and beyond the	•
and population propelled the creation of new infrastructure an	1 0 1 1
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house"	•
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popula	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-19	
Housing Authority (FHA) through the introduction of Minima	d Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	• • • • •
end of the third phase of development in 1952, Islenair was no	early built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):* * B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(Sketch map with horith arrow required)
B13. Remarks:	and the second
	200 Barba da Birra
	Notes to the second sec
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	ISLE VALIR RESIDENCE ALL DISTRICT T

State of California The Resources Age	ncy	Р	rimary #			
DEPARTMENT OF PARKS AND RECREA	TION	Н	IR #			
DDIMARY DECORD		Т	rinomial			
PRIMARY RECORD		N	RHP Status	Code <u>5D1</u>		
	Other Listings					
	Review Code	Reviewer_				Date
Page _1_ of _2_						
* Resource Name or #: 3344 Belle Isle	Drive, APN 476-15	51-24				
P1. Other Identifier:						
	ion U nrestricted	а	. County Sai	n Diego		
b. USGS 7.5' Quad					1/4 of Sec	;B.M.
c. Address 3344 Belle Isle Dri						Zip <u>92105</u>
d. UTM: (Give more than one for la				,,		
e. Other Locational Data: (e.g. pa	-					
APN 476-151-24-00; Islen				,	,	
* P3a. Description: (Describe resource a	and its major elements. I	nclude design	, materials, c	ondition, alteration	ns, size, setting	, and boundaries.)
The house at 3344 Belle Isle Drive	e was built in 1939 i	in the Mini	mal Traditi	ional style and	features a hi	ipped roof;
composition shingles; minimal ear	ve overhang; and a r	noderately	textured st	ucco exterior.	The entry, a	ccessed via
three concrete steps, is set just left	t of center under a s	imple canti	levered stu	cco projection	. The entry of	loor is set
parallel to the sidewalk. Fenestrat		•			•	
BSOR Section B.6. for modificati						
BSON Section B.o. for modificati	ons and analysis of	integrity.				
* P3b. Resource Attributes: (List attribu	ites and codes) HP2 Si	ngle family	property			
•	Structure Obj			✓ Element of Dis	trict Other	(Isolates, etc.)
P5a. Photograph or Drawing (Photogr				P5b. Description	_	. ,
Pa. Photograph of Drawing (Photogr	apri required for building	s, siruciures, a	and objects)	Photo of the p	•	•
					• ,	
				public right-o * P6. Date Cons	I-WaV. structed/∆ge ar	nd Sources:
	Liber			Prehistori		
	NO PARAMETERS				C TIIStoric	,Boan
A STATE OF THE STA	S. S. SAMP			1020 III	1.C D	<u> </u>
FAMILY TANK	lyth			1939 Water at		cords
The second secon	Market 115			Smongesky Ju		IT & Dator
		1000		3344 Belle Isl		11 & Feter
			-			
A STATE WARD A STATE OF		tals =	CAL PROPERTY.	San Diego, C.	A 92103	
			the deal			
		1.16/1/12		* P8. Recorded		
				City of San D 202 C Street, M	<u>1ego Piannin</u>	g Staii
		460		San Diego, CA	92101	
			17 19 18	Ban Diego, Ch	72101	
				* P9. Date Reco	rded: 1/17/2	007
	1		-	* P10. Survey T	· ·	
				Intensive (Arc		<i>5)</i>
			-	Intelligive (Tire	<u>micetarar</u>	
	NEW CONTRACTOR	Service Control of the Control of th				
* B14 Papart Citation / Cita auman and	ert/other courses on "comme	\"\				
* P11. Report Citation: (Cite survey repo	nvother sources or "none	;)				
* Attackments	tion Mon Dollard	an	ntinuatia : O'	act D.	Idina Ct	and Object Description
	tion Map Sketch M		ntinuation Sh		-	and Object Record
	cord Linear Feature	kecord	Milling Statio	n Record ∐Ro	ck Art Record	Artifact Record
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	
Page _2_ of _2_	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3344 Belle Isle Drive, APN 476-151-2	24
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Transitional Modern	
* B6. Construction History: (Construction date, alterations, and dat The house was constructed in 1939 per water and sewer records. Mod composition roof and the use of moderately textured stucco. The house	lifications include the replacement of the composition roof with a new
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u>	
	e dev Area San Diego
	Residential Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined	
	s a historic district under HRB Criterion A, as an intact and
	nic, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sr	mall house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyo	and the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructu	are and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinct	ctive characteristics of Spanish Eclectic and Minimal
	ouse" construction types during San Diego's development of
	hase of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense po	* '
progressed steadily during the first phase of development	
Great Depression. The second phase of development (193	
	inimal Traditional style architecture. The fading popularity
	The third phase of development (1945-1952) reflects the
	the wake of the housing shortage following WWII. By the
	as nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	and the second s
	1344 Malin kin 154yy
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
DEL ARTIMENT OF FARROARD REGRE	LATION					
PRIMARY RECORD						
	Other Listings Review Code	Davious				Date
	Review Code	Reviewei				Date
Page 1 of 2	1 5 1 151 151	. 1.53 00				
Resource Name or #: <u>3345 Belle Is</u>	sle Drive, APN 476	5-152-08				
P1. Other Identifier:		_	- 0	ъ.		
	cation unrestricte		-			
b. USGS 7.5' Quad						
c. Address 3345 Belle Isle I						
d. UTM: (Give more than one for	-				mE/	
e. Other Locational Data: (e.g. APN 476-152-08-00; Is			to resource,	elevation, addi	tional UTMs, etc.	. as app
The house at 3345 Belle Isle Dr cross gable roof; composition sl clapboard in the gable ends; a st accessed via four concrete steps wood posts with decorative cross entry is a half-hexagonal bay of 2-over-1 double hung and 16-lit and analysis of integrity.	ningles; minimal ea mooth stucco exter s, is set to the right ss supports. The en 2-over-1 double ha	ave overhang ior; and a chin and is recessed try door is set ung windows	with some maney on the dunder the perpendic on a front0	exposed rafte e south eleva e roof, which ularly to the so ofacing gable	r tails; horizontion. The entry is supported be sidewalk. To the bay. Fenestrat	ntal wood y porch, by groupings of the left of the tion consists of
	ibutes and codes) <u>HP2</u> ling Structure ograph required for buil	Object Site	District	P5b. Descripti	District Other on of Photo: (Vie	ew, date, etc.)
		15		public right-	of-wav. nstructed/Age ar	nd Sources:
-	No.			1936 Water	and Sewer Re	ecords
				* P7. Owner a		
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		N. L.		3345 Belle		
	= 1 Particular			San Diego C	LA 92105	
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		The state of the s	-	* P9. Date Re	corded: $1/17/2$.007
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P11. Report Citation: (Cite survey re	eport/other sources or "i	none")				
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* Attachments:	cation Map Sketo Record Linear Fea		ontinuation Sh Milling Station		uilding, Structure Rock Art Record	, and Object Record Artifact Record
Photograph Record Other: (Lis		auto Nocolu	_ willing Statit	on NocoluI	TOOK AIT NECOID	Aiiiiaot Necolu

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3345 Belle Isle Drive, APN 476-152-08	
B1. Historic Name:	
B3. Original Use: SF Residential	4 Present Use: SE Decidential
* B5. Architectural Style: Minimal Traditional	4. Piesen Ose. <u>SP Residential</u>
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1936 per water and sewer records. Modifica composition roof. The house is in good condition and retains a good to fai	tions include the replacement of the composition roof with a new
* B7. Moved? No Yes Unknown DateC * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme Early auto-oriented small house de	. Builder: RR West V Area San Diego
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by the neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure as significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popul progressed steadily during the first phase of development (1935-Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was real to the standard resource Attributes: (List attributes and codes):	neme, period, and geographic scope. Also address integrity.) historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically echaracteristics of Spanish Eclectic and Minimal construction types during San Diego's development of e of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal and Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the work of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	7545 GRIAGE ED.S. (TANK)
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
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DEPARTMENT OF PARKS AND RECREATION		Primary #			
		HR # Trinomial			
PRIMARY RECORD		I rinomial	Cada 5D1		
	Other Lietings				
	Other Listings Review Code Re				
Page <u>1</u> of <u>2</u>					
* Resource Name or #: <u>3403 Belle Isle I</u>	Drive APN 476-152-07	1			
P1. Other Identifier:	511ve; 1111v 170 132 07				
	n Unrestricted	a. County Sa	an Diego		
b. USGS 7.5' Quad	 -	-			
c. Address 3403 Belle Isle Driv					
d. UTM: (Give more than one for larg	e and/or linear feature)	Zon	e,	mE/	mN
e. Other Locational Data: (e.g. parc			elevation, addit	ional UTMs, etc	. as app
APN 476-152-07-00; Islena	ir Unit #1 Block 2 Lot	7			
The house located at 3403 Belle Isl parapet walls, a projecting front gal rafter tails; clay tile roof vents and accessed by two concrete steps, is s is set parallel to the sidewalk. Fenesash window, as well as an aluminum odifications and analysis of integral.	e Drive was built in 192 ble element flanked by drains; a smooth stucco et to the left of the proj stration consists of 8-lit am sash louvered windo	28 in the Spanish simple shed root exterior; and a lecting bay unde the casement and	h Eclectic stylf f elements; cla chimney on th r the shed root a large fixed s	e and features by tile roofing the south eleva of projection. The single pane we	s a flat roof with ; some exposed tion. The entry, The entry door ood frame and
,		Site District	✓ Element of D P5b. Description	istrict Other on of Photo: (Vie	ew, date, etc.)
				of-wav.	
			* P6. Date Cor	nstructed/Age a	nd Sources:
			Prehisto	oric 🗸 Histori	c Both
	10 - 1 -				
元 明	THE STREET STREET		1928 Water * P7. Owner at	and Sewer Re	ecords
, , ,			Combs Davi		
		The second	3403 Belle I		
			San Diego C		
			* P8. Recorded	d by: (Name, af	filiation, address)
	Sel 11.3/2			<u>Diego Plannir</u>	ng Staff
	W 75 1		202 C Street, San Diego CA	MS 4A	
The second reports		1	San Diego CA	1 92101	
	A CONTRACTOR OF THE PARTY OF TH		* P9 Date Rec	orded: 1/17/2	2007
				Type: (Describ	
		721	Intensive (A		
		7-1-1			
* P11. Report Citation: (Cite survey report	other sources or "none")				
* Attachments: NONE	n Mon Olestel Men	Continue	haat 🗔 n	illding Ctarret	and Object Description
* Attachments:	on Map □ Sketch Map ord □ Linear Feature Reco	Continuation SIordMilling Stati	_	uliding, Structure Rock Art Record	, and Object Record Artifact Record
Photograph Record Other: (List)	Linear Feature Neco	ivilling Gtati	5C000iaIN		

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3403 Belle Isle Drive, APN 476-152-07	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	b4. Tresent osc. <u>St. Residential</u>
* B6. Construction History: (Construction date, alterations, and date of	i alterations)
The house was constructed in 1928 per water and sewer records. Modifica aluminum sash louvered window within the original opening and frame, a the projecting bay. The house is in good condition and retains a good to fa	ations include the replacement of a wood sash window with an and the addition of a modest water feature under the fixed window on
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date (* B8. Related Features: A detached garage is located at the rear.	Original Location:
	b. Builder: Charles Tifal
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance $1926-1952$ Property Type Res (Discuss importance in terms of historical or architectural context as defined by the state of the state	
The neighborhood of Islenair is historically significant as a I special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure a significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development be Great Depression. The second phase of development (1935-Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically the characteristics of Spanish Eclectic and Minimal est construction types during San Diego's development of the of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	THE REAL PRINCIPAL PRINCIP
* B14. Evaluator: City San Diego Planning Staff Peter of Evaluation: 1/17/2007	
Date of Evaluation: <u>1/17/2007</u>	
	DI ENAIR HISTORICAS, DISTRICT

DEPARTMENT OF PARKS AND RECREATION						
		HR #				
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PRIMART RECORD			Code <u>5D1</u>			
	Other Listings				_	
	Review Code Rev	viewer			Date	
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3411 Belle Isle	Drive, APN 476-152-06					
P1. Other Identifier:						
* P2. Location: Not for Publicat	ion ✓ Unrestricted	a. County <u>Sa</u>	ın Diego			
b. USGS 7.5' Quad	Date					
c. Address 3411 Belle Isle Dri						
d. UTM: (Give more than one for la			e,			mN
e. Other Locational Data: (e.g. par	rcel #, legal description, direc	tions to resource,	elevation, additi	onal UTMs, etc.	as app	
APN 476-152-06-00; Isler	nair Unit #1 Block 2 Lot 6	5				
a clay tile shed roof along the para moderately textured stucco exterior projection supported on a massive Fenestration consists of a large fix sash windows throughout. Refer to	or. The entry, accessed via square stucco column. The aed wood frame window i	a two concrete s he entry door is n the gable bay	steps, is set to set perpendic and 1-over-1	the left under ularly to the s double hung v	the shed roo sidewalk.	
* P4. Resources Present: Building		Site District	✓ Element of Di	istrict Other (
P5a. Photograph or Drawing (Photogr	aph required for buildings, struc	ctures, and objects)		•	•	
- 800	*			primary façad		
April and	100		* P6 Date Con	of-wav. structed/Age an	d Sources:	
	ALM M			ric Historic		
				💽		
	2 N 2 N 1 N 1		1036 Water	and Sewer Re	cords	
- WW	*NY WAXABINE		* P7. Owner ar		corus	
		-	Bard Julie			
	TO SOLVE		3411 Belle Is	sle Drive		
A mountly			San Diego C			
A 1718		E D.				
			* P8. Recorded	d by: (Name, affi	iliation, address	.)
		1	City of San I	Diego Plannin	g Staff	
DATE OF THE STREET	7		202 C Street,			
			San Diego CA	92101		
WATER BY	The Fry			1/17/2/	007	
				orded: <u>1/17/20</u>		
The state of the s	- Committee of the Comm		* P10. Survey Intensive (A)	Type: (Describe))	
		Water TV	mulisive (Al	Cincerulal)		
	Period Legisland	CAR THE STATE OF T				
* P11. Report Citation: (Cite survey repo	rt/other sources or "none")		J			
	TWO CITICI SOUTHES OF THOME)					
* Attachments: NONE Locat	tion Map Sketch Map	Continuation SI	neet JBI	ilding, Structure,	and Object Rec	cord
- -	cord Linear Feature Record		_	ock Art Record	Artifact Red	
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3411 Belle Isle Drive, APN 476-152-0	6
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date The house was constructed in 1936 per water and sewer records. Modi	
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date* * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme Early auto-oriented small house	_b. Builder: <u>Unknown</u> dev Area <u>San Diego</u>
	Residential Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined	
special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sm San Diego's expansion away from the city core and beyon and population propelled the creation of new infrastructur significant under HRB Criterion C, as it embodies distinct Traditional styles of the "small house" and "minimum how Automobile Suburbs between 1926 and 1952. The first ph small house movement of the 1920's and the immense popprogressed steadily during the first phase of development Great Depression. The second phase of development (193 Housing Authority (FHA) through the introduction of Min of Spanish Eclectic homes is also seen during this phase. Continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and the limits of natural topography as increases in mobility re and development to the east. Islenair is also historically tive characteristics of Spanish Eclectic and Minimal use" construction types during San Diego's development of the pularity of Spanish Eclectic architecture. Construction before construction came to a halt with the onset of the 5-1941), reflects the work of the newly formed Federal mimal Traditional style architecture. The fading popularity The third phase of development (1945-1952) reflects the he wake of the housing shortage following WWII. By the as nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	SILVAR HISTORIC AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary #				
PRIMARY RECORD		NRHP Status Code <u>5D1</u>				
	Other Listings Reviewe		Date			
- 1 . 2	Treview Code Ireview	51	Date			
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3412 Belle Isle </u>	Drive APN 476-151-26					
P1. Other Identifier:	DIIVC, 711 IV 470-131-20					
* P2. Location: Not for Publication	on Unrestricted	a. County <u>San Diego</u>				
			1/4 of Sec;B.M.			
c. Address 3412 Belle Isle Driv						
d. UTM: (Give more than one for large. Other Locational Data: (e.g. parc	-		mE/mN			
APN 476-151-26-00; Islena		s to resource, elevation, aud	itional OTMIS, etc. as app			
t Do - Do - wind (Doowih - many	- d :t	:	stings aim and become desired			
* P3a. Description: (Describe resource ar The house at 3412 Belle Isle Drive						
features a hipped roof; composition		<u> </u>				
running through the stucco in line v	C .	O .				
just right of center under a rounded		•	•			
sidewalk. Fenestration consists of 2	2-over-2 double hung wood	frame and sash windows	of varying sizes and a fixed			
hexagonal portal window. Refer to	BSOR Section B.6. for mod	difications and analysis o	of integrity.			
* P3b. Resource Attributes: (List attribute	es and codes) <u>HP2 Single fam</u>	ily property				
•	Structure Object Sit		District Other (Isolates, etc.)			
	ph required for buildings, structure	DEL D	tion of Photo: (View, date, etc.)			
(* metegraph er 21211111 g (* metegra	p		e primary façade from the			
		public right	t-of-way.			
			onstructed/Age and Sources:			
		Prehis	toric Historic Both			
		1020 W				
	*	1939 Water	r and Sewer Records and Address:			
	1		irginia L UWNS1/2			
3		5176 E Bed				
		San Diego	CA 92116			
			ed by: (Name, affiliation, address)			
		City of San 202 C Street	Diego Planning Staff			
	The second second	San Diego C				
The second secon			ecorded: $1/17/2007$			
			y Type: (Describe)			
No. of the second second		intensive (A	Architectural)			
* P11. Report Citation: (Cite survey report	t/other sources or "none")					
Attachments: NONE Location	on Map Sketch Map	Continuation Sheet	Building, Structure, and Object Record			
Archaeological Record District Rec	ord Linear Feature Record	Milling Station Record	Rock Art Record Artifact Record			
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3412 Belle Isle Drive, APN 476-151-26	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1939 per water and sewer records. Modificomposition roof. The house is in good condition and retains a good degree to the construction of the house is in good condition.	cations include the replacement of the composition roof with a new
* B8. Related Features:	Original Location:
A detached garage is located at the rear.	
* B10. Significance: Theme <u>Early auto-oriented small house of</u>	
Period of Significance 1926-1952 Property Type Ro (Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic	
is comprised of working-class homes reflective of the "sma	
	•
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distincti	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first pha	
small house movement of the 1920's and the immense population	
progressed steadily during the first phase of development b	before construction came to a halt with the onset of the
Great Depression. The second phase of development (1935	3-1941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Mini	imal Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. T	he third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the	e wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	2012 Belle had Dayy
	South Time I
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC SE DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #				
PRIMARY RECORD	Trinomial				
Other Listings					
Review Code Review	ewerDate				
Page 1 of 2 Resource Name or #: 3422 Belle Isle Drive, APN 476-151-27 P1. Other Identifier:					
P2. Location: Not for Publication Unrestricted	a. County <u>San Diego</u> T; R; 1/4 of1/4 of Sec; B.M.				
	City San Diego Zip 92105				
 d. UTM: (Give more than one for large and/or linear feature) e. Other Locational Data: (e.g. parcel #, legal description, direction APN 476-151-27-00; Islenair Unit #1 Block 1 Lot 25 					
P3a. Description: (Describe resource and its major elements. Include of The house at 3422 Belle Isle Drive was built in 1936 in the Stile shed roof along the parapet line and a projecting front-ga and a chimney at the north elevation. The entry, accessed via projection supported by two square wood posts. The entry do consists of 2-over-1 double hung wood frame and sash window in the gable bay. Refer to BSOR Section B.6. for more	Spanish Eclectic style and features a flat roof with a clay able bay; clay tile roof vents and drains; a stucco exterior; a four concrete steps, is set to the left under the shed roof foor is set perpendicularly to the sidewalk. Fenestration lows at the porch and a large fixed single pane vinyl				
P3b. Resource Attributes: (List attributes and codes) HP2 Single far P4. Resources Present: ✓ Building Structure Object Structure P5a. Photograph or Drawing (Photograph required for buildings, structure)	Site ☐ District ☐ District ☐ Other (Isolates, etc.)				
	1936 Water and Sewer Records * P7. Owner and Address: Feeley Maria G. Revocable Trust				
	3422 Belle Isle Drive				
The second secon	San Diego CA 92105				
	* P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff				
Messininnessini incesinininsis	202 C Street, MS 4A San Diego CA 92101				
No. of the last of	* P9. Date Recorded: 1/17/2007				
	* P10. Survey Type: (Describe) Intensive (Architectural)				
P11. Report Citation: (Cite survey report/other sources or "none")					
* Attachments: NONE Location Map Sketch Map Archaeological Record District Record Linear Feature Record Photograph Record Other: (List)	Continuation Sheet ☑ Building, Structure, and Object Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record				

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3422 Belle Isle Drive, APN 476-151-27	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1936 per water and sewer records. Modifica gable bay with a vinyl fixed window within the same opening. The house is	tions include the replacement of the original fixed window in the
* B7. Moved? ✓ No Yes Unknown Date C * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u> b	Builder: RR West
	v Area San Diego
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond to and population propelled the creation of new infrastructure a significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popul progressed steadily during the first phase of development between Depression. The second phase of development (1935-1) Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was resulted to the second phase of development of the third phase of development in 1952, Islenair was resulted to the second phase of development of the third phase of development in 1952, Islenair was resulted to the second phase of development of the third phase of development in 1952, Islenair was resulted to the second phase of development of the third phase of development in 1952, Islenair was resulted to the second phase of development of the third phase of development in 1952, Islenair was resulted to the second phase of development in 1952, Islenair was resulted to the second phase of t	and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically echaracteristics of Spanish Eclectic and Minimal "construction types during San Diego's development of erof development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal and Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	349 baha sai Gun
	LIL HI (Z AYAY)
	ISLENAIR HISTORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #				
			Trinomial				
PRIMARY RECORD							
	Other Listings Review Code		r			Date	
- 1 . 2							
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3423 Belle Isla</u>	Drive ADM 476	152.05					
	E DIIVE, AFIN 470-	132-03					
P1. Other Identifier:	tion Unrestricted	•	a County Sc	n Diago			
* P2. Location: Not for Publica b. USGS 7.5' Quad	_		-				
c. Address 3423 Belle Isle Dr							
d. UTM: (Give more than one for la					mE/		
e. Other Locational Data: (e.g. pa	-						
APN 476-152-05-00; Isle			to resource,	elevation, additi	onai o i ws, etc.	as app	
* P3a. Description: (Describe resource The house at 3424 Belle Isle Driv composition shingles; clipped eaverbrick chimney on the south elevate projection supported by three squ of 2-over-2 double hung wood fra reversible. Refer to BSOR Section	re was built in 194 yes; horizontal wood ion. The entry, accare wood posts. The and sash wind	I in the Min od slat vents cessed via the ne entry doc ows. Ornam	nimal Tradit in the gablaree concre or is set para mental lands	tional style and e end; a wood te steps, is set allel to the side cape features	d features a cr clapboard ext to the right un ewalk. Fenestr	oss gable roof; terior; and a ader a roof ration consists	
* P4. Resources Present:	utes and codes) HP2 g Structure C	Object Site	District	, 	istrict Other (
P5a. Photograph or Drawing (Photog	raph required for buildi	ngs, structures	, and objects)	-			
					primary façad		
				* P6. Date Con	of-wav. structed/Age an	d Sources:	
				Prehisto		Both	
					_		
				1946 Water :	and Sewer Red	cords	
				* P7. Owner a		20145	
-	A				ily Revocable	Trust	
1	VI-	A sem		3423 Belle Is			
	VIII			San Diego C	A 92105		
				-			
					d by: (Name, affi		
	州		建工作		Diego Planning	g Staff	
	LANGER LANG.		1	202 C Street, San Diego CA			
	"是一个人		TANKS .	Buil Diego Cr	1,2101		
AND		STOCK AND STOCK		* P9. Date Rec	orded: 1/17/20	007	
			1		Type: (Describe		
	The second			Intensive (A		, 	
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Prov.	-45	76.00]			
* P11. Report Citation: (Cite survey repo	ort/other sources or "no	one")					
- -	tion Map Sketch		Continuation SI		-	and Object Record	
☐ Archaeological Record ☑ District Re	ecord Linear Featu	ure Record	Milling Stati	on Record	ock Art Record	Artifact Record	
Photograph Record Other: (List)							

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT R	ECORD
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $5D1$
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential B4	. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	(terrette en)
* B6. Construction History: (Construction date, alterations, and date of all The house was constructed in 1941 per water and sewer records. Modificati composition roof, the use of fabric awnings, and the addition of ornamental condition and retains a good degree of integrity.	ons include the replacement of the composition roof with a new
	iginal Location:
* B8. Related Features:	
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b.	
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	
Period of Significance 1926-1952 Property Type Resid	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a his	
special element of San Diego's historical, social, economic, an	
is comprised of working-class homes reflective of the "small h	•
San Diego's expansion away from the city core and beyond the	1 0 1 1
and population propelled the creation of new infrastructure an	•
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house"	
Automobile Suburbs between 1926 and 1952. The first phase	of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popular	rity of Spanish Eclectic architecture. Construction
progressed steadily during the first phase of development before	ore construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-19	
Housing Authority (FHA) through the introduction of Minima	· · ·
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was no	
B11. Additional Resource Attributes: (List attributes and codes):	many control only a row yacune rous remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	South Bridge Bridge Street
B13. Remarks:	and the second s
City Con Diago Diago Cueff	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORIE AL DISTRICT
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			•			
			HR # Trinomial			
DDIMARY RECORD						
PRIMARY RECORD				Code <u>5D1</u>		
	Other Listings _	Reviewe				Data
	Review Code	Keviewe	'			Date
Page 1 of 2	D: ADM 4	76 151 00				
* Resource Name or #: 3426 Belle Isl	<u>e Drive, APN 4</u>	-/6-151-28				
P1. Other Identifier:		-4-4	- Ot Co	n Diago		
	ation Unrestri		-			. D.M.
c. Address 3426 Belle Isle Di						_; B.M.
d. UTM: (Give more than one for I				e,		
e. Other Locational Data: (e.g. pa	-					
APN 476-151-28-00; Isle			, , , , , , , , , , , , , , , , , , , ,	ororanon, aaan	,	чрр
* P3a. Description: (Describe resource The house at 3426 Belle Isle Drivitile shed roof along the parapet lithe east (main) elevation. The enenclosed with an original half-he the entry and is flanked by four country to the windows and entry porch.	we was built in I ine; clay tile roo try is set to the ight wall and ar clay tile roof dra	1929 in the Spa of drains; a mod right and recess sched opening u tins over fixed	nish Eclecti derately text sed under th under the sh windows. W	ic style and fe cured stucco enter shed tile roof ed roof. The control of the con	atures a flat r xterior; and a of. The porch chimney is set ecurity bars h	oof with a clay chimney along is partially to the left of lave been added
•	outes and codes) <u>H</u> ng Structure	Object Site	District	, 	istrict Other	•
Toa. Thotograph of Drawing (Thotograph	graph required for b	dilalings, structures	s, and objects)		primary faça	
	MAN				of-wav.	
				* P6. Date Cor	structed/Age a	nd Sources:
17879	1 1			Prehisto	oric 🗸 Histori	c Both
1/1/200		33				
103024	RI				and Sewer Re	ecords
	The second second	-	é	* P7. Owner a		
	111/200	Charles and the same of the sa	MI		en Living Tru	ıst
	100		1	3426 Belle I San Diego C		
Silver Control	W/I/P00V7	THE PARTY OF		San Diego C	A 92103	
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	A REAL PROPERTY.			202 C Street.		ig Stair
	1		100	San Diego CA		
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					corded: $1/17/2$	
	The state of		2		Type: (Describ	e)
	7			Intensive (A	remitecturai)	
	Cal Tal	1				
* P11. Report Citation: (Cite survey rep	ort/other sources a	r "none"\		J		
i i i Nepoli Citation. (Cite survey rep	on/other sources 0	11011 0 /				
* Attachments: NONE Loc	ation Map Sk	etch Map	Continuation Sh		uilding. Structure	, and Object Record
☐ Archaeological Record ✓ District R		Feature Record [Milling Station		Rock Art Record	Artifact Record
Photograph Record Other: (List)			-			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	
· · · · · · · · · · · · · · · · · · ·	NRHP Status Code 5D1
* Resource Name or #: 3426 Belle Isle Drive, APN 476-151-28	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
	Fresent ose. SI Residential
bo. Architectural Civic. Spainsh Defection	matiana \
* B6. Construction History: (Construction date, alterations, and date of alter The house was constructed in 1929 per water and sewer records. Modification entry porch and the use of aluminum awnings over the windows. The house is	ns include the use of wrought iron security bars at the windows and
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrigi * B8. Related Features: A detached garage is located at the rear.	inal Location:
B9a. Architect: <u>Unknown</u> b. B * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	uilder: <u>Charles Pemberton</u> Area San Diego
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by them	
The neighborhood of Islenair is historically significant as a hist special element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small he San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive of traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense populari progressed steadily during the first phase of development (1935-194). Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the way end of the third phase of development in 1952, Islenair was nead the stribute of the stributes and codes):	oric district under HRB Criterion A, as an intact and diarchitectural development. The neighborhood, which buse" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically haracteristics of Spanish Eclectic and Minimal construction types during San Diego's development of f development (1927-1931) is reflective of both the ty of Spanish Eclectic architecture. Construction e construction came to a halt with the onset of the lab, reflects the work of the newly formed Federal Traditional style architecture. The fading popularity hird phase of development (1945-1952) reflects the ke of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
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DEPARTMENT OF PARKS AND RECREATION								
		HR #						
PRIMARY RECORD								
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	Other Listings							
	Review Code	Reviewer					Date	
Page <u>1</u> of <u>2</u>								
* Resource Name or #: 3435 Belle Isle	e Drive, APN 476-15	52-04						
P1. Other Identifier:								
* P2. Location: Not for Publicat	tion Unrestricted	a. C	County <u>Sa</u>	n Die	go			
b. USGS 7.5' Quad	Da	ateT_	; R	;	1/4 of	1/4 of Sec	;	B.M.
c. Address 3435 Belle Isle Dr	ive	c	City <u>San I</u>	Diego			Zip	92105
d. UTM: (Give more than one for la						mE/		
e. Other Locational Data: (e.g. pa	rcel #, legal description	, directions to	resource,	elevati	on, additi	onal UTMs, etc	c. as app	
APN 476-152-04-00; Isle	nair Unit #1 Block 2	Lot 4						
tile shed roof along the parapet lin and a chimney at the south elevation roof projection supported by a squistucco entrance connected to the phung vinyl frame and sash window Section B.6. for modifications and	ion. The entry, accessuare wood post. The porch. Fenestration cws, and 6-over-6 doc	ssed via two centry door is consists of a libble hung vin	concrete s set para 12-lite fi	steps, allel to xed w	is set to the side ood fran	the right un ewalk behind ne window,	der the s l an arch 4-over-1	hed ed double
•	utes and codes) HP2 Sig Structure Objections	ect Site	District	P5b. Photo publi * P6.	Description of the cright-cright	strict Othe n of Photo: (Vi primary faça of-wav. structed/Age a	ew, date, ende from	the es:
			Ļ	1936 * P7 . Ethri 3435	Water a Owner ar dge Dav Belle Is	nd Sewer Rad Address: vid and Marjsle Drive A 92105	ecords	oth
				City 202 C San E * P9. * P10.	of San I Street, I Diego CA Date Rec	. 92101 orded: 1/17/2 Type: (Descril	ng Staff 2007	ddress)
	ation Map Sketch Mecord Linear Feature	ap Conti	inuation Sh	neet	⊌ Bu	chitectural) illding, Structure ock Art Record	· ·	ect Record

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3435 Belle Isle Drive, APN 476-152-04	
B1. Historic Name:	
B2. Common Name P3. Original Use: SE Pacidential	M. Procent Use: SE Decidential
B3. Original Use: <u>SF Residential</u> * B5. Architectural Style: Spanish Eclectic	4. Present Use. <u>SF Residential</u>
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1936 per water and sewer records. Modifica windows with vinyl frame and sash windows. The house is in good conditions to the control of the cont	tions include the replacement of some original wood frame and sash
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateC * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u> b	Builder: RR West
	v Area San Diego
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure as significant under HRB Criterion C, as it embodies distinctive that Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popul progressed steadily during the first phase of development (1935-1). Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the	and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically e characteristics of Spanish Eclectic and Minimal "construction types during San Diego's development of e of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal and Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the
end of the third phase of development in 1952, Islenair was r	
B11. Additional Resource Attributes: (List attributes and codes):	car, can out with only a few racant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	WIND STATE OF CHARLES AND ADDRESS OF THE CHARLES
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
PRIMARY RECORD						
	Other Listings Review Code					
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3439 Belle Isl	e Drive. APN 476-	152-03				
P1. Other Identifier:						
	ation Unrestricted	I	a. County <u>Sa</u>	ın Diego		
b. USGS 7.5' Quad			-			
c. Address 3439 Belle Isle Di						
d. UTM: (Give more than one for					mE/	
e. Other Locational Data: (e.g. p APN 476-152-03-00; Isla			to resource,	elevation, addit	ional UTMs, etc.	as app
* P3a. Description: (Describe resource The house at 3439 Belle Isle Drifeatures cross-gable roofs; compgroove wood exterior; a stone verprojection supported by paired we consists of 6-over-6 double hung analysis of integrity.	we was built in 194 osition shingles; clineer base; and an a good posts. The entite	1 in the Min ipped eaves; ttached carp ry door is se	imal Tradit vertical we ort. The en t perpendic	tional style wi ood siding in the atry is set to the cularly to the s	th Ranch influ the gable end; e left under the idewalk. Fene	ences and a tongue and e shed roof stration
	outes and codes) <u>HP2</u>				istrict Other (Isolates. etc.)
P5a. Photograph or Drawing (Photograph				_	on of Photo: (View	
F3a. Filotographi of Drawing (Filotographi	graph required for buildi	rigs, structures	, and objects)		primary façad	•
				public right-	of-wav. nstructed/Age and	
		19800	400	1941 Water	and Sewer Red	cords
	AN STATE		18	* P7. Owner a	nd Address:	
		10 S		McLeod Cyr		
		Marie Control		3439 Belle I		
The state of the s		the state of		San Diego C	CA 92105	
多 為理 按 [[City of San	d by: (Name, affil Diego Planning	
	THE R. P. LEWIS CO., LANSING, MICH.	100		202 C Street,		
				San Diego CA	A 92101	
				* PO Date Per	orded: 1/17/20	007
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	- The last 18 to		NI COL		,	
	No. of Column 1 is not a little of the last	The state of the s	-			
* P11. Report Citation: (Cite survey rep	oort/other sources or "no	one")				
		, 				
* Attachments: NONE Loc	ation Map Sketch	Map C	ontinuation SI	heet B	uilding, Structure,	and Object Record
☐ Archaeological Record ✓ District F	Record Linear Featu	ure Record	Milling Station	on Record F	lock Art Record	Artifact Record
Photograph Record Other: (List)					

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page 2 of 2	* NRHP Status Code <u>5D1</u>
* Resource Name or #: <u>3439 Belle Isle Drive, APN 476-152-03</u>	
B1. Historic Name: B2. Common Name	
B3. Original Use: SF Residential	4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	<u>DI Residentiai</u>
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1941 per water and sewer records. Modifica composition roof and the addition of a stone veneer to the base of the built of integrity.	tions include the replacement of the composition roof with a new
* B8. Related Features:	Original Location:
A detached garage is located at the rear.	
70 A W A W A	5 m TV 1
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house de</u>	v Area San Diego
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a h	
special element of San Diego's historical, social, economic,	and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond t	•
and population propelled the creation of new infrastructure a	
significant under HRB Criterion C, as it embodies distinctive	*
Traditional styles of the "small house" and "minimum house	•
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development bet	
Great Depression. The second phase of development (1935-1 Housing Authority (FHA) through the introduction of Minim	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was r B11. Additional Resource Attributes: (List attributes and codes):	learly built-out with only a few vacant fots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	P to the second
B13. Remarks:	MATERIAL PRINT
* B14. Evaluator: City San Diego Planning Staff	
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
PRIMARY RECORD	Trinomial
Other Listings	IIIIII Guido Guio <u>Ga</u>
Review Code Review	ewerDate
Page 1 of 2 Resource Name or #: 3442 Belle Isle Drive, APN 476-151-30	
P1. Other Identifier:	a. County San Diego
b. USGS 7.5' Quad Date	T; R; 1/4 of1/4 of Sec; B.M.
	City San Diego Zip 92105
 d. UTM: (Give more than one for large and/or linear feature) e. Other Locational Data: (e.g. parcel #, legal description, direction APN 476-151-30-00; Islenair Unit #1 Block 1 Lot 25 	
P3a. Description: (Describe resource and its major elements. Include of The house at 3442 Belle Isle Drive was built in 1947 in the Paroofs; composition shingles; clipped eaves; and a heavily text concrete steps, is set to the left of a projecting bay and is contain aluminum posts. The entry door is set parallel to the windows covered by wrought iron security bars under alumit modifications and analysis of integrity.	Minimal Traditional style and features multi-hipped stured stucco exterior. The entry, accessed via two wered by a small, added aluminum entry cover supported sidewalk. Fenestration consists of multi-lite vinyl sliding
P3b. Resource Attributes: (List attributes and codes) HP2 Single far P4. Resources Present: Building Structure Object P5a. Photograph or Drawing (Photograph required for buildings, structure)	Site ☐ District ☐ District ☐ Other (Isolates, etc.)
	1947 Water and Sewer Records * P7. Owner and Address:
	Huynh Emerly 3442 Belle Isle Drive
The same of the sa	San Diego CA 92105
	A 4-
	* P8. Recorded by: (Name, affiliation, address)
	City of San Diego Planning Staff
	202 C Street, MS 4A San Diego CA 92101
	1/45/2005
The state of the s	* P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe)
	Intensive (Architectural)
P11. Report Citation: (Cite survey report/other sources or "none")	
* Attachments: NONE Location Map Sketch Map Archaeological Record District Record Linear Feature Record	☐ Continuation Sheet ✓ Building, Structure, and Object Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record
Photograph Record Other: (List)	

	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	
	NRHP Status Code <u>5D1</u>
* Resource Name or #: 3442 Belle Isle Drive, APN 476-151-30	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	DI Residential
* B6. Construction History: (Construction date, alterations, and date of alterations was constructed in 1947 per water and sewer records. Modification composition roof, the use of heavily textured stucco, the replacement of the or awnings, and the use of wrought iron security bars. The house is in good cond	s include the replacement of the composition roof with a new iginal wood windows with vinyl windows, the use of aluminum
* B7. Moved? ✓ No Yes Unknown DateOrigin	nal Location:
* B8. Related Features:	
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b. Bu	uilder: <u>Unknown</u>
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historically	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	•
San Diego's expansion away from the city core and beyond the	
and population propelled the creation of new infrastructure and	
significant under HRB Criterion C, as it embodies distinctive ch	aracteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house" co	onstruction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase of	development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popularit	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	
Housing Authority (FHA) through the introduction of Minimal	
of Spanish Eclectic homes is also seen during this phase. The th	•
continued popularity of the Minimal Traditional style in the wal-	
end of the third phase of development in 1952, Islenair was near	ly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	SAAZ Barins Intili Office
a. a	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DISTRICT

State of California The Resources Ag			•			
DEPARTMENT OF PARKS AND RECRE	EATION					
DDIMARY DECORD						
PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
	Other Listings					Data
	Review Code	Reviewe	r			Date
Page1 of2						
Resource Name or #: <u>3443 Belle Is</u>	<u>le Drive, APN 4</u>	76-152-02				
P1. Other Identifier:						
	ation 🗸 Unrestri		-	n Diego		
						_; B.M.
c. Address 3443 Belle Isle D						
d. UTM: (Give more than one fore. Other Locational Data: (e.g. p	•	•		e,		
APN 476-151-02-00; Isl			ito resource,	elevation, addit	ionai o i wis, etc	. αο αρμ
The house at 3443 Belle Isle Dri tile shed roof along the parapet I chimney at the south elevation. The which flows into an arched porch consists of a single pane fixed wat the porch. Refer to BSOR Secondary 1988.	ve was built in 1 ine and a front-g The entry is set to h opening. The e ood frame windo	1928 in the Spa gable bay; clay to the left of the entry door is se ow in the gable	nish Eclecti tile roof ver gable under t perpendicu bay and do	ic style and fe nts and drains er the shed roc ularly to the si ouble hung wo	atures a flat r; a stucco ext of supported bidewalk. Fend	oof with a clay erior; and a by a stucco post, estration
* P4. Resources Present: Buildi	butes and codes) \underline{H}	Object Site	District	, _	vistrict Other	,
Total Frieddiaphron Drawnig (Friedd	graph rodanoa for be	andingo, on dotaroc	, and objects)	Photo of the	primary faça	de from the
				public right-	of-wav.	
			-		nstructed/Age a	
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0.00						
Bright.					and Sewer Re	ecords
	- The second sec		*	* P7. Owner at Musgrave Li		
madel .				3443 Belle I		
The state of the s	7			San Diego C		
	-	-		Buil Biego C	71,2105	
			W 13	* P8. Recorde	d bv: (Name, af	filiation, address)
State of the state	sk/.	1			Diego Plannii	
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		- Killia		l 	1/17/0	2007
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Constitution of the second		TO BE STORY	-	Intensive (A	Type: (Describ	oe)
* P11. Report Citation: (Cite survey re	port/other sources or	r "none")				
		,				
* Attachments: NONE Loc	cation Map Ske	etch Map C	Continuation Sh	neet ✓ Bu	uilding, Structure	e, and Object Record
☐ Archaeological Record	Record Linear F	eature Record [Milling Station	on Record R	Rock Art Record	Artifact Record
☐ Photograph Record ☐ Other: (List	t)					

State of Colifornia The Becommend America	Drive and #			
State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #			
BUILDING, STRUCTURE, AND OBJECT F				
Page 2 of 2	* NRHP Status Code 5D1			
* Resource Name or #: 3443 Belle Isle Drive, APN 476-152-02				
B1. Historic Name:				
B2. Common Name				
	34. Present Use: SF Residential			
* B5. Architectural Style: Spanish Eclectic	71. Process coo. <u>or residential</u>			
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1928 per water and sewer records. The house				
* B7. Moved? No Yes Unknown Date	Original Location:			
	o. Builder: <u>Charles Pemberton</u> ev Area <u>San Diego</u>			
Period of Significance 1926-1952 Property Type Res	sidential Applicable Criteria F			
(Discuss importance in terms of historical or architectural context as defined by the	neme, period, and geographic scope. Also address integrity.)			
The neighborhood of Islenair is historically significant as a h	nistoric district under HRB Criterion A, as an intact and			
special element of San Diego's historical, social, economic,	and architectural development. The neighborhood, which			
is comprised of working-class homes reflective of the "small				
	•			
San Diego's expansion away from the city core and beyond	1 0 1 1			
and population propelled the creation of new infrastructure a	•			
significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal				
Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of				
Automobile Suburbs between 1926 and 1952. The first phase				
small house movement of the 1920's and the immense popul				
progressed steadily during the first phase of development be	ž 1			
Great Depression. The second phase of development (1935-				
Housing Authority (FHA) through the introduction of Minin				
of Spanish Eclectic homes is also seen during this phase. The	e third phase of development (1945-1952) reflects the			
continued popularity of the Minimal Traditional style in the	wake of the housing shortage following WWII. By the			
end of the third phase of development in 1952, Islenair was a				
B11. Additional Resource Attributes: (List attributes and codes):	Touris out with only whom the solutions			
* B12. References:	(Sketch map with north arrow required)			
Refer to District Bibliography for References Used				
B40 B	Settl GELLS FEA. EXCHYS			
B13. Remarks:	(400.0)			
The state of the s				
* B14. Evaluator: City San Diego Planning Staff				
Date of Evaluation: 1/17/2007				
(This space reserved for official comments.)				
	ISLEVAIR HISTORICAL DISTRICT			
	TO A CONTROL OF THE PARTY OF TH			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #HR #
PRIMARY RECORD	Trinomial
Other Listings	NRHP Status Code 5D1
-	verDate
Page 1 of 2 Resource Name or #: 3458 Belle Isle Drive, APN 476-151-31 P1. Other Identifier:	
b. USGS 7.5' Quad Date	
c. Address 3458 Belle Isle Drive	
 d. UTM: (Give more than one for large and/or linear feature) e. Other Locational Data: (e.g. parcel #, legal description, direction APN 476-151-31-00; Islenair Unit #1 Block 1 Lot 29 	Zone,mE/mN ns to resource, elevation, additional UTMs, etc. as app
P3a. Description: (Describe resource and its major elements. Include de The house at 3458 Belle Isle Drive was built in 1935 in the Sp tile shed roof along the parapet line, a front-gable bay to the ri overhang; exposed rafter tails; clay tile roof vents and drains; concrete steps, is centered under the shed roof and a low stucce pane wood frame window in the gable bay, 2-over-1 double he bay, and aluminum louvered windows flanking the entry door analysis of integrity.	panish Eclectic style and features a flat roof with a clay eight, and a hexagonal bay to the left; minimal eave and a stucco exterior. The entry, accessed via two co arch. Fenestration consists of a large fixed single ung wood frame and sash windows in the hexagonal
P3b. Resource Attributes: (List attributes and codes) HP2 Single fame P4. Resources Present: ✓ Building ☐ Structure ☐ Object ☐ Single fame P5a. Photograph or Drawing (Photograph required for buildings, structure)	ite ☐ District ☑ Element of District ☐ Other (Isolates, etc.)
	1935 Water and Sewer Records * P7. Owner and Address: Kern Andreas & Miller Terril 3458 Belle Isle Drive
	San Diego CA 92105
	* P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff
	202 C Street, MS 4A San Diego CA 92101
	* P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural)
No. Constitution of the last o	
P11. Report Citation: (Cite survey report/other sources or "none")	
Attachments:	Continuation Sheet ✓ Building, Structure, and Object Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code 5D1
* Resource Name or #: 3458 Belle Isle Drive, APN 476-151-31	
B1. Historic Name:	
B2. Common Name_	
B3. Original Use: <u>SF Residential</u> <u>E</u>	34. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1935 per water and sewer records. Modifications house is in good condition and retains a good degree of integrity.	
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateC * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house de</u>	o. Builder: <u>Unknown</u> Ny Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by the	neme, period, and geographic scope. Also address integrity.)
The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure a significant under HRB Criterion C, as it embodies distinctive traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popul progressed steadily during the first phase of development become Depression. The second phase of development (1935–Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was a B11. Additional Resource Attributes: (List attributes and codes):	nistoric district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically echaracteristics of Spanish Eclectic and Minimal "construction types during San Diego's development of e of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal nal Traditional style architecture. The fading popularity ethird phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(Sketch map with north allow required)
* B14. Evaluator: City San Diego Planning Staff	Total Calculation States
Date of Evaluation: $\underline{1/17/2007}$	
(This space reserved for official comments.)	ISLENAIR HIS TORIU AL DOSTROCT
	COT of Handley & COT ALL CONST.

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
PRIMARY RECORD		1	NRHP Status	Code 5D1		
	Other Listings Review Code					
Page _ 1_ of _ 2_						
* Resource Name or #: 3462 Belle Isl	e Drive, APN 476-	151-32				
P1. Other Identifier:						
	tion Unrestricted		a. County <u>Sa</u>	n Diego		
b. USGS 7.5' Quad	_		-			
c. Address 3462 Belle Isle Dr						
d. UTM: (Give more than one for I					mE/	
e. Other Locational Data: (e.g. pa APN 476-151-32-00; Isle			to resource,	elevation, additi	onal UTMs, etc.	as app
* P3a. Description: (Describe resource The house at 3462 Belle Isle Drivitile shed roof along the parapet li and a chimney at the south elevat fabric awning. The entry door is frame and sash windows in the gato BSOR Section B.6. for modified	we was built in 1935 ne and a projecting ion. The entry, according to the signallel to the signalle end and a 9-literallel.	5 in the Spar front-gable essed via for dewalk. Fer e, arched, fix	nish Eclecti bay; clay t ur concrete nestration c xed wood f	ic style and featile roof vents steps, is set to onsists of 2-or	atures a flat ro and drains; a so the left of the ver-2 double h	of with a clay stucco exterior; e gable under a ung wood
* P4. Resources Present: Buildin	utes and codes) HP2.5 g Structure O graph required for buildin	bject Site	District	P5b. Descriptio	strict □Other (n of Photo: (View primary façad	v, date, etc.)
			Mes.		of-wav. structed/Age and ric Historic	
Total Control		/ STATE			and Sewer Red	cords
	Tartar A			* P7. Owner ar		
	A/				nald F and Su	sie
The state of the s		No.	17	3462 Belle Is San Diego C		
William Town				Sail Diego C	A 92103	
A Section of the sect		ne i		Buil Biogo Cir.	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
					orded: 1/17/20 Type: (Describe cchitectural)	
	CITY OF THE PARTY	To a second	- 10			
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ne")				
					" " " " "	1011 . 5
* Attachments:	ation Map □ Sketch ecord □ Linear Featu		ontinuation Sh]Milling Statio		illding, Structure, ock Art Record	and Object Record Artifact Record
Photograph Record Other: (List)		_	-			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
	HR#
BUILDING, STRUCTURE, AND OBJECT	
Page 2 of 2	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3462 Belle Isle Drive, APN 476-151-3	
B1. Historic Name:	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	DI Residential
* B6. Construction History: (Construction date, alterations, and date. The house was constructed in 1935 per water and sewer records. The house was constructed in 1935 per water.	
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date* * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u>	b. Builder: WB Watson
	dev Area San Diego
	Residential Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined	
•	a historic district under HRB Criterion A, as an intact and
	ic, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sm	•
	nd the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructur	*
significant under HRB Criterion C, as it embodies distinct	
	use" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first ph	
small house movement of the 1920's and the immense pop progressed steadily during the first phase of development	
Great Depression. The second phase of development (193	
	nimal Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase.	
	he wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair wa	
B11. Additional Resource Attributes: (List attributes and codes):	as hearry bunt-out with only a few vacant lots femaning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	- 1400 date fold (198)
Die Remand.	
	Transfer I
* PAA Franking City Com Diago Blamming Cook	
* B14. Evaluator: City San Diego Planning Staff Pote of Evaluation: 1/17/2007	
Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
(This space reserved for emidal confinients.)	
	ISLEMAIR HISTORICAL DISTRICT

DEPARTMENT OF PARKS AND RECREATION		Primary #				
		HR #				
		Trinomial				
PRIMARY RECORD						
	Other Listings					
	Review Code Review	wer			_Date	
Page _1_ of _2_						
* Resource Name or #: 3323 Euclid Av	venue, 476-151-14					
P1. Other Identifier:	-cirac, 170 131 11					
	ion Unrestricted	a County Sa	n Diego			
b. USGS 7.5' Quad		-				
c. Address 3323 Euclid Avenu						
d. UTM: (Give more than one for lar			9,			
e. Other Locational Data: (e.g. par	• ,					
	rcei #, legal description, direction air Unit #1, Block 1, Lot 14		elevation, additi	onai UTWS, etc.	as app	
AFN 470-131-14-00, Islen	ian Unit #1, Block 1, Lot 1	4				
* P3a. Description: (Describe resource a	and its major elements. Include de	seian materiale a	condition alteration	one ciza cattina	and houndari	oc)
• •	•	-		-		,
The house at 3323 Euclid Avenue			•		-	
composition shingles; clipped eave						•
designed to appear as flagstone. The	he entry, accessed via sever	n concrete step	ps, is set to the	e right under a	ι roof	
projection supported by a square v	wood post. The entry door is	s set perpendi	cularly to the	sidewalk. Fen	estration	
consists of 2-over-2 double hung v						ntal
cement retaining walls designed to						
		deen added wi	nen are revers	ibie. Keiei to	DSOK SEC	поп
B.6. for modifications and analysis	s of integrity.					
	TTD2 G: 1 G					
*	tes and codes) <u>HP2 Single far</u>					
* P4. Resources Present:	Structure Object S	ite District	_	strict Other (. ,	
P5a. Photograph or Drawing (Photograph	aph required for buildings, structur	res, and objects)	P5b. Descriptio	n of Photo: (View	v, date, etc.)	
			Photo of the	primary façad	e from the	
				of-wav.		
	¥.		* P6. Date Con	structed/Age an	d Sources:	
0.7	66 10			ric Historic		
				TIO TO TO TO TO TO		
			10.45.65.6			
	Total Street			inty Property	Charc	
			* P7. Owner ar		11 '	
				hael H & Guil	Hermina	
		1 2	3323 Euclid			
			San Diego C	A 92105		
	- 信息把		* P8. Recorded	l by: (Name, affi	liation, addres	ss)
			City of San I	Diego Planning	g Staff	
		THE RESERVE TO THE RE	202 C Street, 1	MS 4A		
No. Carpirol and Co.	The second secon		San Diego CA	. 92101		
		Altonomic S				
		SILES OF	* P9. Date Rec	orded: $1/17/20$	007	
300	The second second	-		Type: (Describe		
			Intensive (A)		9	
The state of the s			Intensive (Al	CIIICCIUI (II)		
APPLICATION OF THE PERSON OF T		7				
			I			
* P11. Report Citation: (Cite survey report	rt/other sources or "none")					
		_				
	tion Map Sketch Map	Continuation Sh	ıeet ✓ Bu	ilding, Structure,	and Object Re	ecord
☐ Archaeological Record ✓ District Re	cord Linear Feature Record	Milling Station	on Record R	ock Art Record	Artifact Re	ecord
Photograph Record Other: (List) _						

	Primary #			
BUILDING, STRUCTURE, AND OBJECT RE	CORD			
· · · · · · · · · · · · · · · · · · ·	NRHP Status Code 5D1			
* Resource Name or #: <u>3323 Euclid Avenue</u> , <u>476-151-14</u>				
B1. Historic Name:				
B2. Common Name				
B3. Original Use: <u>SF Residential</u> B4.	Present Use: SF Residential			
* B5. Architectural Style: Minimal Traditional				
* B6. Construction History: (Construction date, alterations, and date of alte The house was constructed in 1947 per water and sewer records. Modification composition roof and the use of decorative cement veneer. The house is in good	is include the replacement of the composition roof with a new			
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrigi * B8. Related Features: A detached single car garage is located at the rear.	nal Location:			
B9a. Architect: <u>Unknown</u> b. B	uilder: Unknown			
* B10. Significance: Theme Early auto-oriented small house dev				
Period of Significance 1926-1952 Property Type Reside				
(Discuss importance in terms of historical or architectural context as defined by theme				
The neighborhood of Islenair is historically significant as a historically				
special element of San Diego's historical, social, economic, and				
is comprised of working-class homes reflective of the "small ho	•			
San Diego's expansion away from the city core and beyond the	limits of natural topography as increases in mobility			
and population propelled the creation of new infrastructure and	development to the east. Islenair is also historically			
significant under HRB Criterion C, as it embodies distinctive ch	naracteristics of Spanish Eclectic and Minimal			
Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the				
small house movement of the 1920's and the immense popularity	· 1			
progressed steadily during the first phase of development before				
Great Depression. The second phase of development (1935-194	1), reflects the work of the newly formed Federal			
Housing Authority (FHA) through the introduction of Minimal	Traditional style architecture. The fading popularity			
of Spanish Eclectic homes is also seen during this phase. The th				
continued popularity of the Minimal Traditional style in the wal	*			
end of the third phase of development in 1952, Islenair was nea	rry buint-out with only a few vacant fots remaining.			
B11. Additional Resource Attributes: (List attributes and codes):* * B12. References:	(Sketch map with north arrow required)			
Refer to District Bibliography for References Used	(Sketch map with horth allow required)			
Refer to District Bibliography for References Osed				
B13. Remarks:				
	MAUS Excisió Averam			
* B14. Evaluator: City San Diego Planning Staff				
Date of Evaluation: $1/17/2007$				
(This space reserved for official comments.)				
	DALENAIR HISTORICAL DISTRICT			
	Date of the latest of the late			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
		Trinomial				
PRIMARY RECORD						
	Other Listings					
	Review Code	Review	er			Date
Page _ 1_ of _ 2_						
* Resource Name or #: 3329 Euclid A	venue, APN 476	5-151-13				
P1. Other Identifier:						
* P2. Location: Not for Publicat	ion 🗸 Unrestric	ted	a. County <u>Sa</u>	ın Diego		
c. Address 3329 Euclid Avenu						
d. UTM: (Give more than one for la	-				mE/	
e. Other Locational Data: (e.g. pa				elevation, addit	ional UTMs, etc. a	s app
APN 476-151-13-00; Islen	nair Unit #1, Bio	ock 1, Lot 13				
composition shingles; clipped eav centered on the façade and the ent aluminum and vinyl frame and sas retaining wall has been added at the integrity.	ry door is set pa sh windows and	arallel to the a single pane	sidewalk. Fe e fixed vinyl	nestration cor frame windo	sists of 1-over- w. A low cemer	1 double hung at block
* P4. Resources Present: Building	ites and codes) HF g Structure raph required for bu	Object Sit	te District	✓ Element of D	istrict Other (Ison of Photo: (View, primary façade	date, etc.)
	1			public right-	of-wav. nstructed/Age and	
No. of the last of	~		THE PARTY		unty Property C	<u>'harac</u>
1246	Transition of the last of the			* P7. Owner a Croce Maris		
	ALC: N	2411/6		3329 Euclid		
		New York	1	San Diego C		
		in the second		Bull Blego C	11)2103	
	MENT D		-	* P8. Recorde	d by: (Name, affilia	ation, address)
	TO MAKE THE PARTY OF THE PARTY	EN 130 A	MARIN		Diego Planning	
The state of the s	SANDERS E	All the same		202 C Street,	MS 4A	
		Ball - pp 3		San Diego CA	A 92101	
AND MAKE THE PARTY OF THE PARTY	And the second	- 20			1/17/00/	
		The same of	1000		orded: <u>1/17/200</u>)/
	- Laboratoria		1	* P10. Survey Intensive (A	Type: (Describe)	
			765	Intensive (A	i CiliteCtulai)	
			15-46			
* P11. Report Citation: (Cite survey repo	ort/other sources or	"none")				
		/				
	. —	. –	Continuation SI		uilding, Structure, a	
☐ Archaeological Record ☑ District Re	ecord Llinear Fe	ature Record	Milling Station	on Record LF	Rock Art Record	Artifact Record
Photograph Record Other: (List)						

State of California The Resources Agency							
DEPARTMENT OF PARKS AND RECREATION	Primary # HR #						
BUILDING, STRUCTURE, AND OBJECT I	RECORD						
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1						
* Resource Name or #: <u>3329 Euclid Avenue</u> , APN 476-151-13							
B1. Historic Name:							
B2. Common Name							
B3. Original Use: <u>SF Residential</u>	34. Present Use: <u>SF Residential</u>						
* B5. Architectural Style: Minimal Traditional	California Company						
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1946 per San Diego County Assessor Proposition roof with a new composition roof and the replacement of the frame and sash windows. The house is in good condition and retains a go	erty Characteristics. Modifications include the replacement of the original wood frame and sash windows with aluminum and vinyl						
* B8. Related Features:	Original Location:						
A detached single car garage is located at the rear.							
B9a. Architect: <u>Unknown</u>							
* B10. Significance: Theme <u>Early auto-oriented small house de</u> Period of Significance 1926-1952 Property Type <u>Re</u>							
(Discuss importance in terms of historical or architectural context as defined by							
The neighborhood of Islenair is historically significant as a							
special element of San Diego's historical, social, economic,							
is comprised of working-class homes reflective of the "smal							
San Diego's expansion away from the city core and beyond	•						
and population propelled the creation of new infrastructure	1 0 1 2						
significant under HRB Criterion C, as it embodies distinctive	•						
Traditional styles of the "small house" and "minimum house	•						
Automobile Suburbs between 1926 and 1952. The first phase							
small house movement of the 1920's and the immense popu							
progressed steadily during the first phase of development be							
Housing Authority (FHA) through the introduction of Minir	Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal						
of Spanish Eclectic homes is also seen during this phase. The	nal Traditional style architecture. The fading popularity						
continued popularity of the Minimal Traditional style in the	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the						
	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	nal Traditional style architecture. The fading popularity to third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* B12. References:	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* B12. References:	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* B12. References:	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* B12. References:	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* B12. References:	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* B12. References:	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* **B12. References: Refer to District Bibliography for References Used	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* **B12. References: Refer to District Bibliography for References Used	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* **B12. References: Refer to District Bibliography for References Used	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* B12. References: Refer to District Bibliography for References Used B13. Remarks:	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* **B12. References: Refer to District Bibliography for References Used **B13. Remarks: **B14. Evaluator: City San Diego Planning Staff	mal Traditional style architecture. The fading popularity to third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* **B12. References: Refer to District Bibliography for References Used **B13. Remarks: **B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* **B12. References: Refer to District Bibliography for References Used **B13. Remarks: **B14. Evaluator: City San Diego Planning Staff	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):* **B12. References: Refer to District Bibliography for References Used **B13. Remarks: **B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	nal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.						

State of California The Resources Ager DEPARTMENT OF PARKS AND RECREA			
PRIMARY RECORD			
	Other Listings		
	Review Code Review	er	Date
Page <u>1</u> of <u>2</u>			
Resource Name or #: <u>3333 Euclid Av</u>	zenue, 476-151-12		
P1. Other Identifier:		- C D'	
			4/4 of Coo
c. Address 3333 Euclid Avenue			1/4 of Sec; B.M.
d. UTM: (Give more than one for lar			zip <u></u> mR/mN
e. Other Locational Data: (e.g. par	-		
APN 476-151-12-00; Islen	air Unit #1, Block 1, Lot 12		
* P3a. Description: (Describe resource a	nd its major elements. Include des	sign, materials, condition, alterat	ions, size, setting, and boundaries.)
The house at 3333 Euclid Avenue			
composition shingles; clipped eave	es; horizontal slat vents in th	e gable end; a stucco exte	rior; and a cement veneer
designed to appear as stone. The ex	ntry, accessed via seven con	crete steps, is set to the ri	ght under a roof projection
supported by a square wood post.	The entry door is set perpen	dicularly to the sidewalk.	Fenestration consists of
paired 4-lite casement wood frame	and sash windows with alu	minum hinges. Wrought is	ron security bars have been
added to the doors and windows. F	Refer to BSOR Section B.6.	for modifications and ana	lysis of integrity.
* P3b. Resource Attributes: (List attribut	tes and codes) <u>HP2 Single fam</u>	ily property	
P4. Resources Present: Building	Structure Object Sit	e ☐ District ✓ Element of D	District Other (Isolates, etc.)
P5a. Photograph or Drawing (Photogra	aph required for buildings, structure	es, and objects) P5b. Description	on of Photo: (View, date, etc.)
		Photo of the	primary façade from the
			of-wav.
			nstructed/Age and Sources:
The state of the s		Prehiste	oric ✓ Historic Both
		101100 0	
The second secon		1946 SD Co * P7. Owner a	ounty Property Charac
	1217125	Watson Mai	
		3333 Euclid	•
San Carlotte III	1111	San Diego C	-
	*//	Bun Diego	72100
		* P8. Recorde	d by: (Name, affiliation, address)
AND			Diego Planning Staff
	10	202 C Street,	MS 4A
		San Diego Ca	A 92101
		* DO Data Da	
	The state of the s		corded: <u>1/17/2007</u>
			Type: (Describe) rchitectural)
The second secon		Inteligive (7)	
	The state of the s		
* P11. Report Citation: (Cite survey repor	rt/other sources or "none")		
	,		
* Attachments: NONE Locat	ion Map Sketch Map	Continuation Sheet	uilding, Structure, and Object Record
Archaeological Record District Rec	cord Linear Feature Record	☐ Milling Station Record ☐ F	Rock Art Record Artifact Record
Photograph Record Other: (List)			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $\underline{5D1}$
* Resource Name or #: <u>3333 Euclid Avenue</u> , <u>476-151-12</u>	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u> B4	Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1946 per San Diego County Assessor Proper composition roof with a new composition roof and the use of decorative certain degree of integrity.	ty Characteristics. Modifications include the replacement of the
* B7. Moved? ✓ No Yes Unknown Date Or * B8. Related Features:	riginal Location:
A detached single car garage is located at the rear.	
A detached single car garage is focated at the rear.	
Don Andrew Helmone	D. H. L. Halmann
B9a. Architect: <u>Unknown</u> b. * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area San Diego
Period of Significance 1926-1952 Property Type Resi	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small!	
San Diego's expansion away from the city core and beyond the	•
and population propelled the creation of new infrastructure ar	
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house"	•
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popula	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-19	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Minima	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was no	early built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(0) 11 21 11 11
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Biolography for References Osca	
B13. Remarks:	THE RESERVE TO SERVE THE PARTY OF THE PARTY
2.0. (.0	
* B14. Evaluator: <u>City San Diego Planning Staff</u>	
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
	INLENAIR HISTORICAL DISTRICT
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DEPARTMENT OF PARKS AND RECREATION		HR #				
PRIMARY RECORD			Code <u>5D1</u>			
	Other Listings					
l	Review Code Review	er			_Date	
Page _1_ of _2_						
* Resource Name or #: 3345 Euclid Ave	enue. 476-151-11					
P1. Other Identifier:	170 151 11					
	n J Unrestricted	a. County Sa	n Diego			
b. USGS 7.5' Quad						
c. Address <u>3345 Euclid Avenue</u>						
d. UTM: (Give more than one for larg			e,			mN
e. Other Locational Data: (e.g. parc	•					
APN 476-151-11-00; Islena			elevation, additi	onai O i wis, etc.	as app	
,	,					
* P3a. Description: (Describe resource an	d its major elements. Include des	sign, materials,	condition, alteration	ons, size, setting,	and boundaries	s.)
The house at 3345 Euclid Avenue v	vas built in 1948 in the Mir	nimal Traditi	onal style and	features a cro	ss gable roof	f;
composition shingles; clipped eaves			•		•	
accessed via seven concrete steps, i						
entry door is set perpendicularly to						ısh
windows with aluminum hinges. W	rought iron security bars ha	ave been add	ed to the door	s and window	s. Refer to	
BSOR Section B.6. for modification	ns and analysis of integrity.					
_ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~						

	s and codes) <u>HP2 Single fam</u>					
* P4. Resources Present:	Structure Object Sit	te District	✓ Element of Di	strict Other (Isolates, etc.)	
P5a. Photograph or Drawing (Photograph	oh required for buildings structure	es and objects)	P5b. Descriptio	n of Photo: (View	v, date, etc.)	
Tour Triologiaph of Etaming (Friologia)	The state of the s	A A A	Photo of the	primary façad	le from the	
		1 /10		of-wav.		
A STATE OF THE STA	No.	11/	* P6 Date Con	ภ-พลง. structed/Age an	d Sources:	
	9	1 ///		ric ✓ Historic		
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				inty Property	Charac	
SERVICE SERVICE SERVICE SERVICES			* P7. Owner an			
			Mercer Olen	W & Barbara	ι A	
	1000		2835 Camino	Del Rio S #3	340	
	The same of the sa	The state of	San Diego C	A 92108		
经决定条件	T CONTROL OF THE					
	The second second	La Maria	* P8 Recorded	l by: (Name, affi	liation address)	١
Size 29 stipula	The same of the sa			Diego Plannin		,
10 May 10	William Co.	2 国际地区	202 C Street, I		g Starr	
			San Diego CA			
		The section of	Ban Diego CA	. 72101		
		2. 点门里放下来	* DO D-1- D	- 1/17/20	207	
17 000	10.30	D THE		orded: <u>1/17/20</u>		
AT A WAR AND A STATE OF THE STA	《双型图象》 。			Type: (Describe	<u>;</u>)	
DO SOURCE CO.		to Fee	Intensive (Ar	chitectural)		
THE THE RESERVE						
* P11. Report Citation: (Cite survey report	other sources or "none")					
* Attachments: NONE Location	n Map Sketch Map	Continuation Sh	neet 🗸 Bu	ilding, Structure,	and Object Rec	ord
☐ Archaeological Record ✓ District Reco	ord Linear Feature Record	Milling Station	on Record R	ock Art Record	Artifact Rec	ord
Photograph Record Other: (List)						

	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	
	NRHP Status Code <u>5D1</u>
* Resource Name or #: <u>3345 Euclid Avenue</u> , <u>476-151-11</u>	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of alte The house was constructed in 1948 per San Diego County Assessor Property Composition roof with a new composition roof; the addition of wrought iron so overgrowth. The house is in good condition and retains a good degree of integration of the condition of the condition and retains a good degree of integration of the condition and retains a good degree of integration.	Characteristics. Modifications include the replacement of the ecurity bars; the addition of chain link fencing; and landscape
* B7. Moved? ✓ No Yes Unknown DateOrigin	nal Location:
* B8. Related Features:	
A detached single car garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b. Bo	uilder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area San Diego
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historically	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	•
San Diego's expansion away from the city core and beyond the	limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure and	development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive ch	naracteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house" co	
Automobile Suburbs between 1926 and 1952. The first phase of	
small house movement of the 1920's and the immense popularit	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	
Housing Authority (FHA) through the introduction of Minimal	
of Spanish Eclectic homes is also seen during this phase. The th	
continued popularity of the Minimal Traditional style in the wal	•
end of the third phase of development in 1952, Islenair was near	
B11. Additional Resource Attributes: (List attributes and codes):	rry bunt-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	DM Sain Appea
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLEVAIR HISTORICAL DISTRICT
	(2) 15 - 10 (10) 10 (1

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
PRIMARY RECORD						
	Other Listings Review Code					
Page1_ of2_						
* Resource Name or #: <u>3405 Euclid A</u>	venue, 476-151-10					
P1. Other Identifier:						
	ion Unrestricted					
b. USGS 7.5' Quad						
c. Address 3405 Euclid Avenu d. UTM: (Give more than one for la					mE/	
e. Other Locational Data: (e.g. pa	-					
APN 476-151-10-00; Isle			10 10000100,	orovanon, addin	onar o niio, otor c	ao app
* P3a. Description: (Describe resource at The house at 3345 Euclid Avenue hipped roof; composition shingles accessed via five concrete steps, in The entry door is set parallel to the sash windows. Aluminum awning modifications and analysis of interesting to the state of the sta	was built in 1949 in the control of	n the Mini d a horizon l under a re ation cons	mal Tradition tal wood cloof projections of 2-over	onal style and apboard shing on supported l er-2 wood frar	features a low gle exterior. The by wrought iro me and sash wo	y-pitch multi- ne entry, n brackets.
* P4. Resources Present: Building	utes and codes) <u>HP2 S</u> g Structure Oberaph required for building	oject Site	District	P5b. Descriptio	istrict Other (I n of Photo: (View primary façade	, date, etc.)
				public right-	of-wav. structed/Age and	
	THE PERSON N			1949 SD Cou	unty Property (Charac
THE RESERVE TO SERVE THE PARTY OF THE PARTY	1 100	AL WILL		* P7. Owner ar Keegan Gera		
				3405 Euclid		
		5 E		San Diego C		
		A STATE OF THE PARTY OF THE PAR				
					by: (Name, affili	
	1	THE R			Diego Planning	g Staff
		ALIXINAL!		202 C Street, J San Diego CA		
AT MARKET	ALCOHOL:	S. A. S. W. T. B.	STATE OF THE PARTY	Sun Diego on	, , 	
			The said of	* P9. Date Rec	orded: $1/17/20$	07
	190	电影 题10			Type: (Describe))
AND THE RESERVE OF THE PARTY OF	100	255	1	Intensive (A)	rchitectural)	
AND THE PERSON NAMED IN	10	CHIEF				
* P11. Report Citation: (Cite survey repo	ort/other sources or "non	ie")				
* Attachments: NONE Loca	tion Map Sketch N	Лар С	ontinuation Sh	neet 🗸 Bu	ilding, Structure, a	and Object Record
	ecord Linear Feature	e Record	Milling Station	on Record R	ock Art Record	Artifact Record
☐ Photograph Record ☐ Other: (List)						

	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT RE	
	NRHP Status Code <u>5D1</u>
* Resource Name or #: <u>3405 Euclid Avenue</u> , <u>476-151-10</u>	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	DI Residential
* B6. Construction History: (Construction date, alterations, and date of alte The house was constructed in 1949 per San Diego County Assessor Property Composition roof with a new composition roof; and the addition of aluminum of integrity.	Characteristics. Modifications include the replacement of the
* B7. Moved? ✓ No Yes Unknown DateOrigin	nal Location:
* B8. Related Features:	
A detached single car garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b. B	wildow Unirnorum
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	uilder: Unknown
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historically	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	•
San Diego's expansion away from the city core and beyond the	
and population propelled the creation of new infrastructure and	
significant under HRB Criterion C, as it embodies distinctive ch	naracteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house" co	
Automobile Suburbs between 1926 and 1952. The first phase of	
small house movement of the 1920's and the immense popularit	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	
Housing Authority (FHA) through the introduction of Minimal	
of Spanish Eclectic homes is also seen during this phase. The th	aird phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the wal	ke of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was near	rly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	360 States Avenue
2 to Homano	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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(This space reserved for official coffifficials.)	FFF HV XXXXXX
	ISLENAIR HISTORICAL DISTRICT
	CONTRACTOR OF STREET

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #HR #Trinomial			
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PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
	Other Listings					
	Review Code	Reviewer				Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: <u>3411 Euclid A</u>	venue, APN 476-15	1-09				
P1. Other Identifier:						
* P2. Location: Not for Publica	tion Unrestricted	;	a. County <u>Sa</u> ı	n Diego		
b. USGS 7.5' Quad					_1/4 of Sec;	B.M.
c. Address 3411 Euclid Avenu	ue		City San D	Diego		Zip 92105
d. UTM: (Give more than one for la	arge and/or linear feature	e)	Zone	·,	mE/	mN
e. Other Locational Data: (e.g. pa APN 476-151-09; Islenai			to resource, 6	elevation, additio	nal UTMs, etc. a	s app
* P3a. Description: (Describe resource The house at 3411 Euclid Avenue features a flat roof; shaped parape five concrete steps, is centered or openings for access and ventilatic casement aluminum frame and sa for modifications and analysis of	e was built in 1929 is et walls; clay tile dra the façade under a on. The entry door is sh windows in the o	n the Spanain pipes; a front-facing set paralle	ish Eclectic and a texture g gable project to the side	style with Mised stucco exter jection with a dewalk. Fenestra	ssion Revival e ior. The entry, clay tile roof a ation consists	elements and , accessed via and arched of fixed and
* P4. Resources Present: Buildin	utes and codes) <u>HP2 S</u> g Structure Ob raph required for building	ject Site	District	Element of Dis P5b. Description Photo of the p public right-or * P6. Date Cons	of Photo: (View, primary façade f-way, tructed/Age and	date, etc.)
				1929 SD Cour * P7. Owner and Burni Ralph PO Box 1209:	nty Property C	
			r.v	* P8. Recorded City of San D 202 C Street, M San Diego CA	by: (Name, affiliating IS 4A 92101	Staff
		1	7	* P9. Date Reco * P10. Survey Ty Intensive (Arc	ype: (Describe))7
* P11. Report Citation: (Cite survey report	ort/other sources or "non	e")				
	ation Map Sketch Necord Linear Feature	. —	ontinuation Sho		_	nd Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT RE	
	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3411 Euclid Avenue, APN 476-151-09	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u> B4.	Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic/Mission Revival	
* B6. Construction History: (Construction date, alterations, and date of all The house was constructed in 1929 per San Diego County Assessor Property and the replacement of the wood frame windows with aluminum windows in good to fair degree of integrity.	Characteristics. Modifications include the use of textured stucco;
	ginal Location:
* B8. Related Features: A detached single car garage is located at the rear.	
A detached shighe can garage is located at the real.	
B9a. Architect: <u>Unknown</u> b.	
* B10. Significance: Theme <u>Early auto-oriented small house dev</u> Period of Significance 1926-1952 Property Type Resid	Area San Diego
(Discuss importance in terms of historical or architectural context as defined by ther	
The neighborhood of Islenair is historically significant as a his	
special element of San Diego's historical, social, economic, an	
is comprised of working-class homes reflective of the "small h	
San Diego's expansion away from the city core and beyond the	•
and population propelled the creation of new infrastructure and	
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house"	*
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development befo	* *
Great Depression. The second phase of development (1935-19	
Housing Authority (FHA) through the introduction of Minima	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was ne	
B11. Additional Resource Attributes: (List attributes and codes):	arry burn-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	30°F Galda General
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #				
			HR #				
			Trinomial				
PRIMARY RECORD			NRHP Status	Code <u>5B</u>			
	Other Listings Review Code	Reviewer			Γ	Date	
- 1 . 2							
Page $\underline{1}$ of $\underline{2}$	ADN 476 15	1 00					
* Resource Name or #: 3419 Euclid A	<u>venue, APN 476-15</u>	1-08					
P1. Other Identifier:	41		- 0	n Diago			
	tion Unrestricted			<u>n Diego</u> ; 1/4 of	4/4 - (0		
b. USGS 7.5' Quad				•			
c. Address 3419 Euclid Aven				Diego			
d. UTM: (Give more than one for la	•	•		9,			
e. Other Locational Data: (e.g. pa APN 476-151-08; Islenai			to resource,	elevation, additio	nai UTMS, etc. as	арр	
* P3a. Description: (Describe resource The house at 3419 Euclid Avenue a smooth stucco exterior with rouentry, accessed via four concrete entry door is set parallel to the sid B.6. for modifications and analys	e was built in 1938 inded transitions bet steps, is roughly cer dewalk. Fenestration	n the Art N ween the b ntered on the	Moderne sty pays and home ne façade an	rle and features rizontal lines se and recessed thre	a flat roof; dra et into the stucce ee feet into the	ain pipes; and co walls. The facade. The	
* P4. Resources Present: Buildin	utes and codes) <u>HP2 S</u> g Structure Ob	ject Site	District	P5b. Description	trict Other (Iso	date, etc.)	
				Photo of the p	rimary façade	from the	
				public right-o	f-wav.		
					tructed/Age and		
			9 .	Prehistori	c ✓ Historic	Both	
			1				
			1		nty Property C	harac	
The same of the sa	A	TUL		* P7. Owner and	l Address:		
Territoria Territoria	++++++1 + + 1		200	Moreno Alex			
Continue to the state of the st		BERT I		3419 Euclid A			
		188851		San Diego CA	92105		
				* DO D			
	There is named				by: (Name, affilia iego Planning S		
			10	202 C Street, M		Starr	
		36	71	San Diego CA			
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ANTO NATIONAL DESIGNATION OF THE PROPERTY OF T			+ +	* P9. Date Reco	rded: $1/17/200$	7	
THE PERSON NAMED IN THE PE		17	trans	* P10. Survey Ty			
		4	1200	Intensive (Arc			
	- A	1	The Land				
		1/1	Market 1				
* P11. Report Citation: (Cite survey rep	ort/other sources or "non-	e")					
* Attachments: NONE Loca	ation Map Sketch M	1ap □C	ontinuation Sh	neet 🗸 Buil	ding, Structure, an	nd Object Record	
Archaeological Record District R		e Record	Milling Station	on Record Ro	ck Art Record	Artifact Record	
☐ Photograph Record ☐ Other: (List)							

	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	CORD
· · · · · · · · · · · · · · · · · · ·	NRHP Status Code <u>5B</u>
* Resource Name or #: 3419 Euclid Avenue, APN 476-151-08	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Art Moderne	Nosak ees. <u>Di Residentiai</u>
* B6. Construction History: (Construction date, alterations, and date of alte	rations)
The house was constructed in 1938 per San Diego County Assessor Property 6 frame windows with vinyl windows in the original openings. The house is in g	Characteristics. Modifications include the replacement of the wood
* B7. Moved? ✓ No Yes Unknown DateOrigin	nal Location:
* B8. Related Features:	
A detached single car garage is located at the rear.	
DO: Autivest III-lineaum	The Halmony
	uilder: Unknown
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historically significant as a historically significant as a historical significant as a significa	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	•
San Diego's expansion away from the city core and beyond the	limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure and	development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive ch	
Traditional styles of the "small house" and "minimum house" co	
Automobile Suburbs between 1926 and 1952. The first phase of	
small house movement of the 1920's and the immense popularit	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	1), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minimal	Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The th	ird phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the wal	•
end of the third phase of development in 1952, Islenair was near	
B11. Additional Resource Attributes: (List attributes and codes):	Try built-out with only a few vacant fots femanning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(Onoton map man notal anotal roquinos)
Refer to Bisaret Biologiaphy for References essea	
	large and large
	THE COLUMN AND ADDRESS OF THE COLUMN AND ADD
B13. Remarks:	
* B14. Evaluator: <u>City San Diego Planning Staff</u>	
Date of Evaluation: <u>1/17/2007</u>	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DESTROCT
	Marie Control of the

State of California The Resources Age			•			
DEPARTMENT OF PARKS AND RECREA	ATION					
PRIMARY RECORD				Code <u>5D1</u>		
I KIMAKI KECOKE	Other Listings					
		Reviewe				Date
Page _ 1_ of _ 2_						
Resource Name or #: 3443 Euclid A	venue, APN 47	6-151-05				
P1. Other Identifier:	·					
P2. Location: Not for Publication	ion 🗸 Unrestric	ted	a. County Sa	n Diego		
						_; B.M.
c. Address 3443 Euclid Avenu	ie		City <u>San I</u>	Diego		Zip <u>92105</u>
d. UTM: (Give more than one for la	•			e,		
e. Other Locational Data: (e.g. pa APN 476-151-05; Islenair			to resource,	elevation, addit	ional UTMs, etc.	. as app
P3a. Description: (Describe resource The house at 3443 Euclid Avenue features a low-pitch hipped roof; veneer. The entry, accessed via for façade. The entry door is set para sash windows. A fabric has been to the house flush with the main f	was built in 19 composition shi our concrete step llel to the sidew added above the	45 in the Miningles; overharos, is roughly calk. Fenestrative focal window	mal Traditinging eaves centered on on consists of the two-consists.	onal style with eaves; and a s the façade and of single pand car garage is h	h Ranch influstucco exterior de recessed for exament visighly promin	ences and or with brick or feet into the nyl frame and ent and attached
P4. Resources Present: Building	utes and codes) <u>H1</u> g Structure [raph required for bu	Object Site	District	P5b. Description Photo of the public right-	istrict Other on of Photo: (Vie primary façae of-way.	ew, date, etc.) de from the
				Prehisto	unty Property	c Both
Market L	WINDLE			Burks Vertez		
	1000	1000	1	3443 Euclid		
	-			San Diego C	A 92105	
				City of San I 202 C Street, San Diego CA	Diego Plannir MS 4A A 92101	
					corded: 1/17/2 Type: (Describ rchitectural)	
P11. Report Citation: (Cite survey report	ort/other sources or	"none")				
* Attachments:		etch Map Ceature Record	Continuation Sh		uilding, Structure Rock Art Record	, and Object Record ☐Artifact Record

	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	CORD
· · · · · · · · · · · · · · · · · · ·	NRHP Status Code 5D1
* Resource Name or #: 3443 Euclid Avenue, APN 476-151-05	
B1. Historic Name:	
B2. Common Name	
•	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of alte The house was constructed in 1945 per San Diego County Assessor Property composition roof with a new composition roof; the use of brick veneer; the rewindows; the replacement of the highly prominent garage door with an alumin good condition and retains a fair degree of integrity. * B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrigi * B8. Related Features:	Characteristics. Modifications include the replacement of the placement of the original wood frame windows with vinyl num roll-up door; the addition of a fabric awning. The house is in
B9a. Architect: <u>Unknown</u> b. B	
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	
Period of Significance 1926-1952 Property Type	
(Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historically	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	buse" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond the	limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure and	development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive ch	
Traditional styles of the "small house" and "minimum house" c	
Automobile Suburbs between 1926 and 1952. The first phase of	
small house movement of the 1920's and the immense popularit	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	
Housing Authority (FHA) through the introduction of Minimal	
of Spanish Eclectic homes is also seen during this phase. The th	*
continued popularity of the Minimal Traditional style in the wal	
end of the third phase of development in 1952, Islenair was nea	rly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
* BAA Evaluation City San Diago Dlanning Staff	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
(This space reserved for official comments.)	
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State of California The Resources Ag DEPARTMENT OF PARKS AND RECRE			•			
PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
	Other Listings Review Code		r			Date
Page1_ of2_						
* Resource Name or #: 3202 Isla Vist	a Drive, APN 476-	242-10				
P1. Other Identifier:						
* P2. Location: Not for Publication	ation 🗸 Unrestricted	ł	a. County Sa	ın Diego		
b. USGS 7.5' Quad						
c. Address 3202 Isla Vista D	rive		City San I	Diego		Zip <u>92105</u>
d. UTM: (Give more than one for	large and/or linear featu	ıre)	Zone	e,	mE/	mN
e. Other Locational Data: (e.g. p APN 476-242-10-00; Isla				elevation, additi	onal UTMs, etc. a	s app
* P3a. Description: (Describe resource The house at 3202 Isla Vista Dri cross gable roof with compositio which is at grade, is set to the rig set perpendicularly to the sideway windows. Refer to BSOR Section	ve was built in 193 n shingles; a slight tht and features a ro lk. Fenestration co	5 in the Min eave overhadof extension nsists of mu	nimal Tradit ang; and a w n supported alti-lite and	tional style and wood clapboard by a square w 1-over-1 doub	I features a med exterior. The rood post. The	dium pitch entry porch, entry door is
	outes and codes) <u>HP2</u>			✓ Flement of Di	strict Other (Is	enlates etc.)
					n of Photo: (View,	
P5a. Photograph or Drawing (Photograph	graph required for buildi	ngs, structures	s, and objects)	· ·	primary façade	
	一				primary raçade of-wav.	
	Tiring to		3		structed/Age and	
	W. C.	2	17	Prehisto		Both
	4 2 2 2	1	1	1025 Water (and Sewer Reco	
177 (4.35)	一个人的	Service A	Alle To	* P7 . Owner ar		nus
		1-11-	1	Orr Kathryn		
	Zan			3202 Isla Vis	sta Drive	
		- 11	19	San Diego C	A 92105	
	14/					
			جے نہ ا	* P8. Recorded	l by: (Name, affilia	ation, address)
					Diego Planning	Staff
		410	700	202 C Street, J		
The state of the s	The state of the s	The second		San Diego CA	. 92101	
				* DO Doto Doo	orded: <u>1/17/200</u>	<u> </u>
THE RESERVE AND A SECOND			_		Гуре: (Describe)) /
	Land to the			Intensive (A)		
	1		- Company			
The state of the s		- 36	4			
* P11. Report Citation: (Cite survey rep	oort/other sources or "no	one")				
- -	ation Map Sketch		Continuation Sh		ilding, Structure, a	
☐ Archaeological Record ☐ District F☐ Photograph Record ☐ Other: (List		ure Record	Milling Station	on Record LR	ock Art Record	Artifact Record
	J					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	
· · · · · · · · · · · · · · · · · · ·	NRHP Status Code 5D1
* Resource Name or #: 3202 Isla Vista Drive, APN 476-242-10	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
•	Pieseni Ose. <u>Sr Kesidentiai</u>
bo. Architectural otyle. Arthitian Traditional	
* B6. Construction History: (Construction date, alterations, and date of alterations was constructed in 1935 per water and sewer records. Modificatio composition roof and the addition of a tall hedge, which obscures the house integrity.	ns include the replacement of the composition roof with a new
* B7. Moved? ✓ No Yes Unknown DateOrig	inal Location:
* B8. Related Features:	
A detached garage is located at the rear.	
** .	•••
	Builder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	
Period of Significance 1926-1952 Property Type Resident	
(Discuss importance in terms of historical or architectural context as defined by them	
The neighborhood of Islenair is historically significant as a historically	toric district under HRB Criterion A, as an intact and
special element of San Diego's historical, social, economic, and	d architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small ho	
San Diego's expansion away from the city core and beyond the	•
and population propelled the creation of new infrastructure and	
significant under HRB Criterion C, as it embodies distinctive c	
Traditional styles of the "small house" and "minimum house" of	
Automobile Suburbs between 1926 and 1952. The first phase of	of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194)	
Housing Authority (FHA) through the introduction of Minimal	
of Spanish Eclectic homes is also seen during this phase. The t	*
continued popularity of the Minimal Traditional style in the wa	ike of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was near	arly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
DIS. Remarks.	1000
	2300 SIA MOTA DEWE
A TALL TO A COMPANY OF THE STATE OF THE STAT	The state of the s
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	LILIHLIZ AYAXXX
	ISLEMAIR HISTORIC AL DISTERCT

DEPARTMENT OF PARKS AND RECREATION			HR #				
PRIMARY RECORD			Trinomial	a . 5D1			
FRIMART RECORD	Other Links						
	Other Listings	Doview				Date	
	Review Code	Review	er			Date	
Page1_ of2_							
* Resource Name or #: <u>3209 Isla Vis</u> t	ta Drive, APN 47	76-242-08					
P1. Other Identifier:				ъ.			
	ation 🗸 Unrestric						
b. USGS 7.5' Quad							
c. Address 3209 Isla Vista D. d. UTM: (Give more than one for					mE/		
e. Other Locational Data: (e.g. p	-						
APN 476-242-08-00; Isl			is to resource,	, cicvation, at	aditional orms, etc	,. as app	
* Do- Description (Describe recourse			-:				
* P3a. Description: (Describe resource	•		-			- '	
The house at 3209 Isla Vista Dri				•			
features a multi-hipped roof with							
porch, accessed via one concrete							
wrought iron post. The entry doc							
connected to the house through a							
windows in the original wood fra	ames. Refer to B	SOR Section	B.6. for mod	difications a	and analysis of i	integrity.	
•	outes and codes) <u>HI</u>						
* P4. Resources Present: Building	ng Structure	_Object	te District		of District Other	,	
P5a. Photograph or Drawing (Photo	graph required for bu	ildings, structure	es, and objects)	P5b. Descr	iption of Photo: (Vi	ew, date, etc.)	
		*	1	Photo of t	the primary faça	de from the	
		3500		public rig	ht-of-wav.		
					Constructed/Age a		
J. 不禁住证的 "自然"		100		Preh	nistoric	ic Both	
	张 医 一克		200				
		- 3/2	Section 1		ter and Sewer R	ecords	
A T A SECURITION OF THE PARTY O		With the Control	F		er and Address:		
	11 多洲公	The same to the	X	Johnson I			
			60		Vista Drive		
	West Francisco	7776		San Diego	o CA 92105		
- AND SEC. 25.	AND STATE OF THE S	-	200				
The state of the s	5	Annual III	1		rded by: (Name, a	,	
			1 1		an Diego Planni et. MS 4A	ng Stan	
	The second				CA 92101		
			1	<u>Sun Brego</u>	011/2101		
			丰	* P9. Date	Recorded: 1/17/2	2007	
					vey Type: (Describ		
	W. T.				(Architectural)		
	A CONTRACT OF THE PARTY OF THE						
	William St. St. Co.		15 (I) (I) (I) (I)	<u> </u>			
* P11. Report Citation: (Cite survey rep	oort/other sources or	"none")					
			Continuation S	_		e, and Object Record	
	Record Linear Fe	eature Record	Milling Stati	on Record	Rock Art Record	Artifact Record	
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT F	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3209 Isla Vista Drive, APN 476-242-08	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	54. Tresent ose. 51 Residential
* B6. Construction History: (Construction date, alterations, and date of	alterations)
The house was constructed in 1947 per water and sewer records. Modifica composition roof, the use of textured stucco, and the replacement of the of frame openings. The house is in fair condition and retains a fair degree of	ations include the replacement of the composition roof with a new riginal wood sash windows with vinyl windows in the original wood
* B7. Moved? ✓ No Yes Unknown DateC * B8. Related Features:	Original Location:
	o. Builder: Don Lords
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance $1926-1952$ Property Type Res (Discuss importance in terms of historical or architectural context as defined by the state of	
The neighborhood of Islenair is historically significant as a fixed special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure a significant under HRB Criterion C, as it embodies distinctive traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popul progressed steadily during the first phase of development be Great Depression. The second phase of development (1935-Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was a B11. Additional Resource Attributes: (List attributes and codes):	historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically e characteristics of Spanish Eclectic and Minimal e" construction types during San Diego's development of ee of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: <u>1/17/2007</u>	
	TOWN SLAVEN DESIGNATION OF THE PROPERTY OF THE

State of California The Resources Ager DEPARTMENT OF PARKS AND RECREAT	-		•			
DEL ARTIMENT OF FARMS AND REGREAT	1011					
PRIMARY RECORD						
	Other Listings			Code <u>3D1</u>		
	Review Code					Date
Page1_ of2_						
* Resource Name or #: 3219 Isla Vista	Drive, APN 476-2	242-07				
P1. Other Identifier:						
* P2. Location: Not for Publication	on Unrestricted	a.	$\textbf{County}\underline{Sa}$	ın Diego		
b. USGS 7.5' Quad						
c. Address <u>3219 Isla Vista Driv</u>						
d. UTM: (Give more than one for lar	•	•			mE/	
e. Other Locational Data: (e.g. pare APN 476-242-07-00; Islen			resource,	elevation, addit	tional UTMs, etc.	as app
71111 170 212 07 00, Islein	un em 112, Block	CO, LOT /				
* P3a. Description: (Describe resource a The house at 3219 Isla Vista Drive composition shingles; clipped eave steps, is centered on the façade und Fenestration consists of a 9-lite fix	was built in 1950 es; and a wood cla der a slight roof ex) in the Minir pboard exteri xtension. The	nal Traditior. The eentry do	tional style an ntry porch, ac or is set parall	nd features a hip eccessed via five lel to the sidew	pped roof with e concrete alk.
windows. Refer to BSOR Section	5.0. Tor modificat	ions una una	<i>y</i> 515 01 111	tegrity.		
•	es and codes) <u>HP2 S</u>	Single family			District Other (Isolates. etc.)
P5a. Photograph or Drawing (Photogra				- <u> </u>	on of Photo: (View	
F3a. Filotograph of Drawing (Filotogra	ipri required for buildin	igs, structures, a	ina objects)		primary façad	,
					of-wav.	
				* P6. Date Co	nstructed/Age and	d Sources:
	e.			Prehisto	oric ✓ Historic	Both
50					and Sewer Red	cords
2				* P7. Owner a	nd Address: ble V & Lois P	Tenat
	1			3219 Isla Vi		Trust
	-			San Diego C		
-				Buil Diezo C	211)2103	
			100	* P8. Recorde	d by: (Name, affil	liation, address)
AND MAIN AND AND AND AND AND AND AND AND AND AN	4				Diego Planning	
The second second	9		-74	202 C Street,	MS 4A	
		- A (2) (5)	- 4		A 02101	
				San Diego Ca	1 92101	
						007
				* P9. Date Rec	corded: 1/17/20	
				* P9. Date Rec * P10. Survey	corded: <u>1/17/20</u> Type: (Describe	
				* P9. Date Rec * P10. Survey	corded: 1/17/20	
				* P9. Date Rec * P10. Survey	corded: <u>1/17/20</u> Type: (Describe	
* P11. Report Citation: (Cite survey repor	t/other sources or "noi	ne")		* P9. Date Rec * P10. Survey	corded: <u>1/17/20</u> Type: (Describe	
	t/other sources or "nor	ne")		* P9. Date Rec * P10. Survey	corded: <u>1/17/20</u> Type: (Describe	
* P11. Report Citation: (Cite survey repor * Attachments: NONE Locati Archaeological Record District Rec	on Map Sketch	Map Cor	ntinuation SI Milling Station	* P9. Date Rec * P10. Survey Intensive (A	corded: 1/17/20 Type: (Describe rchitectural)	

osition roof with a new
ria <u>F</u>
s integrity.)
on A, as an intact and eneighborhood, which stage in the City of increases in mobility it is also historically c and Minimal ego's development of effective of both the are. Construction the the onset of the ly formed Federal the fading popularity 5-1952) reflects the wing WWII. By the cant lots remaining.
cuit 10t5 remaining.
rrow required)
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State of California The Resources Agency			•			
DEPARTMENT OF PARKS AND RECRE	ATION					
PRIMARY RECORD						
PRIMART RECORD	0.1		NRHP Status	Code 5D1		
	Other Listings Review Code	Reviewe				Date
Page <u>1</u> of <u>2</u>						
Resource Name or #: <u>3224 Isla Vist</u>	a Drive. APN 4	76-242-12				
P1. Other Identifier:						
	ation 🗸 Unrestri	cted	a. County Sa	ın Diego		
			-			_; B.M.
c. Address <u>3224 Isla Vista Dr</u>						
d. UTM: (Give more than one for	large and/or linear fe	eature)	Zone	e,	mE/	mN
e. Other Locational Data: (e.g. p			to resource,	elevation, addit	ional UTMs, etc	. as app
APN 476-242-12-00; Isle						
P3a. Description: (Describe resource						
The house at 3224 Isla Vista Driv				-		-
with composition shingles; clippe						
porch, accessed via two concrete						
entry door is set parallel to the si	dewalk. Fenestr	ration consists of	of 6-over-6	double hung v	vood frame a	nd sash
windows with decorative wood s	hutters. Refer to	BSOR Section	n B.6. for m	nodifications a	nd analysis o	of integrity.
* P3b. Resource Attributes: (List attrib	outes and codes) \underline{H}	P2 Single fami	ly property			
·	*	Object Site		✓ Element of D	istrict Other	(Isolates, etc.)
P5a. Photograph or Drawing (Photog	graph required for b	uildings, structures	, and objects)	P5b. Description	on of Photo: (Vie	ew, date, etc.)
		3 /	, ,	Photo of the	primary faça	de from the
				public right-	of-wav.	
AL A.					structed/Age a	
Made Mark	-			Prehisto	oric Histori	c Both
and the state			1	1937 Water * P7. Owner a	and Sewer Re	ecords
第二十二十二十二十二十二十二十二十二十二十二十二十二十二十二十二十二十二十二十			1		rt D and Trac	v I
70 parts		A STATE OF THE PARTY OF THE PAR	1	3224 Isla Vi		Y L
	- (A. C.	THE REAL PROPERTY.	1	San Diego C		
H H S						
	property and and are		THAT	* P8. Recorde	d by: (Name, af	filiation, address)
				City of San 1	Diego Plannir	
			The Agents	202 C Street,		
		View Control		San Diego CA	X 92101	
	Description of the last			* P9 Date Rec	orded: 1/17/2	2007
		-			Type: (Describ	
		(a-	and it	Intensive (A		,
The state of the s	A STATE OF		-			
			A.S.			
* P11. Report Citation: (Cite survey rep	oort/other sources or	r "none")				
* Attachments: NONE Loc	ation Map Ske	etch Map C	ontinuation Sh	neet	uilding Structure	, and Object Record
Archaeological Record District R	. —	eature Record	Milling Station		lock Art Record	Artifact Record
Photograph Record Other: (List)			_			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3224 Isla Vista Drive, APN 476-242-12	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	D4. Flesent Ose. SI Residential
* B6. Construction History: (Construction date, alterations, and date of	of alterations)
The house was constructed in 1937 per water and sewer records. Modific composition roof. The house is in good condition and retains a very good	cations include the replacement of the composition roof with a new
* B7. Moved? No Yes Unknown Date* * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: Unknown	b. Builder: Francis Bartlett
* B10. Significance: Theme Early auto-oriented small house d	
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularies progressed steadily during the first phase of development (1935). Housing Authority (FHA) through the introduction of Minimof Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which all house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal se" construction types during San Diego's development of se of development (1927-1931) is reflective of both the alarity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	3344 (S.A. WES) (MW).
	DIELDY AXXXXII
	ISLENAIR HISTORIC AL DISTRICT TO THE REPORT TO THE PROPERTY.

	HR #				
	Trinomial				
PRIMARY RECORD	NRHP Status Code <u>5D1</u>				
Other Listings					
Review Code Rev	viewerDate				
Page1 of2					
* Resource Name or #: 3225 Isla Vista Drive, APN 476-242-06					
P1. Other Identifier:	2 Causty Can Diago				
	a. County <u>San Diego</u> T; R; 1/4 of Sec; B.M.				
d. UTM: (Give more than one for large and/or linear feature)	Zone,mE/mN				
e. Other Locational Data: (e.g. parcel #, legal description, direc					
APN 476-242-06-00; Islenair Unit #2, Block 8, Lot	: 12				
tile shed roof along the parapet line and an asymmetrical frexterior; and a chimney at the south elevation. The entry is pointed arch opening. The entry door is set parallel to the si windows on the main, west façade; and casement and 6-ove south side elevation. Refer to BSOR Section B.6. for modified to the second	set under the longer end of the gable, recessed under a idewalk. Fenestration consists of fixed wood frame er-6 double hung vinyl frame and sash windows on the				
`	Site ☐ District ✓ Element of District ☐ Other (Isolates, etc.) ctures, and objects) P5b. Description of Photo: (View, date, etc.)				
* P4. Resources Present: ✓ Building Structure Object	Site ☐ District ✓ Element of District ☐ Other (Isolates, etc.)				
* P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address:				
* P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L				
P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive				
P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L				
P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105				
* P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff				
P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A				
* P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff				
* P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101				
* P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007				
* P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101				
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P5a. Photograph or Drawing (Photograph required for buildings, structure) P5a. Photograph or Drawing (Photograph required for buildings, structure) P5a. Photograph or Drawing (Photograph required for buildings, structure)	Site District Element of District Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: Prehistoric Historic Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe)				
* P4. Resources Present: ✓ Building Structure Object	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe)				
P5a. Photograph or Drawing (Photograph required for buildings, structure) P5a. Photograph or Drawing (Photograph required for buildings, structure)	Site □ District ✓ Element of District □ Other (Isolates, etc.) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the public right-of-way. * P6. Date Constructed/Age and Sources: □ Prehistoric ☑ Historic □ Both 1928 Water and Sewer Records * P7. Owner and Address: Merk Roger L 3225 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe)				

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT RI	ECORD
· · · · · · · · · · · · · · · · · · ·	* NRHP Status Code 5D1
* Resource Name or #: 3225 Isla Vista Drive, APN 476-242-06	
B1. Historic Name:	
B2. Common Name	·
	Present Use: SF Residential
* B5. Architectural Style: <u>Spanish Eclectic</u> * B6. Construction History: (Construction date, alterations, and date of al	torations)
The house was constructed in 1928 per water and sewer records. Modification the replacement of the original windows along the south side elevation; and good condition and retains a good degree of integrity.	ons include the replacement of the clay tile roof with new clay tile;
* B7. Moved? No Yes Unknown Date Ori B8. Related Features:	ginal Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b.	Builder: <u>Unknown</u>
	Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Resid	
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a his	
special element of San Diego's historical, social, economic, ar	
is comprised of working-class homes reflective of the "small h	
San Diego's expansion away from the city core and beyond th	•
and population propelled the creation of new infrastructure an	d development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house"	
Automobile Suburbs between 1926 and 1952. The first phase	*
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development before Great Depression. The second phase of development (1935-19)	
Housing Authority (FHA) through the introduction of Minima	
of Spanish Eclectic homes is also seen during this phase. The	•
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was ne	early built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Biologiaphy for References esec	
D40 December	
B13. Remarks:	1000
	3230 DLA WITS CONT
* PAA Fusikata City Con Diogo Diogo Diogo Canff	
* B14. Evaluator: <u>City San Diego Planning Staff</u> Date of Evaluation: <u>1/17/2007</u>	
(This space reserved for official comments.)	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #			
			HR #			
DDIMADY DECORD			Trinomial			
PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
	Other Listings Review Code	Reviewer	·			Date
p 1 . 2						
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3226 Isla Vist</u>	o Drivo ADN 476 2	42 11				
	a Diive, Ariv 470-2	42-11				
P1. Other Identifier:	tion Unrestricted		a. County <u>Sar</u>	Diago		
 -					1/4 of Sec;	D M
b. USGS 7.5' Quad c. Address 3226 Isla Vista Di						
d. UTM: (Give more than one for I	•	•			mE/	
e. Other Locational Data: (e.g. pa APN 476-242-11-00; Isla			to resource, e	levation, addition	onai UIMS, etc. a	s app
* P3a. Description: (Describe resource The house at 3226 Isla Vista Driveross gable roof with compositio The entry porch, accessed via two square wood post. The entry door doors, and single pane fixed and for modifications and analysis of	we was built in 1936 in shingles; clipped e to concrete steps, is so it is set perpendicular 1-over-1 double hun	in the Min eaves; wood set to the ri rly to the s	imal Traditi d clapboard ght and feati idewalk. Fer	onal style and in the gable en ures a roof ext nestration cons	features a media; and a stuccession supportings of four-lit	dium pitch to exterior. ted by a te French
* P4. Resources Present: Buildin	utes and codes) HP2 S	ject Site	District		strict Other (Is	• ,
P5a. Photograph or Drawing (Photog	graph required for building	gs, structures	, and objects)		of Photo: (View,	
					orimary façade	
	A. mail	and the same	sande.	* P6 Date Cons	f-wav. structed/Age and	Sources:
	de Ve			Prehistori	_	Both
	· 在 2 / 1 / 1 / 1 / 1 / 1 / 1 / 1 / 1 / 1 /			1936 Water a	nd Sewer Reco	ords
The same of the sa			Marie Control	* P7. Owner and		
		海上 海		Turner Ruth I		
	A STATE OF THE STA			6963 Galewoo	od Street	
		THE PERSON NAMED IN		San Diego CA	A 92120	
			1			
					by: (Name, affilia	
					iego Planning	Staff
			No.	202 C Street, N	<u>IS 4A</u>	
The state of the s				San Diego CA	92101	
	Marks of Marks			* DO D / D	orded: 1/17/200)7
					·) /
				Intensive (Arc	ype: (Describe) chitectural)	
date.		THE RESERVE OF				
* P11. Report Citation: (Cite survey rep	ort/other sources or "non	e")				
	ation Map Sketch N		ontinuation She		lding, Structure, a	nd Object Record
☐ Archaeological Record☐ Photograph Record☐ Other: (List)	ecord Linear Feature	e Record	Milling Station	n Record Ro	ock Art Record [Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3226 Isla Vista Drive, APN 476-242-11	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	34. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1936 per water and sewer records. Modifical composition roof. The house is in good condition and retains a good degree	ations include the replacement of the composition roof with a new
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date(* B8. Related Features: A detached garage is located at the rear.	Original Location:
A detactical garage is located at the lear.	
B9a. Architect: <u>Unknown</u>	o. Builder: <u>Unknown</u>
* B10. Significance: Theme Early auto-oriented small house de	
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a h	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "small	•
San Diego's expansion away from the city core and beyond	the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure a	and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phas	
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	1941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minin	nal Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. Th	
continued popularity of the Minimal Traditional style in the	*
end of the third phase of development in 1952, Islenair was in B11. Additional Resource Attributes: (List attributes and codes):	hearry built-out with only a few vacant fors femaning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(Sketch map with horth arrow required)
Refer to District Biolography for References Used	
B13. Remarks:	
	TITLE GLANNIN DROVE
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
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	BLENAUHUSTORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #				
PRIMARY RECORD			Trinomial				
PRIMART RECORD	Other Pathers		NRHP Status	s Code <u>5D1</u>			
	Other Listings Review Code	Reviewe	r			Date	
Page _1_ of _2_							
* Resource Name or #: 3235 Isla Vis	ta Drive, APN 476-2	242-05					
P1. Other Identifier:							
* P2. Location: Not for Public	ation 🗸 Unrestricted			an Diego			
b. USGS 7.5' Quad					1/4 of Sec		
c. Address 3235 Isla Vista D							
d. UTM: (Give more than one for	-				mE/		
e. Other Locational Data: (e.g. p APN 476-242-05-00; Isl			s to resource,	elevation, additi	onal UTMs, etc. a	is app	
* P3a. Description: (Describe resource							
The house at 3235 Isla Vista Dri				•		•	
cross gable roof with composition							
stucco exterior. The entry porch,							
supported by a square wood post	•		•				
lite fixed and casement wood fra	me and sash windov	ws. Refer to	BSOR Sec	etion B.6. for i	nodifications a	ind analysis of	
integrity.							
		0:1.	1				
•	outes and codes) $\frac{HP2}{C}$				intrint Dthor (I	aclatae ata \	
		bject Site		_	istrict Other (I	,	
P5a. Photograph or Drawing (Photo	graph required for buildin	ngs, structures	s, and objects)	-	n of Photo: (View		
			-		primary façade		
		250	a. di	bublic right-	of-wav. structed/Age and	I Sources	
	300			Prehisto	•	Both	
	7.00	700	1		TIC TISTOTIC		
		/TSW/	100	1026 Water	and Sewer Rec	orda	
-0.0			1	* P7. Owner a		orus	
		le Marie		Grainger Vir			
at the		St. W.	1	5176 E Bedf			
		*	1	San Diego C			
	and the last	141	T. No.	* P8. Recorded	d by: (Name, affili	ation. address)	
			1		Diego Planning		
			Way.	202 C Street,	MS 4A		
			4	San Diego CA	92101		
410					1/17/00	07	
		V. Branch			orded: <u>1/17/20</u>		
			3		Type: (Describe)		
				Intensive (A	cintectural)		
- CONT. 100							
* D44 Deposit Citations (Citations	oort/othor	no"\		1			
* P11. Report Citation: (Cite survey re	port/otner sources or "no	ne")					
* Attachmenta: NONE -	notion Man Cleater	Mon 🗆	Continuation C	hoot 🗐	ilding Ctm.ot	and Object Desert	
* Attachments: NONE Loc Archaeological Record District F	cation Map Sketch Record Linear Featu	. —	Continuation SI Milling Stati		iliding, Structure, a ock Art Record	and Object Record Artifact Record	
☐ Photograph Record ☐ Other: (List		io ixecolu [iviiiiig Stati	on RecordR	OUN AIT NEOUIU	Attilact Necold	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3235 Isla Vista Drive, APN 476-242-05	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	34. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1936 per water and sewer records. Modific composition roof and the addition of aluminum awnings. The house is in	ations include the replacement of the composition roof with a new
* B7. Moved? No Yes Unknown Date	Original Location:
B9a. Architect: Unknown	Builder: Unknown
	ev Area San Diego
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "smal San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development be Great Depression. The second phase of development (1935–Housing Authority (FHA) through the introduction of Minimof Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically e characteristics of Spanish Eclectic and Minimal e" construction types during San Diego's development of e of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal nal Traditional style architecture. The fading popularity e third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
* B14. Evaluator: <u>City San Diego Planning Staff</u> Date of Evaluation: <u>1/17/2007</u>	SLEVAR RISTORICA DISTECT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD						
	Other Listings					
	Review Code	Reviewer				_Date
Page1_ of2_						
* Resource Name or #: <u>3241 Isla Vist</u>	<u>a Drive, APN 476-2</u>	242-04				
P1. Other Identifier:						
	ation Unrestricted		-			
b. USGS 7.5' Quad						
c. Address 3241 Isla Vista Di d. UTM: (Give more than one for					mE/	
	-					
e. Other Locational Data: (e.g. p APN 476-242-04-00; Isla			to resource,	elevation, additi	onai UTMS, etc.	аѕ арр
*P3a. Description: (Describe resource The house at 3241 Isla Vista Dri and features a multi-hipped roof textured stucco exterior. The entifeatures a small projection supports of single pane fixed and 2-over-2	we was built in 1940 with composition stry porch, accessed worted by brackets. T	O in the Min hingles; slig via three con he entry doo	imal Tradit tht eave oven crete steps or is set para	tional style wi erhang with ex , is roughly ce allel to the sid	th Art Modern posed rafter to entered on the ewalk. Fenest	e influences ails; and a façade and ration consists
round portal window and the use analysis of integrity.						
* P4. Resources Present: Buildin	outes and codes) <u>HP2</u> andStructureO	bject Site	District	P5b. Description Photo of the	strict Other (n of Photo: (View primary façad	y, date, etc.) e from the
	**		14	* P6. Date Con	of-way. structed/Age and ric Historic	d Sources:
and the second second	A	1	- 20	* P7. Owner a		corus
And inches	1		-	Sevel Vicki		
				3241 Isla Vi		
351			1	San Diego C	A 92105	
	1					
			7		l by: (Name, affi	
-A\$000		. 4	E.	202 C Street.	Diego Planning MS 44	2 Starr
			LEASING .	San Diego CA		
			3 / 3 / 3			
			1	* P9. Date Rec	orded: $1/17/20$	007
		ALCOHOL TO	1100		Type: (Describe)
				Intensive (A	cnitectural)	
The second second second	1-1-	1	1			
* P11 Papart Citation: (Cita aurus)	port/other courses or "as	no")				
* P11. Report Citation: (Cite survey rep	oorvourier sources of "No	iiie)				
* Attachments: NONE Loc	ation Map Sketch	Map □C	ontinuation Sh	neet 🗸 Ri	ilding, Structure	and Object Record
Archaeological Record District F		. —	Milling Statio		ock Art Record	Artifact Record
Photograph Record Other: (List		_	_ 5	J		_

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3241 Isla Vista Drive, APN 476-242-04	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1936 per water and sewer records. Modific composition roof and a decorative cement walkway. The house is in good	cations include the replacement of the composition roof with a new
* B7. Moved? No Yes Unknown Date* * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: Unknown	h Ruilder: Howard Johnson
	ev Area San Diego
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularies progressed steadily during the first phase of development (1935). Housing Authority (FHA) through the introduction of Minited Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which all house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal e" construction types during San Diego's development of se of development (1927-1931) is reflective of both the alarity of Spanish Eclectic architecture. Construction refore construction came to a halt with the onset of the e-1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the e wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	TOTAL
	ISLENAIR HISTORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD				Code <u>5D1</u>		
	Other Listings Review Code		r			Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: <u>3242 Isla Vist</u>	a Drive APN 176	242-14				
P1. Other Identifier:	a Diive, Ai iv 470-	242-14				-
	tion Vunrestricted	1	a Caumtu Co	n Diago		
b. USGS 7.5' Quad			-			
c. Address 3242 Isla Vista Dr						
d. UTM: (Give more than one for I	-			e,		
e. Other Locational Data: (e.g. pa APN 476-242-14-00; Isle			to resource,	elevation, additi	onal UIMS, etc.	as app
* P3a. Description: (Describe resource The house at 3242 Isla Vista Driv features a side gable roof with co with exposed rafter tails; an asbevia two concrete steps, is set to the entry door is set perpendicularly over-1 double hung wood frame a integrity.	we was built in 1930 mposition shingles stos shingle exterione right and feature to the sidewalk. Feand sash windows.	6 in the Mir; vertical wor; and a bries a roof extenses tration constration constraints.	nimal Tradit ood siding i ck chimney ension supp onsists of n SOR Section	tional style wi in the gable en at the ridgelin ported by a turn nulti-lite fixed	th Ranch elements, a slight eaven. The entry pened spindle we and casement	nents and we overhang borch, accessed bood post. The t, as well as 1-
	utes and codes) <u>HP2</u> g Structure C			✓ Element of D	istrict Other ((Isolates, etc.)
	graph required for buildi			<u> </u>	n of Photo: (View	•
Tour Protograph of Brawing (Priotog	graph required for ballar	ngo, otraotares	, and objects)		primary façad	
				public right-	of-wav. structed/Age an	d Sources:
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4		100		1935 Water a	and Sewer Red	cords
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The same of the sa	The Real Property lies	The state of the s		3242 Isla Vis		שו
in the same		NAME OF TAXABLE PARTY.		San Diego C		
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STATE STATES	1/20		V		d by: (Name, affi	
疆界 至于 300000 000				202 C Street.	<u>Diego Plannin</u>	g Stall
			1000	San Diego CA		
	1000			Buil Diego er	1,72101	
			A CONTRACTOR	* P9 Date Rec	orded: 1/17/20	007
					Type: (Describe	
			THE RESERVE	Intensive (A		')
	Company Comment	THE THEOLOGICAL PROPERTY.				
100 年 70年 (美国大田) (A. 1900年)	A STATE OF THE STA					
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ne")		·		
(5.15 54.15) 100		- /				
* Attachments: NONE Loca	ation Map Sketch	Мар ПС	Continuation Sh	neet 🗸 Bu	ilding, Structure.	and Object Record
☐ Archaeological Record ☑ District R	• —	re Record	Milling Station		ock Art Record	Artifact Record
Photograph Record Other: (List)		_	-	_		

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: <u>3242 Isla Vista Drive</u> , APN 476-242-14	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u>	34. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1936 per water and sewer records. Modifica composition roof and the application of asbestos shingle siding, which applicationship of the siding to the window frames. The house is in good of the siding to the window frames.	ations include the replacement of the composition roof with a new pears to have been applied over the original siding, as evidenced by
* B7. Moved? ✓ No Yes Unknown DateC * B8. Related Features:	Original Location:
A detached garage is located at the rear.	
B9a. Architect: Unknown	o. Builder: <u>Unknown</u>
* B10. Significance: Theme Early auto-oriented small house de	
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a h	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond	•
and population propelled the creation of new infrastructure a	
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development be	fore construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-	1941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minin	nal Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	*
end of the third phase of development in 1952, Islenair was i	
B11. Additional Resource Attributes: (List attributes and codes):	really state out with only a lew vacant lots formalling.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	COLUMN WITH CHAPL
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	ISLE-NAIR HISTORIC AL DISTRIC T

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD				Code <u>5D1</u>		
	Other Listings					
	Review Code	Reviewe	r			_Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: <u>3249 Isla Vist</u>	a Drive, APN 476-	242-03				
P1. Other Identifier:						
	tion U nrestricted		-			
b. USGS 7.5' Quad						
c. Address <u>3249 Isla Vista Dr</u>						
d. UTM: (Give more than one for la	-			e,		
e. Other Locational Data: (e.g. pa			to resource,	elevation, additi	onal UTMs, etc.	as app
APN 476-242-03-00; Isle	chair Unit #2, block	k 6, L0t 3				
The house at 3249 Isla Vista Driv with composition shingles; horizo porch, accessed via three concrete parallel to the sidewalk. Fenestra under aluminum awnings. Refer to	ontal vents in the goesteps, is centered tion consists of 4-o	able end; cl and recesse over-4 and 1	ipped eaves ed three feet over-1 dou	; and a smooth t into the façac ble hung woo	n stucco exteri le. The entry of d frame and sa	or. The entry loor is set
* P4. Resources Present: Buildin	utes and codes) <u>HP2</u> g Structure C graph required for buildin	Object Site	District	P5b. Description	strict Other (n of Photo: (View primary façad	v, date, etc.)
		***		<u>public right-</u> * P6. Date Con ☐ Prehisto	of-wav. structed/Age and ric Historic	d Sources:
	Series (4)	1	A.		and Sewer Red	cords
()	N. 11/	#		* P7. Owner at	nd Address: Robert K and	Diana
4			W	3249 Isla Vis		Diana
1	**********	1777	1	San Diego C		
The state of the s	1.13	AND ME		Sun Diego C	,2100	
7		-		* P8. Recorded	by: (Name, affi	liation, address)
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		S. S. S. S. S. S.	1	Intensive (A	Type: (Describe chitectural))
		Water and		22120113110 (71)		
		STORY OF THE PARTY OF				
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ne")				
(0.00 00.00)		- /				
* Attachments: NONE Loca	ation Map Sketch	Мар ПС	Continuation SI	neet 🗸 Bu	ilding, Structure,	and Object Record
☐ Archaeological Record ✓ District R	· —	re Record [Milling Station		ock Art Record	Artifact Record
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: <u>3249 Isla Vista Drive</u> , APN 476-242-03	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u>	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1945 per water and sewer records. Modifical composition roof and the addition of aluminum awnings. The house is in a	ations include the replacement of the composition roof with a new
* B8. Related Features:	Original Location:
A detached garage is located at the rear.	
B9a. Architect: Unknown	b. Builder: Severin Construction Company
* B10. Significance: Theme Early auto-oriented small house de	
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by t	
The neighborhood of Islenair is historically significant as a l	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "small	
	•
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure a	
significant under HRB Criterion C, as it embodies distinctive	e characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phas	
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minin	
of Spanish Eclectic homes is also seen during this phase. Th	e third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the	wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was a	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	SAMPLE VIEWS
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	ISLENAIR HISTORIC AL DISTRICT

State of California The Resources Agency						
DEPARTMENT OF PARKS AND RECREA	IIION					
PRIMARY RECORD				5D1		
PRIMART RECORD	Others History			Code <u>5D1</u>		
	Other Listings Review Code	Reviewe				Date
n 1 . 2		reviews				
Page <u>1 of 2 </u>	Drive ADN A	76 242 01				
P1. Other Identifier:	DIIVE, AFN 4	-70-242-01				
* P2. Location: Not for Publicat	ion Unrestri	cted	a County Sa	n Diego		
	 -		-			_; B.M.
c. Address 3305 Isla Vista Dri						
d. UTM: (Give more than one for la				e,		
e. Other Locational Data: (e.g. pa	•	,				
APN 476-242-01-00; Islen						
The house at 3305 Isla Vista Driv composition shingles; a slight eaver three concrete steps, is set just to door is set parallel to the sidewalk and sash windows. The garage is a wood picket fence. Refer to BSOI	e was built in I e overhang wit the right under a. Fenestration attached to the	1946 in the Mir th rafter tails; a a roof projecti- consists of sing house and set t	nimal Tradit nd a texture on supporte gle pane fixe forward a fe	tional style and stucco extend by paired so ed and 1-over ew feet. The y	d features a h rior. The entry quare wood po -1 double hun ard is enclose	ipped roof with y, accessed via osts. The entry g vinyl frame
·	•	IP2 Single fami			Nightwight Ohlbor	(loolotoo eta)
		Object Site			istrict Other on of Photo: (Vie	,
P5a. Photograph or Drawing (Photograph	raph required for b	uildings, structures	s, and objects)		primary faça	
				* P6. Date Cor	of-wav. nstructed/Age ar	nd Sources:
				Prehisto	_	
				1946 Water	and Sewer Re	ecords
- Marie - de			.9	* P7. Owner a	nd Address:	
2 - Land 176			13	Enciso Glori		
			1/ *	6040 Burian		
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t P11 Papart Citation: /Cita august rans	art/other seurees s	r "nono")		J		
* P11. Report Citation: (Cite survey repo	nivolner sources o	1 HOHE /				
Attachments: NONE Loca	tion Map Sk	etch Map	Continuation Sh	eet ✓B	uildina. Structure	, and Object Record
☐ Archaeological Record ✓ District Re	. —	eature Record	Milling Station		Rock Art Record	Artifact Record
Photograph Record Other: (List)			-			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page 2 of 2	* NRHP Status Code 5D1
* Resource Name or #: 3305 Isla Vista Drive, APN 476-242-01	
B1. Historic Name:	
B2. Common Name	
	34. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	54. Fresent Ose. 51. Residential
* B6. Construction History: (Construction date, alterations, and date of	alterations)
The house was constructed in 1946 per water and sewer records. Modification roof; the use of textured stucco; the replacement of the original wood garage door with a roll-up aluminum do	ations include the replacement of the composition roof with a new nal wood frame windows with vinyl frame windows; and the
* B7. Moved? No Yes Unknown Date * B8. Related Features:	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house de</u>	o. Builder: <u>Unknown</u>
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by t	
The neighborhood of Islenair is historically significant as a I special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure a significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development be Great Depression. The second phase of development (1935-Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was about the statistical Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically e characteristics of Spanish Eclectic and Minimal e" construction types during San Diego's development of e of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal nal Traditional style architecture. The fading popularity e third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLEVAIR HISTORII: CAL JOSTEN: T

DEPARTMENT OF PARKS AND RECREATION			Primary #			
DEPARTMENT OF PARKS AND RECKE	ATION	- I IIX π				
PRIMARY RECORD						
I KIMAKI KEGOKE	Other Listings					
	Review Code	Reviewer		Date		
Page 1 of 2						
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3306 Isla Vist</u>	a Drive APN 476-	152-14				
P1. Other Identifier:	<u>a Diive, 711 iv 470</u>	132 14				
	ation Unrestricted	a. Coun	nty San Diego			
				1/4 of Sec;B.M.		
				zip <u>92105</u>		
d. UTM: (Give more than one for				mE/mN		
e. Other Locational Data: (e.g. p						
APN 476-152-14-00; Isla	enair Unit #1, Block	2, Lot 14 and Isla	enair Unit #2, Blo	ock 5, Lot 2		
* P3a. Description: (Describe resource The house at 3306 Isla Vista Drivroof with a clay tile shed roof ald drains; a stucco exterior; and a clay tile Isla Vista street elevation and sidewalk. A secondary entry, accopening. Fenestration consists of multi-lite casement and 2-over-2 for modifications and analysis of	ong the parapet line nimney at the south is centered between essed via 8 concret a large fixed wood double hung wood	on a corner lot in and two projecting elevation. The magnitude two projecting e steps, fronts onto frame window on	the Spanish Ecle g front-gable bays ain entry, accesseding gables. The entry of Thorn Street and the southern gab	ctic style and features a flat s; clay tile roof vents and d via two concrete steps, is on try door is set parallel to the d is recessed under a low arch le of the main façade; and		
* P4. Resources Present: Buildir	outes and codes) HP2 and Structure Co	bject Site Dis	petrict Element of I petro; petro; photo of the public right	District Other (Isolates, etc.) ion of Photo: (View, date, etc.) e primary façade from the of-way. instructed/Age and Sources:		
	- 🦺		☐ Prehist	oric ⊌Historic □Both and Sewer Records		
		The same of	* P7. Owner a			
			Hansen Chr	rista A Trust		
	PP-F		3306 Isla V			
	-		San Diego (CA 92105		
			City of San	ed by: (Name, affiliation, address) Diego Planning Staff		
TO THE RESERVE OF THE PARTY OF			202 C Street, San Diego C			
LACOUST OF STREET			San Diego C.	A 92101		
			* P9 Date Re	corded: <u>1/17/2007</u>		
			ALC: NO.	Type: (Describe)		
TORREST OF SERVICE		Market .		Architectural)		
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	-	- ANDREAD				
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ne")				
<u> </u>	ation Map Sketch		_	Building, Structure, and Object Record		
☐ Archaeological Record ☑ District R		re Record Milling	Station Record	Rock Art Record Artifact Record		
Photograph Record Other: (List))					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code $\underline{5B}$
* Resource Name or #: 3306 Isla Vista Drive, APN 476-152-14	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date The house was constructed in 1929 per water and sewer records. Modificondition and retains a very good degree of integrity.	
* B7. Moved? No Yes Unknown Date * B8. Related Features: A detached garage is located at the rear.	_Original Location:
B9a. Architect: <u>Unknown</u>	b Builder: Unknown
	dev Area San Diego
	esidential Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined b	
is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distincti Traditional styles of the "small house" and "minimum hou Automobile Suburbs between 1926 and 1952. The first pha small house movement of the 1920's and the immense pop progressed steadily during the first phase of development (1935) Housing Authority (FHA) through the introduction of Min of Spanish Eclectic homes is also seen during this phase. To continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	e, and architectural development. The neighborhood, which all house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal se" construction types during San Diego's development of ase of development (1927-1931) is reflective of both the ularity of Spanish Eclectic architecture. Construction before construction came to a halt with the onset of the 3-1941), reflects the work of the newly formed Federal simal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the e wake of the housing shortage following WWII. By the senearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	1386 SLA VOTB IRREI
(This space reserved for official comments.)	
(e space received for emotion community)	ISLEXABLIBATIONICAL DISTRICT

State of California The Resources Agency		Primary #			
DEPARTMENT OF PARKS AND RECREA	ATION				
PRIMARY RECORD					
PRIMART RECORD					
	Other Listings				
	Review Code R	Reviewer			_Date
Page <u>1</u> of <u>2</u>					
* Resource Name or #: 3314 Isla Vista	Drive, APN 476-152-1	.5			
P1. Other Identifier:					
* P2. Location: Not for Publicat	tion Unrestricted	a. County <u>Sa</u>	an Diego		
b. USGS 7.5' Quad	Date	T; R	; 1/4 of _	1/4 of Sec	; B.M.
c. Address 3314 Isla Vista Dri					
d. UTM: (Give more than one for la	arge and/or linear feature)	Zon	e,	mE/	mN
e. Other Locational Data: (e.g. pa	rcel #, legal description, dir	ections to resource,	elevation, additi	onal UTMs, etc.	as app
APN 476-152-15-00; Isle	nair Unit #1, Block 2, L	ot 15			
The house at 3314 Isla Vista Driv tile shed roof along the parapet lin via five concrete steps, is set to the set perpendicularly to the sidewal	ne; a stucco exterior; and e right under a roof pro	d a chimney at the jection supported	e south elevati by a square w	on. The main ood post. The	entry, accessed entry door is
lite casement wood frame and sas		•			
BSOR Section B.6. for modificati		•	ood frame and	sasii wiiidows	. Refer to
BSOR Section B.o. for modificati	ons and analysis of inte	egrity.			
•	utes and codes) <u>HP2 Singl</u>				
* P4. Resources Present: ✓ Building	g Structure Object	Site District		istrict Other (
P5a. Photograph or Drawing (Photog	raph required for buildings, st	ructures, and objects)	P5b. Description	n of Photo: (View	ı, date, etc.)
78 W.			Photo of the	primary façad	e from the
MIL			public right-	of-wav.	
4.5		100		structed/Age and	
			Prehisto	ric Historic	Both
		250055	1928 Water a	and Sewer Rec	cords
			* P7. Owner ar	nd Address:	
A STATE OF THE PARTY OF THE PAR		2004004	Miller David	C and Debra	L
			3314 Isla Vis	sta Drive	
	The Party of the P	255	San Diego C	A 92105	
	B SHE				
a di la	A SECTION AND A	1	* P8. Recorded	d by: (Name, affil	liation, address)
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THE RESIDENCE IN CO.		Section 1	202 C Street,		
			San Diego CA	. 92101	
A STATE OF THE PARTY OF THE PAR	- 1 A ST 1 A ST	"是"中"			
		and the second		orded: $1/17/20$	
A STATE OF THE STA		V - Same		Type: (Describe))
A THE REAL PROPERTY.	-		Intensive (A)	chitectural)	
			J		
* P11. Report Citation: (Cite survey repo	ort/other sources or "none") _				
-	tion Map Sketch Map	Continuation SI	_		and Object Record
☐ Archaeological Record ☑ District Re		cord Milling Station	on Record	ock Art Record	Artifact Record
Photograph Record Other: (List)					

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT I	
Page 2 of 2	* NRHP Status Code $5D1$
* Resource Name or #: 3314 Isla Vista Drive, APN 476-152-15	
B1. Historic Name:	
B3. Original Use: SF Residential	P4 Propert Hee: CF Decidential
* B5. Architectural Style: Spanish Eclectic	b4. Present ose. <u>SP Residential</u>
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1927 per water and sewer records. Modific roof. The house is in good condition and retains a good degree of integrit	ations include the replacement of the clay tile roof with a new clay tile
* B7. Moved? No Yes Unknown Date* * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme Early auto-oriented small house do	b. Builder: WJ Touhey ev Area San Diego
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "smal San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically re characteristics of Spanish Eclectic and Minimal e" construction types during San Diego's development of se of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction efore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity he third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	THE REAL PRINTS DEVICE.
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLE-NAIR HINTORIC AL DISTERS T

DEPARTMENT OF PARKS AND RECREATION		HR #			
PRIMARY RECORD					
	Other Listings				
	Review Code	Reviewer		Date	
Page <u>1</u> of <u>2</u>					
* Resource Name or #: <u>3315 Isla Vista</u>	Drive, APN 476-160-	20			
P1. Other Identifier:		- O	n Diago		
* P2. Location: Not for Publicati	ion Unrestricted				
c. Address <u>3315 Isla Vista Dri</u>	Date	City San	, 1/4 01 _ Diego	1/4 of Sec,	B.W. in 92105
d. UTM: (Give more than one for la		Zon	e .		mN
e. Other Locational Data: (e.g. par	cel #, legal description, d				
APN 476-160-20-00; Islen	nair Unit #1, Block 3, 1	Lot 22			
* P3a. Description: (Describe resource a	and its major elements. Incl	ude design, materials,	condition, alterati	ions, size, setting, and bo	oundaries.)
The house at 3315 Isla Vista Drive	e was built in 1946 in	the Minimal Tradi	tional style an	d features a side gal	ble roof
with composition shingles; a sligh	t eave overhang with r	after tails; and a te	extured stucco	exterior. The entry	, accessed
via one concrete step, is set just to					
door is set parallel to the sidewalk			•		
one vinyl slider window. The gara	_		rd a few feet	from the entry façad	le. Refer
to BSOR Section B.6. for modification	ations and analysis of	integrity.			
* P3b. Resource Attributes: (List attribu	tes and codes) <u>HP2 Sing</u>	le family property			
* P4. Resources Present: ✓ Building	Structure Object	Site District		istrict Other (Isolate	,
P5a. Photograph or Drawing (Photograph	aph required for buildings, s	tructures, and objects)	P5b. Description	on of Photo: (View, date	, etc.)
	7			primary façade froi	
			public right-	of-wav. nstructed/Age and Soul	
				oric	
				one Vinstone	Dotti
1000			1946 Water	and Sewer Records	
	-3/%	Bearing	* P7. Owner a		
			Tadesse Sol	omon & Benzuneh	Yeshi
			3315 Isla Vi		
	7	- W	San Diego C	CA 92105	
	A STATE OF THE PARTY OF THE PAR	1			
				d by: (Name, affiliation, Diego Planning Staf	
			202 C Street,		.1
			San Diego CA	A 92101	
				corded: <u>1/17/2007</u>	
	Garage Maria		* P10. Survey Intensive (A	Type: (Describe)	
			Intensive (A	icintecturar)	
		100			
* P11. Report Citation: (Cite survey repo	rt/other sources or "none")		J		
* Attachments: NONE Locat	ion Map Sketch Map	Continuation S	neet 🗸 B	uilding, Structure, and Ol	bject Record
_	cord Linear Feature Re	ecord Milling Stati	on Record F	Rock Art Record Art	tifact Record
Photograph Record Other: (List)					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: <u>3315 Isla Vista Drive, APN 476-160-20</u>	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: <u>Minimal Traditional</u>	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1946 per water and sewer records. Modific composition roof; the use of textured stucco; the replacement of one original wood garage door with a roll-up aluminum door. The house is	ations include the replacement of the composition roof with a new inal wood frame window with a vinyl window; and the replacement of
* B7. Moved? ✓ No Yes Unknown Date 88. Related Features:	Original Location:
	b. Builder: <u>Cummins Brothers</u>
* B10. Significance: Theme Early auto-oriented small house de	ev Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by a special element of San Diego's historically significant as a special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "smal San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	theme, period, and geographic scope. Also address integrity.) thistoric district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically re characteristics of Spanish Eclectic and Minimal e" construction types during San Diego's development of se of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity he third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	The state of the s
* B14. Evaluator: <u>City San Diego Planning Staff</u> Date of Evaluation: 1/17/2007	
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	ISLENAIR HISTORIC AL DISTRICT

State of California The Resources Agency			•			
DEPARTMENT OF PARKS AND RECRE	ATION					
PRIMARY RECORD						
PRIMART RECORD	Other Hinthern					
	Other Listings Review Code	Reviewe				Date
Page 1 of 2						
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3321 Isla Vis</u>	ta Drive APN /	76-152-15				
P1. Other Identifier:	ta Diive, Ai N 4	70-132-13				
	ation 🗸 Unrestric	rted	a County Sai	n Diego		
b. USGS 7.5' Quad			-			; B.M.
c. Address 3321 Isla Vista D						
d. UTM: (Give more than one for					mE/	
e. Other Locational Data: (e.g. p	-					
APN 476-152-15-00; Isla			•	ŕ	,	
* P3a. Description: (Describe resource The house at 3315 Isla Vista Dri with composition shingles; a slig via two concrete steps, is set just door is set parallel to the sidewal garage is attached to the house a and analysis of integrity.	ve was built in 1 tht eave overhan to the left unde lk. Fenestration	946 in the Mir g with rafter ta r a roof project consists of 2-or	nimal Traditi ils; and a text ion supporte ver-2 double	ional style an xtured stucco ed by paired s e hung wood t	d features a s exterior. The square wood p frame and sas	ide gable roof e entry, accessed posts. The entry sh windows. The
·	outes and codes) \underline{H}	P2 Single fami	ly property			
P4. Resources Present: V Buildin	ng Structure	Object Site	District	_	istrict Other	,
P5a. Photograph or Drawing (Photo	graph required for b	uildings, structures	, and objects)	•	on of Photo: (Vie	•
	1		All the second		primary faça	de from the
Fig.	A STATE OF THE STA	a transfer and	W 3000	public right-	of-wav. nstructed/Age a	nd Courses:
	# WMW/	AL AND AND ASSEMBLED		Prehisto	_	
	10 M	-			The Thiston	о прош
883				1046 Water	and Sewer Re	
	1	E	WAS	* P7. Owner a		zcorus
700			7		nrique & Silv	ina
	-		-	3321 Isla Vi	sta Drive	
And the second		NA.		San Diego C	CA 92105	
		100	1			filiation, address)
			es*		<u>Diego Plannir</u>	ng Staff
MALES AND	No.	Marie	1	202 C Street,		
ALL MANAGEMENT AND ASSESSMENT OF THE PARTY O	_115_	Lean Co.	-	San Diego CA	A 92101	
1	Contract of the second			* DO Data Bar	orded: 1/17/2	2007
	Tales				Type: (Describ	
			-	Intensive (A		e)
CONTRACTOR OF THE PARTY OF THE			Section 1			
		The same				
* P11. Report Citation: (Cite survey rep	port/other sources or	r "none")				
	. —		continuation Sh		-	e, and Object Record
☐ Archaeological Record ☑ District F		eature Record	Milling Statio	n Record	Rock Art Record	Artifact Record
☐ Photograph Record ☐ Other: (List	J					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	
· · · · · · · · · · · · · · · · · · ·	NRHP Status Code 5D1
* Resource Name or #: 3321 Isla Vista Drive, APN 476-152-15	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential B4.	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of alterations was constructed in 1946 per water and sewer records. Modification composition roof and the use of textured stucco. The house is in good conditions are constructed in 1946 per water and sewer records.	ns include the replacement of the composition roof with a new
* B7. Moved? No Yes Unknown Date Origit B8. Related Features:	inal Location:
B9a. Architect: <u>Unknown</u> b. B * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	uilder: <u>Cummins Brothers</u> Area San Diego
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by them	
The neighborhood of Islenair is historically significant as a hist	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	
San Diego's expansion away from the city core and beyond the	•
and population propelled the creation of new infrastructure and	1 0 1 1
* * * *	*
significant under HRB Criterion C, as it embodies distinctive cl	
Traditional styles of the "small house" and "minimum house" c	**
Automobile Suburbs between 1926 and 1952. The first phase o	
small house movement of the 1920's and the immense populari	
progressed steadily during the first phase of development before	e construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-194	1), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minimal	Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The th	
continued popularity of the Minimal Traditional style in the wa	
end of the third phase of development in 1952, Islenair was nea	
B11. Additional Resource Attributes: (List attributes and codes):	if built out with only a lew vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	2 2004 SEA VIETE DRIVE
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $\underline{1/17/2007}$	
(This space reserved for official comments.)	
	ISLENAIR INSTORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
			Trinomial			
PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
	Other Listings Review Code	Reviewer	•			Date
Page _1_ of _2_						
* Resource Name or #: 3330 Isla Vist	a Drive. APN 476-1	52-17				
P1. Other Identifier:						
	tion Unrestricted		a. County <u>Sa</u>	n Diego		
b. USGS 7.5' Quad					_1/4 of Sec;	В.М.
c. Address 3330 Isla Vista Dr						
d. UTM: (Give more than one for I	arge and/or linear feature				mE/	
e. Other Locational Data: (e.g. pa APN 476-152-17-00; Isle			to resource,	elevation, additic	nal UTMs, etc. as	; арр
* P3a. Description: (Describe resource The house at 3330 Isla Vista Driv composition shingles; a slight eavingst to the left of the front bay un door is set parallel to the sidewal Refer to BSOR Section B.6. for r	ve was built in 1948 ve overhang; and a s der a roof projection k. Fenestration cons	in the Min stucco exten n supported sists of 2-ov	imal Tradit rior. The en I by square ver-2 double	ional style and try, accessed v wood posts in	features a hipp ia four concret singles and pai	ped roof with te steps, is set trs. The entry
* P4. Resources Present: Buildin	utes and codes) <u>HP2 S</u> g Structure Ob	oject Site	District	ı —	strict Other (Iso	•
Tou. Thotograph of Drawing (Friotograph	rapir required for ballality	go, otraotareo	, and objects)	Photo of the r	orimary façade	from the
			100	public right-o	f-wav.	·
			4020	* P6. Date Cons	structed/Age and	Sources:
	Jan.			Prehistori	ic Historic	Both
	20.			1948 Water a	nd Sewer Reco	ords
			10.16	* P7. Owner and		
		O BONG		Ganem Lisa N		
110				3330 Isla Vist		
GRIVE TO THE RESERVE	W Comment of the	新疆战 少	de +	San Diego CA	<u> 1 92105</u>	
			Vast			
		10 m	(1)		by: (Name, affilia	
					iego Planning	Staff
				202 C Street, M San Diego CA	<u>1S 4A</u>	
	hard Lands			San Diego CA	92101	
		40		* DO Data Basa	orded: 1/17/200	7
rullwish .	Visit Visit				ype: (Describe)	<u>' </u>
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		3	-	111101151 10 (1111	<u> </u>	
			1		-	
* P11. Report Citation: (Cite survey rep	ort/other sources or "nor	ne")				
* Attachments: NONE Loca	ation Map Sketch N	Man 🗆 🗅 🗅	ontinuation Sh	poot P	Iding, Structure, ar	nd Object Bassa
Archaeological Record District R	· —	. —	Milling Statio		_	Artifact Record
☐ Photograph Record ☐ Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3330 Isla Vista Drive, APN 476-152-17	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1948 per water and sewer records. Modific composition roof and the use of window screens. The house is in good constructed in 1948 per water and sewer records.	cations include the replacement of the composition roof with a new
* B8. Related Features:	Original Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u>	b. Builder: Unknown
* B10. Significance: Theme <u>Early auto-oriented small house d</u>	
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic	
is comprised of working-class homes reflective of the "sma	•
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distinctive	ve characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum hous	
Automobile Suburbs between 1926 and 1952. The first pha	
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Mini-	
of Spanish Eclectic homes is also seen during this phase. The	*
continued popularity of the Minimal Traditional style in the	e wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	33M (SLA VISTA ORIGIN) (1984)
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		1	Primary # HR #			
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PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
	Other Listings Review Code	Reviewer				Date
Page _ 1_ of _ 2_						
* Resource Name or #: 3338 Isla Vist	a Drive APN 476-1	52-18				
P1. Other Identifier:	a Diive, 711 iv 470-1	<i>32</i> -10				
	tion Vunrestricted		a County Sa	n Diego		
b. USGS 7.5' Quad	_				_1/4 of Sec;	В.М.
c. Address 3338 Isla Vista Dr						
d. UTM: (Give more than one for la					mE/	
e. Other Locational Data: (e.g. pa	•	•				
APN 476-152-18-00; Isle			to resource,	elevation, addition	mai O I Wis, etc. as	app
* P3a. Description: (Describe resource The house at 3338 Isla Vista Driv tile shed roof along the parapet li accessed via two concrete steps, i consists of a large aluminum fran dark brown aluminum roll-up doc	ve was built in 1931 ne; a textured stucce is set just left of cen ne picture window.	in the Spar o exterior; a ter, with the The attache	nish Eclecti and a chimr e entry doo ed garage is	c style and fea ney at the east r parallel to the flush with the	tures a flat roof elevation. The re e sidewalk. Fen main façade ar	f with a clay main entry, lestration and features a
	utes and codes) <u>HP2 S</u>	single famil		✓ Element of Dis	strict Other (Isc	blates, etc.)
	graph required for building	ns structures	and objects)	· 	of Photo: (View, o	,
Tour incregiupine Drawing (Friede	rapir roquirou for building	go, on dotaroo,	and objects)	Photo of the r	orimary façade	from the
					f-wav.	
				* P6. Date Cons	structed/Age and	Sources:
				Prehistor	ic Historic	Both
			200			
				1931 Water a	nd Sewer Reco	rds
1.4				* P7. Owner an		
			1644	Osborn Teem		
	and the second		A PARTY	3338 Isla Vis		
				San Diego CA	1 92105	
	and a wife		To the			
The Contract of the Contract o	Walleton State of	100			by: (Name, affiliat	
	200				iego Planning S	Staff
			400	202 C Street, N San Diego CA	<u>1S 4A</u>	
- Charles of the Alberta	10. Mai -			San Diego CA	92101	
一直是一种人们的			100	* DO Data Base	orded: 1/17/200	7
			-		y pe: (Describe)	<u></u>
	是是是一个			Intensive (Ar		
		The second second	2-	1110110110 (711)		
	The same of the sa	-20-24-17		-		
* P11. Report Citation: (Cite survey rep	ort/other sources or "non	ne")		T		
	Signal Sources of Hori					
* Attachments: NONE Loca	ation Map Sketch N	Map □C	ontinuation Sh	neet 🛂 Rui	Iding, Structure, an	d Object Record
Archaeological Record District R			Milling Statio		_	Artifact Record
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #				
	HR#				
BUILDING, STRUCTURE, AND OBJECT RE					
	* NRHP Status Code <u>5D1</u>				
* Resource Name or #: 3338 Isla Vista Drive, APN 476-152-18					
B1. Historic Name: B2. Common Name					
	Present Use: SF Residential				
	Fresent Ose. SI Residential				
* B5. Architectural Style: Spanish Eclectic * B6. Construction History: (Construction date, alterations, and date of alterations.) The house was constructed in 1931 per water and sewer records. Modifications include the replacement of the clay tile roof with a new clay tile roof; the use of textured stucco; the replacement of the wood frame picture window with an aluminum frame picture window; the replacement of the original garage door with an aluminum roll-up door; and the addition of wrought iron security bars. The house is in good condition and retains a fair degree of integrity. * B7. Moved? No Yes Unknown Date Original Location: * B8. Related Features:					
B9a. Architect: Unknown b.	Builder: <u>Unknown</u>				
* B10. Significance: Theme Early auto-oriented small house dev	Area San Diego				
Period of Significance 1926-1952 Property Type Resid					
(Discuss importance in terms of historical or architectural context as defined by ther					
The neighborhood of Islenair is historically significant as a his					
special element of San Diego's historical, social, economic, an					
is comprised of working-class homes reflective of the "small h	•				
San Diego's expansion away from the city core and beyond the	1 0 1 0				
and population propelled the creation of new infrastructure and	development to the east. Islenair is also historically				
significant under HRB Criterion C, as it embodies distinctive of	characteristics of Spanish Eclectic and Minimal				
Traditional styles of the "small house" and "minimum house"	construction types during San Diego's development of				
Automobile Suburbs between 1926 and 1952. The first phase of	of development (1927-1931) is reflective of both the				
small house movement of the 1920's and the immense popular	ity of Spanish Eclectic architecture. Construction				
progressed steadily during the first phase of development before	re construction came to a halt with the onset of the				
Great Depression. The second phase of development (1935-19	41), reflects the work of the newly formed Federal				
Housing Authority (FHA) through the introduction of Minima					
of Spanish Eclectic homes is also seen during this phase. The t	•				
continued popularity of the Minimal Traditional style in the wa					
end of the third phase of development in 1952, Islenair was ne					
B11. Additional Resource Attributes: (List attributes and codes):	, ,				
* B12. References:	(Sketch map with north arrow required)				
Refer to District Bibliography for References Used					
D42 Demorker					
B13. Remarks:	1000 SLA WO N DWR E				
* B14. Evaluator: City San Diego Planning Staff					
Date of Evaluation: $1/17/2007$					
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	ISLENAIR HISTORIC AL DISTRICT				
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
PRIMARY RECORD			NRHP Status	Code 5D1		
	Other Listings Review Code					Date
Page1_ of2_						
* Resource Name or #: 3344 Isla Vista	Drive, APN 476-1	52-19				
P1. Other Identifier:						
——————————————————————————————————————	on Unrestricted					
b. USGS 7.5' Quad c. Address <u>3344 Isla Vista Dri</u>						
d. UTM: (Give more than one for lar					mE/	
e. Other Locational Data: (e.g. par APN 476-152-19-00; Islen	cel #, legal description	n, directions				
* P3a. Description: (Describe resource a The house at 3344 Isla Vista Drive tile shed roof along the parapet lin hexagonal bay to the south; clay pelevation. The main entry, accesse projection supported by square we consists of a large single pane fixe sash windows in the hexagonal bay Section B.6. for modifications and	e was built in 1936 e and two projecting ipe vents and drain and via four concrete and drain and wind frame wind wood frame wind analysis of integri	in the Span ng bays that s; a texture e steps, is ro atry door is dow in the rame and satty.	nish Eclecti t include a sid stucco ex- oughly cent set perpend gable bay; ash slider w	c style and feat front gable bat sterior; and a cered between dicularly to the 1-over-1 doub	atures a flat roo y to the north a himney at the the two bays u e sidewalk. Fer le hung alumir	of with a clay and a north ander a roof nestration num frame and
* P4. Resources Present: Building	tes and codes) <u>HP2 S</u> Structure Ob	oject Site	District	, —	strict Other (I	,
P5a. Photograph or Drawing (Photograph or Drawing)	aph required for building	gs, structures,	and objects)	Photo of the public right-(* P6. Date Con Prehistor) 1936 Water a * P7. Owner an Pham Hung V 3344 Isla Vis San Diego C. * P8. Recorded City of San I 202 C Street, I San Diego CA	and Sewer Record Address: V Living Trust and Drive A 92105 I by: (Name, affiliation Planning MS 4A 92101 Dirded: 1/17/20 Type: (Describe)	e from the d Sources: Both ords diation, address) g Staff
* P11. Report Citation: (Cite survey repo	rt/other sources or "non	e")				
* Attachments: NONE Locat	ion Map Sketch N	∕an □C	ontinuation Sh	neet	ilding Structure	and Object Record
Archaeological Record ✓ District Re ☐ Photograph Record ☐ Other: (List) _			Milling Station		ock Art Record	Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	ECORD
Page _ 2_ of _ 2_	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3344 Isla Vista Drive, APN 476-152-19	
B1. Historic Name:	
B2. Common Name	
	Present Use: <u>SF Residential</u>
* B5. Architectural Style: Spanish Eclectic	Harations \
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1936 per water and sewer records. Modificationiginal wood frame windows with aluminum windows, one of which appear condition and retains a fair to poor degree of integrity.	ions include the use of textured stucco and the replacement of the
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOr * B8. Related Features:	iginal Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u> b.	Builder: RR West
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type Resi	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small! San Diego's expansion away from the city core and beyond the	•
and population propelled the creation of new infrastructure ar	1 0 1 1
significant under HRB Criterion C, as it embodies distinctive	*
Traditional styles of the "small house" and "minimum house"	•
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popula	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-19	
Housing Authority (FHA) through the introduction of Minima	al Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The	third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the w	• • • • • •
end of the third phase of development in 1952, Islenair was no	early built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(Olostale and with a still a s
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Total to District District play for New York Code	
B13. Remarks:	Stee Mile with Tai Debrit:
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL DISTRICT
	1956 to Wall & 1810 (AM).

DEPARTMENT OF PARKS AND RECREATION		•				
		HR #				
DDIMARY DECORD						
PRIMARY RECORD			S Code <u>5D1</u>			
	Other Listings					
	Review Code Review	ewer			Date	
Page _ 1_ of _ 2_						
* Resource Name or #: 3345 Isla Vista	Drive, APN 476-160-17					
P1. Other Identifier:						
	ion Unrestricted	a. County Sa	n Diego			
b. USGS 7.5' Quad						
c. Address 3345 Isla Vista Dri						
d. UTM: (Give more than one for la			e,			
e. Other Locational Data: (e.g. pa						
	nair Unit #1, Block 3, Lot 1		,			
The house at 3345 Isla Vista Driv composition shingles and clay tile via three new stone steps, is set ju by a square wood post. The entry hung wood frame and sash windownlarged across the front of the house	ridges; a slight eave overh st to the right of the front b door is set perpendicularly ws flanked by decorative w	ang; and a tex bay under a roo to the sidewal rood shutters.	tured stucco exof projection was lk. Fenestration The entry stoo	kterior. The exhich used to n consists of exp/porch was a	entry, acce be suppor 4-over-4 d recently	essed ted
* P4. Resources Present: Building	ites and codes) <u>HP2 Single fa</u> g Structure Object : aph required for buildings, structu	Site District	Element of Di P5b. Descriptio Photo of the	n of Photo: (Vie	w, date, etc.))
N.			public right-			<u> </u>
E. W.			* P6. Date Con	structed/Age ar	nd Sources:	
	986			ric 🗸 Historio		
10				_	_	
			1945 Water a	nd Sewer Re	ecords	
		- X	* P7. Owner an		<u>/CO1G5</u>	
		/	Montagne Je	an-Pierre SM	IJT Mills	
		7	3345 Isla Vis	ta Drive		
		1	San Diego C.	A 92105		
10						
			* P8. Recorded	by: (Name, aff	filiation, addr	ess)
		- 100	City of San I		ng Staff	
			202 C Street, I	MS 4A		
- 94 / 1	THE PARTY NAMED IN COLUMN		San Diego CA	92101		
	The state of the s			1/17/2	0007	
A STATE OF THE STA	The second second		* P9. Date Rec			
The state of the s		14	* P10. Survey T Intensive (Ar		e)	
		feet.	michisive (Al	cintectulal)		
* P11 Poport Citation: (Cita compared	art/other sources or "sees"\		1			
* P11. Report Citation: (Cite survey repo	orvoiner sources or "none")					
* Attachments: NONE Loca	tion Map Sketch Map	Continuation SI	heet 🕡 Ru	ilding, Structure	and Ohiect	Record
	ecord Linear Feature Record	Milling Station	_	ock Art Record	Artifact	
Photograph Record Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT I	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: 3345 Isla Vista Drive, APN 476-160-17	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
	b4. Fresent Ose. <u>S1 Residential</u>
bo. Alemeetala otyle. <u>iviiimaa Traartional</u>	(although a continue)
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1945 per water and sewer records. Modific composition roof; the removal of the porch post; and the recent enlargement a fair degree of integrity.	ations include the replacement of the composition roof with a new
* B7. Moved? ✓ No Yes Unknown Date * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme Early auto-oriented small house do	b. Builder: <u>Severin Contruction Co</u>
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "smal San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularies progressed steadily during the first phase of development be Great Depression. The second phase of development (1935-Housing Authority (FHA) through the introduction of Minimof Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which I house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically re characteristics of Spanish Eclectic and Minimal e" construction types during San Diego's development of se of development (1927-1931) is reflective of both the larity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity he third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	TO THE RESIDENCE OF THE PARTY O
* B14. Evaluator: City San Diego Planning Staff	
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	
Date of Evaluation: <u>1/17/2007</u>	
	SLEVARE HISTORICAL DISTERCT

State of California The Resources Agency						
DEPARTMENT OF PARKS AND RECREA	TION					
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PRIMARY RECORD						
	Other Listings Review Code					Date
	Review Code	Keviewei				Date
Page <u>1</u> of <u>2</u>	Duine ADNI 47	(6 152 20				
Resource Name or #: 3404 Isla Vista	Drive, APN 4/	0-132-20				
P1. Other Identifier: P2. Location: Not for Publicati	an dilmusatriat	ر دما	a Caumtu Car	n Diego		
 -			-			_; B.M.
c. Address 3404 Isla Vista Dri						
d. UTM: (Give more than one for la					mE/	
e. Other Locational Data: (e.g. par	-	,				
APN 476-152-20-00; Islen						
P3a. Description: (Describe resource at The house at 3404 Isla Vista Drive with a small clay tile shed roof about textured stucco exterior; and a chiral roughly centered on the façade and	e was built in 19 ove the entry an mney at the nor d set under the s	936 in the Spand adjacent protest the elevation. The shed roof projects	nish Eclection of jecting bay; The main ent ection which	c style and fe terra cotta b cry, accessed is supported	eatures a flat rollock vents an via three cond by stucco br	oof and parapet d drains; a crete steps, is ackets. The
entry door is set parallel to the side aluminum frame and sash window foot high chain link fence surround integrity.	s. Wrought iron	security bars	have been a	idded to the o	doors and win	dows and a 3-
	tes and codes) <u>HF</u>	22 Single fami □Object □Site		_	District Other	•
P5a. Photograph or Drawing (Photograph	aph required for bui	ildings, structures	, and objects)	·	on of Photo: (Vie	
					primary faça	
			1	public right-	of-wav. nstructed/Age a	nd Courses:
4-				Prehisto	_	
			1	1936 Water	and Sewer Re	ecords
1		-		* P7. Owner a		
and the second second	466	-		Avina Beatr		
PARTECIPATION	FFFF	-	- 550	3404 Isla Vi		
(promoted):	THE REAL PROPERTY.		1	San Diego C	CA 92105	
		CHEMINA WHILE	C/8-	* DO D .		W
TO-PI III			7		e d by : (Name, at Diego Plannii	filiation, address)
		TERRITOR .	100016	202 C Street,		ng Stan
	- Comment			San Diego CA	A 92101	
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* P11. Report Citation: (Cite survey repo	rt/other sources or	"none")				
* Attachments: NONE Locat	ion Map Sket	tch Map	ontinuation She	eet 🕡 R	uilding Structure	e, and Object Record
Archaeological Record District Re	. —	ature Record	Milling Station		Rock Art Record	Artifact Record
Photograph Record Other: (List)				- · .		

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT	
Page 2 of 2	* NRHP Status Code <u>5D1</u>
* Resource Name or #: <u>3404 Isla Vista Drive, APN 476-152-20</u>	
B1. Historic Name: B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
	fications include the replacement of the clay tile roof with new clay tile; windows with aluminum windows; the addition of wrought iron security
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date * B8. Related Features:	Original Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u>	
	dev Area San Diego
Period of Significance 1926-1952 Property Type R	
(Discuss importance in terms of historical or architectural context as defined by The neighborhood of Islenair is historically significant as	
•	c, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyon	•
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distinct	•
	ise" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first ph	
small house movement of the 1920's and the immense pop	
progressed steadily during the first phase of development l	
Great Depression. The second phase of development (193)	
Housing Authority (FHA) through the introduction of Min	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. T	Γhe third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in th	ne wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair wa	s nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Biologiaphy for References Oscu	
B13. Remarks:	2404 (III.) A VIEW A CREWIN
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	THE COLUMN THE PROPERTY AND THE PROPERTY
	ISLENAIR HUSTORICAL DISTRICT

PRIMARY RECORD Other Listings Review Code	State of California The Resources Agency			•			
Page or	DEPARTMENT OF PARKS AND RECRE	ATION					
Page	DDIMARY DECORD						
Page 1 of 2 Resource Name or \$: 3405 Isla Vista Drive, APN 476-160-16 P1. Other Identifier: P2. Location:	PRIMART RECORD						
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Pab. Other Identifier: P2. Location:		Keview Code _	Keviewe	;i			Date
P1. Chother Identifier: P2. Location:	_	to Duine ADNI	476 160 16				
P2. Location: Not for Publication Volunestricted a. County San Diego b. US68 7.5 Quad Address 3405 Isla Vista Drive City San Diego 1/4 of 1/4 of Sec.		ta Drive, APN ²	4/0-100-10				
b. USGS 7.9 Quad DateTR; 1/4 of1/4 of Support		otion dlinroctr	intod	a County Sc	n Diago		
c. Address 3405 Isla Vista Drive	 -			-			. P.M
d. UTM: [Give more than one for large and/or linear feature] e. Other Locational Data: (e.g. pareal \$, legal description, directions to resource, elevation, additional UTMs, etc. as app APN 476-160-16-00; Islemair Unit #1, Block 3, Lot 17 P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundarie The house at 3405 Isla Vista Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a clitle shed roof along the parapet line and a front-gable bay; clay tile roof vents and drains; a textured stucce exterio and a chimmey at the south elevation. The entry, accessed via three concrete steps, is roughly centered on the façad to the right of the gable and, recessed under an arch opening with a clay tile roof. The entry door is set parallel to t sidewalk. Fenestration consists of single pane fixed wood frame windows and 1-over-1 double hung vinyl frame at sash windows throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity. P44. Resources Present: Building Structure Object Site Oistrict Debut (Islament of District Other (Isolates, etc.) P55. Photograph or Drawing (Photograph required for buildings, structures, and objects) P55. Photograph or Drawing (Photograph required for buildings, structures, and objects) P65. Description of Photo: (View, date, etc.) P66. Description of Photo: (View, date, etc.) P676. Description of Photo: (View, date, etc.) P677. Owner and Address: Isbell Emmit Trust 3405 Isla Vista Drive San Diego CA 92105 P78. Recorded by: (Name, affiliation, address: Isbell Emmit Trust 3405 Isla Vista Drive San Diego CA 92105 P79. Date Recorded: I/17/2007 P10. Survey Type: (Describe) Intensive (Architectural) P798. Recorded Intensive (Architectural)							
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app APN 476-160-16-00; Islenair Unit #1, Block 3, Lot 17 P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundarie The house at 3405 Isla Vista Drive was built in 1935 in the Spanish Eelectic style and features a flat roof with a clit lies hed roof along the parapet line and a front-gable bay; clay tile roof vents and drains; a textured stucco exterior and a chimney at the south elevation. The entry, accessed via three concrete steps, is roughly centered on the façad to the right of the gable and, recessed under an arch opening with a clay tile roof. The entry door is set parallel to sidewalk. Fenestration consists of single pane fixed wood frame windows and 1-over-1 double hung vinyl frame as sash windows throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity. P3b. Resource Attributes: (List attributes and codes) HP2. Single family property P4. Resources Present: Bellding Structure Deject Single family property P4. Resources Present: Bellding Structure Deject Single family property P5b. Description of Photo: (view, date, etc.) P5c. Description of Photo: (view, date, etc.) P6c. Descrip							
P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundarie The house at 3405 Isla Vista Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a cl tile shed roof along the parapet line and a front-gable bay; clay tile roof vents and drains; a textured stucce exterio and a chimney at the south elevation. The entry, accessed via three concrete steps, is roughly centered on the façad to the right of the gable and, recessed under an arch opening with a clay tile roof. The entry door is set parallel to sidewalk. Fenestration consists of single pane fixed wood frame windows and 1-over-1 double hung vinyl frame at sash windows throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity. P4. Resource Attributes: (List attributes and codes) HP2 Single family property P4. Resource Present: P4. Resource Present:	•	•	,				
The house at 3405 Isla Vista Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a clitle shed roof along the parapet line and a front-gable bay; clay tile roof vents and drains; a textured stucce exterio and a chimney at the south elevation. The entry, accessed via three concrete steps, is roughly centered on the façad to the right of the gable and, recessed under an arch opening with a clay tile roof. The entry door is set parallel to t sidewalk. Fenestration consists of single pane fixed wood frame windows and 1-over-1 double hung vinyl frame at sash windows throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity. P3b. Resource Attributes: (List attributes and codes) HP2 Single family property. P4. Resources Present: P8building Structure Object Site District F8b. Description of Photo: (View, date, etc.) P8b. Description				,	, , , , , , , , , , , , , , , , , , , ,	· · · · · · · · · · · · · · · · · · ·	ar spp
P4. Resources Present: Psuilding Structure Object Site District P5b. Description of Photo: (View, date, etc.) P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects) P5b. Description of Photo: (View, date, etc.) Photo of the primary façade from the nublic right-of-way. *P6. Date Constructed/Age and Sources: Prehistoric Historic Both 1935 Water and Sewer Records *P7. Owner and Address: Isbell Family Trust 3405 Isla Vista Drive San Diego CA 92105 *P8. Recorded by: (Name, affiliation, address City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 *P9. Date Recorded: 1/17/2007 *P10. Survey Type: (Describe) Intensive (Architectural) *P11. Report Citation: (Cite survey report/other sources or "none") *Attachments: NONE	The house at 3405 Isla Vista Dri tile shed roof along the parapet l and a chimney at the south eleva to the right of the gable and, rece sidewalk. Fenestration consists of	ve was built in ine and a front- tion. The entry, essed under an a of single pane fi	1935 in the Spa gable bay; clay , accessed via the arch opening wi xed wood fram	nnish Eclect tile roof venee concret ith a clay til e windows	ic style and fe nts and drains e steps, is rou e roof. The en and 1-over-1 c	atures a flat r; a textured st ghly centered try door is se louble hung v	oof with a clay tucco exterior; on the façade t parallel to the
Prehistoric Phistoric Both Prehistoric Phistoric Both	* P4. Resources Present: Buildin	ng Structure	Object Site	e District	P5b. Description Photo of the public right-	on of Photo: (Vie primary faça of-way.	ew, date, etc.) de from the
* P7. Owner and Address: Isbell Family Trust 3405 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address: City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re	3	la.				_	
Isbell Family Trust 3405 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re	7/	P. Control	-				ecords
3405 Isla Vista Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * Attachments: □NONE □Location Map □Sketch Map □Continuation Sheet □Archaeological Record □ District Record □Linear Feature Record □ Milling Station Record □Rock Art Record □Artifact Re		K.					
San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * Attachments: NONE Location Map Sketch Map Continuation Sheet Attachments: □ NONE □ Location Map □ Sketch Map □ Continuation Sheet □ Archaeological Record □ District Record □ Linear Feature Record □ Milling Station Record □ Rock Art Record □ Artifact Re	lum.						
* P8. Recorded by: (Name, affiliation, address City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re		With the same of	Date: 8				
City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re				-	Ball Diego C	71 72105	
City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * Attachments: NONE Location Map Sketch Map Continuation Sheet Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re	THE RESERVE OF THE PERSON OF T		1 1 1		* P8 Recorder	d bv· (Name af	filiation address)
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* P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re		70.00	SE COLUMN		202 C Street,	MS 4A	
* P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re			E CONTRACT		San Diego CA	A 92101	
* P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re						1/17/0	1007
Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: □NONE □Location Map □Sketch Map □Continuation Sheet ☑ Building, Structure, and Object Re □Archaeological Record ☑ District Record □Linear Feature Record □Milling Station Record □Rock Art Record □Artifact Re							
* P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re		A Charles	Maria Carallana				e)
* Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re		- It could		-	Inclisive (11		
* Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Re Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Re					-		
□ Archaeological Record □ District Record □ Linear Feature Record □ Milling Station Record □ Rock Art Record □ Artifact Re	* P11. Report Citation: (Cite survey rep	oort/other sources of	or "none")		•		
□ Archaeological Record □ District Record □ Linear Feature Record □ Milling Station Record □ Rock Art Record □ Artifact Re							
		. —	. —			-	
TENDIOURADII NECOIU TETOINEI. (LISU	☐ Photograph Record ☐ Other: (List		i eature Necoru	ivining Statio	on Necolu	NOOK ALL NECOID	AIIIIaci Kecord

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3405 Isla Vista Drive, APN 476-160-16	
B1. Historic Name:	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	<u>Si Residential</u>
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1935 per water and sewer records. Modifice the use of textured stucco; the replacement of some original wood frame house is in good condition and retains a good to fair degree of integrity.	rations include the replacement of the clay tile roof with new clay tile;
* B7. Moved? No Yes Unknown Date * B8. Related Features:	Original Location:
A detached garage is located at the rear.	
The second of th	
B9a. Architect: <u>Unknown</u>	b. Builder: Unknown
	ev Area <u>San Diego</u>
Period of Significance $\underline{1926-1952}$ Property Type \underline{Re}	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	
San Diego's expansion away from the city core and beyond	1 0 1 0
and population propelled the creation of new infrastructure	•
significant under HRB Criterion C, as it embodies distinctive	e characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum hous	
Automobile Suburbs between 1926 and 1952. The first phase	se of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popul	larity of Spanish Eclectic architecture. Construction
progressed steadily during the first phase of development be	efore construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-	1941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minis	mal Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The	ne third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the	wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	TAGGIBLA WAYS, DRIVE
510. Romano.	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR RISTORICAL DISTRICT
	100 St number of 1 th in prisits.

State of California The Resources Agency			•			
DEPARTMENT OF PARKS AND RECRE	ATION					
DDIMARY BECORD						
PRIMARY RECORD				Code <u>5D1</u>		
	Other Listings					D-1-
	Review Code	Reviewe	r			Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: $3410~\mathrm{Isla~Vist}$	a Drive, APN 4	76-152-21				
P1. Other Identifier:						
 -	ition 🗸 Unrestri		-			
						_; B.M.
c. Address 3410 Isla Vista Dr			-			-
d. UTM: (Give more than one for I	•			e,		
e. Other Locational Data: (e.g. pa APN 476-152-21-00; Isle			to resource,	elevation, addit	ionai UTMS, etc	. as app
* P3a. Description: (Describe resource The house at 3410 Isla Vista Drivitile shed roof along the parapet lichimney at the north elevation. Ta roof projection supported by we consists of a 3-pane fixed wood f windows throughout. Refer to BS	we was built in 1 ne and a front-gone entry, access tood posts. The crame window in	1937 in the Spa gable bay; clay sed via two con entry door is se in the gable bay	nish Eclectitile roof vertice steps, t perpendicated and 2-over-	ic style and fe nts and drains is set just to t ularly to the s -2 double hun	atures a flat r; a stucco ext he left of the idewalk. Fend g wood frame	oof with a clay erior; and a gable bay under estration
* P4. Resources Present: Buildin		Object Site	District	, <u> </u>	istrict Other	,
P5a. Photograph or Drawing (Photog	graph required for b	uildings, structures	s, and objects)	·	,	•
	-				primary faça	
			-	* P6. Date Cor	of-wav. istructed/Age a	nd Sources:
1			ALC:	Prehisto	•	
						_
J.			and the same	1937 Water	and Sewer Re	ecords
1			10.25	* P7. Owner a	nd Address:	
		-		1	Jr Living Tr	ust
	07-	- Andrews	-	4502 Aragor		
			Bulle	San Diego C	A 92115	
A CONTRACTOR OF THE PARTY OF TH	The same of	The state of		* DO D	dha Alama a	CCC - C d do \
			-		a by : (Name, ar Diego Plannir	filiation, address)
The state of the s		20.0		202 C Street,		ig Stair
				San Diego CA		
		Service Co.				
				* P9. Date Red	orded: $1/17/2$	2007
	CONTRACTOR OF THE PARTY OF THE				Type: (Describ	e)
9-1-1-1		The state of the state of		Intensive (A	rchitectural)	
* P11 Poport Citation: (Cita auracia	ort/other courses =:	r "nono"\		l		
* P11. Report Citation: (Cite survey rep	onvoluer sources of					
* Attachments: NONE Loca	ation Map Ske	etch Map	Continuation Sh	neet 🗸 Ri	uilding. Structure	, and Object Record
☐ Archaeological Record ✓ District R		eature Record	Milling Station		lock Art Record	Artifact Record
Photograph Record Other: (List)			-			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT I	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: <u>3410 Isla Vista Drive, APN 476-152-21</u>	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u>	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Spanish Eceletic	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1937 per water and sewer records. Modifice the use of textured stucco; the replacement of some original wood frame house is in good condition and retains a good degree of integrity.	cations include the replacement of the clay tile roof with new clay tile;
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features:	Original Location:
A detached garage is located at the rear.	
	b. Builder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance 1926-1952 Property Type Re (Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	•
San Diego's expansion away from the city core and beyond	the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure	and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popu	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minin	mal Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. Th	ne third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the	wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	Selection vertex convers
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $\underline{1/17/2007}$	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL DISTRICT

DEPARTMENT OF PARKS AND RECREATION			HR #				
DEI AKTIMENT OF TAKKS AND RECKE	TION						
PRIMARY RECORD							
TRIMINATE RESORD	Other Listings			s Code <u>JD1</u>			
			er			Date	
Page1 of2							
* Resource Name or #: 3420 Isla Vista	Drive, APN 47	6-152-22					
P1. Other Identifier:							
	tion 🗸 Unrestric						
b. USGS 7.5' Quad							
c. Address 3420 Isla Vista Dr	ive		City <u>San</u>	Diego		Zip <u>92105</u>	
d. UTM: (Give more than one for la	arge and/or linear fe	ature)	Zon	e,	mE/	mN	
e. Other Locational Data: (e.g. pa APN 476-152-22-00; Isle				elevation, addition	onal UTMs, etc	c. as app	
* P3a. Description: (Describe resource The house at 3420 Isla Vista Driv shingles; a slight eave overhang a is set to the left, with the entry do multi-lite wood frame and sash w retaining wall is at the property li	e was built in 19 nd soffit; and a or perpendicula indows in varying	950 in the Rawood shingler to the sidewing sized. Wro	anch style and e exterior. The valk. Fenestrought iron se	d features a hip ne entry, access ation consists of ccurity bars have	oped roof wi sed via four of single pan e been adde	th composition concrete steps, he fixed and d. A low brick	
•	utes and codes) <u>HI</u> g			✓ Element of Di	strict Other	(Isolates, etc.)	
				P5b. Description		, ,	
P5a. Photograph or Drawing (Photog	raph required for bu	lidings, structure	es, and objects)	Photo of the	,		
				public right-o			
				* P6. Date Cons	structed/Age a	nd Sources:	
			1)	Prehistor	ric 🗸 Histor	ic Both	
			THE PARTY				
	-	-	160	1950 Water a	nd Sewer R	ecords	
		4	1	* P7. Owner an			
	The same of		16	Huynh Thuy			
W.	A 100 TO		1 1 1 m	3420 Isla Vis			
		-	4	San Diego Ca	A 92105		
	- W		No.				
			374 -			ffiliation, address)	
CONTRACTOR OF THE PARTY OF THE			-	City of San D		ng Staff	
HILL HE				202 C Street, N San Diego CA			
				Ban Diego Cri	72101		
	STATE OF THE PERSON NAMED IN	Total management of		* P9. Date Reco	orded: 1/17/2	2007	
The state of the s	STATE OF THE PARTY OF		STATE OF THE PARTY.	* P10. Survey 1			
- 11	The second second	Branch Control	_	Intensive (Ar			
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P11. Report Citation: (Cite survey repo	ort/other sources or	"none")					
			Continuation S		•	e, and Object Record	
	ecord Linear Fe	eature Record	Milling Stati	on Record Re	ock Art Record	Artifact Record	
☐ Photograph Record ☐ Other: (List)							

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT	
Page 2 of 2	* NRHP Status Code 5D1
* Resource Name or #: 3420 Isla Vista Drive, APN 476-152-2	
B1. Historic Name:	
B2. Common Name P3. Original Use: SE Pagidential	B4. Present Use: SF Residential
* B5. Architectural Style: Ranch	D4. Present ose. <u>S1. Restdential</u>
* B6. Construction History: (Construction date, alterations, and date The house was constructed in 1950 per water and sewer records. Modi composition roof and the use of wrought iron security bars. The house	ifications include the replacement of the composition roof with a new
* B7. Moved? ✔No Yes Unknown Date * B8. Related Features: A detached garage is located at the rear.	Original Location:
B9a. Architect: <u>Unknown</u>	
	dev Area San Diego
	Residential Applicable Criteria F
special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sm San Diego's expansion away from the city core and beyon and population propelled the creation of new infrastructur significant under HRB Criterion C, as it embodies distinct Traditional styles of the "small house" and "minimum how Automobile Suburbs between 1926 and 1952. The first phromall house movement of the 1920's and the immense poprogressed steadily during the first phase of development Great Depression. The second phase of development (193 Housing Authority (FHA) through the introduction of Min of Spanish Eclectic homes is also seen during this phase.	a historic district under HRB Criterion A, as an intact and ic, and architectural development. The neighborhood, which hall house" movement, marked a new stage in the City of and the limits of natural topography as increases in mobility are and development to the east. Islenair is also historically tive characteristics of Spanish Eclectic and Minimal use" construction types during San Diego's development of hase of development (1927-1931) is reflective of both the pularity of Spanish Eclectic architecture. Construction before construction came to a halt with the onset of the 35-1941), reflects the work of the newly formed Federal nimal Traditional style architecture. The fading popularity The third phase of development (1945-1952) reflects the he wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
	INLENAIR HINTORIC AL DISTRICT TOTAL COMMUNICATION OF THE PROPERTY OF THE PROP

State of California The Resources Ag	•					
DEPARTMENT OF PARKS AND RECRE	ATION					
DDIMARY DECORD				5 D 1		
PRIMARY RECORD	.			Code 5D1		
	Other Listings	Reviewe				Date
	Review Code	Keviewe	'			Date
Page 1 of 2	- Duine ADNI 4	76 160 14				
* Resource Name or #: 3421 Isla Vist	a Drive, APN 4	/6-160-14				
P1. Other Identifier: * P2. Location: Not for Publica	tion ✓ Unrestric	etad	a County Sa	n Diego		_
	_		-			
c. Address 3421 Isla Vista Dr						
d. UTM: (Give more than one for l			-	e,		-
e. Other Locational Data: (e.g. pa	•	•				
APN 476-160-14-00; Isle			,	, , , , , , , , , , , , , , , , , , , ,	,	- 32 SPP
* P3a. Description: (Describe resource The house at 3421 Isla Vista Driv composition shingles and clay tile entry, accessed via three concrete supported by stucco arches. The hung wood frame and sash window windows underneath in the gable	we was built in 1 e ridges; a sligh e steps, is set jus entry door is set ows and a single	937 in the Min t eave overhan st to the right of parallel to the pane fixed wo	nimal Tradit g and expos f the front b sidewalk. I ood frame w	tional style and sed rafter tails bay under a new Fenestration covindow with two	d features a h; and a stucco wer roof projonsists of 1-o wo aluminum	ipped roof with exterior. The ection ver-1 double jalousie
* P4. Resources Present: Buildin	utes and codes) <u>H</u> ig Structure graph required for be	Object Site	District	✓ Element of D P5b. Description	istrict Other	ew, date, etc.)
				nublic right- * P6. Date Cor Prehistor 1937 Water at P7. Owner at Fernandez P 3421 Isla Vit San Diego Cor * P8. Recorder City of San I 202 C Street.	and Sewer Rend Address: ablo sta Drive A 92105 d by: (Name, afd Diego Planning MS 4A	nd Sources: c
* P11. Report Citation: (Cite survey rep	ort/other sources or	r "none")			corded: $\frac{1/17/2}{1}$	
* Attachments: NONE Loca	ation Map Ske	etch Map	Continuation St	neet ✓Bı	uilding, Structure	, and Object Record
☐ Archaeological Record ✓ District R	. —	eature Record	Milling Station		lock Art Record	Artifact Record
Photograph Record Other: (List)			-			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
	HR#
BUILDING, STRUCTURE, AND OBJECT RI	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code 5D1
* Resource Name or #: 3421 Isla Vista Drive, APN 476-160-14	
B1. Historic Name:	
B2. Common Name	December CE Decident 1
B3. Original Use: <u>SF Residential</u> B4. * B5. Architectural Style: Minimal Traditional	Present Use: <u>SF Residential</u>
* B6. Construction History: (Construction date, alterations, and date of al	terations)
The house was constructed in 1937 per water and sewer records. Modification composition roof; the enlargement of the front porch cover; and the addition and retains a fair degree of integrity.	ons include the replacement of the composition roof with a new
* B7. Moved? No Yes Unknown Date Ori B8. Related Features:	ginal Location:
A detached garage is located at the rear.	
Transmit garage is received in the rem.	
B9a. Architect: <u>Unknown</u> b.	Builder: DH Storms
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type Resid	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a his	
special element of San Diego's historical, social, economic, ar	
is comprised of working-class homes reflective of the "small h	
San Diego's expansion away from the city core and beyond the	1 0 1 1
and population propelled the creation of new infrastructure an significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house"	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-19	
Housing Authority (FHA) through the introduction of Minima	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	ake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was ne	arly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Biologiaphy for References Osca	
	Set tha Wath Dave
B13. Remarks:	100.00
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: <u>1/17/2007</u>	
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	ISLEVAIR HISTORICAL DISTRICT
	Total Andropolity I for the public.

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD				Code 5D1		
	Other Listings Review Code		ar .			Date
n 1	Treview code	Noviewe	,ı			
Page $\underline{1}$ of $\underline{2}$	to Drive ADN 476	5 160 13				
* Resource Name or #: 3427 Isla Vist	la Drive, APN 470	0-100-13				
P1. Other Identifier:			• C.	D:		
	ation		•			
b. USGS 7.5' Quad						
c. Address 3427 Isla Vista Di						
d. UTM: (Give more than one for	-			e,		
e. Other Locational Data: (e.g. p APN 476-160-13-00; Isla			s to resource,	elevation, additi	onal UTMs, etc.	as app
* P3a. Description: (Describe resource The house at 3427 Isla Vista Dri features a "U" shaped floor plan; rafter tails; vertical wood siding concrete steps, is centered on the wood posts. The entry door is set and sash windows. Aluminum av repair work to the plumbing at the restored. Refer to BSOR Section	ve was built in 19 g a cross gable roo in the gable end; a e façade between t t parallel to the sid vnings have been the time of the surv	37 in the Min f with compound a wood che two projedewalk. Feneadded above ey. It appear	nimal Tradit osition shing lapboard ex cting gable estration con some winders s that the in	tional style wi gles; a slight e terior. The en- bays under a r asists of 1-over ows. The hous apacted area w	th Ranch elemave overhang try, accessed voof projection -1 double hunder was undergo	nents and and exposed via two a supported by ag wood frame bing some
* P4. Resources Present: Buildin	outes and codes) HP2 ng Structure graph required for build	Object Site	e District	Element of D P5b. Description Photo of the	istrict Other (on of Photo: (View primary façad	v, date, etc.) le from the
				* P6. Date Con	of-wav. estructed/Age an ric ✔ Historic	d Sources:
all this was a little was	(A) Salaharan	PAL .		1937 Water	and Sewer Red	cords
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	AS	MARKET IN	- MARIE	Isicson Robi		
		- The Control of the	No. of the	3427 Isla Vis		
	-///	111111		San Diego C	A 92105	
	THE				d by: (Name, affi	
				202 C Street,		z Dtaii
				San Diego CA		
The same of the sa	and the same		-		1 /17 /0/	207
ALCOHOL: NAME OF THE PARTY OF T		and the same	300		orded: $1/17/20$	
					Type: (Describe	e)
THE RESERVED AND ADDRESS.				Intensive (A	renitectural)	
				J		
* P11. Report Citation: (Cite survey rep	oort/other sources or "r	none")				
- -			Continuation SI		-	and Object Record
Archaeological Record District F		ture Record	Milling Station	on Record R	ock Art Record	Artifact Record
Photograph Record Other: (List)					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page _2_ of _2_	* NRHP Status Code $\underline{5D1}$
* Resource Name or #: 3427 Isla Vista Drive, APN 476-160-13	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1937 per water and sewer records. Modifical composition roof and the addition of aluminum awnings. The house is in	ations include the replacement of the composition roof with a new
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date(* B8. Related Features: A detached garage is located at the rear.	Original Location:
A detached garage is located at the lear.	
B9a. Architect: Unknown	b. Builder: Stanley Nash
* B10. Significance: Theme Early auto-oriented small house de	
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by t	
The neighborhood of Islenair is historically significant as a l	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	
	•
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure a	
significant under HRB Criterion C, as it embodies distinctiv	
Traditional styles of the "small house" and "minimum house	e" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phas	se of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minir	•
of Spanish Eclectic homes is also seen during this phase. Th	*
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(0) 11 31 11 1
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	MATERIA MOTA DRIVE
D40 December	
B13. Remarks:	1000
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLEVAIR HISTORIC AL DISTRICT

State of California The Resources Agency		Primary #					
DEPARTMENT OF PARKS AND RECREA	ATION		HR #				
			Trinomial				
PRIMARY RECORD			NRHP Status	Code <u>5D1</u>			
	Other Listings						
	Review Code	Reviewe	·			Date	
Page <u>1</u> of <u>2</u>							
* Resource Name or #: 3428 Isla Vista	Drive, APN 476-1	52-23					
P1. Other Identifier:		02 20					
	tion Unrestricted		a. County Sa	an Diego			
b. USGS 7.5' Quad					1/4 of Sec	; B.M.	
c. Address 3428 Isla Vista Dr						zip <u>92105</u>	
d. UTM: (Give more than one for la				e,			
e. Other Locational Data: (e.g. pa	-						
APN 476-152-23-00; Isla			to resource,	cievation, addition	onar o mis, cro	. из ирр	
The house at 3428 Isla Vista Driv tile shed roof along the parapet linexterior; and a chimney at the nor façade between the gable bays. The with 50 square feet of habitable spays and 1-over-1 double hung albeen added above the windows. A Refer to BSOR Section B.6. for no	th elevation. The ene entry door is set pave. Fenestration cuminum frame and a porte cochere was	ng front-ga ntry, access parallel to consists of sash windo constructe	ble bays; cl sed via eigh the sidewal single-pane ows flankin d on the so	lay tile roof ver at concrete step lk. The origina e fixed wood fr g the entry doo	nts and drain os, is roughly l entry porch came window or. Aluminun	s; a stucco centered on the was infilled s in the gable a awnings have	
* P3b. Resource Attributes: (List attribu	ites and codes) <u>HP2 S</u>	Single fami	ly property				
* P4. Resources Present: 🗸 Building	g Structure O	oject Site	District	✓ Element of Di	strict Other	(Isolates, etc.)	
P5a. Photograph or Drawing (Photog	raph required for buildin	as. structures	. and objects)	P5b. Description	n of Photo: (Vie	ew, date, etc.)	
3 (113		3 -,	Asia	Photo of the	primary faca	de from the	
Chr. and San Control				public right-o			
				* P6. Date Con	structed/Age a	nd Sources:	
				Prehistor	ric 🗸 Historic	c Both	
			110	1928 Water a	and Sewer Re	ecords	
	- A		4	* P7. Owner an			
	- 3			Ocampo Mar	ia c NSNS50) Cordova	
	1 14			3428 Isla Vis	sta Drive		
			T	San Diego Ca	A 92105		
The same of the sa	anna anna anna anna anna anna anna ann						
	**************************************			* P8. Recorded	l by: (Name, af	filiation, address)	
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			\$10 m	San Diego CA	. 92101		
to the second second			- 200				
	A. S. WA			* P9. Date Reco			
		1000	100	* P10. Survey 1		e)	
	No.	S. OFFICE OF	Service A	Intensive (Ar	cnitectural)		
	The state of the s	-	22.75				
				J			
* P11. Report Citation: (Cite survey repo	ort/other sources or "nor	ne")					
	tion Map Sketch I		ontinuation SI		-	, and Object Record	
☐ Archaeological Record ☑ District Re		e Record	Milling Station	on Record Re	ock Art Record	Artifact Record	
☐ Photograph Record ☐ Other: (List)							

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	RECORD
Page _ 2_ of _ 2_	* NRHP Status Code 5D1
* Resource Name or #: <u>3428 Isla Vista Drive</u> , APN 476-152-23	
B1. Historic Name:	
B2. Common Name	
	4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1928 per water and sewer records. Modifica the infill of the original porch in 1980 which added 50 square feet of habit construction of a porte cochere. The house is in good condition and retains	tions include the replacement of the clay tile roof with new clay tile; able space to the house; the addition of aluminum awnings; and the
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateC	Original Location:
* B8. Related Features:	
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house de</u> Period of Significance 1926-1952 Property Type Res	v Area <u>San Diego</u>
(Discuss importance in terms of historical or architectural context as defined by the neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, a special element of San Diego's historical, social, economic, a significant of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure as significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popul progressed steadily during the first phase of development between Depression. The second phase of development (1935-Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was a B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically echaracteristics of Spanish Eclectic and Minimal construction types during San Diego's development of e of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal and Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(5
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
	INLEVAIR HISTORIC ALL DIST FOR T

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD				s Code <u>5D1</u>		
	Other Listings Review Code		er			Date
Page _ 1_ of _ 2_						
* Resource Name or #: 3435 Isla Vist	a Drive, APN 476	-160-12				
P1. Other Identifier:						
	tion U nrestricte	d	a. County Sa	an Diego		
b. USGS 7.5' Quad			-			
c. Address 3435 Isla Vista Dr						
d. UTM: (Give more than one for I				e,		
e. Other Locational Data: (e.g. pa APN 476-160-12-00; Isle	arcel #, legal descrip	tion, direction				
The house at 3435 Isla Vista Driv features a "U" shaped floor plan; board and groove exterior. The enhouse and the garage. The entry caluminum frame and sash window	a cross gable room ntry is located in a door is set parallel	f with fiberg a courtyard b to the sidev	class shingle between the walk. Fenest	es; a slight eave two projecting ration consists	e overhang; ar g gable bays c s of 1-over-1 d	nd a stucco and reated by the ouble hung
* P4. Resources Present: Buildin	utes and codes) <u>HP2</u> g Structure graph required for build	Object Site	e District	Element of D P5b. Description Photo of the	istrict □ Other (on of Photo: (View primary façad	v, date, etc.) le from the
				* P6. Date Con	structed/Age an ric ✓ Historic	d Sources:
A CONTRACTOR OF THE PARTY OF TH	国际企业 是3			1936 Water a	and Sewer Re	cords
	Water Table	STATE AND ADDRESS OF THE PARTY	79		er D and Judy	M
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		M			d by: (Name, affi Diego Plannin MS 4A	
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THE REAL PROPERTY AND ADDRESS OF THE PERSON ADDRESS OF THE PERSON AND ADDRESS OF THE PERSON AN	- 100 E - 100	-				
			18 18		orded: 1/17/20 Type: (Describerchitectural)	
		40	DESCRIPTION OF THE PERSON OF T			
		Control of the last				
* P11. Report Citation: (Cite survey rep	ort/other sources or "r	one")				
* Attachments:	ation Map Sketc ecord Linear Fea	. —	Continuation Sl		uilding, Structure, ock Art Record	and Object Record Artifact Record
Photograph Record Other: (List)						

State of California The Resources Agency	Primary #
BUILDING, STRUCTURE, AND OBJECT R	HR#
Page 2 of 2	* NRHP Status Code 5D1
* Resource Name or #: 3435 Isla Vista Drive, APN 476-160-12	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	. Fresent Ose. <u>51 Residential</u>
* B6. Construction History: (Construction date, alterations, and date of a	torations)
The house was constructed in 1937 per water and sewer records. Modification and the replacement of the original wood frame windows with aluminum fra house is in good condition and retains a good to fair degree of integrity.	ons include the replacement of the roof with a new fiberglass roof
* B7. Moved? No Yes Unknown Date Or * B8. Related Features:	iginal Location:
B9a. Architect: <u>Unknown</u> b. * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Builder: <u>Unknown</u> Area San Diego
Period of Significance 1926-1952 Property Type Resident	
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a hi special element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small Island Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure are significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house" Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-194). Housing Authority (FHA) through the introduction of Minima of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the wend of the third phase of development in 1952, Islenair was not B11. Additional Resource Attributes: (List attributes and codes):	storic district under HRB Criterion A, as an intact and architectural development. The neighborhood, which nouse" movement, marked a new stage in the City of e limits of natural topography as increases in mobility d development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the rity of Spanish Eclectic architecture. Construction one construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal all Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the rake of the housing shortage following WWII. By the
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a hi special element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small Island Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure are significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house" Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-194). Housing Authority (FHA) through the introduction of Minima of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the wend of the third phase of development in 1952, Islenair was not B11. Additional Resource Attributes: (List attributes and codes): **B12. References:	storic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which nouse" movement, marked a new stage in the City of e limits of natural topography as increases in mobility d development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the rity of Spanish Eclectic architecture. Construction are construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal al Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the rake of the housing shortage following WWII. By the
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a hi special element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small Island Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure are significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house" Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-194). Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the wend of the third phase of development in 1952, Islenair was not B11. Additional Resource Attributes: (List attributes and codes):	storic district under HRB Criterion A, as an intact and architectural development. The neighborhood, which house" movement, marked a new stage in the City of e limits of natural topography as increases in mobility d development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the rity of Spanish Eclectic architecture. Construction are construction came to a halt with the onset of the old1), reflects the work of the newly formed Federal al Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the rake of the housing shortage following WWII. By the early built-out with only a few vacant lots remaining.
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a hi special element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small I San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure are significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house" Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popula progressed steadily during the first phase of development (1935-194). Housing Authority (FHA) through the introduction of Minima of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the wend of the third phase of development in 1952, Islenair was not 1912. References: **B12. References: Refer to District Bibliography for References Used **B13. Remarks: **B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	storic district under HRB Criterion A, as an intact and architectural development. The neighborhood, which house" movement, marked a new stage in the City of e limits of natural topography as increases in mobility d development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the rity of Spanish Eclectic architecture. Construction are construction came to a halt with the onset of the old1), reflects the work of the newly formed Federal al Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the rake of the housing shortage following WWII. By the early built-out with only a few vacant lots remaining.

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DEPARTMENT OF PARKS AND RECRE	ATION					
PRIMARY RECORD				5D1		
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	Other Listings _	Reviewe				Date
- 1 . 2	Treview Gode	TOVIOWO	·			
Page $\underline{1}$ of $\underline{2}$ * Resource Name or #: $\underline{3440 \text{ Isla Vis}}$	to Drive APN	176 152 24				
P1. Other Identifier:	ia Diive, AFN	+70-132-24				
	tion V Unrestri	cted	a County Sa	n Diego		
	_		-			; B.M.
c. Address 3440 Isla Vista Dr						
d. UTM: (Give more than one for I				e,		
e. Other Locational Data: (e.g. pa	-					
APN 476-152-24-00; Isl						
P3a. Description: (Describe resource						
The house at 3440 Isla Vista Driv				•		•
tile shed roof along the parapet li			•	•	•	•
tails; clay tile roof vents and drai				•		•
accessed via three concrete steps,		,		•	•	•
to the sidewalk. Fenestration con				windows wit	h decorative v	wood shutters.
Refer to BSOR Section B.6. for r	nodifications ar	nd analysis of i	ntegrity.			
* P3b. Resource Attributes: (List attrib	utes and codes) <u>H</u>	IP2 Single fami	ly property			
* P4. Resources Present: 📝 Buildin	g Structure	Object Site	District	✓ Element of D	istrict Other	(Isolates, etc.)
P5a. Photograph or Drawing (Photog	graph required for b	uildings, structures	, and objects)	P5b. Description	on of Photo: (Vie	w, date, etc.)
				Photo of the	primary faça	de from the
STATE OF THE STATE				public right-	of-wav.	
The second					nstructed/Age a	
				Prehisto	oric 🗸 Histori	c Both
/ William						
M %	1				and Sewer Re	cords
*				* P7. Owner a Lewis Keith		
-	-		2-	3440 Isla Vi		<u> </u>
	-	100	The same	San Diego C		
				Bull Blego C	71 72105	
				* P8. Recorde	d bv: (Name, af	filiation, address)
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	150 Marie			San Diego CA	A 92101	
ti t						
	-		Some State		corded: $1/17/2$	
					Type: (Describ	e)
				Intensive (A	rchitectural)	
t P44 Penert Citation (Cita comme	ort/other services	r "nonc"\				
* P11. Report Citation: (Cite survey rep	onvolner sources o	none")				
* Attachments: NONE Loca	ation Map Sk	etch Map	Continuation Sh	neet R	uildina. Structure	e, and Object Record
☐ Archaeological Record ✓ District R	. —	Feature Record	Milling Station		Rock Art Record	Artifact Record
Photograph Record Other: (List)	 -					

State of California The Resources Agency	Primary #				
DEPARTMENT OF PARKS AND RECREATION	HR#				
BUILDING, STRUCTURE, AND OBJECT RE					
•	* NRHP Status Code <u>5D1</u>				
* Resource Name or #: 3440 Isla Vista Drive, APN 476-152-24					
B1. Historic Name:					
B2. Common Name	Present Use: SF Residential				
* B5. Architectural Style: Spanish Eclectic	riesent esc. <u>St. Residential</u>				
* B6. Construction History: (Construction date, alterations, and date of alterations.) The house was constructed in 1936 per water and sewer records. Modifications include the use of textured stucco and the addition of window screens. The house is in good condition and retains a good to fair degree of integrity.					
* B7. Moved? No Yes Unknown Date Original Property Services:	ginal Location:				
B9a. Architect: <u>Unknown</u> b.	Builder: <u>Unknown</u>				
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>					
Period of Significance 1926-1952 Property Type Resid					
(Discuss importance in terms of historical or architectural context as defined by ther The neighborhood of Islenair is historically significant as a his special element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small historical sand Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive of traditional styles of the "small house" and "minimum house" Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popular progressed steadily during the first phase of development beforeat Depression. The second phase of development (1935-19) Housing Authority (FHA) through the introduction of Minima of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the wend of the third phase of development in 1952, Islenair was ne B11. Additional Resource Attributes: (List attributes and codes):	storic district under HRB Criterion A, as an intact and ad architectural development. The neighborhood, which ouse" movement, marked a new stage in the City of e limits of natural topography as increases in mobility d development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the city of Spanish Eclectic architecture. Construction re construction came to a halt with the onset of the 41), reflects the work of the newly formed Federal 1 Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the ake of the housing shortage following WWII. By the arly built-out with only a few vacant lots remaining.				
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)				
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	SIJENAR HISTORICAL DISTERT				
	Total screenid a 181 in public.				

DEPARTMENT OF PARKS AND RECREATION			Primary #				
			HR #				
DDIMARY DECORD		Trin	nomial				
PRIMARY RECORD							
	Other Listings						
	Review Code	Reviewer				Date	
Page <u>1</u> of <u>2</u>							
* Resource Name or #: 3443 Isla Vista	Drive, APN 476-1	60-11					
P1. Other Identifier:	·						
* P2. Location: Not for Publicat	ion U nrestricted	a. C	County San I				
b. USGS 7.5' Quad							
c. Address 3443 Isla Vista Dri							
d. UTM: (Give more than one for la					mE/		
e. Other Locational Data: (e.g. par							
APN 476-160-11-00; Islen	nair Unit #1, Block	3, Lot 12					
The house at 3443 Isla Vista Drive tile shed roof along the parapet line stucco exterior; and a chimney at the bay under a roof projection surfenestration consists of single parabove a side window. A 3-foot higobscures the house. Refer to BSO	ne and a projecting the south elevation. pported by a wrough e fixed and louvered by stucco and terra	front-gable ba The entry, ac tht iron post. T ed aluminum cotta block wa	ny; clipped ccessed via Γhe entry d windows. A all is locate	eaves; clay two concre oor is set pa An aluminumed at the pro	tile roof vente steps, is searallel to the mawning has perty line. L	ts and drai et to the rig sidewalk. s been add	ns; a ght of
,		oject Site	District d objects) P	5b. Description	strict Other	ew, date, etc.)
	The state of the s				primary faça		<u>e</u>
			<u>D</u>	ublic right-(of-wav. structed/Age a	nd Sources	
			4		ric Histori		
	THE PARTY OF THE P	Marie State	19	928 Water a	and Sewer Re	ecords	
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S. The State of th			<u>S</u>	<u>ierra Migue</u>	1 & Barnes N	Maria	
	AM .		34	443 Isla Vis	sta Drive		
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	TO VIEW						
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也是一个人	A DATE	-	* 1	BO Data Base	orded: 1/17/2	2007	
					Гуре: (Describ		
					chitectural)	,,,	
* P11. Report Citation: (Cite survey repo	ort/other sources or "non	e")					
	tion Map Sketch N	. —	nuation Shee		ilding, Structure	e, and Object	Record
	ecord Linear Feature	e Record M	illing Station F	Record Re	ock Art Record	Artifact	Record
Photograph Record Other: (List)							

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT I	
Page <u>2</u> of <u>2</u>	* NRHP Status Code $\underline{5D1}$
* Resource Name or #: 3443 Isla Vista Drive, APN 476-160-11	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1936 per water and sewer records. Modific roof; the replacement of the original wood frame windows with aluminum wrought iron post; the addition of an aluminum awning; the addition of a house is in good condition and retains a good to fair degree of integrity. * B7. Moved? ✓ No Yes Unknown Date * * B8. Related Features:	rations include the replacement of the clay tile roof with a new clay tile in frame windows; the replacement of the wood porch post with a stucco and terra cotta block wall; and landscape overgrowth. The
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u>	
* B10. Significance: Theme Early auto-oriented small house de	
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	Il house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond	the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure	and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	•
Housing Authority (FHA) through the introduction of Minin	•
of Spanish Eclectic homes is also seen during this phase. The	*
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(0)
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
D42 Demorker	340 SLA VICTA DW28
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
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	State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #			
PRIMARY RECORD						
	Other Listings Review Code		r		Da	te
Page 1 of 2						
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3449 Isla Vist</u>	a Drive APN 476-	160-10				
P1. Other Identifier:		100-10				
	tion Vunrestricted		a County Sa	n Diego		
b. USGS 7.5' Quad			-			
c. Address 3449 Isla Vista Dr						
d. UTM: (Give more than one for l					mE/	
e. Other Locational Data: (e.g. pa						
APN 476-160-10-00 Isle			, 10 1000 411 00,	,		PP
* P3a. Description: (Describe resource The house at 3449 Isla Vista Driv composition shingles; a slight eaviteps, is roughly centered on the parallel to the sidewalk. Fenestra Section B.6. for modifications an	we was built in 1940 we overhang; and a façade under a root tion consists of 1-o	0 in the Min horizontal v f projection over-1 doubl	nimal Tradit wood exteri supported l	tional style and or. The entry, by a wood pos	d features a hippe accessed via two t. The entry door	d roof with concrete is set
	utes and codes) <u>HP2</u>			✓ Element of D	istrict Other (Isola	ates, etc.)
	graph required for building	<u> </u>		<u>, —</u>	on of Photo: (View, da	
7 Ja. 1 Hotograph of Drawing (1 Hotog	graph required for building	igs, structures	, and objects)	•	primary façade fr	*
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to A continue				_		
				1940 Water	and Sewer Record	ds
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The second second				Stear Pamela		
	海外人工			3449 Isla Vi		
				San Diego C	A 92105	
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				202 C Street,		lall
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TATION IN COLUMN		100 - 4 St. 10 - 10 - 10 - 10 - 10 - 10 - 10 - 10	2 11 11 12			
HVIIIIII E				* P9. Date Rec	orded: 1/17/2007	
			IIII	* P10. Survey	Type: (Describe)	
			IIII		Type: (Describe)	
			IIII	* P10. Survey	Type: (Describe)	
			IIII	* P10. Survey	Type: (Describe)	
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ine")	IIII	* P10. Survey	Type: (Describe)	
			IIII	* P10. Survey Intensive (A	Type: (Describe) rchitectural)	
	ation Map Sketch	Мар 🔲 С	Continuation SI	* P10. Survey Intensive (A	Type: (Describe) rchitectural)	Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	
	NRHP Status Code 5D1
* Resource Name or #: 3449 Isla Vista Drive, APN 476-160-10	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of alterations was constructed in 1940 per water and sewer records. Modificatio composition roof and the replacement of the original 2-over-2 wood frame we condition and retains a good to fair degree of integrity.	ns include the replacement of the composition roof with a new
* B7. Moved? ✔ No Yes Unknown Date Orig * B8. Related Features:	inal Location:
	Builder: EC Ybarrando
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	
Period of Significance 1926-1952 Property Type Resid	
(Discuss importance in terms of historical or architectural context as defined by them	
The neighborhood of Islenair is historically significant as a his	
special element of San Diego's historical, social, economic, an	d architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small he	ouse" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond the	e limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure and	1 0 1 0
significant under HRB Criterion C, as it embodies distinctive c	•
Traditional styles of the "small house" and "minimum house" of	
Automobile Suburbs between 1926 and 1952. The first phase of	* * * * * * * * * * * * * * * * * * * *
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194)	· ·
Housing Authority (FHA) through the introduction of Minimal	Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The t	hird phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the wa	ake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was near	•
B11. Additional Resource Attributes: (List attributes and codes):	, ,
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	San BLA WITH DEET
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: <u>1/17/2007</u>	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL DISTERS T

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD						
	Other Listings Review Code					Date
n 1						
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3455 Isla Vist</u> a	Drive ADN 476	160 00				
	a Diive, AFN 470-	100-09				
P1. Other Identifier:	tion Unrestricted		- Ct Co	n Diago		
			-			
b. USGS 7.5' Quad						
c. Address 3455 Isla Vista Dr					mE/	
d. UTM: (Give more than one for lage of the continuation of the co	-					
APN 476-160-09-00; Isle			to resource,	elevation, additi	onai O i wis, etc. a	is app
* P3a. Description: (Describe resource The house at 3455 Isla Vista Driv with composition shingles; a slight The entry, accessed via one concidecorative wrought iron posts. The fixed and slider windows. The sir BSOR Section B.6. for modifications.	re was built in 194 at eave overhang; a rete step, is roughly ne entry door is set agle-car garage is a	6 in the Min and a stucco y centered or parallel to the attached to the first tached to the first to the first tached ta	imal Tradit exterior win the façad he sidewall	tional style and ith brick vened e under a roof k. Fenestration	I features a sider beneath a pie projection sup consists of all	le gable roof cture window. oported by uminum frame
	utes and codes) $\underline{ ext{HP2}}$ g \Box Structure \Box C				strict Other (I	
P5a. Photograph or Drawing (Photog	raph required for buildi	ngs, structures	and objects)	P5b. Descriptio	n of Photo: (View	, date, etc.)
		100	TE TWO		primary façade	
EWII.		/ VIII / W		public right-o	of-wav.	
一 海 市		12000	THE TAX	* P6. Date Con Prehisto	structed/Age and ric Historic	Both
			1 VA	Frenisio	nic 🗸 Historic	Botti
1 W W		- 1		1046 Water	and Carran Dan	
				* P7. Owner ar	and Sewer Rec	orus
	1		100		rd E and Georg	gia K
	THE WORLD		1	3455 Isla Vis		
755				San Diego C		
				* P8. Recorded	l by: (Name, affili	iation, address)
A STATE OF THE PARTY OF	Marie Committee				Diego Planning	
				202 C Street, 1	MS 4A	
			- A	San Diego CA	92101	
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200	北		SE PROPERTY.		orded: <u>1/17/20</u>	
				* P10. Survey Intensive (A)	Type: (Describe)	
				Intensive (A)	Cintecturar)	
		-	To the last of the			
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ne")		J		
	orgonici sources or Til	, iii				
* Attachments: NONE Loca	ation Map Sketch	Map \square C	ontinuation SI	neet 🗸 Ru	ildina. Structure :	and Object Record
Archaeological Record ✓ District Re	• —	. —	Milling Station		ock Art Record	Artifact Record
Photograph Record Other: (List)			_ 3			_

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT I	
Page 2 of 2	* NRHP Status Code 5D1
* Resource Name or #: 3455 Isla Vista Drive, APN 476-160-09	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1946 per water and sewer records. Modific composition roof; the replacement of the original wood frame windows work of the wood porch posts with wrought iron; and the replacement of the original and retains a good to fair degree of integrity. * B7. Moved? ✓ No Yes Unknown Date * B8. Related Features:	ations include the replacement of the composition roof with a new vith aluminum frame windows; the use of brick veneer; the replacement
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
	sidential Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	l house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond	the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure	and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	
	* '
small house movement of the 1920's and the immense popu	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Minir	•
of Spanish Eclectic homes is also seen during this phase. The	ne third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the	wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	Tokistika Mitta CMAYE
B13. Remarks:	and the second
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
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	ISLENAIR HISTORIC AL DISTRICT

State of California The Resources Agency			Primary #			
DEPARTMENT OF PARKS AND RECREA	ATION		HR #			
PRIMARY RECORD				Code <u>5D1</u>		
	Other Listings					_
	Review Code	Reviewer	-			Date
Page <u>1</u> of <u>2</u>						
Resource Name or #: 3472 Isla Vista	a Drive, APN 476	5-152-01				
P1. Other Identifier:						
 -	tion 🗸 Unrestricte		-			
						; B.M.
c. Address 3472 Isla Vista Dr						
d. UTM: (Give more than one for la	-			e,		
e. Other Locational Data: (e.g. pa APN 476-150-01-00; Isle			to resource,	elevation, addit	ionai UTMS, etc	:. as app
The house at 3472 Isla Vista Driv roof with a front-gable bay; slight stucco exterior. The entry is set to door is set parallel to the sidewall wood frame and sash windows. A Section B.6. for modifications and	eave overhang vother ight of the lost. Fenestration continuous two car garage is	vith exposed rebay under a rebonsists of 8-lits connected to	rafter tails; oof projecti e fixed, 4-l	clay tile roof on supported ite casement	vents and dra by wood pos and 4-over-4	ains; and a ts. The entry double hung
P4. Resources Present: Buildin	utes and codes) <u>HP2</u> g Structure raph required for build	Object Site	District	P5b. Description Photo of the	District Other on of Photo: (Vice primary façae- of-way.	ew, date, etc.) ade from the
			1	Prehister 1937 Water * P7. Owner a	and Sewer R nd Address: nael P and Ca	ic Both
				* P8. Recorde	CA 92105 d by: (Name, a Diego Planni MS 4A	ffiliation, address) ng Staff
				* P10. Survey	corded: 1/17// Type: (Describ rchitectural)	
P11. Report Citation: (Cite survey report	ort/other sources or "i	none")				
	ition Map ☐ Sketo ecord ☐ Linear Fea	• —	ontinuation Sh Milling Station		uilding, Structure Rock Art Record	e, and Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: <u>3472 Isla Vista Drive</u> , APN 476-152-01	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1937 per water and sewer records. Modification and the addition of the two car garage connected to the house. The house is the following the second connected to the house.	ations include the replacement of the clay tile roof with a new clay tile
* B7. Moved? ✔No Yes Unknown Date	Original Location:
B9a. Architect: Unknown	b. Builder: Unknown
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	•
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distinctiv	e characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house	e" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phas	se of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popu	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minir	· · · · · · · · · · · · · · · · · · ·
	•
of Spanish Eclectic homes is also seen during this phase. Th	*
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.v
B11. Additional Resource Attributes: (List attributes and codes):	(0) 11 31 11 1
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
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	DELETERA DIETO CROVE
B13. Remarks:	400
* BAA Evaluator City Son Diogo Dlanning Stoff	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	ISLEVAIR HISTORIC AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
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PRIMARY RECORD			NRHP Status	Code <u>5D1</u>		
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	Review Code	Reviewe	ſ <u></u>		υ	ate
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3473 Isla Vist	a Drive, APN 476-1	60-07				
P1. Other Identifier:						
* P2. Location: Not for Publica	tion Unrestricted		a. County \underline{Sa}	ın Diego		
b. USGS 7.5' Quad	D	Date	_T; R	; 1/4 of	_1/4 of Sec;	B.M.
c. Address <u>3473 Isla Vista Dr</u>	ive		City San I	Diego		_Zip <u>92105</u>
d. UTM: (Give more than one for la	arge and/or linear feature))	Zone	e,	mE/	mN
e. Other Locational Data: (e.g. pa APN 476-160-07-00 Islen			to resource,	elevation, addition	onal UTMs, etc. as	арр
* P3a. Description: (Describe resource The house at 3473 Isla Vista Driv tile shed roof along the parapet lidrains; and a textured stucco extet the two projecting gable bays und sidewalk. Fenestration consists of modifications and analysis of interestration.	we was built in 1929 ne and two projectire orior. The entry, acceler a roof projection f single pane fixed w	in the Spang front-gaessed via o supported	nish Eclecti ble bays; cl ne concrete by wood ti	ic style and fea ipped eaves; cl step, is center mbers. The ent	tures a flat roof lay tile roof ven ed on the façade try door is set pa	with a clay ts and e between arallel to the
·	utes and codes) HP2 S g Structure Ob graph required for building	ject Site	District	P5b. Description Photo of the public right-o	strict Other (Ison of Photo: (View, corimary façade forway.	from the
				Prehistori	ic Historic	Both
				1929 Water a	nd Sewer Recor	rds
			- 10	* P7. Owner and		
4	- Milana		1	Gemigniani S	taci M	
		-		3473 Isla Vist	ta Drive	
	Aminoch manufacture			San Diego CA	A 92105	
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	VIV			* P8. Recorded	by: (Name, affiliat	ion, address)
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11 17		100		San Diego CA	92101	
The state of the s	Maria Carlos	-				
The state of the s		-	230	* P9. Date Reco	orded: <u>1/17/200</u>	7
				* P10. Survey T Intensive (Arc	ype: (Describe) chitectural)	
* P44 Papart Citation: (Citations)	ort/other courses as II	o")		J		
* P11. Report Citation: (Cite survey rep	onvoluer sources of "non	e)				
* Attachments: NONE Loca	ation Map Sketch M	∕an □ C	ontinuation Sh	neet 🗐 🗀	Iding, Structure, and	d Ohiest Passed
	ecord Linear Feature		Milling Station			Artifact Record
☐ Photograph Record ☐ Other: (List)		o recoura [JON / III NOOOIU	J. HILLOUI NGCOIU

State of California The Resources Agency	Primary #
BUILDING, STRUCTURE, AND OBJECT	HR#
Page 2_ of 2_	* NRHP Status Code 5D1
* Resource Name or #: 3473 Isla Vista Drive, APN 476-160-07	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u>	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1929 per water and sewer records. Modific roof; the use of textured stucco; and the addition of a wrought iron secur good degree of integrity.	cations include the replacement of the clay tile roof with a new clay tile
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features:	Original Location:
* B10. Significance: Theme <u>Early auto-oriented small house d</u>	b. Builder: Unknown ev Area San Diego
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularity of the first phase of development (1935). Housing Authority (FHA) through the introduction of Mini of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which Il house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal se" construction types during San Diego's development of se of development (1927-1931) is reflective of both the plarity of Spanish Eclectic architecture. Construction sefore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	200 00 1 10 10 10 10 10 10 10 10 10 10 10
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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State of California The Resources Age DEPARTMENT OF PARKS AND RECREA			•			
DEL ARTIMENT OF FARRO AND REGRE	ATTOM					
PRIMARY RECORD						
	Other Listings					
	Review Code	Reviewer				Date
Page 1 of 2	D : 1 DV 156	1.00.00				
* Resource Name or #: <u>3505 Isla Vista</u>	a Drive, APN 476-	160-06				
P1. Other Identifier:	d		- Ot Com	Diago		
* P2. Location: Not for Publica b. USGS 7.5' Quad	tion Unrestricted		•			
c. Address <u>3505 Isla Vista Dr</u>						
d. UTM: (Give more than one for la					mE/	
e. Other Locational Data: (e.g. pa	-					
APN 476-160-06-00; Isle				,	,	
* P3a. Description: (Describe resource The house at 3505 Isla Vista Driv roof with composition shingles are via two concrete steps, is set to the entry door is set perpendicularly to The two-car garage is detached from modifications and analysis of interesting to the control of the control	re was built in 1940 and clay tile ridges; the right of the bay use to the sidewalk. Feworn the house and	6 in the Minia slight eave ander a roof nestration co	imal Tradition of the coverhang; a projection so the consists of 1-consists of 1-consi	onal style ar and a stucco upported by over-1 vinyl	nd features a money exterior. The stacked concurrence and sas	nulti-hipped entry, accessed rete blocks. The sh windows.
* P4. Resources Present: Buildin	utes and codes) HP2 g Structure C	Object Site	District [_	District Other	, ,
* P11. Report Citation: (Cite survey repo				Photo of the public right. * P6. Date Co Prehist 1946 Water * P7. Owner a Englehart R 3505 Isla V San Diego C * P8. Recorde City of San 202 C Street, San Diego C. * P9. Date Re * P10. Survey	e primary façace -of-way. nstructed/Age ar oric Historic and Sewer Re and Address: ichard T ista Drive CA 92105 ed by: (Name, aff Diego Plannir MS 4A	de from the nd Sources: Both cords filiation, address) ng Staff 007
			antinuation Cha	oot AD	tuilding Structure	and Object Pagerd
* Attachments:		. —	ontinuation She		Rock Art Record	and Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3505 Isla Vista Drive, APN 476-160-06	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1946 per water and sewer records. Modific composition roof; the replacement of the original 2-over-2 wood frame wood porch post with cement block. The house is in good condition and	cations include the replacement of the composition roof with a new windows with 1-over-1 vinyl frame windows; and the replacement of the
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date* * B8. Related Features:	Original Location:
* B10. Significance: Theme <u>Early auto-oriented small house declared and the second auto-oriented small house declared auto-oriented small house declared auto-oriented small house declared and the second auto-oriented small house declared and the second auto-oriented small house declared and the second auto-oriented small house declared auto-oriented small house declared auto-oriented auto-orien</u>	
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic	
is comprised of working-class homes reflective of the "sma	
San Diego's expansion away from the city core and beyond	•
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first pha	
small house movement of the 1920's and the immense population of the small house movement of the 1920's and the immense population of the small house movement of the 1920's and the immense population of the small house movement of the 1920's and the immense population of the small house movement of the 1920's and the immense population of the small house movement of the 1920's and the immense population of the 1920's and the immense population of the small house movement of	
progressed steadily during the first phase of development b	
Great Depression. The second phase of development (1935	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Mini	•
of Spanish Eclectic homes is also seen during this phase. T	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	hearry built-out with only a few vacant fots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.
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B13. Remarks:	and the second s
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	ISLEVAIR HISTORIC AL DISTRICT

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PRIMARY RECORD					
	Other Listings				
	Review Code				
Page1_ of2_					
* Resource Name or #: 3511 Isla Vista	Drive. APN 476-160-	05			
P1. Other Identifier:					
		_			
b. USGS 7.5' Quad					
c. Address 3511 Isla Vista Driv				Zip <u>921</u>	
d. UTM: (Give more than one for lar e. Other Locational Data: (e.g. pare	-			mE/	mN
APN 476-160-05-00; Islen			elevation, addition	iai OTWS, etc. as app	
1111	un eme, 2100me, 1	2000			
* P3a. Description: (Describe resource a					
The house at 3511 Isla Vista Drive					
tile shed roof along the parapet line					
and a stucco exterior. The entry is entry door is set parallel to the side					ne
windows (formerly 10-lite fixed w		· *			romo
and sash windows. The single-car					
stucco wall with stucco posts and v					
for modifications and analysis of in	•	ntry added at the p	roperty fine. Re	ici to book section b.	,0.
Tor modifications and analysis of in	ntegrity.				

	es and codes) HP2 Sing		□ Element of Biot		
	Structure Object		, 	rict Other (Isolates, etc.) of Photo: (View, date, etc.)	
P5a. Photograph or Drawing (Photogra	aph required for buildings, s	structures, and objects)	·	, , ,	
		7 60	public right-of	rimary façade from the	
		0.00	* P6. Date Const	ructed/Age and Sources:	
		415	Prehistorio		
		0.000			
	- C - war do	200		d Sewer Records	
100 100 100 100			* P7. Owner and	Address:	
	NAME OF THE PARTY	Division in	Weiss Rocio 3511 Isla Vista	Drivo	
			San Diego CA		
		W -4 11 #	San Diego CA	72103	
The state of the s		AT LES	* P8. Recorded b	by: (Name, affiliation, addres	ss)
				ego Planning Staff	
			202 C Street, M		
	100000	200	San Diego CA 9	2101	
	2/3		* P9 Date Recor	ded: 1/17/2007	
The state of the s			* P10. Survey Ty		
	Contract of the last	To the state of	Intensive (Arc		
	-	A STATE OF THE PARTY OF THE PAR			
* P11. Report Citation: (Cite survey repor	t/other sources or "none")				
* Attachments: NONE Locati	on Map Sketch Map	Continuation SI	neet 🕡 Build	ding, Structure, and Object Re	ecord
	cord Linear Feature Re		_	ck Art Record Artifact Re	
Photograph Record Other: (List)					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT R	ECORD
Page 2 of 2	* NRHP Status Code <u>5D1</u>
* Resource Name or #: 3511 Isla Vista Drive, APN 476-160-05	
B1. Historic Name:	
B2. Common Name	
	4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1928 per water and sewer records. Modificat roof; the replacement of the 10-lite fixed wood frame windows with paired openings; the addition of a stucco garden wall; and a contemporary addition house is in good condition and retains a good to fair degree of integrity. * B7. Moved? No Yes Unknown Date O * B8. Related Features:	ions include the replacement of the clay tile roof with a new clay tile 5-lite (10-lite total) casement wood frame windows in the original
B9a. Architect: <u>Unknown</u> b.	Builder: OG Dobbs
	Area San Diego
Period of Significance 1926-1952 Property Type Resi	dential Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond the	he limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure and	nd development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house'	' construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase	of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popula	arity of Spanish Eclectic architecture. Construction
progressed steadily during the first phase of development before	7 1
Great Depression. The second phase of development (1935-1	
Housing Authority (FHA) through the introduction of Minima	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. The	•
continued popularity of the Minimal Traditional style in the v	
end of the third phase of development in 1952, Islenair was n	
B11. Additional Resource Attributes: (List attributes and codes):	carry barre out with only a few vacant foto femaning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	Marita A Visit No Convol
B13. Remarks:	and the second
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	BLEVAIR HISTORIC AL DISTRICT

State of California The Resources Agency			•				
DEPARTMENT OF PARKS AND RECREATION	ı		HR #				
PRIMARY RECORD			Trinomial				
			NRHP Status				
	er Listings	Reviewer					Date
	new oode	Reviewer	-				Jaic
Page <u>1</u> of <u>2</u>	vo ADN 476	151 22					
Resource Name or #: 3518 Isla Vista Dri	ve, APN 470	0-131-33					
P1. Other Identifier:	Unrestricts	ad	a. County <u>Sa</u>	n Diego			
	_	_ Date	-			Sec .	R M
c. Address 3518 Isla Vista Drive							
d. UTM: (Give more than one for large a							
e. Other Locational Data: (e.g. parcel #		,					
APN 476-151-33-00; Islenair	Unit #1, Bloo	ck 1, Lot 31					
P3a. Description: (Describe resource and it	s major element	ts. Include desig	ın, materials, c	condition, alt	terations, size	, setting, a	nd boundaries.)
The house at 3518 Isla Vista Drive wa	ıs built in 194	48 in the Ran	ch style and	l features	a multi-hip	ped roof	with
composition shingles and two projecti	ng bays; a sl	ight eave ove	rhang; and	a stucco e	exterior wit	h asbesto	s shingle and
brick veneer accents. The entry, acces	•	•	•				•
supported by a wood post. The entry of					•		
hung wood frame and sash windows.							
been converted to habitable space. Re-							
•					•	•	•
* P3b. Resource Attributes: (List attributes a	•						
P4. Resources Present: ✓ Building		Object Site		_	of District	_ `	,
P5a. Photograph or Drawing (Photograph i	equired for build	dings, structures	, and objects)		ription of Pho	•	,
					the primar	• ,	
y ₁				public ri	ght-of-way Constructed		Caurage
E.C.						Historic	Both
					ilistoric 🔻] i iistoric	
				1049 W/c	iter and Sev	uor Dooc	and a
					er and Addre		nus
STATE OF THE				_	Family Tru		
	1				a Vista Driv		
				San Dies	go CA 9210)5	
				* P8. Reco	orded by: (N	ame, affilia	tion, address)
					an Diego F	Planning	Staff
			The same of the sa		eet, MS 4A		
ALCOHOL: NA				San Diego	o CA 92101		
				* DO Doto	December	1/17/200	17
					Recorded:		, ,
					rvey Type: (e (Architect		
				11110113170	, i monneo	/	
* P11. Report Citation: (Cite survey report/oth	er sources or "r	none")		-			
	c. sources or T						
* Attachments: NONE Location N	/lap □Sketc	h Map C	ontinuation Sh	eet	✓ Building, S	tructure. ar	nd Object Record
Archaeological Record ✓ District Record	. —	. —	Milling Statio		Rock Art F		Artifact Record
Photograph Record Other: (List)			_				

	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT RE	CORD
· · · · · · · · · · · · · · · · · · ·	NRHP Status Code <u>5D1</u>
* Resource Name or #: 3518 Isla Vista Drive, APN 476-151-33	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential B4.	Present Use: SE Residential
* B5. Architectural Style: Ranch	riesen ose. Sr Residential
· · · · · · · · · · · · · · · · · · ·	
* B6. Construction History: (Construction date, alterations, and date of alterations was constructed in 1946 per water and sewer records. Modification composition roof; and the conversion of the garage to habitable space. The hor	is include the replacement of the composition roof with a new
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrigin * B8. Related Features:	nal Location:
	uilder: <u>Unknown</u>
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historically	
special element of San Diego's historical, social, economic, and	architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small ho	use" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond the	· · · · · · · · · · · · · · · · · · ·
and population propelled the creation of new infrastructure and	•
significant under HRB Criterion C, as it embodies distinctive ch	
Traditional styles of the "small house" and "minimum house" co	
Automobile Suburbs between 1926 and 1952. The first phase of	development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popularit	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	
Housing Authority (FHA) through the introduction of Minimal	
of Spanish Eclectic homes is also seen during this phase. The th	aird phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the wal	ke of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was near	
B11. Additional Resource Attributes: (List attributes and codes):	ny bunt-out with only a few vacant lots femanning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(Okcion map with north allow required)
Refer to District Biologiaphy for References oscu	
	SEES No. Villa Drine
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DISTRICT
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
DEL ARTIMENT OF FARRO AND REGINE	Allon					
PRIMARY RECORD						
	Other Listings			o oode <u>JD 1</u>		
						_Date
Page _1_ of _2_						
* Resource Name or #: 3533 Isla Vist	a Drive, APN 4	76-160-02				
P1. Other Identifier:						
* P2. Location: Not for Publica	ation 🗸 Unrestric	cted	a. County <u>Sa</u>	ın Diego		
c. Address <u>3533 Isla Vista Di</u>						
d. UTM: (Give more than one for I	-				mE/	
e. Other Locational Data: (e.g. pa APN 476-160-02-00; Isla			is to resource,	elevation, add	itional UTMs, etc. a	as app
* P3a. Description: (Describe resource						
The house at 3533 Isla Vista Driv						
with composition shingles; a slig		-				•
via two concrete steps, is set to the	•			* *	•	•
set parallel to the sidewalk. Fene						
attached to the house and is flush	with the main f	açade. Refer	to BSOR Se	ction B.6. for	modifications a	and analysis of
integrity.						
* P3b. Resource Attributes: (List attrib	outes and codes) <u>H</u>	P2 Single fan	nily property			
·	,	Object Si			District Other (I	solates, etc.)
P5a. Photograph or Drawing (Photog	graph required for bu	uildings structure	es and objects)	P5b. Descript	ion of Photo: (View	, date, etc.)
i i i i i i i i i i i i i i i i i i i	grapii roquirou ioi se	January Strategy		Photo of the	e primary façade	e from the
			- F		-of-wav.	
Marie Control	and the same of	1	11	* P6. Date Co	onstructed/Age and	Sources:
	1000			Prehis	toric Historic	Both
	A Marin Marin	A TOP A	. Continue			
	-				and Sewer Rec	ords
				* P7. Owner		
	人。		Act In	Folk Thoma		
		《四篇》		3533 Isla V		
	/			San Diego	CA 92105	
				* D0 D = = = = =		:-t:d- \
	= 1 // a will		100		ed by: (Name, affili Diego Planning	
	- Account		AN TO SEE	202 C Street		Starr
	- Valant	1 (2 lb)	-	San Diego C		
THE PROPERTY OF THE PARTY OF TH			-PEN			
		A TOTAL		* P9. Date Re	ecorded: $1/17/20$	07
A San	The state of the s	STE THE	STATE OF THE PARTY		Type: (Describe)	
A STATE OF THE PARTY OF THE PAR	The state of the s		Land Bar		Architectural)	
			The same			
* P11. Report Citation: (Cite survey rep	ort/other sources or	"none")				
		etch Map	Continuation SI		Building, Structure, a	
☐ Archaeological Record ☑ District R		eature Record	Milling Station	on Record	Rock Art Record	Artifact Record
Photograph Record Other: (List))					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #					
BUILDING, STRUCTURE, AND OBJECT RE						
	* NRHP Status Code 5D1					
* Resource Name or #: 3533 Isla Vista Drive, APN 476-160-02						
B1. Historic Name:						
B2. Common Name						
· · · · · · · · · · · · · · · · · · ·	Present Use: SF Residential					
* B5. Architectural Style: Minimal Traditional	<u>or residential</u>					
* B6. Construction History: (Construction date, alterations, and date of alterations.) The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the replacement of the original garage door with a roll-up aluminum door. The house is in good condition and retains a good to fair degree of integrity.						
* B7. Moved? No Yes Unknown Date Orige * B8. Related Features:	ginal Location:					
	Builder: Cummins Brothers Co					
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>						
Period of Significance 1926-1952 Property Type Resid						
(Discuss importance in terms of historical or architectural context as defined by ther						
The neighborhood of Islenair is historically significant as a his						
special element of San Diego's historical, social, economic, an						
is comprised of working-class homes reflective of the "small h	ouse" movement, marked a new stage in the City of					
San Diego's expansion away from the city core and beyond the	e limits of natural topography as increases in mobility					
and population propelled the creation of new infrastructure and	1 0 1 7					
significant under HRB Criterion C, as it embodies distinctive of	•					
Traditional styles of the "small house" and "minimum house"						
Automobile Suburbs between 1926 and 1952. The first phase of	* '					
small house movement of the 1920's and the immense popular						
progressed steadily during the first phase of development before	re construction came to a halt with the onset of the					
Great Depression. The second phase of development (1935-19	41), reflects the work of the newly formed Federal					
Housing Authority (FHA) through the introduction of Minima	· · · · · · · · · · · · · · · · · · ·					
of Spanish Eclectic homes is also seen during this phase. The t						
continued popularity of the Minimal Traditional style in the wa	•					
* * *	• •					
end of the third phase of development in 1952, Islenair was ne B11. Additional Resource Attributes: (List attributes and codes):	arry built-out with only a few vacant fors femaning.					
* B12. References:	(Sketch map with north arrow required)					
Refer to District Bibliography for References Used	(Sketch map with horth arrow required)					
Refer to District Biolography for References esect						
	900 FELA VISTA DIWICE					
B13. Remarks:	analy.					
* B14. Evaluator: City San Diego Planning Staff						
Date of Evaluation: <u>1/17/2007</u>						
(This space reserved for official comments.)						
	ISLENAIR HISTORIC AL TOSTER T					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
			Trinomial			
PRIMARY RECORD						
	Other Listings Review Code					Date
n 1 2						
Page <u>1</u> of <u>2</u>	Drive ADN 176	151 01				
* Resource Name or #: 3534 Isla Vista	a Diive, APN 4/0-	131-01				
P1. Other Identifier:	tion Unrestricted		- C	n Diago		
* P2. Location: Not for Publica b. USGS 7.5' Quad			-			
c. Address 3534 Isla Vista Dr						
					mE/	
d. UTM: (Give more than one for la e. Other Locational Data: (e.g. pa	-					
APN 476-151-01-00; Isle			to resource,	elevation, addit	ionai o i wis, etc.	as app
* P3a. Description: (Describe resource The multi-family residence at 353 and features a multi-hipped roof vafter tails; and a textured stucco posts. Fenestration consists of sin windows. A 3-foot high chain limit and analysis of integrity.	34 Isla Vista Drive with composition slexterior. The entricagle pane fixed, 4-li	was built in hingles with es are locate ite fixed, an	1952 on a clay tile ried under a r d paired 4-	corner lot in t dges; a slight oof projection lite casement	the Minimal Treave overhang a supported by wood frame an	raditional style g with exposed wrought iron ad sash
* P4. Resources Present: Buildin	utes and codes) <u>HP3</u>	bject Site	District	, _	istrict Other (lon of Photo: (View	,
P5a. Photograph or Drawing (Photog	raph required for buildir	ngs, structures	, and objects)	•	primary façad	•
					primary raçadı of-wav.	
					nstructed/Age and	
1 4				Prehisto		Both
4 4						
				1952 SD Co	unty Building	Record
				* P7. Owner a	nd Address:	
T A 8	4			Attia Janice		
	76			4914 Art Str		
	1 1			San Diego C	A 92115	
	THE PERSON NAMED IN	-	DIE OF			
			E CONTRACTOR OF THE PARTY OF TH		d by: (Name, affil	
					Diego Planning	g Staff
				202 C Street, San Diego CA		
				Ball Diego CF	1 /2101	
				* PO Date Per	orded: 1/17/20	007
					Type: (Describe)	
				Intensive (A		,
	A CONTRACTOR OF THE PARTY OF TH	7/-				
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ne")		-		
(3.1.3) 100		- /				
* Attachments: NONE Loca	ation Map Sketch	Мар ПС	ontinuation SI	neet 🗸 Bi	uilding, Structure.	and Object Record
☐ Archaeological Record ✓ District R	• —	. —	Milling Station		lock Art Record	Artifact Record
Photograph Record Other: (List)			-	_ _		

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page 2 of 2	* NRHP Status Code 5D1
* Resource Name or #: 3534 Isla Vista Drive, APN 476-151-01	
B1. Historic Name:	
B2. Common Name	
	4. Present Use: Multi-Family Residential
* B5. Architectural Style: Minimal Traditional	Harrier A
* B6. Construction History: (Construction date, alterations, and date of a The multi-family residence was constructed in 1952 per the San Diego Coucomposition roof with a new composition roof; the use of textured stucco; and the addition of a chain link fence. The building is in good condition an	inty Building Record. Modifications include the replacement of the che replacement of the original wood posts with wrought iron posts;
* B7. Moved? No Yes Unknown Date O	riginal Location:
	Builder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house developeration</u> Period of Significance 1926-1952 Property Type Resi	Area San Diego
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small"	
San Diego's expansion away from the city core and beyond the	
and population propelled the creation of new infrastructure ar	nd development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house'	'construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase	of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popula	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-19	• •
Housing Authority (FHA) through the introduction of Minima	•
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the v	
end of the third phase of development in 1952, Islenair was no	early built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(Sketch map with north arrow required)
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to Bistilet Bistingraphy for References essed	
	5504 tors trans trives
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: <u>1/17/2007</u>	
(This space reserved for official comments.)	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #			
PRIMARY RECORD						
	Other Listings Review Code					Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3541 Isla Vista	a Drive APN 476.	-160-01				
P1. Other Identifier:	a Diive, Ai iv 470	-100-01				
	tion Unrestricted		a County Sa	n Diego		
b. USGS 7.5' Quad	_		-			
c. Address 3541 Isla Vista Dr						
d. UTM: (Give more than one for la					mE/	
e. Other Locational Data: (e.g. pa	-					
APN 476-160-01-00; Isle			10 10000100,	ororanon, addit	ionar o imo, otor i	ao app
	, , ,	-,				
Fenestration consists of aluminum Refer to BSOR Section B.6. for n				nt iron fence is	s located at the	property line.
* P4. Resources Present: Buildin	utes and codes) <u>HP3</u> g Structure 0	Object Site	District	P5b. Description Photo of the	istrict □ Other (I on of Photo: (View primary façada of-way.	e from the
- 1					structed/Age and	
			-	1951 SD Co	unty Building	Record
			100	* P7. Owner a		100014
Mark.		0	The same	Martinez Ro	bert TR	
Total Control		- 6	100	3509 Menlo		
flucycles		-	4 12	San Diego C	A 92105	
	2 1 2		V300 3			
					d by: (Name, affil	
		DESCRIPTION OF THE PERSON OF T	The same of the same of		Diego Planning	g Staff
The same of the sa	401	I HINE AND ADDRESS OF THE PARTY	all Rail / May	202 C Street,		
	Chiefres checutains			San Diego CA	1 92101	
		-		* DO Doto Boo	orded: 1/17/20	007
					·	
-				Intensive (A	Type : (Describe))
				Interior (1)		
* P11 Papart Citation: (Cita aum:	ort/other courses or "-	ono")	I.	J		
* P11. Report Citation: (Cite survey rep	on/other sources or "N	one)				
* Attachments. DIONE DIST	ation Mon Classes	Mon	ontinuoties O	noot D	ilding Ctureture	and Object Person
* Attachments:	ation Map □Sketch ecord □Linear Feat	. —	ontinuation Sl ∃Milling Statio		uliding, Structure, a Rock Art Record	and Object Record Artifact Record
Photograph Record Other: (List)		uic ivecoin		on ixecoluF	TOOK ALL INECOLU	Attilact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #			
BUILDING, STRUCTURE, AND OBJECT RE				
	NRHP Status Code 5D1			
* Resource Name or #: 3541 Isla Vista Drive, APN 476-160-01 B1. Historic Name:				
B2. Common Name D3. Original Uses Multi-Fermilar Posidential	December Multi Family Decidential			
B3. Original Use: <u>Multi-Family Residential</u> B4. * B5. Architectural Style: Minimal Traditional	Present Use: Multi-Family Residential			
* B6. Construction History: (Construction date, alterations, and date of alterations are the multi-family residence was constructed in 1951 per San Diego County B composition roof with a new composition roof; the use of textured stucco; the paired 4-lite casement wood frame and sash windows with aluminum slider win good to fair condition and retains a fair degree of integrity.	uilding Record. Modifications include the replacement of the e replacement of the original single pane fixed, 4-lite fixed, and			
B9a. Architect: <u>Unknown</u> b. E * B10. Significance: Theme <u>Early auto-oriented small house dev</u> Period of Significance 1926-1952 Property Type Resid (Discuss importance in terms of historical or architectural context as defined by them	ential Applicable Criteria <u>F</u>			
The neighborhood of Islenair is historically significant as a his special element of San Diego's historical, social, economic, an is comprised of working-class homes reflective of the "small he San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive of Traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popular progressed steadily during the first phase of development before Great Depression. The second phase of development (1935-194 Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The trend of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes):	toric district under HRB Criterion A, as an intact and d architectural development. The neighborhood, which ouse" movement, marked a new stage in the City of e limits of natural topography as increases in mobility development to the east. Islenair is also historically haracteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the city of Spanish Eclectic architecture. Construction are construction came to a halt with the onset of the 41), reflects the work of the newly formed Federal. Traditional style architecture. The fading popularity hird phase of development (1945-1952) reflects the aske of the housing shortage following WWII. By the arrly built-out with only a few vacant lots remaining.			
* B12. References:	(Sketch map with north arrow required)			
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff	Side (SA VETA (SOFT)			
Date of Evaluation: $1/17/2007$				
(This space reserved for official comments.)				
	ISLENAIR HISTORIC AL DISTRICT			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD						
TRIMINATE RESULTS	Other Listings					
	Review Code R					
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>4802 Thorn St</u> P1. Other Identifier:	reet, APN 476-151-13					
	ion ✓ Unrestricted					
c. Address 4802 Thorn Street						
d. UTM: (Give more than one for la	rge and/or linear feature)	Zone	·,	mE/	mN	
e. Other Locational Data: (e.g. pa APN 476-152-13-00; Isle					as app	
* P3a. Description: (Describe resource The house at 4802 Thorn Street w with a clay tile shed roof along th tails; clay tile roof vents and drair right of the bay on the Thorn Stre single pane arched wood frame w garage is connected to the house to for modifications and analysis of	as built in 1931 on a core parapet line and a project, and a stucco exterior et elevation. The entry dindows and 2-over-1 door a garden gate and is s	rner lot in the Spa ecting front-gable . The entry, access loor is set parallel uble hung wood fi	nish Eclectic bay; clipped sed via nine co to the sidewa rame and sash	style and feature eaves with exponcrete steps, it lk. Fenestration windows. The	posed rafter is set to the on consists of e two-car	
* P4. Resources Present: ✓ Building P5a. Photograph or Drawing (Photog	utes and codes) <u>HP2 Single</u> g Structure Object raph required for buildings, str	Site District	P5b. Description Photo of the public right-(* P6. Date Con Prehisto	and Sewer Rec	d Sources:	
			Alexander D 4802 Thorn S San Diego C * P8. Recorded City of San I	eborah Street A 92105 I by: (Name, affill Diego Planning		
			202 C Street, I San Diego CA * P9. Date Reco	MS 4A .92101 orded: <u>1/17/20</u> Type: (Describe)	007	
* P11. Report Citation: (Cite survey repo				11 P	1011 17	
	tion Map Sketch Map ecord Linear Feature Rec	☐ Continuation Shord ☐ Milling Station	_	ilding, Structure, a	and Object Record Artifact Record	

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page _2_ of _2_	* NRHP Status Code $5B$
* Resource Name or #: 4802 Thorn Street, APN 476-151-13	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date The house was constructed in 1931 per water and sewer records. Modification roof. The house is in good condition and retains a good degree of integration in the condition of the condition and retains a good degree of integration in the condition and the conditio	cations include the replacement of the clay tile roof with a new clay tile
* B7. Moved? VNo Yes Unknown Date* * B8. Related Features:	_Original Location:
B9a. Architect: Unknown	b. Builder: Dennstedt Construction Company
* B10. Significance: Theme Early auto-oriented small house	
Period of Significance 1926-1952 Property Type R	
(Discuss importance in terms of historical or architectural context as defined b	
The neighborhood of Islenair is historically significant as a	h historic district under HRB Criterion A, as an intact and c, and architectural development. The neighborhood, which all house" movement, marked a new stage in the City of d the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal se" construction types during San Diego's development of ase of development (1927-1931) is reflective of both the ularity of Spanish Eclectic architecture. Construction before construction came to a halt with the onset of the 3-1941), reflects the work of the newly formed Federal simal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the e wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	853 Thistes This?
(This space reserved for official comments.)	
(ISLENAIR HISTORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary #	Primary #			
		HR #	HR #			
PRIMARY RECORD		NRHP Statu	ıs Code <u>5B</u>			
	Other Listings					
	Review Code	Reviewer		Date		
- 1 . 2						
Page 1 of 2	4 ADNI 4776 040 3	1.5				
* Resource Name or #: <u>4827 Thorn St</u>	reet, APN 476-242-	15				
P1. Other Identifier:						
	tion Unrestricted					
b. USGS 7.5' Quad						
c. Address 4827 Thorn Street						
d. UTM: (Give more than one for la	arge and/or linear feature)	Zo	ne,	mE/mN		
e. Other Locational Data: (e.g. pa	rcel #, legal description	, directions to resource	e, elevation, addition	nal UTMs, etc. as app		
APN 476-242-15-00; Isle						
The house at 4827 Thorn Street with a clay tile shed roof along portion elevation; a projecting hexagonal tile roof vents and drains; and a street on the Thorn Street elevation. The on the Isla Vista Drive elevation. hung, and paired 3-lite casement of the street elevation.	ortions of the parape bay on the Isla Vista cucco exterior. The e e entry door is set per Fenestration consist	t line; a projecting for a Drive elevation; clumber, accessed via our perpendicularly to the s of a single pane ar	lat roof bay at the ipped eaves with ne concrete step, sidewalk. A second	e center of the Thorn Street exposed rafter tails; clay is set to the left of the bay ondary entrance is located		
* P4. Resources Present:	utes and codes) HP2 Signary Structure Objectives	ect Site District	✓ Element of Dist	rict Other (Isolates, etc.) of Photo: (View, date, etc.)		
1 da 1 notograph of Drawing (1 notog	Tapir required for building	o, otraotaroo, aria object	*	rimary façade from the		
经验的				-wav.		
			* P6. Date Const	ructed/Age and Sources:		
			Prehistorio	Historic Both		
国际国际中央	-					
The second second			1931 Water an	d Sewer Records		
			* P7. Owner and			
	新	FALT /	Vaccariello M	ary E Trust		
100 March 100 Ma	* * *	The state of	4827 Thorn St	reet		
	2000		San Diego CA			
	- B					
			* P8. Recorded b	by: (Name, affiliation, address)		
				ego Planning Staff		
A STATE OF THE REAL PROPERTY.			202 C Street, M			
		no Para	San Diego CA 9			
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April His			* P9. Date Recor	ded: 1/17/2007		
		6 9	* P10. Survey Ty	pe: (Describe)		
AND DESCRIPTION OF THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS NAMED			Intensive (Arc			
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			<u> </u>			
* P11. Report Citation: (Cite survey repo	ort/other sources or "none	e")				
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* Attachments: NONE Loca	tion Map Sketch M	ap Continuation S	Sheet Build	ling, Structure, and Object Record		
	ecord Linear Feature	· —		k Art Record Artifact Record		
Photograph Record Other: (List)	 -					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #HR #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code $\underline{5B}$
* Resource Name or #: <u>4827 Thorn Street</u> , APN 476-242-15	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date The house was constructed in 1931 per water and sewer records. The house was constructed in 1931 per water and sewer records.	of alterations.) Duse is in very good condition and retains a very good degree of integrity.
* B7. Moved? No Yes Unknown Date* * B8. Related Features:	Original Location:
B9a. Architect: <u>Unknown</u>	h Builder: Unknown
	dev Area San Diego
	esidential Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined b	y theme, period, and geographic scope. Also address integrity.)
is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinct Traditional styles of the "small house" and "minimum hou Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense pop progressed steadily during the first phase of development (1935). Great Depression. The second phase of development (1935). Housing Authority (FHA) through the introduction of Min of Spanish Eclectic homes is also seen during this phase. To continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair wat B11. Additional Resource Attributes: (List attributes and codes):	c, and architectural development. The neighborhood, which all house" movement, marked a new stage in the City of d the limits of natural topography as increases in mobility e and development to the east. Islenair is also historically ive characteristics of Spanish Eclectic and Minimal se" construction types during San Diego's development of ase of development (1927-1931) is reflective of both the rularity of Spanish Eclectic architecture. Construction before construction came to a halt with the onset of the 5-1941), reflects the work of the newly formed Federal imal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the se wake of the housing shortage following WWII. By the se nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
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b. USGS 7.5' Quad	State of California The Resources Age	•	•			
Page of Other Listings	DEPARTMENT OF PARKS AND RECREA	IION				
Page	DDIMADY DECORD					
Page of	PRIMART RECORD	0.1 11.7		Code <u>SD1</u>		
Resource Name or s: "BEN PEARCE 7-27" Sidewalk Stamp					Da	ate
Resource Name or \$: "BEN PEARCE 7-27" Sidewalk Stamp P1. Other Identifier: P2. Location:	Page 1 of 2					
P1. Other Identifier: P2. Location: Not for Publication	_	E 7-27" Sidewalk St	amp			
b. USGS 7.5 Quad						
c. Address	* P2. Location: Not for Publicati	ion Unrestricted	a. County <u>Sa</u>	ın Diego		
d. UTM: (Give more than one for large and/or linear feature) e. Other Locationa Data: (e.g. parcel 8, legal description, directions to resource, elevation, additional UTMs, etc. as app Public Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01; Islenair Unit #1 Block 1, Lot 1). There are two stamps in front of this parcel. This is the western-most stamp. P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) This sidewalk stamp, dated 1927, identifies the name of a the contractor involved in the improvements for Islenair, Ben Pearce. P4a. Resource Attributes: (List attributes and codes) HE39 Other P4. Resources Present: Building Structure JObject District JElement of District Other (Isolates, etc.) P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects) P6b. Description of Photo: (View, date, etc.) Photo of the stamp on the public right-of-way *P6. Date Constructed/Age and Sources: Prehistoric Both	b. USGS 7.5' Quad	Da	ateT; R	; 1/4 of	_1/4 of Sec; _	B.M.
e. Other Locational Data: (e.g., parcel 8, legal description, directions to resource, elevation, additional UTMs, etc. as app Public Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01; Islenair Unit #1 Block 1, Lot 1). There are two stamps in front of this parcel. This is the western-most stamp. P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) This sidewalk stamp, dated 1927, identifies the name of a the contractor involved in the improvements for Islenair, Ben Pearce. P3b. Resource Attributes: (List attributes and codes) HP39 Other P4. Resources Present: Building Structure Object Site District Peliment of District Other (Isolates, etc.) P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects) P6b. Description of Photo: (View, date, etc.) P6b. Description of Photo: (View, date, etc.) Proto of the stamp on the public right-of-Way P6b. Date Constructed/Age and Sources: P7a. Recorded by: (Name, affiliation, address)	c. Address		City <u>San I</u>	Diego		_Zip <u>92105</u>
Pablic Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01; Islenair Unit #1 Block 1, Lot 1). There are two stamps in front of this parcel. This is the western-most stamp. P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) This sidewalk stamp, dated 1927, identifies the name of a the contractor involved in the improvements for Islenair, Ben Pearce. P4. Resource Attributes: (List attributes and codes) HP39 Other P4. Resources Present: Building Structure Poloty P50 P60 P60				•		
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P3b. Resource Attributes: (List attributes and codes) HP39 Other P4. Resource Present: □Building □Structure Poblect □Structures, and objects) P5b. Description of Photo: (View, date, etc.) P5b. Description of Photo: (View, date, etc.) P6b. Description of Photo: (View, date, etc.) P7ento: of the stamp on the public right-of-way P7ento: □P1ento: □P	There are two stamps in fro	ont of this parcel. The	his is the western-mo	st stamp.		
P4. Resources Present:	This sidewalk stamp, dated 1927,					
P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects) P6b. Description of Photo: (View, date, etc.) Photo of the stamp on the public right-of- WaV P6. Date Constructed/Age and Sources: □ Prehistoric □ Historic □ Both 1927 per date of the stamp P7. Owner and Address: City of San Diego *P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 *P9. Date Recorded: 1/17/2007 *P10. Survey Type: (Describe) Intensive (Architectural) *Attachments: □NONE □Location Map □Sketch Map □Continuation Sheet ☑ Building, Structure, and Object Record □Archaeological Record □ Artifact Record □ Milling Station Record □ Rock Art Record □Artifact Record □Artifact Record	•	*				
Photo of the stamp on the public right-of- WaV *P6. Date Constructed/Age and Sources: Prehistoric Prehistoric Both	* P4. Resources Present: Building	Structure ✓ Obj	ect Site District	, _	_ `	. ,
## P8. Date Constructed/Age and Sources: Prehistoric Prehistoric Both	P5a. Photograph or Drawing (Photogr	aph required for building	s, structures, and objects)	·	, ,	• •
* P6. Date Constructed/Age and Sources:			1	Photo of the s	tamp on the pub	olic right-of-
Prehistoric Phistoric Both 1927 per date of the stamp				* P6 Date Cons	tructed/Age and S	Olicos.
* P8. Recorded by: (Name, affiliation, address) City of San Diego * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Milling Station Record Rock Art Record Artifact Record		-				
* P7. Owner and Address: City of San Diego * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Milling Station Record Rock Art Record Artifact Record		_ \ \	N			
* P7. Owner and Address: City of San Diego * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Milling Station Record Rock Art Record Artifact Record			THE RESERVE	1927 per date	of the stamp	
* P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record	Land San	No. of some		* P7. Owner and	d Address:	
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City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record						
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202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record					• \	. ,
* P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural) * P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record						
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* P11. Report Citation: (Cite survey report/other sources or "none") * Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record						
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*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record			A A A			
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State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT	
Page2_ of2_	* NRHP Status Code 5D1
* Resource Name or #: "BEN PEARCE 7-27" Sidewalk Stamp	
B1. Historic Name: B2. Common Name	
B3 Original Use:	B4. Present Use:
* B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date Sidewalk stamp dating to the installation of improvements in Islenair in	
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date * B8. Related Features:	_Original Location:
B9a. Architect: n/a	b. Builder: Ben Pearce
	dev Area San Diego
	idewalk Stamp Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as	
	c, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyon	•
and population propelled the creation of new infrastructure	1 0 1 7
significant under HRB Criterion C, as it embodies distinct	•
	ise" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first ph	
small house movement of the 1920's and the immense pop	
progressed steadily during the first phase of development l	
Great Depression. The second phase of development (193)	
Housing Authority (FHA) through the introduction of Min	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. T	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair wa	
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	SSM and Video Orino
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary #	
PRIMARY RECORD		Trinomial	
	Listings		
Revie	w Code Revie	ewer	Date
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>"BELLE ISLE DRIV</u> P1. Other Identifier:	E" Sidewalk Stamp		
b. USGS 7.5' Quad	Date		of Sec; B.M.
c. Addressd. UTM: (Give more than one for large and			
e. Other Locational Data: (e.g. parcel #, I Public Right-of-Way, located in	egal description, directifront of 3261 Belle Infront of this parcel. major elements. Include descriptions	ons to resource, elevation, additional Usle Drive (APN 476-242-16; Islem This is the southwestern-most states and the southwestern and the southwestern attentions, since the southwestern and the southwestern attentions, since the southwestern attentions at the southwestern attention attention at the southwestern attention attentio	DTMs, etc. as app nair Unit #2 Block 8, ump. ze, setting, and boundaries.)
* P3b. Resource Attributes: (List attributes and * P4. Resources Present: Building S	codes) <u>HP39 Other</u> tructure ✓ Object □:	Site □ District	Other (Isolates, etc.)
P5a. Photograph or Drawing (Photograph red		P5b. Description of P Photo of the stam way	hoto: (View, date, etc.) p on the public right-of- ted/Age and Sources: Historic Both
The second second	C. 25 Comp. 1. 25	1927 per date of i	
VBELLE ISL	E-DR	* P7. Owner and Add City of San Diego	
* P11 Report Citation: (Cita survey report/other	sources or "none")	* P8. Recorded by: City of San Diego 202 C Street, MS 4 San Diego CA 9210 * P9. Date Recorded * P10. Survey Type: Intensive (Archite	A 01 : <u>1/17/2007</u> (Describe)
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* Attachments:	Sketch Map Linear Feature Record		Structure, and Object Record rt Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #			
	HR#			
BUILDING, STRUCTURE, AND OBJECT F				
Page 2 of 2	* NRHP Status Code <u>5D1</u>			
* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp				
B1. Historic Name:				
B2. Common Name				
* B5. Architectural Style: Sidewalk Stamp				
* B6. Construction History: (Construction date, alterations, and date of Sidewalk stamp dating to the installation of improvements in Islenair in 19				
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateC * B8. Related Features:	Original Location:			
B9a. Architect: n/a	b. Builder: W.E. Ash			
* B10. Significance: Theme Early auto-oriented small house de				
Period of Significance 1926-1952 Property Type Sid				
(Discuss importance in terms of historical or architectural context as defined by the	neme, period, and geographic scope. Also address integrity.)			
The neighborhood of Islenair is historically significant as a h				
special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which				
is comprised of working-class homes reflective of the "small	•			
San Diego's expansion away from the city core and beyond	1 0 1 7			
and population propelled the creation of new infrastructure a				
significant under HRB Criterion C, as it embodies distinctive				
Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase				
small house movement of the 1920's and the immense popul				
progressed steadily during the first phase of development be	· ·			
Great Depression. The second phase of development (1935–				
Housing Authority (FHA) through the introduction of Minin	· · · · · · · · · · · · · · · · · · ·			
of Spanish Eclectic homes is also seen during this phase. The	•			
continued popularity of the Minimal Traditional style in the				
end of the third phase of development in 1952, Islenair was i	•			
B11. Additional Resource Attributes: (List attributes and codes):	, , ,			
* B12. References:	(Sketch map with north arrow required)			
Refer to District Bibliography for References Used				
B13. Remarks:	and 5			
	1305 Sales to Differen			
* B14. Evaluator: City San Diego Planning Staff				
Date of Evaluation: 1/17/2007				
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATIO		Primary #	
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PRIMARY RECORD		NRHP Status Code <u>5D1</u>	
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Re	eview Code Review	wer	Date
Page1 of2			
	" Sidewalk Stamp		
P1. Other Identifier: * P2. Location: Not for Publication	t I Investriated	a County San Diago	
b. USGS 7.5' Quad	Date	a. County <u>San Diego</u> T; R; 1/4 of1/4 of Sec	: B.M.
c. Address	Date	; K; n4 of dec	Zip 92105
d. UTM: (Give more than one for large		Zone,mE/	
Public Right-of-Way, located Lot 1). There are three stamps	in front of 3261 Belle Is in front of this parcel.	ons to resource, elevation, additional UTMs, etc sle Drive (APN 476-242-16; Islenair Unit This is the center stamp. esign, materials, condition, alterations, size, setting	t #2 Block 8,
		ntractor involved in the improvements for	
* P4. Resources Present: Building	required for buildings, structur	5-1 5 1 1 (5) . 01	public right-of- nd Sources:
		* P8. Recorded by: (Name, af City of San Diego Plannin 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2 * P10. Survey Type: (Describ Intensive (Architectural)	ng Staff
* P11. Report Citation: (Cite survey report/or	·		
* Attachments: NONE Location Archaeological Record ✓ District Record Photograph Record Other: (List)		Continuation Sheet ☐ Milling Station Record ☐ Rock Art Record	, and Object Record Artifact Record

State of California The Resources Agency	Primary #		
DEPARTMENT OF PARKS AND RECREATION	HR #		
BUILDING, STRUCTURE, AND OBJECT	RECORD		
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $5D1$		
* Resource Name or #: <u>"WE ASH 7 1926" Sidewalk Stamp</u>			
B1. Historic Name:			
B2. Common Name			
B3. Original Use:* * B5. Architectural Style: Sidewalk Stamp	B4. Present Use:		
* B6. Construction History: (Construction date, alterations, and date of	of alterations)		
Sidewalk stamp dating to the installation of improvements in Islenair in			
* B7. Moved? No Yes Unknown Date* * B8. Related Features:	Original Location:		
	b. Builder: W.E. Ash		
* B10. Significance: Theme <u>Early auto-oriented small house d</u>			
	dewalk Stamp Applicable Criteria F		
(Discuss importance in terms of historical or architectural context as defined by The neighborhood of Islenair is historically significant as a			
special element of San Diego's historical, social, economic.			
is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of			
San Diego's expansion away from the city core and beyond	•		
and population propelled the creation of new infrastructure			
significant under HRB Criterion C, as it embodies distinctive	ve characteristics of Spanish Eclectic and Minimal		
Traditional styles of the "small house" and "minimum hous	e" construction types during San Diego's development of		
Automobile Suburbs between 1926 and 1952. The first pha	*		
small house movement of the 1920's and the immense popu			
progressed steadily during the first phase of development be			
Great Depression. The second phase of development (1935-			
Housing Authority (FHA) through the introduction of Mini- of Spanish Eclectic homes is also seen during this phase. The			
continued popularity of the Minimal Traditional style in the			
end of the third phase of development in 1952, Islenair was			
B11. Additional Resource Attributes: (List attributes and codes):	nearly bank out with only a rew vacant lots remaining.		
* B12. References:	(Sketch map with north arrow required)		
Refer to District Bibliography for References Used			
B13. Remarks:	Control of the contro		
	100 Daily to Drive		
* B14. Evaluator: City San Diego Planning Staff			
Date of Evaluation: 1/17/2007			
(This space reserved for official comments.)			
	ISLENAIR HISTORIC AL DISTRICT		
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State of California The Resources Age	•	•			
DEPARTMENT OF PARKS AND RECREA	ATION				
PRIMARY RECORD					
I KIMAKI KECCKE	Other Listings		s Code <u>JD1</u>		
		Reviewer		Date	
Page _ 1_ of _ 2_					
* Resource Name or #: "THORN ST"	Sidewalk Stamp				
P1. Other Identifier:					
* P2. Location: Not for Publica	tion Unrestricted	a. County <u>S</u>	an Diego		
b. USGS 7.5' Quad					
c. Address					
d. UTM: (Give more than one for la		•	•	mE/	mN
e. Other Locational Data: (e.g. pa					0
Public Right-of-Way, loca					8,
Lot 1). There are three sta	mps in front of this	parcel. This is the ea	stern-most stan	np.	
* P3a. Description: (Describe resource	and its major elements.	Include design, materials,	condition, alteration	ons, size, setting, and boundari	ies.)
This sidewalk stamp, dating from		_		_	
1, 5				,	
* P3b. Resource Attributes: (List attributes)	utes and codes) HP39	Other			
*	•		A Flores and of Di	-4	
		bject Site District	¬ T	strict Other (Isolates, etc.)	(
P5a. Photograph or Drawing (Photog	raph required for buildin	gs, structures, and objects		n of Photo: (View, date, etc.)	
			Photo of the	stamp on the public right	t-of-
一人,一人们从时间的	P 不		wav		
2 She WE 30 BUR 1			* P6. Date Con	structed/Age and Sources:	
	MET NORTH	2~ 主机作 以如何	Prehisto	ric Historic Both	
沙 公文是一个同时的。	12 7.42				
TO A LOUIS EX	上海		1927 per date	e of improvements	
公司的公司的			* P7. Owner an		
大学是 人及以外的企业之	全国人们		City of San D	Diego	
2000年					
	The second second	AL ATTERNATION OF THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS NAMED IN COLUMN			
		Company of the			
TILOF	111	OT	* P8 Recorded	by: (Name, affiliation, addres	ss)
				Diego Planning Staff	,5,
		U	202 C Street, N		
	111	12 C	San Diego CA		
	THE PARTY OF THE P		* P9. Date Reco	orded: <u>1/17/2007</u>	
Control of the second		THE RESERVE	* P10. Survey 1	Type: (Describe)	
	The second second	The lower hard the	Intensive (Ár		
SEA OF THE	A STATE OF THE STA	ALCOHOLDS (19EXXIVIA	3		
* P11. Report Citation: (Cite survey report	ort/other sources or "no	ne")			
	ation Map Sketch	. —		ilding, Structure, and Object R	
Archaeological Record District R		re Record Milling Stat	ion Record	ock Art Record Artifact R	ecord
☐ Photograph Record ☐ Other: (List)					

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: <u>"THORN ST" Sidewalk Stamp</u>	
B1. Historic Name:	
B2. Common Name	Dancert Han
B3. Original Use: E * B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date of	alterations)
Sidewalk stamp dating to the installation of improvements in Islenair in 19	
* B7. Moved? V No Yes Unknown Date	Original Location:
* B8. Related Features:	mightal Location.
Totalou Foundation	
B9a. Architect: n/a	b. Builder: W.E. Ash
* B10. Significance: Theme Early auto-oriented small house de	
Period of Significance 1926-1952 Property Type Sid	
(Discuss importance in terms of historical or architectural context as defined by the	neme, period, and geographic scope. Also address integrity.)
The neighborhood of Islenair is historically significant as a h	nistoric district under HRB Criterion A, as an intact and
special element of San Diego's historical, social, economic,	and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond	•
and population propelled the creation of new infrastructure a	1 0 1 7
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development be	· ·
Great Depression. The second phase of development (1935–	
Housing Authority (FHA) through the introduction of Minin	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. The	•
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was i	•
B11. Additional Resource Attributes: (List attributes and codes):	learry built-out with only a few vacant fots femaning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	200.0
	2 1284 Datin Into Great
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
, ,	DEBLY AXXVI
	ISLENAIS HISTORIC AL DISTRICT

Page	
Page of Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp P1. Other Identifier: P2. Location: Not for Publication Unrestricted	
Page	
Page 1 of 2 Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp P1. Other Identifier: P2. Location: □Not for Publication □Unrestricted a. County San Diego b. USGS 7.5 Quad □Date T ; R ; 1/4 of 1/4 of Sec ; □City San Diego Zip 9210 d. UTM: (Give more than one for large and/or linear feature) Zone □, □ME/ e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33; Islenair Unit #1 Block 1, Lot 3 P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Driven in the installation of improvements, identifies the name of the street, Belle Isle Driven in the installation of improvements. Include the street is the name of the street, Belle Isle Driven in the installation of improvements, identifies the name of the street, Belle Isle Driven in the installation of improvements is identified the name of the street, Belle Isle Driven in the installation of improvements identifies the name of the street, Belle Isle Driven in the installation of improvements identifies the name of the street, Belle Isle Driven in the installation of improvements identifies the name of the street, Belle Isle Driven in the installation in	
Page	
P1. Other Identifier: P2. Location: Not for Publication Unrestricted a. County San Diego b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; c. Address City San Diego Zip 921(d. UTM: (Give more than one for large and/or linear feature) Zone,met/ e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33; Islenair Unit #1 Block 1, Lot 3 P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Driver.	
P1. Other Identifier: P2. Location:	
P2. Location: Not for Publication Vunrestricted a. County San Diego b. USGS 7.5' Quad Date T; R; 1/4 of 1/4 of Sec; c. Address City San Diego Zip 9216 d. UTM: (Give more than one for large and/or linear feature) e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33; Islenair Unit #1 Block 1, Lot 3 P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries this sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Dries.	
b. USGS 7.5' Quad	
c. Address	
d. UTM: (Give more than one for large and/or linear feature) e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33; Islenair Unit #1 Block 1, Lot 3 P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Driven Island (Driven Carlot).	B.M.
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33; Islenair Unit #1 Block 1, Lot 3 P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Driven Driven)5
Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33; Islenair Unit #1 Block 1, Lot 3 P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundarie This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Driver and the street of the stree	_mN
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Dri	1).
P3b. Resource Attributes: (List attributes and codes) HP39 Other	
P3b. Resource Attributes: (List attributes and codes) HP39 Other	
P4. Resources Present: Building Structure Object Site District District Other (Isolates, etc.)	
P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects) P5b. Description of Photo: (View, date, etc.)	
Photo of the stamp on the public right-	of-
Way	<u>OI</u>
* P6. Date Constructed/Age and Sources: ☐ Prehistoric ☑ Historic ☐ Both	
1927 per date of improvements	
* P7. Owner and Address:	
City of San Diego	
* P8. Recorded by: (Name, affiliation, address	;)
City of San Diego Planning Staff 202 C Street, MS 4A	
San Diego CA 92101	
THE REPORT OF THE PARTY OF THE	
* P9. Date Recorded: 1/17/2007	
* P10. Survey Type: (Describe)	
Intensive (Architectural)	
P11. Report Citation: (Cite survey report/other sources or "none")	
Attachments: NONE Location Map Sketch Map Continuation Sheet ✓ Building, Structure, and Object Re	
Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Re ☐ Photograph Record ☐ Other: (List)	

State of California The Resources Agency	Primary #			
DEPARTMENT OF PARKS AND RECREATION	HR #			
BUILDING, STRUCTURE, AND OBJECT RE	CORD			
Page <u>2</u> of <u>2</u>	NRHP Status Code 5D1			
* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp				
B1. Historic Name:				
B2. Common Name				
B3. Original Use:B4.	Present Use:			
* B5. Architectural Style: <u>Sidewalk Stamp</u> * B6. Construction History: (Construction date, alterations, and date of alter	vections \			
Sidewalk stamp dating to the installation of improvements in Islenair in 1926.				
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrigi * B8. Related Features:	nal Location:			
B9a. Architect: <u>n</u> /ab. B	uilder: W.E. Ash			
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area <u>San Diego</u>			
Period of Significance 1926-1952 Property Type Sidew				
(Discuss importance in terms of historical or architectural context as defined by them				
The neighborhood of Islenair is historically significant as a hist				
special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of				
San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility				
and population propelled the creation of new infrastructure and development to the east. Islenair is also historically				
significant under HRB Criterion C, as it embodies distinctive cl				
Traditional styles of the "small house" and "minimum house" c				
Automobile Suburbs between 1926 and 1952. The first phase o				
small house movement of the 1920's and the immense populari	ty of Spanish Eclectic architecture. Construction			
progressed steadily during the first phase of development before				
Great Depression. The second phase of development (1935-194	•			
Housing Authority (FHA) through the introduction of Minimal	•			
of Spanish Eclectic homes is also seen during this phase. The th				
continued popularity of the Minimal Traditional style in the wa	•			
end of the third phase of development in 1952, Islenair was nea B11. Additional Resource Attributes: (List attributes and codes):	rly built-out with only a few vacant lots remaining.			
* B12. References:	(Sketch map with north arrow required)			
Refer to District Bibliography for References Used				
	STEEL MAN VALLETING			
B13. Remarks:				
* B14. Evaluator: City San Diego Planning Staff				
Date of Evaluation: 1/17/2007				
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State of California The Resources Agen	•					
DEPARTMENT OF PARKS AND RECREAT	TION					
PRIMARY RECORD						
	Other Listings		NKIIF Status	Code <u>3D1</u>		
	Review Code		r			Date
Page _1_ of _2_						
* Resource Name or #: "WE ASH 7 26	" Sidewalk Stamp)				
P1. Other Identifier:	S100 Wall Stallip					
	on U nrestricted					
b. USGS 7.5' Quad						
c. Address						
d. UTM: (Give more than one for lar	-	•			mE/	
e. Other Locational Data: (e.g. pare Public Right-of-Way, locate 15).There are three stamps	ed in front of 482	7 Thorn Str	eet (APN 4	76-242-15; Is		
* P3a. Description : (Describe resource at This sidewalk stamp, dated 1926, i Ash.						
P4. Resources Present: Building	es and codes) <u>HP39</u> Structure • oph required for building	bject Site		P5b. Description Photo of the	pistrict ☐ Other on of Photo: (Vie stamp on the	•
				* P6. Date Cor	nstructed/Age ar oric	
WF	AS	H		* P7. Owner at City of San I)
7	26	3		City of San I 202 C Street, San Diego CA * P9. Date Rec	A 92101 corded: 1/17/2 Type: (Describe	ng Staff 007
* P11. Report Citation: (Cite survey repor	t/other sources or "no	ne")		Intensive (A	iciniecturar)	
* Attachments:	. —		Continuation Sh		uilding, Structure, Rock Art Record	and Object Record Artifact Record

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: "WE ASH 7 26" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use:
* B5. Architectural Style: Sidewalk Stamp * B6. Construction History: (Construction date, alterations, and date of	of alterations)
Sidewalk stamp dating to the installation of improvements in Islenair in	
* B7. Moved? No Yes Unknown Date * B8. Related Features:	Original Location:
	b. Builder: W.E. Ash
* B10. Significance: Theme <u>Early auto-oriented small house of</u>	dewalk Stamp Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic	, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sma	ll house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond	1 0 1 0
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house"	
Automobile Suburbs between 1926 and 1952. The first pha	
small house movement of the 1920's and the immense popular progressed steadily during the first phase of development b	
Great Depression. The second phase of development (1935)	
Housing Authority (FHA) through the introduction of Mini	
of Spanish Eclectic homes is also seen during this phase. T	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	COLUMN CO
	Silver and Theorem
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
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State of California The Resources Agency		F	Primary #			
DEPARTMENT OF PARKS AND RECREATION			HR #			
PRIMARY RECORD			TrinomialNRHP Status Code 5D1			
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	Other Listings Review Code	Reviewer			_Date	
Page1 of2						
* Resource Name or #: "THORN ST" S	Sidewalk Stamp					
P1. Other Identifier:						
	on Unrestricted		a. County <u>San Diego</u>			
b. USGS 7.5' Quad						
c. Address						
d. UTM: (Give more than one for lar	•	•		mE/_		
e. Other Locational Data: (e.g. pare Public Right-of-Way, locate 15). There are three stamps	ed in front of 4827	Thorn Stre	eet (APN 476-242-1	5; Islenair Unit #2	• •	
13). There are three stamps	in front of this part	cci. 11115 15	the western-most st	amp.		
* P4. Resources Present: Building	es and codes) HP39 Structure Ob aph required for building	ject Site	and objects) P5b. Des Photo of wav * P6. Dat	nt of District Other of Company of Photo: (View of the stamp on the pre-part of the part of t	w, date, etc.) public right-of- d Sources:	
			1007	41 1 4 6:		
			* P7. Ow	r the date of improner and Address:	vement	
The state of the same of the s			City of S	San Diego		
	4-					
THOR	N:	SI	<u>City of S</u> 202 C St	corded by: (Name, aff San Diego Plannin reet, MS 4A go CA 92101		
			* P10. Sเ	e Recorded: 1/17/20 urvey Type: (Describe e (Architectural)		
* P11. Report Citation: (Cite survey repor	t/other sources or "none	e")				
* Attachments: NONE Locati ☐ Archaeological Record ✓ District Rec ☐ Photograph Record ☐ Other: (List)	. —		ontinuation Sheet Milling Station Record		and Object Record Artifact Record	

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $5D1$
* Resource Name or #: "THORN ST" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
B3. Original Use:* * B5. Architectural Style: Sidewalk Stamp	B4. Present Use:
* B6. Construction History: (Construction date, alterations, and date of	of alterations.)
Sidewalk stamp dating to the installation of improvements in Islenair in	
* B7. Moved? No Yes Unknown Date* * B8. Related Features:	Original Location:
	b. Builder: <u>W.E. Ash</u>
* B10. Significance: Theme <u>Early auto-oriented small house d</u>	
(Discuss importance in terms of historical or architectural context as defined by	dewalk Stamp Applicable Criteria F
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smale	ll house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distinctiv	
Traditional styles of the "small house" and "minimum hous Automobile Suburbs between 1926 and 1952. The first pha	**
small house movement of the 1920's and the immense popular	*
progressed steadily during the first phase of development be	
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Housing Authority (FHA) through the introduction of Minis	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes): * B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(1)
B13. Remarks:	
	BOOM ATTEN
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $1/17/2007$	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DISTRICT
	Total summer a term under.

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD		•	Primary #				
		HR #	HR #				
		NRHP Sta	itus Code <u>5D1</u>				
	Other Listings Review Code	Reviewer		Date	e		
Page _ 1_ of _ 2_							
* Resource Name or #: "BELLE ISLE	DRIVE" Sidewal	k Stamp					
P1. Other Identifier:							
	ion V Unrestricted	a. County	San Diego				
b. USGS 7.5' Quad	_	-			В.М.		
c. Address		City Sa	ın Diego		Zip <u>92105</u>		
d. UTM: (Give more than one for la				mE/			
e. Other Locational Data: (e.g. pai Public Right-of-Way, loca Lot 7 and Unit #2 Block 4. stamn * P3a. Description: (Describe resource a This sidewalk stamp, dating from	ted in front of 330, Lot 2). There are and its major elements	A Belle Isle Drive (A three stamps in from Include design, materia	APN 476-151-19; at of this parcel. The standard	Islenair Unit #1 Finis is the northeatins, size, setting, and the	Block 1, stern-most		
•		Object Site Distri	P5b. Description Photo of the s	strict □ Other (Isolat n of Photo: (View, dat stamp on the publ structed/Age and So	e, etc.) ic right-of-		
			Prehistor 1927 per date * P7. Owner an City of San D	e of improvements	Both		
			City of Buil E	nego			
			The state of the s				
BELLE	SLE	DRIVE	* P8. Recorded City of San D 202 C Street, N San Diego CA				
				orded: 1/17/2007 Type: (Describe) chitectural)			
* P11. Report Citation: (Cite survey repo	rt/other sources or "no	one")					
* Attachments:	tion Map ☐ Sketch cord ☐ Linear Featt			ilding, Structure, and Cock Art Record A	Object Record rtifact Record		

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #				
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BUILDING, STRUCTURE, AND OBJECT R					
Page 2 of 2	* NRHP Status Code $5D1$				
* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp					
B1. Historic Name: B2. Common Name					
B3. Original Use:B					
* B5. Architectural Style: Sidewalk Stamp					
* B6. Construction History: (Construction date, alterations, and date of a Sidewalk stamp dating to the installation of improvements in Islenair in 19					
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateO * B8. Related Features:	riginal Location:				
B9a. Architect: n/a b.	Builder: W.E. Ash				
* B10. Significance: Theme Early auto-oriented small house dev					
Period of Significance 1926-1952 Property Type Side					
(Discuss importance in terms of historical or architectural context as defined by th					
The neighborhood of Islenair is historically significant as a h					
special element of San Diego's historical, social, economic, a					
is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond t	•				
and population propelled the creation of new infrastructure at	1 0 1 1				
significant under HRB Criterion C, as it embodies distinctive					
Traditional styles of the "small house" and "minimum house'					
Automobile Suburbs between 1926 and 1952. The first phase					
small house movement of the 1920's and the immense popular					
progressed steadily during the first phase of development bef	* *				
Great Depression. The second phase of development (1935-1					
Housing Authority (FHA) through the introduction of Minim	al Traditional style architecture. The fading popularity				
of Spanish Eclectic homes is also seen during this phase. The	third phase of development (1945-1952) reflects the				
continued popularity of the Minimal Traditional style in the	vake of the housing shortage following WWII. By the				
end of the third phase of development in 1952, Islenair was n	early built-out with only a few vacant lots remaining.				
B11. Additional Resource Attributes: (List attributes and codes):	(0)				
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)				
Refer to District Bioliography for References osed					
B13. Remarks:					
	200 Bulle bid Dates				
* B14. Evaluator: City San Diego Planning Staff					
Date of Evaluation: <u>1/17/2007</u>					
(This space reserved for official comments.)					
	DELEVAIR HISTORIC AL DISTRICT				
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
PRIMARY RECORD			Trinomial			
TRIMIART REGORD	Other Lietings			s Code <u>JD1</u>		
	· ·					Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: <u>"BELLE ISLI</u>	E DRIVE" Sidev	walk Stamp				
P1. Other Identifier:						
	ation 🗸 Unrestri	cted	a. County <u>Sa</u>	an Diego		
b. USGS 7.5' Quad						B.M.
c. Address						
d. UTM: (Give more than one for					mE/	
e. Other Locational Data: (e.g. p	arcel #, legal desci	ription, direction	ons to resource,	elevation, addit	ional UTMs, etc. as	арр
Public Right-of-Way, loc	ated in front of	4802 Thorn 3	Street (APN 4	176-152-13; Is	lenair Unit #1 B	lock 2, Lot
13 and Unit #2 Block 15	5, Lot 1). There	are three star	mps in front o	of this parcel.	This is the north	western-most
stamn			:			
* P3a. Description: (Describe resource This sidewalk stamp, dating from						
* P3b. Resource Attributes: (List attrib	outes and codes) H	P39 Other				
•		✓ Object	Site District	✓ Flement of D	istrict Other (Iso	olates, etc.)
	<u> </u>	_ , _		7	on of Photo: (View,	
P5a. Photograph or Drawing (Photograph	graph required for bi	uliaings, structu	res, and objects)	'	stamp on the pu	,
	目 少多美元	"阿拉拉"	A SHEET		stamp on the pu	ione fight-of-
企业		40	187	* P6 Date Cor	nstructed/Age and	Sources:
and policy of the second		ALC: NO	开展 大型	Prehisto	•	Both
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		图7 77/3金		1007		
A STATE OF THE PARTY OF THE PAR	ALC: NO.		1		e of improvemen	nts
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		EFFIF	1	City of San	Diego	
AND THE STATE OF T	AND THE SHAPE	AND THE REST	1			
元素。Great Linux 10.00000000000000000000000000000000000	MER TON		The state of			
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学的人,还是这个人,也是这种的。 第一个人,是是是一个人,也是是一个人,他们就是一个人,他们就是一个人,他们就是一个人,他们就是一个人,他们就是一个人,他们就是一个人,他们就是一个人,他们就是一	Sales Sales				d by: (Name, affilia	
用于在企业的国际不同的证明	370多年1830				Diego Planning S	Staff
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				San Diego CA	A 92101	
有性的原因是自己的			ter State		1/17/200	7
STATE OF THE STATE	100 to	The state of the s	+ 1		corded: $\frac{1/17/200}{1}$	1
	- 74	The Second	10.00		Type: (Describe)	
	- 200		1	Intensive (A	renitectural)	
	- 0	7 14 15 318	The state of the s			
* P11. Report Citation: (Cite survey rep	oort/other sources or	r "none")				
			_			
	. —	etch Map	Continuation S		uilding, Structure, an	
Archaeological Record District F		eature Record	Milling Stati	on Record F	Rock Art Record	Artifact Record
Photograph Record Other: (List)					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
	HR#
BUILDING, STRUCTURE, AND OBJECT R	
Page 2 of 2	* NRHP Status Code $\underline{5D1}$
* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp	
B1. Historic Name:	
B2. Common NameB3. Original Use:B6	
* B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date of a Sidewalk stamp dating to the installation of improvements in Islenair in 19	alterations.)
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateO * B8. Related Features:	riginal Location:
B9a. Architect: n/a b.	Builder: W.E. Ash
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type Side	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small	•
San Diego's expansion away from the city core and beyond the	1 0 1 1
and population propelled the creation of new infrastructure as significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house'	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development bef	* *
Great Depression. The second phase of development (1935-1	
Housing Authority (FHA) through the introduction of Minim	•
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the v	
end of the third phase of development in 1952, Islenair was n	• • • • • •
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	MICE TAKEN STAFF
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	ISLEXABLE HISTORIC AL DISTERIC T

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #				
			HR # Trinomial				
PRIMARY RECORD				D1			
Other Listings							
	Review Code	Reviewer			Date		
Page <u>1</u> of <u>2</u>							
* Resource Name or #: "WE ASH 7 192	26" Sidewalk Stam	p					
P1. Other Identifier:			- a b.				
* P2. Location: Not for Publication	on ✓ Unrestricted	a. (County San Dieg	0			
b. USGS 7.5' Quad c. Address	Da	ateı	; K; C:w San Diego	1/4 of1/4 of Sec	_; B.M.		
d. UTM: (Give more than one for large				mE/			
e. Other Locational Data: (e.g. pare	-						
Public Right-of-Way, locate							
13 and Unit #2 Block 15, 1							
* P3a. Description: (Describe resource at This sidewalk stamp, dated 1926, i Ash.							
	es and codes) <u>HP39 (</u> ☐ Structure ✓ Obj			nent of District	•		
P5a. Photograph or Drawing (Photogra	aph required for building	s, structures, ar	iu objects)	escription of Photo: (Vie	,		
	San Colorest	-	Photo	of the stamp on the	public right-of-		
			* P6. [Date Constructed/Age a Prehistoric ✓ Histori			
the same of the same of	125		1926	per date of the stam	p		
1111 - 101	01	.00	* P7. C	Owner and Address:			
W-E-ASI	7. 2	192	City o	of San Diego			
	4		* B0 . 5	Na a mala al les (NI a mara a 1	777 - C		
	40 150-15	- 1- 5		Recorded by: (Name, af of San Diego Plannii			
THE REST OF THE REST OF		PALL.	202 C	Street, MS 4A	ing Stuff		
		- E	San Di	iego CA 92101			
		The last	+ Po . F	No. 4 - 1/17/	2007		
			* P10.	Date Recorded: 1/17/2 Survey Type: (Describ sive (Architectural)			
* P44 Papart Citation (Citation	t/othor oours == == "" = = =	\"\					
* P11. Report Citation: (Cite survey repor	votner sources or "none	ŧ)					
* Attachments: NONE Locati ☐ Archaeological Record ☑ District Rec ☐ Photograph Record ☐ Other: (List)	on Map Sketch Moord Linear Feature		tinuation Sheet Milling Station Recor	✓ Building, Structure d Rock Art Record	e, and Object Record Artifact Record		

State of California The Resources Agency	Primary #				
DEPARTMENT OF PARKS AND RECREATION HR #					
BUILDING, STRUCTURE, AND OBJECT					
Page 2 of 2	* NRHP Status Code $5D1$				
* Resource Name or #: "WE ASH 7 1926" Sidewalk Stamp					
B1. Historic Name:					
B2. Common Name					
* B5. Architectural Style: Sidewalk Stamp	<u></u>				
* B6. Construction History: (Construction date, alterations, and date Sidewalk stamp dating to the installation of improvements in Islenair in	of alterations.)				
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date * B8. Related Features:	_Original Location:				
DOS Auditorium/o	L. Duilden W.E. Ach				
* B10. Significance: Theme <u>Early auto-oriented small house</u>	_b. Builder: W.E. Ash				
	idewalk Stamp Applicable Criteria F				
(Discuss importance in terms of historical or architectural context as defined b					
The neighborhood of Islenair is historically significant as a	historic district under HRB Criterion A, as an intact and				
	e, and architectural development. The neighborhood, which				
is comprised of working-class homes reflective of the "sma	•				
San Diego's expansion away from the city core and beyond	1 0 1 1				
and population propelled the creation of new infrastructure					
significant under HRB Criterion C, as it embodies distincti					
Traditional styles of the "small house" and "minimum hou					
Automobile Suburbs between 1926 and 1952. The first pha	*				
small house movement of the 1920's and the immense pop					
progressed steadily during the first phase of development be Great Depression. The second phase of development (1935)					
Housing Authority (FHA) through the introduction of Min	· · · · · · · · · · · · · · · · · · ·				
of Spanish Eclectic homes is also seen during this phase. T	•				
continued popularity of the Minimal Traditional style in th					
end of the third phase of development in 1952, Islenair was					
B11. Additional Resource Attributes: (List attributes and codes):	s hearly built out with only a lew vacant lots remaining.				
* B12. References:	(Sketch map with north arrow required)				
Refer to District Bibliography for References Used					
B13. Remarks:					
	MICHAEL TELEVISION STATE				
* B14. Evaluator: City San Diego Planning Staff					
Date of Evaluation: 1/17/2007					
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			•				
DEL ARTIMENT OF FARRO AND REGREA			HR # Trinomial				
PRIMARY RECORD		NRHP Status Code 5D1					
	Other Listings						
	Review Code	Reviewer_)ate	
Page _ 1_ of _ 2_							
* Resource Name or #: "WE ASH 7 19	26" Sidewalk Star	np					
P1. Other Identifier:							
	ion Unrestricted		•				
b. USGS 7.5' Quad c. Address							
d. UTM: (Give more than one for la					mE/	-	
e. Other Locational Data: (e.g. pa							
Public Right-of-Way, loca	ted in front of 330	6 Isla Vista (A	APN 476-1:	52-14; Islena	ir Unit #1 Bloc	ck 2, Lot 14	
and Islenair Unit #2 Block	5, Lot 2). There are	e three stamp	s in front o	f this parcel.	This is the cent	er stamp.	
* P3a. Description: (Describe resource a This sidewalk stamp, dated 1926, Ash.							
* P4. Resources Present: Building		bject Site		_	strict ☐ Other (Iso		
P5a. Photograph or Drawing (Photograph	aph required for buildin	igs, structures, a	ind objects)	•	stamp on the pu	,	
			,	vav	structed/Age and s	C	
	and the same				of the stamp		
Activities to the second		_		P7. Owner and			
	750 0000		_	City of San D	nego		
WEASH	1 7	165					
			*		orded: 1/17/200 ype: (Describe) chitectural)	7	
* P11. Report Citation: (Cite survey repo	rt/other sources or "no	ne")					
	tion Map Sketch	. —	ntinuation She Milling Station		Iding, Structure, an	d Object Record Artifact Record	

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #				
BUILDING, STRUCTURE, AND OBJECT RECORD					
Page 2 of 2	* NRHP Status Code <u>5D1</u>				
* Resource Name or #: "WE ASH 7 1926" Sidewalk Stamp					
B1. Historic Name:					
B3. Original Use:					
* B5. Architectural Style: Sidewalk Stamp					
* B6. Construction History: (Construction date, alterations, and date Sidewalk stamp dating to the installation of improvements in Islenair in					
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date * B8. Related Features:	_Original Location:				
B9a. Architect: n/a	b. Builder: W.E. Ash				
* B10. Significance: Theme <u>Early auto-oriented small house</u>					
	idewalk Stamp Applicable Criteria F				
(Discuss importance in terms of historical or architectural context as defined b	y theme, period, and geographic scope. Also address integrity.)				
The neighborhood of Islenair is historically significant as a					
	e, and architectural development. The neighborhood, which				
is comprised of working-class homes reflective of the "sma					
San Diego's expansion away from the city core and beyon					
and population propelled the creation of new infrastructure					
significant under HRB Criterion C, as it embodies distinct					
Automobile Suburbs between 1926 and 1952. The first pha	se" construction types during San Diego's development of				
small house movement of the 1920's and the immense pop	* '				
progressed steadily during the first phase of development by					
Great Depression. The second phase of development (1935)					
Housing Authority (FHA) through the introduction of Min	· · · · · · · · · · · · · · · · · · ·				
of Spanish Eclectic homes is also seen during this phase. T					
continued popularity of the Minimal Traditional style in th					
end of the third phase of development in 1952, Islenair wa					
B11. Additional Resource Attributes: (List attributes and codes):	, , , , , , , , , , , , , , , , , , ,				
* B12. References:	(Sketch map with north arrow required)				
Refer to District Bibliography for References Used					
B13. Remarks:					
	1 1000 GLA W371 RRWE				
* B14. Evaluator: City San Diego Planning Staff					
Date of Evaluation: 1/17/2007					
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		•	Primary #			
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PRIMARY RECORD			NRHP Status Code 5D1			
	Other Listings					
	Review Code	Reviewer		Date		
Page _ 1_ of _ 2_						
* Resource Name or #: <u>"ISLA VISTA</u>	DRIVE" Sidewall	x Stamp				
P1. Other Identifier:						
		·	•			
				1/4 of Sec;B.M.		
				Zip <u>92105</u>		
d. UTM: (Give more than one for la e. Other Locational Data: (e.g. pa	•	•	•	mE/mN		
, -				air Unit #1 Block 3, Lot 1).		
There are three stamps in				an ome #1 Block 3, 2001).		
•	•		•			
* P3a. Description: (Describe resource						
This sidewalk stamp, dating from	the installation of	improvements, idea	ntifies the name o	f the street, Isla Vista Drive.		
* P3b. Resource Attributes: (List attribu	ites and codes) HP39	Other				
·		Object Site Distr	rict Flement of Di	istrict Other (Isolates, etc.)		
		,	DEL Deserte (in	n of Photo: (View, date, etc.)		
P5a. Photograph or Drawing (Photog	raph required for buildi	ngs, structures, and obje		, , ,		
The state of the s				stamp on the public right-of-		
			* P6 Date Con	structed/Age and Sources:		
	2 82 1 7 7		Prehisto			
the state of the s			Prenisto	ric ✓ Historic Both		
			1007 1	<u> </u>		
	-		* P7. Owner ar	e of improvements		
101 1 10			City of San I			
1.SI A 1/1.S	SIA	17/1/10	City of Sail I	Diego		
SIOLA VIC		JIIIV L.				
Barrier Committee Committe		The state of the s	1759			
100mm	Service Bridge	Challe Date	* DO Doordoo	J har (Name offiliation address)		
				d by: (Name, affiliation, address) Diego Planning Staff		
			202 C Street.			
			San Diego CA			
	图表 1		Buil Biego er	. / 2101		
			* P9. Date Rec	orded: 1/17/2007		
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And the second	STATE OF THE PARTY	The Court of the C				
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* P11. Report Citation: (Cite survey repo	ort/other sources or "no	ne")				
		,				
* Attachments: NONE Loca	tion Map Sketch	Map Continuation	on Sheet ✓ Bu	uilding, Structure, and Object Record		
☐ Archaeological Record		re Record Milling S	Station Record R	ock Art Record Artifact Record		
☐ Photograph Record ☐ Other: (List)						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
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BUILDING, STRUCTURE, AND OBJECT	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code <u>5D1</u>
	mp
B2. Common Name	B4. Present Use:
* B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date Sidewalk stamp dating to the installation of improvements in Islenair in	
* B7. Moved? No Yes Unknown Date	Original Location:
	b. Builder: W.E. Ash
	e dev Area San Diego
(Discuss importance in terms of historical or architectural context as defined	Sidewalk Stamp Applicable Criteria F
	s a historic district under HRB Criterion A, as an intact and
	nic, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sn	
	nd the limits of natural topography as increases in mobility
	re and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinc	
	buse" construction types during San Diego's development of hase of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense po	
progressed steadily during the first phase of development	
Great Depression. The second phase of development (193	
1 1	inimal Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase.	•
	the wake of the housing shortage following WWII. By the
	as nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(0) (1) (1) (1)
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
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	Solve GLA WEIGA CONFE
	E septiment of the sept
B13. Remarks:	
DIS. Nemans.	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #			
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PRIMARY RECORD			NRHP Status Co	ode <u>5D1</u>		
	Other Listings Review Code	Davianna				Dete
	Review Code	Reviewer	·			_Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: <u>"BEN PEARC</u>	E 7-27" Sidewalk S	tamp				
P1. Other Identifier:						
	ion Unrestricted		a. County <u>San</u>	Diego		
b. USGS 7.5' Quad						
c. Address						
d. UTM: (Give more than one for la	•	•				
e. Other Locational Data: (e.g. pa						
Public Right-of-Way, loca					CIIII #1 DI	OCK 3, LOI 1).
There are three stamps in	front of this parcel.	I nis is the	western-most	t stamp.		
* P3a. Description: (Describe resource at This sidewalk stamp, dated 1927, Ben Pearce.		-			-	
* P4. Resources Present: Building	ites and codes) HP39 □ Structure ② Obtained for building	oject Site	, and objects) P	/av P6. Date Const	of Photo: (View amp on the proced/Age and	oublic right-of-
/ 5	- 10			Prehistorio	: Historic	Both
			1	927 per date	of the stamp	
THE THE PARTY OF T			*	P7. Owner and	Address:	
			<u>C</u>	<u>City of San Di</u>	ego	
TE F	ITI	UL				
				P8. Recorded I		
				City of San Di		g Staff
				02 C Street, M an Diego CA 9		
	1		<u> </u>	an Diego err	2101	
/-			*	P9. Date Recor	ded: 1/17/20	007
			*	P10. Survey Tyntensive (Arc	pe: (Describe	
* P11. Report Citation: (Cite survey repo	ort/other sources or "non	e")				
	5	. ,				
* Attachments: □NONE □Loca □Archaeological Record ✔ District Re □Photograph Record □ Other: (List)			ontinuation Shee Milling Station I		ding, Structure, ck Art Record	and Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page 2 of 2	* NRHP Status Code 5D1
* Resource Name or #: "BEN PEARCE 7-27" Sidewalk Stamp	
-	
B1. Historic Name:	
B2. Common Name	P4 Propert Upo:
* B5. Architectural Style: Sidewalk Stamp	B4. Present Use:
* B6. Construction History: (Construction date, alterations, and date	of alternations \
Sidewalk stamp dating to the installation of improvements in Islenair in	
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date * B8. Related Features:	_Original Location:
B9a. Architect: n/a	_b. Builder: Ben Pearce
	dev Area San Diego
	idewalk Stamp Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
•	e, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "smale	
	•
San Diego's expansion away from the city core and beyon	1 0 1 1
and population propelled the creation of new infrastructure	*
significant under HRB Criterion C, as it embodies distinct	
Traditional styles of the "small house" and "minimum hou	se" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first pha	ase of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense pop	
progressed steadily during the first phase of development by	
Great Depression. The second phase of development (1935)	
* *	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Min	
of Spanish Eclectic homes is also seen during this phase. T	
continued popularity of the Minimal Traditional style in th	
end of the third phase of development in 1952, Islenair wa	s nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	MAP (SLA VEIX DONE)
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	ISLENAIR HISTORIC AL DISTRIC T
	19316 APRINT & 1811 APRINT.

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PRIMARY RECORD						
	Other Listings					
			ver			Date
Page _1_ of _2_						
* Resource Name or #: "W.E. ASH 6	26" Sidewalk St	amp				
P1. Other Identifier:						
	ation 🗸 Unrestric		•			
b. USGS 7.5' Quad						
c. Address						
d. UTM: (Give more than one for	•	,			mE/_	
e. Other Locational Data: (e.g. p Public Right-of-Way, loc						
There are three stamps in					ichan Omt#1 Di	lock 3, Lot 1).
There are three stamps in	from or this part	cei. Tilis is t	ne center star	np.		
* P3a. Description : (Describe resource This sidewalk stamp, dated 1926 Ash.	•		-		_	
* P4. Resources Present: Buildin	outes and codes) <u>HF</u> ng Structure • graph required for bu	∠ Object			of District Other (,
- HOVE THE SECTION TO BE SECTION TO SECTION	1. 100% 对心理		Man last		the stamp on the	public right-of-
100 新蒙古安 200 C 100 C 10				wav		
() / post	4	~ .			Constructed/Age an	
	// (
	4				date of the stamp)
Y Y				_	er and Address:	
				City of Sa	an Diego	
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				* P8. Reco	rded by: (Name, affi	iliation, address)
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ALCOHOLD TO THE REAL PROPERTY.			-		eet, MS 4A	
	-	North .		San Diego	CA 92101	
				* P9. Date	Recorded: 1/17/20	007
					vey Type: (Describe	
BANK THE SHARE		/			(Architectural)	
	THE STATE OF THE SECOND	1	SE SE			
* P44 Parant Citation (Cit		""\				
* P11. Report Citation: (Cite survey rep	oort/other sources or	"none")				
* Attachments: NONE Loc	ation Map Ske	tch Map	Continuation S	heet -	✓ Building, Structure,	and Object Record
	Record Linear Fe	. –	Milling Stati		Rock Art Record	Artifact Record
☐ Photograph Record ☐ Other: (List)					

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT RI	ECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>5D1</u>
* Resource Name or #: "W.E. ASH 6 26" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
	Present Use:
* B5. Architectural Style: <u>Sidewalk Stamp</u> * B6. Construction History: (Construction date, alterations, and date of al	torations)
Sidewalk stamp dating to the installation of improvements in Islenair in 192	,
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOri * B8. Related Features:	ginal Location:
B9a. Architect: n/a b.	Builder: W.E. Ash
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Sides	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a his special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small h	
San Diego's expansion away from the city core and beyond th	•
and population propelled the creation of new infrastructure an	1 0 1 1
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house"	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popular	•
progressed steadily during the first phase of development before	re construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-19	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Minima	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was ne	arly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):* * B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
	THAN COLUMNIC PROPER
B13. Remarks:	
DIS. Remarks.	(a)
* PAA Frakutas City Con Diogo Diamain a Chaff	
* B14. Evaluator: <u>City San Diego Planning Staff</u> Date of Evaluation: <u>1/17/2007</u>	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			•			
DEFARIMENT OF PARKS AND RECREA	IION					
PRIMARY RECORD			· · · · · · · · · · · · · · · · · · ·			
I KIMAKI KEGOKE	Other Listings			S Code JD1		
	_					Date
Page 1 of 2			-			
Page <u>l</u> of <u>2</u> * Resource Name or #: <u>"ISLA VISTA</u>]	DR" Sidewalk	Stamp				
P1. Other Identifier:	DIC BIGGWAIK	Stamp				
* P2. Location: Not for Publicati	on 🗸 Unrestric	ted	a. County Sa	n Diego		
b. USGS 7.5' Quad						B.M.
c. Address						
d. UTM: (Give more than one for lar					mE/	
e. Other Locational Data: (e.g. par	cel #, legal descr	iption, direction				
Public Right-of-Way, locat	ed in front of 3	306 Isla Vist	ta (APN 476-	-152-14); Islen	air Unit #1 Blo	ck 2, Lot 14
and Islenair Unit #2 Block	5, Lot 2). There	e are three sta	amps in front	of this parcel.	This is the nort	heastern-
most stamn						
* P3a. Description: (Describe resource a This sidewalk stamp, dating from the						
* P3b. Resource Attributes: (List attribut	es and codes) <u>Hl</u>	P39 Other				
* P4. Resources Present: Building	Structure	✓ Object Si	te District	_	strict Other (Iso	,
P5a. Photograph or Drawing (Photogra	aph required for bu	ıildings, structure	es, and objects)	P5b. Description	n of Photo: (View, o	date, etc.)
Marie Company of the Company of the		- Ser 99		Photo of the	stamp on the pu	blic right-of-
图像·空门设置。MEZ		A 100		wav		
经	4				structed/Age and s	
The second of th			操作/道	Prehistor	ric Historic	Both
	SELECTION OF THE PERSON OF THE		1700000	1007 1 4	· ·	
THE THE PARTY OF T	CHAIN STATE	Y V		* P7. Owner an	of improvement	nts
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	The state of the s		-		Diego Planning S	Staff
		- Inches	-	202 C Street, N San Diego CA	MS 4A	
AND THE RESERVE TO SERVE THE PARTY OF THE PA	SUA UTT	40.00	200	San Diego CA	92101	
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The second second			¥		ype: (Describe)	,
				Intensive (Ar		
The second secon	v		THE STATE OF THE S			
* P11. Report Citation: (Cite survey report	t/other sources or	"none")				
* Attachments: NONE Locat	ion Man 🗆 Clar	etch Map	Continuation S	heet D.	ilding Structure on	d Object Pagard
Archaeological Record District Re	. —	eature Record	Milling Stati		ilding, Structure, an ock Art Record	Artifact Record
Photograph Record Other: (List)		Jakaro Rooola	iviiiiiig Otati	orcooluIK	JON / III NOOOIU	_, a and or Nocord

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $5D1$
* Resource Name or #: "ISLA VISTA DR" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
* B5. Architectural Style: Sidewalk Stamp	<u></u>
* B6. Construction History: (Construction date, alterations, and date Sidewalk stamp dating to the installation of improvements in Islenair in	of alterations.)
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features:	_Original Location:
B9a. Architect: n/a	_b. Builder: W.E. Ash
* B10. Significance: Theme Early auto-oriented small house of	
Period of Significance 1926-1952 Property Type Significance	idewalk Stamp Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
	e, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sma	•
San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure	1 0 1 1
significant under HRB Criterion C, as it embodies distincti	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first pha	
small house movement of the 1920's and the immense pop	
progressed steadily during the first phase of development b	• •
Great Depression. The second phase of development (1935)	
Housing Authority (FHA) through the introduction of Min	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. T	•
continued popularity of the Minimal Traditional style in th	e wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was	s nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Keter to District Bioliography for References Osca	
B13. Remarks:	and the second s
	1900 GLA WSTN BRING
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: <u>1/17/2007</u>	
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	INLEVAIR HISTORIC AL DISTRICT
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD		Primary	Primary # HR # Trinomial				
		HR #					
PRIMARY RECORD		NRHP S	tatus Code <u>5D1</u>				
	Other Listings						
	Review Code	Reviewer		Date			
Page <u>1</u> of <u>2</u>							
* Resource Name or #: <u>"WE ASH 5-</u>	26" Sidewalk Stamp						
P1. Other Identifier:							
* P2. Location: Not for Public	ation Unrestricted	a. Coun	ty <u>San Diego</u>				
b. USGS 7.5' Quad		oateT;	R; 1/4 of _	1/4 of Sec; B.M.			
c. Address		City S	San Diego	Zip <u>92105</u>			
d. UTM: (Give more than one for	large and/or linear feature	e)	Zone,	mE/mN			
e. Other Locational Data: (e.g. p Public Right-of-Way, loc				onal UTMs, etc. as app air Unit #1 Block 2, Lot 1).			
* P3a. Description: (Describe resource This sidewalk stamp, dated 1926 Ash.							
* P4. Resources Present: Buildi	outes and codes) <u>HP39</u> ng □ Structure ☑ Ob graph required for building	ject Site Dis	ects) P5b. Descriptio	strict Other (Isolates, etc.) n of Photo: (View, date, etc.) stamp on the public right-of-			
I W E	AOI		wav * P6. Date Con ☐ Prehisto 1926 per date * P7. Owner ar	structed/Age and Sources: ric Historic Both e of the stamp nd Address:			
5	A31		City of San I 202 C Street, I San Diego CA * P9. Date Rec * P10. Survey	h by: (Name, affiliation, address) Diego Planning Staff MS 4A . 92101 orded: 1/17/2007 Type: (Describe)			
	ation Map Sketch N	fap ☐ Continuati		ilding, Structure, and Object Record			
☐ Archaeological Record☐ Photograph Record☐ Other: (List		e Record	Station Record R	ock Art Record Artifact Record			

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT	
Page 2 of 2	* NRHP Status Code $5D1$
* Resource Name or #: "WE ASH 5-26" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	DA Describber
B3. Original Use: * B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date of	of alterations)
Sidewalk stamp dating to the installation of improvements in Islenair in	
* B7. Moved? ✓ No Yes Unknown Date	Original Location:
* B8. Related Features:	
	b. Builder: W.E. Ash
* B10. Significance: Theme Early auto-oriented small house of	
	dewalk Stamp Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic	
is comprised of working-class homes reflective of the "sma	•
San Diego's expansion away from the city core and beyond	1 0 1 1
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distincti	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first pha	
small house movement of the 1920's and the immense population	• •
progressed steadily during the first phase of development b	
Great Depression. The second phase of development (1935)	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Mini	•
of Spanish Eclectic homes is also seen during this phase. T	
continued popularity of the Minimal Traditional style in the	•
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(0) 11 31 4 1 1
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Bibliography for References Osed	
B13. Remarks:	PATE GLA WITH DOVE
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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State of California The Resources Agency			Primary #				
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PRIMARY RECORD			NRHP Status	Code <u>5D1</u>			
	Other Listings Review Code		•			Date	
Page <u>1</u> of <u>2</u>							
* Resource Name or #: <u>"THORNE ST"</u>	Sidewalk Stamp						
P1. Other Identifier:							
	on U nrestricted			n Diego			
b. USGS 7.5' Quad							
c. Address							
d. UTM: (Give more than one for lar	-	•				mN	
e. Other Locational Data: (e.g. pare Public Right-of-Way, located 13 and Unit #2 Block 15,	ed in front of 4802	2 Thorn Str	eet (APN 4	76-152-13); Is	slenair Unit #1	Block 2, Lot	
* P3a. Description : (Describe resource a This sidewalk stamp, dating from t							
* P4. Resources Present: Building	es and codes) <u>HP39</u> Structure • Otal	oject Site		P5b. Description Photo of the way	istrict Other (I in of Photo: (View stamp on the p	, date, etc.)	
	· 🗽	4.		Prehisto 	e of improvem	Both	
INHOR	ME			City of San I			
			计	City of San I 202 C Street, San Diego CA		Staff	
					Type: (Describe)		
* P11. Report Citation: (Cite survey repor	t/other sources or "nor	ne")					
* Attachments: NONE Locati Archaeological Record District Record Photograph Record Other: (List)	. —		ontinuation Sh		uilding, Structure, a ock Art Record	and Object Record Artifact Record	

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT R	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code <u>5D1</u>
* Resource Name or #: "THORNE ST" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	Possest Uses
B3. Original Use: B4 * B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date of all	Iterations)
Sidewalk stamp dating to the installation of improvements in Islenair in 192	
* B7. Moved? • No Yes Unknown DateOri	iginal Location:
* B8. Related Features:	
B9a. Architect: $\underline{n/a}$ b.	Builder: W.E. Ash
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	
Period of Significance 1926-1952 Property Type Sides	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a his	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small h	•
San Diego's expansion away from the city core and beyond the	e limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure an	
significant under HRB Criterion C, as it embodies distinctive	characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house"	construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase	of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popula	rity of Spanish Eclectic architecture. Construction
progressed steadily during the first phase of development before	• •
Great Depression. The second phase of development (1935-19	941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minima	d Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was ne	•
B11. Additional Resource Attributes: (List attributes and codes):	, ,
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	400.0
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* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			•			
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PRIMARY RECORD						
TRIMART REGORD	Other Listings		NKHP Status			
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Page _ 1_ of _ 2_						
* Resource Name or #: <u>"THORN ST</u>	' Sidewalk Stamr)				
P1. Other Identifier:						
* P2. Location: Not for Publication	ation 🗸 Unrestrict	ted	a. County <u>Sa</u>	ın Diego		
b. USGS 7.5' Quad		Date	T; R	; 1/4 of _	1/4 of Sec;	B.M.
c. Address			City San 1	Diego		Zip <u>92105</u>
d. UTM: (Give more than one for	large and/or linear fea	ature)	Zon	e,	mE/	mN
e. Other Locational Data: (e.g. p Public Right-of-Way, loc Lot 7 and Unit #2 Block stamp * P3a. Description: (Describe resource	ated in front of 3 4, Lot 2). There a	304 Belle I are three sta	sle Drive (AP) amps in front o	N 476-151-19 of this parcel.); Islenair Unit ‡ This is the weste	#1 Block 1, ern-most
•	<u> </u>	Object :		P5b. Description Photo of the way	istrict Other (Ison of Photo: (View, stamp on the pu	date, etc.)
				Prehisto	e of improveme	☐ Both
IHOF	RN.	S		City of San I	Diego	
	30					
					corded: 1/17/200 Type: (Describe) rchitectural)	7
* P11. Report Citation: (Cite survey rep	oort/other sources or	"none")				
		,				
* Attachments:	Record Linear Fe	tch Map [ature Record	Continuation SI		uilding, Structure, ar tock Art Record	nd Object Record Artifact Record

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT R	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code <u>5D1</u>
* Resource Name or #: "THORN ST" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	Posses (Use
B3. Original Use: B4 * B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date of a	Iterations)
Sidewalk stamp dating to the installation of improvements in Islenair in 192	
* B7. Moved? • No Yes Unknown DateOr	iginal Location:
* B8. Related Features:	
B9a. Architect: <u>n/a</u> b.	Builder: W.E. Ash
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type Side	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hi	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small l	•
San Diego's expansion away from the city core and beyond the	le limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure an	
significant under HRB Criterion C, as it embodies distinctive	characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house"	construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase	of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popula	rity of Spanish Eclectic architecture. Construction
progressed steadily during the first phase of development before	ore construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-19	941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minima	al Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the w	
end of the third phase of development in 1952, Islenair was no	•
B11. Additional Resource Attributes: (List attributes and codes):	, , , , , , , , , , , , , , , , , , , ,
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	400.5
	2000 Belle list Date.
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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DEPARTMENT OF PARKS AND RECREATION		HR #		
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PRIMARY RECORD		Trinomial NRHP Status Code 5D1		
TRIMINATE RESORD	Other Listings	NRMF Status Code 3D1		
		iewer_		
Page _ 1_ of _ 2_				
* Resource Name or #: "BELLE ISLE	DRIVE" Sidewalk Stamp	1		
P1. Other Identifier:				
* P2. Location: Not for Publica	tion Unrestricted	a. County <u>San Diego</u>		
		T; R; 1/4 of1/4 of		
c. Address		City San Diego		
d. UTM: (Give more than one for la	,	Zone,		
		tions to resource, elevation, additional UT		
· ·		Isle Drive (APN 476-241-15); Islenael. This is the southeastern-most stan		
Lot 10). There are timee si	amps in front of this parce	1. This is the southeastern-most stan	ıp.	
		design, materials, condition, alterations, size		
This sidewark stamp, dating from	the histanation of improve	ements, identifies the name of the st	eet, bene isie Diive.	
* P3b. Resource Attributes: (List attributes)	utes and codes) HP39 Other			
•		Site District Flement of District	Other (Isolates, etc.)	
		DEL D : (: (D)	_ ,	
P5a. Photograph or Drawing (Photog	raph required for buildings, struc	taros, and objects)	on the public right-of-	
A Section of the sect		•	on the public right-or-	
		* P6. Date Constructed	/Age and Sources:	
		Prehistoric		
		Frenstone	HISTORIC DOTT	
	10 mm	1027		
		1927 per date of im	orovements	
	The same of the sa	City of San Diego	SS:	
	-17	City of Sail Diego		
		No.		
		* P8. Recorded by: (Na	ame affiliation address)	
BELLE	SIFFIR	City of San Diego P		
	OLL DI	202 C Street, MS 4A	ramming Starr	
		San Diego CA 92101		
		* P9. Date Recorded:	1/17/2007	
		* P10. Survey Type: (
		Intensive (Architect	ural)	
		- 1974 Sept.		
* P11. Report Citation: (Cite survey report	ort/other sources or "none")			
* Attachments: NONE Loca	ation Map Sketch Map	Continuation Sheet ✓ Building, St	ructure, and Object Record	
Archaeological Record District R	. — .			
Photograph Record Other: (List)				

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT R	ECORD
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code <u>5D1</u>
* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
B3. Original Use:B * B5. Architectural Style: Sidewalk Stamp	4. Present Use:
* B6. Construction History: (Construction date, alterations, and date of	alterations)
Sidewalk stamp dating to the installation of improvements in Islenair in 19	
* B7. Moved? No Yes Unknown DateC * B8. Related Features:	riginal Location:
	Builder: W.E. Ash
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance 1926-1952 Property Type Side	
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a h	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond t	•
and population propelled the creation of new infrastructure a	1 0 1 0
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development bef	
Great Depression. The second phase of development (1935-1	· · ·
Housing Authority (FHA) through the introduction of Minim	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was r. B11. Additional Resource Attributes: (List attributes and codes):	early built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	100
	3343 State Web Drive
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
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	INLEXABLE HISTORIC AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		•	Primary #HR #		
DEPARTMENT OF PARKS AND RECK	EATION				
PRIMARY RECORD					
	Other Listings		140 0040 000		
	Review Code	Reviewer		Date	
Page _ 1_ of _ 2_					
Resource Name or #: <u>"WE ASH 7</u>	-1926" Sidewalk Star	np			
P1. Other Identifier:					
b. USGS 7.5' Quad				1/4 of Sec; B.M. zip <u>92105</u>	
d. UTM: (Give more than one fo				zip <u>92103</u> mE/mN	
e. Other Locational Data: (e.g.	•				
· •				Islenair Unit #2 Block 7,	
Lot 16). There are three	stamps in front of the	is parcel. This is the	center stamp.		
De Distriction (Describe recovery)		Tarabada da Sara arakada	la casa de la calcada		
* P3a. Description: (Describe resource This sidewalk stamp, dated 192					
Ash.	o, identifies the ham	or a contractor my	orved in the impro	overnents for Islenan, w.E.	
Asii.					
t DOL. Danasana Attailantan (liint attai	Shorten and and an UD20	Othor			
•	ibutes and codes) <u>HP39</u>		ot Domont of Dic	strict Other (Isolates, etc.)	
		bject Site Distric	DEL Description	of Photo: (View, date, etc.)	
P5a. Photograph or Drawing (Phot	ograph required for buildin	igs, structures, and object			
	Alt I	111		tamp on the public right-of-	
		1111	* P6. Date Cons	structed/Age and Sources:	
	STATE OF STATE OF	111	Prehistori		
		111			
	A TOTAL STREET		1926 per date	of the stamp	
(2000 Miles)	(1912) A		* P7. Owner and	d Address:	
	SECTION 1	1	City of San D	iego	
	College College		<u> </u>		
	WASTER BOOK	-	-		
		THE REAL PROPERTY.	A		
W-E-ASH	1 7	1000		by: (Name, affiliation, address)	
11- E_H 3		-1250		iego Planning Staff	
			202 C Street, M San Diego CA		
			Buil Diego Cri)2101	
		The state of the s	* P9. Date Reco	orded: 1/17/2007	
THE RESERVE OF THE PARTY OF THE		THE RESERVE OF THE PERSON OF T	* P10. Survey T		
AL DE ALERSON CONTRACTOR	· 1000		Intensive (Arc		
	ALCOHOLD STREET				
			=1		
P11. Report Citation: (Cite survey re	eport/other sources or "no	ne")			
	ocation Map Sketch	. —		Iding, Structure, and Object Record	
Archaeological Record District		re Record Milling St	tation Record Ro	ck Art Record Artifact Record	
Photograph Record Other: (Lis	st)				

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT	HR#
Page2_ of2_	* NRHP Status Code <u>5D1</u>
* Resource Name or #: "WE ASH 7-1926" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
* B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date Sidewalk stamp dating to the installation of improvements in Islenair in	e of alterations.)
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features:	Original Location:
DOs Architectum/o	_b. Builder: W.E. Ash
	dev Area San Diego
	Sidewalk Stamp Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined l	
The neighborhood of Islenair is historically significant as	a historic district under HRB Criterion A, as an intact and
special element of San Diego's historical, social, economi	c, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sm	all house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyon	nd the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructur	e and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinct	
	use" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first ph	
small house movement of the 1920's and the immense pop	
progressed steadily during the first phase of development	
Great Depression. The second phase of development (193	
Housing Authority (FHA) through the introduction of Mir	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase.	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair wa	•
B11. Additional Resource Attributes: (List attributes and codes):	is nearly built out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	(anal)
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR RESTORIC AL DISTERS T

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		•		
DEPARTMENT OF PARKS AND RECREA	IION			
PRIMARY RECORD			Code <u>5D1</u>	
TRIMINATE RESORD	Other Listings		Code <u>JD1</u>	
				Date
Page _ 1_ of _ 2_				
* Resource Name or #: "THORN ST" S	Sidewalk Stamp			
P1. Other Identifier:				
* P2. Location: Not for Publicati	on Unrestricted	a. County <u>Sa</u>	n Diego	
b. USGS 7.5' Quad				
c. Address				
d. UTM: (Give more than one for lar	_		•	mE/mN
e. Other Locational Data: (e.g. par				
Public Right-of-Way, locat		· · · · · · · · · · · · · · · · · · ·	· ·	iir Unit #2 Block /,
Lot 16). There are three sta	imps in front of this p	arcei. This is the w	estern-most stamp.	
* P3a. Description: (Describe resource a	ind its major elements. Inc	clude design, materials,	condition, alterations, size,	, setting, and boundaries.)
This sidewalk stamp, dating from	the installation of imp	provements, identifi	es the name of the str	reet, Thorn Street.
-				
·	tes and codes) <u>HP39 Ot</u>			
* P4. Resources Present: Building	☐ Structure ✓ Object	t Site District	✓ Element of District	_
P5a. Photograph or Drawing (Photograph	aph required for buildings,	structures, and objects)	P5b. Description of Phot	to: (View, date, etc.)
and the same of th	THE PARTY OF THE P		Photo of the stamp of	on the public right-of-
	· · · · · · · · · · · · · · · · · · ·		wav	
400000000000000000000000000000000000000			* P6. Date Constructed	-
			☐ Prehistoric ✔	Historic Both
The second second				
A COLUMN TO		Charles In the Control	1927 per date of imp	
ACM CONTRACTOR			* P7. Owner and Addre City of San Diego	·SS:
A DECIMAL PROPERTY.	115 11		City of San Diego	
	A Contract of the Contract of	Traff.		
THE PARTY OF THE P	A SECTION			
	W 81		* P8. Recorded by: (Na	ame affiliation address)
			City of San Diego P	
300 Miles 200 Mi			202 C Street, MS 4A	
			San Diego CA 92101	
	The state of the s	TO SALE		1/17/2007
	A TOTAL OF THE PARTY OF THE PAR	No. 10 Sales	* P9. Date Recorded:	
		一	* P10. Survey Type: (Intensive (Architect	
			Intensive (Architect	uiai)
* P11. Report Citation: (Cite survey repo	rt/other sources or "none")		J	
	is a more sources or more			
* Attachments: NONE Locat	ion Map Sketch Map	Continuation Sh	neet Building. St	tructure, and Object Record
☐ Archaeological Record ✓ District Re				
Photograph Record Other: (List)				

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR#
BUILDING, STRUCTURE, AND OBJECT R	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $5D1$
* Resource Name or #: "THORN ST" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	A. December
B3. Original Use: B5. Architectural Style: Sidewalk Stamp	
* B6. Construction History: (Construction date, alterations, and date of a	alterations \
Sidewalk stamp dating to the installation of improvements in Islenair in 19	
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateO * B8. Related Features:	riginal Location:
B9a. Architect: n/a b.	Builder: W.E. Ash
* B10. Significance: Theme <u>Early auto-oriented small house device</u>	
Period of Significance 1926-1952 Property Type Side	
(Discuss importance in terms of historical or architectural context as defined by th	
The neighborhood of Islenair is historically significant as a h	istoric district under HRB Criterion A, as an intact and
special element of San Diego's historical, social, economic, a	and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small	house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond the	he limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure as	nd development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house'	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popula	
progressed steadily during the first phase of development bef	* *
Great Depression. The second phase of development (1935-1	
Housing Authority (FHA) through the introduction of Minim	•
of Spanish Eclectic homes is also seen during this phase. The	• • • • • • • • • • • • • • • • • • • •
continued popularity of the Minimal Traditional style in the v	
end of the third phase of development in 1952, Islenair was n	•
B11. Additional Resource Attributes: (List attributes and codes):	, ,
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
D42 Demostra	
B13. Remarks:	and the second s
	200 Suite No. Drive
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: <u>1/17/2007</u>	
(This space reserved for official comments.)	
	INLENAIR HINTONICAL DISTRICT
	regist community of the profile.

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #		
PRIMARY RECORD					
	Other Listings	Reviewer			Date
Parra 1 of 2					
Page <u>1</u> of <u>2</u> * Resource Name or #: "BEN PEARO	CE 7-27" Sidewalk Sta	ımn			
P1. Other Identifier:	SE / E/ Side walk Ste				
	tion Unrestricted				
b. USGS 7.5' Quad	Da	te; R	; 1/4 of _	1/4 of Sec	; B.M.
c. Address					
 d. UTM: (Give more than one for le. Other Locational Data: (e.g. particle) Public Right-of-Way, location. 16). 	arcel #, legal description,	directions to resource,	elevation, additi		as app
* P3a. Description : (Describe resource This sidewalk stamp, dated 1926 Pearce.					
* P4. Resources Present: Buildir	utes and codes) HP39 Ong Structure Objective or Districture Objective or Structure Objective Obj	ct Site District	, 	istrict Other (I	. ,
	BEN		* P6. Date Con	structed/Age and ric Historic e of the stamp and Address:	Sources: Both
	ARC 7-27	E			
		-0		orded: <u>1/17/20</u> Type: (Describe) rchitectural)	
* P11. Report Citation: (Cite survey rep	ort/other sources or "none"				
	C. Como Sources of Holle	/			
	ation Map ☐ Sketch Ma Lecord ☐ Linear Feature I			illding, Structure, a ock Art Record	and Object Record Artifact Record

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT F	RECORD
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code 5D1
* Resource Name or #: "BEN PEARCE 7-27" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
B3. Original Use:E	34. Present Use:
* B5. Architectural Style: <u>Sidewalk Stamp</u> * B6. Construction History: (Construction date, alterations, and date of	alterations \
Sidewalk stamp dating to the installation of improvements in Islenair in 19	
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateC * B8. Related Features:	Original Location:
B9a. Architect: n/a	b. Builder: Ben Pearce
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance 1926-1952 Property Type Sid	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a basecial element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure a	1 0 1 2
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development be	fore construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-	1941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minin	•
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	•
end of the third phase of development in 1952, Islenair was i	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):* * B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(**************************************
	E was a second
D42 Demorker	
B13. Remarks:	
	die hoos steet
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
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	ISLENAIR HISTORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		•	Primary # HR #		
PRIMARY RECORD					
	Other Listings				
	Review Code	Reviewer		Date	
Page 1 of 2	20 < 11 (11 (11 (11 (11 (11 (11 (11 (11 (1				
* Resource Name or #: <u>"WE ASH 7-19</u>		mp			
P1. Other Identifier: * P2. Location: Not for Publicat		a County S	an Diego		
b. USGS 7.5' Quad					
c. Address					
d. UTM: (Give more than one for la				mE/mN	
e. Other Locational Data: (e.g. pa Public Right-of-Way, loca Lot 7 and Unit #2 Block 4	rcel #, legal description ted in front of 330	on, directions to resource 4 Belle Isle Drive (AP	PN 476-151-19; Is	slenair Unit #1 Block 1,	
* P3a. Description: (Describe resource a This sidewalk stamp, dated 1926, Ash.					
* P4. Resources Present: Building		Other bject Site District ngs, structures, and objects	DEL D	ict Other (Isolates, etc.) of Photo: (View, date, etc.)	
	1	THE REAL PROPERTY.	Photo of the sta	amp on the public right-of-	
	100000000000000000000000000000000000000		wav		
			* P6. Date Constr	ructed/Age and Sources: ✓ Historic Both	
AS WALL STATE	- 11 3 3 3 11 16		1926 per date o	of the stamp	
			* P7. Owner and	Address:	
			City of San Die	ego	
W E ASH	1 7-	-1826		2101 ded: 1/17/2007 De: (Describe)	
* P11. Report Citation: (Cite survey repo	ort/other sources or "no	ne")			
* Attachments:	tion Map Sketch cord Linear Featu	. —		ing, Structure, and Object Record k Art Record	

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT	HR#
Page 2 of 2	* NRHP Status Code $\underline{5D1}$
* Resource Name or #: "WE ASH 7-1926" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
* B5. Architectural Style: Sidewalk Stamp	<u></u>
* B6. Construction History: (Construction date, alterations, and date sidewalk stamp dating to the installation of improvements in Islenair in	of alterations.)
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date * B8. Related Features:	Original Location:
DOs Architectum/o	_b. Builder: W.E. Ash
* B10. Significance: Theme <u>Early auto-oriented small house or</u>	
	idewalk Stamp Applicable Criteria F
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	historic district under HRB Criterion A, as an intact and
special element of San Diego's historical, social, economic	e, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sma	all house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond	d the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure	and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distincti	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first pha	
small house movement of the 1920's and the immense population	
progressed steadily during the first phase of development b	• •
Great Depression. The second phase of development (1935)	
Housing Authority (FHA) through the introduction of Mini	
of Spanish Eclectic homes is also seen during this phase. T	•
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	, nearly suite out with only a few vacant lots formatting.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	400,0
	2304 Ballin ton Deco
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: $1/17/2007$	
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DEPARTMENT OF PARKS AND RECREATION		Primary #			
DEFARIMENT OF PARKS AND RECKE	ATION				
PRIMARY RECORD		I rinomial			
TRIMART RESORB	Other Listings				
		eviewer			
Para 1 of 2					
Page $\underline{1}$ of $\underline{2}$ * Resource Name or #: "THORN ST"	' Sidewalk Stamp				
P1. Other Identifier:	Side wark Starrip				
	ation unrestricted				
		T; R; 1/4 of _			
		City San Diego			
d. UTM: (Give more than one for			mE/mN		
e. Other Locational Data: (e.g. p	arcel #, legal description, dire	ections to resource, elevation, additi	ional UTMs, etc. as app		
Public Right-of-Way, loc	ated in front of 3306 Isla	Vista (APN 476-152-14); Isler	nair Unit #1 Block 2, Lot 14		
and Islenair Unit #2 Bloc	k 5, Lot 2). There are thre	e stamps in front of this parcel	. This is the western-most		
stamn					
* P3a. Description : (Describe resource This sidewalk stamp, dating fron					
Tims side wark stamp, dating from	The instantation of impro	venients, identifies the name of	The street, Thom street.		
A DOLL D	outer and and any HD20 Otho				
•	outes and codes) <u>HP39 Othe</u> ng □Structure ✓ Object		istrict Other (Isolates, etc.)		
	 		on of Photo: (View, date, etc.)		
P5a. Photograph or Drawing (Photograph	graph required for buildings, stru	actures, and objects)	stamp on the public right-of-		
			stamp on the public fight-of-		
企 公司 经 经 经 经 经 经 经 经 经 经 经 经 经 经 经 经 经 经	图 强烈 分议	* P6. Date Cor	structed/Age and Sources:		
			ric Historic Both		
	CALL 2000				
	A STATE OF THE STA	1927 per dat	e of improvements		
新工作公司		* P7. Owner a			
		City of San I	Diego		
The second secon	A STATE OF THE STA	And the second second			
PL STATE OF THE ST		1			
f		* DQ . December	d by (Name offiliation address)		
	SNE		d by: (Name, affiliation, address) Diego Planning Staff		
		202 C Street,			
	THE PROPERTY OF	San Diego CA	92101		
	A STATE OF THE STA	Acres 2000			
A STATE OF THE STA		* P9. Date Red	orded: $1/17/2007$		
WITH THE WORLD WATER COMMANDE THE WORLD	PERSONAL PROPERTY OF THE PERSONAL PROPERTY OF		Type: (Describe)		
		Intensive (A	rchitectural)		
	工工工工工工工工工工工工工工工工工工工工工工工工工工工工工工工工工工工工	7 7 7 7 7			
* P11 Poport Citation: (Cita current	cort/other sources or "nene"\				
* P11. Report Citation: (Cite survey rep	onvoluer sources or "none")				
* Attachments: NONE Loc	ation Map Sketch Map	Continuation Sheet ✓ Bu	uilding, Structure, and Object Record		
- -	Record Linear Feature Reco		ock Art Record Artifact Record		
Photograph Record Other: (List			<u>—</u>		

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $5D1$
* Resource Name or #: "THORN ST" Sidewalk Stamp	
B1. Historic Name:	
B2. Common NameB B3. Original Use:B	/ Present Use:
* B5. Architectural Style: Sidewalk Stamp	4. 11656H 056.
* B6. Construction History: (Construction date, alterations, and date of Sidewalk stamp dating to the installation of improvements in Islenair in 19	alterations.)
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateC * B8. Related Features:	Priginal Location:
DOS Architectum/o	Duilden W.E. Ach
B9a. Architect: <u>n/a</u> b * B10. Significance: Theme <u>Early auto-oriented small house de</u>	Builder: W.E. Ash Area San Diego
Period of Significance 1926-1952 Property Type Side	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a h	
special element of San Diego's historical, social, economic, a	
is comprised of working-class homes reflective of the "small	•
San Diego's expansion away from the city core and beyond t	1 0 1 0
and population propelled the creation of new infrastructure a	
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum house	
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popul	7 1
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-1	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Minim	•
of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was r	
B11. Additional Resource Attributes: (List attributes and codes):	learly built-out with only a few vacant lots femaning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
D42 Demovices	
B13. Remarks:	100
	1506 GLA WSTA (BRINE)
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLEVAIR HISTORIC AL DISTERE T
	Tred to content in 1 to 1 m prices.

State of California The Resources Agency			Primary #				
DEPARTMENT OF PARKS AND RECREATION			HR #				
PRIMARY RECORD			Trinomial				
	Other Listings		INITITI Status Code	<i>J</i> D1			
	Review Code	Reviewer			Da	te	
Page1_ of2_							
* Resource Name or #: "W.E. ASH 5-2	9" Sidewalk Stam	p					
P1. Other Identifier:							
	on Unrestricted		a. County <u>San Die</u>				
b. USGS 7.5' Quad c. Address							
d. UTM: (Give more than one for lar					mE/		
e. Other Locational Data: (e.g. pare Public Right-of-Way, locate There are two stamps in fro	ed in front of 3534	4 Isla Vista	(APN 476-151-0	1); Islenair U			
* P3a. Description: (Describe resource at This sidewalk stamp, dated 1929, i Ash.							
P4. Resources Present: Building	es and codes) <u>HP39</u> ☐Structure ✔O uph required for buildin	bject Site	, and objects) P5b. Photoway	Description of F	Other (Isola Photo: (View, dang on the pubected/Age and So	ite, etc.)	
W.E.	AS	31	1929 * P7.	Prehistoric per date of to the control of San Diego	Historic [the stamp dress:	Both	
5-	28)	City 202 C San I * P9. * P10.	of San Diego C Street, MS 4 Diego CA 921	01 d: <u>1/17/2007</u> (Describe)		
* P11. Report Citation: (Cite survey repor * Attachments: NONE Locati			ontinuation Sheet	Ruilding	, Structure, and	Object Record	
Archaeological Record ✓ District Rec ☐ Photograph Record ☐ Other: (List)	. —	. —	Milling Station Reco			Artifact Record	

State of California The Resources Agency	Primary #						
DEPARTMENT OF PARKS AND RECREATION	HR #						
BUILDING, STRUCTURE, AND OBJECT RECORD							
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code 5D1						
* Resource Name or #: "W.E. ASH 5-29" Sidewalk Stamp							
B1. Historic Name:							
B2. Common Name							
B3. Original Use:	B4. Present Use:						
* B5. Architectural Style: <u>Sidewalk Stamp</u> * B6. Construction History: (Construction date, alterations, and date	of alterations						
Sidewalk stamp dating to the installation of improvements in Islenair in							
* B7. Moved? ✓ No ☐ Yes ☐ Unknown Date * B8. Related Features:	_Original Location:						
B9a. Architect: n/a	b. Builder: W.E. Ash						
	dev Area San Diego						
	Applicable Criteria F						
(Discuss importance in terms of historical or architectural context as defined to the maintain the property of							
The neighborhood of Islenair is historically significant as	c, and architectural development. The neighborhood, which						
is comprised of working-class homes reflective of the "sm							
	and the limits of natural topography as increases in mobility						
and population propelled the creation of new infrastructur	1 0 1 1						
significant under HRB Criterion C, as it embodies distinct							
	ise" construction types during San Diego's development of						
Automobile Suburbs between 1926 and 1952. The first ph							
small house movement of the 1920's and the immense pop							
progressed steadily during the first phase of development							
Great Depression. The second phase of development (193	5-1941), reflects the work of the newly formed Federal						
Housing Authority (FHA) through the introduction of Mir	•						
of Spanish Eclectic homes is also seen during this phase.							
continued popularity of the Minimal Traditional style in the	•						
end of the third phase of development in 1952, Islenair wa	as nearly built-out with only a few vacant lots remaining.						
B11. Additional Resource Attributes: (List attributes and codes): * B12. References:	(Sketch map with north arrow required)						
Refer to District Bibliography for References Used	(Groot map wat not a low roquired)						
	armail MAN ten visa free						
D40 December	1 100 M M V V M C (100)						
B13. Remarks:							
* B14. Evaluator: City San Diego Planning Staff							
Date of Evaluation: 1/17/2007 (This space reserved for official comments.)							
(This space reserved for official confinients.)							
	ISLENAIR HISTORICAL DISTRICT						
	Section 1						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		•	Primary #			
DEL ARTIMENT OF TARRO AND RECKE						
PRIMARY RECORD			Trinomial			
	Other Listings					
	Review Code	Reviewer		Da	ate	
Page _ 1_ of _ 2_						
* Resource Name or #: <u>"ISLA VISTA</u>	DR" Sidewalk Star	np				
P1. Other Identifier:						
	 -	a. County <u>S</u>				
b. USGS 7.5' Quad						
c. Address						
d. UTM: (Give more than one for lae. Other Locational Data: (e.g. pa	•			mE/		
Public Right-of-Way, loca						
15). There are three stamps		· ·			70011 0, 200	
•	•			•		
* P3a. Description: (Describe resource						
This sidewalk stamp, dating from	the installation of i	mprovements, identifi	hes the name of	of the street, Isla	vista Drive.	
		0.1				
,	ites and codes) <u>HP39</u>):-+=:-+		
		oject Site District	DEL Bereiri	District Other (Isol		
P5a. Photograph or Drawing (Photograph	raph required for building	gs, structures, and objects		on of Photo: (View, d	• •	
			Photo of the	stamp on the pub	olic right-of-	
SELLING THE PROPERTY.		A SET IN LAND	* P6 Pote Cor	nstructed/Age and S		
			_	-	_	
STATE OF THE STATE			Prehisto	oric Historic	Both	
			1007			
	THE PERSON NAMED IN	*		<u>te of improvemen</u>	ts	
			* P7. Owner a			
			City of San	Diego		
			1			
		No. of Contract of	1			
101-111	OTA	DD	* P8 Recorde	d by: (Name, affiliati	on address)	
ISLA VI	STA	ILLI		Diego Planning S		
	0.11		202 C Street.		tarr	
The same of the sa		-	San Diego CA			
STATE OF THE PARTY	The state of the s	S. MARINES	 			
			* P9. Date Red	corded: $1/17/2007$	<u>'</u>	
				Type: (Describe)		
			Intensive (A	rchitectural)		
			11			
		THE RESERVE OF THE PARTY OF THE	<u> </u>			
* P11. Report Citation: (Cite survey repo	ort/other sources or "nor	ne")				
	Car Maria		N1	- 11-11 O(1		
	tion Map Sketch N			uilding, Structure, and		
☐ Archaeological Record☐ Photograph Record☐ Other: (List)	ecord Linear Featur	e Record Milling Stat	ion kecora Lih	Rock Art Record	Artifact Record	

State of California The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HR #
BUILDING, STRUCTURE, AND OBJECT I	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D1
* Resource Name or #: "ISLA VISTA DR" Sidewalk Stamp	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use:
* B5. Architectural Style: Sidewalk Stamp * B6. Construction History: (Construction date, alterations, and date o	f alterations \
Sidewalk stamp dating to the installation of improvements in Islenair in 1	
* B7. Moved? No Yes Unknown Date* * B8. Related Features:	Original Location:
	b. Builder: W.E. Ash
* B10. Significance: Theme Early auto-oriented small house d	
Period of Significance $\underline{1926-1952}$ Property Type \underline{Sig} (Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	
San Diego's expansion away from the city core and beyond	the limits of natural topography as increases in mobility
and population propelled the creation of new infrastructure	and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	e characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum hous	
Automobile Suburbs between 1926 and 1952. The first phase	•
small house movement of the 1920's and the immense popul	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minin	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	hearry built-out with only a few vacant fots femanning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
	AUT THOSE ATTEST
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLEVABLE HISTORICAL DISTRICT



Section 9

Islenair Historic District Designated April 26, 2007 [This page intentionally left blank.]

Islenair

Non-Contributing Resources

Non-contributing resources are those resources which either were built outside of the period of significance and are therefore not eligible for designation as part of the district; or were built within the period of significance but have been altered to such an extent that they no longer retain sufficient integrity to convey the significance of the district.

It may be possible for some non-contributing properties to become eligible for designation as contributing resources if the modifications impairing their integrity were reversed through a restoration plan prior to designation. Such a restoration plan and designation would be at the discretion of the Board.

The following resources were identified as non-contributing resources by the Board at the time the district was designated are not be eligible for the direct benefits of designation, which includes the Mills Act agreement and property tax reduction. Non-contributing resources are only be required to comply with the U.S. Secretary of the Interior's Standards and any applicable development/design guidelines as they relate to appropriate redevelopment of non-contributing resources.

HRB Site #	Street #	Street Name	APN	Date	Style	Status Code	Integrity
0100		3420011(41110	1111	2	31,10	2000	
N/A	3212	Belle Isle Drive	476-241-09	1936	Minimal Traditional	6L	Fair to Poor
N/A	3230	Belle Isle Drive	476-241-11	1938	Minimal Traditional	6L	Fair to Poor
N/A	3236	Belle Isle Drive	476-241-12	1937	Minimal Traditional	6Z	Poor
N/A	3314	Belle Isle Drive	476-151-20	1938	Minimal Traditional	6L	Fair
N/A	3320	Belle Isle Drive	476-151-21	1930	Spanish Eclectic	6L	Poor
N/A	3333	Belle Isle Drive	476-152-09	1936	Minimal Traditional	6Z	Poor
N/A	3404	Belle Isle Drive	476-151-25	1939	Minimal Traditional	6L	Fair to Poor
N/A	3434	Belle Isle Drive	476-151-29	1936	Spanish Eclectic	6L	Fair to Poor
N/A	3203	Euclid Avenue	476-241-07	1958	Contemporary	6Z	Good to Fair
N/A	3211	Euclid Avenue	476-241-06	1960	Contemporary	6Z	Good to Fair
N/A	3237	Euclid Avenue	476-241-04	1968	Utilitarian	6Z	Fair
N/A	3243	Euclid Avenue	476-241-03	1958	Utilitarian	6Z	Fair
N/A	3255	Euclid Avenue	476-241-02	1958	Contemporary	6Z	Good to Fair

HRB Site #	Street #	Street Name	APN	Date	Style	Status Code	Integrity
					,		V
N/A	3275	Euclid Avenue	476-241-01	1979	Utilitarian	6Z	Fair
N/A	3313	Euclid Avenue	476-151-15	1951	Contemporary	6Z	Poor
N/A	3427	Euclid Avenue	476-151-07	1938	Minimal Traditional	6L	Fair to Poor
N/A	3435	Euclid Avenue	476-151-06	1946	Contemporary	6L	Fair to Poor
N/A	3449	Euclid Avenue	476-151-04	1952	Minimal Traditional	6Z	Fair to Poor
N/A	3457	Euclid Avenue	476-151-03	1973	Utilitarian	6Z	Good
N/A	3461	Euclid Avenue	476-151-02	1948	Utilitarian	6Z	Poor
N/A		Euclid Avenue	476-241-05	N/A	vacant lot	6Z	n/a
N/A	3203	Isla Vista Drive	476-242-09	1951	Minimal Traditional	6L	Fair to Poor
N/A	3232	Isla Vista Drive	476-242-13	1935	Minimal Traditional	6Z	Poor
N/A	3255	Isla Vista Drive	476-242-02	1947	Minimal Traditional	6Z	Poor
N/A	3324	Isla Vista Drive	476-152-16	1935	Spanish Eclectic	6L	Fair to Poor
N/A	3333	Isla Vista Drive	476-160-18	1950	Ranch	6Z	Poor
N/A	3411	Isla Vista Drive	476-160-15	1957	Ranch	6Z	Good
N/A	3467	Isla Vista Drive	476-160-08	1939	Minimal Traditional	6L	Fair to Poor
N/A	3517	Isla Vista Drive	476-160-04	1946	Minimal Traditional	6L	Fair to Poor
N/A	3525	Isla Vista Drive	476-160-03	1946	Minimal Traditional	6L	Fair to Poor
	4750 4766						
N/A	4768	Thorn Street	476-151-16	1958	Contemporary	6Z	Good to Fair
N/A	4769	Thorn Street	476-241-01	1939	Minimal Traditional	6Z	Poor

State of California The Resources Agency		Primary #			
DEPARTMENT OF PARKS AND RECREA	TION	HR #			
		Trinomial			
PRIMARY RECORD		NRHP Status	Code <u>6L</u>		
	Other Listings				
	Review Code Revi	iewer			
Page1 of2					
* Resource Name or #: 3212 Belle Isle	Drive APN 476-241-09				
P1. Other Identifier:	DIIVC; 711 11 470-241-07				
	ion Unrestricted	a County Sa	n Diego		
b. USGS 7.5' Quad					
c. Address 3212 Belle Isle Dri					
d. UTM: (Give more than one for la				mE/	
e. Other Locational Data: (e.g. pa					
APN 476-241-09-00; Islen			cicvation, additi	onai o i mo, cto.	из ирр
* P3a. Description: (Describe resource a	and its major elements. Include	design, materials,	condition, alteration	ons, size, setting,	and boundaries.)
The house at 3212 Belle Isle Drive		-		_	,
cross-gable roof with composition			-		_
		•			•
side. The gable ends feature clapb					
house is clad in brick veneer. The					
column with a simple capital, is se	et back and is accessed at	the side via fou	r concrete step	s leading to a	n entry door
set perpendicularly to the sidewall			_	-	
double hung vinyl windows through			•	•	
· ·	gnout the fest of the house	e. Keiei to bso	K Section B.0	. 101 mountea	tions and
analysis of integrity.					
	1102 6: 1 6				
	utes and codes) <u>HP2 Single f</u>				
* P4. Resources Present:	g Structure Object	Site District		strict Other (
P5a. Photograph or Drawing (Photogr	raph required for buildings, struct	tures, and objects)	P5b. Description	n of Photo: (View	v, date, etc.)
		3	Photo of the	primary façad	e from the
			public right-	of-way.	
	7.	September 1	* P6. Date Con	structed/Age and	d Sources:
	- 1		Prehisto	ric Historic	Both
			1036 Water	and Sewer Red	corde
			* P7. Owner ar		Jorus
		A COLUMN	Arias Oswale		
			3212 Belle Is		<u> </u>
		27	San Diego C		
	1		San Diego C	A 92103	
4	-		* D0 D	Library (Nichara and City	Parka and days and
	224			by: (Name, affil	
	THE RESERVE	111		Diego Planning	g Dept
- And Make Make	40	A STATE OF THE PARTY OF THE PAR	202 C Street, San Diego CA	<u>MS 4A</u>	
		The state of	Sali Diego CA	. 92101	
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Control Control Control		+ 22 2 4 2	1/17/20)07
				orded: $\frac{1/17/20}{1}$	
				Type: (Describe)
			Intensive (A	chitectural)	
			J		
* P11. Report Citation: (Cite survey repo	ort/other sources or "none")				
·					
	tion Map Sketch Map	Continuation St	_	•	and Object Record
☐ Archaeological Record ✓ District Re		d Milling Station	on Record	ock Art Record	Artifact Record
Photograph Record Other: (List)					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page <u>2</u> of <u>2</u>	* NRHP Status Code $\underline{6L}$
* Resource Name or #: 3212 Belle Isle Drive, APN 476-241-09	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u> B	4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of a The house was built in 1936 per water and sewer records. Modifications in composition roof with a new composition roof, the replacement of the wood replacement of the wood post porch support with a large stucco column. To fintegrity.	clude the use of moderately textured stucco, the replacement of the d frame and sash windows with vinyl windows, and the likely he house is in fair to good condition and retains a fair to poor degree
	riginal Location:
* B8. Related Features:	
A detached garage is located at the rear B9a. Architect: <u>Unknown</u> b	Builder: Unknown
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance 1926-1952 Property Type Res	
(Discuss importance in terms of historical or architectural context as defined by the	
The neighborhood of Islenair is historically significant as a hispecial element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure a significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development beforeat Depression. The second phase of development (1935-1 Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was means and the strip that the statistical Resource Attributes: (List attributes and codes):	istoric district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of the of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal al Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the work of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: <u>1/17/2007</u>	
(This space reserved for official comments.)	
	THE AYAXA
	SLEXABETHEROBIC AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #				
			HR # Trinomial				
PRIMARY RECORD							
	Other Listings Review Code					Date	
Page _ 1_ of _ 2_							
* Resource Name or #: 3230 Belle Isle	Dirve, APN 476-2	41-11					
P1. Other Identifier:							
	ion Unrestricted						
b. USGS 7.5' Quad c. Address <u>3230 Belle Isle Dri</u>							
d. UTM: (Give more than one for la					mE/		
e. Other Locational Data: (e.g. pa APN 476-241-11-00; Isle	rcel #, legal description	n, directions to					
* P3a. Description: (Describe resource The house at 3230 Belle Isle Driv and features a medium-pitch hipp stucco exterior. The entry is access projection cantilevers over the entry and sash windows and a glass blo filled in, but its location and size of integrity.	e was built in 1938 ed roof with composed via two concretery and the adjacent ck element at the co	in the Minir esition shingle te steps which wall. Fenestorner to the l	mal Tradition Ites; slight each lead to the tration consecute of the each to the each to the each tration consecute of the each tradicial tradici	onal style with ave overhang the entry door sists of 4-ove ontry. A round	th Art Modernor; and a heavily A curvilinear or louble hur louble hur louble hur louble hur louble hur louble window	e influences y textured stucco ng vinyl frame w has been	
* P4. Resources Present: Building	utes and codes) <u>HP2 S</u> g Structure Ob raph required for building	oject Site	District and objects)	P5b. Descriptio Photo of the	strict □Other (I n of Photo: (View primary façade of-wav.	, date, etc.)	
				* P6. Date Con Prehisto	structed/Age and ric Historic Historic Historic and Sewer Record Address: It is a sile Drive	I Sources:	
			1172	City of San I 202 C Street, J San Diego CA * P9. Date Rec		Dept 07	
* P11. Report Citation: (Cite survey report * Attachments: NONE Local Archaeological Record District Re	tion Map Sketch N	лар □Cor		Intensive (År	rchitectural)	and Object Record	
Photograph Record Other: (List)			-				

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
	HR#
BUILDING, STRUCTURE, AND OBJECT	
Page 2 of 2	* NRHP Status Code <u>6L</u>
* Resource Name or #: <u>3230 Belle Isle Dirve, APN 476-241-11</u>	
B1. Historic Name: B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	<u>Si Residentidi</u>
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1938 per water and sewer records. Modifice the composition roof with a new composition roof, the replacement of the portal window, which was filled in. The house is in fair to good conditions.)	ations include the use of heavily textured stucco, the replacement of e wood frame and sash window with vinyl windows, and the round
* B7. Moved? • No Yes Unknown Date * B8. Related Features:	Original Location:
A detached garage is located at the rear.	
B9a. Architect: Unknown	b. Builder: Dennstedt
* B10. Significance: Theme Early auto-oriented small house de	ev Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	1 0 1 0
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum hous	•
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popu	
progressed steadily during the first phase of development be	* *
Great Depression. The second phase of development (1935-	1941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minin	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes): * B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(Sketch map with north arrow required)
1000 to Bisant Biologiaphy for Notice of Cold	
B13. Remarks:	100005
	1200 Dates tale Chris
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORIC AL DISTRICT
	Total de contençal e i de la production.

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primar	Primary #			
		HR #_	HR #			
			Trinomial			
PRIMARY RECORD		NRHP	Status Code <u>6Z</u>			
	Other Listings Review Code	Reviewer		Date		
Page 1 of 2						
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3236 Belle Isl</u>	o Drivo ADN 476 2	41 16				
	<u>e Diive, Afin 470-2</u>	+1-10				
P1. Other Identifier:	tion Unrestricted	a Cau	ınty <u>San Diego</u>			
				1/4 of Sec; B.M.		
b. USGS 7.5' Quad c. Address 3236 Belle Isle Di						
		-		zip <u>92105</u>		
d. UTM: (Give more than one for	-			mE/mN		
e. Other Locational Data: (e.g. p APN 476-241-16-00; Isla			ource, elevation, addition	onai OTMs, etc. as app		
* P3a. Description: (Describe resource The house at 3236 Belle Isle was composition shingles; a slight ear chimney on the south side of the concrete steps with a decorative lite vinyl casement windows und casement windows. Wrought iron modifications and analysis of interesting the concrete steps with a decorative lite vinyl casement windows and casement windows.	built in 1937 in the we overhang; expose house. The entry is a wrought iron handra er a 4-lite vinyl transfa security bars cover	Minimal Tradition of the control of the souther it. Fenestration of the com, 4-over-4 do	ional style and feature; a moderately texture east corner of the horoconsists of a 15-lite fouble hung vinyl wir	res multi-hipped roof with red stucco exterior; and a use and is accessed via four fixed vinyl frame window, 8- adows, and 6-lite vinyl		
* P4. Resources Present: Buildir	utes and codes) <u>HP2 S</u> igStructureObgraph required for building	ject Site D	pistrict Element of Displects) P5b. Description Photo of the public right-of	strict Other (Isolates, etc.) n of Photo: (View, date, etc.) primary façade from the of-way. structed/Age and Sources: ic Historic Both		
			1937 Water a * P7. Owner an World Impac 1047 S 39th S San Diego C	t Inc Street		
			* P8. Recorded City of San D 202 C Street, N San Diego CA * P9. Date Reco	by: (Name, affiliation, address) Diego Planning Dept MS 4A 92101 Drded: 1/17/2007 Type: (Describe)		
* P11. Report Citation: (Cite survey rep	ort/other sources or "non		ation Sheet ✓ Bui	ilding, Structure, and Object Record		
☐ Archaeological Record☐ Photograph Record☐ Other: (List)		e Record Millin	ng Station Record Ro	ock Art Record Artifact Record		

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #			
BUILDING, STRUCTURE, AND OBJECT RECORD				
Page _ 2_ of _ 2_	* NRHP Status Code <u>6Z</u>			
* Resource Name or #: 3236 Belle Isle Drive, APN 476-241-16				
B1. Historic Name:				
B2. Common Name				
	Present Use: <u>SF Residential</u>			
* B5. Architectural Style: Minimal Traditional				
	ions include the use of moderately textured stucco, which may have new composition roof, the replacement of the windows with vinyl			
* B8. Related Features:				
A detached garage is located at the rear.				
B9a. Architect: <u>Unknown</u> b.	D. H. CM Dealthin			
* B10. Significance: Theme Early auto-oriented small house dev				
Period of Significance 1926-1952 Property Type Resi				
(Discuss importance in terms of historical or architectural context as defined by the				
The neighborhood of Islenair is historically significant as a hi				
special element of San Diego's historical, social, economic, a				
is comprised of working-class homes reflective of the "small	•			
San Diego's expansion away from the city core and beyond the	1 0 1 1			
and population propelled the creation of new infrastructure at	*			
significant under HRB Criterion C, as it embodies distinctive	•			
Traditional styles of the "small house" and "minimum house" Automobile Suburbs between 1926 and 1952. The first phase				
small house movement of the 1920's and the immense popula				
progressed steadily during the first phase of development before				
Great Depression. The second phase of development (1935-19				
Housing Authority (FHA) through the introduction of Minima	· · · · · · · · · · · · · · · · · · ·			
of Spanish Eclectic homes is also seen during this phase. The	third phase of development (1945-1952) reflects the			
continued popularity of the Minimal Traditional style in the v	vake of the housing shortage following WWII. By the			
end of the third phase of development in 1952, Islenair was no	early built-out with only a few vacant lots remaining.			
B11. Additional Resource Attributes: (List attributes and codes):	(Crist and the crist and the c			
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)			
Refer to District Biologiaphy for References esecu				
B13. Remarks:	with ()			
	1550 Barra tab Deve			
au a =				
* B14. Evaluator: City San Diego Planning Staff				
Date of Evaluation: 1/17/2007 (This space reserved for official comments.)				
(11115 Space reserved for official Confinients.)				
	DELEVABRIBISTIONE S.L DOSTRIK T			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary # HR #				
		Trinomial				
PRIMARY RECORD						
	Other Listings Review Code					Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3314 Belle Isle	Drive, APN 476-1	51-19				
P1. Other Identifier:						
	on Unrestricted		-			
b. USGS 7.5' Quad c. Address 3314 Belle Isle Driv						
d. UTM: (Give more than one for large					mE/	
e. Other Locational Data: (e.g. pard APN 476-151-19-00; Islena	el #, legal description	n, directions				
* P3a. Description: (Describe resource ar The house at 3314 Belle Isle Drive roof with composition shingles; and steps, is set to the left under a roof double hung, 18-lite fixed, and 4-lit modifications and analysis of integ	was constructed in d a moderately text projection support te fixed vinyl fram	n 1938 in t stured stucc ted on two	he Minimal co exterior. 4x4 wood p	Traditional strates The entry is a posts. Fenestra	tyle and feature ccessed via thr ation consists o	es a hipped ee concrete f 6-over-6
•	es and codes) <u>HP2 S</u>			✓ Element of Di	strict Other (Is	solates, etc.)
	ph required for building	<u> </u>		ı 	n of Photo: (View,	•
(i notograph of Drawing (i notogra	pri required for building	go, oli dolaico	, and objects)	Photo of the	primary façade	from the
				public right-o	of-wav. structed/Age and	
				1938 Water a	and Sewer Reco	ords
	1		-79	l .	aul A and Mar	tha I R
3-71	The state of	-	-	3314 Belle Is		
-	No.			San Diego, C	CA 92105	
	A SE		77.00	* P8. Recorded	l by: (Name, affilia	ation, address)
				City of San I	Diego Planning	
		L.	1 16	202 C Street, I San Diego, CA	MS 4A	
	Marie Control			San Diego, CF	1 92101	
A STATE OF THE STA	-			* P9. Date Rec	orded: <u>1/17/20</u> 0	07
	NAME OF TAXABLE PARTY.		25,2	* P10. Survey Intensive (A)	Type: (Describe) chitectural)	
		en - Sizzerd City	世 1 中国经济			
* P11. Report Citation: (Cite survey report	dother sources or "non	ne")				
* Attachments: NONE Location	on Map Sketch N	Мар 🔲 С	ontinuation Sh	neet 🗸 Bu	ilding, Structure, a	nd Object Record
☐ Archaeological Record ☑ District Rec☐ Photograph Record ☐ Other: (List)	ord Linear Feature	e Record	Milling Station	on Record R	ock Art Record	Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	RECORD
Page _2_ of _2_	* NRHP Status Code 6L
* Resource Name or #: 3314 Belle Isle Drive, APN 476-151-19	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1938 per water and sewer records. Modification of the composition roof with a new composition roof, and the use of viny integrity.	ations include the use of moderately textured stucco, the replacement
* B8. Related Features:	Original Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u>	b. Builder: RR West
* B10. Significance: Theme Early auto-oriented small house de	ev Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Res	sidential Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined by	theme, period, and geographic scope. Also address integrity.)
The neighborhood of Islenair is historically significant as a	historic district under HRB Criterion A, as an intact and
special element of San Diego's historical, social, economic,	and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "smal	
San Diego's expansion away from the city core and beyond	•
and population propelled the creation of new infrastructure	
	*
significant under HRB Criterion C, as it embodies distinctiv	
Traditional styles of the "small house" and "minimum house	**
Automobile Suburbs between 1926 and 1952. The first phase	•
small house movement of the 1920's and the immense popu	
progressed steadily during the first phase of development be	fore construction came to a halt with the onset of the
Great Depression. The second phase of development (1935-	1941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Minir	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. Th	•
continued popularity of the Minimal Traditional style in the	*
end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	hearry bunt-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(enden map man men requires)
B13. Remarks:	
510. Remaine.	(anal):
	3314 Solon into Crow
	3081
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HINTORIC AL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #		
PRIMARY RECORD	Trinomial		
	THIN Clares Good GE		
	erDate		
Page 1 of 2 Resource Name or #: 3320 Belle Isle Drive, APN 476-152-21			
P1. Other Identifier:	a. County San Diego		
b. USGS 7.5' Quad Date			
c. Address 3320 Belle Isle Drive	City San Diego Zip 92105		
d. UTM: (Give more than one for large and/or linear feature) e. Other Locational Data: (e.g. parcel #, legal description, directions	Zone,mE/mN s to resource, elevation, additional UTMs, etc. as app		
APN 476-152-21-00; Islenair Unit #1 Block 1 Lot 19 P3a. Description: (Describe resource and its major elements. Include desired the house at 3320 Belle Isle Drive was built in 1930 in the Space clay tile roof at the parapet; clipped eaves; a smooth stucco extraccessed via three concrete steps, is set to the left and covered to openings on three sides (This element may have been added or lite vinyl windows replaced the original window and modified the entry, and the size of the opening appears to have been mode and analysis of integrity. P3b. Resource Attributes: (List attributes and codes) HP2 Single family P4. Resources Present: Building Structure Object Site P5a. Photograph or Drawing (Photograph required for buildings, structures)	anish Eclectic style and features a flat roof with a shed terior; and a chimney on the north elevation. The entry, by a front-facing gable projection with arched modified). A 16-lite fixed vinyl window flanked by 8-the size of the opening. The garage is set to the left of diffied. Refer to BSOR Section B.6. for modifications		
P11. Report Citation: (Cite survey report/other sources or "none")	Prehistoric Historic Both 1930 Water and Sewer Records * P7. Owner and Address: Blankenship Karal S 3320 Belle Isle Drive San Diego CA 92105 * P8. Recorded by: (Name, affiliation, address) City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural)		
111. Report Oitation. (Oite survey report/offiel sources of Horie)			
Attachments: NONE Location Map Sketch Map C Archaeological Record District Record Linear Feature Record Photograph Record Other: (List)	Continuation Sheet		

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>6L</u>
* Resource Name or #: 3320 Belle Isle Drive, APN 476-152-21	
B1. Historic Name:	
B2. Common Name	
	34. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic * B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1930 per water and sewer records. Modifica vinyl windows, possible alteration of the entry, the use of a wrought iron s fair condition and retains a poor degree of integrity.	tions include altering the size of the window openings, the use of
	Original Location:
B9a. Architect: <u>Unknown</u> b	. Builder: <u>Unknown</u>
* B10. Significance: Theme Early auto-oriented small house de	
Period of Significance $\underline{1926-1952}$ Property Type \underline{Res}	
(Discuss importance in terms of historical or architectural context as defined by the neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure a significant under HRB Criterion C, as it embodies distinctive that Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-1 Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was a B11. Additional Resource Attributes: (List attributes and codes):	neme, period, and geographic scope. Also address integrity.) historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically echaracteristics of Spanish Eclectic and Minimal "construction types during San Diego's development of e of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal nal Traditional style architecture. The fading popularity ethird phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
	SLENAIR HISTORICAL DISTRICT

DEPARTMENT OF PARKS AND RECREATION		HR # Trinomial			
	Listings		Jouc <u>02</u>		
	w Code Reviewe				Date
Page <u>1</u> of <u>2</u>					
* Resource Name or #: 3333 Belle Isle Drive	e, APN 476-152-09				
P1. Other Identifier:					
* P2. Location: Not for Publication		a. County San			
b. USGS 7.5' Quad					
d. UTM: (Give more than one for large and	•				mN
e. Other Locational Data: (e.g. parcel #, I APN 476-152-09-00; Islenair U		s to resource, e	levation, additi	onal UTMs, etc	c. as app
cross-gable roof; composition shingles; a stucco exterior; and a chimney on the in the gable end. A dominant side gable gable peak of the original portion of the vertical wood siding in the gable end an concrete steps with a wrought iron railing gable end supported on several grouping the sidewalk. Fenestration consists of 6-slatted metal awnings cover the window	south elevation. The or element was added to the house is still evident and diminimal eave overhand, is located at the sound gs of wood posts with cover-6 double hung and	iginal house in the front of the the ridgeline in g with no rath end of the ross supports in 10-lite slide	is front gable the house to for the addit ftertails. The side gable add. The entry der vinyl frame	d with horizorm a "T" into ion. The add entry, acces dition and is oor is set per and sash with the control of	ontal clapboard rersection. The ition features sed via seven set under the rpendicularly to indows. Green
	tructure Object Single famulative Object Structure	e District	✓ Element of D P5b. Descriptio	_	,
		-	Photo of the public right-(* P6. Date Con Prehisto	of-wav.	and Sources:
			1936 Water : * P7. Owner ar		ecords
			Abare John I		
	i	-	531 W J Stre		
			Chula Vista		
		1			
					ffiliation, address)
			<u>City of San I</u>		ng Staff
			202 C Street,		
A PARTY AND A STATE OF THE PARTY AND ADDRESS O		-	San Diego, CA	4 92101	
			* P9. Date Rec	orded: 1/17/	2007
			* P10. Survey		
			Intensive (A		
A CONTRACTOR OF THE PARTY OF TH					
* P11. Report Citation: (Cite survey report/other	sources or "none")				
THOME TO	- Observation	Danetino ette Ot	🗆	illalia a Oto :	and Object B
* Attachments:	p	Continuation She	_	ilding, Structure ock Art Record	e, and Object Record Artifact Record
Photograph Record Other: (List)	Linear r caldre Necold		. RocoldR	OUR AIT INGCOID	Attilact Necolu

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT R	HR#
Page 2_ of 2_	* NRHP Status Code 6Z
* Resource Name or #: 3333 Belle Isle Drive, APN 476-152-09	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u> B4	4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1936 per water and sewer records. Modificat composition roof, the addition of a side gable element with porch to the fro original wood windows with vinyl windows (likely in the original openings condition and retains a poor degree of integrity. * B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOn * B8. Related Features: A detached garage is located at the rear.	ions include the replacement of the composition roof with a new nt of the house (likely an early modification), the replacement of the
B9a. Architect: <u>Unknown</u> b. * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area San Diego
Period of Significance 1926-1952 Property Type Resi	
(Discuss importance in terms of historical or architectural context as defined by the The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure ar significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house" Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-1941). Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the vend of the third phase of development in 1952, Islenair was not B11. Additional Resource Attributes: (List attributes and codes):	storic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which house" movement, marked a new stage in the City of ne limits of natural topography as increases in mobility and development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction one construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal and Traditional style architecture. The fading popularity third phase of development (1945-1952) reflects the work of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	ISLENAIR INSTRUCT.
	1 (1) (1) (1) (1) (1) (1) (1) (1) (1) (1

DEPARTMENT OF PARKS AND RECREATION	Primary #			
	Milli Status Sout <u>see</u>			
Review Code Reviewer	rDate			
Page 1 of 2 Resource Name or #: 3404 Belle Isle Drive, APN 476-151-25				
P1. Other Identifier: P2. Location: Not for Publication Unrestricted	a. County San Diego			
b. USGS 7.5' Quad Date				
c. Address 3404 Belle Isle Drive				
d. UTM: (Give more than one for large and/or linear feature)	Zone,mE/mN			
e. Other Locational Data: (e.g. parcel #, legal description, directions APN 476-151-25-00; Islenair Unit #1 Block 1 Lot 23	to resource, elevation, additional UTMs, etc. as app			
P3a. Description: (Describe resource and its major elements. Include design The house located at 3404 Belle Isle Drive was built in 1939 in hipped roof; composition shingles; and a smooth stucco exterior dominant forward bay to the left which contains a two-car garagaccessed by three concrete steps, and a right bay set just forward portal window, a 4-over-4 wood frame and sash window, and an louvered window is set to the left of the entry door, which is part modifications and analysis of integrity.	the Minimal Traditional style and features a multi- r. The house is "U" shaped with three bays: a ge, a recessed central bay containing the entry d of the central bay which contains a small round in 8-lite fixed wood frame window. An aluminum			
P3b. Resource Attributes: (List attributes and codes) HP2 Single family P4. Resources Present: ✓ Building Structure Object Site P5a. Photograph or Drawing (Photograph required for buildings, structures	Element of District Other (Isolates, etc.) a, and objects) P5b. Description of Photo: (View, date, etc.)			
	Photo of the primary façade from the public right-of-way.			
	* P6. Date Constructed/Age and Sources: ☐ Prehistoric Historic ☐ Both			
	1939 Water and Sewer Records			
	* P7. Owner and Address:			
	Salerno Vincent A 3404 Belle Isle Drive			
	San Diego CA 92105			
	* P8. Recorded by: (Name, affiliation, address)			
	City of San Diego Planning Staff 202 C Street, MS 4A			
	San Diego CA 92101			
	1 11 2 12 22 2			
A STATE OF THE STA	* P9. Date Recorded: 1/17/2007			
30 30 Harris 100 100 100 100 100 100 100 100 100 10	* P10. Survey Type: (Describe) Intensive (Architectural)			
The first harmonia				
P11. Report Citation: (Cite survey report/other sources or "none")				
Attachments: NONE Location Map Sketch Map C	Continuation Sheet			
Attachments:	Continuation Sheet			
Photograph Record Other: (List)				

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>6L</u>
* Resource Name or #: 3404 Belle Isle Drive, APN 476-151-25	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	D4. Tresent osc. ST Residential
* B6. Construction History: (Construction date, alterations, and date of	of alterations)
The house was constructed in 1939 per water and sewer records. Modific composition roof, and the enclosure and expansion of the porch to ad 76 the garage is unknown. The house is in fair condition and retains a fair to	cations include the replacement of the composition roof with a new 0 square feet of habitable space in 1965. The date of construction for
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features:	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house decomposition</u>	
	esidential Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularized steadily during the first phase of development by Great Depression. The second phase of development (1935). Housing Authority (FHA) through the introduction of Mini of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which all house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal se" construction types during San Diego's development of se of development (1927-1931) is reflective of both the alarity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
(This space reserved for official confinients.)	
	ISLENAIR HISTORIC S.L. DISTERCT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary #			
		Trinomial			
PRIMARY RECORD			e <u>6L</u>		
	Other Listings			Data	
	Review Code Revie	wer		Date	
Page 1 of 2	Duivo ADN 476 151 20				
* Resource Name or #: <u>3434 Belle Isle</u> P1. Other Identifier:	Drive, APN 4/0-131-29				
	on Unrestricted	a. County San Di	lego		
b. USGS 7.5' Quad	Date	T; R;	1/4 of1/4 of S	ec; B.M.	
c. Address <u>3434 Belle Isle Driv</u>					
d. UTM: (Give more than one for large	_				
e. Other Locational Data: (e.g. pard APN 476-151-29-00; Islend			ition, additional UTMs	s, etc. as app	
* P3a. Description: (Describe resource are The house at 3434 Belle Isle Drive tile shed roof along the parapet line textured stucco exterior; and a chirate the left under the shed roof project sidewalk. Fenestration consists of a windows, and sash windows at the with a raised stucco surround. Reference	was built in 1936 in the Se and a projecting front-ganney at the south elevation supported by a square a tripartite window with a porch and an 8-lite sliding	panish Eclectic sty ble bay; clay tile ro n. The entry, access wood post. The en 16-lite fixed vinyl g vinyl window in t	yle and features a foof vents and drain sed via four concrettry door is set perp window flanked be the gable bay. All	lat roof with a clay ns; a moderately ete steps, is set to pendicularly to the y 8-lite sliding vinyl windows are framed	
* P4. Resources Present: Building	es and codes) <u>HP2 Single fa</u> Structure Object S uph required for buildings, structu	Site District F5b. pres, and objects) Pbc pub	lement of District \(\subseteq 0\) Description of Photo: oto of the primary in	(View, date, etc.) façade from the	
		* P6	i. Date Constructed/A ☐ Prehistoric ✓ H	Age and Sources: listoric Both	
		193	36 Water and Sewe	er Records	
			. Owner and Address	s:	
A THE PARTY OF THE	No.		ai Ngoc Tuyet TR 34 Belle Isle Drive		
			n Diego CA 92105		
			B. Recorded by: (Nam		
AND STATE OF THE S			y of San Diego Pla	nning Staff	
Later and the same of the same			C Street, MS 4A Diego CA 92101		
). Date Recorded: $\underline{1/2}$		
E & W			0. Survey Type : (Deensive (Architectur		
		me	<u> </u>		
* P11. Report Citation: (Cite survey repor	t/other sources or "none")				
* Attachments: NONE Locati	on Map Sketch Map	Continuation Sheet	Duilding Ct	acture, and Object Record	
Archaeological Record District Rec		Milling Station Re			
Photograph Record Other: (List)		•		_	

	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	CORD
-	NRHP Status Code <u>6L</u>
* Resource Name or #: 3434 Belle Isle Drive, APN 476-151-29	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of alte The house was constructed in 1936 per water and sewer records. Modification roof, the use of moderately textured stucco, the extension of the shed roof ove vinyl windows in modified openings, the addition of stucco surrounds around window to the right of the entry. These modifications occurred between 2002 * B7. Moved? ✓ No Yes Unknown Date Origi * B8. Related Features: A detached garage is located at the rear.	is include the replacement of the clay-tile roof with a new clay tile or the entry porch, the replacement of the original windows with the windows, and the removal of the stucco grill from the small and 2006. The house is in good condition and retains a fair to
DO- Author University	
B9a. Architect: <u>Unknown</u> b. B * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	uilder: Unknown
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historically	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	
San Diego's expansion away from the city core and beyond the	
and population propelled the creation of new infrastructure and	
significant under HRB Criterion C, as it embodies distinctive ch	
Traditional styles of the "small house" and "minimum house" c	
Automobile Suburbs between 1926 and 1952. The first phase of	
small house movement of the 1920's and the immense popularity	· 1
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	
Housing Authority (FHA) through the introduction of Minimal	Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase. The th	aird phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the wal	ke of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was nea	
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	SAM Balle tale Drive.
* D44 Freductor City Can Diago Diagning Staff	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
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	ISLENAIR HIS TORIFAL DISTRICT
	THE PROPERTY OF LOCAL PROPERTY OF THE PARTY

DEPARTMENT OF PARKS AND RECREATION			HR #				
DEL ARTIMENT OF TARRO AND RECKE	(IIOI4						
PRIMARY RECORD			NPUP Status	c Codo 67			
TRIMINATE RESORD	Other Listings						
	Other Listings Review Code	Revie	wer			Date	
- 1 . 2							
Page <u>1</u> of <u>2</u>	wanua 176 151	22					
* Resource Name or #: <u>3203 Euclid A</u> P1. Other Identifier:	venue, 470-131-	-32					
* P2. Location: Not for Publicat	ion VIInrestric	ted	a County Sa				
b. USGS 7.5' Quad	_						
c. Address 3203 Euclid Avenu							
d. UTM: (Give more than one for la						mN	
e. Other Locational Data: (e.g. pa	•	•					
APN 476-151-32-00; Isle	nair Unit #2 Blo	ock 7 Lot 8					
* P3a. Description: (Describe resource	and its major alomo	nte Include d	ocian materials	condition alterati	one cizo cottina	and houndaries)	
The two-story multi-family reside							
•							
flat roof with a slight eave and ce						•	
accessed via stairs with wrought i	•		•		g aluminum f	rame and sash	
windows.Refer to BSOR Section	B.6. for modific	ations and	analysis of int	egrity.			
•	ites and codes) $\overline{ ext{HF}}$						
* P4. Resources Present: ✓ Building	g Structure	Object S	Site District		istrict Other	. ,	
P5a. Photograph or Drawing (Photog	raph required for bu	ildings, structu	res, and objects)	P5b. Description	on of Photo: (Vie	ew, date, etc.)	
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		1381	The Manne		of-wav.		
				* P6. Date Cor	structed/Age a	nd Sources:	
		1,610	-	Prehisto	oric 🗸 Historic	c Both	
		-	lets.				
		- 000	Also Brown	1058 SD Co	unty Building	Pacord	
4		- 11	30	* P7. Owner a	anty Danaing nd Address:	KCCOIU	
					aria T Revoca	able Trust	
				5417 Alpine			
	-	_ 180		Alpine CA 9			
				Tuplic City	1701		
-			111110	* D0 Doordo	d by Alama of	filiation address)	
			R. Fall		b by : (Name, an Diego Plannir	filiation, address)	
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		100	03,2	San Diego CA			
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	760						
			130	Intensive (A	Type: (Describ	e)	
	-	The same	19	Intensive (A	icintecturar)		
			-0				
t PA4 Paragraph CV (CV)		II II\		<u> </u>			
* P11. Report Citation: (Cite survey repo	ort/other sources or	"none")					
* Attachments: NONE Loca	tion Man Char	tch Man	Continuation	hoot D	ilding Ctr. ct	and Object Pager-	
	tion Map ☐ Ske ecord ☐ Linear Fe	tch Map	Continuation S Milling Stati	_	uliding, Structure lock Art Record	, and Object Record Artifact Record	
Photograph Record Other: (List)	Journ Lilleal Fe	aluie Necold		on NecoluR	OUN AIT NECOID	AIIIIaUI RECUIO	

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION BUILDING, STRUCTURE, AND OBJECT	Primary # HR #
	HR #
BUILDING. STRUCTURE. AND OBJECT	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $6Z$
* Resource Name or #: <u>3203 Euclid Avenue</u> , <u>476-151-32</u>	
B1. Historic Name:	
B2. Common Name	De la companya de la
•	B4. Present Use: Multi-Family Residential
* B5. Architectural Style: Contemporary * B6. Construction History: (Construction date, alterations, and date of	of alterations)
The two-story multi-family residence was constructed in 1958 per the Sa replacement of the composition roof with a new composition roof and the windows. The building is in good to fair condition and retains a good to	In Diego County Building Record. Modifications include the e replacement of the original windows with aluminum frame and sash
* B7. Moved? V No Yes Unknown Date* * B8. Related Features:	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house declaration</u>	b. Builder: Unknown
	esidential Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive	historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which ll house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically
Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development between Depression. The second phase of development (1935) Housing Authority (FHA) through the introduction of Mini of Spanish Eclectic homes is also seen during this phase. To continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	calarity of Spanish Eclectic architecture. Construction efore construction came to a halt with the onset of the -1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the e wake of the housing shortage following WWII. By the enearly built-out with only a few vacant lots remaining.
Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development between Depression. The second phase of development (1935) Housing Authority (FHA) through the introduction of Mini of Spanish Eclectic homes is also seen during this phase. To continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes): * B12. References:	se of development (1927-1931) is reflective of both the alarity of Spanish Eclectic architecture. Construction efore construction came to a halt with the onset of the -1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity he third phase of development (1945-1952) reflects the e wake of the housing shortage following WWII. By the
Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development between Depression. The second phase of development (1935) Housing Authority (FHA) through the introduction of Mini of Spanish Eclectic homes is also seen during this phase. To continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	se of development (1927-1931) is reflective of both the alarity of Spanish Eclectic architecture. Construction efore construction came to a halt with the onset of the -1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity he third phase of development (1945-1952) reflects the e wake of the housing shortage following WWII. By the enearly built-out with only a few vacant lots remaining.
Automobile Suburbs between 1926 and 1952. The first phas small house movement of the 1920's and the immense popular progressed steadily during the first phase of development be Great Depression. The second phase of development (1935) Housing Authority (FHA) through the introduction of Mini of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes): * B12. References: Refer to District Bibliography for References Used * B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	se of development (1927-1931) is reflective of both the alarity of Spanish Eclectic architecture. Construction efore construction came to a halt with the onset of the -1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity he third phase of development (1945-1952) reflects the e wake of the housing shortage following WWII. By the enearly built-out with only a few vacant lots remaining.

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #HR #			
DEPARTMENT OF PARKS AND RECREA	IION					
PRIMARY RECORD						
I KIMAKI KEGOKE	Other Listings		NRHP Status Code 6Z			
	Review Code					Date
Page1 of2						
* Resource Name or #: 3211 Euclid Av	renue, 476-241-06					
P1. Other Identifier:						
* P2. Location: Not for Publicati	on Unrestricted	а	a. County <u>San</u>	Diego		
b. USGS 7.5' Quad						
c. Address 3211 Euclid Avenue	e					
d. UTM: (Give more than one for lar	-			,		
e. Other Locational Data: (e.g. par			to resource, e	levation, addition	onal UTMs, etc.	as app
APN 476-241-06-00; Islen	air Unit #2, Block	/, Lot '/				
* P3a. Description: (Describe resource a	nd its maior elements. I	nclude desiar	n. materials. co	ondition, alteration	ns. size. settina.	and boundaries.)
The two-story multi-family resider		-			-	
flat roof with a slight eave and stud						
façade and are accessed via stairs v						
frame and sash windows.Refer to l						8
				J		
	HD2 M	. 1.10 11				
	es and codes) <u>HP3 M</u>					<u> </u>
	Structure Obj			Element of Di	_	•
P5a. Photograph or Drawing (Photogra	aph required for building	s, structures,	and objects)	P5b. Description	•	•
	and the same			Photo of the p		
				public right-o	f-wav.	
				* P6. Date Cons	_	
	TTIME			Prehistor	ic ✓ Historic	Both
	E CHE MINDER					
				1960 SD Cou		Record
4				* P7. Owner an Tran Family :		
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		BREE		San Diego Ca		
100		100	-	San Diego Ca	1 92190	<u> </u>
2000年	921	7		* D8 Pecorded	hv: (Name affi	iliation, address)
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	The state of the s	- 3		202 C Street, N		<u>z Dtairi</u>
		L		San Diego CA		
	-		1000			
		-	570	* P9. Date Reco	orded: $1/17/20$	007
		1	The same of the sa	* P10. Survey T	ype: (Describe	;)
		7		Intensive (Ar	chitectural)	
		THE PERSON NAMED IN	-			
* P11. Report Citation: (Cite survey report	t/other sources or "none	;")				
* Attachments: NONE Locati	. —		ontinuation She		-	and Object Record
☐ Archaeological Record ☑ District Rec	cord Linear Feature	Record	Milling Station	n Record ∐Ro	ock Art Record	Artifact Record
Photograph Record Other: (List)						

	Primary #
BUILDING, STRUCTURE, AND OBJECT REC	HR# CORD
·	NRHP Status Code <u>6Z</u>
* Resource Name or #: 3211 Euclid Avenue, 476-241-06	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: Multi-Family Residential B4.	Present Use: Multi-Family Residential
* B5. Architectural Style: Contemporary	·
* B6. Construction History: (Construction date, alterations, and date of alter The two-story multi-family residence was constructed in 1960 per San Diego C of the composition roof with a new composition roof and the replacement of the building is in good to fair condition and retains a good to fair degree of integri	County Building Record. Modifications include the replacement ne original windows with aluminum frame and sash windows. The
* B7. Moved? V No Yes Unknown Date Origin * B8. Related Features:	nal Location:
B9a. Architect: <u>Unknown</u> b. Bu * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	uilder: <u>Unknown</u> Area San Diego
Period of Significance 1926-1952 Property Type Residen	
(Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small house." San Diego's expansion away from the city core and beyond the land population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive che Traditional styles of the "small house" and "minimum house" constant the Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development (1935-1944). Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the wakend of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes):	architectural development. The neighborhood, which use" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically caracteristics of Spanish Eclectic and Minimal construction types during San Diego's development of development (1927-1931) is reflective of both the y of Spanish Eclectic architecture. Construction e construction came to a halt with the onset of the 1), reflects the work of the newly formed Federal Traditional style architecture. The fading popularity ird phase of development (1945-1952) reflects the ce of the housing shortage following WWII. By the try built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
* B14. Evaluator: <u>City San Diego Planning Staff</u> Date of Evaluation: <u>1/17/2007</u>	SSI FAIR SCHOOL

State of California The Resources Agen DEPARTMENT OF PARKS AND RECREAT						
PRIMARY RECORD						
	Other Listings					
	Review Code	_ Reviewer _				_Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3237 Euclid Av	enue, APN 476-241-	-04				
P1. Other Identifier:				~.		
	on Unrestricted			n Diego		
b. USGS 7.5' Quad c. Address 3237 Euclid Avenue						
d. UTM: (Give more than one for large),		
e. Other Locational Data: (e.g. paro	-					
APN 476-241-04-00; Islen			,	,	, , , , , ,	
* P3a. Description: (Describe resource at The commercial auto-garage at 323 painted cement block walls. Fenest BSOR Section B.6. for modification	37 Euclid Avenue is ration consists of la	a utilitaria rge opening	n structur	e built in 1968	and features	a flat roof and
	es and codes) <u>HP6 1-3</u>					
	Structure Obje		District	Element of Dis		
P5a. Photograph or Drawing (Photogra	ph required for buildings,	, structures, a	nd objects)	P5b. Description Photo of the p	•	
		1	nd all	public right-o	• ,	
		EUC	EPAIN	* P6. Date Cons	structed/Age an	d Sources:
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3737 POREM ARE DOREST	C BODY	of Figure	AL			
	(Qrugs			* P8. Recorded	by: (Name, affi	liation, address)
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AVIOL	P 129	1	300	San Diego CA	92101	
		1 1		* P9. Date Reco	orded: 1/17/20	007
				* P10. Survey T		
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ETH VIV	and the same	THANK	1500			
* P11. Report Citation: (Cite survey repor	t/other sources or "none")				
* Attachments: NONE Location	on Map Sketch Ma	n Con	tinuation Sh	eet 🕡 Rui	Idina Structure	and Object Record
Archaeological Record District Rec			Milling Statio		ock Art Record	Artifact Record
Photograph Record Other: (List)		· · · · · · · · · · · · · · · · · · ·				

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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>6Z</u>
* Resource Name or #: 3237 Euclid Avenue, APN 476-241-04	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: Commercial	B4. Present Use: Commercial
* B5. Architectural Style: <u>Utilitarian</u>	
* B6. Construction History: (Construction date, alterations, and date The commercial auto-garage was constructed in 1968 per the San Dieg without historic photographs but appear to be minimal. The building is	o County Commercial Building Record. Modifications are unclear
* B7. Moved? No Yes Unknown Date * B8. Related Features:	Original Location:
DOs. Auskitant I Julyanovym	b Deither Halmorra
B9a. Architect: <u>Unknown</u>* B10. Significance: Theme <u>Early auto-oriented small house</u>	
	Commercial Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined The neighborhood of Islenair is historically significant as special element of San Diego's historical, social, economi is comprised of working-class homes reflective of the "sm San Diego's expansion away from the city core and beyon and population propelled the creation of new infrastructur significant under HRB Criterion C, as it embodies distinct	by theme, period, and geographic scope. Also address integrity.) a historic district under HRB Criterion A, as an intact and ic, and architectural development. The neighborhood, which hall house" movement, marked a new stage in the City of and the limits of natural topography as increases in mobility re and development to the east. Islenair is also historically tive characteristics of Spanish Eclectic and Minimal use" construction types during San Diego's development of the pularity of Spanish Eclectic architecture. Construction before construction came to a halt with the onset of the 5-1941), reflects the work of the newly formed Federal mimal Traditional style architecture. The fading popularity The third phase of development (1945-1952) reflects the work of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DESTRICT

State of California The Resources Agen DEPARTMENT OF PARKS AND RECREAT	•				
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PRIMARY RECORD					
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Page _1_ of _2_					
* Resource Name or #: 3243 Euclid Av	enue, 476-241-03				
P1. Other Identifier:					
	on Unrestricted	a. County <u>Sar</u>			
b. USGS 7.5' Quad					
c. Address 3243 Euclid Avenue					
d. UTM: (Give more than one for larger e. Other Locational Data: (e.g. parc			lovation additio		
APN 476-241-03-00; Islen:			nevation, additio	iiai O i wis, etc.	as app
* P3a. Description: (Describe resource at The commercial auto-repair and tir flat roof and painted stucco walls.) bars, and large openings at the gara analysis of integrity.	re shop at 3243 Euclid Ar Fenestration consists of	Avenue is a utilitate f aluminum doors	rian structure l and windows	built in 1958 with wrough	and features a tiron security
* P4. Resources Present: Building	es and codes) <u>HP6 1-3 str</u>	Site District	✓ Element of Dis	_ ,	
P5a. Photograph or Drawing (Photogra	ph required for buildings, str		P5b. Description	`	
			Photo of the p	• ,	
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		The same of the sa	* P7. Owner and		
The same of the sa	TOMOTION OF	TIVE	Phan Johnny		
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151120			202 C Street, N		
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* P11. Report Citation: (Cite survey repor	t/other sources or "none")				
* Attachments: NONE Location	on Map Sketch Map	Continuation She	eet	ding Structure	and Object Record
Archaeological Record District Rec	. —			ck Art Record	Artifact Record
Photograph Record Other: (List)		_ •			_=

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BUILDING, STRUCTURE, AND OBJECT RE	HR# CORD
·	NRHP Status Code 6Z
* Resource Name or #: <u>3243 Euclid Avenue</u> , <u>476-241-03</u>	
B1. Historic Name:	
B2. Common Name	
	Present Use: Commercial
* B5. Architectural Style: <u>Utilitarian</u>	
* B6. Construction History: (Construction date, alterations, and date of alte The commercial auto-garage was constructed in 1958 per the San Diego Coun without historic photographs but may include modification of the fenestration integrity.	ty Commercial Building Record. Modifications are unclear
* B7. Moved? V No Yes Unknown Date Origi * B8. Related Features:	nal Location:
	uilder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Comm	
(Discuss importance in terms of historical or architectural context as defined by theme The neighborhood of Islenair is historically significant as a histo-	
special element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small ho San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive ch Traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development before Great Depression. The second phase of development (1935-194) Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the wall end of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes):	architectural development. The neighborhood, which use" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically transcreristics of Spanish Eclectic and Minimal construction types during San Diego's development of development (1927-1931) is reflective of both the type of Spanish Eclectic architecture. Construction construction came to a halt with the onset of the 1), reflects the work of the newly formed Federal Traditional style architecture. The fading popularity ird phase of development (1945-1952) reflects the set of the housing shortage following WWII. By the try built-out with only a few vacant lots remaining.
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	Other Listings						
	Review Code	Reviewer_				Date	
Page <u>1</u> of <u>2</u>							
* Resource Name or #: 3255 Euclid A	venue, APN 476-2	241-02					
P1. Other Identifier:							
	ion <a>Unrestricted						
b. USGS 7.5' Quad							
c. Address 3255 Euclid Avenu							
d. UTM: (Give more than one for la				e,			
e. Other Locational Data: (e.g. pa			resource,	elevation, addit	onal UTMs, etc	as app	
APN 476-241-02-00; Islen	nair Unit #2, bloc	ck /, Lot 2					
* P3a. Description: (Describe resource at The two-story multi-family reside flat roof with a slight eave and stustairs with wrought iron railings.) Refer to BSOR Section B.6. for many contractions are secured by the statement of the statement of the statement of the security of the statement of the security of the statement of	nce at 3255 Eucli cco walls. The en Fenestration cons	d Avenue was atries to the un- ists of single p	built in 1 its are on ane slidin	958 in a conte the south faça	emporary stylade and are a	le and features a ccessed via	
* P4. Resources Present: Building	ites and codes) $\frac{HP3}{g}$ Structure $\frac{1}{g}$ saph required for build	Object Site	District	Element of D P5b. Description Photo of the	n of Photo: (Vie	ew, date, etc.)	
			A	public right-	of-wav.		
			2	* P6. Date Cor			
		16		Prehisto	ric ✓ Histori	c Both	
		W W		1958 SD Co		g Record	
		- A		* P7. Owner a		Thomas D	
		A 2		Falbo Peter of		1 nomas K	
				3941 Utah S San Diego C			
CONTRACTOR OF THE PARTY OF THE				San Diego C	<u>n 74104</u>		
			18.00		d by: (Name, at Diego Planni	filiation, address)	
SUCH		1		202 C Street,	MS 4A		
The second secon	discount of the last	- Comment	1200	San Diego CA	92101		
		STATE OF THE PERSON			1/17/2	2007	
BLE THE MILES	THE REAL PROPERTY.		6.0	* P9. Date Rec			
		TOW A	The second	* P10. Survey Intensive (A		oe)	
	-			michsive (A	cintectural)		
	N. MEI	STATE OF THE PARTY NAMED IN					
* P11. Report Citation: (Cite survey repo	ort/other sources or "n	one")					
	and sources or II	j					
* Attachments: NONE Loca	tion Map Sketch	n Map Con	tinuation Sh	neet 🗸 Bu	ilding, Structure	e, and Object Record	
☐ Archaeological Record ✓ District Re	. —	· — —	Milling Statio		ock Art Record	Artifact Record	
Photograph Record Other: (List)							

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code <u>6Z</u>
-	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: Multi-Family Residential
* B5. Architectural Style: Contemporary	
* B6. Construction History: (Construction date, alterations, and date of The two-story multi-family residence was constructed in 1958 per the Sa replacement of the composition roof with a new composition roof and the windows. The building is in good to fair condition and retains a good to	n Diego County Building Record. Modifications include the e replacement of the original windows with aluminum frame and sash
* B7. Moved? VNo Yes Unknown Date* * B8. Related Features:	Original Location:
* B10. Significance: Theme Early auto-oriented small house d	
	Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "small	
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	1 0 1 2
significant under HRB Criterion C, as it embodies distinctive	•
Traditional styles of the "small house" and "minimum hous	
Automobile Suburbs between 1926 and 1952. The first phase	**
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development be	7 1
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minin	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	*
end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	, , , , , , , , , , , , , , , , , , , ,
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
* B14. Evaluator: <u>City San Diego Planning Staff</u> Date of Evaluation: <u>1/17/2007</u>	ISLENAR HISTORICAL RISTERST

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #HR #			
PRIMARY RECORD			Code <u>6Z</u>			
	Other Listings			Doto		
	Review Code	Reviewer		Date		
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3275 Euclid Avo</u>	anua ADN 476 241	01				
P1. Other Identifier:	enue, AFN 470-241-	01				
	on Unrestricted	a. County <u>Sa</u>	n Diego			
b. USGS 7.5' Quad	Date	e; R	; 1/4 of1/4 of Sec	c; B.M.		
c. Address <u>3275 Euclid Avenue</u>						
d. UTM: (Give more than one for larger e. Other Locational Data: (e.g. parc			e,m			
APN 476-241-01-00; Islena			elevation, additional OTMS,	etc. as app		
	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,					
* P3a. Description: (Describe resource ar The commercial/industrial building utilitarian structure built in 1979 ar aluminum doors and windows with doors. Refer to BSOR Section B.6.	g at 3275 Euclid Ave nd features a flat root wrought iron securi	nue, located on the f and roughly textur ty bars, and large o	same lot as 4769 Thorn red stucco walls. Fenestr penings at the service ba	Street, is a ration consists of		
	es and codes) <u>HP6 1-3</u>		ouilding ✓Element of District □Ot	shor (loolatoo eta)		
			P5b. Description of Photo:	, ,		
P5a. Photograph or Drawing (Photogra	pn required for buildings,	structures, and objects)	Photo of the primary fa	` ' '		
			public right-of-way.			
		Million	* P6. Date Constructed/Ag	<u> </u>		
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	241200		☐ Prehistoric ✓ His	storic Both		
	NATIONAL	AL.	1979 SD County Build	ing Record		
	Carrie Control of the Control		* P7. Owner and Address:			
	23-67 mm		Valdez Jose R & Josef	ina		
	SUN SULT ST		3275 Euclid Avenue San Diego CA 92105			
	MIN CO		Sun Diezo Cri 72103			
	THE WALL	1/4	* P8. Recorded by: (Name			
		-	City of San Diego Plan	ning Staff		
District Control of the Control of t		100	202 C Street, MS 4A San Diego CA 92101			
		1-1-	* P9. Date Recorded: $1/1$			
		2	* P10. Survey Type: (Des Intensive (Architectura	cribe)		
TO COMPANY		37.39				
	the state of the s					
* P11. Report Citation: (Cite survey report	d/other sources or "none")					
* Attachments	on Mon Olevet M	Cambina and the Co	noot Abuilden Or	ture and Object Description		
* Attachments: NONE Location Archaeological Record ✓ District Record	on Map Sketch Map ord Linear Feature R			ture, and Object Record		
Photograph Record Other: (List)						

Out of Oalliands The Bassaca Assess	Diament.
State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	RECORD
Page <u>2</u> of <u>2</u>	* NRHP Status Code $\underline{6Z}$
* Resource Name or #: 3275 Euclid Avenue, APN 476-241-01	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: Commercial
* B5. Architectural Style: <u>Utilitarian</u>	
* B6. Construction History: (Construction date, alterations, and date of The commercial/industrial building was constructed in 1979 per the San without historic photographs. The building is in fair condition and retain	Diego County Commercial Building Record. Modifications are unclear
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features:	Original Location:
B9a. Architect: <u>Unknown</u>	b. Builder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house d</u>	
	ommercial/Indust Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined by The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularity during the first phase of development be Great Depression. The second phase of development (1935) Housing Authority (FHA) through the introduction of Minimal Spanish Eclectic homes is also seen during this phase. To continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was	theme, period, and geographic scope. Also address integrity.) Inistoric district under HRB Criterion A, as an intact and an architectural development. The neighborhood, which all house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal se" construction types during San Diego's development of use of development (1927-1931) is reflective of both the ularity of Spanish Eclectic architecture. Construction refore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity he third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
B11. Additional Resource Attributes: (List attributes and codes):	(Olastala and anthonous and a
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	INLEVALE HIS TORRULAL DISTRICT

State of California The Resources Agency		1	Primary #			
DEPARTMENT OF PARKS AND RECRE	ATION	1	HR #			
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PRIMARY RECORD		!	NRHP Status	Code 6Z		
	Other Listings					
	Review Code	Reviewer				Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3313 Euclid A	venue, APN 476-15	51-15				
P1. Other Identifier:	1101100, 1111111110110	71 15				
	ation Unrestricted		a County Sa	n Diego		
b. USGS 7.5' Quad		Jate	u: Оошну <u>Би</u> Т ∙ Р	· 1/4 of	1/4 of Sec :	В.М.
c. Address 3313 Euclid Aven						
d. UTM: (Give more than one for					mE/	
e. Other Locational Data: (e.g. p	-	•				
APN 476-151-15-00; Islo			to resource,	elevation, addition	onai OTMS, etc. a	э арр
* P3a. Description: (Describe resource The two-story multi-family resid medium pitch roof with composi obscured by a large two-car gara Refer to BSOR Section B.6. for the story of the sto	ence at 3313 Euclid tion shingles; a sligh ge. Fenestration con	Avenue want eave over sists of sing	as built in 1 chang; and s gle pane slic	951 in a conte stucco walls. T	mporary style a The building is	and features a largely
* P4. Resources Present: Buildin	outes and codes) <u>HP3 N</u> ing Structure Ob graph required for building	oject Site	District	P5b. Description	strict	date, etc.)
				Photo of the p	<u>primary façade</u>	from the
	N			public right-o	of-wav.	
	10				structed/Age and	
			-	Prehistor	ic 🗸 Historic	Both
_	7			ı 		
1		1			nty Building R	lecord
		1	August	* P7. Owner an		
				Aguilar Isabe		
		1		3315 Euclid <i>A</i>		
		18-7		San Diego CA	A 92105	
			1 (10)	, ———		
	- 1	1 -4			by: (Name, affilia	
					Diego Planning	Staff
	1 2 1	1		202 C Street, N	<u>MS 4A</u>	
			3	San Diego CA	92101	
- 00	STATE OF THE PARTY	215	1	*****	1/17/200	77
- W	STATE OF THE PARTY		200		orded: 1/17/200)/
Secretary of the			15-75	* P10. Survey T Intensive (Are	ype: (Describe)	
	THE RESERVE	HEIN	1235	micharye (Al)	ciiicciui ai i	
	THE REAL PROPERTY.	50000	10034			
PAA Barrant Cit at 1000		- 11)		-		
* P11. Report Citation: (Cite survey rep	ort/other sources or "non	ie")				
* Association - Dionit - Di	otion Mor. O. C	Aon 🗆 a	antinuation Of	east Tr	Idina Cturstini	nd Object Decemb
* Attachments: NONE Loc ☐ Archaeological Record ✓ District F	ation Map □ Sketch M Record □ Linear Featur		ontinuation Sh ∃Milling Statio		ilding, Structure, a ock Art Record	Artifact Record
☐ Photograph Record ☐ Other: (List		c ivecoin		ii NecoluRC	OU VII VECOIO	AIIIIAUI NEUUIU
	·					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT RE	
	NRHP Status Code <u>6Z</u>
* Resource Name or #: 3313 Euclid Avenue, APN 476-151-15	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: Multi-Family Residential B4.	Present Use: Multi-Family Residential
* B5. Architectural Style: Contemporary	
* B6. Construction History: (Construction date, alterations, and date of alterations are two-story multi-family residence was constructed in 1951 per the San Di	
the replacement of the composition roof with a new composition roof; the rep	
windows; and the addition of a large garage which completely obscures the b	
degree of integrity.	
	inal Location:
* B8. Related Features:	
B9a. Architect: <u>Unknown</u> b. E	builder Unknown
B9a. Architect: <u>Unknown</u> b. E * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Builder: <u>Unknown</u> Area San Diego
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by them	
The neighborhood of Islenair is historically significant as a historically	oric district under HRB Criterion A, as an intact and
special element of San Diego's historical, social, economic, and	d architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small ho	ouse" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyond the	
and population propelled the creation of new infrastructure and	
significant under HRB Criterion C, as it embodies distinctive c	
Traditional styles of the "small house" and "minimum house" of	
Automobile Suburbs between 1926 and 1952. The first phase of	
small house movement of the 1920's and the immense popular	
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	· · · · · · · · · · · · · · · · · · ·
Housing Authority (FHA) through the introduction of Minimal	
of Spanish Eclectic homes is also seen during this phase. The the	*
continued popularity of the Minimal Traditional style in the wa end of the third phase of development in 1952, Islenair was nea	
B11. Additional Resource Attributes: (List attributes and codes):	my built-out with only a few vacant lots femaning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
DIS. Remarks.	311 Suide Assess
	hand 3
a. a = . =	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORICAL DISTRICT

State of California The Resources Agency		F	Primary #				
DEPARTMENT OF PARKS AND RECREATION			HR #				
			Trinomial				
PRIMARY RECORD		ı	NRHP Status	Code 6L			
	Other Listings						
	Review Code	Reviewer				Date	
Page _ 1_ of _ 2_							
* Resource Name or #: 3427 Euclid A	venue, APN 476-15	1-07					
P1. Other Identifier:							
* P2. Location: Not for Publicat	ion Unrestricted	á	a. County <u>Sa</u>	n Diego			
b. USGS 7.5' Quad	D				_1/4 of Sec;	B.M.	
c. Address 3427 Euclid Avenu	ie		_City San I	Diego		Zip <u>92105</u>	
d. UTM: (Give more than one for la	rge and/or linear feature)	Zone	. ,	mE/	mN	
e. Other Locational Data: (e.g. pa APN 476-151-07; Islenain			to resource,	elevation, additio	nal UTMs, etc. as	s app	
* P3a. Description: (Describe resource The house at 3427 Euclid Avenue and features a multi-hipped roof; five concrete steps, is roughly censidewalk. Fenestration consists of analysis of integrity.	was built in 1938 in clay tile roof; clippe tered on the façade	n the Minired eaves; ar under a rou	nal Tradition nd a texture unded proje	onal style with ed stucco exteri ection. The enti	Art Moderne i or. The entry, ry door is set p	influences accessed via arallel to the	
* P4. Resources Present: Building	ites and codes) HP2 Signary Structure Objective Objectiv	ject Site	District	✓ Element of Disingular P5b. Description	trict Other (Iso	,	
		,-,,		Photo of the p	rimary façade	from the	
				public right-of	f-wav.		
					tructed/Age and		
Comme				Prehistori	c ✓ Historic	Both	
				1938 SD Cour	nty Property C	harac	
				* P7. Owner and		- Indiae	
				Ocampo Rose	ndo		
		Million S		3427 Euclid A			
(A) (A)				San Diego CA	. 92105		
SAME OF THE PARTY			E I IN	* P8 Recorded	by: (Name, affilia	tion address)	
		100			iego Planning		
				202 C Street, M	IS 4A		
	/ /w			San Diego CA 9) 2101		
THE RESERVE THE PARTY OF THE PA	M.		-	-	1 /17 /200		
The state of the s		1-15-	- Moving		rded: $\frac{1/17/200}{1}$)/	
	-			* P10. Survey Ty Intensive (Arc	/pe: (Describe)		
			1	Intensive (Arc	intecturar)		
	N. Color			-			
* P11. Report Citation: (Cite survey repo	art/other sources or "none	2")		l <u></u>			
	A COLICE SOULCES OF HOLE	~ <i> </i>					
* Attachments: NONE Loca	tion Map Sketch M	lap \(\bigcap \)Co	ontinuation Sh	neet Buil	ding, Structure, ar	nd Object Record	
- -	ecord Linear Feature		Milling Statio		_	Artifact Record	
Photograph Record Other: (List)							

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>6L</u>
* Resource Name or #: 3427 Euclid Avenue, APN 476-151-07	7
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
as opposed to composition shingle roofing; removal of the original hor the entry door; and the replacement of the wood frame windows with v condition and retains a fair to poor degree of integrity.	roperty Characteristics. Modifications include the use of clay tile roofing rizontal wood siding; the removal of the round portal vent; replacement of
A detached single car garage is located at the rear.	
A detached shighe car garage is focated at the rear.	
B9a. Architect: <u>Unknown</u>	h Builder Unknown
	e dev Area San Diego
	Residential Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined	
•	a historic district under HRB Criterion A, as an intact and
	ic, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "sn	•
	nd the limits of natural topography as increases in mobility
* * * *	re and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinc	•
	use" construction types during San Diego's development of
	hase of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense po	1 2 1
progressed steadily during the first phase of development	
Great Depression. The second phase of development (193	nimal Traditional style architecture. The fading popularity
of Spanish Eclectic homes is also seen during this phase.	
	the wake of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair w	
B11. Additional Resource Attributes: (List attributes and codes):	as hearry built-out with only a few vacant fots femaning.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
210. Romano.	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLENAIR HISTORIICAL DISTRICT

State of California The Resources Agency		F	Primary #				
DEPARTMENT OF PARKS AND RECRE	ATION	H	HR #				
		٦	Trinomial				
PRIMARY RECORD		ı	NRHP Status	Code 6L			
	Other Listings						
	Review Code	Reviewer				Date	
Page _ 1 of _ 2							
* Resource Name or #: 3435 Euclid A	venue, 476-151-06						
P1. Other Identifier:							
	tion Unrestricted	a	a. County Sa	n Diego			
b. USGS 7.5' Quad						В.М.	
c. Address 3435 Euclid Aven							
d. UTM: (Give more than one for I	arge and/or linear feature)	Zone	e,	mE/	mN	
e. Other Locational Data: (e.g. p. APN 476-151-06; Islenai			to resource,	elevation, additio	onal UTMs, etc. as	s арр	
* P3a. Description: (Describe resource The commercial building at 3435 flat roof; roughly textured stucco upper third of the storefront. Fen B.6. for modifications and analys	Euclid Avenue is a walls; and a heavy, estration consists of	contemporations,	ary comme slanted stu	rcial structure scco marquee r	built in 1946 arounning the leng	nd features a gth of the	
	utes and codes) <u>HP6 1</u> .		mmercial b		strict Other (Isc		
	graph required for building		and objects)	_	n of Photo: (View,	. ,	
1 3a. 1 notograph of Drawing (1 notog	graph required for building	js, structures,	and objects)		orimary façade		
		(40)			of-way.		
		City		* P6. Date Cons	structed/Age and	Sources:	
	1	of the	Service of the servic	Prehistor	ic Historic	Both	
			COL CALL DE				
15/1/12	-400		100		nty Building R	ecord	
500	IQUOR	-63		* P7. Owner an			
THE OFFIT & LA	CAU			Shaae Amer I			
MARINET	MILKIPARE	0		3435 Euclid A			
(REYS MAT NO.	12 49 QQ			San Diego CA	A 92105		
99t Aur Leis	WHITE SUE						
100 E 205 11°	10" (1		MINA MINA		by: (Name, affilia		
			(A chart	202 C Street, N	Diego Planning S	Stair	
				San Diego CA			
		16	Siles F				
		N.		* P9. Date Reco	orded: <u>1/17/200</u>	7	
	- State of S				ype: (Describe)		
- 10	The same of		1000	Intensive (Ar			
THE RESERVED TO SERVED TO		ALE S	A COL				
	100						
* P11. Report Citation: (Cite survey rep	ort/other sources or "none	e")					
	ation Map Sketch M		ontinuation Sh		ilding, Structure, an	_	
Archaeological Record ✓ District R		e kecora	Milling Statio	on Kecora □Ro	ock Art Record	_Artifact Record	
Photograph Record Other: (List)	· <u></u>						

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	
·	NRHP Status Code <u>6L</u>
* Resource Name or #: <u>3435 Euclid Avenue</u> , <u>476-151-06</u>	
B1. Historic Name:	
B2. Common Name Sunshine Market & Liquor	
	Present Use: Commercial
* B5. Architectural Style: Contemporary	
* B6. Construction History: (Construction date, alterations, and date of alterations and the commercial auto-garage was constructed in 1946 per the San Diego Courthe storefront window. The building is in fair condition and retains a fair to perform the storefront window.	nty Building Record. Modifications appear to include the infill of
* B7. Moved? No Yes Unknown Date Orig * B8. Related Features:	inal Location:
	uilder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	
Period of Significance 1926-1952 Property Type Comm	
(Discuss importance in terms of historical or architectural context as defined by them	
The neighborhood of Islenair is historically significant as a hist	
special element of San Diego's historical, social, economic, and	d architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "small ho	
San Diego's expansion away from the city core and beyond the	•
and population propelled the creation of new infrastructure and	
	•
significant under HRB Criterion C, as it embodies distinctive cl	
Traditional styles of the "small house" and "minimum house" c	
Automobile Suburbs between 1926 and 1952. The first phase o	f development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense populari	ty of Spanish Eclectic architecture. Construction
progressed steadily during the first phase of development befor	V 1
Great Depression. The second phase of development (1935-194	
Housing Authority (FHA) through the introduction of Minimal	
of Spanish Eclectic homes is also seen during this phase. The th	*
continued popularity of the Minimal Traditional style in the wa	
end of the third phase of development in 1952, Islenair was nea	rly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	3400 Dodd Amme
D13. Remarks.	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
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State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary #				
			al				
PRIMARY RECORD		NRHP S	Status Code <u>6Z</u>				
	Other Listings Review Code				Date		
Page <u>1</u> of <u>2</u>							
* Resource Name or #: 3449 Euclid	l Avenue, APN 476-1:	51-04					
P1. Other Identifier:							
	ication Unrestricted		ty San Diego				
b. USGS 7.5' Quad c. Address <u>3449 Euclid Av</u>							
d. UTM: (Give more than one f			Zone,				
e. Other Locational Data: (e.g APN 476-151-04; Isle	. parcel #, legal description	on, directions to reso					
* P3a. Description: (Describe resour The house at 3349 Euclid Ave hipped roof with composition concrete steps, is set to the right building is largely obscured by windows, which are not readily to BSOR Section B.6. for mod	nue was built in 1952 shingles; a slight eave at under a slight roof pagarage. Fenestration y visible. Wrought iro	in the Minimal Tr overhang; and stu projection. The en n consists of 1-oven n security bars have	aditional style and acco walls. The ent try door is set para er-1 double hung a	features a medi ry, accessed via llel to the sidew luminum frame	um pitch three alk. The and sash		
	tributes and codes) $\frac{HP2.5}{O}$	Single family prop		strict Other (Iso	olates, etc.)		
P5a. Photograph or Drawing (Photograph or Drawing) * P11. Report Citation: (Cite survey)	ptograph required for building	gs, structures, and ob	P5b. Description Photo of the public right-(* P6. Date Con Prehisto) 1952 SD Cou P7. Owner ar Walker Faming 3449 Euclid San Diego C * P8. Recorded City of San I 202 C Street, San Diego CA * P9. Date Rec	n of Photo: (View, oprimary façade of-way, structed/Age and structed/Age a	date, etc.) from the Sources: Both ecord tion, address) Staff		
	ocation Map Sketch	. —		ilding, Structure, an			
☐ Archaeological Record☐ Photograph Record☐ Other: (L	ct Record	re kecora Milling	Station Record R	ock Art Record	Artifact Record		

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJEC	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 6Z
* Resource Name or #: 3449 Euclid Avenue, APN 476-151-0	04
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B7. Moved? No Yes Unknown Date * B8. Related Features: A detached garage is located in front of the house	Original Location:
A detached garage is located in front of the house.	
B9a. Architect: Unknown	b. Builder: <u>Unknown</u>
* B10. Significance: Theme Early auto-oriented small house	se dev Area San Diego
	Residential Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as define	
	as a historic district under HRB Criterion A, as an intact and
	mic, and architectural development. The neighborhood, which
is comprised of working-class homes reflective of the "s	small house" movement, marked a new stage in the City of
San Diego's expansion away from the city core and beyon	ond the limits of natural topography as increases in mobility
	ure and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distin	•
	ouse" construction types during San Diego's development of
	**
•	phase of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense p	
	nt before construction came to a halt with the onset of the
•	935-1941), reflects the work of the newly formed Federal
•	finimal Traditional style architecture. The fading popularity
-	e. The third phase of development (1945-1952) reflects the
	the wake of the housing shortage following WWII. By the
	was nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
D40 Daniela	34dl Scotch Annous
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
	ISLEMAIR HIS TORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #			
PRIMARY RECORD	Trinomial			
Other Listings				
Review Code Re	eviewerDate			
Page 1_ of 2_ * Resource Name or #: 3457 Euclid Avenue, APN 476-151-03 P1. Other Identifier:				
	a. County <u>San Diego</u>			
	;;			
d. UTM: (Give more than one for large and/or linear feature)	Zone,mE/mN			
e. Other Locational Data: (e.g. parcel #, legal description, dire APN 476-151-03-00; Islenair Unit #1, Block 1, Lo				
* P3a. Description: (Describe resource and its major elements. Include The commercial/industrial building at 3457 Euclid Avenue roof and cement block walls. Fenestration consists of alumbays with roll-up doors. Refer to BSOR Section B.6. for many contents of the property of the propert	e is a utilitarian structure built in 1973 and features a flat ninum doors and windows, and large openings at the service			
* P3b. Resource Attributes: (List attributes and codes) <u>HP6 1-3 stc</u> * P4. Resources Present: ☑ Building ☐ Structure ☐ Object P5a. Photograph or Drawing (Photograph required for buildings, stru	☐ Site ☐ District ☐ District ☐ Other (Isolates, etc.)			
THE RESERVE OF THE PARTY OF THE	1973 SD County Building Record * P7. Owner and Address: Western Book C/O John Mankin 8585 Foucaud Way San Diego CA 92129 * P8. Recorded by: (Name, affiliation, address)			
	City of San Diego Planning Staff 202 C Street, MS 4A San Diego CA 92101 * P9. Date Recorded: 1/17/2007 * P10. Survey Type: (Describe) Intensive (Architectural)			
* P11. Report Citation: (Cite survey report/other sources or "none")				
* Attachments: NONE Location Map Sketch Map Archaeological Record District Record Linear Feature Reco Photograph Record Other: (List)	☐ Continuation Sheet ☑ Building, Structure, and Object Record ord ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record			

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT I	
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code $6\overline{Z}$
* Resource Name or #: <u>3457 Euclid Avenue</u> , APN 476-151-03	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: Commercial	B4. Present Use: <u>Commercial</u>
* B5. Architectural Style: <u>Utilitarian</u>	
* B6. Construction History: (Construction date, alterations, and date of The commercial/industrial building was constructed in 1973 per the San Building Record. The building is in fair condition and retains a good degree.	Diego County Building Record. No modifications are shown on the
* B7. Moved? No Yes Unknown Date * B8. Related Features:	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house de</u>	b. Builder: <u>Unknown</u> ev Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Co	mmercial/Indust Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	•
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	and development to the east. Islenair is also historically
significant under HRB Criterion C, as it embodies distinctive	e characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house	e" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase	
small house movement of the 1920's and the immense popu	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minir	•
of Spanish Eclectic homes is also seen during this phase. Th	the third phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
D42 Describer	145 Stated France
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: <u>1/17/2007</u>	
(This space reserved for official comments.)	
	A A A A A A A A A A A A A A A A A A A
	ISLANAIR HISTORICAL DISTRICT

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION			Primary # HR #					
				Trinomial				
PR	IMARY RECORD	.		NRHP Status	Code <u>6Z</u>			
		Other Listings Review Code		er			Date	
Page	e <u>1</u> of <u>2</u>							
_	ource Name or #: 3461 Euclid A	venue, APN 476-	151-02					
P1.								
P2.		ion U nrestricte		-	n Diego			
	b. USGS 7.5' Quad c. Address 3461 Euclid Avenu							
	d. UTM: (Give more than one for la				e,			
	e. Other Locational Data: (e.g. par	-						
	APN 476-151-02-00; Islen							
P3a.	Description: (Describe resource a	and its major element	s. Include desi	ign, materials,	condition, alteration	ons, size, setting,	and boundaries.)	
	commercial building at 3461							
	ical wood siding exterior. Fen					indows with	wrought iron	
secu	rity bars. Refer to BSOR Sect	ion B.6. for mod	ifications an	d analysis o	of integrity.			
	D. Art H. A. (User attalle)	tarana IID4	5 1 2 atomy as	ط امنوسوسوس	wildin a			
	<u>`</u>	tes and codes) <u>HP6</u>					Vanlatan ata V	
	Resources Present: Building		Object Site		, —	istrict Other (. ,	
P5a.	Photograph or Drawing (Photogr	aph required for build	dings, structures	s, and objects)	-	n of Photo: (View		
-						primary façad		
					* P6. Date Con	of-wav. structed/Age an	d Sources:	
					Prehisto	_		
				1	1948 SD Cor	unty Assessor	Record	
				101	* P7. Owner ar		100010	
	1	and the state of t		W 5734		Roseanne TR	·	
1	*		322		4561 49th St			
	The second section is not the second		CHICHARRONES	130	San Diego C	A 92115		
	CARNICERIA		— FAX-	CONTRACTOR OF THE PERSON NAMED IN COLUMN 1	l 			
bonil	PRODUCE (NIV ZAS	A STATE OF THE PARTY OF THE PAR			d by: (Name, affi Diego Plannin		
SALAD		A SECTION AND ADDRESS OF THE PARTY OF THE PA	N.		202 C Street,		g Stan	
			Along Africa America (a) 11 au		San Diego CA			
	A VIII MANAGEMENT	A						
10		11.1	A STATE OF	5	* P9. Date Rec	orded: $1/17/20$	007	
1	His	A CONTRACTOR	-			Type: (Describe	e)	
-					Intensive (A	rchitectural)		
		A COLUMN TO SERVICE STATE OF THE PARTY OF TH						
D14	Report Citation: (Cite survey repo	rt/other sources or "=	one")					
F11.	neport Gitation: (Cite survey repo	rvouler sources of "f	ione)					
Attac	chments: NONE Loca	ion Map Sketc	h Map \square (Continuation SI	heet 🗸 Bu	ilding, Structure,	and Object Record	
		cord Linear Fea	. —	Milling Station		ock Art Record	Artifact Record	
□ P	hotograph Record Other: (List)							

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	
	NRHP Status Code 6Z
0.461 F. 11.1 A. A. D.Y. 456 151 00	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: Commercial B4.	Present Use: Commercial
* B5. Architectural Style: Utilitarian	Commercial
* B6. Construction History: (Construction date, alterations, and date of alt	erations)
The commercial building was constructed in 1948 per the San Diego County historic photographs. The building is in fair condition and retains a poor degree	Commercial Building Record. Modifications are unclear without
* B7. Moved? ✔No Yes Unknown Date Orige * B8. Related Features:	ginal Location:
B9a. Architect: <u>Unknown</u> b. E * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	
Period of Significance 1926-1952 Property Type Comm	
(Discuss importance in terms of historical or architectural context as defined by then	
The neighborhood of Islenair is historically significant as a his special element of San Diego's historical, social, economic, an is comprised of working-class homes reflective of the "small he San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive of Traditional styles of the "small house" and "minimum house" and the immense popular progressed steadily during the first phase of development before Great Depression. The second phase of development (1935-194 Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The treatment of the third phase of development in 1952, Islenair was near the bound of the third phase of development in 1952, Islenair was near the statistical s	toric district under HRB Criterion A, as an intact and d architectural development. The neighborhood, which ouse" movement, marked a new stage in the City of e limits of natural topography as increases in mobility d development to the east. Islenair is also historically characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of of development (1927-1931) is reflective of both the lity of Spanish Eclectic architecture. Construction are construction came to a halt with the onset of the 41), reflects the work of the newly formed Federal. Traditional style architecture. The fading popularity hird phase of development (1945-1952) reflects the ake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
	INLENAIR HIS TORIU AL DONTROCT

State of California The Resources Age DEPARTMENT OF PARKS AND RECREA			•			
PRIMARY RECORD				Code 6Z		
	Other Listings					Date
	Review Code	Reviewer	「 <u></u>			Date
Page 1 of 2	ualid Avanua 176	241.05				
* Resource Name or #: <u>Vacant Lot, E</u>	ucha Avenue, 4/6-	-241-03				
P1. Other Identifier: * P2. Location: Not for Publica	tion U nrestricted	•	a County Sa	n Diego		
b. USGS 7.5' Quad			-			
c. Address <u>Vacant Lot, Eucli</u>						
				e,		
d. UTM: (Give more than one for lage of the continuation of the co	-					
APN 476-241-05-00; Isle			to resource,	elevation, additi	onai O i wis, etc	. as app
		,				
* P3a. Description: (Describe resource Parcel number 476-241-05 is an u	•	. Include desig	gn, materials, o	condition, alteration	ons, size, setting	, and boundaries.)
* P3b. Resource Attributes: (List attrib	utes and codes) HP39	Other				
•	g Structure C		District	✓ Element of D	istrict Other	(Isolates, etc.)
				, —	n of Photo: (Vie	
P5a. Photograph or Drawing (Photog	graph required for buildin	ngs, structures	, and objects)	Aerial Photo	•	,,,
		120	A STATE OF	Acmai Filoto		
	THE STREET		100	* P6. Date Con	structed/Age a	nd Sources:
	min forth		TO THE REAL PROPERTY.	Prehisto		
	19.14	THE REAL PROPERTY.	R.R. CHALLES			
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The second second	WALES BEAT	-	A A	* P7. Owner a	nd Address:	
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	W	The state of the s			1 Ranch Road	1
		-		Jamul CA 91		
	Silver of the last	3/4		Janua CA 91	.733	-
	1			* DO December	J. h /Nlama af	filiation address)
Carlotte Contraction	100	Name of Street	State of the last		a by : (Name, ar Diego Plannir	filiation, address)
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TO THE WAR THE	DESCRIPTION OF THE PARTY OF THE	-		Buil Diego Cr	1)2101	
14	THE REAL PROPERTY.		VICTOR -	* PQ Date Rec	orded: <u>1/17/2</u>	2007
The state of the s	PARK SOUND	AND INC.	11/25/5		Type: (Describ	
1000		No. of Particularies		Intensive (A		e)
		A-MARKET	1年10日	Intensive (71)	remiteetarar)	
	200	A SECOND	a dire			
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ne")				
	5.25th51 00th1000 01 TIO	,				
* Attachments: NONE Loca	ation Map Sketch	Мар ПС	ontinuation Sh	neet 🗸 Bu	ilding, Structure	, and Object Record
☐ Archaeological Record ✓ District R	. —		Milling Station		ock Art Record	Artifact Record
Photograph Record Other: (List)		_	-			

	Primary #
	HR#
BUILDING, STRUCTURE, AND OBJECT RE	
	NRHP Status Code <u>6Z</u>
·	
B1. Historic Name:	
B2. Common Name	Present Use: <u>Unimproved</u>
* B5. Architectural Style: n/a	Ommproved
* B6. Construction History: (Construction date, alterations, and date of alte	rations.)
n/a	,
* B7. Moved? ☐ No ☐ Yes ✔ Unknown DateOrigi	nal Location:
* B8. Related Features:	
n/a	
	uilder: n/a
* B10. Significance: Theme Early auto-oriented small house dev	
Period of Significance 1926-1952 Property Type unimp: (Discuss importance in terms of historical or architectural context as defined by theme	
The neighborhood of Islenair is historically significant as a historically	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	
San Diego's expansion away from the city core and beyond the	
and population propelled the creation of new infrastructure and	1 0 1 1
significant under HRB Criterion C, as it embodies distinctive ch	•
Traditional styles of the "small house" and "minimum house" c	•
Automobile Suburbs between 1926 and 1952. The first phase of	
small house movement of the 1920's and the immense popularit	•
progressed steadily during the first phase of development before	
Great Depression. The second phase of development (1935-194	
Housing Authority (FHA) through the introduction of Minimal	· · · · · · · · · · · · · · · · · · ·
of Spanish Eclectic homes is also seen during this phase. The th	aird phase of development (1945-1952) reflects the
continued popularity of the Minimal Traditional style in the wal	ke of the housing shortage following WWII. By the
end of the third phase of development in 1952, Islenair was near	rly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes):	(0)
* B12. References: Refer to District Bibliography for References Used	(Sketch map with north arrow required)
Refer to District Biologiaphy for References Used	
B13. Remarks:	
* B14. Evaluator: City San Diego Planning Staff	I I I I I I I I I I I I I I I I I I I
Date of Evaluation: 1/17/2007	
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	INLEVALE HISTORIC AL DISTRICT
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State of California The Resources Ag	ency		Primary #			
DEPARTMENT OF PARKS AND RECRE	ATION		HR #			
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PRIMARY RECORD			NRHP Status	Code 6L		
	Other Listings					
	Review Code	Reviewei	<u> </u>			Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3203 Isla Vist	Drive, APN 476-24	12-09				
P1. Other Identifier:						
* P2. Location: Not for Publication	ation Unrestricted		a. County Sa	n Diego		
b. USGS 7.5' Quad				; 1/4 of	_1/4 of Sec;	B.M.
c. Address 3203 Isla Vista Di				Diego		
d. UTM: (Give more than one for	arge and/or linear feature			e,		
e. Other Locational Data: (e.g. p	-	•				
APN 476-242-09-00; Isle			,	,		
1111 1 1 1 1 2 1 2 0 5 0 0 1 1 1 1 1		0, 200 >				
features a multi-hipped roof with porch, accessed via six concrete posts. The entry door is set paral and sash windows. Refer to BSO	steps, is set to the rig lel to the sidewalk. I	ght and fea Fenestration	tures a roof n consists o	extension supp f 8-lite slider a	ported by squa nd 16-lite fixe	re wood
* P4. Resources Present: Buildin	outes and codes) HP2 Sing Structure Ob graph required for building	oject Site	District	P5b. Description Photo of the p	strict □Other (Is n of Photo: (View, primary façade	date, etc.) from the
				public right-o	f-wav.	
					structed/Age and	
			- 100	Prehistori	c Historic	Both
			1			
notes 11			1		nd Sewer Reco	<u>ords</u>
A STREET !			1	* P7. Owner and		
THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS NA				Phan Huynh		
		-	The same	3550 Ruffin F		
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		NH S			iego Planning	Staff
	AND THE REAL PROPERTY.		Service .	202 C Street, N	1S 4A	
AND DESCRIPTION OF THE PERSON		116		San Diego CA	74101	
		/	Whole	* D0 Data Base	rded: 1/17/200)7
					·) /
				* P10. Survey T Intensive (Arc		
				IIICHSIVE (AIC	micetural)	
	-		2			
* D44 Deport Citations (Citations	out/othou ==	\alpha"\		I		
* P11. Report Citation: (Cite survey rep	out/other sources or "non	ie")				
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	ation Map Sketch N	. —	ontinuation Sh		Iding, Structure, a	_
	tecord Linear Featur	e kecord	Milling Station	on RecordRo	ck Art Record	Artifact Record
☐ Photograph Record ☐ Other: (List)					

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>6L</u>
* Resource Name or #: <u>3203 Isla Vist Drive</u> , <u>APN 476-242-09</u>	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: <u>SF Residential</u>	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1951 per water and sewer records. Modific composition roof, the use of textured stucco, and the replacement of the house is in fair condition and retains a fair to poor degree of integrity.	cations include the replacement of the composition roof with a new
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features:	Original Location:
	b. Builder: Brock Construction Company
* B10. Significance: Theme Early auto-oriented small house d	
(Discuss importance in terms of historical or architectural context as defined by	Applicable Criteria n/a
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic	
is comprised of working-class homes reflective of the "sma	•
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	•
significant under HRB Criterion C, as it embodies distinctive	
Traditional styles of the "small house" and "minimum hous	
Automobile Suburbs between 1926 and 1952. The first pha	se of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popu	ularity of Spanish Eclectic architecture. Construction
progressed steadily during the first phase of development be	efore construction came to a halt with the onset of the
Great Depression. The second phase of development (1935)	-1941), reflects the work of the newly formed Federal
Housing Authority (FHA) through the introduction of Mini	
of Spanish Eclectic homes is also seen during this phase. The	
continued popularity of the Minimal Traditional style in the	*
end of the third phase of development in 1952, Islenair was	
B11. Additional Resource Attributes: (List attributes and codes):	nearly valie out with only a rew vacant rots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	
B13. Remarks:	
* BAA Fundami City Can Diago Dlanning Stoff	2001 SLA WELL GREEK
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	
(This space reserved for official Confinence.)	
	ISLENAIR HISTORICAL DISTRICT

State of California The Resources Age DEPARTMENT OF PARKS AND RECREA			•			
PRIMARY RECORD				s Code <u>6Z</u>		
	Other Listings					
	Review Code	Reviewe	r			_Date
Page 1 of 2		0.40.40				
* Resource Name or #: <u>3232 Isla Vist</u>	<u>a Drive, APN 476</u>	-242-13				
P1. Other Identifier:			~			
	tion Unrestricted		-			
b. USGS 7.5' Quad						
c. Address 3232 Isla Vista Dr						
d. UTM: (Give more than one for la	-			e,		
e. Other Locational Data: (e.g. pa APN 476-242-13-00; Isle			to resource,	elevation, additi	onai UTMS, etc.	as app
* P3a. Description: (Describe resource The house at 3232 Isla Vista Driv side gable roof with composition exterior. The entry porch, accesse by a turned spindle wood post. The lite single pane fixed vinyl window added to the north side of the house Section B.6. for modifications and	ye was built in 193 shingles; clipped od via three concrete entry door is seen and 4-over-4 do use and a front-factory.	s5 in the Mireaves; vertice te steps, is step to perpendicuble hung ving gable see	nimal Tradit cal wood side set to the rigularly to the rinyl frame	tional style and ling in the gab ght and feature sidewalk. Fen and sash wind	d features a mode end; and a t s a roof extens estration consows. A carpor	edium pitch extured stucco sion supported ists of a nine- t has been
* P4. Resources Present: Buildin	utes and codes) $\frac{\mathrm{HP2}}{\mathrm{g}}$ g Structure g	Object Site	District	✓ Element of D P5b. Description	strict Other (n of Photo: (View primary façad	v, date, etc.)
				public right-	of-wav. structed/Age and	
				1935 Water a	and Sewer Red	cords
				* P7. Owner ar	nd Address:	
THE ST					<u> David & Yurir</u>	1
- Marie				3232 Isla Vis		
1	- A		H	San Diego C	A 92105	
	A THE					
					orded: $1/17/20$	
			- NO. 25		Type: (Describe)
		1	Lay Control	Intensive (A	cnitectural)	
	1					
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* P11. Report Citation: (Cite survey rep	ort/other sources or "n	one")				
		., .				
-	ation Map Sketch		Continuation St		ilding, Structure, ock Art Record	and Object Record Artifact Record
☐ Archaeological Record ☐ District R☐ Photograph Record ☐ Other: (List)		uie Necolu [Milling Station	on RecordR	OUR AIT RECOID	Attilact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	CORD
	NRHP Status Code 6Z
* Resource Name or #: 3232 Isla Vista Drive, APN 476-242-13	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of alterations was constructed in 1935 per water and sewer records. Modification composition roof; the use of textured stucco; the replacement of the original vand the second story addition. The house is in good condition and retains a position of the condition of the property of the condition and retains a position of the condition and retains a position of the condition and retains a position of the condition of the condi	ns include the replacement of the composition roof with a new wood frame windows with vinyl windows; the addition of a carport;
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrig * B8. Related Features:	inal Location:
B9a. Architect: <u>Unknown</u> b. B * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	uilder: AP Rotta
Period of Significance 1926-1952 Property Type Reside	
(Discuss importance in terms of historical or architectural context as defined by them	
The neighborhood of Islenair is historically significant as a hist	
special element of San Diego's historical, social, economic, and	
is comprised of working-class homes reflective of the "small ho	
San Diego's expansion away from the city core and beyond the	1 0 1 1
and population propelled the creation of new infrastructure and	•
significant under HRB Criterion C, as it embodies distinctive cl	
To division 1 -4-1 C41 - % 11 1 22 4 % in increase 1 22 -	
Traditional styles of the "small house" and "minimum house" of	onstruction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase o	onstruction types during San Diego's development of f development (1927-1931) is reflective of both the
Automobile Suburbs between 1926 and 1952. The first phase o small house movement of the 1920's and the immense populari	onstruction types during San Diego's development of f development (1927-1931) is reflective of both the ty of Spanish Eclectic architecture. Construction
Automobile Suburbs between 1926 and 1952. The first phase o small house movement of the 1920's and the immense populari progressed steadily during the first phase of development befor	onstruction types during San Diego's development of f development (1927-1931) is reflective of both the ty of Spanish Eclectic architecture. Construction e construction came to a halt with the onset of the
Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularing progressed steadily during the first phase of development before Great Depression. The second phase of development (1935-1946).	onstruction types during San Diego's development of f development (1927-1931) is reflective of both the ty of Spanish Eclectic architecture. Construction e construction came to a halt with the onset of the 1), reflects the work of the newly formed Federal
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State of California The Resources Agreement OF PARKS AND RECRE			•			
PRIMARY RECORD						
	Other Listings					
	Review Code	Reviewer	ſ			_Date
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3255 Isla Vist	<u>a Drive, APN 476-2</u>	242-02				
P1. Other Identifier:						
 -	tion Unrestricted		-			
b. USGS 7.5' Quad						
c. Address <u>3255 Isla Vista Dr</u>						
d. UTM: (Give more than one for I	-				mE/	
e. Other Locational Data: (e.g. pa APN 476-242-02-00; Isle			to resource,	elevation, addit	ional UTMs, etc.	as app
* P3a. Description: (Describe resource The house at 3255 Isla Vista Driv gable roof with composition shin projecting front gable bay and a sof single pane fixed and 1-over-1 undergone a number of additions Refer to BSOR Section B.6. for r	ye was built in 1947 gles; clipped eaves single car garage. T double hung alumi and modifications,	7 in the Min ; and a textunded the entry do inum frame which have	nimal Traditured stucco or is set par and sash we compromi	tional style an exterior. The callel to the side indows. The h	d features a mu entry is recess dewalk. Fenest nouse appears	ulti-hipped and ed behind a ration consists to have
* P4. Resources Present: Buildin	utes and codes) HP2 s g Structure O graph required for buildir	bject Site	District	P5b. Description	istrict Other (on of Photo: (View primary façad	, date, etc.)
				public right- * P6. Date Cor	of-wav. estructed/Age and oric Historic	d Sources:
			- 77	1947 Water	and Sewer Red	cords
		1	,	* P7. Owner a		
	Mar.				<u>rt and Marjorie</u>	e
	mer of			3255 Isla Vi		
	1	_	ulu - I al	San Diego C	A 92105	
					orded: 1/17/20 Type: (Describe rchitectural)	
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	ne")				
(One our vey rep		,				
* Attachments: NONE Local Archaeological Record District R			continuation Shalling Station		uilding, Structure, lock Art Record	and Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT I	RECORD
Page $\underline{2}$ of $\underline{2}$	* NRHP Status Code 6Z
* Resource Name or #: 3255 Isla Vista Drive, APN 476-242-02	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	D4. Tresent ose. ST Residential
* B6. Construction History: (Construction date, alterations, and date o	of alterations \
The house was constructed in 1947 per water and sewer records. Modific composition roof with a new composition roof; and the replacement of the condition and retains a poor degree of integrity.	cations include several additions/alterations; the replacement of the
* B7. Moved? No Yes Unknown Date * B8. Related Features:	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house do</u>	b. Builder: <u>Unknown</u>
	esidential Applicable Criteria n/a
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic, is comprised of working-class homes reflective of the "smal San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularized progressed steadily during the first phase of development (1935-Housing Authority (FHA) through the introduction of Minimof Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	and architectural development. The neighborhood, which all house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal e" construction types during San Diego's development of se of development (1927-1931) is reflective of both the alarity of Spanish Eclectic architecture. Construction refore construction came to a halt with the onset of the e-1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the nearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used B13. Remarks: * B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007	Selective District.
Date of Evaluation: 1/1//2007	
(This space reserved for official comments.)	ISLENAIR HISTORIC AL ROST RICT

State of California The Resources Agen DEPARTMENT OF PARKS AND RECREAT	-			
PRIMARY RECORD				
	Other Listings			Doto
	Review Code	Reviewei		Date
Page <u>1</u> of <u>2</u> * Resource Name or #: <u>3324 Isla Vista</u>]	Drive ADN 476 152	16		
P1. Other Identifier:	DIIVE, AI IN 470-132	-10		
	on Unrestricted	a. County <u>Sa</u>	an Diego	
b. USGS 7.5' Quad				
c. Address 3324 Isla Vista Driv				
d. UTM: (Give more than one for large				mE/mN
e. Other Locational Data: (e.g. paro APN 476-152-16-00; Islena			, elevation, addition	onai OTMS, etc. as app
* P3a. Description: (Describe resource ar The house at 3324 Isla Vista Drive tile shed roof along the parapet line hexagonal bay to the south; a textur via three concrete steps, is roughly timbers. The entry door is set perper frame window in the gable bay; and throughout. Refer to BSOR Section	was built in 1935 in and two projecting red stucco exterior; a centered between the endicularly to the sided 2-over-2 double hu	the Spanish Eclect bays that include a and a chimney at the two bays under a ewalk. Fenestration ng wood frame and	ic style and feat front gable bay e north elevation roof projection a consists of a land sash windows	tures a flat roof with a clay y to the north and a on. The main entry, accessed a supported by square wood arge 16-lite fixed wood
* P4. Resources Present: Building	es and codes) HP2 Sing Structure Object ph required for buildings,	t Site District	Element of Dispersion P5b. Description Photo of the	strict Other (Isolates, etc.) n of Photo: (View, date, etc.) primary façade from the of-way.
				structed/Age and Sources:
				nd Sewer Records
The same of the sa			* P7. Owner an Marquina Ga	
			3324 Isla Vis	
	2	1	San Diego Ca	A 92105
	3			
				by: (Name, affiliation, address) Diego Planning Staff
			202 C Street, N	
			San Diego CA	92101
THE RESERVE TO SERVE THE PARTY OF THE PARTY	No.		* DO Data Base	orded: 1/17/2007
SHERRY SERVICE VICTOR	1			Type: (Describe)
			Intensive (Ar	
The state of the s	-			
* P44 Penent Citation (Citations)	t/other courses as list and	_	1]	
* P11. Report Citation: (Cite survey report	vouter sources or "none")			
* Attachments: NONE Location	on Map Sketch Map	Continuation S	heet 🗸 Bu	ilding, Structure, and Object Record
	ord Linear Feature R	ecord Milling Stati	on Record Re	ock Art Record Artifact Record
Photograph Record Other: (List)				

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code 5D3
* Resource Name or #: <u>3324 Isla Vista Drive, APN 476-152-16</u>	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential	B4. Present Use: SF Residential
* B5. Architectural Style: Spanish Eclectic	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1935 per water and sewer records. Modific screens. The house is in good to fair condition and retains a good to fair condition.	ations include the use of textured stucco and the addition of window
* B7. Moved? ✓ No Yes Unknown Date * B8. Related Features:	Original Location:
A detached garage is located at the rear.	
B9a. Architect: <u>Unknown</u>	b. Builder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance 1926-1952 Property Type Re	
(Discuss importance in terms of historical or architectural context as defined by	
The neighborhood of Islenair is historically significant as a	
special element of San Diego's historical, social, economic,	
is comprised of working-class homes reflective of the "smal	
San Diego's expansion away from the city core and beyond	
and population propelled the creation of new infrastructure	
significant under HRB Criterion C, as it embodies distinctive	e characteristics of Spanish Eclectic and Minimal
Traditional styles of the "small house" and "minimum house	e" construction types during San Diego's development of
Automobile Suburbs between 1926 and 1952. The first phase	se of development (1927-1931) is reflective of both the
small house movement of the 1920's and the immense popu	
progressed steadily during the first phase of development be	
Great Depression. The second phase of development (1935-	
Housing Authority (FHA) through the introduction of Minir	
of Spanish Eclectic homes is also seen during this phase. The	*
continued popularity of the Minimal Traditional style in the	
end of the third phase of development in 1952, Islenair was	nearly built-out with only a few vacant lots remaining.
B11. Additional Resource Attributes: (List attributes and codes): * B12. References:	(Sketch map with north arrow required)
Refer to District Bibliography for References Used	(Sketci map with north arrow required)
Refer to District Biologiaphy for References Used	
	FERMIN
D42 Demorker	
B13. Remarks:	3356 BLA VETT SERVE
* B14. Evaluator: City San Diego Planning Staff	
Date of Evaluation: 1/17/2007	
(This space reserved for official comments.)	
(5-2-2 50 50 55 55	
	ISLENAIR HISTORIC AL GISTRICT

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET

Primary # HRI#

Trinomial

Page 1 of 1

*Resource Name or # (Assigned by recorder)

*Recorded by: City of San Diego City Planning Department *Date: 4/3/2007 ☐ Continuation ☑ Update

NRHP Status Code: 6L Address: 3324 Isla Vista Drive, APN 476-152-16

P3a. Description:

The house at 3324 Isla Vista Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a composite shingle shed roof along the parapet line and two projecting bays that include a front gable bay to the north and a hexagonal bay to the south; a textured stucco exterior; and a chimney at the north elevation. The main entry, accessed via three concrete steps, is roughly centered between the two bays under a roof projection supported by square wood timbers. The entry door is set perpendicularly to the sidewalk. Fenestration consists of asmall 16-lite sliding vinyl window which replaced a large 16-lite fixed wood frame window in the gable bay; and 2-over-2 double hung wood frame and sash windows in the hexagonal bay and throughout. Refer to Continuation Sheet Section B.6. for modifications and analysis of integrity.

P5a. Photograph or Drawing



P5b. Decription of Photo:

Photo of the primary façade from the Public right-of-way, taken 4/2/2007.

B.6 Construction History:

The house was constructed in 1935 per water and sewer records. Modifications include the use of textured stucco and the addition of window screens. Recent modifications since the January 17, 2007 survey include the replacement of the clay tile roof with composite shingles, the removal of the decorative wood elements adjacent to the windows on the hexagonal bay, and the removal of the large 16-lite fixed wood frame window which was replaced with a smaller, 16-lite sliding vinyl window. The house is in good to fair condition and retains a fair to poor degree of integrity.

B.10 Significance

Theme: Small House Movement, Residential Architecture, Planning Area: City of San Diego
Period of Significance: 1926-1952 Property Type: Single Family Residential Applicable Criteria: n/a

State of California The Resources Agen	•					
DEPARTMENT OF PARKS AND RECREAT	IION					
DDIMARY DECORD		Trinomial				
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	Review Code Revi	iewer			_Date	
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3333 Isla Vista	Drive, APN 476-160-18					
P1. Other Identifier:						
	on Unrestricted	a. County Sa				
b. USGS 7.5' Quad						
c. Address 3333 Isla Vista Driv						
d. UTM: (Give more than one for large				mE/		
e. Other Locational Data: (e.g. pare	•					
APN 476-160-18-00; Islen			cicvation, additi	onai O mis, etc.	ασ αρρ	
71111 170 100 10 00, 151611	an Cint #1, Block 3, Eot	9 19 una 20				
* P3a. Description: (Describe resource a						ries.)
The house at 3333 Isla Vista Drive						
composition shingles; a slight eave	overhang; and a concrete	e block exterior	The entry, w	which is at grad	le, is rougl	hly
centered under a roof projection su	pported by square wood	posts. The entry	y door is set p	arallel to the s	idewalk.	
Fenestration is not readily visible f	rom the public right of w	ay. A large add	ition at the fro	ont of the hous	se is currer	ntly
under construction. Refer to BSOR	1 0	•				<i>J</i>
under construction. Iteret to Be of	Beetion B.o. for mounte	allong and anal	9 515 01 1110 611	, .		
* P3b. Resource Attributes: (List attribute	es and codes) HP2 Single fa	amily property				
,	,	Site District	✓ Element of D	istrict Other (Isolates, etc.	.)
			, —	on of Photo: (View		,
P5a. Photograph or Drawing (Photogra	aph required for buildings, struct	tures, and objects)	-			
A P	子盖			primary façad		<u>; </u>
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The second secon			Luc Luan Ki			
			3333 Isla Vi	sta Drive		
2 4			San Diego C	A 92105		
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Start - The start of the start		T at V	* P8. Recorded	d by: (Name, affil	liation, addre	ess)
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		- Marie	San Diego CA			
		100	* P9. Date Rec	orded: $1/17/20$	007	
1				Type: (Describe		
7		1	Intensive (A		,	
* P11. Report Citation: (Cite survey repor	t/other sources or "none")		1-			
	201101 0001000 01 110110 /					
* Attachments: NONE Locati	on Map Sketch Map	Continuation Sh	neet 🗸 Bu	uilding, Structure,	and Object F	Record
	cord Linear Feature Record	_	_	lock Art Record	Artifact F	
Photograph Record Other: (List) _	_				_ _	

	Primary #
BUILDING, STRUCTURE, AND OBJECT RE	HR#
	NRHP Status Code 6Z
* Resource Name or #: 3333 Isla Vista Drive, APN 476-160-18	
B1. Historic Name:	
B2. Common Name	
	Present Use: SF Residential
* B5. Architectural Style: Ranch	
* B6. Construction History: (Construction date, alterations, and date of alterations was constructed in 1950 per water and sewer records. Modification composition roof and a new, large addition at the front of the property which is Standards. The house is in good condition and retains a poor degree of integrit	s include the replacement of the composition roof with a new s not in keeping with the U.S. Secretary of the Interior's
* B7. Moved? ☐ No ☐ Yes ✔ Unknown DateOrigin * B8. Related Features:	nal Location:
B9a. Architect: <u>Unknown</u> b. Bo * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	uilder: <u>Unknown</u> Area <u>San Diego</u>
Period of Significance 1926-1952 Property Type Reside	
	, period, and geographic scope. Also address integrity.)
(Discuss importance in terms of historical or architectural context as defined by theme	
(Discuss importance in terms of historical or architectural context as defined by theme The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small ho San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive characteristic traditional styles of the "small house" and "minimum house" conducted Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development (1935-194). Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the wall end of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes):	architectural development. The neighborhood, which use" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically aracteristics of Spanish Eclectic and Minimal onstruction types during San Diego's development of development (1927-1931) is reflective of both the y of Spanish Eclectic architecture. Construction construction came to a halt with the onset of the 1), reflects the work of the newly formed Federal Fraditional style architecture. The fading popularity ird phase of development (1945-1952) reflects the set of the housing shortage following WWII. By the rely built-out with only a few vacant lots remaining.
The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small ho San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive che Traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development (1935-194 Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the wall end of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes): * B12. References:	architectural development. The neighborhood, which use" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically aracteristics of Spanish Eclectic and Minimal construction types during San Diego's development of development (1927-1931) is reflective of both the y of Spanish Eclectic architecture. Construction a construction came to a halt with the onset of the li), reflects the work of the newly formed Federal Traditional style architecture. The fading popularity ird phase of development (1945-1952) reflects the see of the housing shortage following WWII. By the
The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small ho San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive characteristical traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development before Great Depression. The second phase of development (1935-194 Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the wall end of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes):	architectural development. The neighborhood, which use" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically aracteristics of Spanish Eclectic and Minimal onstruction types during San Diego's development of development (1927-1931) is reflective of both the y of Spanish Eclectic architecture. Construction construction came to a halt with the onset of the 1), reflects the work of the newly formed Federal Fraditional style architecture. The fading popularity ird phase of development (1945-1952) reflects the set of the housing shortage following WWII. By the rely built-out with only a few vacant lots remaining.
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The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small ho San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive che Traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development (1935-194 Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the wall end of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes): * B12. References: Refer to District Bibliography for References Used * B13. Remarks: * B14. Evaluator: City San Diego Planning Staff	architectural development. The neighborhood, which use" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically aracteristics of Spanish Eclectic and Minimal onstruction types during San Diego's development of development (1927-1931) is reflective of both the y of Spanish Eclectic architecture. Construction construction came to a halt with the onset of the 1), reflects the work of the newly formed Federal Fraditional style architecture. The fading popularity ird phase of development (1945-1952) reflects the set of the housing shortage following WWII. By the rely built-out with only a few vacant lots remaining.
The neighborhood of Islenair is historically significant as a historical element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small ho San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive ch Traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development (1935-194 Housing Authority (FHA) through the introduction of Minimal of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the wal end of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes): **B12. References: Refer to District Bibliography for References Used	architectural development. The neighborhood, which use" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically aracteristics of Spanish Eclectic and Minimal onstruction types during San Diego's development of development (1927-1931) is reflective of both the y of Spanish Eclectic architecture. Construction construction came to a halt with the onset of the 1), reflects the work of the newly formed Federal Fraditional style architecture. The fading popularity ird phase of development (1945-1952) reflects the set of the housing shortage following WWII. By the rely built-out with only a few vacant lots remaining.
The neighborhood of Islenair is historically significant as a histor special element of San Diego's historical, social, economic, and is comprised of working-class homes reflective of the "small ho San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure and significant under HRB Criterion C, as it embodies distinctive che Traditional styles of the "small house" and "minimum house" of Automobile Suburbs between 1926 and 1952. The first phase of small house movement of the 1920's and the immense popularity progressed steadily during the first phase of development before Great Depression. The second phase of development (1935-194 Housing Authority (FHA) through the introduction of Minimal' of Spanish Eclectic homes is also seen during this phase. The the continued popularity of the Minimal Traditional style in the wal end of the third phase of development in 1952, Islenair was near B11. Additional Resource Attributes: (List attributes and codes): * B12. References: Refer to District Bibliography for References Used * B13. Remarks:	architectural development. The neighborhood, which use" movement, marked a new stage in the City of limits of natural topography as increases in mobility development to the east. Islenair is also historically aracteristics of Spanish Eclectic and Minimal onstruction types during San Diego's development of development (1927-1931) is reflective of both the y of Spanish Eclectic architecture. Construction construction came to a halt with the onset of the 1), reflects the work of the newly formed Federal Fraditional style architecture. The fading popularity ird phase of development (1945-1952) reflects the set of the housing shortage following WWII. By the rely built-out with only a few vacant lots remaining.

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PRIMARY RECORD			Code <u>6Z</u>			
	Other Listings					
	Review Code Review	wer			Date	
Page _ 1_ of _ 2_						
* Resource Name or #: 3411 Isla Vista	a Drive, APN 476-160-15					
P1. Other Identifier:						
	tion Unrestricted	a. County Sa				
b. USGS 7.5' Quad						
c. Address 3411 Isla Vista Dr						
d. UTM: (Give more than one for la			e,			
e. Other Locational Data: (e.g. pa	,					
	nair Unit #2, Block 3, Lot 1		orovation, additi	ona. o m.o, oto	. ao app	
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dominant two-car garage; cross-g stucco and wood board and batter step, is recessed into the façade u consists of aluminum frame and s have been added above a main wi	n exterior; and a chimney at nder a roof projection. The ash fixed and slider window	the east eleva entry door is s vs with decora	tion. The entret parallel to take	y, accessed valk. the sidewalk. tters. Alumin	ria one con Fenestrati num awnin	crete on igs
* P4. Resources Present: Buildin	utes and codes) HP2 Single far g Structure Object S raph required for buildings, structu	Site District	✓ Element of D P5b. Description Photo of the public right- * P6. Date Con	n of Photo: (Vie primary faça of-way.	ew, date, etc.	e
			1957 Water: * P7. Owner at Phay Loeun 3411 Isla Vi:	ric Histori and Sewer Ro and Address: & Say Chhave sta Drive	ecords	
			* P8. Recorded City of San I 202 C Street, San Diego CA	d by : (Name, at Diego Plannin MS 4A		ess)
			* P9. Date Rec * P10. Survey Intensive (A	orded: $\frac{1/17/2}{2}$		
* P11. Report Citation: (Cite survey repo	ort/other sources or "none")		-			
	ation Map Sketch Map Cecord Linear Feature Record	Continuation Sh	_	uilding, Structure ock Art Record	e, and Object	

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT	
Page 2_ of 2_	* NRHP Status Code 6Z
* Resource Name or #: <u>3411 Isla Vista Drive</u> , <u>APN 476-160-15</u>	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Ranch	D4. Tresent osc. <u>ST Residential</u>
* B6. Construction History: (Construction date, alterations, and date of	of alterations)
The house was constructed in 1957 per water and sewer records. Modific composition roof; the replacement of some original wood frame window house is in good condition and retains a good degree of integrity.	cations include the replacement of the composition roof with a new
* B7. Moved? ✓ No Yes Unknown Date* * B8. Related Features:	Original Location:
B9a. Architect: <u>Unknown</u> * B10. Significance: Theme <u>Early auto-oriented small house decomposition</u>	b. Builder: Unknown
(Discuss importance in terms of historical or architectural context as defined by	Applicable Criteria n/a
The neighborhood of Islenair is historically significant as a special element of San Diego's historical, social, economic is comprised of working-class homes reflective of the "sma San Diego's expansion away from the city core and beyond and population propelled the creation of new infrastructure significant under HRB Criterion C, as it embodies distinctive Traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popularies progressed steadily during the first phase of development (1935). Housing Authority (FHA) through the introduction of Mini of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was B11. Additional Resource Attributes: (List attributes and codes):	historic district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which Il house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically we characteristics of Spanish Eclectic and Minimal se" construction types during San Diego's development of se of development (1927-1931) is reflective of both the charity of Spanish Eclectic architecture. Construction effore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal mal Traditional style architecture. The fading popularity the third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the enearly built-out with only a few vacant lots remaining.
* B12. References:	(Sketch map with north arrow required)
* B14. Evaluator: City San Diego Planning Staff Page of Evaluation: 1/17/2007	
Date of Evaluation: 1/17/2007	
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State of California The Resources Agreement OF PARKS AND RECRE	•		•			
DEFARTMENT OF FARRS AND RECRE	ATION					
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	Review Code					Date
Page _1_ of _2_						
* Resource Name or #: 3467 Isla Vist	a Drive, APN 476-	160-08				
P1. Other Identifier:						
* P2. Location: Not for Publica	tion 🗸 Unrestricted	d a	. County <u>Sa</u>	n Diego		
b. USGS 7.5' Quad						
c. Address <u>3467 Isla Vista Dr</u>						
d. UTM: (Give more than one for I	-				mE/	
e. Other Locational Data: (e.g. pa APN 476-160-08-00; Isle			o resource, (elevation, add	itional UTMs, etc	. as app
* P3a. Description: (Describe resource The house at 3467 Isla Vista Driv with red composition shingles; a The entry, accessed via two conc The entry door is set perpendicul windows. The two-car garage is a B.6. for modifications and analys	we was built in 193 slight eave overhaurete steps, is set to arly to the sidewal attached to the hou	9 in the Mining; and a student the right und k. Fenestration	mal Traditi cco exterior er a roof pron consists	ional style a r with brick rojection suj of 1-over-1	nd features a s veneer beneatl pported by five aluminum frar	ide gable roof n a bay window. e wood posts. ne and sash
* P4. Resources Present: Buildin	utes and codes) <u>HP2</u> g Structure C graph required for buildi	Object Site	District	P5b. Descript	District □Other ion of Photo: (Vie e primary faça	ew, date, etc.)
All ma				public right * P6. Date Co Prehis 1939 Water * P7. Owner Timm, Water	c-of-way. constructed/Age a toric Histori c and Sewer Reand Address: yne NSNS & T	nd Sources: c Both
The state of the s		400		1177 Gorsl El Cajon C		
		-	Sec. 16	Li Cajon C	A 92021	
				* P10. Surve	ecorded: 1/17/2 y Type: (Describ Architectural)	
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	one")				
* Attachments:			ntinuation Sh Milling Statio	_	Building, Structure Rock Art Record	, and Object Record Artifact Record

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
BUILDING, STRUCTURE, AND OBJECT R	
Page _2_ of _2_	* NRHP Status Code 6L
* Resource Name or #: 3467 Isla Vista Drive, APN 476-160-08	
B1. Historic Name:	
B2. Common Name	
	4. Present Use: <u>SF Residential</u>
* B5. Architectural Style: Minimal Traditional * B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1939 per water and sewer records. Modifical composition roof; the replacement of the original wood frame windows with the use of brick veneer; the likely replacement of the wood porch post(s); a door. The house is in good condition and retains a fair to poor degree of in * B7. Moved? ✓ No ☐ Yes ☐ Unknown Date ☐ Control Post Contro	tions include the replacement of the composition roof with a new red th aluminum frame windows; the likely addition of the bay window; and the replacement of the original garage door with a new wood itegrity.
B9a. Architect: <u>Unknown</u> b * B10. Significance: Theme <u>Early auto-oriented small house de</u>	
Period of Significance 1926-1952 Property Type Res	
Comprised of Significance 1926-1952 Property Type Res (Discuss importance in terms of historical or architectural context as defined by the special element of San Diego's historically significant as a historical element of San Diego's historical, social, economic, a is comprised of working-class homes reflective of the "small San Diego's expansion away from the city core and beyond the and population propelled the creation of new infrastructure a significant under HRB Criterion C, as it embodies distinctive traditional styles of the "small house" and "minimum house Automobile Suburbs between 1926 and 1952. The first phase small house movement of the 1920's and the immense popular progressed steadily during the first phase of development (1935-1 Housing Authority (FHA) through the introduction of Minim of Spanish Eclectic homes is also seen during this phase. The continued popularity of the Minimal Traditional style in the end of the third phase of development in 1952, Islenair was mentioned to the second phase of development in the second phase of development in 1952, Islenair was mentioned to the third phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the third phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of development in 1952, Islenair was mentioned to the second phase of the second phase of the second phase of the s	istoric district under HRB Criterion A, as an intact and and architectural development. The neighborhood, which house" movement, marked a new stage in the City of the limits of natural topography as increases in mobility and development to the east. Islenair is also historically a characteristics of Spanish Eclectic and Minimal construction types during San Diego's development of a of development (1927-1931) is reflective of both the arity of Spanish Eclectic architecture. Construction fore construction came to a halt with the onset of the 1941), reflects the work of the newly formed Federal and Traditional style architecture. The fading popularity a third phase of development (1945-1952) reflects the wake of the housing shortage following WWII. By the
* B12. References:	(Sketch map with north arrow required)
* B14. Evaluator: City San Diego Planning Staff Date of Evaluation: 1/17/2007 (This space reserved for official comments.)	3967 USA NO 50, COOKS
	ISLENAIR HISTORICAL DISTRICT

State of California The Resources Ag DEPARTMENT OF PARKS AND RECRE			•			
PRIMARY RECORD						
	Other Listings Review Code					
Page <u>1</u> of <u>2</u>						
* Resource Name or #: 3517 Isla Vist	a Drive APN 476-	160-04				
P1. Other Identifier:	<u>u Diive, mii 470</u>	100 04				
	tion U nrestricted	1	a County Sa	n Diego		
b. USGS 7.5' Quad			-			
c. Address 3517 Isla Vista Di						
					mE/	
d. UTM: (Give more than one for I	-					
e. Other Locational Data: (e.g. pa APN 476-160-04-00; Isla			to resource,	elevation, additi	onai OTMS, etc.	аѕ арр
* P3a. Description: (Describe resource The house at 3517 Isla Vista Driv with composition shingles; a slig via two concrete steps, is set to the sidewalk. Fenestration consist openings. Refer to BSOR Section	we was built in 194 ht eave overhang was right of the bay ts of 1-over-1 doubt	6 in the Min with exposed under a roof ole hung vin	imal Tradit rafter tails; projection. yl frame and	ional style and and a stucco The entry do d sash window	d features a creexterior. The correction is set perpendicular to the correction of t	oss-gable roof entry, accessed adicularly to
	utes and codes) $\underline{HP2}$			✓ Element of D	istrict	Isolates, etc.)
P5a. Photograph or Drawing (Photog	graph required for buildi	ngs, structures	, and objects)	P5b. Description	n of Photo: (View	, date, etc.)
				Photo of the	primary façad	e from the
				public right-	of-wav.	
				* P6. Date Con	structed/Age and	d Sources:
		70000000000000000000000000000000000000		Prehisto	ric Historic	Both
- 100 MW		1000				
		76.x		1946 Water	and Sewer Rec	cords
	. 4000000	Mar and		* P7. Owner a		
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				3517 Isla Vi		
				San Diego C	A 92105	
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	The state of	100	100		by: (Name, affil	
					Diego Planning	g Staff
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1770	1000				, , , , , , , , , , , , , , , , , , , ,	
		and the last live	100			
* P11. Report Citation: (Cite survey rep	ort/other sources or "no	one")				
(55 5 (55 5 15)		/				
* Attachments: NONE Loc	ation Map Sketch	Мар ПС	ontinuation Sh	neet Bu	ilding, Structure,	and Object Record
☐ Archaeological Record ✓ District R	. —	ure Record	Milling Statio		ock Art Record	Artifact Record
Photograph Record Other: (List)	l		-	_ _		

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION	Primary #
BUILDING, STRUCTURE, AND OBJECT F	
Page <u>2</u> of <u>2</u>	* NRHP Status Code <u>6L</u>
* Resource Name or #: 3517 Isla Vista Drive, APN 476-160-04	
B1. Historic Name:	
B2. Common Name	
	B4. Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	
* B6. Construction History: (Construction date, alterations, and date of The house was constructed in 1946 per water and sewer records. Modifica composition roof; and the replacement of the original 6-over-6 wood fram openings. The house is in good to fair condition and retains a fair to poor	ations include the replacement of the composition roof with a new ne windows with 1-over-1 vinyl frame windows in new and/or enlarged
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of Spanish Eclectic homes is also seen during this phase. Th	e third phase of development (1945-1952) reflects the
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* Resource Name or #: 3525 Isla Vista Drive, APN 476-160-03 B1. Historic Name:	
B2. Common Name	December CF Decidential
B3. Original Use: <u>SF Residential</u> * B5. Architectural Style: <u>Minimal Traditional</u>	Present Use: SF Residential
* B6. Construction History: (Construction date, alterations, and date of a The house was constructed in 1946 per water and sewer records. Modificati composition roof; and the replacement of the original double hung and 16-linew and/or enlarged openings. The house is in good to fair condition and re	ons include the replacement of the composition roof with a new ite fixed wood frame windows with sliding vinyl frame windows in
* B7. Moved? No Yes Unknown Date Ori B8. Related Features:	iginal Location:
* B10. Significance: Theme <u>Early auto-oriented small house dev</u> Period of Significance 1926-1952 Property Type <u>Resid</u>	dential Applicable Criteria n/a
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BUILDING, STRUCTURE, AND OBJECT RE	
	NRHP Status Code 6Z
* Resource Name or #: 4750-66 Thorn Street, APN 476-151-16, 17 B1. Historic Name:	& 18
B2. Common Name B3. Original Use: Multi-Family Residential * B5. Architectural Style: Contemporary	
* B6. Construction History: (Construction date, alterations, and date of alte The multi-family residence was constructed in 1958 per MetroScan data. More new composition roof; the use of textured stucco; the replacement of the origin the addition of a cement block retaining wall and wood fence. The building is integrity.	difications include the replacement of the composition roof with a nal wood frame and sash windows with vinyl slider windows; and in good to fair condition and retains a good to fair degree of
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrigiter * B8. Related Features:	nal Location:
B9a. Architect: <u>Unknown</u> b. B * B10. Significance: Theme <u>Early auto-oriented small house dev</u>	Area <u>San Diego</u>
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P1. Other Identifier:						
P2. Location: Not for Publication	ation 🗸 Unrestrict	ed	a. County <u>Sa</u>	an Diego		
b. USGS 7.5' Quad						
c. Address <u>4769 Thorn Street</u>						Zip <u>92105</u>
d. UTM: (Give more than one for	•			e,		
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The entry, accessed via two cond		•		•	•	
Fenestration consists of aluminum				•	•	•
garage is attached to the house an			-	ouse has beer	stripped of o	ornamentation.
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DEPARTMENT OF PARKS AND RECREATION	Primary # HR #
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	* NRHP Status Code <u>6Z</u>
* Resource Name or #: 4769 Thorn Street, APN 476-241-01	
B1. Historic Name:	
B2. Common Name	
B3. Original Use: SF Residential B4.	Present Use: SF Residential
* B5. Architectural Style: Minimal Traditional	1 resent coe. St. Residential
* B6. Construction History: (Construction date, alterations, and date of alt	orations)
The house was constructed in 1939 per the San Diego County Building Reco with a new composition roof; the replacement of the original wood windows the replacement of the original garage door with a roll-up aluminum door. The	ord. Modifications include the replacement of the composition roof with aluminum windows; the removal of any ornamentation; and
* B7. Moved? ✓ No ☐ Yes ☐ Unknown DateOrig * B8. Related Features:	ginal Location:
	Builder: <u>Unknown</u>
* B10. Significance: Theme <u>Early auto-oriented small house dev</u>	
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Section 10

Islenair Historic District Designated April 26, 2007

Islenair

Appendix A Bibliography

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Appendix B: Development & Design Guidelines

Section 11

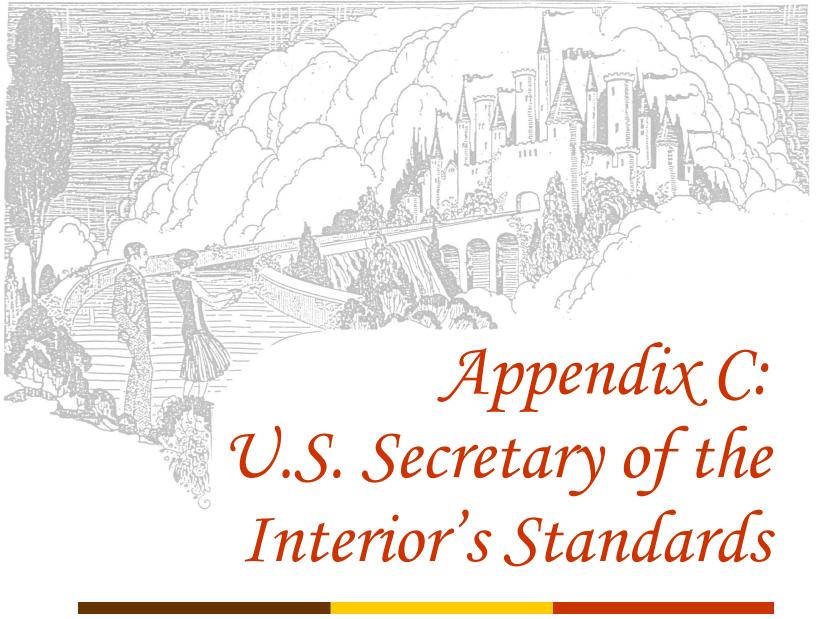
Islenair Historic District Designated April 26, 2007

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Appendix B Development and Design Guidelines

TO BE INSERTED

Following preparation and adoption of the Guidelines by the Historical Resources Board they will be inserted as Appendix C of the Islenair Geographic/Traditional Historic District document.



Section 12

Islenair Historic District Designated April 26, 2007

Islenair

Appendix C U.S. Secretary of the Interior's Standards

Included in this Appendix is the U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation Historic Buildings. These Standards and Guidelines are to be used in concert with the Islenair Development and Design Guidelines when designing additions to historic structures and infill within the historic district.

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Standards for Rehabilitation



Guidelines for Rehabilitating Historic Buildings

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.



Standards for Rehabilitation

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Guidelines for Rehabilitating Historic Buildings

Introduction

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.

Identify, Retain, and Preserve Historic Materials and Features

Like Preservation, guidance for the treatment Rehabilitation begins with recommendations to identify the form and detailing of those architectural materials and features that are important in defining the building's historic character and which must be retained in order to preserve that character. Therefore, guidance on *identifying, retaining, and preserving* character-defining features is always given first. The character of a historic building may be defined by the form and detailing of exterior materials, such as masonry, wood, and metal; exterior features, such as roofs, porches, and windows; interior

materials, such as plaster and paint; and interior features, such as moldings and stairways, room configuration and spatial relationships, as well as structural and mechanical systems.

Protect and Maintain Historic Materials and Features

After identifying those materials and features that are important and must be retained in the process of Rehabilitation work, then *protecting and maintaining* them are addressed. Protection generally involves the least degree of intervention and is preparatory to other work. For example, protection includes the maintenance of historic material through treatments such as rust removal, caulking, limited paint removal, and re-application of protective coatings; the cyclical cleaning of roof gutter systems; or installation of fencing, alarm systems and other temporary protective measures. Although a historic building will usually require more extensive work, an overall evaluation of its physical condition should always begin at this level.

Repair Historic Materials and Features

Next, when the physical condition of character-defining materials and features warrants additional work *repairing* is recommended. Rehabilitation guidance for the repair of historic materials such as masonry, wood, and architectural metals again begins with the least degree of intervention possible such as patching, piecing-in, splicing, consolidating, or otherwise reinforcing or upgrading them according to recognized preservation methods. Repairing also includes the limited replacement in kind—or with

Note: The Guidelines for Rehabilitating Historic Buildings in this chapter have already appeared in *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings*, published in 1992.





Originally built as single-family, semi-detached duplexes, these houses were rehabilitated for a new use as rental apartments. While some alteration to non-significant interior features and spaces was necessary in each one, the exteriors were essentially preserved. Photos: Mistick, Inc.

compatible substitute material—of extensively deteriorated or missing parts of features when there are surviving prototypes (for example, brackets, dentils, steps, plaster, or portions of slate or tile roofing). Although using the same kind of material is always the preferred option, substitute material is acceptable if the form and design as well as the substitute material itself convey the visual appearance of the remaining parts of the feature and finish.

Replace Deteriorated Historic Materials and Features

Following repair in the hierarchy, **Rehabilitation** guidance is provided for *replacing* an entire character-defining feature with new material because the level of deterioration or damage of materials precludes repair (for example, an exterior cornice; an interior

staircase; or a complete porch or storefront). If the essential form and detailing are still evident so that the physical evidence can be used to re-establish the feature as an integral part of the rehabilitation, then its replacement is appropriate. Like the guidance for repair, the preferred option is always replacement of the entire feature in kind, that is, with the same material. Because this approach may not always be technically or economically feasible, provisions are made to consider the use of a compatible substitute material.

It should be noted that, while the National Park Service guidelines recommend the replacement of an entire character-defining feature that is extensively deteriorated, they never recommend removal and replacement with new material of a feature that—although damaged or deteriorated—could reasonably be repaired and thus preserved.

Design for the Replacement of Missing Historic Features

When an entire interior or exterior feature is missing (for example, an entrance, or cast iron facade; or a principal staircase), it no longer plays a role in physically defining the historic character of the building unless it can be accurately recovered in form and detailing through the process of carefully documenting the historical appearance. Although accepting the loss is one possibility, where an important architectural feature is missing, its replacement is always recommended in the **Rehabilitation** guidelines as the *first* or preferred, course of action. Thus, if adequate historical, pictorial, and physical documentation exists so that the feature may be accurately reproduced, and if it is desirable to re-establish the feature as part of the building's historical appearance, then designing and constructing a new feature based on such information is appropriate. However, a *second* acceptable option for the replacement feature is a new design that is compatible with the remaining character-defining features of the historic building. The new design should always take into account the size, scale, and material of the historic building itself and, most importantly, should be clearly differentiated so that a false historical appearance is not created.

Alterations/Additions for the New Use

Some exterior and interior alterations to a historic building are generally needed to assure its continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes. Alterations may include providing additional parking space on an existing historic building site; cutting new entrances or windows on secondary elevations; inserting an additional floor; installing an entirely new mechanical system; or creating an atrium or light well. Alteration may also include the selective removal of buildings or other features of the environment or building site that are intrusive and therefore detract from the overall historic character.

The construction of an exterior addition on a historic building may seem to be essential for the new use, but it is emphasized in the **Rehabilitation** guidelines that such new additions should be avoided, if possible, and considered *only* after it is determined that those needs cannot be met by altering secondary, i.e., non character-defining interior spaces. If, after a thorough evaluation of interior solutions, an exterior addition is still judged to be the only viable alterative, it should be designed and constructed to be clearly differentiated from the historic building and so that the character-defining features are not radically changed, obscured, damaged, or destroyed.

Additions and alterations to historic buildings are referenced within specific sections of the **Rehabilitation** guidelines such as Site, Roofs, Structural Systems, etc., but are addressed in detail in *New Additions to Historic Buildings*, found at the end of this chapter.

Energy Efficiency/Accessibility Considerations/Health and Safety Code **Considerations**

These sections of the guidance address work done to meet accessibility requirements and health and safety code requirements; or retrofitting measures to improve energy efficiency. Although this work is quite often an important aspect of Rehabilitation projects, it is usually not a part of the overall process of protecting or repairing character-defining features; rather, such work is assessed for its potential negative impact on the building's historic character. For this reason, particular care must be taken not to radically change, obscure, damage, or destroy character-defining materials or features in the process of meeting code and energy requirements.

Rehabilitation as a Treatment When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular time is not appropriate, Rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for Rehabilitation should be developed.

Building Exterior

Masonry: Brick, stone, terra cotta, concrete, adobe, stucco and mortar

Recommended

Identifying, retaining, and preserving masonry features that are important in defining the overall historic character of the building such as walls, brackets, railings, cornices, window architraves, door pediments, steps, and columns; and details such as tooling and bonding patterns, coatings, and color.

Protecting and maintaining masonry by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved decorative features.

Cleaning masonry only when necessary to halt deterioration or remove heavy soiling.

Carrying out masonry surface cleaning tests after it has been determined that such cleaning is appropriate. Tests should be observed over a sufficient period of time so that both the immediate and the long range effects are known to enable selection of the gentlest method possible.

Not Recommended

Removing or radically changing masonry features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Replacing or rebuilding a major portion of exterior masonry walls that could be repaired so that, as a result, the building is no longer historic and is essentially new construction.

Applying paint or other coatings such as stucco to masonry that has been historically unpainted or uncoated to create a new appearance.

Removing paint from historically painted masonry.

Radically changing the type of paint or coating or its color.

Failing to evaluate and treat the various causes of mortar joint deterioration such as leaking roofs or gutters, differential settlement of the building, capillary action, or extreme weather exposure.

Cleaning masonry surfaces when they are not heavily soiled to create a new appearance, thus needlessly introducing chemicals or moisture into historic materials.

Cleaning masonry surfaces without testing or without sufficient time for the testing results to be of value.

Cleaning masonry surfaces with the gentlest method possible, such as low pressure water and detergents, using natural bristle brushes.

Inspecting painted masonry surfaces to determine whether repainting is necessary.

Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., handscraping) prior to repainting.

Applying compatible paint coating systems following proper surface preparation.

Repainting with colors that are historically appropriate to the building and district.

Evaluating the overall condition of the masonry to determine whether more than protection and maintenance are required, that is, if repairs to masonry features will be necessary.

Repairing masonry walls and other masonry features by repointing the mortar joints where there is evidence of deterioration such as disintegrating mortar, cracks in mortar joints, loose bricks, damp walls, or damaged plasterwork.

Removing deteriorated mortar by carefully hand-raking the joints to avoid damaging the masonry.

Not Recommended

Sandblasting brick or stone surfaces using dry or wet grit or other abrasives. These methods of cleaning permanently erode the surface of the material and accelerate deterioration.

Using a cleaning method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures.

Cleaning with chemical products that will damage masonry, such as using acid on limestone or marble, or leaving chemicals on masonry surfaces.

Applying high pressure water cleaning methods that will damage historic masonry and the mortar joints.

Removing paint that is firmly adhering to, and thus protecting, masonry surfaces.

Using methods of removing paint which are destructive to masonry, such as sandblasting, application of caustic solutions, or high pressure waterblasting.

Failing to follow manufacturers' product and application instructions when repainting masonry.

Using new paint colors that are inappropriate to the historic building and district.

Failing to undertake adequate measures to assure the protection of masonry features.

Removing nondeteriorated mortar from sound joints, then repointing the entire building to achieve a uniform appearance.

Using electric saws and hammers rather than hand tools to remove deteriorated mortar from joints prior to repointing.

Duplicating old mortar in strength, composition, color, and texture.

Duplicating old mortar joints in width and in joint profile.

Repairing stucco by removing the damaged material and patching with new stucco that duplicates the old in strength, composition, color, and texture.

Using mud plaster as a surface coating over unfired, unstabilized adobe because the mud plaster will bond to the adobe.

Cutting damaged concrete back to remove the source of deterioration (often corrosion on metal reinforcement bars). The new patch must be applied carefully so it will bond satisfactorily with, and match, the historic concrete.

Repairing masonry features by patching, piecing-in, or consolidating the masonry using recognized preservation methods. Repair may also include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of masonry features when there are surviving prototypes such as terra-cotta brackets or stone balusters.

Not Recommended

Repointing with mortar of high portland cement content (unless it is the content of the historic mortar). This can often create a bond that is stronger than the historic material and can cause damage as a result of the differing coefficient of expansion and the differing porosity of the material and the mortar.

Repointing with a synthetic caulking compound.

Using a "scrub" coating technique to repoint instead of traditional repointing methods.

Changing the width or joint profile when repointing.

Removing sound stucco; or repairing with new stucco that is stronger than the historic material or does not convey the same visual appearance.

Applying cement stucco to unfired, unstabilized adobe. Because the cement stucco will not bond properly, moisture can become entrapped between materials, resulting in accelerated deterioration of the adobe.

Patching concrete without removing the source of deterioration.

Replacing an entire masonry feature such as a cornice or balustrade when repair of the masonry and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the masonry feature or that is physically or chemically incompatible.

Rehabilitation

Recommended

Applying new or non-historic surface treatments such as water-repellent coatings to masonry only after repointing and only if masonry repairs have failed to arrest water penetration problems.

Replacing in kind an entire masonry feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples can include large sections of a wall, a cornice, balustrade, column, or stairway. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Applying waterproof, water repellent, or non-historic coatings such as stucco to masonry as a substitute for repointing and masonry repairs. Coatings are frequently unnecessary, expensive, and may change the appearance of historic masonry as well as accelerate its deterioration.

Removing a masonry feature that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Design for the Replacement of Missing Historic Features

Designing and installing a new masonry feature such as steps or a door pediment when the historic feature is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

Not Recommended

Creating a false historical appearance because the replaced masonry feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new masonry feature that is incompatible in size, scale, material and color.

Building Exterior

Wood: Clapboard, weatherboard, shingles, and other wooden siding and decorative elements

Recommended

Identifying, retaining, and preserving wood features that are important in defining the overall historic character of the building such as siding, cornices, brackets, window architraves, and doorway pediments; and their paints, finishes, and colors.

Protecting and maintaining wood features by providing proper drainage so that water is not allowed to stand on flat, horizontal surfaces or accumulate in decorative features.

Applying chemical preservatives to wood features such as beam ends or outriggers that are exposed to decay hazards and are traditionally unpainted.

Retaining coatings such as paint that help protect the wood from moisture and ultraviolet light. Paint removal should be considered only where there is paint surface deterioration and as part of an overall maintenance program which involves repainting or applying other appropriate protective coatings.

Not Recommended

Removing or radically changing wood features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the historic wood from a facade instead of repairing or replacing only the deteriorated wood, then reconstructing the facade with new material in order to achieve a uniform or "improved" appearance.

Radically changing the type of finish or its color or accent scheme so that the historic character of the exterior is diminished.

Stripping historically painted surfaces to bare wood, then applying clear finishes or stains in order to create a "natural look."

Stripping paint or varnish to bare wood rather than repairing or reapplying a special finish, i.e., a grained finish to an exterior wood feature such as a front door.

Failing to identify, evaluate, and treat the causes of wood deterioration, including faulty flashing, leaking gutters, cracks and holes in siding, deteriorated caulking in joints and seams, plant material growing too close to wood surfaces, or insect or fungus infestation.

Using chemical preservatives such as creosote which, unless they were used historically, can change the appearance of wood features.

Stripping paint or other coatings to reveal bare wood, thus exposing historically coated surfaces to the effects of accelerated weathering.

Inspecting painted wood surfaces to determine whether repainting is necessary or if cleaning is all that is required.

Removing damaged or deteriorated paint to the next sound layer using the gentlest method possible (handscraping and handsanding), then repainting.

Using with care electric hot-air guns on decorative wood features and electric heat plates on flat wood surfaces when paint is so deteriorated that total removal is necessary prior to repainting.

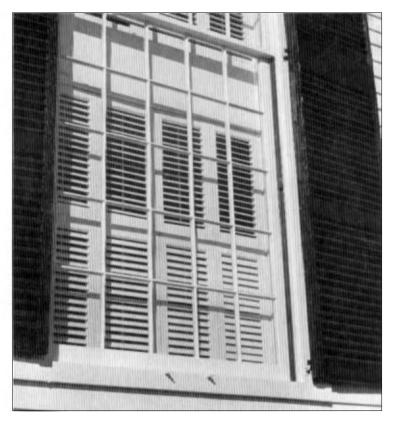
Not Recommended

Removing paint that is firmly adhering to, and thus, protecting wood surfaces.

Using destructive paint removal methods such as propane or butane torches, sandblasting or waterblasting. These methods can irreversibly damage historic woodwork.

Using thermal devices improperly so that the historic woodwork is scorched.





According to the Standards for Rehabilitation, existing historic materials should be protected, maintained and repaired. In an exemplary project, the windows and shutters of this historic residence were carefully preserved.

Using chemical strippers primarily to supplement other methods such as handscraping, handsanding and the above-recommended thermal devices. Detachable wooden elements such as shutters, doors, and columns may—with the proper safeguards—be chemically dip-stripped.

Applying compatible paint coating systems following proper surface preparation.

Repainting with colors that are appropriate to the historic building and district.

Evaluating the overall condition of the wood to determine whether more than protection and maintenance are required, that is, if repairs to wood features will be necessary.

Repairing wood features by patching, piecing-in, consolidating, or otherwise reinforcing the wood using recognized preservation methods. Repair may also include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of features where there are surviving prototypes such as brackets, molding, or sections of siding.

Replacing in kind an entire wood feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples of wood features include a cornice, entablature or balustrade. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Failing to neutralize the wood thoroughly after using chemicals so that new paint does not adhere.

Allowing detachable wood features to soak too long in a caustic solution so that the wood grain is raised and the surface roughened.

Failing to follow manufacturers' product and application instructions when repainting exterior woodwork.

Using new colors that are inappropriate to the historic building or district.

Failing to undertake adequate measures to assure the protection of wood features.

Replacing an entire wood feature such as a cornice or wall when repair of the wood and limited replacement of deteriorated or missing parts are appropriate.

Using substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the wood feature or that is physically or chemically incompatible.

Removing an entire wood feature that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

Rehabilitation

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended	Not Recommended
Design for the Replacement of Missing Historic Features	
Designing and installing a new wood feature such as a cornice or doorway when the historic feature is completely missing. It may be an accurate restoration using historical, pictorial and above and accurate restoration using historical pictorial.	Creating a false historical appearance because the replaced wood feature is based on insufficient historical, pictorial, and physical documentation.
rial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.	Introducing a new wood feature that is incompatible in size, scale, material and color.

Building Exterior

Architectural Metals: Cast iron, steel, pressed tin, copper, aluminum, and zinc

Recommended

Identifying, retaining, and preserving architectural metal features such as columns, capitals, window hoods, or stairways that are important in defining the overall historic character of the building; and their finishes and colors. Identification is also critical to differentiate between metals prior to work. Each metal has unique properties and thus requires different treatments.

Protecting and maintaining architectural metals from corrosion by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved, decorative features.

Cleaning architectural metals, when appropriate, to remove corrosion prior to repainting or applying other appropriate protective coatings.

Identifying the particular type of metal prior to any cleaning procedure and then testing to assure that the gentlest cleaning method possible is selected or determining that cleaning is inappropriate for the particular metal.

Not Recommended

Removing or radically changing architectural metal features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the historic architectural metal from a facade instead of repairing or replacing only the deteriorated metal, then reconstructing the facade with new material in order to create a uniform, or "improved" appearance.

Radically changing the type of finish or its historic color or accent scheme.

Failing to identify, evaluate, and treat the causes of corrosion, such as moisture from leaking roofs or gutters.

Placing incompatible metals together without providing a reliable separation material. Such incompatibility can result in galvanic corrosion of the less noble metal, e.g., copper will corrode cast iron, steel, tin, and aluminum.

Exposing metals which were intended to be protected from the environment.

Applying paint or other coatings to metals such as copper, bronze, or stainless steel that were meant to be exposed.

Using cleaning methods which alter or damage the historic color, texture, and finish of the metal; or cleaning when it is inappropriate for the metal.

Removing the patina of historic metal. The patina may be a protective coating on some metals, such as bronze or copper, as well as a significant historic finish.

Cleaning soft metals such as lead, tin, copper, terneplate, and zinc with appropriate chemical methods because their finishes can be easily abraded by blasting methods.

Using the gentlest cleaning methods for cast iron, wrought iron, and steel—hard metals—in order to remove paint buildup and corrosion. If handscraping and wire brushing have proven ineffective, low pressure grit blasting may be used as long as it does not abrade or damage the surface.

Applying appropriate paint or other coating systems after cleaning in order to decrease the corrosion rate of metals or alloys.

Repainting with colors that are appropriate to the historic building or district.

Applying an appropriate protective coating such as lacquer to an architectural metal feature such as a bronze door which is subject to heavy pedestrian use.

Evaluating the overall condition of the architectural metals to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary.

Repairing architectural metal features by patching, splicing, or otherwise reinforcing the metal following recognized preservation methods. Repairs may also include the limited replacement in kind—or with a compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balusters, column capitals or bases; or porch cresting.

Not Recommended

Cleaning soft metals such as lead, tin, copper, terneplate, and zinc with grit blasting which will abrade the surface of the metal.

Failing to employ gentler methods prior to abrasively cleaning cast iron, wrought iron or steel; or using high pressure grit blasting.

Failing to re-apply protective coating systems to metals or alloys that require them after cleaning so that accelerated corrosion occurs.

Using new colors that are inappropriate to the historic building or district.

Failing to assess pedestrian use or new access patterns so that architectural metal features are subject to damage by use or inappropriate maintenance such as salting adjacent sidewalks.

Failing to undertake adequate measures to assure the protection of architectural metal features.

Replacing an entire architectural metal feature such as a column or a balustrade when repair of the metal and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the architectural metal feature or that is physically or chemically incompatible.

Replacing in kind an entire architectural metal feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples could include cast iron porch steps or steel sash windows. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Removing an architectural metal feature that is unrepairable and not replacing it; or replacing it with a new architectural metal feature that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended	Not Recommended
Design for the Replacement of Missing Historic Features	
Designing and installing a new architectural metal feature such as a metal cornice or cast iron capital when the historic feature is completely missing. It may be an accurate restora-	Creating a false historical appearance because the replaced architectural metal feature is based on insufficient historical, pictorial, and physical documentation.
tion using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.	Introducing a new architectural metal feature that is incompatible in size, scale, material, and color.

Building Exterior

Roofs

Recommended

Identifying, retaining, and preserving roofs—and their functional and decorative features—that are important in defining the overall historic character of the building. This includes the roof's shape, such as hipped, gambrel, and mansard; decorative features such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

Protecting and maintaining a roof by cleaning the gutters and downspouts and replacing deteriorated flashing. Roof sheathing should also be checked for proper venting to prevent moisture condensation and water penetration; and to ensure that materials are free from insect infestation.

Providing adequate anchorage for roofing material to guard against wind damage and moisture penetration.

Protecting a leaking roof with plywood and building paper until it can be properly repaired.

Not Recommended

Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or "improved" appearance.

Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.

Applying paint or other coatings to roofing material which has been historically uncoated.

Failing to clean and maintain gutters and downspouts properly so that water and debris collect and cause damage to roof fasteners, sheathing, and the underlying structure.

Allowing roof fasteners, such as nails and clips to corrode so that roofing material is subject to accelerated deterioration.

Permitting a leaking roof to remain unprotected so that accelerated deterioration of historic building materials—masonry, wood, plaster, paint and structural members—occurs.

Repairing a roof by reinforcing the historic materials which comprise roof features. Repairs will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as cupola louvers, dentils, dormer roofing; or slates, tiles, or wood shingles on a main roof.

Replacing in kind an entire feature of the roof that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples can include a large section of roofing, or a dormer or chimney. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Replacing an entire roof feature such as a cupola or dormer when repair of the historic materials and limited replacement of deteriorated or missing parts are appropriate.

Failing to reuse intact slate or tile when only the roofing substrate needs replacement.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the roof or that is physically or chemically incompatible.

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended	Not Recommended

Design for the Replacement of Missing Historic Features

Designing and constructing a new feature when the historic feature is completely missing, such as chimney or cupola. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

Alterations/Additions for the New Use

Installing mechanical and service equipment on the roof such as air conditioning, transformers, or solar collectors when required for the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Designing additions to roofs such as residential, office, or storage spaces; elevator housing; decks and terraces; or dormers or skylights when required by the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Creating a false historical appearance because the replaced feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new roof feature that is incompatible in size, scale, material and color.

Installing mechanical or service equipment so that it damages or obscures character-defining features; or is conspicuous from the public right-of-way.

Radically changing a character-defining roof shape or damaging or destroying character-defining roofing material as a result of incompatible design or improper installation techniques.

Building Exterior

Windows

Recommended

Identifying, retaining, and preserving windows—and their functional and decorative features—that are important in defining the overall historic character of the building. Such features can include frames, sash, muntins, glazing, sills, heads, hoodmolds, panelled or decorated jambs and moldings, and interior and exterior shutters and blinds.

Conducting an indepth survey of the condition of existing windows early in rehabilitation planning so that repair and upgrading methods and possible replacement options can be fully explored.

Protecting and maintaining the wood and architectural metals which comprise the window frame, sash, muntins, and surrounds through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

Making windows weathertight by re-caulking and replacing or installing weatherstripping. These actions also improve thermal efficiency.

Not Recommended

Removing or radically changing windows which are important in defining the historic character of the building so that, as a result, the character is diminished.

Changing the number, location, size or glazing pattern of windows, through cutting new openings, blocking-in windows, and installing replacement sash that do not fit the historic window opening.

Changing the historic appearance of windows through the use of inappropriate designs, materials, finishes, or colors which noticeably change the sash, depth of reveal, and muntin configuration; the reflectivity and color of the glazing; or the appearance of the frame.

Obscuring historic window trim with metal or other material.

Stripping windows of historic material such as wood, cast iron, and bronze.

Replacing windows solely because of peeling paint, broken glass, stuck sash, and high air infiltration. These conditions, in themselves, are no indication that windows are beyond repair.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of the window results.

Retrofitting or replacing windows rather than maintaining the sash, frame, and glazing.

Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, i.e. if repairs to windows and window features will be required.

Repairing window frames and sash by patching, splicing, consolidating or otherwise reinforcing. Such repair may also include replacement in kind—or with compatible substitute material—of those parts that are either extensively deteriorated or are missing when there are surviving prototypes such as architraves, hoodmolds, sash, sills, and interior or exterior shutters and blinds.

Replacing in kind an entire window that is too deteriorated to repair using the same sash and pane configuration and other design details. If using the same kind of material is not technically or economically feasible when replacing windows deteriorated beyond repair, then a compatible substitute material may be considered.

Not Recommended

Failing to undertake adequate measures to assure the protection of historic windows.

Replacing an entire window when repair of materials and limited replacement of deteriorated or missing parts are appropriate.

Failing to reuse serviceable window hardware such as brass sash lifts and sash locks.

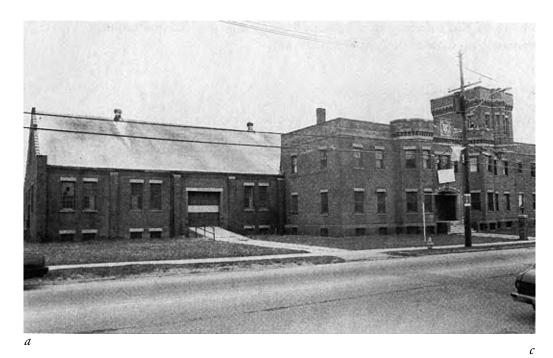
Using substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the window or that is physically or chemically incompatible.

Removing a character-defining window that is unrepairable and blocking it in; or replacing it with a new window that does not convey the same visual appearance.

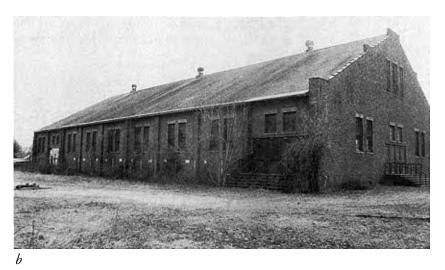
The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended	Not Recommended
Design for the Replacement of Missing Historic Features	
Designing and installing new windows when the historic windows (frames, sash and glazing) are completely missing. The replacement windows may be an accurate restoration	Creating a false historical appearance because the replaced window is based on insufficient historical, pictorial, and physical documentation.
using historical, pictorial, and physical documentation; or be a new design that is compatible with the window openings and the historic character of the building.	Introducing a new design that is incompatible with the historic character of the building.
Alterations/Additions for the New Use	
Designing and installing additional windows on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.	Installing new windows, including frames, sash, and muntin configuration that are incompatible with the building's historic appearance or obscure, damage, or destroy character-defining features.
Providing a setback in the design of dropped ceilings when they are required for the new use to allow for the full height of the window openings.	Inserting new floors or furred-down ceilings which cut across the glazed areas of windows so that the exterior form and appearance of the windows are changed.

Rehabilitation







(a) An armory complex was rehabilitated for rental housing. (b) This view of the rear elevation shows the paired, nine-over-nine wood sash windows and high sills that characterized the building. (c) After inappropriate rehabilitation work, the same rear elevation is shown with new skylights added to the roof, prefabricated panels filling the former brick areas, and new wood decks and privacy fences. Because the work changed the historic character, the project did not meet the Standards.

Building Exterior

Entrances and Porches

Recommended

Identifying, retaining, and preserving entrances and porches and their functional and decorative features—that are important in defining the overall historic character of the building such as doors, fanlights, sidelights, pilaster, entablatures, columns, balustrades, and stairs.

Protecting and maintaining the masonry, wood, and architectural metals that comprise entrances and porches through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, that is, repairs to entrance and porch features will be necessary.

Repairing entrances and porches by reinforcing the historic materials. Repair will also generally include the limited replacement in kind—or with compatible substitute material of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as balustrades, cornices, entablatures, columns, sidelights, and stairs.

Not Recommended

Removing or radically changing entrances and porches which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Stripping entrances and porches of historic material such as wood, cast iron, terra cotta tile, and brick.

Removing an entrance or porch because the building has been re-oriented to accommodate a new use.

Cutting new entrances on a primary elevation.

Altering utilitarian or service entrances so they appear to be formal entrances by adding panelled doors, fanlights, and sidelights.

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of entrances and porches results.

Failing to undertake adequate measures to assure the protection of historic entrances and porches.

Replacing an entire entrance or porch when the repair of materials and limited replacement of parts are appropriate.

Using a substitute material for the replacement parts that does not convey the visual appearance of the surviving parts of the entrance and porch or that is physically or chemically incompatible.

Rehabilitation



In Rehabilitation, deteriorated features should be repaired, whenever possible, and replaced when the severity of the damage makes it necessary. Here, a two-story porch is seen prior to treatment (left). The floor boards are rotted out and the columns are in a state of collapse, supported only by crude, temporary shafts. Other components are in varying stages of decay. Appropriate work on the historic porch (right) included repairs to the porch rails; and total replacement of the extensively deteriorated columns and floor boards. Some dismantling of the porch was necessary.

Replacing in kind an entire entrance or porch that is too deteriorated to repair—if the form and detailing are still evident—using the physical evidence as a model to reproduce the feature. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Removing an entrance or porch that is unrepairable and not replacing it; or replacing it with a new entrance or porch that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended	Not Recommended
Design for the Replacement of Missing Historic Features	
Designing and constructing a new entrance or porch when the historic entrance or porch is completely missing. It may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character building.	Creating a false historical appearance because the replaced entrance or porch is based on insufficient historical, pictorial, and physical documentation.
	Introducing a new entrance or porch that is incompatible in size, scale, material, and color.
Alterations/Additions for the New Use	
Designing enclosures for historic porches on secondary elevations when required by the new use in a manner that preserves the historic character of the building. This can include using large sheets of glass and recessing the enclosure wall behind existing scrollwork, posts, and balustrades.	Enclosing porches in a manner that results in a diminution or loss of historic character by using materials such as wood, stucco, or masonry.
Designing and installing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the buildings, i.e., limiting such alteration to non-character-defining elevations.	Installing secondary service entrances and porches that are incompatible in size and scale with the historic building or obscure, damage, or destroy character-defining features.

Building Exterior

Storefronts

Recommended

Identifying, retaining, and preserving storefronts—and their functional and decorative features—that are important in defining the overall historic character of the building such as display windows, signs, doors, transoms, kick plates, corner posts, and entablatures. The removal of inappropriate, non-historic cladding, false mansard roofs, and other later alterations can help reveal the historic character of a storefront.

Protecting and maintaining masonry, wood, and architectural metals which comprise storefronts through appropriate treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems.

Protecting storefronts against arson and vandalism before work begins by boarding up windows and installing alarm systems that are keyed into local protection agencies.

Evaluating the existing condition of storefront materials to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary. Not Recommended

Removing or radically changing storefronts—and their features—which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Changing the storefront so that it appears residential rather than commercial in character.

Removing historic material from the storefront to create a recessed arcade.

Introducing coach lanterns, mansard designs, wood shakes, nonoperable shutters, and small-paned windows if they cannot be documented historically.

Changing the location of a storefront's main entrance.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of storefront features results.

Permitting entry into the building through unsecured or broken windows and doors so that interior features and finishes are damaged by exposure to weather or vandalism.

Stripping storefronts of historic material such as wood, cast iron, terra cotta, carrara glass, and brick.

Failing to undertake adequate measures to assure the preservation of the historic storefront.

Repairing storefronts by reinforcing the historic materials. Repairs will also generally include the limited replacement in kind—or with compatible substitute materials—of those extensively deteriorated or missing parts of storefronts where there are surviving prototypes such as transoms, kick plates, pilasters, or signs.

Replacing in kind an entire storefront that is too deteriorated to repair—if the overall form and detailing are still evident using the physical evidence as a model. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.

Not Recommended

Replacing an entire storefront when repair of materials and limited replacement of its parts are appropriate.

Using substitute material for the replacement parts that does not convey the same visual appearance as the surviving parts of the storefront or that is physically or chemically incompatible.

Removing a storefront that is unrepairable and not replacing it; or replacing it with a new storefront that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Design for the Replacement of Missing Historic Features

Designing and constructing a new storefront when the historic storefront is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

Not Recommended

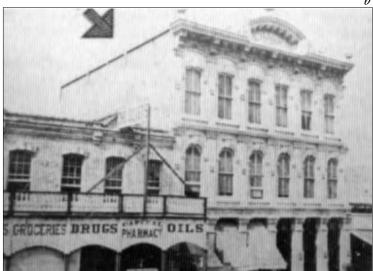
Creating a false historical appearance because the replaced storefront is based on insufficient historical, pictorial, and physical documentation.

Introducing a new design that is incompatible in size, scale, material, and color.

Using inappropriately scaled signs and logos or other types of signs that obscure, damage, or destroy remaining characterdefining features of the historic building.

Rehabilitation







In the treatment, Rehabilitation, one option for replacing missing historic features is to use pictorial documentation and/or physical evidence to re-create the historic feature. (a) In this example, the ornamental cornice of an 1866 limestone building was missing; and the ground level storefront had been extensively altered. (b) and (c) Based on the availability of photographic and other documentation, the owners were able to accurately restore the cornice and storefront to their historic configuration. A substitute material, fiberglass, was used to fabricate the missing pressed metal cornice, an acceptable alternative in this project. All work met the Standards.

Building Interior

Structural Systems

Recommended

Identifying, retaining, and preserving structural systems and individual features of systems—that are important in defining the overall historic character of the building, such as post and beam systems, trusses, summer beams, vigas, cast iron columns, above-grade stone foundation walls, or loadbearing brick or stone walls.

Protecting and maintaining the structural system by cleaning the roof gutters and downspouts; replacing roof flashing; keeping masonry, wood, and architectural metals in a sound condition; and ensuring that structural members are free from insect infestation.

Examining and evaluating the physical condition of the structural system and its individual features using non-destructive techniques such as X-ray photography.

Not Recommended

Removing, covering, or radically changing visible features of structural systems which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Putting a new use into the building which could overload the existing structural system; or installing equipment or mechanical systems which could damage the structure.

Demolishing a loadbearing masonry wall that could be augmented and retained, and replacing it with a new wall (i.e., brick or stone), using the historic masonry only as an exterior veneer.

Leaving known structural problems untreated such as deflection of beams, cracking and bowing of walls, or racking of structural members.

Utilizing treatments or products that accelerate the deterioration of structural material such as introducing urea-formaldehyde foam insulation into frame walls.

Failing to provide proper building maintenance so that deterioration of the structural system results. Causes of deterioration include subsurface ground movement, vegetation growing too close to foundation walls, improper grading, fungal rot, and poor interior ventilation that results in condensation.

Utilizing destructive probing techniques that will damage or destroy structural material.

Repairing the structural system by augmenting or upgrading individual parts or features. For example, weakened structural members such as floor framing can be paired with a new member, braced, or otherwise supplemented and reinforced.

Replacing in kind—or with substitute material—those portions or features of the structural system that are either extensively deteriorated or are missing when there are surviving prototypes such as cast iron columns, roof rafters or trusses, or sections of loadbearing walls. Substitute material should convey the same form, design, and overall visual appearance as the historic feature; and, at a minimum, be equal to its loadbearing capabilities.

Not Recommended

Upgrading the building structurally in a manner that diminishes the historic character of the exterior, such as installing strapping channels or removing a decorative cornice; or damages interior features or spaces.

Replacing a structural member or other feature of the structural system when it could be augmented and retained.

Installing a visible replacement feature that does not convey the same visual appearance, e.g., replacing an exposed wood summer beam with a steel beam.

Using substitute material that does not equal the loadbearing capabilities of the historic material and design or is otherwise physically or chemically incompatible.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Alterations/Additions for the New Use

Limiting any new excavations adjacent to historic foundations to avoid undermining the structural stability of the building or adjacent historic buildings. Studies should be done to ascertain potential damage to archeological resources.

Correcting structural deficiencies in preparation for the new use in a manner that preserves the structural system and individual character-defining features.

Designing and installing new mechanical or electrical systems when required for the new use which minimize the number of cutouts or holes in structural members.

Adding a new floor when required for the new use if such an alteration does not damage or destroy the structural system or obscure, damage, or destroy character-defining spaces, features, or finishes.

Creating an atrium or a light well to provide natural light when required for the new use in a manner that assures the preservation of the structural system as well as characterdefining interior spaces, features, and finishes.

Not Recommended

Carrying out excavations or regrading adjacent to or within a historic building which could cause the historic foundation to settle, shift, or fail; could have a similar effect on adjacent historic buildings; or could destroy significant archeological resources.

Radically changing interior spaces or damaging or destroying features or finishes that are character-defining while trying to correct structural deficiencies in preparation for the new use.

Installing new mechanical and electrical systems or equipment in a manner which results in numerous cuts, splices, or alterations to the structural members.

Inserting a new floor when such a radical change damages a structural system or obscures or destroys interior spaces, features, or finishes.

Inserting new floors or furred-down ceilings which cut across the glazed areas of windows so that the exterior form and appearance of the windows are radically changed.

Damaging the structural system or individual features; or radically changing, damaging, or destroying characterdefining interior spaces, features, or finishes in order to create an atrium or a light well.

Building Interior

Spaces, Features, and Finishes

Recommended

Interior Spaces

Identifying, retaining, and preserving a floor plan or interior spaces that are important in defining the overall historic character of the building. This includes the size, configuration, proportion, and relationship of rooms and corridors; the relationship of features to spaces; and the spaces themselves such as lobbies, reception halls, entrance halls, double parlors, theaters, auditoriums, and important industrial or commercial spaces.

Interior Features and Finishes

Identifying, retaining, and preserving interior features and finishes that are important in defining the overall historic character of the building, including columns, cornices, baseboards, fireplaces and mantels, panelling, light fixtures, hardware, and flooring; and wallpaper, plaster, paint, and finishes such as stencilling, marbling, and graining; and other decorative materials that accent interior features and provide color, texture, and patterning to walls, floors, and ceilings.

Not Recommended

Radically changing a floor plan or interior spaces—including individual rooms—which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Altering the floor plan by demolishing principal walls and partitions to create a new appearance.

Altering or destroying interior spaces by inserting floors, cutting through floors, lowering ceilings, or adding or removing walls.

Relocating an interior feature such as a staircase so that the historic relationship between features and spaces is altered.

Removing or radically changing features and finishes which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Installing new decorative material that obscures or damages character-defining interior features or finishes.

Removing paint, plaster, or other finishes from historically finished surfaces to create a new appearance (e.g., removing plaster to expose masonry surfaces such as brick walls or a chimney piece).

Applying paint, plaster, or other finishes to surfaces that have been historically unfinished to create a new appearance.

Stripping paint to bare wood rather than repairing or reapplying grained or marbled finishes to features such as doors and panelling.

Radically changing the type of finish or its color, such as painting a previously varnished wood feature.

Protecting and maintaining masonry, wood, and architectural metals which comprise interior features through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems.

Protecting interior features and finishes against arson and vandalism before project work begins, erecting protective fencing, boarding-up windows, and installing fire alarm systems that are keyed to local protection agencies.

Protecting interior features such as a staircase, mantel, or decorative finishes and wall coverings against damage during project work by covering them with heavy canvas or plastic sheets.

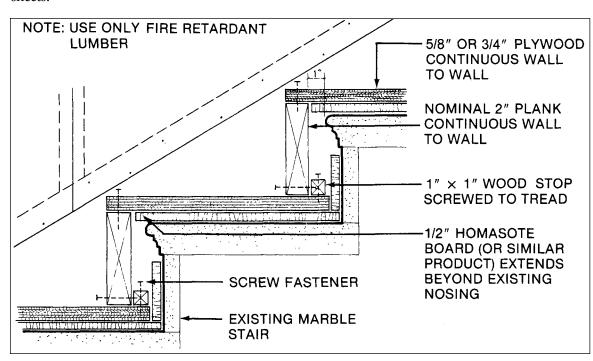
Not Recommended

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of interior features results.

Permitting entry into historic buildings through unsecured or broken windows and doors so that the interior features and finishes are damaged by exposure to weather or vandalism.

Stripping interiors of features such as woodwork, doors, windows, light fixtures, copper piping, radiators; or of decorative materials.

Failing to provide proper protection of interior features and finishes during work so that they are gouged, scratched, dented, or otherwise damaged.



Historic features that characterize a building should always be protected from damage during rehabilitation work. The drawing shows how a resilient, temporary stair covering was applied over the existing marble staircase. Drawing: National Park Service staff, based on material originally prepared by Emery Roth and Sons, P.C.

Rehabilitation

Recommended

Installing protective coverings in areas of heavy pedestrian traffic to protect historic features such as wall coverings, parquet flooring and panelling.

Removing damaged or deteriorated paints and finishes to the next sound layer using the gentlest method possible, then repainting or refinishing using compatible paint or other coating systems.

Repainting with colors that are appropriate to the historic building.

Limiting abrasive cleaning methods to certain industrial warehouse buildings where the interior masonry or plaster features do not have distinguishing design, detailing, tooling, or finishes; and where wood features are not finished, molded, beaded, or worked by hand. Abrasive cleaning should only be considered after other, gentler methods have been proven ineffective.

Evaluating the existing condition of materials to determine whether more than protection and maintenance are required, that is, if repairs to interior features and finishes will be necessary.

Repairing interior features and finishes by reinforcing the historic materials. Repair will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of repeated features when there are surviving prototypes such as stairs, balustrades, wood panelling, columns; or decorative wall coverings or ornamental tin or plaster ceilings.

Not Recommended

Failing to take new use patterns into consideration so that interior features and finishes are damaged.

Using destructive methods such as propane or butane torches or sandblasting to remove paint or other coatings. These methods can irreversibly damage the historic materials that comprise interior features.

Using new paint colors that are inappropriate to the historic building.

Changing the texture and patina of character-defining features through sandblasting or use of abrasive methods to remove paint, discoloration or plaster. This includes both exposed wood (including structural members) and masonry.

Failing to undertake adequate measures to assure the protection of interior features and finishes.

Replacing an entire interior feature such as a staircase, panelled wall, parquet floor, or cornice; or finish such as a decorative wall covering or ceiling when repair of materials and limited replacement of such parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts or portions of the interior feature or finish or that is physically or chemically incompatible.

Replacing in kind an entire interior feature or finish that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model for reproduction. Examples could include wainscoting, a tin ceiling, or interior stairs. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Removing a character-defining feature or finish that is unrepairable and not replacing it; or replacing it with a new feature or finish that does not convey the same visual appearance.





Rehabilitating historic dwelling units often includes some level of lead-paint hazard abatement. Whenever lead-base paint begins to peel, chip, craze, or otherwise comes loose (a), it should be removed in a manner that protects the worker as well as the immediate environment. In this example (b), the deteriorating lead-paint was removed throughout the apartment building and a compatible primer and finish paint applied. Photos: Sharon C. Park, AIA.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended Not Recommended

Design for the Replacement of Missing Historic Features

Designing and installing a new interior feature or finish if the historic feature or finish is completely missing. This could include missing partitions, stairs, elevators, lighting fixtures, and wall coverings; or even entire rooms if all historic spaces, features, and finishes are missing or have been destroyed by inappropriate "renovations." The design may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character of the building, district, or neighborhood.

Creating a false historical appearance because the replaced feature is based on insufficient physical, historical, and pictorial documentation or on information derived from

another building.

Introducing a new interior feature or finish that is incompatible with the scale, design, materials, color, and texture of the surviving interior features and finishes.

Alterations/Additions for the New Use

Accommodating service functions such as bathrooms, mechanical equipment, and office machines required by the building's new use in secondary spaces such as first floor service areas or on upper floors.

Dividing rooms, lowering ceilings, and damaging or obscuring character-defining features such as fireplaces, niches, stairways or alcoves, so that a new use can be accommodated in the building.

Reusing decorative material or features that have had to be removed during the rehabilitation work including wall and baseboard trim, door molding, panelled doors, and simple wainscoting; and relocating such material or features in areas appropriate to their historic placement. Discarding historic material when it can be reused within the rehabilitation project or relocating it in historically inappropriate areas.

Installing permanent partitions in secondary spaces; removable partitions that do not destroy the sense of space should be installed when the new use requires the subdivision of character-defining interior space.

Installing permanent partitions that damage or obscure character-defining spaces, features, or finishes.

Enclosing an interior stairway where required by code so that its character is retained. In many cases, glazed fire-rated walls may be used.

Enclosing an interior stairway with fire-rated construction so that the stairwell space or any character-defining features are destroyed.

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Placing new code-required stairways or elevators in secondary and service areas of the historic building.

Creating an atrium or a light well to provide natural light when required for the new use in a manner that preserves character-defining interior spaces, features, and finishes as well as the structural system.

Adding a new floor if required for the new use in a manner that preserves character-defining structural features, and interior spaces, features, and finishes.

Not Recommended

Radically changing, damaging, or destroying character-defining spaces, features, or finishes when adding new coderequired stairways and elevators.

Destroying character-defining interior spaces, features, or finishes; or damaging the structural system in order to create an atrium or light well.

Inserting a new floor within a building that alters or destroys the fenestration; radically changes a character-defining interior space; or obscures, damages, or destroys decorative detailing.

Building Interior

Mechanical Systems: Heating, Air Conditioning, Electrical, and Plumbing

Recommended

Identifying, retaining, and preserving visible features of early mechanical systems that are important in defining the overall historic character of the building, such as radiators, vents, fans, grilles, plumbing fixtures, switchplates, and lights.

Protecting and maintaining mechanical, plumbing, and electrical systems and their features through cyclical cleaning and other appropriate measures.

Preventing accelerated deterioration of mechanical systems by providing adequate ventilation of attics, crawlspaces, and cellars so that moisture problems are avoided.

Improving the energy efficiency of existing mechanical systems to help reduce the need for elaborate new equipment. Consideration should be given to installing storm windows, insulating attic crawl space, or adding awnings, if appropriate.

Repairing mechanical systems by augmenting or upgrading system parts, such as installing new pipes and ducts; rewiring; or adding new compressors or boilers.

Replacing in kind—or with compatible substitute material those visible features of mechanical systems that are either extensively deteriorated or are prototypes such as ceiling fans, switchplates, radiators, grilles, or plumbing fixtures.

Not Recommended

Removing or radically changing features of mechanical systems that are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of mechanical systems and their visible features results.

Enclosing mechanical systems in areas that are not adequately ventilated so that deterioration of the systems results.

Installing unnecessary air conditioning or climate control systems which can add excessive moisture to the building. This additional moisture can either condense inside, damaging interior surfaces, or pass through interior walls to the exterior, potentially damaging adjacent materials as it migrates.

Replacing a mechanical system or its functional parts when it could be upgraded and retained.

Installing a visible replacement feature that does not convey the same visual appearance.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended	Not Recommended
Alterations/Additions for the New Use	
Installing a completely new mechanical system if required for the new use so that it causes the least alteration possible to the building's floor plan, the exterior elevations, and the least damage to the historic building material.	Installing a new mechanical system so that character-defining structural or interior features are radically changed, damaged, or destroyed.
Providing adequate structural support for new mechanical equipment.	Failing to consider the weight and design of new mechanical equipment so that, as a result, historic structural members or finished surfaces are weakened or cracked.
Installing the vertical runs of ducts, pipes, and cables in closets, service rooms, and wall cavities.	Installing vertical runs of ducts, pipes, and cables in places where they will obscure character-defining features.
	Concealing mechanical equipment in walls or ceilings in a manner that requires the removal of historic building material.
	Installing a "dropped" acoustical ceiling to hide mechanical equipment when this destroys the proportions of character-defining interior spaces.
Installing air conditioning units if required by the new use in such a manner that historic features are not damaged or obscured and excessive moisture is not generated that will accelerate deterioration of historic materials.	Cutting through features such as masonry walls in order to install air conditioning units.
Installing heating/air conditioning units in the window frames in such a manner that the sash and frames are protected. Window installations should be considered only when all other viable heating/cooling systems would result in significant damage to historic materials.	Radically changing the appearance of the historic building or damaging or destroying windows by installing heating/air conditioning units in historic window frames.

Building Site

Recommended

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character. Site features may include circulation systems such as walks, paths, roads, or parking; vegetation such as trees, shrubs, fields, or herbaceous plant material; landforms such as terracing, berms or grading; furnishings such as lights, fences, or benches; decorative elements such as sculpture, statuary or monuments; water features including fountains, streams, pools, or lakes; and subsurface archeological features which are important in defining the history of the site.

Retaining the historic relationship between buildings and the landscape.

Protecting and maintaining buildings and the site by providing proper drainage to assure that water does not erode foundation walls; drain toward the building; or damage or erode the landscape.

Minimizing disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archeological resources.

Not Recommended

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

Removing or relocating buildings or landscape features, thus destroying the historic relationship between buildings and the landscape.

Removing or relocating historic buildings on a site or in a complex of related historic structures—such as a mill complex or farm—thus diminishing the historic character of the site or complex.

Moving buildings onto the site, thus creating a false historical appearance.

Radically changing the grade level of the site. For example, changing the grade adjacent to a building to permit development of a formerly below-grade area that would drastically change the historic relationship of the building to its site.

Failing to maintain adequate site drainage so that buildings and site features are damaged or destroyed; or alternatively, changing the site grading so that water no longer drains properly.

Introducing heavy machinery into areas where it may disturb or damage important landscape features or archeological resources.

Surveying and documenting areas where the terrain will be altered to determine the potential impact to important land-scape features or archeological resources.

Protecting, e.g., preserving in place important archeological resources.

Planning and carrying out any necessary investigation using professional archeologists and modern archeological methods when preservation in place is not feasible.

Preserving important landscape features, including ongoing maintenance of historic plant material.

Protecting the building and landscape features against arson and vandalism before rehabilitation work begins, i.e., erecting protective fencing and installing alarm systems that are keyed into local protection agencies.

Providing continued protection of historic building materials and plant features through appropriate cleaning, rust removal, limited paint removal, and re-application of protective coating systems; and pruning and vegetation management.

Evaluating the overall condition of the materials and features of the property to determine whether more than protection and maintenance are required, that is, if repairs to building and site features will be necessary.

Not Recommended

Failing to survey the building site prior to the beginning of rehabilitation work which results in damage to, or destruction of, important landscape features or archeological resources.

Leaving known archeological material unprotected so that it is damaged during rehabilitation work.

Permitting unqualified personnel to perform data recovery on archeological resources so that improper methodology results in the loss of important archeological material.

Allowing important landscape features to be lost or damaged due to a lack of maintenance.

Permitting the property to remain unprotected so that the building and landscape features or archeological resources are damaged or destroyed.

Removing or destroying features from the building or site such as wood siding, iron fencing, masonry balustrades, or plant material.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of building and site features results.

Failing to undertake adequate measures to assure the protection of building and site features.

Rehabilitation

Recommended

Repairing features of the building and site by reinforcing historic materials.

Replacing in kind an entire feature of the building or site that is too deteriorated to repair if the overall form and detailing are still evident. Physical evidence from the deteriorated feature should be used as a model to guide the new work. This could include an entrance or porch, walkway, or fountain. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Replacing deteriorated or damaged landscape features in kind.

Not Recommended

Replacing an entire feature of the building or site such as a fence, walkway, or driveway when repair of materials and limited compatible replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the building or site feature or that is physically or chemically incompatible.

Removing a feature of the building or site that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

Adding conjectural landscape features to the site such as period reproduction lamps, fences, fountains, or vegetation that are historically inappropriate, thus creating a false sense of historic development.

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation project work and should only be considered after the preservation concerns listed above have been addressed.

Recommended Not Recommended

Design for the Replacement of Missing Historic Features

Designing and constructing a new feature of a building or site when the historic feature is completely missing, such as an outbuilding, terrace, or driveway. It may be based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character of the building and site.

Alterations/Additions for the New Use

Designing new onsite parking, loading docks, or ramps when required by the new use so that they are as unobtrusive as possible and assure the preservation of the historic relationship between the building or buildings and the landscape.

Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserves the historic relationship between the building or buildings and the landscape.

Removing non-significant buildings, additions, or site features which detract from the historic character of the site.

Creating a false historical appearance because the replaced feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new building or site feature that is out of scale or of an otherwise inappropriate design.

Introducing a new landscape feature, including plant material, that is visually incompatible with the site, or that alters or destroys the historic site patterns or vistas.

Locating any new construction on the building site in a location which contains important landscape features or open space, for example removing a lawn and walkway and installing a parking lot.

Placing parking facilities directly adjacent to historic buildings where automobiles may cause damage to the buildings or landscape features, or be intrusive to the building site.

Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color, and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features.

Removing a historic building in a complex of buildings; or removing a building feature, or a landscape feature which is important in defining the historic character of the site.

Setting (District/Neighborhood)

Recommended

Identifying retaining, and preserving building and landscape features which are important in defining the historic character of the setting. Such features can include roads and streets, furnishings such as lights or benches, vegetation, gardens and yards, adjacent open space such as fields, parks, commons or woodlands, and important views or visual relationships.

Retaining the historic relationship between buildings and landscape features of the setting. For example, preserving the relationship between a town common and its adjacent historic houses, municipal buildings, historic roads, and landscape features.

Protecting and maintaining historic building materials and plant features through appropriate cleaning, rust removal, limited paint removal, and reapplication of protective coating systems; and pruning and vegetation management.

Protecting building and landscape features such as lighting or trees, against arson and vandalism before rehabilitation work begins by erecting protective fencing and installing alarm systems that are keyed into local protection agencies.

Evaluating the overall condition of the building and landscape features to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary. Not Recommended

Removing or radically changing those features of the setting which are important in defining the historic character.

Destroying the relationship between the buildings and landscape features within the setting by widening existing streets, changing landscape materials or constructing inappropriately located new streets or parking.

Removing or relocating historic buildings or landscape features, thus destroying their historic relationship within the setting.

Failing to provide adequate protection of materials on a cyclical basis which results in the deterioration of building and landscape features.

Permitting the building and setting to remain unprotected so that interior or exterior features are damaged.

Stripping or removing features from buildings or the setting such as wood siding, iron fencing, terra cotta balusters, or plant material.

Failing to undertake adequate measures to assure the protection of building and landscape features.

Repairing features of the building and landscape by reinforcing the historic materials. Repair will also generally include the replacement in kind—or with a compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balustrades or paving materials.

Replacing in kind an entire feature of the building or landscape that is too deteriorated to repair—when the overall form and detailing are still evident—using the physical evidence as a model to guide the new work. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Not Recommended

Replacing an entire feature of the building or landscape when repair of materials and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the building or landscape, or that is physically, chemically, or ecologically incompatible.

Removing a feature of the building or landscape that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance. The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Recommended

Not Recommended

Design for the Replacement of Missing Historic Features

Designing and constructing a new feature of the building or landscape when the historic feature is completely missing, such as row house steps, a porch, a streetlight, or terrace. It may be a restoration based on documentary or physical evidence; or be a new design that is compatible with the historic character of the setting.

Alterations/Additions for the New Use

Designing required new parking so that it is as unobtrusive as possible, thus minimizing the effect on the historic character of the setting. "Shared" parking should also be planned so that several businesses can utilize one parking area as opposed to introducing random, multiple lots.

Designing and constructing new additions to historic buildings when required by the new use. New work should be compatible with the historic character of the setting in terms of size, scale design, material, color, and texture.

Removing nonsignificant buildings, additions or landscape features which detract from the historic character of the setting. Creating a false historical appearance because the replaced feature is based on insufficient documentary or physical evidence.

Introducing a new building or landscape feature that is out of scale or otherwise inappropriate to the setting's historic character, e.g., replacing picket fencing with chain link fencing.

Placing parking facilities directly adjacent to historic buildings which result in damage to historic landscape features, such as the removal of plant material, relocation of paths and walkways, or blocking of alleys.

Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

Removing a historic building, building feature, or landscape feature that is important in defining the historic character of the setting.







If a rear elevation of a historic building is distinctive and highly visible in the neighborhood, altering it may not meet the Standards. (a and b) This 3-story brick rowhouse featured a second story gallery and brick kitchen wing characteristic of other residences in the district which backed onto a connecting roadway. (c) In the rehabilitation, the wing and gallery were demolished and a large addition constructed that severely impacted the building's historic form and character.

Although the work in these sections is quite often an important aspect of rehabilitation projects, it is usually not part of the overall process of preserving character-defining features (maintenance, repair, replacement); rather, such work is assessed for its potential negative impact on the building's historic character. For this reason, particular care must be taken not to obscure, radically change, damage, or destroy character-defining features in the process of rehabilitation work.

Energy Efficiency

Recommended Not Recommended

Masonry/Wood/Architectural Metals

Installing thermal insulation in attics and in unheated cellars and crawlspaces to increase the efficiency of the existing mechanical systems.

Installing insulating material on the inside of masonry walls to increase energy efficiency where there is no characterdefining interior molding around the windows or other interior architectural detailing.

Windows

Utilizing the inherent energy conserving features of a building by maintaining windows and louvered blinds in good operable condition for natural ventilation.

Improving thermal efficiency with weatherstripping, storm windows, caulking, interior shades, and if historically appropriate, blinds and awnings.

Installing interior storm windows with air-tight gaskets, ventilating holes, and/or removable clips to ensure proper maintenance and to avoid condensation damage to historic windows.

Installing exterior storm windows which do not damage or obscure the windows and frames.

Applying thermal insulation with a high moisture content in wall cavities which may damage historic fabric.

Installing wall insulation without considering its effect on interior molding or other architectural detailing.

Removing historic shading devices rather than keeping them in an operable condition.

Replacing historic multi-paned sash with new thermal sash utilizing false muntins.

Installing interior storm windows that allow moisture to accumulate and damage the window.

Installing new exterior storm windows which are inappropriate in size or color.

Replacing windows or transoms with fixed thermal glazing or permitting windows and transoms to remain inoperable rather than utilizing them for their energy conserving potential. Recommended Not Recommended

Entrances and Porches

Maintaining porches and double vestibule entrances so that they can retain heat or block the sun and provide natural ventilation. Changing the historic appearance of the building by enclosing porches.

Interior Features

Retaining historic interior shutters and transoms for their inherent energy conserving features.

Removing historic interior features which play an energy conserving role.

Mechanical Systems

Improving energy efficiency of existing mechanical systems by installing insulation in attics and basements.

Replacing existing mechanical systems that could be repaired for continued use.

Building Site

Retaining plant materials, trees, and landscape features which perform passive solar energy functions such as sun shading and wind breaks.

Removing plant materials, trees, and landscape features that perform passive solar energy functions.

Setting (District/Neighborhood)

Maintaining those existing landscape features which moderate the effects of the climate on the setting such as deciduous trees, evergreen wind-blocks, and lakes or ponds.

Stripping the setting of landscape features and landforms so that effects of the wind, rain, and sun result in accelerated deterioration of the historic building.

New Additions to Historic Buildings

Placing a new addition that may be necessary to increase energy efficiency on non-character-defining elevations.

Designing a new addition which obscures, damages, or destroys character-defining features.

New Additions to Historic Buildings

Recommended

Placing functions and services required for the new use in non-character-defining interior spaces rather than constructing a new addition.

Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Designing a new addition in a manner that makes clear what is historic and what is new.



Expanding the size of the historic building by constructing a new addition when the new use could be met by altering non-character-defining interior spaces.

Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Duplicating the exact form, material, style, and detailing of the historic building in a new addition so that the new work appears to be part of the historic building.

Imitating a historic style or period of architecture in a new addition.



Rehabilitation, like Preservation, acknowledges a building's change over time; the retention and repair of existing historic materials and features is thus always recommended. However, unlike Preservation, the dual goal of Rehabilitation is to—respectfully—add to or alter a building in order to meet new use requirements. This downtown Chicago library was expanded in 1981 when additional space was required with light and humidity control for the rare book collection. The compatible 10-story wing was linked to the historic block on side and rear elevations. Its simple design is compatible with the historic form, features, and detailing; old and new are clearly differentiated. Photo: Dave Clifton.

Considering the design for an attached exterior addition in terms of its relationship to the historic building as well as the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

Placing a new addition on a non-character-defining elevation and limiting the size and scale in relationship to the historic building.

Designing a rooftop addition when required for the new use, that is set back from the wall plane and as inconspicuous as possible when viewed from the street.

Not Recommended

Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.

Designing a new addition that obscures, damages, or destroys character-defining features of the historic building.

Constructing a rooftop addition so that the historic appearance of the building is radically changed.

Accessibility Considerations

Recommended

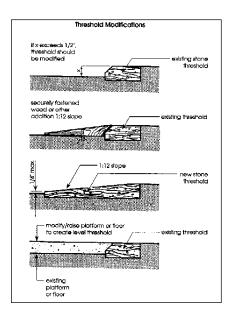
Identifying the historic building's character-defining spaces, features, and finishes so that accessibility code-required work will not result in their damage or loss.

Complying with barrier-free access requirements, in such a manner that character-defining spaces, features, and finishes are preserved.

Working with local disability groups, access specialists, and historic preservation specialists to determine the most appropriate solution to access problems.

Providing barrier-free access that promotes independence for the disabled person to the highest degree practicable, while preserving significant historic features.

Designing new or additional means of access that are compatible with the historic building and its setting.



Not Recommended

Undertaking code-required alterations before identifying those spaces, features, or finishes which are character-defining and must therefore be preserved.

Altering, damaging, or destroying character-defining features in attempting to comply with accessibility requirements.

Making changes to buildings without first seeking expert advice from access specialists and historic preservationists, to determine solutions.

Making access modifications that do not provide a reasonable balance between independent, safe access and preservation of historic features.

Designing new or additional means of access without considering the impact on the historic building and its setting.

Making a building accessible to the public is a requirement under the Americans with Disabilities Act of 1990, whatever the treatment. Full, partial, or alternative approaches to accessibility depends upon the historical significance of a building and the ability to make changes. In these examples, thresholds that exceed allowable heights were modified several ways to increase accessibility. without jeopardizing the historic character. Drawing: Uniform Federal Accessibility Standard (UFAS) Retrofit Manual.

Health and Safety Considerations

Recommended

Identifying the historic building's character-defining spaces, features, and finishes so that code-required work will not result in their damage or loss.

Complying with health and safety codes, including seismic code requirements, in such a manner that character-defining spaces, features, and finishes are preserved.

Removing toxic building materials only after thorough testing has been conducted and only after less invasive abatement methods have been shown to be inadequate.

Providing workers with appropriate personal protective equipment for hazards found in the worksite.

Working with local code officials to investigate systems, methods, or devices of equivalent or superior effectiveness and safety to those prescribed by code so that unnecessary alterations can be avoided.

Upgrading historic stairways and elevators to meet health and safety codes in a manner that assures their preservation, i.e., so that they are not damaged or obscured.

Installing sensitively designed fire suppression systems, such as sprinkler systems that result in retention of historic features and finishes.

Applying fire-retardant coatings, such as intumescent paints, which expand during fire to add thermal protection to steel.

Adding a new stairway or elevator to meet health and safety codes in a manner that preserves adjacent character-defining features and spaces.

Placing a code-required stairway or elevator that cannot be accommodated within the historic building in a new exterior addition. Such an addition should be on an inconspicuous elevation.

Not Recommended

Undertaking code-required alterations to a building or site before identifying those spaces, features, or finishes which are character-defining and must therefore be preserved.

Altering, damaging, or destroying character-defining spaces, features, and finishes while making modifications to a building or site to comply with safety codes.

Destroying historic interior features and finishes without careful testing and without considering less invasive abatement methods.

Removing unhealthful building materials without regard to personal and environmental safety.

Making changes to historic buildings without first exploring equivalent health and safety systems, methods, or devices that may be less damaging to historic spaces, features, and finishes.

Damaging or obscuring historic stairways and elevators or altering adjacent spaces in the process of doing work to meet code requirements.

Covering character-defining wood features with fire-resistant sheathing which results in altering their visual appearance.

Using fire-retardant coatings if they damage or obscure character-defining features.

Radically changing, damaging, or destroying character-defining spaces, features, or finishes when adding a new coderequired stairway or elevator.

Constructing a new addition to accommodate code-required stairs and elevators on character-defining elevations highly visible from the street; or where it obscures, damages, or destroys character-defining features.

