

# *Islenair Historic District*

Designated by the City of San Diego  
Historical Resources Board  
April 26, 2007

*Prepared by  
The City of San Diego  
City Planning and Community Investment Department  
Historical Resources Section*



# *Islenair*

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## Acknowledgments

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Jerry Sanders

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### **City General Services Department**

Rudy Flores, Publishing Services

### **Additional Participants**

Patty Vaccariello, Islenair  
James D. Newland, State Historian II

RESOLUTION NUMBER R-07042601  
ADOPTED ON April 26, 2007

WHEREAS, the Historical Resources Board of the City of San Diego held a noticed public hearing on April 26, 2007, to consider the historical designation of the Islenair Geographic/Traditional Historic District (with various property owners) located at various addresses within the Islenair neighborhood, bounded by the properties along the north side of Isla Vista Drive to the north; the homes along the east side of Isla Vista Drive to the east; the Isla Vista cul-de-sac and the properties at 3203 and 3204 Belle Isle Drive to the south; and Euclid Avenue to the west; in the City of San Diego, County of San Diego, State of California; and

WHEREAS, in arriving at their decision, the Historical Resources Board considered the historical resources report prepared by the applicant, the staff report and recommendation, all other materials submitted prior to and at the public hearing, inspected the subject property and heard public testimony presented at the hearing; and

WHEREAS, the property would be added to the Register of Designated Historical Resources as **Site No. 807 [01-82]**, and

NOW, THEREFORE,

BE IT RESOLVED, the Historical Resources Board based its designation of the Islenair Geographic/Traditional Historic District on the following findings:

1. The Islenair Historic District is significant under HRB Criterion A as a special element of San Diego's historical, social, economic and architectural development:
  - a. reflecting the evolution of the small house movement which focused on quality design and construction in a compact, efficient layout from the Post-World War I through Post-World War II period;
  - b. reflecting architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952;
  - c. reflecting middle and working class subdivisions which allowed families the opportunity to invest in homeownership in a neighborhood which utilized and expressed modern planning and subdivision principles;
  - d. reflecting the patterns of local, early auto-oriented suburban development as advances in transportation technology made development in outlying communities both affordable and practical; and
  - e. reflecting the planning philosophy of adapting the design and layout of a subdivision to the natural topography on which the subdivision is to be located.
2. HRB Criterion C, as it embodies distinctive characteristics of a style, type and period of construction:
  - a. Style: Spanish Eclectic and Minimal Traditional.
  - b. Type: "small house" and "minimum house" construction types.
  - c. Period: San Diego's development of Automobile Suburbs between 1926 and 1952 (Post-WWI through Post-WWII).

BE IT FURTHER RESOLVED, that the following properties have been identified as Contributing Resources to the Islenair Geographic/Traditional Historic District and shall be designated under HRB Criterion F. These properties will be subject to the U.S. Secretary of the Interior's Standards, the City of San Diego Historic Resources Regulations, and any applicable development and design guidelines as they relate to Contributing Resources, and will be eligible for all benefits of historic designation:

<b>HRB Site #</b>	<b>St #</b>	<b>St Name</b>	<b>APN</b>	<b>Legal Description</b>	<b>Status Code</b>
807-01	3203	Belle Isle Drive	476-242-23-00	Islenair Unit #2, Block 8 Lot 8	5D1
807-02	3204	Belle Isle Drive	476-241-08-00	Islenair Unit #2 Block 7 Lot 9	5D1
807-03	3211	Belle Isle Drive	476-242-22-00	Islenair Unit #2 Block 8, Lot 7	5D1
807-04	3221	Belle Isle Drive	476-242-21-00	Islenair Unit #2 Block 8 Lot 6	5D1
807-05	3222	Belle Isle Drive	476-241-10-00	Islenair Unit #2 Block 7 Lot 11	5D1
807-06	3227	Belle Isle Drive	476-242-20-00	Islenair Unit #2 Block 8 Lot 5	5D1
807-07	3235	Belle Isle Drive	476-242-19-00	Islenair Unit #2 Block 8 Lot 4	5D1
807-08	3243	Belle Isle Drive	476-242-18-00	Islenair Unit #2 Block 8 Lot 3	5D1
807-09	3244	Belle Isle Drive	476-241-13-00	Islenair Unit #2 Block 7 Lot 14	5D1
807-10	3250	Belle Isle Drive	476-241-14-00	Islenair Unit #2 Block 7 Lot 15	5D1
807-11	3251	Belle Isle Drive	476-242-17-00	Islenair Unit #2 Block 8 Lot 2	5D1
807-12	3261	Belle Isle Drive	476-242-16-00	Islenair Unit #2 Block 8 Lot 1	5B
807-13	3262	Belle Isle Drive	476-241-15-00	Islenair Unit #2 Block 7 Lot 16	5D1
807-14	3304	Belle Isle Drive	476-151-19-00	Islenair Unit #1 Block 1 Lot 17, Block 4 Lot 2	5B
807-15	3315	Belle Isle Drive	476-152-11-00	Islenair Unit #1 Block 2 Lot 12	5D1
807-16	3323	Belle Isle Drive	476-152-05-00	Islenair Unit #1 Block 2 Lot 11	5D1
807-17	3328	Belle Isle Drive	476-151-22-00	Islenair Unit #1 Block 1 Lot 20	5D1
807-18	3329	Belle Isle Drive	476-152-10-00	Islenair Unit #1 Block 2 Lot 10	5D1
807-19	3336	Belle Isle Drive	476-151-23-00	Islenair Unit #1 Block 1 Lot 21	5D1
807-20	3344	Belle Isle Drive	476-151-24-00	Islenair Unit #1 Block 1 Lot 22	5D1
807-21	3345	Belle Isle Drive	476-152-08-00	Islenair Unit #1 Block 2 Lot 8	5D1
807-22	3403	Belle Isle Drive	476-152-07-00	Islenair Unit #1 Block 2 Lot 7	5D1
807-23	3411	Belle Isle Drive	476-152-06-00	Islenair Unit #1 Block 2 Lot 6	5D1
807-24	3412	Belle Isle Drive	476-151-26-00	Islenair Unit #1 Block 1 Lot 24	5D1
807-25	3422	Belle Isle Drive	476-151-27-00	Islenair Unit #1 Block 1 Lot 25	5D1
807-26	3423	Belle Isle Drive	476-152-05-00	Islenair Unit #1 Block 2 Lot 5	5D1
807-27	3426	Belle Isle Drive	476-151-28-00	Islenair Unit #1 Block 1 Lot 26	5D1
807-28	3435	Belle Isle Drive	476-152-04-00	Islenair Unit #1 Block 2 Lot 4	5D1
807-29	3439	Belle Isle Drive	476-152-03-00	Islenair Unit #1 Block 2 Lot 3	5D1
807-30	3442	Belle Isle Drive	476-151-30-00	Islenair Unit #1 Block 1 Lot 28	5D1
807-31	3443	Belle Isle Drive	476-152-02-00	Islenair Unit #1 Block 2 Lot 2	5D1
807-32	3458	Belle Isle Drive	476-151-31-00	Islenair Unit #1 Block 1 Lot 29	5D1
807-33	3462	Belle Isle Drive	476-151-32-00	Islenair Unit #1 Block 1 Lot 30	5D1
807-34	3323	Euclid Avenue	476-151-14-00	Islenair Unit #1, Block 1, Lot 14	5D1
807-35	3329	Euclid Avenue	476-151-13-00	Islenair Unit #1, Block 1, Lot 13	5D1
807-36	3333	Euclid Avenue	476-151-12-00	Islenair Unit #1, Block 1, Lot 12	5D1
807-37	3345	Euclid Avenue	476-151-11-00	Islenair Unit #1, Block 1, Lot 11	5D1
807-38	3405	Euclid Avenue	476-151-10-00	Islenair Unit #1, Block 1, Lot 10	5D1



<b>HRB Site #</b>	<b>St #</b>	<b>St Name</b>	<b>APN</b>	<b>Legal Description</b>	<b>Status Code</b>
807-39	3411	Euclid Avenue	476-151-09-00	Islenair Unit #1 Block 1, Lot 9	5D1
807-40	3419	Euclid Avenue	476-151-08-00	Islenair Unit #1, Block 1 Lot 8	5B
807-41	3443	Euclid Avenue	476-151-05-00	Islenair Unit #1, Block 1 Lot 5	5D1
807-42	3202	Isla Vista Drive	476-242-10-00	Islenair Unit #2, Block 8, Lot 10 and 9	5D1
807-43	3209	Isla Vista Drive	476-242-08-00	Islenair Unit #2, Block 6, Lot 8	5D1
807-44	3219	Isla Vista Drive	476-242-07-00	Islenair Unit #2, Block 6, Lot 7	5D1
807-45	3224	Isla Vista Drive	476-242-12-00	Islenair Unit #2, Block 8, Lot 12	5D1
807-46	3225	Isla Vista Drive	476-242-06-00	Islenair Unit #2, Block 8, Lot 12	5D1
807-47	3226	Isla Vista Drive	476-242-11-00	Islenair Unit #2, Block 6, Lot 6	5D1
807-48	3235	Isla Vista Drive	476-242-05-00	Islenair Unit #2, Block 6, Lot 5	5D1
807-49	3241	Isla Vista Drive	476-242-04-00	Islenair Unit #2, Block 6, Lot 4	5D1
807-50	3242	Isla Vista Drive	476-242-14-00	Islenair Unit #2, Block 8, Lot 14	5D1
807-51	3249	Isla Vista Drive	476-242-03-00	Islenair Unit #2, Block 6, Lot 3	5D1
807-52	3305	Isla Vista Drive	476-242-01-00	Islenair Unit #1, Block 3, Lot 23 and Islenair Unit #2, Block 6, Lot 1	5D1
807-53	3306	Isla Vista Drive	476-152-14-00	Islenair Unit #1, Block 2, Lot 14 and Islenair Unit #2, Block 5, Lot 2	5B
807-54	3314	Isla Vista Drive	476-152-15-00	Islenair Unit #1, Block 2, Lot 15	5D1
807-55	3315	Isla Vista Drive	476-160-20-00	Islenair Unit #1, Block 3, Lot 22	5D1
807-56	3321	Isla Vista Drive	476-160-19-00	Islenair Unit #1, Block 3, Lot 21	5D1
807-57	3330	Isla Vista Drive	476-152-17-00	Islenair Unit #1, Block 2, Lot 17	5D1
807-58	3338	Isla Vista Drive	476-152-18-00	Islenair Unit #1, Block 2, Lot 18	5D1
807-59	3344	Isla Vista Drive	476-152-19-00	Islenair Unit #1, Block 2, Lot 19	5D1
807-60	3345	Isla Vista Drive	476-160-17-00	Islenair Unit #1, Block 3, Lot 18	5D1
807-61	3404	Isla Vista Drive	476-152-20-00	Islenair Unit #1, Block 2, Lot 20	5D1
807-62	3405	Isla Vista Drive	476-160-16-00	Islenair Unit #1, Block 3, Lot 17	5D1
807-63	3410	Isla Vista Drive	476-152-21-00	Islenair Unit #1, Block 2, Lot 21	5D1
807-64	3420	Isla Vista Drive	476-152-22-00	Islenair Unit #1, Block 2, Lot 22	5D1
807-65	3421	Isla Vista Drive	476-160-14-00	Islenair Unit #1, Block 3, Lot 15	5D1
807-66	3427	Isla Vista Drive	476-160-13-00	Islenair Unit #1, Block 3, Lot 14	5D1
807-67	3428	Isla Vista Drive	476-152-23-00	Islenair Unit #1, Block 2, Lot 23	5D1
807-68	3435	Isla Vista Drive	476-160-12-00	Islenair Unit #1, Block 3, Lot 13	5D1
807-69	3440	Isla Vista Drive	476-152-24-00	Islenair Unit #1, Block 2, Lot 24	5D1
807-70	3443	Isla Vista Drive	476-160-11-00	Islenair Unit #1, Block 3, Lot 12	5D1
807-71	3449	Isla Vista Drive	476-160-10-00	Islenair Unit #1, Block 3, Lot 11	5D1
807-72	3455	Isla Vista Drive	476-160-09-00	Islenair Unit #1, Block 3, Lot 10	5D1
807-73	3472	Isla Vista Drive	476-150-01-00	Islenair Unit #1, Block 2, Lot 1	5D1
807-74	3473	Isla Vista Drive	476-160-07-00	Islenair Unit #1, Block 3, Lot 8	5D1
807-75	3505	Isla Vista Drive	476-160-06-00	Islenair Unit #1, Block 3, Lots 6 and 7	5D1
807-76	3511	Isla Vista Drive	476-160-05-00	Islenair Unit #1, Block 3, Lot 5	5D1
807-77	3518	Isla Vista Drive	476-151-33-00	Islenair Unit #1, Block 1, Lot 31	5D1
807-78	3533	Isla Vista Drive	476-160-02-00	Islenair Unit #1, Block 3, Lot 2	5D1
807-79	3534	Isla Vista Drive	476-151-01-00	Islenair Unit #1, Block 1, Lot 1	5D1
807-80	3541	Isla Vista Drive	476-160-01-00	Islenair Unit #1, Block 3, Lot 1	5D1
807-81	4802	Thorn Street	476-152-13-00	Islenair Unit #1, Block 2, Lot 13 and Islenair Unit #2, Block 5, Lot 1	5B
807-82	4827	Thorn Street	476-242-15-00	Islenair Unit #2, Block 8, Lot 15	5B

BE IT FURTHER RESOLVED, that the following properties have been identified as Non-Contributing Resources to the Islenair Geographic/Traditional Historic District. These properties will be subject to the U.S. Secretary of the Interior’s Standards, the City of San Diego Historic Resources Regulations, and any applicable development and design guidelines as they relate to Non-Contributing resources:

HRB Site #	St #	St Name	APN	Legal Description	Status Code
n/a	3212	Belle Isle Drive	476-241-09-00	Islenair Unit #2, Block 7 Lot 10	6L
n/a	3230	Belle Isle Drive	476-241-11-00	Islenair Unit #2 Block 7 Lot 2	6L
n/a	3236	Belle Isle Drive	476-241-16-00	Islenair Unit #2 Block 7 Lot 13	6Z
n/a	3314	Belle Isle Drive	476-151-20-00	Islenair Unit #1 Block 1 Lot 18	6L
n/a	3320	Belle Isle Drive	476-152-21-00	Islenair Unit #1 Block 1 Lot 19	6L
n/a	3333	Belle Isle Drive	476-152-09-00	Islenair Unit #1 Block 2 Lot 9	6Z
n/a	3404	Belle Isle Drive	476-151-25-00	Islenair Unit #1 Block 1 Lot 23	6L
n/a	3434	Belle Isle Drive	476-151-29-00	Islenair Unit #1 Block 1 Lot 27	6L
n/a	3203	Euclid Avenue	476-241-07-00	Islenair Unit #2 Block 7 Lot 8	6Z
n/a	3211	Euclid Avenue	476-241-06-00	Islenair Unit #2, Block 7, Lot 7	6Z
n/a	3237	Euclid Avenue	476-241-04-00	Islenair Unit #2, Block 7, Lot 5	6Z
n/a	3243	Euclid Avenue	476-241-03-00	Islenair Unit #2, Block 7, Lots 3 and 4	6Z
n/a	3255	Euclid Avenue	476-241-02-00	Islenair Unit #2, Block 7, Lot 2	6Z
n/a	3275	Euclid Avenue	476-241-01-00	Islenair Unit #2, Block 7, Lot 1	6Z
n/a	3313	Euclid Avenue	476-151-15-00	Islenair Unit #1, Block 1, Lot 15	6Z
n/a	3427	Euclid Avenue	476-151-07-00	Islenair Unit #1, Block 1 Lot 7	6L
n/a	3435	Euclid Avenue	476-151-06-00	Islenair Unit #1, Block 1 Lot 6	6L
n/a	3449	Euclid Avenue	476-151-04-00	Islenair Unit #1, Block 1, Lot 4	6Z
n/a	3457	Euclid Avenue	476-151-03-00	Islenair Unit #1, Block 1, Lot 3	6Z
n/a	3461	Euclid Avenue	476-151-02-00	Islenair Unit #1, Block 1, Lot 2	6Z
n/a		Euclid Avenue	476-241-05-00	Islenair Unit #2 Block 7, Lot 6	6Z
n/a	3203	Isla Vista Drive	476-242-09-00	Islenair Unit #2, Block 6, Lot 9	6L
n/a	3232	Isla Vista Drive	476-242-13-00	Islenair Unit #2, Block 6, Lot 6	6Z
n/a	3255	Isla Vista Drive	476-242-02-00	Islenair Unit #2, Block 6, Lot 2	6Z
n/a	3324	Isla Vista Drive	476-152-16-00	Islenair Unit #1, Block 2, Lot 16	6L
n/a	3333	Isla Vista Drive	476-160-18-00	Islenair Unit #1, Block 3, Lots 19 and 20	6Z
n/a	3411	Isla Vista Drive	476-160-15-00	Islenair Unit #2, Block 3, Lot 16	6Z
n/a	3467	Isla Vista Drive	476-160-08-00	Islenair Unit #1, Block 3, Lot 9	6L
n/a	3517	Isla Vista Drive	476-160-04-00	Islenair Unit #1, Block 3, Lot 4	6L
n/a	3525	Isla Vista Drive	476-160-03-00	Islenair Unit #1, Block 3, Lot 3	6L
n/a	4750		476-151-16-00		
n/a	4768		476-151-17-00		
n/a	4766	Thorn Street	476-151-18-00	Islenair Unit #1, Block 1, Lot 16 and Islenair Unit #2, Block 4, Lot 1	6Z
n/a	4769	Thorn Street	476-241-01-00	Islenair Unit #2, Block 7, Lot 1	6Z

BE IT FURTHER RESOLVED, in light of the foregoing, the Historical Resources Board of the City of San Diego hereby approves the historical designation of the above named historic district. The designation includes the entire boundary of the district as Designated Historical Resource Site No. **Site No. 807 [01-82]**.

BE IT FURTHER RESOLVED, that the boundaries of the district and the location of all contributing resources within that district will be identified in the City's Geographic Information Systems (GIS) database for the information and use of other City departments when considering projects which will impact the proposed district.

BE IT FURTHER RESOLVED, the Secretary to the Historical Resources Board shall include this resolution in the designation file for the Islenair District as part of the official designation record.

BE IT FURTHER RESOLVED, the Secretary to the Historical Resources Board shall prepare a resolution for each contributing resource within the District and cause a certified copy of said resolutions to be recorded in the office of the San Diego County Recorder at no fee, for the benefit of the City of San Diego, and with no documentary tax due.

Vote: 8-0-0

BY:

ROBERT VACCHI, Chair  
Historical Resources Board

APPROVED AS TO FORM AND  
LEGALITY: MICHAEL AGUIRRE,  
CITY ATTORNEY

BY:

MARIANNE GREENE  
Deputy City Attorney

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# *Executive Summary*

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## Section 1

*Islenair Historic District  
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# Islenair

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## Executive Summary

Islenair is a small, working class, early auto-oriented suburb in the community of City Heights that reflects the small house movement which took hold following World War I and became a national standard of development in the wake of the Great Depression and the Post-World War II housing shortage. Its location marks a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and the use of previously unreachable and underutilized land to the east. The neighborhood serves as a microcosm of architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952.



A significant number of the properties within the proposed district have retained their historical integrity and remain in good condition. Historical district designation provides an incentive for the continued revitalization of the neighborhood, and the preservation of its unique character, scale and setting. Both property owners and renters will benefit from the rehabilitation of the existing housing stock as follows:

- Special community scale and character will be maintained.
- Tax abatement or other economic incentives, such as façade easement donations or Mills Act property tax reduction agreements to encourage preservation and rehabilitation.
- Design assistance and review for alterations and new construction to ensure compatibility of development with historical context and neighborhood character preservation.
- Conditional Use Permits for alternative use of historical structures.
- State Historic Building Code providing flexibility in the application of building code standards.
- Prioritization for utility undergrounding and other physical revitalization programs.

Implementation of the programs listed above depends upon Islenair being designated as a historical district. The area's designation is important in order for the residents and owners to access the programs and resources while maintaining this neighborhood as a valuable historical resource within the City of San Diego.

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# *Introduction*

## Section 2

*Islenair Historic District  
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## Introduction

In July of 2002, at the request of community representatives, City of San Diego Planning Department staff began research into the history of the Islenair subdivision, located in the San Diego community of City Heights. Following preliminary research, staff conducted an intensive architectural survey of Islenair with the purpose of completing individual California Department of Parks and Recreation Primary Record Forms (DPR-523) for each property and assessing the integrity of the district.

Research revealed that Islenair is a modest middle class subdivision designed in keeping with the suburban design philosophies of small, moderately priced homes along curving tree-lined streets which had begun with the City Beautiful movement in the 1890's. It borrowed design influences of other San Diego subdivisions in development at that time, such as Kensington, with its canyon orientation, curved streets, and palm tree-lined parkways; while at the same time maintaining the pattern of small-scale development, both in terms of the house size and the size of the neighborhood, that was typical of subdivisions in the City Heights area.

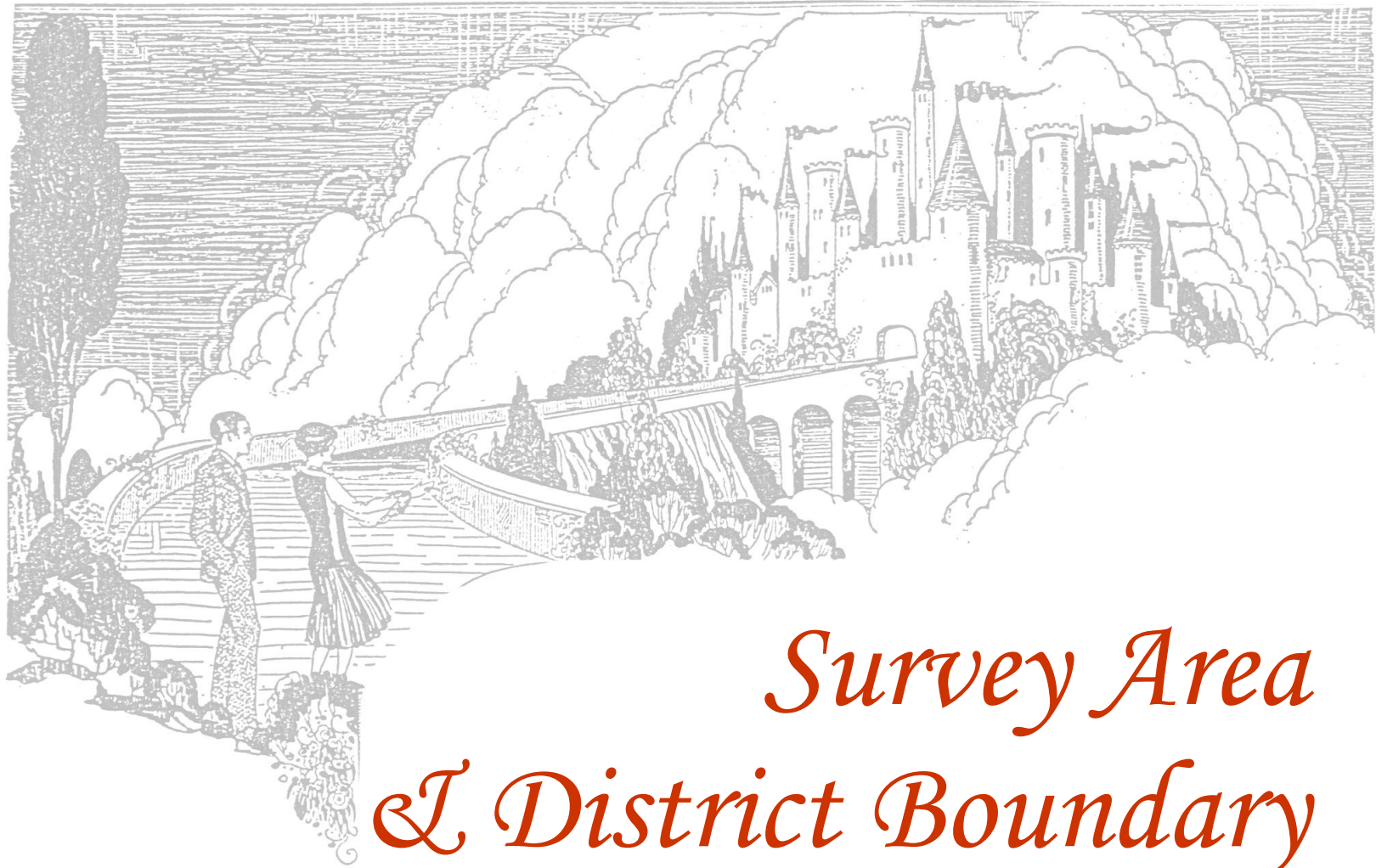
However, efforts to establish the district stalled shortly thereafter due to a lack of adequate staffing. Work on the district resumed in January of 2007, with an updated survey and a revised context statement, statement of significance, and period of significance. The updated survey revealed that of the 114 properties within Islenair, 82 properties contribute to the significance of Islenair, while 32 do not contribute due either to modifications or to a construction date outside the period of significance. Nearly three-quarters (72%) of the resources in Islenair have been identified as contributing to the significance of the district.

The report that follows includes:

- ◆ a description of the survey area and district boundary;
- ◆ a historical context for the development of Islenair;
- ◆ a statement of significance and period of significance;
- ◆ a detailed description of the survey methodology, including how historical integrity was assessed, the classification of contributing and non-contributing resources, and the use of California Historical Resource Status Codes;
- ◆ State of California Department of Parks and Recreation District Record (DPR-523D)
- ◆ State of California Department of Parks and Recreation Primary Record Forms (DPR-523A and 523-B) for each resource within the district boundary; and
- ◆ Development and Design Guidelines as well as the U.S. Secretary of the Interior's Standards to assist in review of development within the District.

Historic designation has many incentives that can benefit the owners of historic property. Among the many benefits for property owners is the Mills Act, which allows for a reduction in property taxes; and the use of the State Historic Building Code, which allows for greater leniency in the rehabilitation of historically designated homes. In return the property owner has the responsibility to be sensitive to the historic character of their home and district when proposing development or rehabilitation to their structure. If a property owner is interested in making changes to the exterior of their home, the U.S. Secretary of the Interior's Standards will be consulted. Historically designated properties generally lend themselves to the improvement of the surrounding community. Pride in homeownership also promotes revitalization in the neighborhood, and overall property value increases.

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# *Survey Area & District Boundary*

## Section 3

*Islenair Historic District  
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# Islenair

## Survey Area and Historic District Boundary

The boundary for the intensive survey was based on the original Islenair subdivision, consisting of Islenair Unit #1 (Map 1898) and Islenair Unit #2 (Map 1925), and included: the properties along the north side of Isla Vista Drive to the north; the homes along the east side of Isla Vista Drive to the east; the Isla Vista cul-de-sac and the properties at 3203 and 3204 Belle Isle Drive to the south; and Euclid Avenue to the west. The survey area included 113 buildings on 115 parcels.



*Islenair is located in City Heights approximately 1 mile east of I-15 and 3 blocks south of University Avenue.*



*The District includes Islenair Unit #1 and Unit #2*

Upon completion of the survey, it was determined that the original subdivision retained sufficient integrity to convey significance as a historic district. Therefore, the boundaries of the original Islenair subdivision, consisting of Islenair Unit #1 and Unit #2, shall serve as the boundary of the Islenair Historic District.

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# *Historic Context*

## Section 4

*Islenair Historic District  
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## Historic Context

Islenair is a small, working class, early auto-oriented suburb that reflects the small house movement which took hold following World War I and became a national standard of development in the wake of the Great Depression and the Post-World War II housing shortage. In order to provide a foundation for our analysis and place the development of Islenair in a larger national and regional context, this historical context statement will first look at national and local patterns of suburban development leading up to and through the introduction of automobile suburbs. With that broader understanding in place, the context statement will focus on the history and development of Islenair, how it relates to overall patterns of development, and why it is significant to the development history of San Diego.

### EARLY SUBURBAN DEVELOPMENT

By the early to mid nineteenth century, the increasingly crowded, noisy and polluted nature of the city created a growing desire among Americans for a life in a semi-rural environment which brought nature and community together within a daily commute to and from work in the city. Inventions in building technology such as balloon-frame construction, which provided flexibility in design and allowed quicker construction with cheaper materials and less experienced labor, coupled with transportation technology, which made daily commutes possible and affordable, allowed this American ideal to become a reality for an increasingly wide range of socio-economic classes over time.<sup>1</sup>

### National Patterns<sup>2</sup>

The evolution of American suburbs from 1830 to 1960 can be divided into four stages related to advancements in transportation technology which allowed development to extend beyond the historical limits of human mobility. The early stages of suburban development in America from 1830 to roughly 1928, include Railroad and Horsecar Suburbs (1830-1890) and Streetcar Suburbs (1888-1928), which resulted from increased mobility within the boundaries of established transit.

#### Railroad and Horsecar Suburbs

The Railroad Suburb began in 1830 as railroad companies began to seek new sources of revenue by building passenger stations along their routes connecting cities with outlying rural villages. These stations became the focal point of villages that developed along the railroad lines and attracted land development companies which would lay out semi-rural residential communities. Also beginning in 1830's, the Horsecar Suburb developed as horse-drawn cars provided the first mass transit systems by offering regularly scheduled operations along a fixed route. The evolution of the horsecar to horse-drawn omnibus and then finally the horse-drawn streetcar allowed the perimeters of cities to slowly expand from 13 to 30 square miles. The cost of this newfound transportation began to determine where people lived, with middle and working classes settling in neighborhoods accessible by horse-drawn cars, and the upper and upper-middle classes settling in railroad suburbs.

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<sup>1</sup> *National Register Bulletin on Historic Residential Suburbs*. See Bibliography for complete citation.

<sup>2</sup> This summary of national patterns of suburban development was compiled from the *National Register Bulletin on Historic Residential Suburbs*, and may contain direct or abridged quotes.

### Streetcar Suburbs

The electric streetcar, introduced in 1887, quickly fostered a tremendous expansion of suburban growth, allowing people to travel in ten minutes as far as they could walk in 30 minutes. In cities of the emerging Midwest and West, streetcar lines influenced the initial pattern of suburban development. In many places the development of real estate would closely follow the introduction of the streetcar, with developers platting rectilinear subdivisions within a five or ten minute walk of the streetcar along its numerous stops. By keeping fares low, streetcars attracted a wide range of socio-economic classes, drawing middle and working classes to the city's periphery where land was cheaper, and became the primary means of transportation for all income levels.

### **San Diego's Early Growth and Development<sup>3</sup>**

The urban and suburban development of San Diego, led by a number of civic leaders and entrepreneurs over time, is characterized by several great boom and bust eras which influenced San Diego's population and pattern of development.

### Railroad Envy

San Diego developed as a frontier town in the mid nineteenth century and followed the model of frontier expansion with emphasis on land speculation, promotion, and railroad construction, the latter of which was considered the linchpin of successful urban development, generating population growth and commercial activity. In the case of San Diego the railroad would be used not for suburban expansion, but rather the creation of an urban center. New Town San Diego, located on San Diego Bay, was first platted in 1850 with the hope of establishing a railroad following the Mexican-American War. New Town experienced two years of growth before key financial backing dissolved and businesses were forced to relocate to Old Town or out of San Diego entirely. Despite some gains in the effort to build a railroad and additional land speculation in the Middletown area, development stalled until the end of the Civil War in 1865 when settlers began to move west once again.

Alonzo Horton, a seasoned urban pioneer and land speculator came to San Diego in 1865 and by 1867 had purchased 800 acres east of New Town and Middletown. He began an aggressive promotional campaign, offering free lots to anyone who would build a house worth \$500 on it. Horton's successful promotion attracted other speculators and developers to San Diego, and within the next five years 15 new subdivisions were laid out around Horton's Addition. 1868 and 1869 were boom years, with steady growth over the next three years until the economic panic of 1873. By 1875 the population had dropped from a high of 4,000 in 1873 to just 1,500. San Diego's civic leaders continued to focus on the development of the railroad. Construction of the Santa Fe Railroad began in 1880 and the first trains arrived in San Diego in 1882, leading to period of renewed and steady growth.

### Local Streetcar Suburbs

This period of steady growth was followed by another boom that resulted in a population of 35,000 and a full-fledged land investment and speculation frenzy which created 30 new real estate tracts county-wide by 1888. These new tracts included the areas of Hillcrest and University Heights, located roughly two miles outside of the downtown core and accessed by new streetcar

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<sup>3</sup> This summary of early San Diego Development was drawn from the "Uptown Historic Context and Oral History Report". See Bibliography for complete citation.

lines running along Fourth Avenue and Switzer Canyon into the Uptown area. These and other first-ring subdivisions located on the periphery of downtown became San Diego's first Streetcar Suburbs. The boom resulted in over \$10 million in new improvements, including paving, electrical street lights and railways, sewage systems, and new construction before ending suddenly when the bottom fell out of the real estate market in the spring of 1888. By the 1890's the City's population settled to around 17,000.

The dawn of the Twentieth Century brought steadier development for San Diego, which experienced modest growth as a health and tourist resort. The economic promise of the Panama Canal, which broke ground in 1903, created yet another boom beginning in 1906. John D. Spreckels launched a major building campaign downtown to modernize the City and introduce multi-story concrete commercial buildings. As downtown began to change, families began moving in greater numbers to the first ring "streetcar suburbs" created during the boom of the 1880's. George Marston, a Progressive and advocate of City Planning, which attempted to provide a rational control over the urban environment, invested heavily in civic improvements through the Nolen Plan and the creation of Balboa Park through the Parsons Plan. The Parsons Plan was superseded by the development of the 1915 Panama California Exposition, which would draw thousands to San Diego in celebration of the opening of the Panama Canal and the promise of the future.



*Streetcar at the intersection of University Ave & Euclid Ave, 1931  
San Diego Historical Society Title Insurance & Trust Collection*

## **AUTOMOBILE ERA: SUBURBAN EXPANSION DURING THE 1920'S AND BEYOND**

### **National Patterns<sup>4</sup>**

The later stages of American suburbs from roughly 1908 through 1960 include Early Automobile Suburbs (1908-1945) and Post-World War II and Early Freeway Suburbs (1945-1960), which resulted from greater mobility for the individual through the use of the increasingly affordable and popular automobile, allowing development to extend beyond the limits of conventional mass-transit.<sup>5</sup>

### **Early Automobile Suburbs**

In 1910, Henry Ford began producing his Model T automobile on a massive scale. His assembly-line operation greatly reduced the cost of automobile ownership, resulting in a sharp increase in

<sup>4</sup> This summary of national patterns of suburban development was compiled from the *National Register Bulletin on Historic Residential Suburbs*, and may contain direct or abridged quotes.

<sup>5</sup> *National Register Bulletin on Historic Residential Suburbs*. See Bibliography for complete citation.

the number of automobiles in operation nationwide from 500,000 in 1910 to 9.25 million in 1920. This rise in automobile ownership stimulated an intense period of suburban expansion between 1918 and the onset of the Depression. Suburban development began to fill in the areas between streetcar lines as the popularity of the automobile spurred the development of new streets, parkways and boulevards. As new roads were built, suburban development became decentralized, creating fringes of increasingly low densities. With commuters no longer needing to live within walking distance of the streetcar line, residential suburbs could be built at lower densities to form self-contained neighborhoods. This trend in suburban development further stimulated the construction of additional infrastructure, laying the groundwork for the highway system that would shape suburban development following WWII.

### Post-World War II and Early Freeway Suburbs

The most dramatic stage of suburban development occurred as a result of increased automobile ownership, advances in building technology, and the Baby Boom following the end of WWII. Critical housing shortages, new low-cost long-term mortgages and use of the GI Bill greatly spurred the development of single family homes. In addition, the Highway Act of 1944 would provide increased connectivity to and between cities and outlying subdivisions.

### **San Diego's Suburban Expansion**

During the decade of the 1920's the growth envisioned by San Diego's early pioneers was realized as the City's population doubled from 74,683 to 147,897. This was due in large part by a concerted and focused effort to attract the Navy and its resources to San Diego, which resulted in the construction of several Navy installations between 1917 and 1930. The Navy provided the population and the economy to allow the city to develop throughout the inter-war period and served as a major catalyst for the development of the harbor. To accommodate the rapidly growing population, development began to stretch outwards in all directions from Pacific Beach to East San Diego.<sup>6</sup>

### Impact of the Automobile

Automobile popularity and ownership in Southern California and across the country continued to reach new heights in the mid-to-late 1920's. Monies raised through the Gasoline Tax funded the construction of new roads throughout the United States. The *San Diego Union* estimated in 1926 that San Diego County had approximately 50,500 registered automobiles in a population of 202,000 people, or one car for every four people in San Diego County. In that same year the City Council approved funds for the purchase of San Diego's first traffic control signals (semaphores) as a traffic calming measure in the increasingly chaotic streets of downtown. The rise in automobile ownership did not escape the attention of San Diego's boosters, who released a "San Diego" booster plate that attached to the bottom of vehicle license plates.<sup>7</sup>

This rise in automobile ownership decreased dependency on the trolley line as a means of transportation outside of the City's core, and development began to spread and intensify in San Diego's peripheral communities, including East San Diego, which saw limited development during the era of Streetcar Suburbs.

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<sup>6</sup> This summary of San Diego's Development was drawn from the "Uptown Historic Context and Oral History Report". See Bibliography for complete citation.

<sup>7</sup> *San Diego Union*, "New San Diego Booster Plate Colored to Match 1926 California License". 3 Jan 1926 and "Officials O.K. New System for Local Traffic". 8 Jan 1926



## DEVELOPMENT OF ISLENAIR

### East San Diego and City Heights

City Heights saw its beginning in the speculative land boom of the 1880s during which several large subdivisions were platted and some improvements installed. However, the boom would soon bust, and development progressed slowly through the 1890's. By 1906 San Diego was gearing up for another boom in development, and John D. Spreckels announced that his San Diego Electric Trolley Company would extend its streetcar line out along University Avenue to City Heights. In an effort to promote development in City Heights, Columbian Realty sponsored some of the extension work and constructed a five-story observation tower to allow prospective buyers to look out over their potential purchases. In 1906 Columbian Realty re-platted the City Heights subdivision to accommodate the extension of the new trolley line, and over the next few years City Heights would continue to grow steadily as San Diego's eastern-most "streetcar suburb". Just six years later, City Heights had over 500 new residences, which prompted them to take advantage of the "Municipalities Act" passed by the State Legislature the previous year allowing communities with 500 residents or more to incorporate. In 1912 the community petitioned the County for incorporation and voted the City of East San Diego into existence.<sup>8</sup>

Development in East San Diego was predominantly comprised of modest homes, many of which were built in the Spanish styles, especially following the Panama California Exposition in 1915. The homes were small and often clustered near the trolley line for easy access and mobility. The neighborhoods themselves were often small and featured curved, rather than grid-pattern streets.



*East San Diego Annexation Celebration, 1923  
San Diego Historical Society Title Insurance & Trust Collection*

In 1923 the City of San Diego annexed East San Diego, an indicator of its growth and prosperity. Prior to the mid-1920's, expansion to the east ended largely at the intersection of University Avenue and Euclid Avenue, the end of San Diego's eastern most trolley line. Sporadic development northeast and southeast of the intersection just above the natural limits of what we now know as the Auburn Creek branch of Chollas Creek, but was then known (and will be referred to in this history) as Chollas Valley, was present. Such development included subdivisions east of Euclid Avenue along University Avenue, such as Oak Park (map 1732); and along Euclid Avenue just south of University Avenue including Fairmount Addition (map 1347) and Fairhaven Acres (map

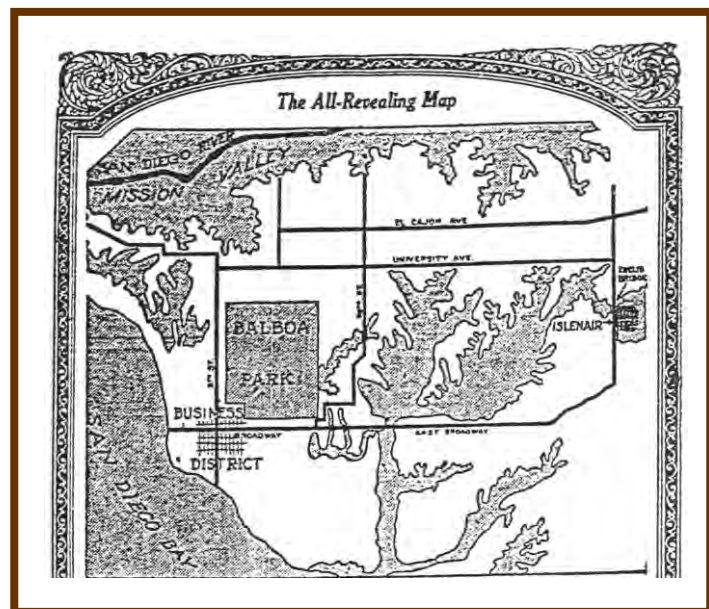
<sup>8</sup> Newland, James D., M.A. "Historical and Architectural Report for Nomination of the Quartermass-Stensrud House and Carriage House 5602 Adams Avenue Community of El Cerrito to the City of San Diego Historic Site Register". 2002.

1490). However, all of these prior subdivisions were accessible by foot from the streetcar stop or by car through on-grade improvements which did not require significant investments in infrastructure to connect the areas divided by the numerous canyons and valleys that cut through the central mesa area. Due to the ever increasing popularity and affordability of the automobile, new infrastructure projects would be undertaken to open these previously undeveloped areas to suburbanization. Such infrastructure projects included the paving of University Avenue east of Euclid Avenue and the construction of the Euclid Avenue extension and bridge, which, at the time, would provide the only north-south connection between East Broadway and University Avenue east of 30<sup>th</sup> Street. This new infrastructure would make possible East San Diego's first auto-dependent suburbs, including Islenair.

### The Euclid Avenue Extension

The development of Islenair, which, at the time developers James Love and William Touhey received approval had no means of vehicular access, was contingent upon the completion of the Euclid Avenue extension. The extension of Euclid Avenue from University Avenue south to East Broadway was publicized as the "next great cross-town highway", one of only five north/south highways in San Diego and the only north/south connection east of 30<sup>th</sup> Street. The project involved the paving of three and one half miles of road and the construction of four bridges, the largest of which would be directly north of Islenair and would allow access to the subdivision.<sup>9</sup>

The progress of the planning and implementation of the project was closely followed in the press and promoted in Love and Touhey's advertisements for Islenair beginning in March of 1926. On April 18, 1926 the *San Diego Union* reported that Love and Touhey announced that final plans and specifications for the Euclid Avenue extension were promised within the next few days. In May, completion of the project was scheduled for fall. However, it wasn't until August that the San Diego Board of Supervisors approved the \$220,000 needed to fund the project.<sup>10</sup> Bids would not be accepted until September, 1926. At the September Board of Supervisors hearing, proponents of the expansion project ran into an unexpected roadblock when residents living north of University Avenue entered the chamber of the Board of Supervisors to protest bearing the financial burden for infrastructure that would not directly benefit them. The Board passed a resolution in response to citizen protest, which called for a re-evaluation of funding sources that would place the burden of expense more on property owners living on or near the Euclid Avenue extension.<sup>11</sup>



Map taken from a newspaper advertisement for Islenair showing Islenair adjacent to the new Euclid Extension

<sup>9</sup> *San Diego Union*, Advertisements for Islenair. March through August 1926

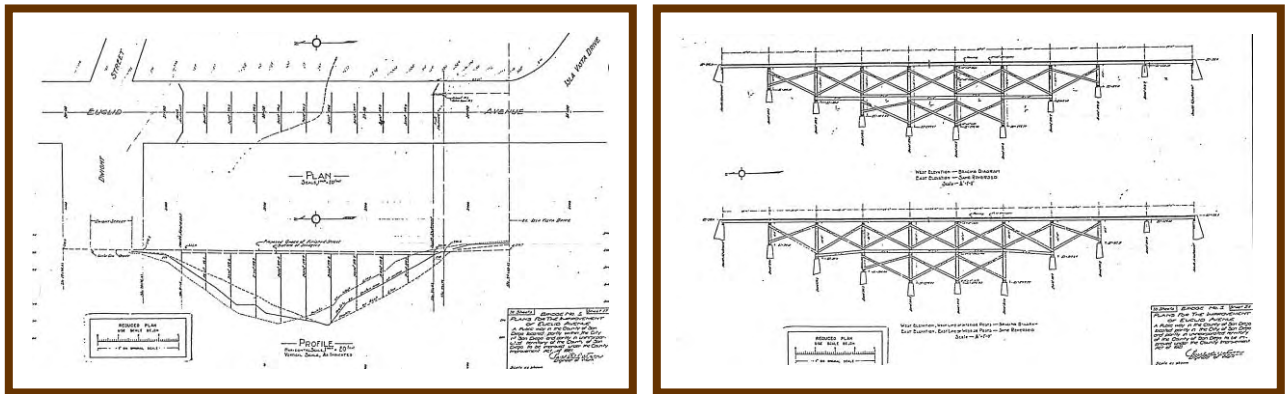
<sup>10</sup> *San Diego Union*, "Five Mile Paving of Euclid Avenue to Cost \$220,000". 17 August 1926

<sup>11</sup> *San Diego Union*, "Protest Against Euclid Extension". 14 September 1926



In November the Board of Supervisors finally awarded the contract for the Euclid Avenue extension to David H. Ryan, who put in a bid only seventy-five dollars lower than Ben Pearce Construction Company. The firm of Watson, Valle and Gough served as engineers on the project.<sup>12</sup> Although no evidence has been found in *San Diego Union* articles, it appears that Ryan may not have actually done the work on the extension project. Sidewalk stamps along Euclid Avenue indicate that Ben Pearce did the paving in 1927. Why David Ryan was unable to complete the contract he was awarded is still unclear.

The construction of what is known as the “Euclid Avenue Bridge” was an element of the expansion project that was particularly vital for the development of Islenair. The bridge covered a 250-foot span that divided the area around the intersection of Euclid Avenue and University Avenue (north of Dwight Street) from the area that would become Islenair, allowing access to the new subdivision. The task of designing the bridge fell to Paul R Watson of Watson, Valle and Gough, who designed a wood truss bridge that was most likely completed in early 11927.

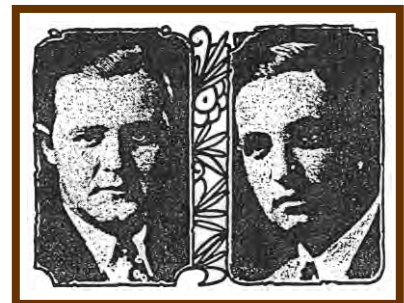


Engineering drawings for the Euclid Avenue Bridge directly north of Islenair.

In December of 1941 the *San Diego Union* reported that the City Council approved \$16,000 for the demolition of the Euclid Avenue Bridge to be replaced with a fill. According to the Union, the nearly fifteen year-old wood bridge was rotting and had to be demolished completely. The contract was awarded to the Macco Construction Company who was to start work on the project only ten days after the contract was signed. It is unclear when the bridge was actually demolished. The 1956 Sanborn Map shows the existence of a 250-foot wood bridge, which should not have been there if indeed the rotted bridge had been replaced with a fill in 1941. The outbreak of World War II one week before the Council’s approval of funds may have de-railed the slated demolition until a later date.

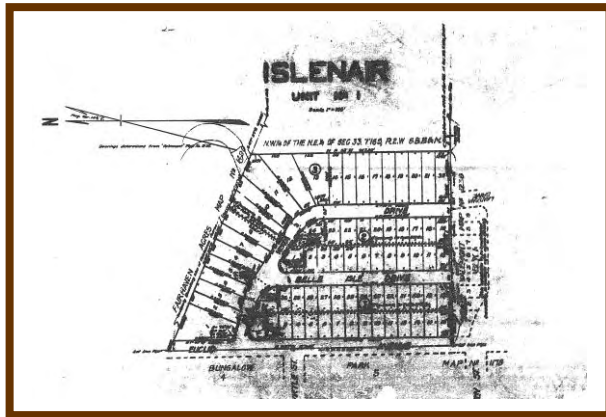
### Love & Touhey

As San Diego’s population continued to increase during the 1920’s and the proliferation of the automobile expanded the reach of suburbanization beyond the limitations of Streetcar Suburbs, real estate investors James Love and William J. Touhey set out to capitalize on this increased personal mobility and the wealth of undeveloped land in San Diego’s periphery communities when the subdivision map for Islenair Unit 1 was filed in early 1926. The unit included the area on the east side of Euclid Avenue, the area north

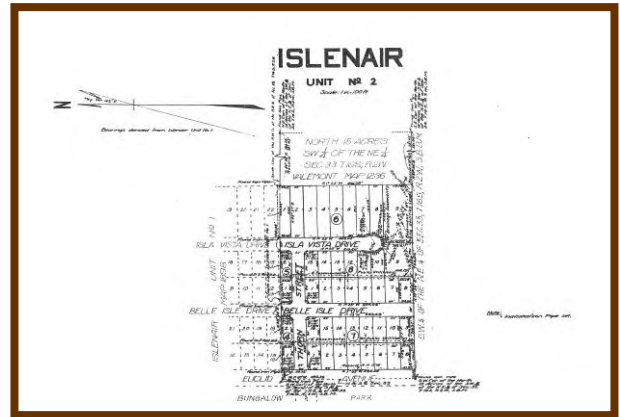


<sup>12</sup> *San Diego Union*, “Supervisors Let Euclid Avenue Paving Contract”. 2 November 1926

of Thorn Street, and the area along Isla Vista Drive to the north and east. The City adopted the map for Islenair Unit 1 on March 22, 1926. Soon after, on July 6, 1926, the City adopted the subdivision map for Islenair Unit 2, which contained the area on the east side of Euclid Avenue, the area to the south of Thorn Street ending at 3203 and 3204 Belle Isle Drive, and the area along Isla Vista Drive to the east. Islenair Unit #2 had previously been surveyed and subdivided as Valemont (Map 1236) in 1909, however the subdivision had never been improved or developed, in all likelihood due to the canyon to the north and the need for infrastructure improvements which would not come until the construction of the Euclid Avenue bridge in 1927.



Map 1898 for Islenair Unit #1



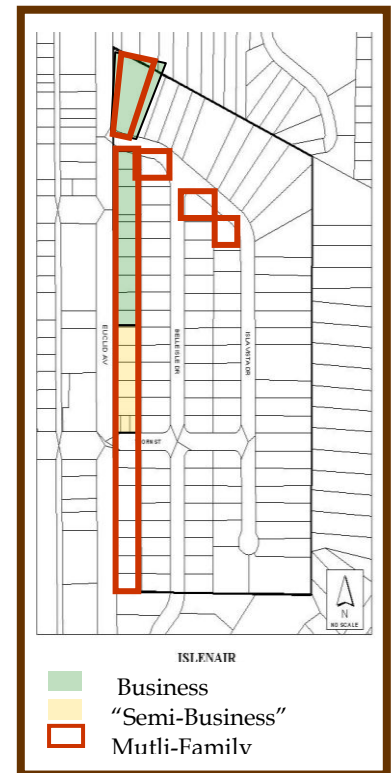
Map 1925 for Islenair Unit #2

### The Vision

For their development's location, Love and Touhey chose a stretch of land high above Chollas Valley surrounded on three sides by open canyon space. The picturesque location provided the inspiration for the subdivision's name, Islenair (or Island-in-the air). Lots along the east side of Isla Vista Drive would include portions of the canyon nearly half-way down the slope. Due to the limitations of grading and engineering technology, many of these lots would not be developed until the third phase of development in Islenair following World War II, and the canyon continues to be a character defining feature of the subdivision.

In addition to its aesthetic quality, the location selected by Love and Touhey was particularly suited to the transitional time in which the subdivision was developed. Advertised as a "Hub-Division" by the two developers, Islenair was only three blocks south of the eastern trolley terminus at University and Euclid Avenues; and yet at the same time the development of Islenair was a product of and was contingent upon the construction of new infrastructure necessitated by the increase in automobile ownership.

Love and Touhey planned Islenair as a self-contained, mixed use subdivision, taking advantage of their location on Euclid Avenue by allowing a variety of uses including business, "semi-business", and multi-family uses along the new high-profile thoroughfare. The interior of the subdivision would contain single family residential uses with some multi-family use permitted on large, high-profile corner lots.



Islenair was designed in keeping with the suburban design philosophies of small, moderately priced homes along curving tree-lined streets which had begun with the City Beautiful movement in the 1890's. It borrowed design influences of other San Diego subdivisions in development at that time, such as Kensington, with its canyon orientation, curved streets, and palm tree-lined parkways; while at the same time maintaining the pattern of small-scale development, both in terms of the house size and the size of the neighborhood, that was typical of subdivisions in the City Heights area. They promoted Islenair as "I.P.F." (improvements paid for) not "U.P.F" (you pay the improvements). Their lots, which were 50-foot frontages that usually sold for \$845 to \$1095, included the installation of gas, electricity, water, and paved sidewalks and curbs. Minimum allowable cost for construction and improvements on lots in Islenair was set at \$3,500, as opposed to the \$5,000 minimum set in subdivisions such as Kensington, which sold its lots for \$900 to \$3,700. This emphasis on small-scale, affordable development afforded middle and working class families the opportunity to invest in homeownership in a neighborhood which utilized and expressed modern planning and subdivision principles.

### Promoting Islenair

Love and Touhey launched an aggressive and creative advertising campaign for Islenair beginning in March of 1926 with the motto, "the best of San Diego's four climates". Love and Touhey credited the subdivision's location with providing a consistently comfortable and pleasing climate, sunny and warm with a slight breeze and distant view of the ocean. The graphics in their advertisements conjured up fairy tale-like images of an oasis in the clouds.

**Across**

- The name of the subdivision starting at the intersection of 12th & Market from Islenair.
- The letters of the word "puzzle" which you should bring to solve Islenair.
- Abbreviation for the English measure of an average Islenair acre size.
- What you should do with your Islenair home site at 1200 Fifth Street, to solve its famous puzzle.
- Abbreviation of the word from which the Islenair tract's name is derived.
- The letters of the word "puzzle" which you should bring to solve Islenair.
- Through which the "Isle" with "puzzle" comes to solve Islenair.
- What a fourth puzzle is along the Islenair road, but not in Islenair.
- The letters of the word "puzzle" which you should bring to solve Islenair.
- The name of the road that runs north and south between Park Boulevard and La Brea road, near World Avenue Station, is completed from Islenair. The name is spelled with a word and the letters of the word "puzzle" for "puzzle".
- The name of the designer of Islenair.

**Down**

- What the letters of the word "puzzle" which you should bring to solve Islenair.
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**ISLENAIR'S CROSS-ROAD-PUZZLE**

1	2	3	4	5	6	7	8	9	10	11	12
1											12
11											
13		14		15							
16											17
18	19				20						21
											22
											23
		24	25	26	27	28	29	30	31		
32											

**Are You Clever?**  
Then solve our Cross-road Puzzle!

**DO NOT** get the idea that the Islenair cross-road puzzle is childishly easy—as a matter of fact few San Diegans have correctly solved it to date, although thousands are working on it. Also do not get the idea that the \$25 credit on any Islenair homestead allowed for each correct solution (only one credit on a lot) means nothing, as the puzzle is difficult enough to make the credit desirable and valuable.

The truth is that our cross-road puzzle is unusually ingenious, as 32 of its 34 characters refer either directly or indirectly to Islenair subdivision. Bring your answer to 1200 Fifth Street, or to the tract, and if correct, we shall allow you \$25 on any unsold business or residential lot. If you do not wish to use the credit, convey it to some friend or acquaintance who does.

This contest will close soon, and solution and prize winners announced, so get busy. If you get "stuck" on the puzzle, take a trip to the tract, where free luncheons are served Wednesdays, Fridays and Sundays, together with an inspiring lecture by James Love on the future of San Diego. Or call Main 3634 and we shall be glad to show you beautiful Islenair without obligation.

**Love & Touhey**  
1200 5th St.  
Tel. M. 3634

Crossword puzzle advertisement for Islenair

Love and Touhey used newspaper advertisements as a platform for gimmicky showmanship to attract buyers to their Islenair subdivision. In May of 1926 Love and Touhey printed an Islenair "Cross-road" puzzle in their advertisement, which ran in the *San Diego Union*. Those who successfully completed the crossword puzzle could bring it in to Love and Touhey's office to receive a \$25 credit toward the purchase of an Islenair lot. According to the *San Diego Union*, the puzzle, which told the "story" of Islenair, attracted great attention and resulted in several hundred submissions to Love and Touhey, only a few of which were correct. Love and Touhey also held free tri-weekly luncheons at Islenair (transportation provided) under a tent where James Love would end the luncheon with a lecture on the "future of San Diego." These luncheons were very popular and attracted many potential buyers.

Love and Touhey managed to reach new heights in showmanship when they advertised in the paper that the final climactic scene of the 1926 Our Kids film, "Fire" would be shot at Islenair. The child comedy was to end with the fiery destruction of a two-story



frame house on a lot in Islenair. Love and Touhey encouraged the public to attend and promised “Three Great Thrills Today: See a Comedy Filmed, a Spectacular Fire, and the Homesite of Your Dreams!” As an added bonus, the film’s director, Mr. George deKirby, agreed to take moving pictures of those in attendance and release them locally.

Love and Touhey’s advertising ingenuity led to the complete sale of Islenair Unit 1 in 90 days and anticipated the sell-out of Unit 2 in just 45 days. However, build-out of the subdivision would come slowly over the next 25 years, as individual property owners and small scale spec builders began to develop their parcels between the lean years of the Great Depression and World War II. Homes in Islenair would be built by a wide variety of contractors and designers. Some builders appear only once in Islenair’s history, while others have many examples of their craftsmanship throughout the neighborhood. Such builders include: The Dennstedt Company, Cummins Brothers Construction, San Diego Building and Remodel Service, and R R West, who built at least ten of the homes in Islenair. The most noteworthy of the Islenair builders is Mr. Charles Tifal, who built five homes in Islenair and has been established by the City of San Diego Historical Resources Board as a Master Builder. Tifal worked both independently as a contractor and with his business partner, architectural designer Ralph Hurlburt. Together, Hurlburt and Tifal built an impressive resume of homes throughout San Diego, publishing a brochure of their work entitled “Distinctive Homes.” Apparently working independently either for hire or as a spec builder, Tifal’s work in Islenair expresses his quality craftsmanship in a more modest, “small house” scale.

### First Phase of Development: 1927-1931

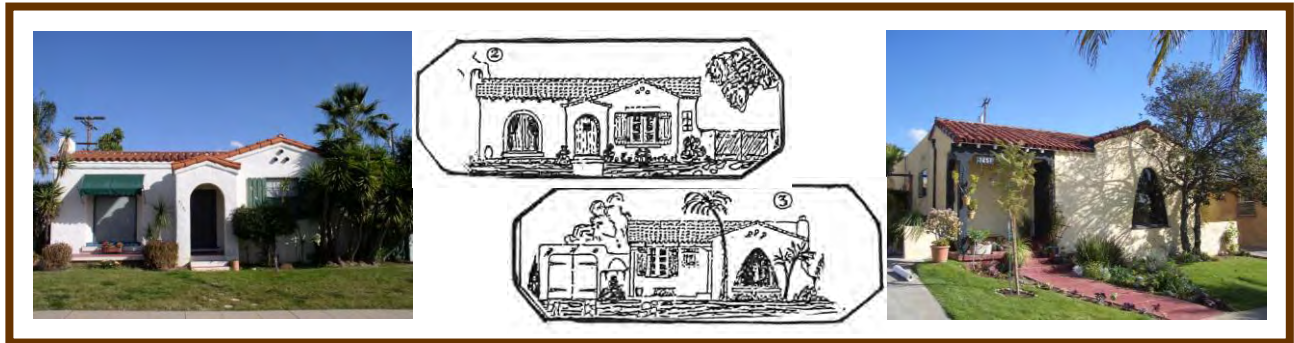
The first phase of development in Islenair, beginning with first sale of lots in 1927, was reflective of both the small house movement of the 1920’s and the popularity of Spanish Revival or Eclectic architecture that swept San Diego following the immense success of the 1915 Panama-California Exposition in San Diego’s Balboa Park, which attracted thousands of people to San Diego and resulted in one of the greatest local building booms in San Diego History.

After World War I, focus shifted to improving the quality of American domestic life through home ownership, standardized home building practices, and improvements. The small house movement focused on quality design and construction in a compact, efficient layout containing no more than six rooms. Small houses in the 1920’s varied in style, with different regions promoting local trends.<sup>13</sup> The small house movement was also aided by the growing popularity of the automobile. The personal mobility afforded by the automobile often meant that people spent less of their leisure time at home, and therefore required less space for living and entertainment. Guest rooms often became a thing of the past as guests chose to stay in nearby



<sup>13</sup> *National Register Bulletin on Historic Residential Suburbs*. See Bibliography for complete citation.

hotels.<sup>14</sup> Homes in Islenair, which were constructed as single-story, modest residences, reflect the small house movement and the influence of the automobile, with just enough room for a middle class family to live comfortably. The vast majority of homes have porte cocheres or detached garages designed in a style consistent with the architecture of the home.



In addition, homes built during this first phase were built exclusively in the Spanish Eclectic style, wildly popular throughout San Diego and actively promoted by leading architectural figures including Richard Requa, who published trade pamphlets such as *Old World Inspiration for American Architecture*. Development progressed steadily beginning in 1927 with the construction of twenty homes in just four years before the full effects of the Depression were felt. Construction in Islenair came to a halt by the end of 1931.

### Second Phase of Development: 1935-1941

As the United States entered the leanest years of the Great Depression in the early thirties, new construction in Islenair ceased. As the Depression deepened and housing construction declined



sharply, discussion of the ideal small house took on new urgency with the collapse of the home building industry and the rising rate of foreclosures. The 1931 President's Conference for the design of residential neighborhoods resulted in recommendations from the Nation's leading experts on how to achieve the objectives of reforming the Nation's system of home financing, improving the quality of housing for moderate and lower-income groups, and stimulating the building industry. This meant establishing a new national priority of improving the design and efficiency of the American home while lowering its cost. This was achieved in large part through the Federal Housing Administration (FHA) established in 1934, which, through its approval of properties for mortgage insurance and publication of housing and subdivision standards, instituted a national program that would regulate home building practices for decades to come.

<sup>14</sup> Brilliant, Ashleigh. *The Great Car Craze*. Santa Barbara: Woodbridge Press, 1989.

FHA's first publication of *Planning Small Houses* in 1936 featured five house types which offered "a range in comfort of living" while maintaining FHA's principle of "providing maximum accommodation within a minimum of means". The simplest FHA design, known as the "FHA minimum house", was designed for a family of three adults or two adults and two children and



*Elevations and floor plans from the 1940 edition of FHA's "Principles of Planning Small Houses."*

measured 534-624 square feet with a kitchen, a multi-purpose living room, two bedrooms and one bathroom. By 1940 *Planning Small Houses* provided a more flexible system of design based on expandability, standardization, and variability. The simple one story "minimum house" could be expanded as needed to accommodate growing families and design could be influenced by individual taste through the addition of simple architectural features and elements such as gables, porches, materials, roof types, windows and shutters.<sup>15</sup>

As building resumed in Islenair in 1935, likely through the use of government funding and assistance, the work of the FHA and the emphasis on the "minimum house" could be seen in the introduction of a new architectural style. The Minimal Traditional style, characterized by a simple floor plan; stucco exterior; hipped or gable roofs with composition shingles; and simple, single pane, 1-over-1, and 2-over-2 wood frame and sash windows, began to grow in popularity as the Spanish Eclectic style was slowly phased out. Modest design elements and features were added to personalize these Minimal Traditional homes based on the preference of the owner. Moderne elements can be seen in the use of simple horizontal detailing and emphasis, round portal windows and glass block. Early Ranch elements can be seen in the use of low-to-medium pitch roofs, wood clapboard in the gable end, decorative "birdhouse" vents, and shutters. Construction of both Minimal Traditional and Spanish Eclectic homes continued in Islenair during much of the second phase of development through 1937 when the last of the Spanish Eclectic style homes were built. Construction of Minimal Traditional homes continued until the onset of World War II, when resources were shifted to the war effort and construction once again came to a stop. By the end of the second phase of development, an additional 47 lots had been developed over a period of seven years.



<sup>15</sup> This paragraph was drawn from the *National Register Bulletin on Historic Residential Suburbs* and may contain direct and/or abridged quotes. See Bibliography for complete citation.



### Third Phase of Development: 1945-1952

Following the end of World War II, the lack of adequate new housing, continued population growth, and the return of young veterans looking to start families sparked an unprecedented boom in suburban development. Increased housing affordability through the FHA and the GI Bill put homeownership within reach of many Americans. Thanks to advances in mass-production during the War, new homes and subdivisions could be built at a much faster rate, reaching a high in 1950 with the construction of 1,692,000 new single family homes nation-wide. By this time Cape Cod and Ranch design influences had begun to re-shape the “minimal house”.<sup>16</sup>

When the War ended and construction in Islenair resumed in 1945, the Minimal Traditional style again proved fast, efficient and affordable. Moderne design influences gave way to

stronger, more updated Ranch influences, with slightly larger and longer floor plans and increased visibility of the



garage. It was also during this time that one-half of the lots fronting Euclid Avenue were developed. Only three had been developed during the first two phases of development and the remaining lots would be developed following the third phase of development. Despite allowances for multi-family and business related uses, only single family homes were developed along Euclid Avenue until 1948 when the first commercial building was developed and 1950 when the first multi-family building was developed. By the end of the third phase of development in 1952, an additional 37 lots had been developed and Islenair was nearly built-out with only a few lots remaining.



### Remaining Development: 1957-1979

A handful of development occurred in the late 1950's through the 1970's, consisting almost exclusively of multi-family and commercial buildings along Euclid Avenue with the exception of one single family Ranch style home located on Isla Vista. These structures are not reflective of the character and quality of development in Islenair and occurred outside of the three main phases of development, and therefore are not contributors to the Islenair District.

<sup>16</sup> This paragraph was drawn from the *National Register Bulletin on Historic Residential Suburbs* and may contain direct and/or abridged quotes. See Bibliography for complete citation.

## THE COMMUNITY OF ISLENAIR

### Population Characteristics

A community is characterized not only by the built environment, but by the people who live, work and play there. Readily available historic Census data was limited, and proved problematic for detailed analysis due to Census tract boundaries which changed over time and data that would include large portions of tracts at times and only portions of tracts at other times. However, the data which has been collected for the years 1930 through 1960 reveals the following:

- ◆ Population: steady growth, with generally around 1.5-3.0 people per dwelling unit.
- ◆ Occupation: predominantly working class, with occupations such as “Professional/Technical” (roughly 10%), “Mgr-Off-Propr” (roughly 10%), “Clerical” (roughly 20%), “Sales” (roughly 10%), “Craftsmen” (roughly 20%), “Operatives” (roughly 15%), “Pvt. Household” (roughly 2%), “Service” (roughly 10%), and “Laborers” (roughly 3%)
- ◆ Income: middle to lower range income
- ◆ Education: generally completed high school
- ◆ Race/Ethnicity: nearly exclusively Caucasian through the 1950’s and 1960’s.

The limited representation of minority and ethnic groups during the first few decades of development in City Heights and Islenair in particular was due in large part to deed conditions and restrictions which prohibited sale, transfer, lease, rental, use or occupancy of any portion of the premises to any person or persons other than of the Caucasian race, except as a servant of the occupant. Such restrictions based upon race were deemed unconstitutional by the United States Supreme Court in 1948. In recent decades, City Heights has risen above its discriminatory past to become one of the most ethnically diverse and inclusive communities in San Diego. Census data from 2000 indicated that of the 78,843 people living within the City Heights Community Planning Area, 31% are white, 14% are black or African American, 1% are American Indian, 17% are Asian, 7% are of two or more races, 30% are of “some other race”, and of the total population, 53% are of Hispanic origin. This data closely reflects statistics for the census tract in which Islenair is located.

The ethnic and cultural diversity in City Heights and Islenair can be attributed to a number of refugee arrival trends in San Diego. According to data provided by the San Diego Chapter of the International Rescue Committee, refugee groups in East San Diego include:

- ◆ Vietnamese, who began arriving in 1975 following the fall of Saigon and now number in excess of 80,000 county-wide, with a large concentration in East San Diego.
- ◆ East Africans, including Ethiopians and Eritreans, who began arriving in 1981 until the Ethiopian program ended in 1991 following the removal of Ethiopia’s dictator. The program was reopened in 1998 and new arrivals began to increase. East Africans now number in excess of 7,500, most of who are in East San Diego.
- ◆ Somalis, who begin arriving in 1991 in response to the Somali Civil War, and now number between 2,500 and 3,000, most of who are in East San Diego.
- ◆ Sudanese, who began arriving in 1992/93 and now number approximately 1,500, including 100 Lost Boys of Sudan. Most of the Sudanese refugees settled in East San Diego.

Islenair reflects the diversity of City Heights as a whole, and includes property owners and renters from a wide range of cultural and ethnic backgrounds, illustrating the ethnic and cultural evolution and integration of City Heights and San Diego as a whole.



## Community Spirit

Throughout its history, residents have held a tremendous sense of community pride and spirit, and have worked to maintain Islenair's unique qualities and sense of place. This has been accomplished through informal social contacts and block parties as well as through more formal community organizations. Islenair community member Charlotte Crowley formed Charlotte's Neighbors Club on April 16, 1936, which met regularly at various homes in Islenair, as an informal gathering that grew to bi-monthly meetings where women of the community could sew, play games, socialize and participate in charitable endeavors. Even members who moved out of Islenair remained in contact with members of the club and the Islenair community. Their scrapbook of memories and meeting records remains today, entrusted to a member of the community to keep the history of the neighborhood alive.



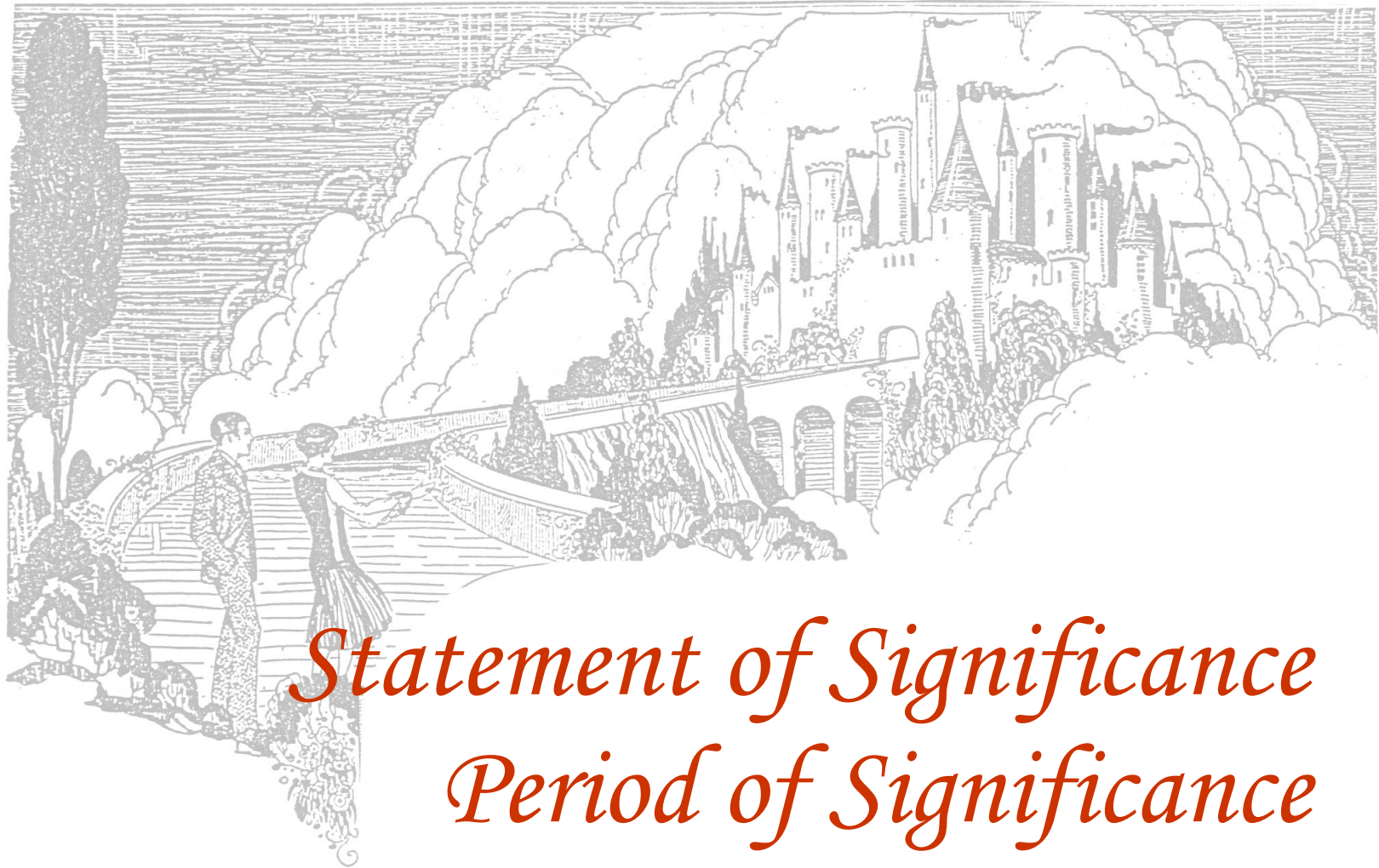
A number of years ago, when the community's characteristic palm-tree lined parkways were threatened with the proposed undergrounding of overhead utilities, community members rallied to save the trees, which are a distinct feature of the neighborhood. The undergrounding was delayed, and a key character defining feature of the community was preserved. Today this tradition of community pride and spirit is as vital as ever, as residents pursue the distinction of designation as a Historic District in an effort to protect the unique environment, history and character of Islenair.

## CONCLUSION

Typical of subdivisions throughout the United States, Islenair developed as demand for a semi-rural, community-centered way of life grew and advances in transportation technology made development in outlying communities both affordable and practical. Its location marks a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and the use of previously unreachable and underutilized land to the east. Development in Islenair reflects the small house movement which began in the 1920's and evolved through the Great Depression and World War II. The neighborhood serves as a microcosm of architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952.



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*Statement of Significance  
Period of Significance  
& District Boundary*

Section 5

*Islenair Historic District  
Designated April 26, 2007*



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# Islenair

## Statement of Significance Period of Significance and District Boundary

The neighborhood of Islenair is historically significant as a historic district under Historical Resources Board (HRB) Criterion A as a special element of San Diego's historical, social, economic and architectural development reflecting

- ◆ the evolution of the small house movement which focused on quality design and construction in a compact, efficient layout from the Post-World War I through Post-World War II period;
- ◆ architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952;
- ◆ middle and working class subdivisions which allowed families the opportunity to invest in homeownership in a neighborhood which utilized and expressed modern planning and subdivision principles;
- ◆ the patterns of local, early auto-oriented suburban development as advances in transportation technology made development in outlying communities both affordable and practical; and
- ◆ the planning philosophy of adapting the design and layout of a subdivision to the natural topography on which the subdivision is to be located.



Islenair is also significant under HRB Criterion C, as it embodies distinctive characteristics of a style (Spanish Eclectic and Minimal Traditional), type ("small house" and "minimum house") and period (San Diego's development of Automobile Suburbs between 1926 and 1952) of construction.

The District boundary is based on the original Islenair subdivision, consisting of Islenair Unit #1 (Map 1898) and Islenair Unit #2 (Map 1925), and includes: the properties along the north side of Isla Vista Drive to the north; the homes along the east side of Isla Vista Drive to the east; the Isla Vista cul-de-sac and the properties at 3203 and 3204 Belle Isle Drive to the south; and Euclid Avenue to the west. The District includes 113 buildings on 115 parcels.

The first phase of development in Islenair (1927-1931), beginning with the first sale of lots, is reflective of both the small house movement of the 1920's, which focused on quality design and construction in a compact, efficient layout



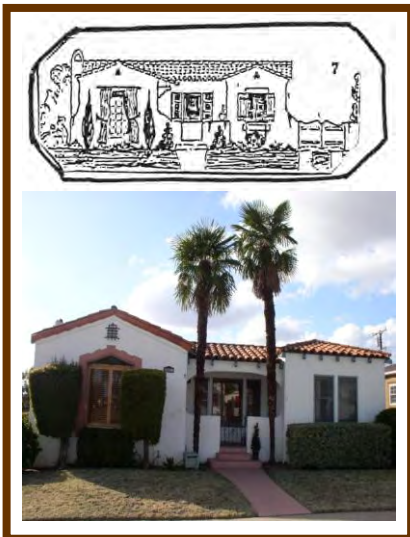
containing no more than six rooms; as well as the popularity of Spanish Revival or Eclectic architecture that swept San Diego following the immense success of the 1915 Panama-California Exposition in San Diego's Balboa Park, which attracted thousands of people to San Diego and resulted in one of the greatest local building booms in San Diego History. Construction progressed steadily during the first phase of development before the full effects of the Depression were felt and construction in Islenair came to a halt by the end of 1931.

As building resumed in Islenair during the second phase of development (1935-1941), the work of the newly formed Federal Housing Administration (FHA), which sought to improve the design and efficiency of the American home while lowering its cost, could be seen in the introduction of a new architectural style known as Minimal Traditional, which resulted from the FHA's model of the ideal "minimum house." Construction of both Minimal Traditional and Spanish Eclectic homes continued in Islenair during much of the second phase of development through 1937 when the last of the Spanish Eclectic style homes were built. Construction of Minimal Traditional homes continued until the onset of World War II, when resources were shifted to the war effort and construction once again came to a stop.



When the War ended and the third phase of development (1945-1952) in Islenair began, the Minimal Traditional style again proved fast, efficient and affordable. Moderne design influences gave way to stronger, more updated Ranch influences, with slightly larger and longer floor plans and increased visibility of the garage. It was also during this time that one-half of the lots fronting Euclid Avenue were developed. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

Islenair has remained rather unaffected by intrusions over the years, with most modifications stemming from maintenance issues as opposed to development or redevelopment pressures. As a result, it has retained the unique character of a small house subdivision.



Consistent with subdivision development throughout the United States, Islenair developed as demand for a semi-rural, community-centered way of life grew and advances in transportation technology made development in outlying communities both affordable and practical. Its location marks a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and the use of previously unreachable and underutilized land to the east. Development in Islenair reflects the small house movement which began in the 1920's and evolved through the Great Depression and World War II. The neighborhood serves as a microcosm of architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952.



# *Methodology*

## Section 6

*Islenair Historic District  
Designated April 26, 2007*



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# *Islenair*

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## **Methodology**

### **RESEARCH**

The history and significance of Islenair has been developed through primary research which includes newspaper articles, advertisements, deeds, water and sewer records, subdivision maps, engineering drawings, and other government documents gathered from the City of San Diego Clerk's office, the City of San Diego Water Department, the County of San Diego Assessor/Recorder/Clerk's office, local University libraries, and local public libraries. In addition, secondary sources including books, journal articles, and informal interviews were consulted to place the development of Islenair into its appropriate historical context.<sup>17</sup>

### **SURVEYS**

#### **2002**

Staff from the Historical Resources section of the City of San Diego Planning Department conducted an intensive architectural survey of the original Islenair subdivision in March of 2002. At this time staff prepared State of California Department of Parks and Recreation (DPR) Primary Records (523-A) and Building, Structure and Object Records (523-B) for each property. The information included in these forms included basic site information, a photograph, the date of construction, the architectural style, an architectural description, a brief analysis of integrity, and a synopsis of the significance of the district as a whole. This information was compiled, along with an Executive Summary, Introduction, History, description of the Survey Area, Methodology, and Statement of Significance, into a draft document for the Islenair Historical District. The document was updated and a second draft was released in November of 2002. The district effort was stalled shortly thereafter following review and direction from the Historical Resources Board's Policy Subcommittee and insufficient staffing to follow through with that direction.

#### **2007**

In January of 2007, Historical Resources staff was able to resume processing of the Islenair district and conducted a second intensive architectural survey to update the information gathered in 2002. Following this second survey, staff identified the need for a number of changes to the document, including the identification of architectural styles, the architectural descriptions, the analysis of modifications and integrity, and the ownership information. Given the extent of the update, and the fact that the 2002 survey was never submitted to the Office of Historic Preservation (OHP) or the South Coast Information Center (SCIC), staff opted to generate new DPR forms as opposed to simply updating the ones from 2002. The district nomination was considered by the Historical Resources Board (HRB) in March and April of 2007. On April 26, 2007 the HRB designated the Islenair Historic District under HRB designation criteria A and C. Information presented in this document reflects the Board's comments and final action.

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<sup>17</sup> See Bibliography for complete list of references and works cited.

## ANALYSIS

### Architectural Evaluation

Several references were consulted when describing, evaluating and classifying the architecture of the resources in Islenair. These references include McAlester and McAlester's *A Field Guide to American Houses*; Carley's *The Visual Dictionary of American Domestic Architecture*, and Phillips' *Old House Dictionary*.<sup>18</sup> Each architectural description includes the name of the building's style and its dominant physical characteristics. Any obvious alterations from the original condition are noted in Section B.6 of the DPR 523-B form. The date of construction and names of the architect and builder (if available) were derived from a thorough examination of the City of San Diego water and sewer records and identified in Sections P.6 and B.9, respectively.

### Analysis of Integrity

In conducting the analysis of the integrity of the district, staff referred to National Register Bulletin 15, Section 8, "How to Evaluate the Integrity of a Property". The bulletin states, "For a district to retain integrity as a whole, the *majority* of the components that make up the district's character must possess integrity even if they are *individually undistinguished*. In addition, the relationships among the district's components must be substantially unchanged since the period of significance... A district is not eligible if it contains so many alterations or new intrusions that it *no longer conveys the sense of historic environment*."<sup>19</sup> (emphasis added). Islenair has not been impacted by tear-downs, inappropriate infill or redevelopment to any significant degree and retains a distinct sense of time, place and character as a whole. Modifications typically center on maintenance issues, as opposed to development or redevelopment pressures.

In respect to a resources ability to contribute to a district, Bulletin 15 states, "A component of a district cannot contribute to the significance [of the district] if it has been substantially altered since the period of the district's significance or it does not share the associations of the district."<sup>20</sup> During the intensive architectural survey staff identified modifications to each component of the district and evaluated their impact on the architectural and historical integrity of the resources at a contributing level. When necessary, these modifications were researched further through building records. Modifications were classified "mildly impairing integrity", "moderately impairing integrity" and "significantly impairing integrity".

Modifications which mildly impair integrity are cosmetic in nature and do not result in the loss of historic fabric. Resources with modifications that mildly impair integrity are classified as retaining a "Good" degree of integrity. Modifications which moderately impair integrity may involve some loss of historic fabric, but are reversible. These modifications do not detract to such an extent that the resource no longer conveys significance as part of the district as a whole and appropriate restorations could be incorporated into a restoration plan as part of a Mills Act agreement. Resources with modifications that moderately impair integrity are classified as retaining a "Good to Fair" or "Fair" degree of integrity. Modifications which significantly impair integrity involve the loss of historic fabric and are not easily reversed or restored. In some instances these modifications could be reversed or restored with the guidance of the Historical Resources Board. In these instances the restorations would need to occur before the property could be eligible for designation

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<sup>18</sup> See Bibliography for complete citations

<sup>19</sup> National Register Bulletin 15, "How to Evaluate the Integrity of a Property", page 6.

<sup>20</sup> *Ibid.*

as a contributing resource. Resources with modifications that significantly impair integrity are classified as retaining a “Fair to Poor” or “Poor” degree of integrity.

The following table was created to assist in the understanding of the types of modifications seen in Islenair and how they impact the integrity of the buildings as contributing resources:

	<b>MODIFICATIONS WHICH MILDLY IMPAIR INTEGRITY</b>	<b>MODIFICATIONS WHICH MODERATELY IMPAIR INTEGRITY</b>	<b>MODIFICATIONS WHICH SIGNIFICANTLY IMPAIR INTEGRITY</b>
<b>General Characteristics</b>	Easily reversed Minimal impact to the resource Does not modify or result in loss of original historic fabric Restoration easily achieved thru Mills Act conditions Minimal cost and effort	Somewhat easily reversed Minimal to moderate impact to the resource May slightly modify or result in loss of some original historic fabric Restoration may be achieved thru Mills Act conditions Moderate cost and effort	Not easily reversed Moderate to significant impact to the resource Modified or resulted in the loss of original historic fabric May require restoration prior to designation More significant cost and effort
<b>Types of Modifications</b>	Wrought Iron Security Bars Inappropriate Awnings Non-Historic Paint Landscape Features & Overgrowth In-Kind Replacement of Roofing Window Screens	Windows Replaced within the Same Opening Inappropriate Roofing Replacement of Porch Railings and Posts Added Veneers (i.e. Brick, Stone) Highly Visible Aluminum Garage Door Inconsistent Stucco Texture	Window Replaced in New or Altered Openings Replacing One Siding Type with Another (i.e. Wood to Stucco) Additions which do not Respect Scale, Spatial Relationships and Character Defining Features
<b>Impact</b>	These modifications will not be considered when determining contributing and non-contributing resources. However, owners may be required to reverse these modifications as part of a Mills Act Agreement.	These modifications will be considered when determining contributing and non-contributing resources. Four or more of these modifications <u>may</u> render the property non-contributing. Owners may work with staff and the HRB to restore the house and change the status.	These modifications will be considered when determining contributing and non-contributing resources. One or more of these modifications <u>may</u> render the property non-contributing. Owners may be able to work with staff and the HRB to restore the house & change the status.
<b>Integrity</b>	Good	Good to Fair, Fair	Fair to Poor, Poor

## Classification of Contributing and Non-Contributing Resources

All resources within the boundaries of the district are classified as either “contributing” or “non-contributing” resources. Contributing resources are those resources which were built within the period of significance, are reflective of and contribute to the significance of the district, and retain sufficient integrity to convey that significance. Contributing resources typically include buildings and structures, but may include landscaping, trees, and streetscapes (palm trees, parkways, sidewalk color and scoring, stamps and curb cuts) which are characteristic of the period of significance and architectural design. The resources identified as contributing at the time the district was designated are eligible for the benefits of designation, which includes the Mills Act agreement and property tax reduction. Contributing resources are required to comply with the U.S. Secretary of the Interior’s Standards for the Treatment of Historic Properties and any applicable development/design guidelines adopted for the district.

Non-contributing resources are those resources which either were built outside of the period of significance and are therefore not eligible for designation as part of the district; or were built within the period of significance but have been altered to such an extent that they no longer retain sufficient integrity to convey the significance of the district. It may be possible for some non-contributing properties to become eligible for designation as contributing resources if the modifications impairing their integrity were reversed through a restoration plan prior to designation. Such a restoration plan and designation would be at the discretion of the Board. The resources identified as non-contributing at the time the district was designated are not eligible for the direct benefits of designation, which includes the Mills Act agreement and property tax reduction. Non-contributing resources are only required to comply with the U.S. Secretary of the Interior’s Standards and any applicable development/design guidelines as they relate to appropriate redevelopment of non-contributing resources.

Of the 114 properties within Islenair, 82 were determined to be contributing, while 32 were determined to be non-contributing, which results in 72% (percent) of the resources in Islenair identified as contributing to the significance of the district. Thirteen of the 32 non-contributing resources were identified as non-contributing due to cumulative modifications which had adversely impacted the integrity of the resource. However, these modifications, which are identified in section B.6 of the DPR 523-B form, could be restored with the direction of the Historical Resources Board and their staff. If these resources were to be restored, the Board may reconsider the classification of the resource from non-contributing to contributing. An additional ten of the 32 non-contributing resources were identified as non-contributing due to cumulative modifications which cannot be reversed without substantial reconstruction. The remaining nine of the 32 non-contributing resources were identified as non-contributing because they fell outside the period of significance for the district.



## Use of Status Codes

California Historical Resource Status Codes from the State Office of Historic Preservation were used to identify the resources as contributing or con-contributing and to clarify the reason for that classification. The codes were modified slightly to suit local planning and preservation needs. The status codes, their meaning, and their application are as follows:

<b>Status Code</b>	<b>Meaning</b>	<b>Application</b>	<b>Status</b>
<b>5D1</b>	Contributor to a district that is designated locally.	Applied to all contributing resources, as approved by the HRB.	Contributing
<b>5B</b>	Locally significant both individually (designated or appears eligible) and as a contributor to a district that is locally designated or appears eligible for designation through survey evaluation.	Applied to resources identified as both contributing resources and as resources which appear to be eligible for designation as individually significant resources. <small>(These properties will not be designated individually without a site specific intensive survey under all Board criteria under a separate Board action.)</small>	Contributing
<b>6L</b>	Determined ineligible for local designation through local government review process due to modifications which have adversely impacted the integrity of the resource.	Applied to resources which have been modified to such an extent that they are no longer eligible for designation in their current condition. These resources may be eligible for designation upon reversal of modifications identified in Section B.6 of the DPR 523-B form, at the discretion of the Historical Resources Board, at which time the status code would be changed to 5D1.	Non-Contributing
<b>6Z</b>	Found ineligible for NR, CR or Local designation through survey evaluation.	Applied to resources which are not eligible for designation either due to extensive modifications which are not reversible, or due to a construction date outside of the period of significance.	Non-Contributing

The status codes as applied to all contributing and non-contributing resources have been evaluated by the Historical Resources Board and reflect the Board's final action. Any modifications to the status code will require review and action by the HRB.

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# *District Record*

## Section 7

*Islenair Historic District  
Designated April 26, 2007*



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D1. Historic Name: Islenair Historic District

D2. Common Name:

**\*D3. Detailed Description** (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.):

Islenair is a small, working class, early auto-oriented suburb in the community of City Heights that reflects the small house movement which took hold following World War I and became a national standard of development in the wake of the Great Depression and the Post-World War II housing shortage. Islenair was designed in keeping with the suburban design philosophies of small, moderately priced homes along curving tree-lined streets which had begun with the City Beautiful movement in the 1890's. It borrowed design influences of other San Diego subdivisions in development at that time, such as Kensington, with its canyon orientation, curved streets, and palm tree-lined parkways; while at the same time maintaining the pattern of small-scale development, both in terms of the house size and the size of the neighborhood, that was typical of subdivisions in the City Heights area. Sidewalk stamps, denoting both street names and contractor identification and dates, are scattered throughout the district, primarily at corners, and are considered contributing elements of the district. Primary and BSOR forms have been prepared for each stamp and identify the location and content of each stamp. (See Continuation Sheet)

**\*D4. Boundary Description** (Describe limits of district and attach map showing boundary and district elements.):

The the properties along the north side of Isla Vista Drive to the north; the homes along the east side of Isla Vista Drive to the east; the Isla Vista cul-de-sac and the properties at 3203 and 3204 Belle Isle Drive to the south; and Euclid Avenue to the west.

**\*D5. Boundary Justification:**

The boundary for the historic district was based on the original Islenair subdivision, consisting of Islenair Unit #1 (Map 1898) and Islenair Unit #2 (Map 1925). Upon completion of the intensive level survey, it was determined that the original subdivision retained sufficient integrity to convey significance as a historic district. Therefore, the boundaries of the original Islenair subdivision, consisting of Islenair Unit #1 and Unit #2, shall serve as the boundary of the Islenair Historic District.

**\*D6. Significance: Theme:** Small House Movement, Residential Architecture, Planning **Area:** City of San Diego

**Period of Significance:** 1926-1952

**Applicable Criteria:** City San Diego Criteria A and C

(Discuss district's importance in terms of its historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The neighborhood of Islenair (stemming from the developers' concept of an "Island-in-the-Air") is historically significant as a historic district under Historical Resources Board (HRB) Criterion A as a special element of San Diego's historical, social, economic and architectural development reflecting:

- the evolution of the small house movement which focused on quality design and construction in a compact, efficient layout from the Post-World War I through Post-World War II period;
- architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952;
- middle and working class subdivisions which allowed families the opportunity to invest in homeownership in a neighborhood which utilized and expressed modern planning and subdivision principles;
- the patterns of local, early auto-oriented suburban development as advances in transportation technology made development in outlying communities both affordable and practical; and
- the planning philosophy of adapting the design and layout of a subdivision to the natural topography on which the subdivision is to be located.

Islenair is also significant under HRB Criterion C, as it embodies distinctive characteristics of a style (Spanish Eclectic and Minimal Traditional), type ("small house" and "minimum house") and period (San Diego's development of Automobile Suburbs between 1926 and 1952) of construction. (See Continuation Sheet)

**\*D7. References** (Give full citations including the names and addresses of any informants, where possible.):

Brilliant, Ashleigh. *The Great Car Craze*. Santa Barbara: Woodbridge Press, 1989.

Carley, Rachel. *The Visual Dictionary of American Domestic Architecture*. New York: Henry Holt and Company, 1994.

City of San Diego. California Room, San Diego Public Library. *Sanborn Fire Insurance Map Books 1921-1970: San Diego City and County Directories, 1886-1984*.

\_\_\_\_\_. Department of Water Utilities. *Sewer and Water Permits*.

(See Continuation Sheet)

**\*D8. Evaluator:** Kelley Saunders, Senior Planner

**Date:** 4/26/2007

**Affiliation and Address:** City of San Diego Planning Department, 202 C Street MS 5A, San Diego CA 92101

State of California — The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
 HRI#  
 Trinomial

\*Recorded by: Kelley Saunders, Senior Planner, City of San Diego \*Date: 4/26/2007  Continuation  Update

**\*D3. Detailed Description: (Continued)**

The district contains predominantly single family residential development on the interior streets of Belle Isle Drive and Isla Vista Drive, with some multi-family development on large corner lots and along Euclid Avenue, which also contains commercial development. Islenair has remained rather unaffected by intrusions over the years, with most modifications stemming from maintenance issues as opposed to development or redevelopment pressures. As a result, it has retained the unique character of a small house subdivision. The district area includes 113 buildings on 115 parcels, and a significant number of the properties (82) within the proposed district have retained their historical integrity and remain in good condition. Contributing and non-contributing resources within the district boundary are as follows:

**Table 1. Contributing Resources**

HRB Site #	Street #	Street Name	APN	Date	Status Code	Type	HRB Site #	Street #	Street Name	APN	Date	Status Code	Type
807-01	3203	Belle Isle Drive	476-242-23	1947	5D1	SFR	807-42	3202	Isla Vista Drive	476-242-10	1935	5D1	SFR
807-02	3204	Belle Isle Drive	476-241-08	1937	5D1	SFR	807-43	3209	Isla Vista Drive	476-242-08	1947	5D1	SFR
807-03	3211	Belle Isle Drive	476-242-22	1946	5D1	SFR	807-44	3219	Isla Vista Drive	476-242-07	1950	5D1	SFR
807-04	3221	Belle Isle Drive	476-242-21	1935	5D1	SFR	807-45	3224	Isla Vista Drive	476-242-12	1937	5D1	SFR
807-05	3222	Belle Isle Drive	476-241-10	1936	5D1	SFR	807-46	3225	Isla Vista Drive	476-242-06	1928	5D1	SFR
807-06	3227	Belle Isle Drive	476-242-20	1930	5D1	SFR	807-47	3226	Isla Vista Drive	476-242-11	1936	5D1	SFR
807-07	3235	Belle Isle Drive	476-242-19	1947	5D1	SFR	807-48	3235	Isla Vista Drive	476-242-05	1936	5D1	SFR
807-08	3243	Belle Isle Drive	476-242-18	1950	5D1	SFR	807-49	3241	Isla Vista Drive	476-242-04	1940	5D1	SFR
807-09	3244	Belle Isle Drive	476-241-13	1937	5D1	SFR	807-50	3242	Isla Vista Drive	476-242-14	1936	5D1	SFR
801-10	3250	Belle Isle Drive	476-241-14	1941	5D1	SFR	807-51	3249	Isla Vista Drive	476-242-03	1945	5D1	SFR
807-11	3251	Belle Isle Drive	476-242-17	1928	5D1	SFR	807-52	3305	Isla Vista Drive	476-242-01	1946	5D1	SFR
807-12	3261	Belle Isle Drive	476-242-16	1928	5B	SFR	807-53	3306	Isla Vista Drive	476-152-14	1929	5B	SFR
807-13	3262	Belle Isle Drive	476-241-15	1937	5D1	SFR	807-54	3314	Isla Vista Drive	476-152-15	1927	5D1	SFR
807-14	3304	Belle Isle Drive	476-151-19	1931	5B	SFR	807-55	3315	Isla Vista Drive	476-160-20	1946	5D1	SFR
807-15	3315	Belle Isle Drive	476-152-12	1930	5D1	SFR	807-56	3321	Isla Vista Drive	476-160-19	1946	5D1	SFR
807-16	3323	Belle Isle Drive	476-152-11	1939	5D1	SFR	807-57	3330	Isla Vista Drive	476-152-17	1948	5D1	SFR
807-17	3328	Belle Isle Drive	476-151-22	1945	5D1	SFR	807-58	3338	Isla Vista Drive	476-152-18	1931	5D1	SFR
807-18	3329	Belle Isle Drive	476-152-10	1947	5D1	SFR	807-59	3344	Isla Vista Drive	476-152-19	1936	5D1	SFR
807-19	3336	Belle Isle Drive	476-151-23	1936	5D1	SFR	807-60	3345	Isla Vista Drive	476-160-17	1945	5D1	SFR
807-20	3344	Belle Isle Drive	476-151-24	1939	5D1	SFR	807-61	3404	Isla Vista Drive	476-152-20	1936	5D1	SFR
807-21	3345	Belle Isle Drive	476-152-08	1936	5D1	SFR	807-62	3405	Isla Vista Drive	476-160-17	1935	5D1	SFR
807-22	3403	Belle Isle Drive	476-152-07	1928	5D1	SFR	807-63	3410	Isla Vista Drive	476-152-21	1937	5D1	SFR
807-23	3411	Belle Isle Drive	476-152-06	1936	5D1	SFR	807-64	3420	Isla Vista Drive	476-152-22	1950	5D1	SFR
807-24	3412	Belle Isle Drive	476-151-26	1939	5D1	SFR	807-65	3421	Isla Vista Drive	476-160-14	1937	5D1	SFR
807-25	3422	Belle Isle Drive	476-151-27	1936	5D1	SFR	807-66	3427	Isla Vista Drive	476-160-13	1937	5D1	SFR
807-26	3423	Belle Isle Drive	476-152-05	1941	5D1	SFR	807-67	3428	Isla Vista Drive	476-152-23	1928	5D1	SFR
807-27	3426	Belle Isle Drive	476-151-28	1929	5D1	SFR	807-68	3435	Isla Vista Drive	476-160-12	1936	5D1	SFR
807-28	3435	Belle Isle Drive	476-152-04	1936	5D1	SFR	807-69	3440	Isla Vista Drive	476-152-24	1936	5D1	SFR
807-29	3439	Belle Isle Drive	476-152-03	1941	5D1	SFR	807-70	3443	Isla Vista Drive	476-160-11	1928	5D1	SFR
807-30	3442	Belle Isle Drive	476-151-30	1947	5D1	SFR	807-71	3449	Isla Vista Drive	476-160-10	1940	5D1	SFR
807-31	3443	Belle Isle Drive	476-152-02	1928	5D1	SFR	807-72	3455	Isla Vista Drive	476-160-09	1946	5D1	SFR
807-32	3458	Belle Isle Drive	476-151-31	1935	5D1	SFR	807-73	3472	Isla Vista Drive	476-152-01	1937	5D1	SFR
807-33	3462	Belle Isle Drive	476-151-32	1935	5D1	SFR	807-74	3473	Isla Vista Drive	476-160-07	1929	5D1	SFR
807-34	3323	Euclid Avenue	476-151-14	1947	5D1	SFR	807-75	3505	Isla Vista Drive	476-160-06	1946	5D1	SFR
807-35	3329	Euclid Avenue	476-151-13	1946	5D1	SFR	807-76	3511	Isla Vista Drive	476-160-05	1928	5D1	SFR
807-36	3333	Euclid Avenue	476-151-12	1946	5D1	SFR	807-77	3518	Isla Vista Drive	476-151-33	1948	5D1	SFR
807-37	3345	Euclid Avenue	476-151-11	1948	5D1	SFR	807-78	3533	Isla Vista Drive	476-160-02	1946	5D1	SFR
807-38	3405	Euclid Avenue	476-151-10	1949	5D1	SFR	807-79	3534	Isla Vista Drive	476-151-01	1952	5D1	MFR
807-39	3411	Euclid Avenue	476-151-09	1929	5D1	SFR	807-80	3541	Isla Vista Drive	476-160-01	1951	5D1	MFR
807-40	3419	Euclid Avenue	476-151-08	1938	5B	SFR	807-81	4802	Thorn Street	476-152-13	1931	5B	SFR
807-41	3443	Euclid Avenue	476-151-05	1945	5D1	SFR	807-82	4827	Thorn Street	476-242-15	1931	5B	SFR

\*Recorded by: Kelley Saunders, Senior Planner, City of San Diego \*Date: 4/26/2007  Continuation  Update

\*D3. Detailed Description: (Continued)

Table 2. Non-Contributing Resources

HRB Site #	Street #	Street Name	APN	Date	Status Code	Type	HRB Site #	Street #	Street Name	APN	Date	Status Code	Type
N/A	3212	Belle Isle Drive	476-241-09	1936	6L	SFR	N/A	3435	Euclid Avenue	476-151-06	1946	6L	Com
N/A	3230	Belle Isle Drive	476-241-11	1938	6L	SFR	N/A	3449	Euclid Avenue	476-151-04	1952	6Z	SFR
N/A	3236	Belle Isle Drive	476-241-12	1937	6Z	SFR	N/A	3457	Euclid Avenue	476-151-03	1973	6Z	Com
N/A	3314	Belle Isle Drive	476-151-20	1938	6L	SFR	N/A	3461	Euclid Avenue	476-151-02	1948	6Z	Com
N/A	3320	Belle Isle Drive	476-151-21	1930	6L	SFR	N/A		Euclid Avenue	476-241-05	N/A	6Z	N/A
N/A	3333	Belle Isle Drive	476-152-09	1936	6Z	SFR	N/A	3203	Isla Vista Drive	476-242-09	1951	6L	SFR
N/A	3404	Belle Isle Drive	476-151-25	1939	6L	SFR	N/A	3232	Isla Vista Drive	476-242-13	1935	6Z	SFR
N/A	3434	Belle Isle Drive	476-151-29	1936	6L	SFR	N/A	3255	Isla Vista Drive	476-242-02	1947	6Z	SFR
N/A	3203	Euclid Avenue	476-241-07	1958	6Z	MFR	N/A	3324	Isla Vista Drive	476-152-16	1935	6L	SFR
N/A	3211	Euclid Avenue	476-241-06	1960	6Z	MFR	N/A	3333	Isla Vista Drive	476-160-18	1950	6Z	SFR
N/A	3237	Euclid Avenue	476-241-04	1968	6Z	Com	N/A	3411	Isla Vista Drive	476-160-15	1957	6Z	SFR
N/A	3243	Euclid Avenue	476-241-03	1958	6Z	Com	N/A	3467	Isla Vista Drive	476-160-08	1939	6L	SFR
N/A	3255	Euclid Avenue	476-241-02	1958	6Z	MFR	N/A	3517	Isla Vista Drive	476-160-04	1946	6L	SFR
N/A	3275	Euclid Avenue	476-241-01	1979	6Z	Com	N/A	3525	Isla Vista Drive	476-160-03	1946	6L	SFR
N/A	3313	Euclid Avenue	476-151-15	1951	6Z	MFR	N/A	4750	Thorn Street	476-151-16	1958	6Z	MFR
N/A	3427	Euclid Avenue	476-151-07	1938	6L	SFR	N/A	4769	Thorn Street	476-241-01	1939	6Z	SFR

Figure 1. Islenair Streetscape: Isla Vista Drive looking north



\*Recorded by: Kelley Saunders, Senior Planner, City of San Diego \*Date: 4/26/2007  Continuation  Update

**\*D6. Significance: (Continued)**

The first phase of development in Islenair (1927-1931), beginning with the first sale of lots, is reflective of both the small house movement of the 1920's, which focused on quality design and construction in a compact, efficient layout containing no more than six rooms; as well as the popularity of Spanish Revival or Eclectic architecture that swept San Diego following the immense success of the 1915 Panama-California Exposition in San Diego's Balboa Park, which attracted thousands of people to San Diego and resulted in one of the greatest local building booms in San Diego History. Construction progressed steadily during the first phase of development before the full effects of the Depression were felt and construction in Islenair came to a halt by the end of 1931.

As building resumed in Islenair during the second phase of development (1935-1941), the work of the newly formed Federal Housing Administration (FHA), which sought to improve the design and efficiency of the American home while lowering its cost, could be seen in the introduction of a new architectural style known as Minimal Traditional, which resulted from the FHA's model of the ideal "minimum house." Construction of both Minimal Traditional and Spanish Eclectic homes continued in Islenair during much of the second phase of development through 1937 when the last of the Spanish Eclectic style homes were built. Construction of Minimal Traditional homes continued until the onset of World War II, when resources were shifted to the war effort and construction once again came to a stop.

When the War ended and the third phase of development (1945-1952) in Islenair began, the Minimal Traditional style again proved fast, efficient and affordable. Moderne design influences gave way to stronger, more updated Ranch influences, with slightly larger and longer floor plans and increased visibility of the garage. It was also during this time that one-half of the lots fronting Euclid Avenue were developed. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

Consistent with subdivision development throughout the United States, Islenair developed as demand for a semi-rural, community-centered way of life grew and advances in transportation technology made development in outlying communities both affordable and practical. Its location marks a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and the use of previously unreachable and underutilized land to the east. Development in Islenair reflects the small house movement which began in the 1920's and evolved through the Great Depression and World War II. The neighborhood serves as a microcosm of architectural trends from Spanish Eclectic to Minimal Traditional and Ranch styles, visually illustrating and encapsulating the booms, busts, and trends in working-class suburban development in San Diego from 1926 through 1952.

**\*D7. References (Continued)**

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# *Contributing Resources*

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## Section 8

*Islenair Historic District  
Designated April 26, 2007*



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# Islenair

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## Contributing Resources

Contributing resources are those resources which were built within the period of significance, are reflective of and contribute to the significance of the district, and retain sufficient integrity to convey that significance. Contributing resources typically include buildings and structures, but may include landscaping, trees, and streetscapes (palm trees, parkways, sidewalk color and scoring, stamps and curb cuts) which are characteristic of the period of significance and architectural design.

The following resources were identified as contributing resources by the Board at the time the district was designated and are eligible for the benefits of designation, which includes the Mills Act agreement and property tax reduction. Contributing resources are required to comply with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties and any applicable development/design guidelines adopted for the district.

### Contributing Resources: Buildings

HRB Site #	Street #	Street Name	APN	Date	Style	Status Code	Integrity
807-01	3203	Belle Isle Drive	476-242-23	1947	Minimal Traditional	5D1	Good to Fair
807-02	3204	Belle Isle Drive	476-241-08	1937	Minimal Traditional	5D1	Good to Fair
807-03	3211	Belle Isle Drive	476-242-22	1946	Minimal Traditional	5D1	Good to Fair
807-04	3221	Belle Isle Drive	476-242-21	1935	Minimal Traditional	5D1	Good
807-05	3222	Belle Isle Drive	476-241-10	1936	Minimal Traditional	5D1	Fair
807-06	3227	Belle Isle Drive	476-242-20	1930	Spanish Eclectic	5D1	Good to Fair
807-07	3235	Belle Isle Drive	476-242-19	1947	Minimal Traditional	5D1	Fair
807-08	3243	Belle Isle Drive	476-242-18	1950	Minimal Traditional	5D1	Good to Fair
807-09	3244	Belle Isle Drive	476-241-13	1937	Minimal Traditional	5D1	Fair
801-10	3250	Belle Isle Drive	476-241-14	1941	Minimal Traditional	5D1	Good to Fair
807-11	3251	Belle Isle Drive	476-242-17	1928	Spanish Eclectic	5D1	Very Good
807-12	3261	Belle Isle Drive	476-242-16	1928	Spanish Eclectic	5B	Very Good
807-13	3262	Belle Isle Drive	476-241-15	1937	Minimal Traditional	5D1	Good to Fair
807-14	3304	Belle Isle Drive	476-151-19	1931	Spanish Eclectic	5B	Very Good
807-15	3315	Belle Isle Drive	476-152-12	1930	Spanish Eclectic	5D1	Good



<b>HRB Site #</b>	<b>Street #</b>	<b>Street Name</b>	<b>APN</b>	<b>Date</b>	<b>Style</b>	<b>Status Code</b>	<b>Integrity</b>
807-16	3323	Belle Isle Drive	476-152-11	1939	Minimal Traditional	5D1	Good to Fair
807-17	3328	Belle Isle Drive	476-151-22	1945	Minimal Traditional	5D1	Good to Fair
807-18	3329	Belle Isle Drive	476-152-10	1947	Minimal Traditional	5D1	Good to Fair
807-19	3336	Belle Isle Drive	476-151-23	1936	Spanish Eclectic	5D1	Very Good
807-20	3344	Belle Isle Drive	476-151-24	1939	Minimal Traditional	5D1	Good
807-21	3345	Belle Isle Drive	476-152-08	1936	Minimal Traditional	5D1	Good to Fair
807-22	3403	Belle Isle Drive	476-152-07	1928	Spanish Eclectic	5D1	Good to Fair
807-23	3411	Belle Isle Drive	476-152-06	1936	Spanish Eclectic	5D1	Good to Fair
807-24	3412	Belle Isle Drive	476-151-26	1939	Minimal Traditional	5D1	Good
807-25	3422	Belle Isle Drive	476-151-27	1936	Spanish Eclectic	5D1	Good to Fair
807-26	3423	Belle Isle Drive	476-152-05	1941	Minimal Traditional	5D1	Good
807-27	3426	Belle Isle Drive	476-151-28	1929	Spanish Eclectic	5D1	Good
807-28	3435	Belle Isle Drive	476-152-04	1936	Spanish Eclectic	5D1	Good to Fair
807-29	3439	Belle Isle Drive	476-152-03	1941	Minimal Traditional	5D1	Good to Fair
807-30	3442	Belle Isle Drive	476-151-30	1947	Minimal Traditional	5D1	Fair
807-31	3443	Belle Isle Drive	476-152-02	1928	Spanish Eclectic	5D1	Good
807-32	3458	Belle Isle Drive	476-151-31	1935	Spanish Eclectic	5D1	Good
807-33	3462	Belle Isle Drive	476-151-32	1935	Spanish Eclectic	5D1	Good
807-34	3323	Euclid Avenue	476-151-14	1947	Minimal Traditional	5D1	Good to Fair
807-35	3329	Euclid Avenue	476-151-13	1946	Minimal Traditional	5D1	Good to Fair
807-36	3333	Euclid Avenue	476-151-12	1946	Minimal Traditional	5D1	Good to Fair
807-37	3345	Euclid Avenue	476-151-11	1948	Minimal Traditional	5D1	Good
807-38	3405	Euclid Avenue	476-151-10	1949	Minimal Traditional	5D1	Good
807-39	3411	Euclid Avenue	476-151-09	1929	Spanish Eclectic	5D1	Good to Fair
807-40	3419	Euclid Avenue	476-151-08	1938	Art Moderne	5B	Good to Fair
807-41	3443	Euclid Avenue	476-151-05	1945	Minimal Traditional	5D1	Fair
807-42	3202	Isla Vista Drive	476-242-10	1935	Minimal Traditional	5D1	Very Good
807-43	3209	Isla Vista Drive	476-242-08	1947	Minimal Traditional	5D1	Fair

<b>HRB Site #</b>	<b>Street #</b>	<b>Street Name</b>	<b>APN</b>	<b>Date</b>	<b>Style</b>	<b>Status Code</b>	<b>Integrity</b>
807-44	3219	Isla Vista Drive	476-242-07	1950	Minimal Traditional	5D1	Very Good
807-45	3224	Isla Vista Drive	476-242-12	1937	Minimal Traditional	5D1	Very Good
807-46	3225	Isla Vista Drive	476-242-06	1928	Spanish Eclectic	5D1	Good
807-47	3226	Isla Vista Drive	476-242-11	1936	Minimal Traditional	5D1	Good
807-48	3235	Isla Vista Drive	476-242-05	1936	Minimal Traditional	5D1	Good
807-49	3241	Isla Vista Drive	476-242-04	1940	Minimal Traditional	5D1	Good to Fair
807-50	3242	Isla Vista Drive	476-242-14	1936	Minimal Traditional	5D1	Fair
807-51	3249	Isla Vista Drive	476-242-03	1945	Minimal Traditional	5D1	Good
807-52	3305	Isla Vista Drive	476-242-01	1946	Minimal Traditional	5D1	Fair
807-53	3306	Isla Vista Drive	476-152-14	1929	Spanish Eclectic	5B	Very Good
807-54	3314	Isla Vista Drive	476-152-15	1927	Spanish Eclectic	5D1	Good
807-55	3315	Isla Vista Drive	476-160-20	1946	Minimal Traditional	5D1	Good to Fair
807-56	3321	Isla Vista Drive	476-160-19	1946	Minimal Traditional	5D1	Good to Fair
807-57	3330	Isla Vista Drive	476-152-17	1948	Minimal Traditional	5D1	Good to Fair
807-58	3338	Isla Vista Drive	476-152-18	1931	Spanish Eclectic	5D1	Fair
807-59	3344	Isla Vista Drive	476-152-19	1936	Spanish Eclectic	5D1	Fair to Poor
807-60	3345	Isla Vista Drive	476-160-17	1945	Minimal Traditional	5D1	Fair
807-61	3404	Isla Vista Drive	476-152-20	1936	Spanish Eclectic	5D1	Good to Fair
807-62	3405	Isla Vista Drive	476-160-17	1935	Spanish Eclectic	5D1	Good to Fair
807-63	3410	Isla Vista Drive	476-152-21	1937	Spanish Eclectic	5D1	Good
807-64	3420	Isla Vista Drive	476-152-22	1950	Ranch	5D1	Good
807-65	3421	Isla Vista Drive	476-160-14	1937	Minimal Traditional	5D1	Fair
807-66	3427	Isla Vista Drive	476-160-13	1937	Minimal Traditional	5D1	Good
807-67	3428	Isla Vista Drive	476-152-23	1928	Spanish Eclectic	5D1	Fair
807-68	3435	Isla Vista Drive	476-160-12	1936	Minimal Traditional	5D1	Good to Fair
807-69	3440	Isla Vista Drive	476-152-24	1936	Spanish Eclectic	5D1	Good to Fair
807-70	3443	Isla Vista Drive	476-160-11	1928	Spanish Eclectic	5D1	Good to Fair
807-71	3449	Isla Vista Drive	476-160-10	1940	Minimal Traditional	5D1	Good to Fair

HRB Site #	Street #	Street Name	APN	Date	Style	Status Code	Integrity
807-72	3455	Isla Vista Drive	476-160-09	1946	Minimal Traditional	5D1	Good to Fair
807-73	3472	Isla Vista Drive	476-152-01	1937	Spanish Eclectic	5D1	Good
807-74	3473	Isla Vista Drive	476-160-07	1929	Spanish Eclectic	5D1	Good
807-75	3505	Isla Vista Drive	476-160-06	1946	Minimal Traditional	5D1	Fair
807-76	3511	Isla Vista Drive	476-160-05	1928	Spanish Eclectic	5D1	Good to Fair
807-77	3518	Isla Vista Drive	476-151-33	1948	Ranch	5D1	Good
807-78	3533	Isla Vista Drive	476-160-02	1946	Minimal Traditional	5D1	Good to Fair
807-79	3534	Isla Vista Drive	476-151-01	1952	Ranch	5D1	Good to Fair
807-80	3541	Isla Vista Drive	476-160-01	1951	Ranch	5D1	Fair
807-81	4802	Thorn Street	476-152-13	1931	Spanish Eclectic	5B	Good
807-82	4827	Thorn Street	476-242-15	1931	Spanish Eclectic	5B	Very Good

### Contributing Resources: Sidewalk Stamps (objects)

Stamp Content	Location
"BEN PEARCE 7-27"	Public Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01). There are two stamps in front of this parcel. This is the western-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16). There are three stamps in front of this parcel. This is the southwestern-most stamp.
"WE ASH 7 1926"	Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16). There are three stamps in front of this parcel. This is the center stamp.
"THORN ST"	Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16). There are three stamps in front of this parcel. This is the eastern-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33).
"WE ASH 7 26"	Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15). There are three stamps in front of this parcel. This is the center stamp.
"THORN ST"	Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15). There are three stamps in front of this parcel. This is the western-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19). There are three stamps in front of this parcel. This is the northeastern-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13). There are three stamps in front of this parcel. This is the northwestern-most stamp.

Stamp Content	Location
"WE ASH 7 1926"	Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13). There are three stamps in front of this parcel. This is the center stamp.
"WE ASH 7 1926"	Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14). There are three stamps in front of this parcel. This is the center stamp.
"ISLA VISTA DRIVE"	Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01). There are three stamps in front of this parcel. This is the eastern-most stamp.
"BEN PEARCE 7-27"	Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01). There are three stamps in front of this parcel. This is the western-most stamp.
"W.E. ASH 6 26"	Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01). There are three stamps in front of this parcel. This is the center stamp.
"ISLA VISTA DR"	Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14). There are three stamps in front of this parcel. This is the northeastern-most stamp.
"WE ASH 5-26"	Public Right-of-Way, located in front of 3472 Isla Vista (APN 476-150-01).
"THORNE ST"	Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13). There are three stamps in front of this parcel. This is the eastern-most stamp.
"THORN ST"	Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19). There are three stamps in front of this parcel. This is the western-most stamp.
"BELLE ISLE DRIVE"	Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15). There are three stamps in front of this parcel. This is the southeastern-most stamp.
"WE ASH 7-1926"	Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15). There are three stamps in front of this parcel. This is the center stamp.
"THORN ST"	Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15). There are three stamps in front of this parcel. This is the western-most stamp.
"BEN PEARCE 7-27"	Public Right-of-Way, located in front of 4750 Thorn Street (APN 476-151-16).
"WE ASH 7-1926"	Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19). There are three stamps in front of this parcel. This is the center stamp.
"THORN ST"	Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14). There are three stamps in front of this parcel. This is the western-most stamp.
"W.E. ASH 5-29"	Public Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01). There are two stamps in front of this parcel. This is the eastern-most stamp.
"ISLA VISTA DR"	Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15). There are three stamps in front of this parcel. This is the southeastern-most stamp.

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# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3203 Belle Isle Drive, APN 476-242-23

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3203 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-23-00; Islenair Unit #2, Block 8 Lot 8

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3203 Belle Isle Drive was built in 1947 in the Minimal Traditional style and features a low-pitch side gable roof with composition shingles; slight eave overhang; exposed rafter tails; and a moderately textured stucco exterior. The porch, which is accessed by four concrete steps, is centered on the house and supported by two 4x4 wood posts. The entry door is set perpendicular to the street. Fenestration consists of 2-over-2 double hung wood frame and sash windows. The yard is enclosed with a 3-foot high wrought iron fence between stucco posts with tile detailing. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1947 Water and Sewer Records

\* P7. Owner and Address:

Wingett Marty & Rita  
3203 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3203 Belle Isle Drive, APN 476-242-23

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was built in 1947 per water and sewer connection records. Modifications include the use of moderately textured stucco; the use of a wrought iron security door; and the replacement of the composition roof with a new composition roof. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

Detached garage located at the rear

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3204 Belle Isle Drive, APN 476-241-08

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3204 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-08-00; Islenair Unit #2 Block 7 Lot 9

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3204 Belle Isle Drive was built in 1937 in the Minimal Traditional style and features a side gable roof with composition shingles; a slight eave overhang; a moderately textured stucco exterior; and a chimney at the side. The left hand side of the house features a hexagonal bay with a 6-over-6 double hung wood frame and sash window flanked by 4-over-4 double hung wood frame and sash windows. The entry porch, accessed by two concrete steps and supported by two 4x4 wood posts, is set to the right and includes a large 12-pane fixed window and an entry door set perpendicularly to the sidewalk. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:  
Adams Douglas E Jr SWJY #Russel  
3404 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Dpt  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3204 Belle Isle Drive, APN 476-241-08

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was built in 1937 per water and sewer connection records. Modifications include the use of moderately textured stucco and the replacement of the composition roof with a new composition roof. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

Detached garage located at the rear

B9a. Architect: Unknown b. Builder: Max Fitzenmeyer

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3211 Belle Isle Drive, APN 476-242-22

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3410 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-22-00; Isleniar Unit #2 Block 8, Lot 7

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3211 Belle Isle Drive was built in 1946 in the Minimal Traditional style and features a low-pitch hipped roof with composition shingles;a slight eave overhang; exposed raftertails; a smooth stucco exterior; and a brick chimney at the side. The entry porch, which is accessed by 5 concrete steps, is centered on the house and features a small roof projection supported by paired 4x4 wood posts. Fenestration consists of 2-over-2 double hung wood frame and sash windows and single pane fixed wood frame windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:  
Savary Roderick C EST OF  
3211 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3211 Belle Isle Drive, APN 476-242-22

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was built in 1946 per water and sewer connection records. Modifications include the replacement of the composition roof with a new composition roof and the use of a wrought iron security door. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

Detached garage located at the rear

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3221 Belle Isle Drive, APN 476-242-21

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3221 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-242-21-00; Islenair Unit #2 Block 8 Lot 6

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3221 Belle Isle Drive was built in 1935 in the Minimal Traditional style and features a medium pitch cross gable roof with composition shingles; a slight eave overhang; exposed rafter tails; a clapboard exterior; and a brick chimney on the south side. The left hand side of the house features a front facing gable with a louvered outlet ventilator under the gable peak and an 8-lite wood frame window flanked by decorative shutters under an aluminum awning. The entry porch is located on the right hand side of the house and features a roof extension supported by wood posts. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 1-over-1 double hung wood frame and sash windows with decorative wood shutters in some locations. Extensive use of wrought iron security bars have obscured the windows and completely enclosed the porch, however, these modifications are reversible. A weathered wood picket fence surrounds the property. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1935 Water and Sewer Records

\* P7. Owner and Address:

Dessu Haili & Margarete 2002 Tru  
3221 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3221 Belle Isle Drive, APN 476-242-21

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1935 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the use of aluminum awnings; and the extensive use of wrought iron security bars on the windows and enclosing the entry porch. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3222 Belle Isle Drive, APN 476-241-10

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3222 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-241-10-00; Islenair Unit #2 Block 7 Lot 11

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3222 Belle Isle Drive was built in 1936 in the Minimal Traditional style and features a medium pitch cross gable roof with composition shingles; a slight eave overhang; exposed rafter tails; a moderately textured stucco exterior; and a chimney on the south side. The left hand side of the house features a front facing gable with clapboard in the gable end. The right hand side of the house features a flat-roof porch supported on wood posts and set slightly lower than the roofline. The porch cover appears to be an addition. Fenestration consists of 1-over-1 single hung and single pane fixed aluminum frame and sash windows. The entry door is set perpendicularly to the street. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Gleason Robert  
4311 Mt Henry Avenue  
San Diego CA 92117

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3222 Belle Isle Drive, APN 476-241-10

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the use of moderately textured stucco, the replacement of the composition roofing with new composition roofing, the replacement of the wood frame windows with aluminum windows, the addition of a wrought iron security screen over the entry door, and the addition of a small entry porch cover. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: HW Dingle

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3227 Belle Isle Drive, APN 476-242-20

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3227 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-20-00; Islenair Unit #2 Block 8 Lot 5

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3227 Belle Isle Drive was constructed in 1930 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof at the parapet line; a low-pitch front-gable entry element set just off-center; and a generally smooth stucco exterior. The main entry is set under a projecting, front-gable element with an arched opening and is accessed via three concrete steps. Fenestration consists of paired 1-over-1 double hung aluminum frame and sash windows. The entry door is set parallel to the street. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1930 Water and Sewer Records

\* P7. Owner and Address:

McTague Patricia L  
3227 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3227 Belle Isle Drive, APN 476-242-20

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1930 per water and sewer records. Modifications include the replacement of the wood frame and sash windows with aluminum frame and sash windows. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3235 Belle Isle Drive, APN 476-242-19

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3235 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-19-00; Islenair Unit #2 Block 8 Lot 4

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3235 Belle Isle Drive was built in 1947 in the Minimal Traditional style and features a medium pitch cross gable roof with composition shingles; a slight eave overhang; and a moderately textured stucco exterior. The right hand side of the house features a front facing gable with a louvered outlet ventilator under the gable peak and paired 1-over-1 aluminum frame and sash windows. The entry porch, which is accessed via 4 concrete steps, is centered on the house and features a roof extension supported by a decorative wrought iron post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 1-over-1 double hung and casement aluminum frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1947 Water and Sewer Records

\* P7. Owner and Address:

Cauthen Family Trust 01-19-96  
3235 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3235 Belle Isle Drive, APN 476-242-19

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1947 per water and sewer records. Modifications include the use of moderately textured stucco, the replacement of the composition roof with a new composition roof, the replacement of the wood frame and sash window with aluminum windows, and the replacement of the porch post with a decorative wrought iron post. The house is in fair to good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Cummins Brothers

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3243 Belle Isle Drive, APN 476-242-18

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3243 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-18-00; Islenair Unit #2 Block 8 Lot 3

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3243 Belle Isle was built in 1950 in the Minimal Traditional style and features a low-pitch hipped roof with composition shingles; slight eave overhang; and a moderately textured stucco exterior. The entry porch, which is accessed via 5 concrete steps, is centered on the main façade and covered by a projection of the roofline supported on a single squared post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 1-over-1 single hung aluminum windows. The window to the far right of the entry features wood shutters and an aluminum awning covers the window to the left to the entry. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1950 Water and Sewer Records

\* P7. Owner and Address:  
Ngo Phuc SWJT Ngo Huynh Minh  
4646 Convoy Street #104  
San Diego CA 92111

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3243 Belle Isle Drive, APN 476-242-18

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1950 per water and sewer records. Modifications include the use of moderately textured stucco, the replacement of the composition roof with a new composition roof, the replacement of the windows with aluminum windows, and the use of a wrought iron stair railing and security bars over the windows. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3244 Belle Isle Drive, APN 476-241-13

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3244 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-13-00; Islenair Unit #2 Block 7 Lot 14

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3244 Belle Isle Drive was built in 1937 in the Minimal Traditional style and features medium-pitch cross-gable roof with composition shingles; a slight eave overhang; exposed rafter tails; a moderately textured stucco exterior; and a chimney on the west side. The right hand side of the house features a front facing gable with clapboard in the gable end, an aluminum slider window with wood shutters under an aluminum awning over a brick façade. The left hand side of the house features an entry porch, accessed by four concrete steps, under a projection of the roof supported on paired square posts. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 3-over-3 double hung wood frame and sash windows and the aluminum slider window in the gable end. Wrought iron security bars cover the doors and windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:

Clemons Curtis L  
3244 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3244 Belle Isle Drive, APN 476-241-13

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the use of moderately textured stucco, the replacement of the composition roof with a new composition roof, the replacement of one window with an aluminum window, and the use of a wrought iron stair railing and security bars over the windows. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3250 Belle Isle Drive, APN 476-241-14

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3250 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-241-14-00; Islenair Unit #2 Block 7 Lot 15

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3250 Belle Isle Drive was built in 1941 in the Minimal Traditional style and features a medium-pitch hipped roof with composition shingles; minimal eave overhang; and a heavily textured stucco exterior. The main entry is set to the left and is accessed by two concrete steps. Fenestration consists of 4-over-4 double hung wood windows with decorative shutters. The porch posts appear to have been removed at some point in time, and the wood frame and sash windows flanking the door may have been an early modification. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1941 Water and Sewer Records

\* P7. Owner and Address:  
Allen Robert G & Cecilia  
3250 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3250 Belle Isle Drive, APN 476-241-14

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1941 per water and sewer records. Modifications include the use of heavily textured stucco, the replacement of the composition roof with a new composition roof, and the apparent removal of the porch posts and the probable addition of the windows flanking the entry door at an early date. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3251 Belle Isle Drive, APN 476-242-17

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3251 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-242-17-00; Islenair Unit #2 Block 8 Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3251 Belle Isle Drive was built in 1928 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof at the parapet line; a medium-pitch front-gable bay set to the right; and a smooth stucco exterior. The entry porch is set to the left and is supported by a heavy square timber post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a fixed arch window in the gabled bay. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:

Lopreste Danielle  
3251 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3251 Belle Isle Drive, APN 476-242-17

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1928 per water and sewer records. Modifications include the possible in-kind replacement of the clay tile roof. The house is in excellent condition and retains a very good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Charles Tifal

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3261 Belle Isle Drive, APN 476-242-16

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3261 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-16-00; Islenair Unit #2 Block 8 Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3261 Belle Isle Drive was built in 1928 in the Spanish Eclectic style on a corner lot and features a cross gable clay tile roofs; clipped eaves with a rounded cornice; clay tile vents; smooth stucco walls; and a chimney on the north elevation. The entry accessed via two concrete steps and is centered on the main façade to the left of the front-facing gable bay and features a narrower projecting gable element with arched entryway. Fenestration consists of a 6-over-1 double hung wood window with decorative shutters in the gabled bay, a large fixed arched window to the left of the entry, and 1-over-1 double hung wood frame and sash windows on the north elevation. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:  
Gillen Barry F & Donna F  
3261 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5B

\* Resource Name or #: 3261 Belle Isle Drive, APN 476-242-16

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1928 per water and sewer records. Modifications include the possible in-kind replacement of the clay tile roof. The house is in excellent condition and retains a very good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Charles Tifal

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3262 Belle Isle Drive, APN 476-241-15

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3262 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-15-00; Islenair Unit #2 Block 7 Lot 16

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3262 Belle Isle Drive was built in 1937 in the Minimal Traditional style on a corner lot and features multi-gabled roofs with composition shingles; clapboard siding; multiple recessed bays; and a brick chimney on the east façade. The main entry, accessed via two concrete steps, is set on the center bay and is covered by a shed roof projection supported on 4x4 wood posts. Fenestration consists of two fixed multi-light wood frame windows on the center bay, an 8-lite vinyl slider window, and an aluminum slider. Wrought iron security bars have been added to the doors and windows. An addition at the rear is visible, but is stepped back from the main façade and is clearly new. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:

Estrada Lidia  
3262 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3262 Belle Isle Drive, APN 476-241-15

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the replacement of some windows with aluminum and vinyl windows, the use of a wrought iron security bars over the windows, and a 2002 addition at the rear which is visible, but stepped back from the main façade and clearly new. The house is in good to fair condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3304 Belle Isle Drive, APN 476-151-19

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3304 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-19-00; Islenair Unit #1 Block 1 Lot 17, Block 4 Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3304 Belle Isle Drive was built in 1931 in the Spanish Eclectic style on a corner lot and features flat and multi-gable roofs with clay tiles; clipped eaves; exposed rafter tails; clay pipe drains; an arched louvered vent; a smooth stucco exterior; and a chimney on the south elevation. The main entry is flanked by projecting gable bays and is enclosed by a low stucco wall under a low-point arched opening. The entry door is set perpendicularly to the sidewalk. Fenestration consists of single pane casement wood frame windows under a fixed triangular transom in the left bay, Craftsman pattern multi-lights-over-1 double hung wood frame and sash windows in the right bay, multi-lite and 1-over-1 double hug wood frame and sash windows at the entry porch, and 1-over-1 double hung wood frame and sash windows throughout. Two Mexican palms flank the entryway. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1931 Water and Sewer Records

\* P7. Owner and Address:

Tarvin Mark W and Barbara P  
3304 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5B

\* Resource Name or #: 3304 Belle Isle Drive, APN 476-151-19

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1931 per water and sewer records. Modifications include the possible in-kind replacement of the clay tile roof. The house is in excellent condition and retains a very good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3315 Belle Isle Drive, APN 476-152-12-00

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3315 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-12-00; Islenair Unit #1 Block 2 Lot 12

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3315 Belle Isle Drive was built in 1930 in the Spanish Eclectic style and features a flat roof with a shed clay tile roof at the parapet; clipped eaves; clay tile vents and drains; a smooth stucco exterior; and a chimney on the south elevation. The entry, accessed via two concrete steps, is set to the right and is covered by a shed roof projection supported on square posts. The entry door is set parallel to the sidewalk. Fenestration consists of 1-over-1 double hung wood frame and sash windows with decorative shutters, single pane fixed wood frame windows, and 1-over-1 aluminum windows on the side of the house. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:  
Deanda Trinidad and Alice L TRS  
3315 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3315 Belle Isle Drive, APN 476-152-12-00

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential

B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1930 per water and sewer records. Modifications include the use of wrought iron security grills. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown

b. Builder: OG Dobbs

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3323 Belle Isle Drive, APN 476-152-05

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3323 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-05-00; Islenair Unit #1 Block 2 Lot 11

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3323 Belle Isle Drive was built in 1939 in the Minimal Traditional style and features a hipped roof with a slight eave overhang; composition shingles with clay tile ridge; a wood clapboard exterior; and a chimney on the south elevation. The entry, accessed by several concrete steps, is set just right of center and features a shed roof projection supported by decorative wrought iron posts connected to a wrought iron porch railing. The entry door is set parallel to the sidewalk. Fenestration consists of a large fixed single pane window to the right of the entry porch and an aluminum casement window centered on a projecting bay to the left of the entry porch. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1939 Water and Sewer Records

\* P7. Owner and Address:

Scott Donald R  
3323 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92105

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3323 Belle Isle Drive, APN 476-152-05

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1939 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, and the replacement on an original window with an aluminum window on the main façade. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Lindsey and Hettenbaugh

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3328 Belle Isle Drive, APN 476-151-22

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3328 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-22-00; Islenair Unit #1 Block 1 Lot 20

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3328 Belle Isle Drive was built in 1945 in the Minimal Traditional style and features a dominant medium pitch side gable roof with composition shingles, clipped eaves, and a moderately textured stucco exterior. The entry, accessed by two concrete steps, is set just left of center and features a shed roof projection supported by a single wood post. The entry door is set parallel to the sidewalk. Fenestration includes 4-over-4 and 8-over-8 double hung wood frame and sash windows to the right of the entry door; a 4-over-4 double hung vinyl frame and sash window to the left of the entry door; and single pane fixed vinyl windows on the main façade of the projecting bay to the left of the entry door. The single car garage, set a few feet back from the main façade, is attached to the house and appears to retain the original wood door. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1945 Water and Sewer Records

\* P7. Owner and Address:  
Casebolt Neal E Living Trust  
6775 Hibiscus Drive  
Lemon Grove CA 91945

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3328 Belle Isle Drive, APN 476-151-22

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1945 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the use of a moderately textured stucco exterior, the replacement of a 4-over-4 double hung wood frame window with an in-kind vinyl window, and the replacement of two 16-lite fixed wood frame windows with single pane fixed vinyl windows. All window modifications occurred within the same opening. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Cummins Brothers

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3329 Belle Isle Drive, APN 476-152-10

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3329 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-10-00; Islenair Unit #1 Block 2 Lot 10

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3329 Belle Isle Drive was built in 1947 in the Minimal Traditional style and features a hipped roof; composition shingles; slight eave overhang; and a stucco exterior. The entry, accessed by several concrete steps, is set right of center and covered by a roof projection supported by several wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of a 1-over-1 double-hung vinyl frame and sash window and an 8-lite fixed vinyl frame window. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1947 Water and Sewer Records

\* P7. Owner and Address:

Peterson Jeffrey A  
3329 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3329 Belle Isle Drive, APN 476-152-10

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1947 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the replacement of the simple porch railing, the replacement of the wood windows with vinyl within the original opening, and the addition of wrought iron security grills. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3336 Belle Isle Drive, APN 476-151-23

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3336 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-23-00; Islenair Unit #1 Block 1 Lot 21

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3336 Belle Isle Drive was built in 1936 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof at the parapet line; a medium-pitch front-gable bay set to the right; a smooth stucco exterior; and a chimney on the north elevation. The entry, accessed via four concrete and tile steps, is set to the left and recessed under the roofline and supported by two wood posts. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 12-lite fixed, 15-lite fixed, and 8-over-1 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:  
Llorens Ryan A & Raquel M N  
3336 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3336 Belle Isle Drive, APN 476-151-23

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the in-kind replacement of the clay tile roofing. The house is in good condition and retains a very good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3344 Belle Isle Drive, APN 476-151-24

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3344 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-24-00; Islenair Unit #1 Block 1 Lot 22

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3344 Belle Isle Drive was built in 1939 in the Minimal Traditional style and features a hipped roof; composition shingles; minimal eave overhang; and a moderately textured stucco exterior. The entry, accessed via three concrete steps, is set just left of center under a simple cantilevered stucco projection. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1939 Water and Sewer Records

\* P7. Owner and Address:  
Smongesky Judith A MMJT & Peter  
3344 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3344 Belle Isle Drive, APN 476-151-24

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Transitional Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1939 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the use of moderately textured stucco. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Larry Irving

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3345 Belle Isle Drive, APN 476-152-08

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3345 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-08-00; Islenair Unit #1 Block 2 Lot 8

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3345 Belle Isle Drive was built in 1936 in the Minimal Traditional style and features a medium pitch cross gable roof; composition shingles; minimal eave overhang with some exposed rafter tails; horizontal wood clapboard in the gable ends; a smooth stucco exterior; and a chimney on the south elevation. The entry porch, accessed via four concrete steps, is set to the right and is recessed under the roof, which is supported by groupings of wood posts with decorative cross supports. The entry door is set perpendicularly to the sidewalk. To the left of the entry is a half-hexagonal bay of 2-over-1 double hung windows on a front-facing gable bay. Fenestration consists of 2-over-1 double hung and 16-lite fixed wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:  
Lotzman Peter NSNS50 Orlando Car  
3345 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3345 Belle Isle Drive, APN 476-152-08

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: RR West

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3403 Belle Isle Drive, APN 476-152-07

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3403 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-07-00; Islenair Unit #1 Block 2 Lot 7

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house located at 3403 Belle Isle Drive was built in 1928 in the Spanish Eclectic style and features a flat roof with parapet walls, a projecting front gable element flanked by simple shed roof elements; clay tile roofing; some exposed rafter tails; clay tile roof vents and drains; a smooth stucco exterior; and a chimney on the south elevation. The entry, accessed by two concrete steps, is set to the left of the projecting bay under the shed roof projection. The entry door is set parallel to the sidewalk. Fenestration consists of 8-lite casement and a large fixed single pane wood frame and sash window, as well as an aluminum sash louvered window to the left of the entry. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:  
Combs David L  
3403 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3403 Belle Isle Drive, APN 476-152-07

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1928 per water and sewer records. Modifications include the replacement of a wood sash window with an aluminum sash louvered window within the original opening and frame, and the addition of a modest water feature under the fixed window on the projecting bay. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Charles Tifal

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3411 Belle Isle Drive, APN 476-152-06

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3411 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-06-00; Islenair Unit #1 Block 2 Lot 6

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house located at 3411 Belle Isle Drive was built in 1936 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a projecting front-gable bay; clay tile roof vents and drains; and a moderately textured stucco exterior. The entry, accessed via two concrete steps, is set to the left under the shed roof projection supported on a massive square stucco column. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a large fixed wood frame window in the gable bay and 1-over-1 double hung wood frame and sash windows throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Bard Julie  
3411 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3411 Belle Isle Drive, APN 476-152-06

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1936 per water and sewer records. Modifications include the likely replacement of a simple wood post support with the large square stucco column, and the addition of fabric awnings over the windows. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3412 Belle Isle Drive, APN 476-151-26

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3412 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-26-00; Islenair Unit #1 Block 1 Lot 24

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3412 Belle Isle Drive was built in 1939 in the Minimal Traditional style with Art Deco influences and features a hipped roof; composition shingles; minimal eave overhang; and a stucco exterior with three horizontal lines running through the stucco in line with the fenestration. The entry, accessed via three rounded concrete steps, is set just right of center under a rounded, cantilevered stucco projection. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows of varying sizes and a fixed hexagonal portal window. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1939 Water and Sewer Records

\* P7. Owner and Address:  
Grainger Virginia L UWNS1/2  
5176 E Bedford Dr  
San Diego CA 92116

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3412 Belle Isle Drive, APN 476-151-26

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1939 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Cummins Brothers

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3422 Belle Isle Drive, APN 476-151-27

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3422 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-27-00; Islenair Unit #1 Block 1 Lot 25

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3422 Belle Isle Drive was built in 1936 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a projecting front-gable bay; clay tile roof vents and drains; a stucco exterior; and a chimney at the north elevation. The entry, accessed via four concrete steps, is set to the left under the shed roof projection supported by two square wood posts. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 2-over-1 double hung wood frame and sash windows at the porch and a large fixed single pane vinyl window in the gable bay. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Feeley Maria G. Revocable Trust  
3422 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3422 Belle Isle Drive, APN 476-151-27

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the original fixed window in the gable bay with a vinyl fixed window within the same opening. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: RR West

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3423 Belle Isle Drive, APN 476-152-05

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3423 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-05-00; Islenair Unit #1 Block 2 Lot 5

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3424 Belle Isle Drive was built in 1941 in the Minimal Traditional style and features a cross gable roof; composition shingles; clipped eaves; horizontal wood slat vents in the gable end; a wood clapboard exterior; and a brick chimney on the south elevation. The entry, accessed via three concrete steps, is set to the right under a roof projection supported by three square wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows. Ornamental landscape features have been added which are reversible. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:  
Watson Family Revocable Trust  
3423 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3423 Belle Isle Drive, APN 476-152-05

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1941 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the use of fabric awnings, and the addition of ornamental landscape features, which are reversible. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3426 Belle Isle Drive, APN 476-151-28

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3426 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-28-00; Islenair Unit #1 Block 1 Lot 26

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3426 Belle Isle Drive was built in 1929 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line; clay tile roof drains; a moderately textured stucco exterior; and a chimney along the east (main) elevation. The entry is set to the right and recessed under the shed tile roof. The porch is partially enclosed with an original half-height wall and arched opening under the shed roof. The chimney is set to the left of the entry and is flanked by four clay tile roof drains over fixed windows. Wrought iron security bars have been added to the windows and entry porch. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1929 Water and Sewer Records

\* P7. Owner and Address:  
Laffoon Karen Living Trust  
3426 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** 3426 Belle Isle Drive, APN 476-151-28

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential

B4. Present Use: SF Residential

\* **B5. Architectural Style:** Spanish Eclectic

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

The house was constructed in 1929 per water and sewer records. Modifications include the use of wrought iron security bars at the windows and entry porch and the use of aluminum awnings over the windows. The house is in good condition and retains a good degree of integrity.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

A detached garage is located at the rear.

B9a. Architect: Unknown

b. Builder: Charles Pemberton

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3435 Belle Isle Drive, APN 476-152-04

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3435 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-04-00; Islenair Unit #1 Block 2 Lot 4

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3435 Belle Isle Drive was built in 1936 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a projecting front-gable bay; clay tile roof vents and drains; a stucco exterior; and a chimney at the south elevation. The entry, accessed via two concrete steps, is set to the right under the shed roof projection supported by a square wood post. The entry door is set parallel to the sidewalk behind an arched stucco entrance connected to the porch. Fenestration consists of a 12-lite fixed wood frame window, 4-over-1 double hung vinyl frame and sash windows, and 6-over-6 double hung vinyl frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Ethridge David and Marjorie  
3435 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3435 Belle Isle Drive, APN 476-152-04

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential

B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of some original wood frame and sash windows with vinyl frame and sash windows. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown

b. Builder: RR West

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3439 Belle Isle Drive, APN 476-152-03

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3439 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-03-00; Islenair Unit #1 Block 2 Lot 3

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3439 Belle Isle Drive was built in 1941 in the Minimal Traditional style with Ranch influences and features cross-gable roofs; composition shingles; clipped eaves; vertical wood siding in the gable end; a tongue and groove wood exterior; a stone veneer base; and an attached carport. The entry is set to the left under the shed roof projection supported by paired wood posts. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 6-over-6 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1941 Water and Sewer Records

\* P7. Owner and Address:

McLeod Cynthia M  
3439 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3439 Belle Isle Drive, APN 476-152-03

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1941 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the addition of a stone veneer to the base of the building. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3442 Belle Isle Drive, APN 476-151-30

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3442 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-30-00; Islenair Unit #1 Block 1 Lot 28

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3442 Belle Isle Drive was built in 1947 in the Minimal Traditional style and features multi-hipped roofs; composition shingles; clipped eaves; and a heavily textured stucco exterior. The entry, accessed via two concrete steps, is set to the left of a projecting bay and is covered by a small, added aluminum entry cover supported on thin aluminum posts. The entry door is set parallel to the sidewalk. Fenestration consists of multi-lite vinyl sliding windows covered by wrought iron security bars under aluminum awnings. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1947 Water and Sewer Records

\* P7. Owner and Address:

Huynh Emerly  
3442 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3442 Belle Isle Drive, APN 476-151-30

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1947 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the use of heavily textured stucco, the replacement of the original wood windows with vinyl windows, the use of aluminum awnings, and the use of wrought iron security bars. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3443 Belle Isle Drive, APN 476-152-02

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3443 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-02-00; Islenair Unit #1 Block 2 Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3443 Belle Isle Drive was built in 1928 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a front-gable bay; clay tile roof vents and drains; a stucco exterior; and a chimney at the south elevation. The entry is set to the left of the gable under the shed roof supported by a stucco post, which flows into an arched porch opening. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a single pane fixed wood frame window in the gable bay and double hung wood frame and sash windows at the porch. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:

Musgrave Lisa  
3443 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3443 Belle Isle Drive, APN 476-152-02

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1928 per water and sewer records. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Charles Pemberton

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3458 Belle Isle Drive, APN 476-151-31

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3458 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-31-00; Islenair Unit #1 Block 1 Lot 29

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3458 Belle Isle Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line, a front-gable bay to the right, and a hexagonal bay to the left; minimal eave overhang; exposed rafter tails; clay tile roof vents and drains; and a stucco exterior. The entry, accessed via two concrete steps, is centered under the shed roof and a low stucco arch. Fenestration consists of a large fixed single pane wood frame window in the gable bay, 2-over-1 double hung wood frame and sash windows in the hexagonal bay, and aluminum louvered windows flanking the entry door. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1935 Water and Sewer Records

\* P7. Owner and Address:  
Kern Andreas & Miller Terril  
3458 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3458 Belle Isle Drive, APN 476-151-31

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1935 per water and sewer records. Modifications include the use of aluminum louvered windows at the entry. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3462 Belle Isle Drive, APN 476-151-32

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3462 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-32-00; Islenair Unit #1 Block 1 Lot 30

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3462 Belle Isle Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a projecting front-gable bay; clay tile roof vents and drains; a stucco exterior; and a chimney at the south elevation. The entry, accessed via four concrete steps, is set to the left of the gable under a fabric awning. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows in the gable end and a 9-lite, arched, fixed wood frame window to the left of the entry. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1935 Water and Sewer Records

\* P7. Owner and Address:  
Scruggs Rhonald F and Susie  
3462 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3462 Belle Isle Drive, APN 476-151-32

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1935 per water and sewer records. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: WB Watson

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3323 Euclid Avenue, 476-151-14

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3323 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-14-00; Islenair Unit #1, Block 1, Lot 14

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3323 Euclid Avenue was built in 1947 in the Minimal Traditional style and features a cross gable roof; composition shingles; clipped eaves; horizontal slat vents in the gable end; a stucco exterior; and a cement veneer designed to appear as flagstone. The entry, accessed via seven concrete steps, is set to the right under a roof projection supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows and an 8-lite fixed wood frame window. Ornamental cement retaining walls designed to appear as flagstone have been added which are reversible. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1947 SD County Property Charc

\* P7. Owner and Address:  
Tibbetts Michael H & Guillermina  
3323 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3323 Euclid Avenue, 476-151-14

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1947 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the use of decorative cement veneer. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached single car garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT  
1974-1975

City of San Diego  
Department of Planning & Economic Development

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3329 Euclid Avenue, APN 476-151-13

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3329 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-13-00; Islenair Unit #1, Block 1, Lot 13

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3329 Euclid Avenue was built in 1946 in the Minimal Traditional style and features a multi-hipped roof; composition shingles; clipped eaves; and a stucco exterior. The entry, accessed via four concrete steps, is roughly centered on the façade and the entry door is set parallel to the sidewalk. Fenestration consists of 1-over-1 double hung aluminum and vinyl frame and sash windows and a single pane fixed vinyl frame window. A low cement block retaining wall has been added at the front property line. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 SD County Property Charac

\* P7. Owner and Address:

Croce Maris  
3329 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3329 Euclid Avenue, APN 476-151-13

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per San Diego County Assessor Property Characteristics. Modifications include the replacement of the composition roof with a new composition roof and the replacement of the original wood frame and sash windows with aluminum and vinyl frame and sash windows. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached single car garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3333 Euclid Avenue, 476-151-12

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3333 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-12-00; Islenair Unit #1, Block 1, Lot 12

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3333 Euclid Avenue was built in 1946 in the Minimal Traditional style and features a cross gable roof; composition shingles; clipped eaves; horizontal slat vents in the gable end; a stucco exterior; and a cement veneer designed to appear as stone. The entry, accessed via seven concrete steps, is set to the right under a roof projection supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of paired 4-lite casement wood frame and sash windows with aluminum hinges. Wrought iron security bars have been added to the doors and windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 SD County Property Charac

\* P7. Owner and Address:

Watson Mary  
3333 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3333 Euclid Avenue, 476-151-12

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per San Diego County Assessor Property Characteristics. Modifications include the replacement of the composition roof with a new composition roof and the use of decorative cement veneer. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached single car garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3345 Euclid Avenue, 476-151-11

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3345 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-11-00; Islenair Unit #1, Block 1, Lot 11

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3345 Euclid Avenue was built in 1948 in the Minimal Traditional style and features a cross gable roof; composition shingles; clipped eaves; vertical wood siding in the gable end; and a wood shingle exterior. The entry, accessed via seven concrete steps, is set to the right under a roof projection supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of paired 4-lite casement wood frame and sash windows with aluminum hinges. Wrought iron security bars have been added to the doors and windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1948 SD County Property Charac

\* P7. Owner and Address:  
Mercer Olen W & Barbara A  
2835 Camino Del Rio S #340  
San Diego CA 92108

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3345 Euclid Avenue, 476-151-11

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1948 per San Diego County Assessor Property Characteristics. Modifications include the replacement of the composition roof with a new composition roof; the addition of wrought iron security bars; the addition of chain link fencing; and landscape overgrowth. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached single car garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3405 Euclid Avenue, 476-151-10

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3405 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-10-00; Islenair Unit #1, Block 1, Lot 10

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3345 Euclid Avenue was built in 1949 in the Minimal Traditional style and features a low-pitch multi-hipped roof; composition shingles; clipped eaves; and a horizontal wood clapboard shingle exterior. The entry, accessed via five concrete steps, is generally centered under a roof projection supported by wrought iron brackets. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 wood frame and sash wood frame and sash windows. Aluminum awnings have been added above the windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1949 SD County Property Charac

\* P7. Owner and Address:

Keegan Gerald  
3405 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3405 Euclid Avenue, 476-151-10

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1949 per San Diego County Assessor Property Characteristics. Modifications include the replacement of the composition roof with a new composition roof; and the addition of aluminum awnings. The house is in fair condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached single car garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3411 Euclid Avenue, APN 476-151-09

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3411 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-09; Islenair Unit #1 Block 1, Lot 9

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3411 Euclid Avenue was built in 1929 in the Spanish Eclectic style with Mission Revival elements and features a flat roof; shaped parapet walls; clay tile drain pipes; and a textured stucco exterior. The entry, accessed via five concrete steps, is centered on the façade under a front-facing gable projection with a clay tile roof and arched openings for access and ventilation. The entry door is set parallel to the sidewalk. Fenestration consists of fixed and casement aluminum frame and sash windows in the original arched window openings. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1929 SD County Property Charac

\* P7. Owner and Address:

Burni Ralph  
PO Box 120951  
San Diego CA 92112

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** 3411 Euclid Avenue, APN 476-151-09

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* **B5. Architectural Style:** Spanish Eclectic/Mission Revival

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
The house was constructed in 1929 per San Diego County Assessor Property Characteristics. Modifications include the use of textured stucco; and the replacement of the wood frame windows with aluminum windows in the original openings. The house is in good condition and retains a good to fair degree of integrity.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**  
A detached single car garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**  
Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3419 Euclid Avenue, APN 476-151-08

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3419 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-08; Islenair Unit #1, Block 1 Lot 8

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3419 Euclid Avenue was built in 1938 in the Art Moderne style and features a flat roof; drain pipes; and a smooth stucco exterior with rounded transitions between the bays and horizontal lines set into the stucco walls. The entry, accessed via four concrete steps, is roughly centered on the façade and recessed three feet into the facade. The entry door is set parallel to the sidewalk. Fenestration consists of 8-lite vinyl slider windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1938 SD County Property Charac

\* P7. Owner and Address:  
Moreno Alex  
3419 Euclid Ave  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5B

\* Resource Name or #: 3419 Euclid Avenue, APN 476-151-08

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential

B4. Present Use: SF Residential

\* B5. Architectural Style: Art Moderne

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1938 per San Diego County Assessor Property Characteristics. Modifications include the replacement of the wood frame windows with vinyl windows in the original openings. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached single car garage is located at the rear.

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3443 Euclid Avenue, APN 476-151-05

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3443 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-05; Islenair Unit #1, Block 1 Lot 5

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3443 Euclid Avenue was built in 1945 in the Minimal Traditional style with Ranch influences and features a low-pitch hipped roof; composition shingles; overhanging eaves; and a stucco exterior with brick veneer. The entry, accessed via four concrete steps, is roughly centered on the façade and recessed four feet into the façade. The entry door is set parallel to the sidewalk. Fenestration consists of single pane casement vinyl frame and sash windows. A fabric has been added above the focal window. The two-car garage is highly prominent and attached to the house flush with the main façade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1945 SD County Property Charac

\* P7. Owner and Address:

Burks Vertez  
3443 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3443 Euclid Avenue, APN 476-151-05

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1945 per San Diego County Assessor Property Characteristics. Modifications include the replacement of the composition roof with a new composition roof; the use of brick veneer; the replacement of the original wood frame windows with vinyl windows; the replacement of the highly prominent garage door with an aluminum roll-up door; the addition of a fabric awning. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type \_\_\_\_\_ Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3202 Isla Vista Drive, APN 476-242-10

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3202 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-10-00; Islenair Unit #2, Block 8, Lot 10 and 9

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3202 Isla Vista Drive was built in 1935 in the Minimal Traditional style and features a medium pitch cross gable roof with composition shingles; a slight eave overhang; and a wood clapboard exterior. The entry porch, which is at grade, is set to the right and features a roof extension supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of multi-lite and 1-over-1 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1935 Water and Sewer Records

\* P7. Owner and Address:

Orr Kathryn L  
3202 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3202 Isla Vista Drive, APN 476-242-10

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1935 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the addition of a tall hedge, which obscures the house. The house is in good condition and retains a very good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3209 Isla Vista Drive, APN 476-242-08

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3209 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-08-00; Islenair Unit #2, Block 6, Lot 8

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3209 Isla Vista Drive was built in 1947 in the Minimal Traditional style with Ranch elements and features a multi-hipped roof with composition shingles; clipped eaves; and a textured stucco exterior. The entry porch, accessed via one concrete step, is set to the right and features a roof extension supported by a decorative wrought iron post. The entry door is set parallel to the sidewalk. The single car garage is set to the left and s connected to the house through a roof over a breezeway. Fenestration consists of 6-over-6 double hung vinyl sash windows in the original wood frames. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1947 Water and Sewer Records

\* P7. Owner and Address:

Johnson Robert E  
3209 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3209 Isla Vista Drive, APN 476-242-08

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1947 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the use of textured stucco, and the replacement of the original wood sash windows with vinyl windows in the original wood frame openings. The house is in fair condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Don Lords

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3219 Isla Vista Drive, APN 476-242-07

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3219 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-07-00; Islenair Unit #2, Block 6, Lot 7

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3219 Isla Vista Drive was built in 1950 in the Minimal Traditional style and features a hipped roof with composition shingles; clipped eaves; and a wood clapboard exterior. The entry porch, accessed via five concrete steps, is centered on the façade under a slight roof extension. The entry door is set parallel to the sidewalk. Fenestration consists of a 9-lite fixed wood frame picture window and 2-over-2 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1950 Water and Sewer Records

\* P7. Owner and Address:

Johnson Noble V & Lois P Trust  
3219 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3219 Isla Vista Drive, APN 476-242-07

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1950 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof. The house is in good condition and retains a very good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Mobilhome Corp

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3224 Isla Vista Drive, APN 476-242-12

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3224 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-242-12-00; Islenair Unit #2, Block 8, Lot 12

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3224 Isla Vista Drive was built in 1937 in the Minimal Traditional style and features a side-gable roof with composition shingles; clipped eaves; a stucco exterior; and a wide brick chimney on the east facade. The entry porch, accessed via two concrete steps, is set to the right and features a roof extension supported by a wood post. The entry door is set parallel to the sidewalk. Fenestration consists of 6-over-6 double hung wood frame and sash windows with decorative wood shutters. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:  
Lovell Robert D and Tracy L  
3224 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3224 Isla Vista Drive, APN 476-242-12

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof. The house is in good condition and retains a very good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Francis Bartlett

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3225 Isla Vista Drive, APN 476-242-06

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3225 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-242-06-00; Islenair Unit #2, Block 8, Lot 12

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3225 Isla Vista Drive was built in 1928 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and an asymmetrical front-gable bay; clay tile roof vents and drains; a stucco exterior; and a chimney at the south elevation. The entry is set under the longer end of the gable, recessed under a pointed arch opening. The entry door is set parallel to the sidewalk. Fenestration consists of fixed wood frame windows on the main, west façade; and casement and 6-over-6 double hung vinyl frame and sash windows on the south side elevation. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:

Merk Roger L  
3225 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3225 Isla Vista Drive, APN 476-242-06

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1928 per water and sewer records. Modifications include the replacement of the clay tile roof with new clay tile; the replacement of the original windows along the south side elevation; and the addition of a fabric awning on the main façade. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3226 Isla Vista Drive, APN 476-242-11

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3226 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-11-00; Islenair Unit #2, Block 6, Lot 6

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3226 Isla Vista Drive was built in 1936 in the Minimal Traditional style and features a medium pitch cross gable roof with composition shingles; clipped eaves; wood clapboard in the gable end; and a stucco exterior. The entry porch, accessed via two concrete steps, is set to the right and features a roof extension supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of four-lite French doors, and single pane fixed and 1-over-1 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Turner Ruth L  
6963 Galewood Street  
San Diego CA 92120

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3226 Isla Vista Drive, APN 476-242-11

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3235 Isla Vista Drive, APN 476-242-05

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3235 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-05-00; Islenair Unit #2, Block 6, Lot 5

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3235 Isla Vista Drive was built in 1936 in the Minimal Traditional style and features a medium pitch cross gable roof with composition shingles; clipped eaves; wood clapboard and clay pipe vents in the gable end; and a stucco exterior. The entry porch, accessed via two concrete steps, is set to the left and features a roof extension supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of multi-lite fixed and casement wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Grainger Virginia L TR  
5176 E Bedford Drive  
San Diego CA 92116

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3235 Isla Vista Drive, APN 476-242-05

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the addition of aluminum awnings. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3241 Isla Vista Drive, APN 476-242-04

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3241 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-04-00; Islenair Unit #2, Block 6, Lot 4

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3241 Isla Vista Drive was built in 1940 in the Minimal Traditional style with Art Moderne influences and features a multi-hipped roof with composition shingles; slight eave overhang with exposed rafter tails; and a textured stucco exterior. The entry porch, accessed via three concrete steps, is roughly centered on the façade and features a small projection supported by brackets. The entry door is set parallel to the sidewalk. Fenestration consists of single pane fixed and 2-over-2 double hung wood frame and sash windows. Art Moderne influences include a round portal window and the use of glass block at the corner. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1940 Water and Sewer Records

\* P7. Owner and Address:

Sevel Vicki B  
3241 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3241 Isla Vista Drive, APN 476-242-04

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and a decorative cement walkway. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Howard Johnson

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3242 Isla Vista Drive, APN 476-242-14

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3242 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-14-00; Islenair Unit #2, Block 8, Lot 14

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3242 Isla Vista Drive was built in 1936 in the Minimal Traditional style with Ranch elements and features a side gable roof with composition shingles; vertical wood siding in the gable end; a slight eave overhang with exposed rafter tails; an asbestos shingle exterior; and a brick chimney at the ridgeline. The entry porch, accessed via two concrete steps, is set to the right and features a roof extension supported by a turned spindle wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of multi-lite fixed and casement, as well as 1-over-1 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1935 Water and Sewer Records

\* P7. Owner and Address:  
Stelzer Justin T & Cynthia D  
3242 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3242 Isla Vista Drive, APN 476-242-14

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the application of asbestos shingle siding, which appears to have been applied over the original siding, as evidenced by the relationship of the siding to the window frames. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3249 Isla Vista Drive, APN 476-242-03

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3249 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-03-00; Islenair Unit #2, Block 6, Lot 3

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3249 Isla Vista Drive was built in 1945 in the Minimal Traditional style and features a side gable roof with composition shingles; horizontal vents in the gable end; clipped eaves; and a smooth stucco exterior. The entry porch, accessed via three concrete steps, is centered and recessed three feet into the façade. The entry door is set parallel to the sidewalk. Fenestration consists of 4-over-4 and 1-over-1 double hung wood frame and sash windows under aluminum awnings. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1945 Water and Sewer Records

\* P7. Owner and Address:

Meza-Ehlert Robert K and Diana  
3249 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3249 Isla Vista Drive, APN 476-242-03

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1945 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the addition of aluminum awnings. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Severin Construction Company

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3305 Isla Vista Drive, APN 476-242-01

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3305 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-01-00; Islenair Unit #1, Block 3, Lot 23 and Islenair Unit #2, Block 6, Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3305 Isla Vista Drive was built in 1946 in the Minimal Traditional style and features a hipped roof with composition shingles; a slight eave overhang with rafter tails; and a textured stucco exterior. The entry, accessed via three concrete steps, is set just to the right under a roof projection supported by paired square wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of single pane fixed and 1-over-1 double hung vinyl frame and sash windows. The garage is attached to the house and set forward a few feet. The yard is enclosed by a 3-foot wood picket fence. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:

Enciso Gloria  
6040 Burian Street  
San Diego CA 92114

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3305 Isla Vista Drive, APN 476-242-01

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the use of textured stucco; the replacement of the original wood frame windows with vinyl frame windows; and the replacement of the original wood garage door with a roll-up aluminum door. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3306 Isla Vista Drive, APN 476-152-14

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3306 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-14-00; Islenair Unit #1, Block 2, Lot 14 and Islenair Unit #2, Block 5, Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3306 Isla Vista Drive was built in 1929 on a corner lot in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and two projecting front-gable bays; clay tile roof vents and drains; a stucco exterior; and a chimney at the south elevation. The main entry, accessed via two concrete steps, is on the Isla Vista street elevation and is centered between the two projecting gables. The entry door is set parallel to the sidewalk. A secondary entry, accessed via 8 concrete steps, fronts onto Thorn Street and is recessed under a low arch opening. Fenestration consists of a large fixed wood frame window on the southern gable of the main façade; and multi-lite casement and 2-over-2 double hung wood frame and sash windows throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1929 Water and Sewer Records

\* P7. Owner and Address:  
Hansen Christa A Trust  
3306 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5B

\* **Resource Name or #:** 3306 Isla Vista Drive, APN 476-152-14

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* **B5. Architectural Style:** Spanish Eclectic

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

The house was constructed in 1929 per water and sewer records. Modifications include the addition of window screens. The house is in good condition and retains a very good degree of integrity.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3314 Isla Vista Drive, APN 476-152-15

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3314 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-15-00; Islenair Unit #1, Block 2, Lot 15

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3314 Isla Vista Drive was built in 1927 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line; a stucco exterior; and a chimney at the south elevation. The main entry, accessed via five concrete steps, is set to the right under a roof projection supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a large arched tri-partite fixed wood frame window; 4-lite casement wood frame and sash windows; and 2-over-2 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:  
Miller David C and Debra L  
3314 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** 3314 Isla Vista Drive, APN 476-152-15

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential

B4. Present Use: SF Residential

\* **B5. Architectural Style:** Spanish Eclectic

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

The house was constructed in 1927 per water and sewer records. Modifications include the replacement of the clay tile roof with a new clay tile roof. The house is in good condition and retains a good degree of integrity.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

A detached garage is located at the rear.

B9a. Architect: Unknown

b. Builder: WJ Touhey

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3315 Isla Vista Drive, APN 476-160-20

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3315 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-20-00; Islenair Unit #1, Block 3, Lot 22

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3315 Isla Vista Drive was built in 1946 in the Minimal Traditional style and features a side gable roof with composition shingles; a slight eave overhang with rafter tails; and a textured stucco exterior. The entry, accessed via one concrete step, is set just to the left under a roof projection supported by paired square wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows and one vinyl slider window. The garage is attached to the house and set forward a few feet from the entry façade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:  
Tadesse Solomon & Benzuneh Yeshe  
3315 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3315 Isla Vista Drive, APN 476-160-20

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the use of textured stucco; the replacement of one original wood frame window with a vinyl window; and the replacement of the original wood garage door with a roll-up aluminum door. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Cummins Brothers

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3321 Isla Vista Drive, APN 476-152-15

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3321 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-15-00; Islenair Unit #1, Block 3, Lot 21

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3315 Isla Vista Drive was built in 1946 in the Minimal Traditional style and features a side gable roof with composition shingles; a slight eave overhang with rafter tails; and a textured stucco exterior. The entry, accessed via two concrete steps, is set just to the left under a roof projection supported by paired square wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows. The garage is attached to the house and is flush with the adjacent facade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:

Marquina Enrique & Silvina  
3321 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** 3321 Isla Vista Drive, APN 476-152-15

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential

B4. Present Use: SF Residential

\* **B5. Architectural Style:** Minimal Traditional

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the use of textured stucco. The house is in good condition and retains a good to fair degree of integrity.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:** \_\_\_\_\_

B9a. Architect: Unknown

b. Builder: Cummins Brothers

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks: \_\_\_\_\_

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3330 Isla Vista Drive, APN 476-152-17

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3330 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-17-00; Islenair Unit #1, Block 2, Lot 17

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3330 Isla Vista Drive was built in 1948 in the Minimal Traditional style and features a hipped roof with composition shingles; a slight eave overhang; and a stucco exterior. The entry, accessed via four concrete steps, is set just to the left of the front bay under a roof projection supported by square wood posts in singles and pairs. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1948 Water and Sewer Records

\* P7. Owner and Address:

Ganem Lisa M  
3330 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** 3330 Isla Vista Drive, APN 476-152-17

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* **B5. Architectural Style:** Minimal Traditional

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

The house was constructed in 1948 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the use of window screens. The house is in good condition and retains a good to fair degree of integrity.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3338 Isla Vista Drive, APN 476-152-18

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3338 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-18-00; Islenair Unit #1, Block 2, Lot 18

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3338 Isla Vista Drive was built in 1931 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line; a textured stucco exterior; and a chimney at the east elevation. The main entry, accessed via two concrete steps, is set just left of center, with the entry door parallel to the sidewalk. Fenestration consists of a large aluminum frame picture window. The attached garage is flush with the main façade and features a dark brown aluminum roll-up door. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1931 Water and Sewer Records

\* P7. Owner and Address:

Osborn Teem  
3338 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3338 Isla Vista Drive, APN 476-152-18

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1931 per water and sewer records. Modifications include the replacement of the clay tile roof with a new clay tile roof; the use of textured stucco; the replacement of the wood frame picture window with an aluminum frame picture window; the replacement of the original garage door with an aluminum roll-up door; and the addition of wrought iron security bars. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References: \_\_\_\_\_

Refer to District Bibliography for References Used

B13. Remarks: \_\_\_\_\_

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3344 Isla Vista Drive, APN 476-152-19

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3344 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-19-00; Islenair Unit #1, Block 2, Lot 19

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3344 Isla Vista Drive was built in 1936 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and two projecting bays that include a front gable bay to the north and a hexagonal bay to the south; clay pipe vents and drains; a textured stucco exterior; and a chimney at the north elevation. The main entry, accessed via four concrete steps, is roughly centered between the two bays under a roof projection supported by square wood timbers. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a large single pane fixed wood frame window in the gable bay; 1-over-1 double hung aluminum frame and sash windows in the hexagonal bay; and aluminum frame and sash slider windows at the porch. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:  
Pham Hung V Living Trust  
3344 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3344 Isla Vista Drive, APN 476-152-19

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1936 per water and sewer records. Modifications include the use of textured stucco and the replacement of the original wood frame windows with aluminum windows, one of which appears to be in a new or altered opening. The house is in good to fair condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: RR West

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego  
Period of Significance 1926-1952 Property Type Residential Applicable Criteria F  
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3345 Isla Vista Drive, APN 476-160-17

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3345 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-17-00; Islenair Unit #1, Block 3, Lot 18

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3345 Isla Vista Drive was built in 1945 in the Minimal Traditional style and features a hipped roof with composition shingles and clay tile ridges; a slight eave overhang; and a textured stucco exterior. The entry, accessed via three new stone steps, is set just to the right of the front bay under a roof projection which used to be supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 4-over-4 double hung wood frame and sash windows flanked by decorative wood shutters. The entry stoop/porch was recently enlarged across the front of the house. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1945 Water and Sewer Records

\* P7. Owner and Address:

Montagne Jean-Pierre SMJT Mills  
3345 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3345 Isla Vista Drive, APN 476-160-17

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1945 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the removal of the porch post; and the recent enlargement of the front stoop/porch. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Severin Construction Co

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3404 Isla Vista Drive, APN 476-152-20

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3404 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-20-00; Islenair Unit #1, Block 2, Lot 20

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3404 Isla Vista Drive was built in 1936 in the Spanish Eclectic style and features a flat roof and parapet with a small clay tile shed roof above the entry and adjacent projecting bay; terra cotta block vents and drains; a textured stucco exterior; and a chimney at the north elevation. The main entry, accessed via three concrete steps, is roughly centered on the façade and set under the shed roof projection which is supported by stucco brackets. The entry door is set parallel to the sidewalk. Fenestration consists of a large single pane fixed and 1-over-1 double hung aluminum frame and sash windows. Wrought iron security bars have been added to the doors and windows and a 3-foot high chain link fence surrounds the property. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Avina Beatrice Trust  
3404 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3404 Isla Vista Drive, APN 476-152-20

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the clay tile roof with new clay tile; the use of textured stucco; the replacement of the original wood frame windows with aluminum windows; the addition of wrought iron security bars; and the addition of chain link fencing. The house is in good to fair condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3405 Isla Vista Drive, APN 476-160-16

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3405 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-160-16-00; Islenair Unit #1, Block 3, Lot 17

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3405 Isla Vista Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a front-gable bay; clay tile roof vents and drains; a textured stucco exterior; and a chimney at the south elevation. The entry, accessed via three concrete steps, is roughly centered on the façade to the right of the gable and, recessed under an arch opening with a clay tile roof. The entry door is set parallel to the sidewalk. Fenestration consists of single pane fixed wood frame windows and 1-over-1 double hung vinyl frame and sash windows throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1935 Water and Sewer Records

\* P7. Owner and Address:

Isbell Family Trust  
3405 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3405 Isla Vista Drive, APN 476-160-16

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1935 per water and sewer records. Modifications include the replacement of the clay tile roof with new clay tile; the use of textured stucco; the replacement of some original wood frame windows with vinyl windows; and the use of window screens. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3410 Isla Vista Drive, APN 476-152-21

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3410 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-21-00; Islenair Unit #1, Block 2, Lot 21

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3410 Isla Vista Drive was built in 1937 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a front-gable bay; clay tile roof vents and drains; a stucco exterior; and a chimney at the north elevation. The entry, accessed via two concrete steps, is set just to the left of the gable bay under a roof projection supported by wood posts. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a 3-pane fixed wood frame window in the gable bay and 2-over-2 double hung wood frame and sash windows throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:  
Alley Gail C Jr Living Trust  
4502 Aragon Drive  
San Diego CA 92115

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3410 Isla Vista Drive, APN 476-152-21

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the replacement of the clay tile roof with new clay tile; the use of textured stucco; the replacement of some original wood frame windows with vinyl windows; and the use of window screens. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3420 Isla Vista Drive, APN 476-152-22

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3420 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-22-00; Islenair Unit #1, Block 2, Lot 22

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3420 Isla Vista Drive was built in 1950 in the Ranch style and features a hipped roof with composition shingles; a slight eave overhang and soffit; and a wood shingle exterior. The entry, accessed via four concrete steps, is set to the left, with the entry door perpendicular to the sidewalk. Fenestration consists of single pane fixed and multi-lite wood frame and sash windows in varying sized. Wrought iron security bars have been added. A low brick retaining wall is at the property line. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1950 Water and Sewer Records

\* P7. Owner and Address:

Huynh Thuy Bich  
3420 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3420 Isla Vista Drive, APN 476-152-22

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1950 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the use of wrought iron security bars. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3421 Isla Vista Drive, APN 476-160-14

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3421 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-160-14-00; Islenair Unit #1, Block 3, Lot 15

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3421 Isla Vista Drive was built in 1937 in the Minimal Traditional style and features a hipped roof with composition shingles and clay tile ridges; a slight eave overhang and exposed rafter tails; and a stucco exterior. The entry, accessed via three concrete steps, is set just to the right of the front bay under a newer roof projection supported by stucco arches. The entry door is set parallel to the sidewalk. Fenestration consists of 1-over-1 double hung wood frame and sash windows and a single pane fixed wood frame window with two aluminum jalousie windows underneath in the gable bay. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:

Fernandez Pablo  
3421 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** 3421 Isla Vista Drive, APN 476-160-14

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* **B5. Architectural Style:** Minimal Traditional

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the enlargement of the front porch cover; and the addition of the aluminum jalousie windows. The house is in good condition and retains a fair degree of integrity.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: DH Storms

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3427 Isla Vista Drive, APN 476-160-13

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3427 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-160-13-00; Islenair Unit #1, Block 3, Lot 14

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3427 Isla Vista Drive was built in 1937 in the Minimal Traditional style with Ranch elements and features a "U" shaped floor plan; a cross gable roof with composition shingles; a slight eave overhang and exposed rafter tails; vertical wood siding in the gable end; and a wood clapboard exterior. The entry, accessed via two concrete steps, is centered on the façade between the two projecting gable bays under a roof projection supported by wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of 1-over-1 double hung wood frame and sash windows. Aluminum awnings have been added above some windows. The house was undergoing some repair work to the plumbing at the time of the survey. It appears that the impacted area will likely be replaced and restored. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:

Isicson Robin L  
3427 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3427 Isla Vista Drive, APN 476-160-13

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the addition of aluminum awnings. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Stanley Nash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3428 Isla Vista Drive, APN 476-152-23

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3428 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-23-00; Islenair Unit #1, Block 2, Lot 23

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3428 Isla Vista Drive was built in 1928 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and two projecting front-gable bays; clay tile roof vents and drains; a stucco exterior; and a chimney at the north elevation. The entry, accessed via eight concrete steps, is roughly centered on the façade between the gable bays. The entry door is set parallel to the sidewalk. The original entry porch was infilled with 50 square feet of habitable space. Fenestration consists of single-pane fixed wood frame windows in the gable bays and 1-over-1 double hung aluminum frame and sash windows flanking the entry door. Aluminum awnings have been added above the windows. A porte cochere was constructed on the south side of the house at an unknown date. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:

Ocampo Maria c NSNS50 Cordova  
3428 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3428 Isla Vista Drive, APN 476-152-23

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1928 per water and sewer records. Modifications include the replacement of the clay tile roof with new clay tile; the infill of the original porch in 1980 which added 50 square feet of habitable space to the house; the addition of aluminum awnings; and the construction of a porte cochere. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3435 Isla Vista Drive, APN 476-160-12

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3435 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-12-00; Islenair Unit #1, Block 3, Lot 13

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3435 Isla Vista Drive was built in 1936 in the Minimal Traditional style with Ranch elements and features a "U" shaped floor plan; a cross gable roof with fiberglass shingles; a slight eave overhang; and a stucco and board and groove exterior. The entry is located in a courtyard between the two projecting gable bays created by the house and the garage. The entry door is set parallel to the sidewalk. Fenestration consists of 1-over-1 double hung aluminum frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:  
Churley Roger D and Judy M  
3435 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3435 Isla Vista Drive, APN 476-160-12

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the replacement of the roof with a new fiberglass roof and the replacement of the original wood frame windows with aluminum frame windows. The garage may have been an early addition. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3440 Isla Vista Drive, APN 476-152-24

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3440 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-24-00; Islenair Unit #1, Block 2, Lot 24

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3440 Isla Vista Drive was built in 1936 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and two projecting front-gable bays; slight eave overhang with exposed rafter tails; clay tile roof vents and drains; a textured stucco exterior; and a chimney at the east elevation. The entry, accessed via three concrete steps, is set to the left of the façade adjacent to the chimney. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-1 double hung wood frame windows with decorative wood shutters. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Lewis Keith  
3440 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3440 Isla Vista Drive, APN 476-152-24

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1936 per water and sewer records. Modifications include the use of textured stucco and the addition of window screens. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3443 Isla Vista Drive, APN 476-160-11

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3443 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-11-00; Islenair Unit #1, Block 3, Lot 12

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3443 Isla Vista Drive was built in 1928 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a projecting front-gable bay; clipped eaves; clay tile roof vents and drains; a stucco exterior; and a chimney at the south elevation. The entry, accessed via two concrete steps, is set to the right of the bay under a roof projection supported by a wrought iron post. The entry door is set parallel to the sidewalk. Fenestration consists of single pane fixed and louvered aluminum windows. An aluminum awning has been added above a side window. A 3-foot high stucco and terra cotta block wall is located at the property line. Landscaping obscures the house. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:

Sierra Miguel & Barnes Maria  
3443 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3443 Isla Vista Drive, APN 476-160-11

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the clay tile roof with a new clay tile roof; the replacement of the original wood frame windows with aluminum frame windows; the replacement of the wood porch post with a wrought iron post; the addition of an aluminum awning; the addition of a stucco and terra cotta block wall; and landscape overgrowth. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Charles Tifal

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3449 Isla Vista Drive, APN 476-160-10

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3449 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-160-10-00 Islenair Unit #1, Block 3, Lot 11

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3449 Isla Vista Drive was built in 1940 in the Minimal Traditional style and features a hipped roof with composition shingles; a slight eave overhang; and a horizontal wood exterior. The entry, accessed via two concrete steps, is roughly centered on the façade under a roof projection supported by a wood post. The entry door is set parallel to the sidewalk. Fenestration consists of 1-over-1 double hung vinyl frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1940 Water and Sewer Records

\* P7. Owner and Address:

Stear Pamela J  
3449 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3449 Isla Vista Drive, APN 476-160-10

B1. Historic Name: \_\_\_\_\_

B2. Common Name \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1940 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the replacement of the original 2-over-2 wood frame windows with 1-over-1 vinyl frame windows. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: EC Ybarrando

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3455 Isla Vista Drive, APN 476-160-09

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3455 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-160-09; Islenair Unit #1, Block 3, Lot 10

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3455 Isla Vista Drive was built in 1946 in the Minimal Traditional style and features a side gable roof with composition shingles; a slight eave overhang; and a stucco exterior with brick veneer beneath a picture window. The entry, accessed via one concrete step, is roughly centered on the façade under a roof projection supported by decorative wrought iron posts. The entry door is set parallel to the sidewalk. Fenestration consists of aluminum frame fixed and slider windows. The single-car garage is attached to the house and is flush with the main façade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:  
Nelius Edward E and Georgia K  
3455 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3455 Isla Vista Drive, APN 476-160-09

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the replacement of the original wood frame windows with aluminum frame windows; the use of brick veneer; the replacement of the wood porch posts with wrought iron; and the replacement of the original garage door with a new wood door. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Cummins Brothers Co

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3472 Isla Vista Drive, APN 476-152-01

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3472 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-150-01-00; Islenair Unit #1, Block 2, Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3472 Isla Vista Drive was built in 1937 in the Spanish Eclectic style and features a cross gable clay tile roof with a front-gable bay; slight eave overhang with exposed rafter tails; clay tile roof vents and drains; and a stucco exterior. The entry is set to the right of the bay under a roof projection supported by wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of 8-lite fixed, 4-lite casement and 4-over-4 double hung wood frame and sash windows. A two car garage is connected to the house and may have been added. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:  
Lynch, Michael P and Catherine C  
3472 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3472 Isla Vista Drive, APN 476-152-01

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the replacement of the clay tile roof with a new clay tile roof and the addition of the two car garage connected to the house. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References: \_\_\_\_\_

Refer to District Bibliography for References Used

B13. Remarks: \_\_\_\_\_

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3473 Isla Vista Drive, APN 476-160-07

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3473 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-07-00 Islenair Unit #1, Block 3, Lot 8

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3473 Isla Vista Drive was built in 1929 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and two projecting front-gable bays; clipped eaves; clay tile roof vents and drains; and a textured stucco exterior. The entry, accessed via one concrete step, is centered on the façade between the two projecting gable bays under a roof projection supported by wood timbers. The entry door is set parallel to the sidewalk. Fenestration consists of single pane fixed wood frame windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1929 Water and Sewer Records

\* P7. Owner and Address:

Gemigniani Staci M  
3473 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3473 Isla Vista Drive, APN 476-160-07

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1929 per water and sewer records. Modifications include the replacement of the clay tile roof with a new clay tile roof; the use of textured stucco; and the addition of a wrought iron security gate at the entry door. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3505 Isla Vista Drive, APN 476-160-06

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3505 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-06-00; Islenair Unit #1, Block 3, Lots 6 and 7

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3505 Isla Vista Drive was built in 1946 in the Minimal Traditional style and features a multi-hipped roof with composition shingles and clay tile ridges; a slight eave overhang; and a stucco exterior. The entry, accessed via two concrete steps, is set to the right of the bay under a roof projection supported by stacked concrete blocks. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 1-over-1 vinyl frame and sash windows. The two-car garage is detached from the house and is set forward of the main façade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:

Englehart Richard T  
3505 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3505 Isla Vista Drive, APN 476-160-06

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the replacement of the original 2-over-2 wood frame windows with 1-over-1 vinyl frame windows; and the replacement of the wood porch post with cement block. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3511 Isla Vista Drive, APN 476-160-05

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3511 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-05-00; Islenair Unit #1, Block 3, Lot 5

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3511 Isla Vista Drive was built in 1928 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a projecting front-gable bay; clipped eaves; clay tile roof vents and drains; and a stucco exterior. The entry is set to the right of the bay under a stucco arch projection with a clay tile roof. The entry door is set parallel to the sidewalk. Fenestration consists of 10-lite (paired 5-lite) wood frame casement windows (formerly 10-lite fixed wood frame windows, replaced in the original opening) and double hung wood frame and sash windows. The single-car garage is connected to the house in the form of the projecting gable. A 3-foot high stucco wall with stucco posts and wrought iron was recently added at the property line. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1928 Water and Sewer Records

\* P7. Owner and Address:

Weiss Rocio  
3511 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3511 Isla Vista Drive, APN 476-160-05

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1928 per water and sewer records. Modifications include the replacement of the clay tile roof with a new clay tile roof; the replacement of the 10-lite fixed wood frame windows with paired 5-lite (10-lite total) casement wood frame windows in the original openings; the addition of a stucco garden wall; and a contemporary addition to the rear of the house, not readily visible from the street. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: OG Dobbs

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References: \_\_\_\_\_

Refer to District Bibliography for References Used

B13. Remarks: \_\_\_\_\_

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3518 Isla Vista Drive, APN 476-151-33

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3518 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-33-00; Islenair Unit #1, Block 1, Lot 31

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3518 Isla Vista Drive was built in 1948 in the Ranch style and features a multi-hipped roof with composition shingles and two projecting bays; a slight eave overhang; and a stucco exterior with asbestos shingle and brick veneer accents. The entry, accessed via three concrete steps, is set in the left bay under a roof projection supported by a wood post. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 double hung wood frame and sash windows. The single far garage, which was originally located in the westernmost bay, has been converted to habitable space. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1948 Water and Sewer Records

\* P7. Owner and Address:

Enyeart Family Trust  
3518 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3518 Isla Vista Drive, APN 476-151-33

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; and the conversion of the garage to habitable space. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3533 Isla Vista Drive, APN 476-160-02

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3533 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-160-02-00; Islenair Unit #1, Block 3, Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3533 Isla Vista Drive was built in 1946 in the Minimal Traditional style and features a side gable roof with composition shingles; a slight eave overhang with exposed rafter tails; and a stucco exterior. The entry, accessed via two concrete steps, is set to the left of the bay under a roof projection supported by wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of 2-over-2 wood frame and sash windows. The single far garage is attached to the house and is flush with the main façade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:

Folk Thomas A  
3533 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3533 Isla Vista Drive, APN 476-160-02

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and the replacement of the original garage door with a roll-up aluminum door. The house is in good condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Cummins Brothers Co

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3534 Isla Vista Drive, APN 476-151-01

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3534 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-01-00; Islenair Unit #1, Block 1, Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The multi-family residence at 3534 Isla Vista Drive was built in 1952 on a corner lot in the Minimal Traditional style and features a multi-hipped roof with composition shingles with clay tile ridges; a slight eave overhang with exposed rafter tails; and a textured stucco exterior. The entries are located under a roof projection supported by wrought iron posts. Fenestration consists of single pane fixed, 4-lite fixed, and paired 4-lite casement wood frame and sash windows. A 3-foot high chain link fence is located at the property line. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP3 Multifamily property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1952 SD County Building Record

\* P7. Owner and Address:  
Attia Janice E Trust  
4914 Art Street  
San Diego CA 92115

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3534 Isla Vista Drive, APN 476-151-01

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Multi-Family Residential B4. Present Use: Multi-Family Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The multi-family residence was constructed in 1952 per the San Diego County Building Record. Modifications include the replacement of the composition roof with a new composition roof; the use of textured stucco; the replacement of the original wood posts with wrought iron posts; and the addition of a chain link fence. The building is in good condition and retains a good to fair degree of integrity

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks: \_\_\_\_\_

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3541 Isla Vista Drive, APN 476-160-01

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3541 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-01-00; Islenair Unit #1, Block 3, Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The multi-family residence at 3541 Isla Vista Drive was built in 1951 on a corner lot in the Minimal Traditional style and features a multi-hipped roof with composition shingles with clay tile ridges; a slight eave overhang with exposed rafter tails; and a textured stucco exterior. The entries are located under a roof projection supported by wood posts. Fenestration consists of aluminum slider windows. A 4-5-foot high wrought iron fence is located at the property line. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP3 Multifamily property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1951 SD County Building Record

\* P7. Owner and Address:

Martinez Robert TR  
3509 Menlo Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: 3541 Isla Vista Drive, APN 476-160-01

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Multi-Family Residential B4. Present Use: Multi-Family Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The multi-family residence was constructed in 1951 per San Diego County Building Record. Modifications include the replacement of the composition roof with a new composition roof; the use of textured stucco; the replacement of the original single pane fixed, 4-lite fixed, and paired 4-lite casement wood frame and sash windows with aluminum slider windows; and the addition of a wrought iron fence. The building is in good to fair condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 4802 Thorn Street, APN 476-151-13

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 4802 Thorn Street City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-13-00; Islenair Unit #1, Block 2, Lot 13 and Islenair Unit #2, Block 5, Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 4802 Thorn Street was built in 1931 on a corner lot in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a projecting front-gable bay; clipped eaves with exposed rafter tails; clay tile roof vents and drains; and a stucco exterior. The entry, accessed via nine concrete steps, is set to the right of the bay on the Thorn Street elevation. The entry door is set parallel to the sidewalk. Fenestration consists of single pane arched wood frame windows and 2-over-1 double hung wood frame and sash windows. The two-car garage is connected to the house by a garden gate and is set back from the main facade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1931 Water and Sewer Records

\* P7. Owner and Address:

Alexander Deborah  
4802 Thorn Street  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5B

\* Resource Name or #: 4802 Thorn Street, APN 476-151-13

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1931 per water and sewer records. Modifications include the replacement of the clay tile roof with a new clay tile roof. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Dennstedt Construction Company

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 4827 Thorn Street, APN 476-242-15

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 4827 Thorn Street City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-242-15-00; Islenair Unit #2, Block 8, Lot 15

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 4827 Thorn Street was built in 1931 on a corner lot in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along portions of the parapet line; a projecting flat roof bay at the center of the Thorn Street elevation; a projecting hexagonal bay on the Isla Vista Drive elevation; clipped eaves with exposed rafter tails; clay tile roof vents and drains; and a stucco exterior. The entry, accessed via one concrete step, is set to the left of the bay on the Thorn Street elevation. The entry door is set perpendicularly to the sidewalk. A secondary entrance is located on the Isla Vista Drive elevation. Fenestration consists of a single pane arched wood frame window, 1-over-1 double hung, and paired 3-lite casement wood frame and sash windows.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1931 Water and Sewer Records

\* P7. Owner and Address:  
Vaccariello Mary E Trust  
4827 Thorn Street  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5B

\* Resource Name or #: 4827 Thorn Street, APN 476-242-15

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1931 per water and sewer records. The house is in very good condition and retains a very good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "BEN PEARCE 7-27" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01; Islenair Unit #1 Block 1, Lot 1).  
There are two stamps in front of this parcel. This is the western-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1927, identifies the name of a the contractor involved in the improvements for Islenair, Ben Pearce.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of the stamp

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "BEN PEARCE 7-27" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: Ben Pearce

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16; Islenair Unit #2 Block 8, Lot 1). There are three stamps in front of this parcel. This is the southwestern-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Drive.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego  
Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "WE ASH 7 1926" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16; Islenair Unit #2 Block 8, Lot 1). There are three stamps in front of this parcel. This is the center stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "WE ASH 7 1926" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "THORN ST" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3261 Belle Isle Drive (APN 476-242-16; Islenair Unit #2 Block 8, Lot 1). There are three stamps in front of this parcel. This is the eastern-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Thorn Street.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "THORN ST" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3518 Isla Vista (APN 476-151-33; Islenair Unit #1 Block 1, Lot 31).

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Drive.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "WE ASH 7 26" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15; Islenair Unit #2 Block 8, Lot 15). There are three stamps in front of this parcel. This is the center stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:

City of San Diego

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff

202 C Street, MS 4A

San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "WE ASH 7 26" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego  
Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "THORN ST" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15; Islenair Unit #2 Block 8, Lot 15). There are three stamps in front of this parcel. This is the western-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Thorn Street.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1927 per the date of improvement

\* P7. Owner and Address:

City of San Diego

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff

202 C Street, MS 4A

San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "THORN ST" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19; Islenair Unit #1 Block 1,  
Lot 7 and Unit #2 Block 4, Lot 2). There are three stamps in front of this parcel. This is the northeastern-most  
stamp

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Drive.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13; Islenair Unit #1 Block 2, Lot 13 and Unit #2 Block 15, Lot 1). There are three stamps in front of this parcel. This is the northwestern-most stamp

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Drive.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** "BELLE ISLE DRIVE" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* **B5. Architectural Style:** Sidewalk Stamp

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: n/a b. Builder: W.E. Ash

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "WE ASH 7 1926" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13; Islenair Unit #1 Block 2, Lot 13 and Unit #2 Block 15, Lot 1). There are three stamps in front of this parcel. This is the center stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:

City of San Diego

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff

202 C Street, MS 4A

San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "WE ASH 7 1926" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "WE ASH 7 1926" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14; Islenair Unit #1 Block 2, Lot 14  
and Islenair Unit #2 Block 5, Lot 2). There are three stamps in front of this parcel. This is the center stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:

City of San Diego

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff

202 C Street, MS 4A

San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** "WE ASH 7 1926" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* **B5. Architectural Style:** Sidewalk Stamp

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: n/a b. Builder: W.E. Ash

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "ISLA VISTA DRIVE" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01); Islenair Unit #1 Block 3, Lot 1).  
There are three stamps in front of this parcel. This is the eastern-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Isla Vista Drive.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** "ISLA VISTA DRIVE" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* **B5. Architectural Style:** Sidewalk Stamp

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1927.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: n/a b. Builder: W.E. Ash

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "BEN PEARCE 7-27" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01; Islenair Unit #1 Block 3, Lot 1).  
There are three stamps in front of this parcel. This is the western-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1927, identifies the name of a the contractor involved in the improvements for Islenair, Ben Pearce.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of the stamp

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** "BEN PEARCE 7-27" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* **B5. Architectural Style:** Sidewalk Stamp

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1927.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: n/a b. Builder: Ben Pearce

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "W.E. ASH 6 26" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

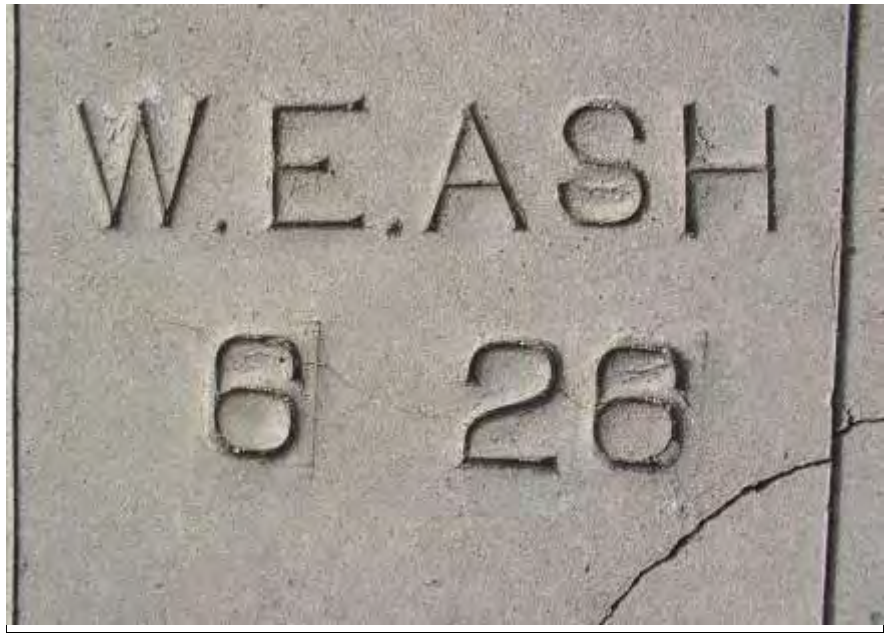
\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3541 Isla Vista (APN 476-160-01; Islenair Unit #1 Block 3, Lot 1).  
There are three stamps in front of this parcel. This is the center stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "W.E. ASH 6 26" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "ISLA VISTA DR" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14); Islenair Unit #1 Block 2, Lot 14  
and Islenair Unit #2 Block 5, Lot 2). There are three stamps in front of this parcel. This is the northeastern-  
most stamp

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Isla Vista Drive.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** "ISLA VISTA DR" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* **B5. Architectural Style:** Sidewalk Stamp

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: n/a b. Builder: W.E. Ash

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "WE ASH 5-26" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

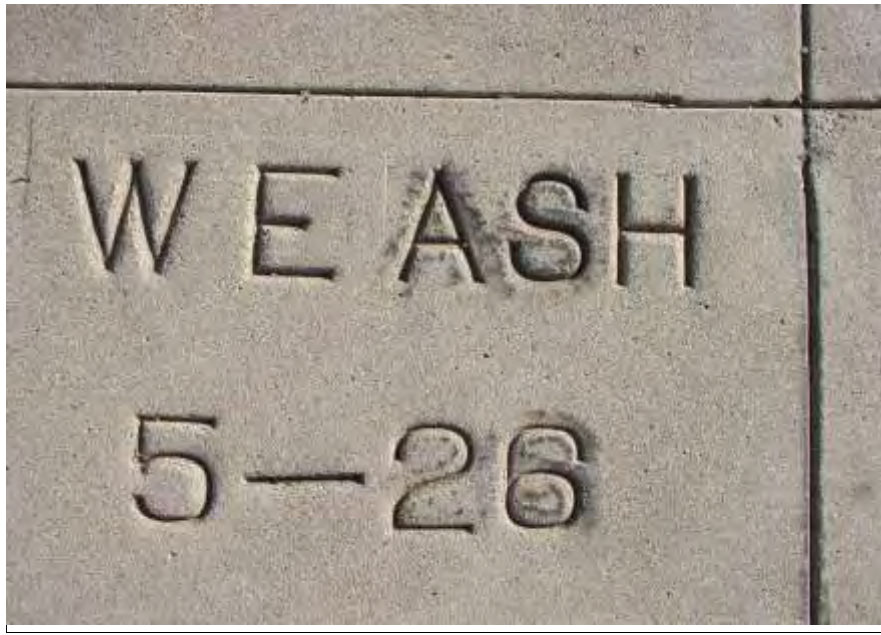
\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3472 Isla Vista (APN 476-150-01); Islenair Unit #1 Block 2, Lot 1).

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:

City of San Diego

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff

202 C Street, MS 4A

San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "WE ASH 5-26" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "THORNE ST" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 4802 Thorn Street (APN 476-152-13); Islenair Unit #1 Block 2, Lot 13 and Unit #2 Block 15, Lot 1). There are three stamps in front of this parcel. This is the eastern-most stamp

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Thorn Street.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "THORNE ST" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "THORN ST" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19); Islenair Unit #1 Block 1,  
Lot 7 and Unit #2 Block 4, Lot 2). There are three stamps in front of this parcel. This is the western-most  
stamp

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Thorn Street.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "THORN ST" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "BELLE ISLE DRIVE" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15); Islenair Unit #2 Block 7,  
Lot 16). There are three stamps in front of this parcel. This is the southeastern-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Belle Isle Drive.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** "BELLE ISLE DRIVE" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* **B5. Architectural Style:** Sidewalk Stamp

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: n/a b. Builder: W.E. Ash

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5D1

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "WE ASH 7-1926" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15); Islenair Unit #2 Block 7,  
Lot 16). There are three stamps in front of this parcel. This is the center stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "WE ASH 7-1926" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "THORN ST" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3262 Belle Isle Drive (APN 476-241-15); Islenair Unit #2 Block 7,  
Lot 16). There are three stamps in front of this parcel. This is the western-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Thorn Street.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "THORN ST" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "BEN PEARCE 7-27" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

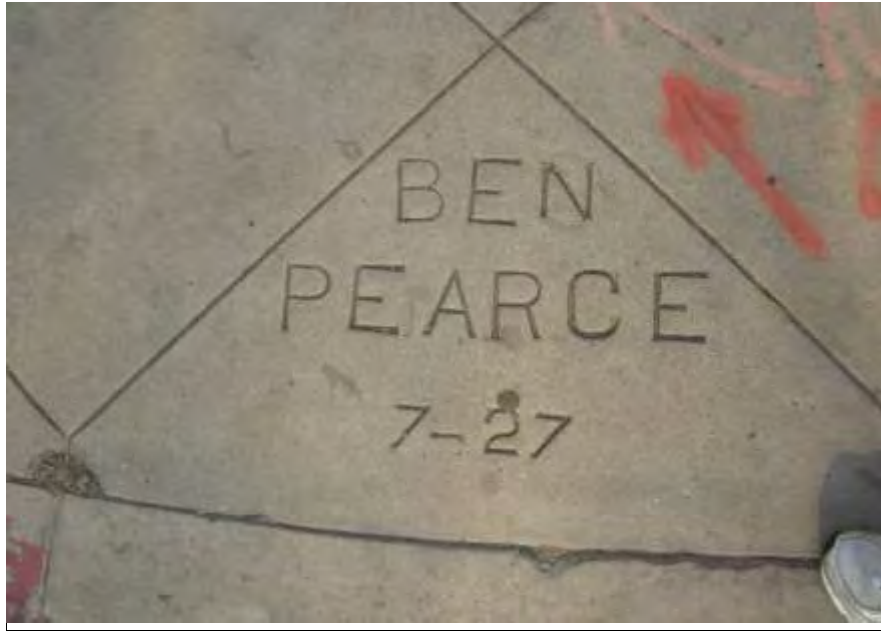
\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 4750 Thorn Street (APN 476-151-16); Islenair Unit #1 Block 1, Lot 16).

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, Ben Pearce.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* **Resource Name or #:** "BEN PEARCE 7-27" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* **B5. Architectural Style:** Sidewalk Stamp

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: n/a b. Builder: Ben Pearce

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "WE ASH 7-1926" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
Public Right-of-Way, located in front of 3304 Belle Isle Drive (APN 476-151-19; Islenair Unit #1 Block 1,  
Lot 7 and Unit #2 Block 4, Lot 2). There are three stamps in front of this parcel. This is the center stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1926, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1926 per date of the stamp

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "WE ASH 7-1926" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "THORN ST" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3306 Isla Vista (APN 476-152-14); Islenair Unit #1 Block 2, Lot 14  
and Islenair Unit #2 Block 5, Lot 2). There are three stamps in front of this parcel. This is the western-most  
stamp

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Thorn Street.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:  
City of San Diego

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "THORN ST" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego  
Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "W.E. ASH 5-29" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address \_\_\_\_\_ City San Diego Zip 92105

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 3534 Isla Vista (APN 476-151-01); Islenair Unit #1 Block 1, Lot 1).  
There are two stamps in front of this parcel. This is the eastern-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dated 1929, identifies the name of a contractor involved in the improvements for Islenair, W.E. Ash.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1929 per date of the stamp

\* P7. Owner and Address:

City of San Diego

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff

202 C Street, MS 4A

San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "W.E. ASH 5-29" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Sidewalk stamp dating to the installation of improvements in Islenair in 1929.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT  
1987  
CITY OF SAN DIEGO

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: "ISLA VISTA DR" Sidewalk Stamp

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address \_\_\_\_\_ City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
Public Right-of-Way, located in front of 4827 Thorn Street (APN 476-242-15); Islenair Unit #2 Block 8, Lot 15). There are three stamps in front of this parcel. This is the southeastern-most stamp.

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
This sidewalk stamp, dating from the installation of improvements, identifies the name of the street, Isla Vista Drive.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the stamp on the public right-of-way

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1927 per date of improvements

\* P7. Owner and Address:

City of San Diego

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff

202 C Street, MS 4A

San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D1

\* Resource Name or #: "ISLA VISTA DR" Sidewalk Stamp

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Sidewalk Stamp

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Sidewalk stamp dating to the installation of improvements in Islenair in 1926/27.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: n/a b. Builder: W.E. Ash

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego  
Period of Significance 1926-1952 Property Type Sidewalk Stamp Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# *Non-Contributing Resources*

## Section 9

*Islenair Historic District  
Designated April 26, 2007*



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# Islenair

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## Non-Contributing Resources

Non-contributing resources are those resources which either were built outside of the period of significance and are therefore not eligible for designation as part of the district; or were built within the period of significance but have been altered to such an extent that they no longer retain sufficient integrity to convey the significance of the district.

It may be possible for some non-contributing properties to become eligible for designation as contributing resources if the modifications impairing their integrity were reversed through a restoration plan prior to designation. Such a restoration plan and designation would be at the discretion of the Board.

The following resources were identified as non-contributing resources by the Board at the time the district was designated are not be eligible for the direct benefits of designation, which includes the Mills Act agreement and property tax reduction. Non-contributing resources are only be required to comply with the U.S. Secretary of the Interior's Standards and any applicable development/design guidelines as they relate to appropriate redevelopment of non-contributing resources.

HRB Site #	Street #	Street Name	APN	Date	Style	Status Code	Integrity
N/A	3212	Belle Isle Drive	476-241-09	1936	Minimal Traditional	6L	Fair to Poor
N/A	3230	Belle Isle Drive	476-241-11	1938	Minimal Traditional	6L	Fair to Poor
N/A	3236	Belle Isle Drive	476-241-12	1937	Minimal Traditional	6Z	Poor
N/A	3314	Belle Isle Drive	476-151-20	1938	Minimal Traditional	6L	Fair
N/A	3320	Belle Isle Drive	476-151-21	1930	Spanish Eclectic	6L	Poor
N/A	3333	Belle Isle Drive	476-152-09	1936	Minimal Traditional	6Z	Poor
N/A	3404	Belle Isle Drive	476-151-25	1939	Minimal Traditional	6L	Fair to Poor
N/A	3434	Belle Isle Drive	476-151-29	1936	Spanish Eclectic	6L	Fair to Poor
N/A	3203	Euclid Avenue	476-241-07	1958	Contemporary	6Z	Good to Fair
N/A	3211	Euclid Avenue	476-241-06	1960	Contemporary	6Z	Good to Fair
N/A	3237	Euclid Avenue	476-241-04	1968	Utilitarian	6Z	Fair
N/A	3243	Euclid Avenue	476-241-03	1958	Utilitarian	6Z	Fair
N/A	3255	Euclid Avenue	476-241-02	1958	Contemporary	6Z	Good to Fair



<b>HRB Site #</b>	<b>Street #</b>	<b>Street Name</b>	<b>APN</b>	<b>Date</b>	<b>Style</b>	<b>Status Code</b>	<b>Integrity</b>
N/A	3275	Euclid Avenue	476-241-01	1979	Utilitarian	6Z	Fair
N/A	3313	Euclid Avenue	476-151-15	1951	Contemporary	6Z	Poor
N/A	3427	Euclid Avenue	476-151-07	1938	Minimal Traditional	6L	Fair to Poor
N/A	3435	Euclid Avenue	476-151-06	1946	Contemporary	6L	Fair to Poor
N/A	3449	Euclid Avenue	476-151-04	1952	Minimal Traditional	6Z	Fair to Poor
N/A	3457	Euclid Avenue	476-151-03	1973	Utilitarian	6Z	Good
N/A	3461	Euclid Avenue	476-151-02	1948	Utilitarian	6Z	Poor
N/A		Euclid Avenue	476-241-05	N/A	vacant lot	6Z	n/a
N/A	3203	Isla Vista Drive	476-242-09	1951	Minimal Traditional	6L	Fair to Poor
N/A	3232	Isla Vista Drive	476-242-13	1935	Minimal Traditional	6Z	Poor
N/A	3255	Isla Vista Drive	476-242-02	1947	Minimal Traditional	6Z	Poor
N/A	3324	Isla Vista Drive	476-152-16	1935	Spanish Eclectic	6L	Fair to Poor
N/A	3333	Isla Vista Drive	476-160-18	1950	Ranch	6Z	Poor
N/A	3411	Isla Vista Drive	476-160-15	1957	Ranch	6Z	Good
N/A	3467	Isla Vista Drive	476-160-08	1939	Minimal Traditional	6L	Fair to Poor
N/A	3517	Isla Vista Drive	476-160-04	1946	Minimal Traditional	6L	Fair to Poor
N/A	3525	Isla Vista Drive	476-160-03	1946	Minimal Traditional	6L	Fair to Poor
N/A	4750 4766 4768	Thorn Street	476-151-16	1958	Contemporary	6Z	Good to Fair
N/A	4769	Thorn Street	476-241-01	1939	Minimal Traditional	6Z	Poor

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3212 Belle Isle Drive, APN 476-241-09

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3212 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-241-09-00; Islenair Unit #2, Block 7 Lot 10

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3212 Belle Isle Drive was built in 1936 in the Minimal Traditional style and features a medium-pitch cross-gable roof with composition shingles; clipped eaves; a moderately textured stucco exterior and a chimney at the side. The gable ends feature clapboard siding with six triangular vents in a pyramid formation; and the base of the house is clad in brick veneer. The porch, which is covered by a roof projection supported by a large square stucco column with a simple capital, is set back and is accessed at the side via four concrete steps leading to an entry door set perpendicularly to the sidewalk. Fenestration consists of a 9-lite fixed vinyl window in the main bay, and 1-over-1 double hung vinyl windows throughout the rest of the house. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Arias Oswaldo  
3212 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3212 Belle Isle Drive, APN 476-241-09

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was built in 1936 per water and sewer records. Modifications include the use of moderately textured stucco, the replacement of the composition roof with a new composition roof, the replacement of the wood frame and sash windows with vinyl windows, and the likely replacement of the wood post porch support with a large stucco column. The house is in fair to good condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3230 Belle Isle Drive, APN 476-241-11

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3230 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-11-00; Islenair Unit #2 Block 7 Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3230 Belle Isle Drive was built in 1938 in the Minimal Traditional style with Art Moderne influences and features a medium-pitch hipped roof with composition shingles; slight eave overhang; and a heavily textured stucco exterior. The entry is accessed via two concrete steps which lead to the entry door. A curvilinear stucco projection cantilevers over the entry and the adjacent wall. Fenestration consists of 4-over-1 double hung vinyl frame and sash windows and a glass block element at the corner to the left of the entry. A round portal window has been filled in, but its location and size is still readily apparent. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1938 Water and Sewer Records

\* P7. Owner and Address:

Nunez Martha  
3230 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3230 Belle Isle Drive, APN 476-241-11

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1938 per water and sewer records. Modifications include the use of heavily textured stucco, the replacement of the composition roof with a new composition roof, the replacement of the wood frame and sash window with vinyl windows, and the round portal window, which was filled in. The house is in fair to good condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Dennstedt

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3236 Belle Isle Drive, APN 476-241-16

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3236 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-16-00; Islenair Unit #2 Block 7 Lot 13

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3236 Belle Isle was built in 1937 in the Minimal Traditional style and features multi-hipped roof with composition shingles; a slight eave overhang; exposed notched eaves; a moderately textured stucco exterior; and a chimney on the south side of the house. The entry is set on the southeast corner of the house and is accessed via four concrete steps with a decorative wrought iron handrail. Fenestration consists of a 15-lite fixed vinyl frame window, 8-lite vinyl casement windows under a 4-lite vinyl transom, 4-over-4 double hung vinyl windows, and 6-lite vinyl casement windows. Wrought iron security bars cover the doors and windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1937 Water and Sewer Records

\* P7. Owner and Address:

World Impact Inc  
1047 S 39th Street  
San Diego CA 92113

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Dept  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3236 Belle Isle Drive, APN 476-241-16

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1937 per water and sewer records. Modifications include the use of moderately textured stucco, which may have replaced clapboard siding, the replacement of the composition roof with a new composition roof, the replacement of the windows with vinyl windows, the use of wrought iron stair railing and security door, and the likely modification of the main façade. The house is in fair condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: CM Prebisius

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3314 Belle Isle Drive, APN 476-151-19

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3314 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-19-00; Islenair Unit #1 Block 1 Lot 18

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3314 Belle Isle Drive was constructed in 1938 in the Minimal Traditional style and features a hipped roof with composition shingles; and a moderately textured stucco exterior. The entry is accessed via three concrete steps, is set to the left under a roof projection supported on two 4x4 wood posts. Fenestration consists of 6-over-6 double hung, 18-lite fixed, and 4-lite fixed vinyl frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1938 Water and Sewer Records

\* P7. Owner and Address:  
Longworth Paul A and Martha I R  
3314 Belle Isle Drive  
San Diego, CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3314 Belle Isle Drive, APN 476-151-19

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1938 per water and sewer records. Modifications include the use of moderately textured stucco, the replacement of the composition roof with a new composition roof, and the use of vinyl windows. The house is in good condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: RR West

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3320 Belle Isle Drive, APN 476-152-21

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3320 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-21-00; Islenair Unit #1 Block 1 Lot 19

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3320 Belle Isle Drive was built in 1930 in the Spanish Eclectic style and features a flat roof with a shed clay tile roof at the parapet; clipped eaves; a smooth stucco exterior; and a chimney on the north elevation. The entry, accessed via three concrete steps, is set to the left and covered by a front-facing gable projection with arched openings on three sides (This element may have been added or modified). A 16-lite fixed vinyl window flanked by 8-lite vinyl windows replaced the original window and modified the size of the opening. The garage is set to the left of the entry, and the size of the opening appears to have been modified. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1930 Water and Sewer Records

\* P7. Owner and Address:

Blankenship Karal S  
3320 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3320 Belle Isle Drive, APN 476-152-21

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1930 per water and sewer records. Modifications include altering the size of the window openings, the use of vinyl windows, possible alteration of the entry, the use of a wrought iron security door, and modification of the garage opening. The house is in fair condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3333 Belle Isle Drive, APN 476-152-09

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3333 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-152-09-00; Islenair Unit #1 Block 2 Lot 9

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3333 Belle Isle Drive was built in 1936 in the Minimal Traditional style and features a medium pitch cross-gable roof; composition shingles; slight eave overhang; exposed rafter tails in the original portion of the house; a stucco exterior; and a chimney on the south elevation. The original house is front gabled with horizontal clapboard in the gable end. A dominant side gable element was added to the front of the house to form a "T" intersection. The gable peak of the original portion of the house is still evident at the ridgeline of the addition. The addition features vertical wood siding in the gable end and minimal eave overhang with no raftertails. The entry, accessed via seven concrete steps with a wrought iron railing, is located at the south end of the side gable addition and is set under the gable end supported on several groupings of wood posts with cross supports. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 6-over-6 double hung and 10-lite slider vinyl frame and sash windows. Green slatted metal awnings cover the windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Abare John E  
531 W J Street  
Chula Vista CA 91910

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego, CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3333 Belle Isle Drive, APN 476-152-09

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the addition of a side gable element with porch to the front of the house (likely an early modification), the replacement of the original wood windows with vinyl windows (likely in the original openings), and the addition of green metal awnings. The house is in good condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3404 Belle Isle Drive, APN 476-151-25

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3404 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-25-00; Islenair Unit #1 Block 1 Lot 23

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house located at 3404 Belle Isle Drive was built in 1939 in the Minimal Traditional style and features a multi-hipped roof; composition shingles; and a smooth stucco exterior. The house is "U" shaped with three bays: a dominant forward bay to the left which contains a two-car garage, a recessed central bay containing the entry accessed by three concrete steps, and a right bay set just forward of the central bay which contains a small round portal window, a 4-over-4 wood frame and sash window, and an 8-lite fixed wood frame window. An aluminum louvered window is set to the left of the entry door, which is parallel to the sidewalk. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1939 Water and Sewer Records

\* P7. Owner and Address:

Salerno Vincent A  
3404 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3404 Belle Isle Drive, APN 476-151-25

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1939 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, and the enclosure and expansion of the porch to ad 760 square feet of habitable space in 1965. The date of construction for the garage is unknown. The house is in fair condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: George McDermott

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3434 Belle Isle Drive, APN 476-151-29

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3434 Belle Isle Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-29-00; Islenair Unit #1 Block 1 Lot 27

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3434 Belle Isle Drive was built in 1936 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and a projecting front-gable bay; clay tile roof vents and drains; a moderately textured stucco exterior; and a chimney at the south elevation. The entry, accessed via four concrete steps, is set to the left under the shed roof projection supported by a square wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a tripartite window with a 16-lite fixed vinyl window flanked by 8-lite sliding vinyl windows, and sash windows at the porch and an 8-lite sliding vinyl window in the gable bay. All windows are framed with a raised stucco surround. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1936 Water and Sewer Records

\* P7. Owner and Address:

Thai Ngoc Tuyet TR  
3434 Belle Isle Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3434 Belle Isle Drive, APN 476-151-29

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1936 per water and sewer records. Modifications include the replacement of the clay-tile roof with a new clay tile roof, the use of moderately textured stucco, the extension of the shed roof over the entry porch, the replacement of the original windows with vinyl windows in modified openings, the addition of stucco surrounds around the windows, and the removal of the stucco grill from the small window to the right of the entry. These modifications occurred between 2002 and 2006. The house is in good condition and retains a fair to

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3203 Euclid Avenue, 476-151-32

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3203 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-32-00; Islenair Unit #2 Block 7 Lot 8

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The two-story multi-family residence at 3203 Euclid Avenue was built in 1958 in a contemporary style and features a flat roof with a slight eave and cement block and stucco walls. The entries to the units are on the south façade and are accessed via stairs with wrought iron railings. Fenestration consists of single pane sliding aluminum frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP3 Multifamily property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1958 SD County Building Record

\* P7. Owner and Address:  
Banuelos Maria T Revocable Trust  
5417 Alpine Blvd  
Alpine CA 91901

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3203 Euclid Avenue, 476-151-32

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Multi-Family Residential

B4. Present Use: Multi-Family Residential

\* B5. Architectural Style: Contemporary

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The two-story multi-family residence was constructed in 1958 per the San Diego County Building Record. Modifications include the replacement of the composition roof with a new composition roof and the replacement of the original windows with aluminum frame and sash windows. The building is in good to fair condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT  
INTERNATIONAL & MULTICULTURAL



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3211 Euclid Avenue, 476-241-06

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3211 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-241-06-00; Islenair Unit #2, Block 7, Lot 7

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The two-story multi-family residence at 3211 Euclid Avenue was built in 1960 in a contemporary style and features a flat roof with a slight eave and stucco walls with horizontal wood accents. The entries to the units are on the south façade and are accessed via stairs with wrought iron railings. Fenestration consists of single pane sliding aluminum frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP3 Multifamily property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1960 SD County Building Record

\* P7. Owner and Address:  
Tran Family 2000 Trust  
PO Box 262093  
San Diego CA 92196

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3211 Euclid Avenue, 476-241-06

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Multi-Family Residential B4. Present Use: Multi-Family Residential

\* B5. Architectural Style: Contemporary

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The two-story multi-family residence was constructed in 1960 per San Diego County Building Record. Modifications include the replacement of the composition roof with a new composition roof and the replacement of the original windows with aluminum frame and sash windows. The building is in good to fair condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References: \_\_\_\_\_

Refer to District Bibliography for References Used

B13. Remarks: \_\_\_\_\_

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3237 Euclid Avenue, APN 476-241-04

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3237 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-241-04-00; Islenair Unit #2, Block 7, Lot 5

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The commercial auto-garage at 3237 Euclid Avenue is a utilitarian structure built in 1968 and features a flat roof and painted cement block walls. Fenestration consists of large openings at the garage bays with aluminum doors. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1968 SD County Building Record

\* P7. Owner and Address:

Tran Vu To NSNS Tran Chau To  
7426 Park Village Road  
San Diego CA 92129

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3237 Euclid Avenue, APN 476-241-04

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Commercial B4. Present Use: Commercial

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The commercial auto-garage was constructed in 1968 per the San Diego County Commercial Building Record. Modifications are unclear without historic photographs but appear to be minimal. The building is in fair condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Commercial Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References: \_\_\_\_\_

Refer to District Bibliography for References Used

B13. Remarks: \_\_\_\_\_

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3243 Euclid Avenue, 476-241-03

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3243 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-03-00; Islenair Unit #2, Block 7, Lots 3 and 4

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The commercial auto-repair and tire shop at 3243 Euclid Avenue is a utilitarian structure built in 1958 and features a flat roof and painted stucco walls. Fenestration consists of aluminum doors and windows with wrought iron security bars, and large openings at the garage bays with roll-up doors. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1958 SD County Building Record

\* P7. Owner and Address:

Phan Johnny  
3605 Gavle Street  
San Diego CA 92115

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3243 Euclid Avenue, 476-241-03

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Commercial B4. Present Use: Commercial

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The commercial auto-garage was constructed in 1958 per the San Diego County Commercial Building Record. Modifications are unclear without historic photographs but may include modification of the fenestration. The building is in fair condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Commercial Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3255 Euclid Avenue, APN 476-241-02

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3255 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-241-02-00; Islenair Unit #2, Block 7, Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The two-story multi-family residence at 3255 Euclid Avenue was built in 1958 in a contemporary style and features a flat roof with a slight eave and stucco walls. The entries to the units are on the south façade and are accessed via stairs with wrought iron railings. Fenestration consists of single pane sliding aluminum frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP3 Multifamily property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1958 SD County Building Record

\* P7. Owner and Address:  
Falbo Peter & Susan C/O Thomas R  
3941 Utah Street  
San Diego CA 92104

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* **Resource Name or #:** 3255 Euclid Avenue, APN 476-241-02

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Multi-Family Residential B4. Present Use: Multi-Family Residential

\* **B5. Architectural Style:** Contemporary

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

The two-story multi-family residence was constructed in 1958 per the San Diego County Building Record. Modifications include the replacement of the composition roof with a new composition roof and the replacement of the original windows with aluminum frame and sash windows. The building is in good to fair condition and retains a good to fair degree of integrity.

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:** \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* **B10. Significance:** Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

Refer to District Bibliography for References Used

B13. Remarks:

\* **B14. Evaluator:** City San Diego Planning Staff

**Date of Evaluation:** 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3275 Euclid Avenue, APN 476-241-01

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3275 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-01-00; Islenair Unit #2, Block 7, Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The commercial/industrial building at 3275 Euclid Avenue, located on the same lot as 4769 Thorn Street, is a utilitarian structure built in 1979 and features a flat roof and roughly textured stucco walls. Fenestration consists of aluminum doors and windows with wrought iron security bars, and large openings at the service bays with roll-up doors. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1979 SD County Building Record

\* P7. Owner and Address:  
Valdez Jose R & Josefina  
3275 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3275 Euclid Avenue, APN 476-241-01

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Commercial B4. Present Use: Commercial

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The commercial/industrial building was constructed in 1979 per the San Diego County Commercial Building Record. Modifications are unclear without historic photographs. The building is in fair condition and retains a fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Commercial/Indust Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3313 Euclid Avenue, APN 476-151-15

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3313 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-15-00; Islenair Unit #1, Block 1, Lot 15

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The two-story multi-family residence at 3313 Euclid Avenue was built in 1951 in a contemporary style and features a medium pitch roof with composition shingles; a slight eave overhang; and stucco walls. The building is largely obscured by a large two-car garage. Fenestration consists of single pane sliding aluminum frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP3 Multifamily property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1951 SD County Building Record

\* P7. Owner and Address:  
Aguilar Isabel  
3315 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3313 Euclid Avenue, APN 476-151-15

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Multi-Family Residential B4. Present Use: Multi-Family Residential

\* B5. Architectural Style: Contemporary

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The two-story multi-family residence was constructed in 1951 per the San Diego County Residential Building Record. Modifications include the replacement of the composition roof with a new composition roof; the replacement of the original windows with aluminum frame and sash windows; and the addition of a large garage which completely obscures the building. The building is in good to fair condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3427 Euclid Avenue, APN 476-151-07

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3427 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-07; Islenair Unit #1, Block 1 Lot 7

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3427 Euclid Avenue was built in 1938 in the Minimal Traditional style with Art Moderne influences and features a multi-hipped roof; clay tile roof; clipped eaves; and a textured stucco exterior. The entry, accessed via five concrete steps, is roughly centered on the façade under a rounded projection. The entry door is set parallel to the sidewalk. Fenestration consists of 8-lite vinyl slider windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1938 SD County Property Charac

\* P7. Owner and Address:

Ocampo Rosendo  
3427 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3427 Euclid Avenue, APN 476-151-07

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1938 per San Diego County Assessor Property Characteristics. Modifications include the use of clay tile roofing as opposed to composition shingle roofing; removal of the original horizontal wood siding; the removal of the round portal vent; replacement of the entry door; and the replacement of the wood frame windows with vinyl windows, likely in modified openings. The house is in good condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached single car garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3435 Euclid Avenue, 476-151-06

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3435 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-06; Islenair Unit #1, Block 1 Lot 6

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The commercial building at 3435 Euclid Avenue is a contemporary commercial structure built in 1946 and features a flat roof; roughly textured stucco walls; and a heavy, projecting, slanted stucco marquee running the length of the upper third of the storefront. Fenestration consists of metal and glass doors "retail" doors. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 SD County Building Record

\* P7. Owner and Address:

Shaae Amer N  
3435 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3435 Euclid Avenue, 476-151-06

B1. Historic Name: \_\_\_\_\_

B2. Common Name: Sunshine Market & Liquor

B3. Original Use: Commercial B4. Present Use: Commercial

\* B5. Architectural Style: Contemporary

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The commercial auto-garage was constructed in 1946 per the San Diego County Building Record. Modifications appear to include the infill of the storefront window. The building is in fair condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Commercial Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References: \_\_\_\_\_

Refer to District Bibliography for References Used

B13. Remarks: \_\_\_\_\_

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3449 Euclid Avenue, APN 476-151-04

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3449 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-04; Islenair Unit #1, Block 1, Lot 4

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3349 Euclid Avenue was built in 1952 in the Minimal Traditional style and features a medium pitch hipped roof with composition shingles; a slight eave overhang; and stucco walls. The entry, accessed via three concrete steps, is set to the right under a slight roof projection. The entry door is set parallel to the sidewalk. The building is largely obscured by a garage. Fenestration consists of 1-over-1 double hung aluminum frame and sash windows, which are not readily visible. Wrought iron security bars have been added to the doors and windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1952 SD County Building Record

\* P7. Owner and Address:

Walker Family Trust  
3449 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3449 Euclid Avenue, APN 476-151-04

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1952 per the San Diego County Residential Building Record. Modifications include the replacement of the composition roof with a new composition roof; the replacement of the original windows with aluminum frame and sash windows; and the addition of a garage which completely obscures the building. The building is in good to fair condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located in front of the house.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3457 Euclid Avenue, APN 476-151-03

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3457 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-03-00; Islenair Unit #1, Block 1, Lot 3

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The commercial/industrial building at 3457 Euclid Avenue is a utilitarian structure built in 1973 and features a flat roof and cement block walls. Fenestration consists of aluminum doors and windows, and large openings at the service bays with roll-up doors. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1973 SD County Building Record

\* P7. Owner and Address:  
Western Book C/O John Mankin  
8585 Foucaud Way  
San Diego CA 92129

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3457 Euclid Avenue, APN 476-151-03

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Commercial B4. Present Use: Commercial

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The commercial/industrial building was constructed in 1973 per the San Diego County Building Record. No modifications are shown on the Building Record. The building is in fair condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Commercial/Indust Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3461 Euclid Avenue, APN 476-151-02

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3461 Euclid Avenue City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-151-02-00; Islenair Unit #1, Block 1, Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The commercial building at 3461 Euclid Avenue is a utilitarian structure built in 1948 and features a flat roof and a vertical wood siding exterior. Fenestration consists of single pane aluminum doors and windows with wrought iron security bars. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1948 SD County Assessor Record

\* P7. Owner and Address:  
Mangiapane Roseanne TR  
4561 49th Street  
San Diego CA 92115

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3461 Euclid Avenue, APN 476-151-02

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Commercial B4. Present Use: Commercial

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The commercial building was constructed in 1948 per the San Diego County Commercial Building Record. Modifications are unclear without historic photographs. The building is in fair condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Commercial Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: Vacant Lot, Euclid Avenue, 476-241-05

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address Vacant Lot, Euclid Avenue City San Diego Zip 92105

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-05-00; Islenair Unit #2 Block 7, Lot 6

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
Parcel number 476-241-05 is an unimproved lot.

\* P3b. Resource Attributes: (List attributes and codes) HP39 Other

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Aerial Photo

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

#Error

\* P7. Owner and Address:  
Createman Family Trust  
3495 Skytrail Ranch Road  
Jamul CA 91935

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: Vacant Lot, Euclid Avenue, 476-241-05

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Unimproved

B4. Present Use: Unimproved

\* B5. Architectural Style: n/a

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
n/a

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
n/a

B9a. Architect: n/a b. Builder: n/a

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type unimproved Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3203 Isla Vist Drive, APN 476-242-09

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3203 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-242-09-00; Islenair Unit #2, Block 6, Lot 9

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3203 Isla Vista Drive was built in 1951 in the Minimal Traditional style with Split Level elements and features a multi-hipped roof with composition shingles; clipped eaves; and a textured stucco exterior. The entry porch, accessed via six concrete steps, is set to the right and features a roof extension supported by square wood posts. The entry door is set parallel to the sidewalk. Fenestration consists of 8-lite slider and 16-lite fixed vinyl frame and sash windows. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1951 Water and Sewer Records

\* P7. Owner and Address:

Phan Huynh Trust  
3550 Ruffin Rd #177  
San Diego CA 92123

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3203 Isla Vista Drive, APN 476-242-09

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1951 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof, the use of textured stucco, and the replacement of the original wood windows with vinyl windows in enlarged openings. The house is in fair condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Brock Construction Company

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3232 Isla Vista Drive, APN 476-242-13

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3232 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-242-13-00; Islenair Unit #2, Block 6, Lot 6

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3232 Isla Vista Drive was built in 1935 in the Minimal Traditional style and features a medium pitch side gable roof with composition shingles; clipped eaves; vertical wood siding in the gable end; and a textured stucco exterior. The entry porch, accessed via three concrete steps, is set to the right and features a roof extension supported by a turned spindle wood post. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a nine-lite single pane fixed vinyl window and 4-over-4 double hung vinyl frame and sash windows. A carport has been added to the north side of the house and a front-facing gable second story addition has been added. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1935 Water and Sewer Records

\* P7. Owner and Address:  
Castellanos David & Yurin  
3232 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3232 Isla Vista Drive, APN 476-242-13

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1935 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the use of textured stucco; the replacement of the original wood frame windows with vinyl windows; the addition of a carport; and the second story addition. The house is in good condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: AP Rotta

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3255 Isla Vista Drive, APN 476-242-02

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3255 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-242-02-00; Islenair Unit #2, Block 6, Lot 2

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3255 Isla Vista Drive was built in 1947 in the Minimal Traditional style and features a multi-hipped and gable roof with composition shingles; clipped eaves; and a textured stucco exterior. The entry is recessed behind a projecting front gable bay and a single car garage. The entry door is set parallel to the sidewalk. Fenestration consists of single pane fixed and 1-over-1 double hung aluminum frame and sash windows. The house appears to have undergone a number of additions and modifications, which have compromised the historic integrity of the structure. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1947 Water and Sewer Records

\* P7. Owner and Address:  
Turner Albert and Mariorie  
3255 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3255 Isla Vista Drive, APN 476-242-02

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1947 per water and sewer records. Modifications include several additions/alterations; the replacement of the composition roof with a new composition roof; and the replacement of the original windows with aluminum windows. The house is in fair condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3324 Isla Vista Drive, APN 476-152-16

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3324 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-152-16-00; Islenair Unit #1, Block 2, Lot 16

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3324 Isla Vista Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a clay tile shed roof along the parapet line and two projecting bays that include a front gable bay to the north and a hexagonal bay to the south; a textured stucco exterior; and a chimney at the north elevation. The main entry, accessed via three concrete steps, is roughly centered between the two bays under a roof projection supported by square wood timbers. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a large 16-lite fixed wood frame window in the gable bay; and 2-over-2 double hung wood frame and sash windows in the hexagonal bay and throughout. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1935 Water and Sewer Records

\* P7. Owner and Address:

Marquina Gabriela  
3324 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 5D3

\* Resource Name or #: 3324 Isla Vista Drive, APN 476-152-16

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Spanish Eclectic

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1935 per water and sewer records. Modifications include the use of textured stucco and the addition of window screens. The house is in good to fair condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

A detached garage is located at the rear.

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria F

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



\*Recorded by: City of San Diego City Planning Department \*Date: 4/3/2007  Continuation  Update

NRHP Status Code: 6L

Address: 3324 Isla Vista Drive, APN 476-152-16

**P3a. Description:**

The house at 3324 Isla Vista Drive was built in 1935 in the Spanish Eclectic style and features a flat roof with a composite shingle shed roof along the parapet line and two projecting bays that include a front gable bay to the north and a hexagonal bay to the south; a textured stucco exterior; and a chimney at the north elevation. The main entry, accessed via three concrete steps, is roughly centered between the two bays under a roof projection supported by square wood timbers. The entry door is set perpendicularly to the sidewalk. Fenestration consists of a small 16-lite sliding vinyl window which replaced a large 16-lite fixed wood frame window in the gable bay; and 2-over-2 double hung wood frame and sash windows in the hexagonal bay and throughout. Refer to Continuation Sheet Section B.6. for modifications and analysis of integrity.

**P5a. Photograph or Drawing**



**P5b. Description of Photo:**

Photo of the primary façade from the  
Public right-of-way, taken 4/2/2007.

**B.6 Construction History:**

The house was constructed in 1935 per water and sewer records. Modifications include the use of textured stucco and the addition of window screens. Recent modifications since the January 17, 2007 survey include the replacement of the clay tile roof with composite shingles, the removal of the decorative wood elements adjacent to the windows on the hexagonal bay, and the removal of the large 16-lite fixed wood frame window which was replaced with a smaller, 16-lite sliding vinyl window. The house is in good to fair condition and retains a fair to poor degree of integrity.

**B.10 Significance**

Theme: Small House Movement, Residential Architecture, Planning Area: City of San Diego

Period of Significance: 1926-1952 Property Type: Single Family Residential Applicable Criteria: n/a



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# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3333 Isla Vista Drive, APN 476-160-18

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3333 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-18-00; Islenair Unit #1, Block 3, Lots 19 and 20

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3333 Isla Vista Drive was built in 1950 in the Ranch style and features a side gable roof with composition shingles; a slight eave overhang; and a concrete block exterior. The entry, which is at grade, is roughly centered under a roof projection supported by square wood posts. The entry door is set parallel to the sidewalk. Fenestration is not readily visible from the public right of way. A large addition at the front of the house is currently under construction. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1950 Water and Sewer Records

\* P7. Owner and Address:

Luc Luan Kim  
3333 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3333 Isla Vista Drive, APN 476-160-18

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
The house was constructed in 1950 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof and a new, large addition at the front of the property which is not in keeping with the U.S. Secretary of the Interior's Standards. The house is in good condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features: \_\_\_\_\_

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3411 Isla Vista Drive, APN 476-160-15

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3411 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-15-00; Islenair Unit #2, Block 3, Lot 16

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3411 Isla Vista Drive was built in 1957 in the Ranch style and features an "L" shaped floor plan with a dominant two-car garage; cross-gable roofs with composition shingles; wood clapboard siding in the gable end; a stucco and wood board and batten exterior; and a chimney at the east elevation. The entry, accessed via one concrete step, is recessed into the façade under a roof projection. The entry door is set parallel to the sidewalk. Fenestration consists of aluminum frame and sash fixed and slider windows with decorative wood shutters. Aluminum awnings have been added above a main window. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1957 Water and Sewer Records

\* P7. Owner and Address:  
Phay Loeun & Say Chhav  
3411 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 3411 Isla Vista Drive, APN 476-160-15

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1957 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; the replacement of some original wood frame windows with aluminum windows; and the use of aluminum awnings. The house is in good condition and retains a good degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3467 Isla Vista Drive, APN 476-160-08

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3467 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM, etc. as app  
APN 476-160-08-00; Islenair Unit #1, Block 3, Lot 9

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3467 Isla Vista Drive was built in 1939 in the Minimal Traditional style and features a side gable roof with red composition shingles; a slight eave overhang; and a stucco exterior with brick veneer beneath a bay window. The entry, accessed via two concrete steps, is set to the right under a roof projection supported by five wood posts. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 1-over-1 aluminum frame and sash windows. The two-car garage is attached to the house and is set forward of the main façade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1939 Water and Sewer Records

\* P7. Owner and Address:

Timm, Wayne NSNS & Timm Marlene  
1177 Gorsline Drive  
El Caion CA 92021

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)

Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3467 Isla Vista Drive, APN 476-160-08

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1939 per water and sewer records. Modifications include the replacement of the composition roof with a new red composition roof; the replacement of the original wood frame windows with aluminum frame windows; the likely addition of the bay window; the use of brick veneer; the likely replacement of the wood porch post(s); and the replacement of the original garage door with a new wood door. The house is in good condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



ISLENAIR HISTORICAL DISTRICT

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3517 Isla Vista Drive, APN 476-160-04

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3517 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-04-00; Islenair Unit #1, Block 3, Lot 4

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3517 Isla Vista Drive was built in 1946 in the Minimal Traditional style and features a cross-gable roof with composition shingles; a slight eave overhang with exposed rafter tails; and a stucco exterior. The entry, accessed via two concrete steps, is set to the right of the bay under a roof projection. The entry door is set perpendicularly to the sidewalk. Fenestration consists of 1-over-1 double hung vinyl frame and sash windows in new and/or enlarged openings. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)  
Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:  
Lotz Vicki L  
3517 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3517 Isla Vista Drive, APN 476-160-04

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; and the replacement of the original 6-over-6 wood frame windows with 1-over-1 vinyl frame windows in new and/or enlarged openings. The house is in good to fair condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 3525 Isla Vista Drive, APN 476-160-03

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 3525 Isla Vista Drive City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-160-03-00; Islenair Unit #1, Block 3, Lot 3

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 3525 Isla Vista Drive was built in 1946 in the Minimal Traditional style and features a side gable roof with composition shingles; a slight eave overhang with exposed rafter tails; and a stucco exterior. The entry, accessed via two concrete steps, is set to the right of the bay under a roof projection supported by a wood post. The entry door is set parallel to the sidewalk. Fenestration consists of sliding vinyl frame and sash windows in new and/or enlarged openings. The single far garage is attached to the house and set back slightly from the main façade. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1946 Water and Sewer Records

\* P7. Owner and Address:

Wilson Melford D  
3525 Isla Vista Drive  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)

City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6L

\* Resource Name or #: 3525 Isla Vista Drive, APN 476-160-03

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1946 per water and sewer records. Modifications include the replacement of the composition roof with a new composition roof; and the replacement of the original double hung and 16-lite fixed wood frame windows with sliding vinyl frame windows in new and/or enlarged openings. The house is in good to fair condition and retains a fair to poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Cummins Brothers Co

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 4750-66 Thorn Street, APN 476-151-16, 17 & 18

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 4750 Thorn Street City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-151-16-00, 476-151-17-00, and 476-151-18-00 Islenair Unit #1, Block 1, Lot 16 and Islenair Unit #2, Block 4, Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The two-story multi-family residence at 4750 Thorn Street was built in 1958 on a corner lot in the Contemporary style and features a low-pitch roof with composition shingles; a slight eave overhang; and a textured stucco exterior. The entries are located under a roof projection supported by wood posts. Fenestration consists of vinyl slider windows. A cement block retaining wall and wood fence is located at the property line. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP3 Multifamily property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1958 MetroScan Data

\* P7. Owner and Address:  
Frederick Kenneth E & Jacquelyn  
330 San Elijo Street  
San Diego CA 92106

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 4750-66 Thorn Street, APN 476-151-16, 17 & 18

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: Multi-Family Residential B4. Present Use: Multi-Family Residential

\* B5. Architectural Style: Contemporary

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The multi-family residence was constructed in 1958 per MetroScan data. Modifications include the replacement of the composition roof with a new composition roof; the use of textured stucco; the replacement of the original wood frame and sash windows with vinyl slider windows; and the addition of a cement block retaining wall and wood fence. The building is in good to fair condition and retains a good to fair degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 4769 Thorn Street, APN 476-241-01

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County San Diego  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 4769 Thorn Street City San Diego Zip 92105  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN 476-241-01-00; Islenair Unit #2, Block 7, Lot 1

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)  
The house at 4769 Thorn Street, located on the same lot as 3275 Euclid Avenue, was built in 1939 in the Minimal Traditional style and features a gable roof with composition shingles; clipped eaves; and a textured stucco exterior. The entry, accessed via two concrete steps, is set just right of center. The entry door is set parallel to the sidewalk. Fenestration consists of aluminum frame and sash slider windows with wrought iron security bars. The single far garage is attached to the house and is set back from the main façade. The house has been stripped of ornamentation. Refer to BSOR Section B.6. for modifications and analysis of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP2 Single family property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, etc.)

Photo of the primary façade from the public right-of-way.

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1939 SD County Building Record

\* P7. Owner and Address:  
Valdez Jose R & Josefina  
3275 Euclid Avenue  
San Diego CA 92105

\* P8. Recorded by: (Name, affiliation, address)  
City of San Diego Planning Staff  
202 C Street, MS 4A  
San Diego CA 92101

\* P9. Date Recorded: 1/17/2007

\* P10. Survey Type: (Describe)  
Intensive (Architectural)

\* P11. Report Citation: (Cite survey report/other sources or "none") \_\_\_\_\_

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Z

\* Resource Name or #: 4769 Thorn Street, APN 476-241-01

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: SF Residential B4. Present Use: SF Residential

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The house was constructed in 1939 per the San Diego County Building Record. Modifications include the replacement of the composition roof with a new composition roof; the replacement of the original wood windows with aluminum windows; the removal of any ornamentation; and the replacement of the original garage door with a roll-up aluminum door. The house is in fair condition and retains a poor degree of integrity.

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Early auto-oriented small house dev Area San Diego

Period of Significance 1926-1952 Property Type Residential Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The neighborhood of Islenair is historically significant as a historic district under HRB Criterion A, as an intact and special element of San Diego's historical, social, economic, and architectural development. The neighborhood, which is comprised of working-class homes reflective of the "small house" movement, marked a new stage in the City of San Diego's expansion away from the city core and beyond the limits of natural topography as increases in mobility and population propelled the creation of new infrastructure and development to the east. Islenair is also historically significant under HRB Criterion C, as it embodies distinctive characteristics of Spanish Eclectic and Minimal Traditional styles of the "small house" and "minimum house" construction types during San Diego's development of Automobile Suburbs between 1926 and 1952. The first phase of development (1927-1931) is reflective of both the small house movement of the 1920's and the immense popularity of Spanish Eclectic architecture. Construction progressed steadily during the first phase of development before construction came to a halt with the onset of the Great Depression. The second phase of development (1935-1941), reflects the work of the newly formed Federal Housing Authority (FHA) through the introduction of Minimal Traditional style architecture. The fading popularity of Spanish Eclectic homes is also seen during this phase. The third phase of development (1945-1952) reflects the continued popularity of the Minimal Traditional style in the wake of the housing shortage following WWII. By the end of the third phase of development in 1952, Islenair was nearly built-out with only a few vacant lots remaining.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Refer to District Bibliography for References Used

B13. Remarks:

\* B14. Evaluator: City San Diego Planning Staff

Date of Evaluation: 1/17/2007

(This space reserved for official comments.)

(Sketch map with north arrow required)





# *Appendix A: Bibliography*

## Section 10

*Islenair Historic District  
Designated April 26, 2007*



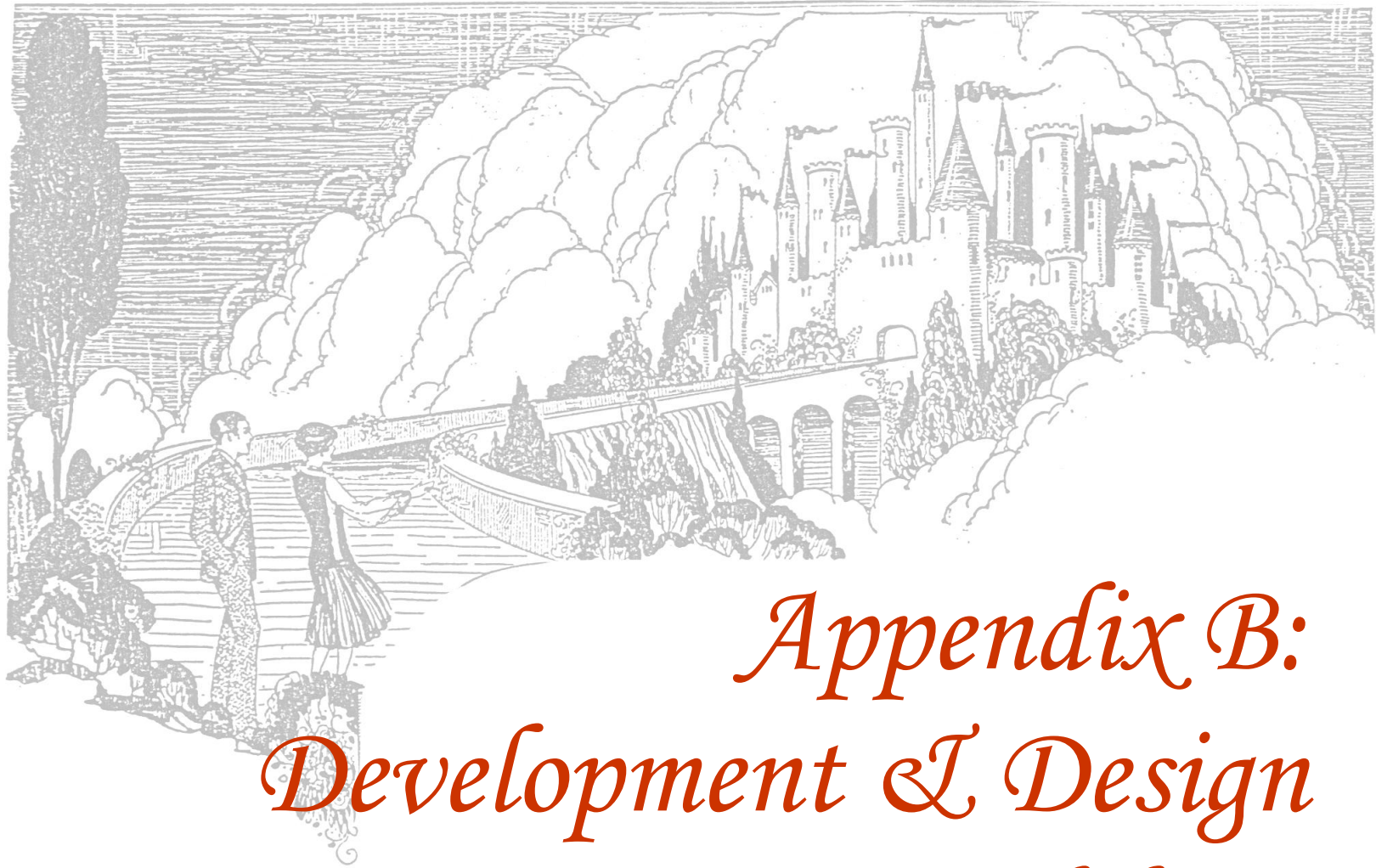


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# *Appendix B: Development & Design Guidelines*

## Section 11

*Islenair Historic District  
Designated April 26, 2007*





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*Islenair*

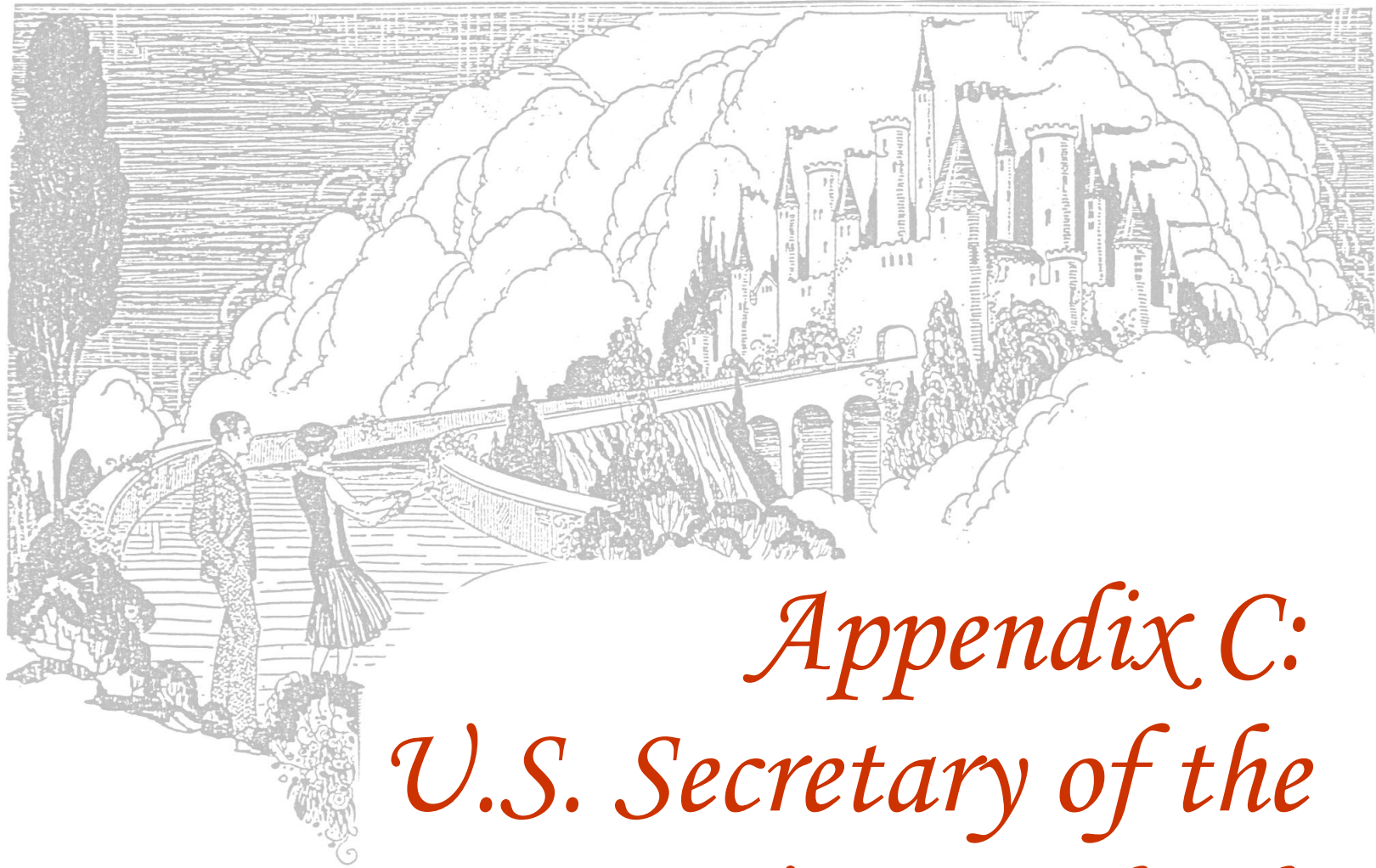
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**Appendix B  
Development and Design Guidelines**

TO BE INSERTED

Following preparation and adoption of the Guidelines by the Historical Resources Board they will be inserted as Appendix C of the Islenair Geographic/Traditional Historic District document.

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# *Appendix C: U.S. Secretary of the Interior's Standards*

## Section 12

*Islenair Historic District  
Designated April 26, 2007*





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# *Islenair*

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## **Appendix C U.S. Secretary of the Interior's Standards**

Included in this Appendix is the U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation Historic Buildings. These Standards and Guidelines are to be used in concert with the Islenair Development and Design Guidelines when designing additions to historic structures and infill within the historic district.

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# Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings

*Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.*





## Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## Guidelines for Rehabilitating Historic Buildings

### Introduction

In **Rehabilitation**, historic building materials and character-defining features are protected and maintained as they are in the treatment **Preservation**; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the **Standards for Rehabilitation and Guidelines for Rehabilitation** to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only **Rehabilitation** includes an opportunity to make possible an efficient contemporary use through alterations and additions.

### Identify, Retain, and Preserve Historic Materials and Features

Like **Preservation**, guidance for the treatment **Rehabilitation** begins with recommendations to identify the form and detailing of those architectural materials and features that are important in defining the building's historic character and which must be retained in order to preserve that character. Therefore, guidance on *identifying, retaining, and preserving* character-defining features is always given first. The character of a historic building may be defined by the form and detailing of exterior materials, such as masonry, wood, and metal; exterior features, such as roofs, porches, and windows; interior

materials, such as plaster and paint; and interior features, such as moldings and stairways, room configuration and spatial relationships, as well as structural and mechanical systems.

### Protect and Maintain Historic Materials and Features

After identifying those materials and features that are important and must be retained in the process of **Rehabilitation** work, then *protecting and maintaining* them are addressed. Protection generally involves the least degree of intervention and is preparatory to other work. For example, protection includes the maintenance of historic material through treatments such as rust removal, caulking, limited paint removal, and re-application of protective coatings; the cyclical cleaning of roof gutter systems; or installation of fencing, alarm systems and other temporary protective measures. Although a historic building will usually require more extensive work, an overall evaluation of its physical condition should always begin at this level.

### Repair Historic Materials and Features

Next, when the physical condition of character-defining materials and features warrants additional work *repairing* is recommended. **Rehabilitation** guidance for the repair of historic materials such as masonry, wood, and architectural metals again begins with the least degree of intervention possible such as patching, piecing-in, splicing, consolidating, or otherwise reinforcing or upgrading them according to recognized preservation methods. Repairing also includes the limited replacement in kind—or with

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Note: The Guidelines for Rehabilitating Historic Buildings in this chapter have already appeared in *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings*, published in 1992.



*Originally built as single-family, semi-detached duplexes, these houses were rehabilitated for a new use as rental apartments. While some alteration to non-significant interior features and spaces was necessary in each one, the exteriors were essentially preserved. Photos: Mistick, Inc.*

compatible substitute material—of extensively deteriorated or missing parts of features when there are surviving prototypes (for example, brackets, dentils, steps, plaster, or portions of slate or tile roofing). Although using the same kind of material is always the preferred option, substitute material is acceptable if the form and design as well as the substitute material itself convey the visual appearance of the remaining parts of the feature and finish.

### **Replace Deteriorated Historic Materials and Features**

Following repair in the hierarchy, **Rehabilitation** guidance is provided for *replacing* an entire character-defining feature with new material because the level of deterioration or damage of materials precludes repair (for example, an exterior cornice; an interior

staircase; or a complete porch or storefront). If the essential form and detailing are still evident so that the physical evidence can be used to re-establish the feature as an integral part of the rehabilitation, then its replacement is appropriate. Like the guidance for repair, the preferred option is always replacement of the entire feature in kind, that is, with the same material. Because this approach may not always be technically or economically feasible, provisions are made to consider the use of a compatible substitute material.

It should be noted that, while the National Park Service guidelines recommend the replacement of an entire character-defining feature that is extensively deteriorated, they never recommend removal and replacement with new material of a feature that—although damaged or deteriorated—could reasonably be repaired and thus preserved.

### **Design for the Replacement of Missing Historic Features**

When an entire interior or exterior feature is missing (for example, an entrance, or cast iron facade; or a principal staircase), it no longer plays a role in physically defining the historic character of the building unless it can be accurately recovered in form and detailing through the process of carefully documenting the historical appearance. Although accepting the loss is one possibility, where an important architectural feature is missing, its replacement is always recommended in the **Rehabilitation** guidelines as the *first* or preferred, course of action. Thus, if adequate historical, pictorial, and physical documentation exists so that the feature may be accurately reproduced, and if it is desirable to re-establish the feature as part of the building's historical appearance, then designing and constructing a new feature based on such information is appropriate. However, a *second* acceptable option for the replacement feature is a new design that is compatible with the remaining character-defining features of the historic building. The new design should always take into account the size, scale, and material of the historic building itself and, most importantly, should be clearly differentiated so that a false historical appearance is not created.

### **Alterations/Additions for the New Use**

Some exterior and interior alterations to a historic building are generally needed to assure its continued

use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes. Alterations may include providing additional parking space on an existing historic building site; cutting new entrances or windows on secondary elevations; inserting an additional floor; installing an entirely new mechanical system; or creating an atrium or light well. Alteration may also include the selective removal of buildings or other features of the environment or building site that are intrusive and therefore detract from the overall historic character.

The construction of an exterior addition on a historic building may seem to be essential for the new use, but it is emphasized in the **Rehabilitation** guidelines that such new additions should be avoided, if possible, and considered *only* after it is determined that those needs cannot be met by altering secondary, i.e., non character-defining interior spaces. If, after a thorough evaluation of interior solutions, an exterior addition is still judged to be the only viable alternative, it should be designed and constructed to be clearly differentiated from the historic building and so that the character-defining features are not radically changed, obscured, damaged, or destroyed.

Additions and alterations to historic buildings are referenced within specific sections of the **Rehabilitation** guidelines such as Site, Roofs, Structural Systems, etc., but are addressed in detail in *New Additions to Historic Buildings*, found at the end of this chapter.



**Energy Efficiency/Accessibility  
Considerations/Health and Safety Code  
Considerations**

These sections of the guidance address work done to meet accessibility requirements and health and safety code requirements; or retrofitting measures to improve energy efficiency. Although this work is quite often an important aspect of **Rehabilitation** projects, it is usually not a part of the overall process of protecting or repairing character-defining features; rather, such work is assessed for its potential negative impact on the building's historic character. For this reason, particular care must be taken not to radically change, obscure, damage, or destroy character-defining materials or features in the process of meeting code and energy requirements.

*Rehabilitation as a Treatment* When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular time is not appropriate, Rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for Rehabilitation should be developed.

## Building Exterior

**Masonry: Brick, stone, terra cotta, concrete, adobe, stucco and mortar**

### *Recommended*

*Identifying, retaining, and preserving* masonry features that are important in defining the overall historic character of the building such as walls, brackets, railings, cornices, window architraves, door pediments, steps, and columns; and details such as tooling and bonding patterns, coatings, and color.

*Protecting and maintaining* masonry by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved decorative features.

Cleaning masonry only when necessary to halt deterioration or remove heavy soiling.

Carrying out masonry surface cleaning tests after it has been determined that such cleaning is appropriate. Tests should be observed over a sufficient period of time so that both the immediate and the long range effects are known to enable selection of the gentlest method possible.

### *Not Recommended*

Removing or radically changing masonry features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Replacing or rebuilding a major portion of exterior masonry walls that could be repaired so that, as a result, the building is no longer historic and is essentially new construction.

Applying paint or other coatings such as stucco to masonry that has been historically unpainted or uncoated to create a new appearance.

Removing paint from historically painted masonry.

Radically changing the type of paint or coating or its color.

Failing to evaluate and treat the various causes of mortar joint deterioration such as leaking roofs or gutters, differential settlement of the building, capillary action, or extreme weather exposure.

Cleaning masonry surfaces when they are not heavily soiled to create a new appearance, thus needlessly introducing chemicals or moisture into historic materials.

Cleaning masonry surfaces without testing or without sufficient time for the testing results to be of value.

## Rehabilitation

### *Recommended*

Cleaning masonry surfaces with the gentlest method possible, such as low pressure water and detergents, using natural bristle brushes.

Inspecting painted masonry surfaces to determine whether repainting is necessary.

Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., hand-scraping) prior to repainting.

Applying compatible paint coating systems following proper surface preparation.

Repainting with colors that are historically appropriate to the building and district.

Evaluating the overall condition of the masonry to determine whether more than protection and maintenance are required, that is, if repairs to masonry features will be necessary.

*Repairing* masonry walls and other masonry features by repointing the mortar joints where there is evidence of deterioration such as disintegrating mortar, cracks in mortar joints, loose bricks, damp walls, or damaged plasterwork.

Removing deteriorated mortar by carefully hand-raking the joints to avoid damaging the masonry.

### *Not Recommended*

Sandblasting brick or stone surfaces using dry or wet grit or other abrasives. These methods of cleaning permanently erode the surface of the material and accelerate deterioration.

Using a cleaning method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures.

Cleaning with chemical products that will damage masonry, such as using acid on limestone or marble, or leaving chemicals on masonry surfaces.

Applying high pressure water cleaning methods that will damage historic masonry and the mortar joints.

Removing paint that is firmly adhering to, and thus protecting, masonry surfaces.

Using methods of removing paint which are destructive to masonry, such as sandblasting, application of caustic solutions, or high pressure waterblasting.

Failing to follow manufacturers' product and application instructions when repainting masonry.

Using new paint colors that are inappropriate to the historic building and district.

Failing to undertake adequate measures to assure the protection of masonry features.

Removing nondeteriorated mortar from sound joints, then repointing the entire building to achieve a uniform appearance.

Using electric saws and hammers rather than hand tools to remove deteriorated mortar from joints prior to repointing.

*Recommended*

Duplicating old mortar in strength, composition, color, and texture.

Duplicating old mortar joints in width and in joint profile.

Repairing stucco by removing the damaged material and patching with new stucco that duplicates the old in strength, composition, color, and texture.

Using mud plaster as a surface coating over unfired, unstabilized adobe because the mud plaster will bond to the adobe.

Cutting damaged concrete back to remove the source of deterioration (often corrosion on metal reinforcement bars). The new patch must be applied carefully so it will bond satisfactorily with, and match, the historic concrete.

Repairing masonry features by patching, piecing-in, or consolidating the masonry using recognized preservation methods. Repair may also include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of masonry features when there are surviving prototypes such as terra-cotta brackets or stone balusters.

*Not Recommended*

Repointing with mortar of high portland cement content (unless it is the content of the historic mortar). This can often create a bond that is stronger than the historic material and can cause damage as a result of the differing coefficient of expansion and the differing porosity of the material and the mortar.

Repointing with a synthetic caulking compound.

Using a “scrub” coating technique to repoint instead of traditional repointing methods.

Changing the width or joint profile when repointing.

Removing sound stucco; or repairing with new stucco that is stronger than the historic material or does not convey the same visual appearance.

Applying cement stucco to unfired, unstabilized adobe. Because the cement stucco will not bond properly, moisture can become entrapped between materials, resulting in accelerated deterioration of the adobe.

Patching concrete without removing the source of deterioration.

Replacing an entire masonry feature such as a cornice or balustrade when repair of the masonry and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the masonry feature or that is physically or chemically incompatible.

## Rehabilitation

### *Recommended*

Applying new or non-historic surface treatments such as water-repellent coatings to masonry only after repointing and only if masonry repairs have failed to arrest water penetration problems.

**Replacing** in kind an entire masonry feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples can include large sections of a wall, a cornice, balustrade, column, or stairway. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of **Rehabilitation** projects and should only be considered after the preservation concerns listed above have been addressed.*

### *Recommended*

#### **Design for the Replacement of Missing Historic Features**

Designing and installing a new masonry feature such as steps or a door pediment when the historic feature is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

### *Not Recommended*

Applying waterproof, water repellent, or non-historic coatings such as stucco to masonry as a substitute for repointing and masonry repairs. Coatings are frequently unnecessary, expensive, and may change the appearance of historic masonry as well as accelerate its deterioration.

Removing a masonry feature that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

### *Not Recommended*

Creating a false historical appearance because the replaced masonry feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new masonry feature that is incompatible in size, scale, material and color.



## Building Exterior

### Wood: Clapboard, weatherboard, shingles, and other wooden siding and decorative elements

#### *Recommended*

*Identifying, retaining, and preserving* wood features that are important in defining the overall historic character of the building such as siding, cornices, brackets, window architraves, and doorway pediments; and their paints, finishes, and colors.

*Protecting and maintaining* wood features by providing proper drainage so that water is not allowed to stand on flat, horizontal surfaces or accumulate in decorative features.

Applying chemical preservatives to wood features such as beam ends or outriggers that are exposed to decay hazards and are traditionally unpainted.

Retaining coatings such as paint that help protect the wood from moisture and ultraviolet light. Paint removal should be considered only where there is paint surface deterioration and as part of an overall maintenance program which involves repainting or applying other appropriate protective coatings.

#### *Not Recommended*

Removing or radically changing wood features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the historic wood from a facade instead of repairing or replacing only the deteriorated wood, then reconstructing the facade with new material in order to achieve a uniform or “improved” appearance.

Radically changing the type of finish or its color or accent scheme so that the historic character of the exterior is diminished.

Stripping historically painted surfaces to bare wood, then applying clear finishes or stains in order to create a “natural look.”

Stripping paint or varnish to bare wood rather than repairing or reapplying a special finish, i.e., a grained finish to an exterior wood feature such as a front door.

Failing to identify, evaluate, and treat the causes of wood deterioration, including faulty flashing, leaking gutters, cracks and holes in siding, deteriorated caulking in joints and seams, plant material growing too close to wood surfaces, or insect or fungus infestation.

Using chemical preservatives such as creosote which, unless they were used historically, can change the appearance of wood features.

Stripping paint or other coatings to reveal bare wood, thus exposing historically coated surfaces to the effects of accelerated weathering.

## Rehabilitation

### *Recommended*

Inspecting painted wood surfaces to determine whether repainting is necessary or if cleaning is all that is required.

Removing damaged or deteriorated paint to the next sound layer using the gentlest method possible (handscraping and handsanding), then repainting.

Using with care electric hot-air guns on decorative wood features and electric heat plates on flat wood surfaces when paint is so deteriorated that total removal is necessary prior to repainting.



### *Not Recommended*

Removing paint that is firmly adhering to, and thus, protecting wood surfaces.

Using destructive paint removal methods such as propane or butane torches, sandblasting or waterblasting. These methods can irreversibly damage historic woodwork.

Using thermal devices improperly so that the historic woodwork is scorched.



*According to the Standards for Rehabilitation, existing historic materials should be protected, maintained and repaired. In an exemplary project, the windows and shutters of this historic residence were carefully preserved.*

*Recommended*

Using chemical strippers primarily to supplement other methods such as handscraping, handsanding and the above-recommended thermal devices. Detachable wooden elements such as shutters, doors, and columns may—with the proper safeguards—be chemically dip-stripped.

Applying compatible paint coating systems following proper surface preparation.

Repainting with colors that are appropriate to the historic building and district.

Evaluating the overall condition of the wood to determine whether more than protection and maintenance are required, that is, if repairs to wood features will be necessary.

*Repairing* wood features by patching, piecing-in, consolidating, or otherwise reinforcing the wood using recognized preservation methods. Repair may also include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of features where there are surviving prototypes such as brackets, molding, or sections of siding.

*Replacing* in kind an entire wood feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples of wood features include a cornice, entablature or balustrade. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

*Not Recommended*

Failing to neutralize the wood thoroughly after using chemicals so that new paint does not adhere.

Allowing detachable wood features to soak too long in a caustic solution so that the wood grain is raised and the surface roughened.

Failing to follow manufacturers' product and application instructions when repainting exterior woodwork.

Using new colors that are inappropriate to the historic building or district.

Failing to undertake adequate measures to assure the protection of wood features.

Replacing an entire wood feature such as a cornice or wall when repair of the wood and limited replacement of deteriorated or missing parts are appropriate.

Using substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the wood feature or that is physically or chemically incompatible.

Removing an entire wood feature that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

## Rehabilitation

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

### *Recommended*

#### **Design for the Replacement of Missing Historic Features**

Designing and installing a new wood feature such as a cornice or doorway when the historic feature is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

### *Not Recommended*

Creating a false historical appearance because the replaced wood feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new wood feature that is incompatible in size, scale, material and color.

## Building Exterior

### Architectural Metals: Cast iron, steel, pressed tin, copper, aluminum, and zinc

#### *Recommended*

*Identifying, retaining, and preserving* architectural metal features such as columns, capitals, window hoods, or stairways that are important in defining the overall historic character of the building; and their finishes and colors. Identification is also critical to differentiate between metals prior to work. Each metal has unique properties and thus requires different treatments.

*Protecting and maintaining* architectural metals from corrosion by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved, decorative features.

Cleaning architectural metals, when appropriate, to remove corrosion prior to repainting or applying other appropriate protective coatings.

Identifying the particular type of metal prior to any cleaning procedure and then testing to assure that the gentlest cleaning method possible is selected or determining that cleaning is inappropriate for the particular metal.

#### *Not Recommended*

Removing or radically changing architectural metal features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the historic architectural metal from a facade instead of repairing or replacing only the deteriorated metal, then reconstructing the facade with new material in order to create a uniform, or “improved” appearance.

Radically changing the type of finish or its historic color or accent scheme.

Failing to identify, evaluate, and treat the causes of corrosion, such as moisture from leaking roofs or gutters.

Placing incompatible metals together without providing a reliable separation material. Such incompatibility can result in galvanic corrosion of the less noble metal, e.g., copper will corrode cast iron, steel, tin, and aluminum.

Exposing metals which were intended to be protected from the environment.

Applying paint or other coatings to metals such as copper, bronze, or stainless steel that were meant to be exposed.

Using cleaning methods which alter or damage the historic color, texture, and finish of the metal; or cleaning when it is inappropriate for the metal.

Removing the patina of historic metal. The patina may be a protective coating on some metals, such as bronze or copper, as well as a significant historic finish.



### *Recommended*

Cleaning soft metals such as lead, tin, copper, terneplate, and zinc with appropriate chemical methods because their finishes can be easily abraded by blasting methods.

Using the gentlest cleaning methods for cast iron, wrought iron, and steel—hard metals—in order to remove paint buildup and corrosion. If handscraping and wire brushing have proven ineffective, low pressure grit blasting may be used as long as it does not abrade or damage the surface.

Applying appropriate paint or other coating systems after cleaning in order to decrease the corrosion rate of metals or alloys.

Repainting with colors that are appropriate to the historic building or district.

Applying an appropriate protective coating such as lacquer to an architectural metal feature such as a bronze door which is subject to heavy pedestrian use.

Evaluating the overall condition of the architectural metals to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary.

*Repairing* architectural metal features by patching, splicing, or otherwise reinforcing the metal following recognized preservation methods. Repairs may also include the limited replacement in kind—or with a compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balusters, column capitals or bases; or porch cresting.

### *Not Recommended*

Cleaning soft metals such as lead, tin, copper, terneplate, and zinc with grit blasting which will abrade the surface of the metal.

Failing to employ gentler methods prior to abrasively cleaning cast iron, wrought iron or steel; or using high pressure grit blasting.

Failing to re-apply protective coating systems to metals or alloys that require them after cleaning so that accelerated corrosion occurs.

Using new colors that are inappropriate to the historic building or district.

Failing to assess pedestrian use or new access patterns so that architectural metal features are subject to damage by use or inappropriate maintenance such as salting adjacent sidewalks.

Failing to undertake adequate measures to assure the protection of architectural metal features.

Replacing an entire architectural metal feature such as a column or a balustrade when repair of the metal and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the architectural metal feature or that is physically or chemically incompatible.

*Recommended*

**Replacing** in kind an entire architectural metal feature that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples could include cast iron porch steps or steel sash windows. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

*Not Recommended*

Removing an architectural metal feature that is unrepairable and not replacing it; or replacing it with a new architectural metal feature that does not convey the same visual appearance.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

*Recommended*

**Design for the Replacement of Missing Historic Features**

Designing and installing a new architectural metal feature such as a metal cornice or cast iron capital when the historic feature is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

*Not Recommended*

Creating a false historical appearance because the replaced architectural metal feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new architectural metal feature that is incompatible in size, scale, material, and color.

## Building Exterior

### Roofs

#### *Recommended*

*Identifying, retaining, and preserving* roofs—and their functional and decorative features—that are important in defining the overall historic character of the building. This includes the roof’s shape, such as hipped, gambrel, and mansard; decorative features such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

*Protecting and maintaining* a roof by cleaning the gutters and downspouts and replacing deteriorated flashing. Roof sheathing should also be checked for proper venting to prevent moisture condensation and water penetration; and to ensure that materials are free from insect infestation.

Providing adequate anchorage for roofing material to guard against wind damage and moisture penetration.

Protecting a leaking roof with plywood and building paper until it can be properly repaired.

#### *Not Recommended*

Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or “improved” appearance.

Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.

Applying paint or other coatings to roofing material which has been historically uncoated.

Failing to clean and maintain gutters and downspouts properly so that water and debris collect and cause damage to roof fasteners, sheathing, and the underlying structure.

Allowing roof fasteners, such as nails and clips to corrode so that roofing material is subject to accelerated deterioration.

Permitting a leaking roof to remain unprotected so that accelerated deterioration of historic building materials—masonry, wood, plaster, paint and structural members—occurs.

*Recommended*

**Repairing** a roof by reinforcing the historic materials which comprise roof features. Repairs will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as cupola louvers, dentils, dormer roofing; or slates, tiles, or wood shingles on a main roof.

**Replacing** in kind an entire feature of the roof that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples can include a large section of roofing, or a dormer or chimney. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

*Not Recommended*

Replacing an entire roof feature such as a cupola or dormer when repair of the historic materials and limited replacement of deteriorated or missing parts are appropriate.

Failing to reuse intact slate or tile when only the roofing substrate needs replacement.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the roof or that is physically or chemically incompatible.

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

### *Recommended*

#### **Design for the Replacement of Missing Historic Features**

Designing and constructing a new feature when the historic feature is completely missing, such as chimney or cupola. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

#### **Alterations/Additions for the New Use**

Installing mechanical and service equipment on the roof such as air conditioning, transformers, or solar collectors when required for the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Designing additions to roofs such as residential, office, or storage spaces; elevator housing; decks and terraces; or dormers or skylights when required by the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

### *Not Recommended*

Creating a false historical appearance because the replaced feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new roof feature that is incompatible in size, scale, material and color.

Installing mechanical or service equipment so that it damages or obscures character-defining features; or is conspicuous from the public right-of-way.

Radically changing a character-defining roof shape or damaging or destroying character-defining roofing material as a result of incompatible design or improper installation techniques.



## Building Exterior

### Windows

#### *Recommended*

*Identifying, retaining, and preserving* windows—and their functional and decorative features—that are important in defining the overall historic character of the building. Such features can include frames, sash, muntins, glazing, sills, heads, hoodmolds, panelled or decorated jambs and moldings, and interior and exterior shutters and blinds.

Conducting an indepth survey of the condition of existing windows early in rehabilitation planning so that repair and upgrading methods and possible replacement options can be fully explored.

*Protecting and maintaining* the wood and architectural metals which comprise the window frame, sash, muntins, and surrounds through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

Making windows weathertight by re-caulking and replacing or installing weatherstripping. These actions also improve thermal efficiency.

#### *Not Recommended*

Removing or radically changing windows which are important in defining the historic character of the building so that, as a result, the character is diminished.

Changing the number, location, size or glazing pattern of windows, through cutting new openings, blocking-in windows, and installing replacement sash that do not fit the historic window opening.

Changing the historic appearance of windows through the use of inappropriate designs, materials, finishes, or colors which noticeably change the sash, depth of reveal, and muntin configuration; the reflectivity and color of the glazing; or the appearance of the frame.

Obscuring historic window trim with metal or other material.

Stripping windows of historic material such as wood, cast iron, and bronze.

Replacing windows solely because of peeling paint, broken glass, stuck sash, and high air infiltration. These conditions, in themselves, are no indication that windows are beyond repair.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of the window results.

Retrofitting or replacing windows rather than maintaining the sash, frame, and glazing.

### *Recommended*

Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, i.e. if repairs to windows and window features will be required.

*Repairing* window frames and sash by patching, splicing, consolidating or otherwise reinforcing. Such repair may also include replacement in kind—or with compatible substitute material—of those parts that are either extensively deteriorated or are missing when there are surviving prototypes such as architraves, hoodmolds, sash, sills, and interior or exterior shutters and blinds.

*Replacing* in kind an entire window that is too deteriorated to repair using the same sash and pane configuration and other design details. If using the same kind of material is not technically or economically feasible when replacing windows deteriorated beyond repair, then a compatible substitute material may be considered.

### *Not Recommended*

Failing to undertake adequate measures to assure the protection of historic windows.

Replacing an entire window when repair of materials and limited replacement of deteriorated or missing parts are appropriate.

Failing to reuse serviceable window hardware such as brass sash lifts and sash locks.

Using substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the window or that is physically or chemically incompatible.

Removing a character-defining window that is unrepairable and blocking it in; or replacing it with a new window that does not convey the same visual appearance.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

*Recommended*

**Design for the Replacement of Missing Historic Features**

Designing and installing new windows when the historic windows (frames, sash and glazing) are completely missing. The replacement windows may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the window openings and the historic character of the building.

**Alterations/Additions for the New Use**

Designing and installing additional windows on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

Providing a setback in the design of dropped ceilings when they are required for the new use to allow for the full height of the window openings.

*Not Recommended*

Creating a false historical appearance because the replaced window is based on insufficient historical, pictorial, and physical documentation.

Introducing a new design that is incompatible with the historic character of the building.

Installing new windows, including frames, sash, and muntin configuration that are incompatible with the building's historic appearance or obscure, damage, or destroy character-defining features.

Inserting new floors or furred-down ceilings which cut across the glazed areas of windows so that the exterior form and appearance of the windows are changed.

## Rehabilitation



a



b



c

(a) An armory complex was rehabilitated for rental housing. (b) This view of the rear elevation shows the paired, nine-over-nine wood sash windows and high sills that characterized the building. (c) After inappropriate rehabilitation work, the same rear elevation is shown with new skylights added to the roof, prefabricated panels filling the former brick areas, and new wood decks and privacy fences. Because the work changed the historic character, the project did not meet the Standards.

## Building Exterior

### Entrances and Porches

#### *Recommended*

*Identifying, retaining, and preserving* entrances and porches—and their functional and decorative features—that are important in defining the overall historic character of the building such as doors, fanlights, sidelights, pilaster, entablatures, columns, balustrades, and stairs.

*Protecting and maintaining* the masonry, wood, and architectural metals that comprise entrances and porches through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

Evaluating the overall condition of materials to determine whether more than protection and maintenance are required, that is, repairs to entrance and porch features will be necessary.

*Repairing* entrances and porches by reinforcing the historic materials. Repair will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as balustrades, cornices, entablatures, columns, sidelights, and stairs.

#### *Not Recommended*

Removing or radically changing entrances and porches which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Stripping entrances and porches of historic material such as wood, cast iron, terra cotta tile, and brick.

Removing an entrance or porch because the building has been re-oriented to accommodate a new use.

Cutting new entrances on a primary elevation.

Altering utilitarian or service entrances so they appear to be formal entrances by adding panelled doors, fanlights, and sidelights.

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of entrances and porches results.

Failing to undertake adequate measures to assure the protection of historic entrances and porches.

Replacing an entire entrance or porch when the repair of materials and limited replacement of parts are appropriate.

Using a substitute material for the replacement parts that does not convey the visual appearance of the surviving parts of the entrance and porch or that is physically or chemically incompatible.





*In Rehabilitation, deteriorated features should be repaired, whenever possible, and replaced when the severity of the damage makes it necessary. Here, a two-story porch is seen prior to treatment (left). The floor boards are rotted out and the columns are in a state of collapse, supported only by crude, temporary shafts. Other components are in varying stages of decay. Appropriate work on the historic porch (right) included repairs to the porch rails; and total replacement of the extensively deteriorated columns and floor boards. Some dismantling of the porch was necessary.*

*Recommended*

**Replacing** in kind an entire entrance or porch that is too deteriorated to repair—if the form and detailing are still evident—using the physical evidence as a model to reproduce the feature. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

*Not Recommended*

Removing an entrance or porch that is unrepairable and not replacing it; or replacing it with a new entrance or porch that does not convey the same visual appearance.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

*Recommended*

**Design for the Replacement of Missing Historic Features**

Designing and constructing a new entrance or porch when the historic entrance or porch is completely missing. It may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character building.

*Not Recommended*

Creating a false historical appearance because the replaced entrance or porch is based on insufficient historical, pictorial, and physical documentation.

Introducing a new entrance or porch that is incompatible in size, scale, material, and color.

**Alterations/Additions for the New Use**

Designing enclosures for historic porches on secondary elevations when required by the new use in a manner that preserves the historic character of the building. This can include using large sheets of glass and recessing the enclosure wall behind existing scrollwork, posts, and balustrades.

Enclosing porches in a manner that results in a diminution or loss of historic character by using materials such as wood, stucco, or masonry.

Designing and installing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the buildings, i.e., limiting such alteration to non-character-defining elevations.

Installing secondary service entrances and porches that are incompatible in size and scale with the historic building or obscure, damage, or destroy character-defining features.

## Building Exterior

### Storefronts

#### *Recommended*

Identifying, retaining, and preserving storefronts—and their functional and decorative features—that are important in defining the overall historic character of the building such as display windows, signs, doors, transoms, kick plates, corner posts, and entablatures. The removal of inappropriate, non-historic cladding, false mansard roofs, and other later alterations can help reveal the historic character of a storefront.

*Protecting and maintaining* masonry, wood, and architectural metals which comprise storefronts through appropriate treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems.

Protecting storefronts against arson and vandalism before work begins by boarding up windows and installing alarm systems that are keyed into local protection agencies.

Evaluating the existing condition of storefront materials to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary.

#### *Not Recommended*

Removing or radically changing storefronts—and their features—which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Changing the storefront so that it appears residential rather than commercial in character.

Removing historic material from the storefront to create a recessed arcade.

Introducing coach lanterns, mansard designs, wood shakes, nonoperable shutters, and small-paned windows if they cannot be documented historically.

Changing the location of a storefront's main entrance.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of storefront features results.

Permitting entry into the building through unsecured or broken windows and doors so that interior features and finishes are damaged by exposure to weather or vandalism.

Stripping storefronts of historic material such as wood, cast iron, terra cotta, carrara glass, and brick.

Failing to undertake adequate measures to assure the preservation of the historic storefront.

*Recommended*

**Repairing** storefronts by reinforcing the historic materials. Repairs will also generally include the limited replacement in kind—or with compatible substitute materials—of those extensively deteriorated or missing parts of storefronts where there are surviving prototypes such as transoms, kick plates, pilasters, or signs.

**Replacing** in kind an entire storefront that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of **Rehabilitation** projects and should only be considered after the preservation concerns listed above have been addressed.*

*Recommended*

**Design for the Replacement of Missing Historic Features**

Designing and constructing a new storefront when the historic storefront is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

*Not Recommended*

Replacing an entire storefront when repair of materials and limited replacement of its parts are appropriate.

Using substitute material for the replacement parts that does not convey the same visual appearance as the surviving parts of the storefront or that is physically or chemically incompatible.

Removing a storefront that is unrepairable and not replacing it; or replacing it with a new storefront that does not convey the same visual appearance.

*Not Recommended*

Creating a false historical appearance because the replaced storefront is based on insufficient historical, pictorial, and physical documentation.

Introducing a new design that is incompatible in size, scale, material, and color.

Using inappropriately scaled signs and logos or other types of signs that obscure, damage, or destroy remaining character-defining features of the historic building.



a



b



c

*In the treatment, Rehabilitation, one option for replacing missing historic features is to use pictorial documentation and/or physical evidence to re-create the historic feature. (a) In this example, the ornamental cornice of an 1866 limestone building was missing; and the ground level storefront had been extensively altered. (b) and (c) Based on the availability of photographic and other documentation, the owners were able to accurately restore the cornice and storefront to their historic configuration. A substitute material, fiberglass, was used to fabricate the missing pressed metal cornice, an acceptable alternative in this project. All work met the Standards.*



## Building Interior

### Structural Systems

#### *Recommended*

*Identifying, retaining, and preserving* structural systems—and individual features of systems—that are important in defining the overall historic character of the building, such as post and beam systems, trusses, summer beams, vigas, cast iron columns, above-grade stone foundation walls, or load-bearing brick or stone walls.

*Protecting and maintaining* the structural system by cleaning the roof gutters and downspouts; replacing roof flashing; keeping masonry, wood, and architectural metals in a sound condition; and ensuring that structural members are free from insect infestation.

Examining and evaluating the physical condition of the structural system and its individual features using non-destructive techniques such as X-ray photography.

#### *Not Recommended*

Removing, covering, or radically changing visible features of structural systems which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Putting a new use into the building which could overload the existing structural system; or installing equipment or mechanical systems which could damage the structure.

Demolishing a loadbearing masonry wall that could be augmented and retained, and replacing it with a new wall (i.e., brick or stone), using the historic masonry only as an exterior veneer.

Leaving known structural problems untreated such as deflection of beams, cracking and bowing of walls, or racking of structural members.

Utilizing treatments or products that accelerate the deterioration of structural material such as introducing urea-formaldehyde foam insulation into frame walls.

Failing to provide proper building maintenance so that deterioration of the structural system results. Causes of deterioration include subsurface ground movement, vegetation growing too close to foundation walls, improper grading, fungal rot, and poor interior ventilation that results in condensation.

Utilizing destructive probing techniques that will damage or destroy structural material.

## Rehabilitation

### *Recommended*

**Repairing** the structural system by augmenting or upgrading individual parts or features. For example, weakened structural members such as floor framing can be paired with a new member, braced, or otherwise supplemented and reinforced.

**Replacing** in kind—or with substitute material—those portions or features of the structural system that are either extensively deteriorated or are missing when there are surviving prototypes such as cast iron columns, roof rafters or trusses, or sections of loadbearing walls. Substitute material should convey the same form, design, and overall visual appearance as the historic feature; and, at a minimum, be equal to its loadbearing capabilities.

### *Not Recommended*

Upgrading the building structurally in a manner that diminishes the historic character of the exterior, such as installing strapping channels or removing a decorative cornice; or damages interior features or spaces.

Replacing a structural member or other feature of the structural system when it could be augmented and retained.

Installing a visible replacement feature that does not convey the same visual appearance, e.g., replacing an exposed wood summer beam with a steel beam.

Using substitute material that does not equal the loadbearing capabilities of the historic material and design or is otherwise physically or chemically incompatible.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

*Recommended*

**Alterations/Additions for the New Use**

Limiting any new excavations adjacent to historic foundations to avoid undermining the structural stability of the building or adjacent historic buildings. Studies should be done to ascertain potential damage to archeological resources.

Correcting structural deficiencies in preparation for the new use in a manner that preserves the structural system and individual character-defining features.

Designing and installing new mechanical or electrical systems when required for the new use which minimize the number of cutouts or holes in structural members.

Adding a new floor when required for the new use if such an alteration does not damage or destroy the structural system or obscure, damage, or destroy character-defining spaces, features, or finishes.

Creating an atrium or a light well to provide natural light when required for the new use in a manner that assures the preservation of the structural system as well as character-defining interior spaces, features, and finishes.

*Not Recommended*

Carrying out excavations or regrading adjacent to or within a historic building which could cause the historic foundation to settle, shift, or fail; could have a similar effect on adjacent historic buildings; or could destroy significant archeological resources.

Radically changing interior spaces or damaging or destroying features or finishes that are character-defining while trying to correct structural deficiencies in preparation for the new use.

Installing new mechanical and electrical systems or equipment in a manner which results in numerous cuts, splices, or alterations to the structural members.

Inserting a new floor when such a radical change damages a structural system or obscures or destroys interior spaces, features, or finishes.

Inserting new floors or furred-down ceilings which cut across the glazed areas of windows so that the exterior form and appearance of the windows are radically changed.

Damaging the structural system or individual features; or radically changing, damaging, or destroying character-defining interior spaces, features, or finishes in order to create an atrium or a light well.

## Building Interior

### Spaces, Features, and Finishes

#### *Recommended*

#### Interior Spaces

*Identifying, retaining, and preserving* a floor plan or interior spaces that are important in defining the overall historic character of the building. This includes the size, configuration, proportion, and relationship of rooms and corridors; the relationship of features to spaces; and the spaces themselves such as lobbies, reception halls, entrance halls, double parlors, theaters, auditoriums, and important industrial or commercial spaces.

#### Interior Features and Finishes

*Identifying, retaining, and preserving* interior features and finishes that are important in defining the overall historic character of the building, including columns, cornices, baseboards, fireplaces and mantels, panelling, light fixtures, hardware, and flooring; and wallpaper, plaster, paint, and finishes such as stencilling, marbling, and graining; and other decorative materials that accent interior features and provide color, texture, and patterning to walls, floors, and ceilings.

#### *Not Recommended*

Radically changing a floor plan or interior spaces—including individual rooms—which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Altering the floor plan by demolishing principal walls and partitions to create a new appearance.

Altering or destroying interior spaces by inserting floors, cutting through floors, lowering ceilings, or adding or removing walls.

Relocating an interior feature such as a staircase so that the historic relationship between features and spaces is altered.

Removing or radically changing features and finishes which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Installing new decorative material that obscures or damages character-defining interior features or finishes.

Removing paint, plaster, or other finishes from historically finished surfaces to create a new appearance (e.g., removing plaster to expose masonry surfaces such as brick walls or a chimney piece).

Applying paint, plaster, or other finishes to surfaces that have been historically unfinished to create a new appearance.

Stripping paint to bare wood rather than repairing or reapplying grained or marbled finishes to features such as doors and panelling.

Radically changing the type of finish or its color, such as painting a previously varnished wood feature.

*Recommended*

**Protecting and maintaining** masonry, wood, and architectural metals which comprise interior features through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems.

Protecting interior features and finishes against arson and vandalism before project work begins, erecting protective fencing, boarding-up windows, and installing fire alarm systems that are keyed to local protection agencies.

Protecting interior features such as a staircase, mantel, or decorative finishes and wall coverings against damage during project work by covering them with heavy canvas or plastic sheets.

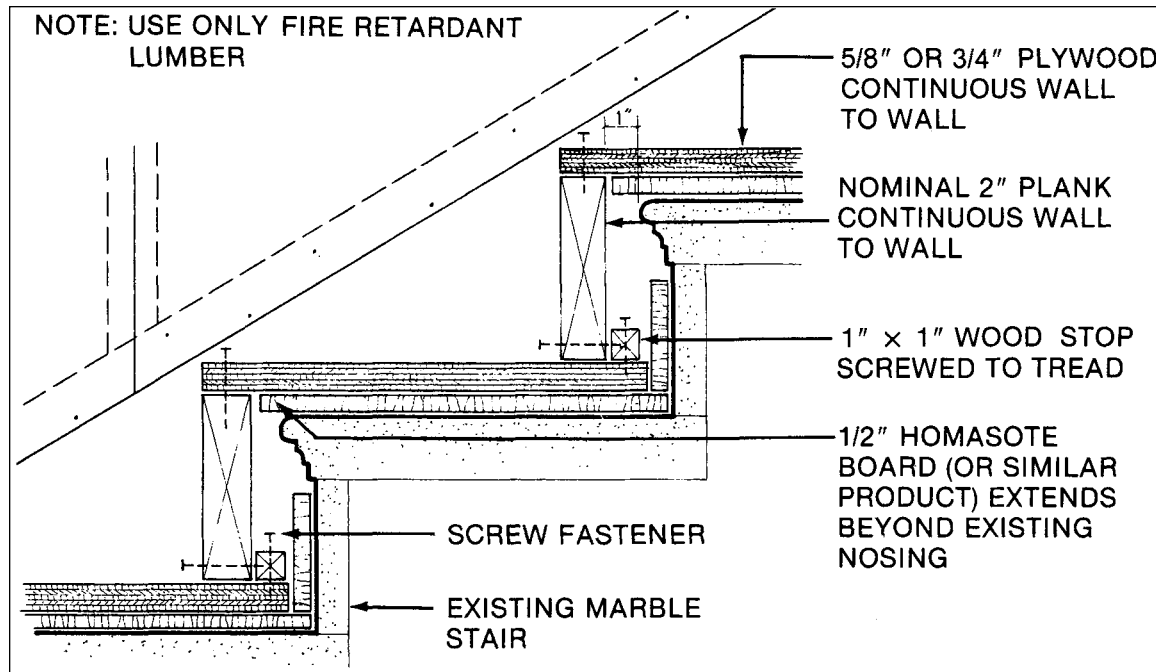
*Not Recommended*

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of interior features results.

Permitting entry into historic buildings through unsecured or broken windows and doors so that the interior features and finishes are damaged by exposure to weather or vandalism.

Stripping interiors of features such as woodwork, doors, windows, light fixtures, copper piping, radiators; or of decorative materials.

Failing to provide proper protection of interior features and finishes during work so that they are gouged, scratched, dented, or otherwise damaged.



*Historic features that characterize a building should always be protected from damage during rehabilitation work. The drawing shows how a resilient, temporary stair covering was applied over the existing marble staircase. Drawing: National Park Service staff, based on material originally prepared by Emery Roth and Sons, P.C.*



## Rehabilitation

### *Recommended*

Installing protective coverings in areas of heavy pedestrian traffic to protect historic features such as wall coverings, parquet flooring and panelling.

Removing damaged or deteriorated paints and finishes to the next sound layer using the gentlest method possible, then repainting or refinishing using compatible paint or other coating systems.

Repainting with colors that are appropriate to the historic building.

Limiting abrasive cleaning methods to certain industrial warehouse buildings where the interior masonry or plaster features do not have distinguishing design, detailing, tooling, or finishes; and where wood features are not finished, molded, beaded, or worked by hand. Abrasive cleaning should only be considered after other, gentler methods have been proven ineffective.

Evaluating the existing condition of materials to determine whether more than protection and maintenance are required, that is, if repairs to interior features and finishes will be necessary.

*Repairing* interior features and finishes by reinforcing the historic materials. Repair will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of repeated features when there are surviving prototypes such as stairs, balustrades, wood panelling, columns; or decorative wall coverings or ornamental tin or plaster ceilings.

### *Not Recommended*

Failing to take new use patterns into consideration so that interior features and finishes are damaged.

Using destructive methods such as propane or butane torches or sandblasting to remove paint or other coatings. These methods can irreversibly damage the historic materials that comprise interior features.

Using new paint colors that are inappropriate to the historic building.

Changing the texture and patina of character-defining features through sandblasting or use of abrasive methods to remove paint, discoloration or plaster. This includes both exposed wood (including structural members) and masonry.

Failing to undertake adequate measures to assure the protection of interior features and finishes.

Replacing an entire interior feature such as a staircase, panelled wall, parquet floor, or cornice; or finish such as a decorative wall covering or ceiling when repair of materials and limited replacement of such parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts or portions of the interior feature or finish or that is physically or chemically incompatible.

*Recommended*

*Replacing* in kind an entire interior feature or finish that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model for reproduction. Examples could include wainscoting, a tin ceiling, or interior stairs. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

*Not Recommended*

Removing a character-defining feature or finish that is unrepairable and not replacing it; or replacing it with a new feature or finish that does not convey the same visual appearance.

*a**b*

*Rehabilitating historic dwelling units often includes some level of lead-paint hazard abatement. Whenever lead-base paint begins to peel, chip, craze, or otherwise comes loose (a), it should be removed in a manner that protects the worker as well as the immediate environment. In this example (b), the deteriorating lead-paint was removed throughout the apartment building and a compatible primer and finish paint applied.*

*Photos: Sharon C. Park, AIA.*

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

### *Recommended*

#### **Design for the Replacement of Missing Historic Features**

Designing and installing a new interior feature or finish if the historic feature or finish is completely missing. This could include missing partitions, stairs, elevators, lighting fixtures, and wall coverings; or even entire rooms if all historic spaces, features, and finishes are missing or have been destroyed by inappropriate “renovations.” The design may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character of the building, district, or neighborhood.

#### **Alterations/Additions for the New Use**

Accommodating service functions such as bathrooms, mechanical equipment, and office machines required by the building’s new use in secondary spaces such as first floor service areas or on upper floors.

Reusing decorative material or features that have had to be removed during the rehabilitation work including wall and baseboard trim, door molding, panelled doors, and simple wainscoting; and relocating such material or features in areas appropriate to their historic placement.

Installing permanent partitions in secondary spaces; removable partitions that do not destroy the sense of space should be installed when the new use requires the subdivision of character-defining interior space.

Enclosing an interior stairway where required by code so that its character is retained. In many cases, glazed fire-rated walls may be used.

### *Not Recommended*

Creating a false historical appearance because the replaced feature is based on insufficient physical, historical, and pictorial documentation or on information derived from another building.

Introducing a new interior feature or finish that is incompatible with the scale, design, materials, color, and texture of the surviving interior features and finishes.

Dividing rooms, lowering ceilings, and damaging or obscuring character-defining features such as fireplaces, niches, stairways or alcoves, so that a new use can be accommodated in the building.

Discarding historic material when it can be reused within the rehabilitation project or relocating it in historically inappropriate areas.

Installing permanent partitions that damage or obscure character-defining spaces, features, or finishes.

Enclosing an interior stairway with fire-rated construction so that the stairwell space or any character-defining features are destroyed.

*Recommended*

Placing new code-required stairways or elevators in secondary and service areas of the historic building.

Creating an atrium or a light well to provide natural light when required for the new use in a manner that preserves character-defining interior spaces, features, and finishes as well as the structural system.

Adding a new floor if required for the new use in a manner that preserves character-defining structural features, and interior spaces, features, and finishes.

*Not Recommended*

Radically changing, damaging, or destroying character-defining spaces, features, or finishes when adding new code-required stairways and elevators.

Destroying character-defining interior spaces, features, or finishes; or damaging the structural system in order to create an atrium or light well.

Inserting a new floor within a building that alters or destroys the fenestration; radically changes a character-defining interior space; or obscures, damages, or destroys decorative detailing.

## Building Interior

### Mechanical Systems: Heating, Air Conditioning, Electrical, and Plumbing

#### *Recommended*

*Identifying, retaining, and preserving* visible features of early mechanical systems that are important in defining the overall historic character of the building, such as radiators, vents, fans, grilles, plumbing fixtures, switchplates, and lights.

*Protecting and maintaining* mechanical, plumbing, and electrical systems and their features through cyclical cleaning and other appropriate measures.

Preventing accelerated deterioration of mechanical systems by providing adequate ventilation of attics, crawlspaces, and cellars so that moisture problems are avoided.

Improving the energy efficiency of existing mechanical systems to help reduce the need for elaborate new equipment. Consideration should be given to installing storm windows, insulating attic crawl space, or adding awnings, if appropriate.

*Repairing* mechanical systems by augmenting or upgrading system parts, such as installing new pipes and ducts; rewiring; or adding new compressors or boilers.

*Replacing* in kind—or with compatible substitute material—those visible features of mechanical systems that are either extensively deteriorated or are prototypes such as ceiling fans, switchplates, radiators, grilles, or plumbing fixtures.

#### *Not Recommended*

Removing or radically changing features of mechanical systems that are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of mechanical systems and their visible features results.

Enclosing mechanical systems in areas that are not adequately ventilated so that deterioration of the systems results.

Installing unnecessary air conditioning or climate control systems which can add excessive moisture to the building. This additional moisture can either condense inside, damaging interior surfaces, or pass through interior walls to the exterior, potentially damaging adjacent materials as it migrates.

Replacing a mechanical system or its functional parts when it could be upgraded and retained.

Installing a visible replacement feature that does not convey the same visual appearance.



*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

*Recommended*

**Alterations/Additions for the New Use**

Installing a completely new mechanical system if required for the new use so that it causes the least alteration possible to the building's floor plan, the exterior elevations, and the least damage to the historic building material.

Providing adequate structural support for new mechanical equipment.

Installing the vertical runs of ducts, pipes, and cables in closets, service rooms, and wall cavities.

Installing air conditioning units if required by the new use in such a manner that historic features are not damaged or obscured and excessive moisture is not generated that will accelerate deterioration of historic materials.

Installing heating/air conditioning units in the window frames in such a manner that the sash and frames are protected. Window installations should be considered only when all other viable heating/cooling systems would result in significant damage to historic materials.

*Not Recommended*

Installing a new mechanical system so that character-defining structural or interior features are radically changed, damaged, or destroyed.

Failing to consider the weight and design of new mechanical equipment so that, as a result, historic structural members or finished surfaces are weakened or cracked.

Installing vertical runs of ducts, pipes, and cables in places where they will obscure character-defining features.

Concealing mechanical equipment in walls or ceilings in a manner that requires the removal of historic building material.

Installing a "dropped" acoustical ceiling to hide mechanical equipment when this destroys the proportions of character-defining interior spaces.

Cutting through features such as masonry walls in order to install air conditioning units.

Radically changing the appearance of the historic building or damaging or destroying windows by installing heating/air conditioning units in historic window frames.

## Building Site

### *Recommended*

*Identifying, retaining, and preserving* buildings and their features as well as features of the site that are important in defining its overall historic character. Site features may include circulation systems such as walks, paths, roads, or parking; vegetation such as trees, shrubs, fields, or herbaceous plant material; landforms such as terracing, berms or grading; furnishings such as lights, fences, or benches; decorative elements such as sculpture, statuary or monuments; water features including fountains, streams, pools, or lakes; and subsurface archeological features which are important in defining the history of the site.

Retaining the historic relationship between buildings and the landscape.

*Protecting and maintaining* buildings and the site by providing proper drainage to assure that water does not erode foundation walls; drain toward the building; or damage or erode the landscape.

Minimizing disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archeological resources.

### *Not Recommended*

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

Removing or relocating buildings or landscape features, thus destroying the historic relationship between buildings and the landscape.

Removing or relocating historic buildings on a site or in a complex of related historic structures—such as a mill complex or farm—thus diminishing the historic character of the site or complex.

Moving buildings onto the site, thus creating a false historical appearance.

Radically changing the grade level of the site. For example, changing the grade adjacent to a building to permit development of a formerly below-grade area that would drastically change the historic relationship of the building to its site.

Failing to maintain adequate site drainage so that buildings and site features are damaged or destroyed; or alternatively, changing the site grading so that water no longer drains properly.

Introducing heavy machinery into areas where it may disturb or damage important landscape features or archeological resources.

### *Recommended*

Surveying and documenting areas where the terrain will be altered to determine the potential impact to important landscape features or archeological resources.

Protecting, e.g., preserving in place important archeological resources.

Planning and carrying out any necessary investigation using professional archeologists and modern archeological methods when preservation in place is not feasible.

Preserving important landscape features, including ongoing maintenance of historic plant material.

Protecting the building and landscape features against arson and vandalism before rehabilitation work begins, i.e., erecting protective fencing and installing alarm systems that are keyed into local protection agencies.

Providing continued protection of historic building materials and plant features through appropriate cleaning, rust removal, limited paint removal, and re-application of protective coating systems; and pruning and vegetation management.

Evaluating the overall condition of the materials and features of the property to determine whether more than protection and maintenance are required, that is, if repairs to building and site features will be necessary.

### *Not Recommended*

Failing to survey the building site prior to the beginning of rehabilitation work which results in damage to, or destruction of, important landscape features or archeological resources.

Leaving known archeological material unprotected so that it is damaged during rehabilitation work.

Permitting unqualified personnel to perform data recovery on archeological resources so that improper methodology results in the loss of important archeological material.

Allowing important landscape features to be lost or damaged due to a lack of maintenance.

Permitting the property to remain unprotected so that the building and landscape features or archeological resources are damaged or destroyed.

Removing or destroying features from the building or site such as wood siding, iron fencing, masonry balustrades, or plant material.

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of building and site features results.

Failing to undertake adequate measures to assure the protection of building and site features.

## Rehabilitation

### *Recommended*

**Repairing** features of the building and site by reinforcing historic materials.

**Replacing** in kind an entire feature of the building or site that is too deteriorated to repair if the overall form and detailing are still evident. Physical evidence from the deteriorated feature should be used as a model to guide the new work. This could include an entrance or porch, walkway, or fountain. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Replacing deteriorated or damaged landscape features in kind.

### *Not Recommended*

Replacing an entire feature of the building or site such as a fence, walkway, or driveway when repair of materials and limited compatible replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the building or site feature or that is physically or chemically incompatible.

Removing a feature of the building or site that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

Adding conjectural landscape features to the site such as period reproduction lamps, fences, fountains, or vegetation that are historically inappropriate, thus creating a false sense of historic development.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation project work and should only be considered after the preservation concerns listed above have been addressed.*

#### *Recommended*

#### **Design for the Replacement of Missing Historic Features**

Designing and constructing a new feature of a building or site when the historic feature is completely missing, such as an outbuilding, terrace, or driveway. It may be based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character of the building and site.

#### **Alterations/Additions for the New Use**

Designing new onsite parking, loading docks, or ramps when required by the new use so that they are as unobtrusive as possible and assure the preservation of the historic relationship between the building or buildings and the landscape.

Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserves the historic relationship between the building or buildings and the landscape.

Removing non-significant buildings, additions, or site features which detract from the historic character of the site.

#### *Not Recommended*

Creating a false historical appearance because the replaced feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new building or site feature that is out of scale or of an otherwise inappropriate design.

Introducing a new landscape feature, including plant material, that is visually incompatible with the site, or that alters or destroys the historic site patterns or vistas.

Locating any new construction on the building site in a location which contains important landscape features or open space, for example removing a lawn and walkway and installing a parking lot.

Placing parking facilities directly adjacent to historic buildings where automobiles may cause damage to the buildings or landscape features, or be intrusive to the building site.

Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color, and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features.

Removing a historic building in a complex of buildings; or removing a building feature, or a landscape feature which is important in defining the historic character of the site.



## Setting (District/Neighborhood)

### *Recommended*

*Identifying retaining, and preserving* building and landscape features which are important in defining the historic character of the setting. Such features can include roads and streets, furnishings such as lights or benches, vegetation, gardens and yards, adjacent open space such as fields, parks, commons or woodlands, and important views or visual relationships.

Retaining the historic relationship between buildings and landscape features of the setting. For example, preserving the relationship between a town common and its adjacent historic houses, municipal buildings, historic roads, and landscape features.

*Protecting and maintaining* historic building materials and plant features through appropriate cleaning, rust removal, limited paint removal, and reapplication of protective coating systems; and pruning and vegetation management.

Protecting building and landscape features such as lighting or trees, against arson and vandalism before rehabilitation work begins by erecting protective fencing and installing alarm systems that are keyed into local protection agencies.

Evaluating the overall condition of the building and landscape features to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary.

### *Not Recommended*

Removing or radically changing those features of the setting which are important in defining the historic character.

Destroying the relationship between the buildings and landscape features within the setting by widening existing streets, changing landscape materials or constructing inappropriately located new streets or parking.

Removing or relocating historic buildings or landscape features, thus destroying their historic relationship within the setting.

Failing to provide adequate protection of materials on a cyclical basis which results in the deterioration of building and landscape features.

Permitting the building and setting to remain unprotected so that interior or exterior features are damaged.

Stripping or removing features from buildings or the setting such as wood siding, iron fencing, terra cotta balusters, or plant material.

Failing to undertake adequate measures to assure the protection of building and landscape features.

*Recommended*

Repairing features of the building and landscape by reinforcing the historic materials. Repair will also generally include the replacement in kind—or with a compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balustrades or paving materials.

*Replacing* in kind an entire feature of the building or landscape that is too deteriorated to repair—when the overall form and detailing are still evident—using the physical evidence as a model to guide the new work. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

*Not Recommended*

Replacing an entire feature of the building or landscape when repair of materials and limited replacement of deteriorated or missing parts are appropriate.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the building or landscape, or that is physically, chemically, or ecologically incompatible.

Removing a feature of the building or landscape that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.

*The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.*

### *Recommended*

#### **Design for the Replacement of Missing Historic Features**

Designing and constructing a new feature of the building or landscape when the historic feature is completely missing, such as row house steps, a porch, a streetlight, or terrace. It may be a restoration based on documentary or physical evidence; or be a new design that is compatible with the historic character of the setting.

#### **Alterations/Additions for the New Use**

Designing required new parking so that it is as unobtrusive as possible, thus minimizing the effect on the historic character of the setting. “Shared” parking should also be planned so that several businesses can utilize one parking area as opposed to introducing random, multiple lots.

Designing and constructing new additions to historic buildings when required by the new use. New work should be compatible with the historic character of the setting in terms of size, scale design, material, color, and texture.

Removing nonsignificant buildings, additions or landscape features which detract from the historic character of the setting.

### *Not Recommended*

Creating a false historical appearance because the replaced feature is based on insufficient documentary or physical evidence.

Introducing a new building or landscape feature that is out of scale or otherwise inappropriate to the setting’s historic character, e.g., replacing picket fencing with chain link fencing.

Placing parking facilities directly adjacent to historic buildings which result in damage to historic landscape features, such as the removal of plant material, relocation of paths and walkways, or blocking of alleys.

Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

Removing a historic building, building feature, or landscape feature that is important in defining the historic character of the setting.



*a*



*b*



*c*

*If a rear elevation of a historic building is distinctive and highly visible in the neighborhood, altering it may not meet the Standards. (a and b) This 3-story brick rowhouse featured a second story gallery and brick kitchen wing characteristic of other residences in the district which backed onto a connecting roadway. (c) In the rehabilitation, the wing and gallery were demolished and a large addition constructed that severely impacted the building's historic form and character.*

*Although the work in these sections is quite often an important aspect of rehabilitation projects, it is usually not part of the overall process of preserving character-defining features (maintenance, repair, replacement); rather, such work is assessed for its potential negative impact on the building's historic character. For this reason, particular care must be taken not to obscure, radically change, damage, or destroy character-defining features in the process of rehabilitation work.*

### **Energy Efficiency**

#### *Recommended*

#### **Masonry/Wood/Architectural Metals**

Installing thermal insulation in attics and in unheated cellars and crawlspaces to increase the efficiency of the existing mechanical systems.

Installing insulating material on the inside of masonry walls to increase energy efficiency where there is no character-defining interior molding around the windows or other interior architectural detailing.

#### **Windows**

Utilizing the inherent energy conserving features of a building by maintaining windows and louvered blinds in good operable condition for natural ventilation.

Improving thermal efficiency with weatherstripping, storm windows, caulking, interior shades, and if historically appropriate, blinds and awnings.

Installing interior storm windows with air-tight gaskets, ventilating holes, and/or removable clips to ensure proper maintenance and to avoid condensation damage to historic windows.

Installing exterior storm windows which do not damage or obscure the windows and frames.

#### *Not Recommended*

Applying thermal insulation with a high moisture content in wall cavities which may damage historic fabric.

Installing wall insulation without considering its effect on interior molding or other architectural detailing.

Removing historic shading devices rather than keeping them in an operable condition.

Replacing historic multi-paned sash with new thermal sash utilizing false muntins.

Installing interior storm windows that allow moisture to accumulate and damage the window.

Installing new exterior storm windows which are inappropriate in size or color.

Replacing windows or transoms with fixed thermal glazing or permitting windows and transoms to remain inoperable rather than utilizing them for their energy conserving potential.



*Recommended*

**Entrances and Porches**

Maintaining porches and double vestibule entrances so that they can retain heat or block the sun and provide natural ventilation.

**Interior Features**

Retaining historic interior shutters and transoms for their inherent energy conserving features.

**Mechanical Systems**

Improving energy efficiency of existing mechanical systems by installing insulation in attics and basements.

**Building Site**

Retaining plant materials, trees, and landscape features which perform passive solar energy functions such as sun shading and wind breaks.

**Setting (District/Neighborhood)**

Maintaining those existing landscape features which moderate the effects of the climate on the setting such as deciduous trees, evergreen wind-blocks, and lakes or ponds.

**New Additions to Historic Buildings**

Placing a new addition that may be necessary to increase energy efficiency on non-character-defining elevations.

*Not Recommended*

Changing the historic appearance of the building by enclosing porches.

Removing historic interior features which play an energy conserving role.

Replacing existing mechanical systems that could be repaired for continued use.

Removing plant materials, trees, and landscape features that perform passive solar energy functions.

Stripping the setting of landscape features and landforms so that effects of the wind, rain, and sun result in accelerated deterioration of the historic building.

Designing a new addition which obscures, damages, or destroys character-defining features.

## New Additions to Historic Buildings

### *Recommended*

Placing functions and services required for the new use in non-character-defining interior spaces rather than constructing a new addition.

Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Designing a new addition in a manner that makes clear what is historic and what is new.

### *Not Recommended*

Expanding the size of the historic building by constructing a new addition when the new use could be met by altering non-character-defining interior spaces.

Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Duplicating the exact form, material, style, and detailing of the historic building in a new addition so that the new work appears to be part of the historic building.

Imitating a historic style or period of architecture in a new addition.



*Rehabilitation, like Preservation, acknowledges a building's change over time; the retention and repair of existing historic materials and features is thus always recommended. However, unlike Preservation, the dual goal of Rehabilitation is to—respectfully—add to or alter a building in order to meet new use requirements. This downtown Chicago library was expanded in 1981 when additional space was required with light and humidity control for the rare book collection. The compatible 10-story wing was linked to the historic block on side and rear elevations. Its simple design is compatible with the historic form, features, and detailing; old and new are clearly differentiated. Photo: Dave Clifton.*

### *Recommended*

Considering the design for an attached exterior addition in terms of its relationship to the historic building as well as the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

Placing a new addition on a non-character-defining elevation and limiting the size and scale in relationship to the historic building.

Designing a rooftop addition when required for the new use, that is set back from the wall plane and as inconspicuous as possible when viewed from the street.

### *Not Recommended*

Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.

Designing a new addition that obscures, damages, or destroys character-defining features of the historic building.

Constructing a rooftop addition so that the historic appearance of the building is radically changed.

## Accessibility Considerations

### *Recommended*

Identifying the historic building's character-defining spaces, features, and finishes so that accessibility code-required work will not result in their damage or loss.

Complying with barrier-free access requirements, in such a manner that character-defining spaces, features, and finishes are preserved.

Working with local disability groups, access specialists, and historic preservation specialists to determine the most appropriate solution to access problems.

Providing barrier-free access that promotes independence for the disabled person to the highest degree practicable, while preserving significant historic features.

Designing new or additional means of access that are compatible with the historic building and its setting.

### *Not Recommended*

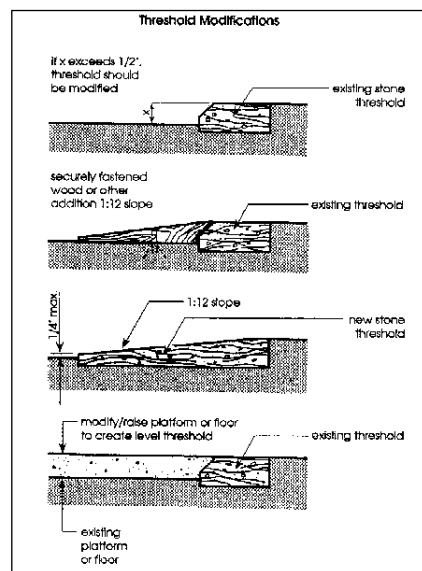
Undertaking code-required alterations before identifying those spaces, features, or finishes which are character-defining and must therefore be preserved.

Altering, damaging, or destroying character-defining features in attempting to comply with accessibility requirements.

Making changes to buildings without first seeking expert advice from access specialists and historic preservationists, to determine solutions.

Making access modifications that do not provide a reasonable balance between independent, safe access and preservation of historic features.

Designing new or additional means of access without considering the impact on the historic building and its setting.



*Making a building accessible to the public is a requirement under the Americans with Disabilities Act of 1990, whatever the treatment. Full, partial, or alternative approaches to accessibility depends upon the historical significance of a building and the ability to make changes. In these examples, thresholds that exceed allowable heights were modified several ways to increase accessibility, without jeopardizing the historic character. Drawing: Uniform Federal Accessibility Standard (UFAS) Retrofit Manual.*

## Health and Safety Considerations

### *Recommended*

Identifying the historic building's character-defining spaces, features, and finishes so that code-required work will not result in their damage or loss.

Complying with health and safety codes, including seismic code requirements, in such a manner that character-defining spaces, features, and finishes are preserved.

Removing toxic building materials only after thorough testing has been conducted and only after less invasive abatement methods have been shown to be inadequate.

Providing workers with appropriate personal protective equipment for hazards found in the worksite.

Working with local code officials to investigate systems, methods, or devices of equivalent or superior effectiveness and safety to those prescribed by code so that unnecessary alterations can be avoided.

Upgrading historic stairways and elevators to meet health and safety codes in a manner that assures their preservation, i.e., so that they are not damaged or obscured.

Installing sensitively designed fire suppression systems, such as sprinkler systems that result in retention of historic features and finishes.

Applying fire-retardant coatings, such as intumescent paints, which expand during fire to add thermal protection to steel.

Adding a new stairway or elevator to meet health and safety codes in a manner that preserves adjacent character-defining features and spaces.

Placing a code-required stairway or elevator that cannot be accommodated within the historic building in a new exterior addition. Such an addition should be on an inconspicuous elevation.

### *Not Recommended*

Undertaking code-required alterations to a building or site before identifying those spaces, features, or finishes which are character-defining and must therefore be preserved.

Altering, damaging, or destroying character-defining spaces, features, and finishes while making modifications to a building or site to comply with safety codes.

Destroying historic interior features and finishes without careful testing and without considering less invasive abatement methods.

Removing unhealthful building materials without regard to personal and environmental safety.

Making changes to historic buildings without first exploring equivalent health and safety systems, methods, or devices that may be less damaging to historic spaces, features, and finishes.

Damaging or obscuring historic stairways and elevators or altering adjacent spaces in the process of doing work to meet code requirements.

Covering character-defining wood features with fire-resistant sheathing which results in altering their visual appearance.

Using fire-retardant coatings if they damage or obscure character-defining features.

Radically changing, damaging, or destroying character-defining spaces, features, or finishes when adding a new code-required stairway or elevator.

Constructing a new addition to accommodate code-required stairs and elevators on character-defining elevations highly visible from the street; or where it obscures, damages, or destroys character-defining features.



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