

CITY OF SAN DIEGO
M E M O R A N D U M

DATE: August 13, 2009
TO: Historical Resources Board
FROM: Kelley Saunders, Senior Planner, Historical Resources
SUBJECT: Item #8, 155 19th Street

This item was continued from the July 23, 2009 HRB hearing at the request of the Board with direction to provide the approved project plans. Those plans are provided as Attachment 2 of this memo.

In addition, staff received a letter from the applicant's attorney dated July 28, 2009 requesting that staff clarify two issues raised by the Board at the hearing (Attachment 1). The first is the use of non-wood windows on the side elevation. The applicant contends that staff told the applicant that non-wood windows would be acceptable on the side and rear of the house. This is not accurate. The notes on the plans required by staff clearly state that one-over-one wood frame and sash windows are required. The applicant deviated both from the required and approved material and window operation. The second issue is the varnishing of the exterior. The notes do require paint in light earth tones and warm pastels with darker colors used for accent. However, staff has found documentation from staff to the applicant which identifies staining and varnishing of the exterior siding. Regardless, staff feels that the finish of the wood is minor issue compared to the inaccurate reconstruction of the proportions and dimensions of the house and the use of inappropriate window materials and operations.

At this time the staff recommendation to rescind the designation of the property at 155 19th Street, designated as HRB Site #208-003, due to a loss of integrity remains unchanged.



Kelley Saunders
Senior Planner

Attachments: 1. Letter from the applicant's attorney dated July 28, 2009
2. Approved plans for the reconstruction of the house.

SHAPIRO & CLAMON

ATTORNEYS AT LAW
CHAMBER BUILDING
110 WEST "C" STREET, SUITE 2208
SAN DIEGO, CA 92101-3908
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July 28, 2009

Kelley Saunders, Senior Planner
Historical Resources
City Planning & Community Investment
202 "C" Street, MS 5A
San Diego, CA. 92101

**RE: ROGER ROBLEDO
155 19TH STREET**

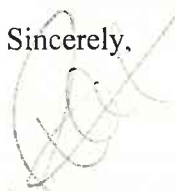
Dear Ms. Saunders:

Thank you for setting up our hearing last week. Although Mr. Robledo and I would have preferred they made a decision at the last meeting, we understand that this is a case of "first impression."

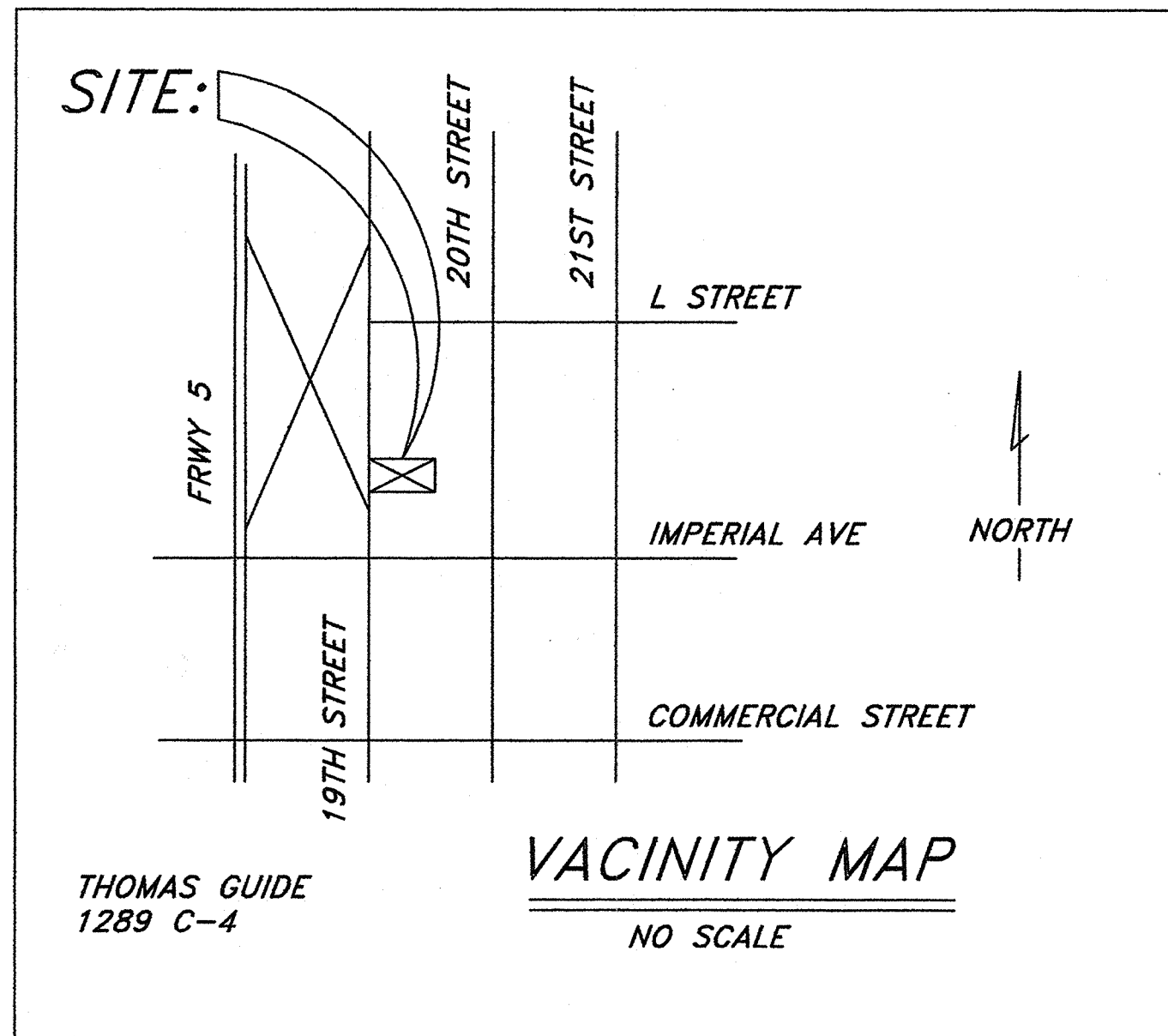
There were a couple of issues that were brought up at the hearing that we were not allowed to respond to, as the Board Chair informed me that public discussion was closed. Mention was made of the aluminum windows and we wanted to make sure the Board understood that Mr. Robledo was informed that the front windows had to remain wood, however the side and rear windows could be aluminum.

Secondly, the issue of varnishing the exterior wood was brought up. Mr. Robledo informed me that he requested permission to varnish the wood and was given it by someone in your staff. We appreciate you advising the panel of these points. Should you wish to discuss any of the above matters or other pertinent information, please feel free to call us at any time.

Sincerely,



Philip A. Shapiro, Esq.
SHAPIRO & CLAMON
PAS/ti



THOMAS GUIDE
1289 C-4

VACINITY MAP
NO SCALE

DESIGNATED HISTORICAL RESOURCE

This site has been designated as a historical resource by the City of San Diego. Any alterations, additions, modifications, demolition, or enhancements must be reviewed by Historical Resources Board (HRB) staff for consistency with all applicable standards and regulations, consistent with San Diego Municipal Code Sections 143.0210, 143.0211, and 143.0251. This project, as identified in detail on these plans, has been reviewed and approved by HRB staff. Any changes to the approved design must be brought back to staff for review and approval PRIOR to the plan changes being carried out.

Consistent with the U.S. Secretary of the Interior's Standards for Rehabilitation
Consistent with the Historical Resources Regulations
Consistent with applicable design guidelines
Reviewers Name: Vicky Saunders Date: 6/13/07 Phone: 36508
HRB Site Number: 208-003 PTS Number: 129576

MUST BE SIGNED!!
ACKNOWLEDGEMENT OF HISTORICAL DESIGNATION

As the contractor working on a project involving a designated historical resource, I understand that any and all modifications to the structure must be consistent with the U.S. Secretary of the Interior's Standards for the Treatment of Historical Properties and the City of San Diego Historical Resources Regulations; and I understand that this project, which has been reviewed and approved by the Historical Resources Board (HRB) staff, has been reviewed for consistency with those standards and regulations. I also understand that ANY modifications or plan changes MUST be reviewed by HRB staff for consistency with all applicable standards and regulations PRIOR to the modifications or plan changes being carried out, consistent with San Diego Municipal Code Sections 143.0210, 143.0211 and 143.0251. Failure to receive HRB staff approval will result in consequences which may include, but are not limited to, fines, a stop work order, a site Development Permit, restoration/reconstruction, de-designation, and cancellation of the Mills Act property tax reduction, if applicable.

Signature: Leticia Garcia
Print Name: Leticia Garcia Date: 06-13-07

DESIGNATED HISTORICAL RESOURCE

THIS HOUSE IS A DESIGNATED HISTORICAL RESOURCE, LISTED AS HRB SITE #208-003 WITHIN THE SHERMAN HIGHTS HISTORICAL DISTRICT. THE FOLLOWING PLANS WERE REVIEWED AND APPROVED BY HISTORICAL RESOURCES BOARD (HRB) STAFF. ANY AND ALL MODIFICATIONS TO OR DEVIATIONS FROM THESE PLANS MUST BE REVIEWED AND APPROVED BY HRB STAFF PRIOR TO THOSE CHANGES BEING CARRIED OUT. THE FOLLOWING SCOPE OF WORK HAS BEEN REVIEWED AND APPROVED:

ROOF:
1. THE DOUBLE-GABLE ROOFLINE OF THE HISTORICAL PORTION OF THE HOUSE SHALL BE RECONSTRUCTED WITH THE SAME PITCH, EAVE OVERHANG, AND EXPOSED RAFTER TAILS. THE ROOF OVER THE ADDITIONS AT THE REAR SHALL BE FLAT.
2. ROOFING MATERIALS SHALL BE DARK BROWN OR GRAY COMPOSITE SHINGLE.

SIDING:
1. THE ORIGINAL HISTORICAL SIDING, EXISTING ON THE HOUSE UNDER 3 LAYERS OF NON-HISTORIC SIDING, WILL BE PRESERVED AND REPAIRED. WHERE REPAIR IS NOT POSSIBLE, THE SIDING WILL BE REPLACED IN-KIND WITH MATERIALS AND SIZE, UNDER THE DIRECTION AND GUIDANCE OF HRB STAFF.

PORCH:
1. THE PORCH, WHICH IS SEVERELY DETERIORATED, SHALL BE REPLACED IN-KIND.
2. THE SECOND, NON-HISTORIC DOOR WHICH WAS ADDED TO THE RIGHT OF THE PORCH WILL BE REMOVED AND FRAMED IN WITH A 1-OVER-1 WOOD FRAMED WINDOW.

WINDOWS:
1. ALL EXISTING WOOD FRAMED WINDOWS WILL BE REPAIRED. THOSE WINDOWS WHICH ARE BEYOND REPAIR WILL BE REPLACED IN-KIND WITH NEW 1-OVER-1 WOOD FRAME AND SASH WINDOWS.
2. ALL WINDOWS ALONG THE PRIMARY (19TH STREET) ELEVATION WILL BE ORIGINAL WOOD FRAME AND SASH WINDOWS.
3. NON-HISTORIC ALUMINUM WINDOWS WILL BE REPLACED WITH NEW 1-OVER-1 WOOD FRAME AND SASH WINDOWS.

FOUNDATION:
1. THE FOOTINGS WILL BE REPLACED, WITH SOME GRADING TO OCCURE AT THE REAR OF THE PROPERTY TO CREATE A LEVEL FOUNDATION. THIS GRADING WILL NOT OCCURE AT THE FRONT OF THE PROPERTY, WHICH WILL APPEAR AS IT DID HISTORICALLY.

PAINT:
1. PAINT SHALL BE PASTEL OR EARTH TONES WITH DARK COLORS USED ONLY FOR ACCENTS.

City of San Diego
Development Services
APPROVED
Permit No. 446260 Plan File No. 129576
This set of plans and specifications MUST be kept on the job at all times. It is intended to make any changes or alterations on same without written permission from Development Services. The stamping of these plans and specifications SHALL NOT be held to permit nor approve the violation of any City, County, State, or Federal Laws, nor other restrictions.
By: C. Barnett Date: 6-13-07
Scales: Issued By: Date:
THIS IS NOT A BUILDING PERMIT.

City of San Diego
Development Services
Information & Application Services
APPROVALS
By: Cheryl Barnett Date: 6-13-07
Structural: OK for rebuild remodel
Mechanical: + 376 added to show to this
Zoning: historical SFD.
Zone: c. Barnett

- NOTES:
1. ALL SURFACE WATER TO DRAIN AWAY FROM BUILDING AND PROPERTY LINE TO ALLEY OR STREET.
 2. VERIFY ALL UTILITY LOCATIONS (EXISTING OR NEW) PRIOR TO START OF CONSTRUCTION.
 3. THE HOSE BIBS AND LAWN SPRINKLER'S SYSTEMS SHALL HAVE APPROVED BACK FLOW DEVICES. UPC SECTION 1003.
 4. CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS.
 5. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO.
 6. THE INSPECTOR WILL RECHECK FOR EXPANSIVE SOILS AND/OR GRADING REQUIREMENTS AT THE FIRST FOUNDATION INSPECTION.

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- SCOPE OF WORK:
1. NO WORK TO BE DONE AT 151 19TH STREET
 2. WORK TO BE DONE AT 155 19TH STREET:
 - A. REMOVE EXISTING ROOF AND REPLACE WITH NEW ROOF PLAN.
 - B. REMODEL FLOOR PLAN (SEE NEW FLOOR PLAN)
 - C. REMOVE EXISTING FOUNDATIONS AND REPLACE WITH NEW FOUNDATION. (SEE NEW FOUNDATION PLAN)
 - D. NEW ADDITION OF 37 SQ.FT. AT SOUTH EAST CORNER OF HOUSE.

Owner: Leticia Garcia
155 19th Street
S.D. Ct 92102

LEGAL DESCRIPTION
LOT 2, Block 49
SHERMAN'S ADD REFILED
MAP NO. 856.

ASSESSOR PARCEL #: 535-414-03-00

LOT SIZE: 5,000 SQ.FT.

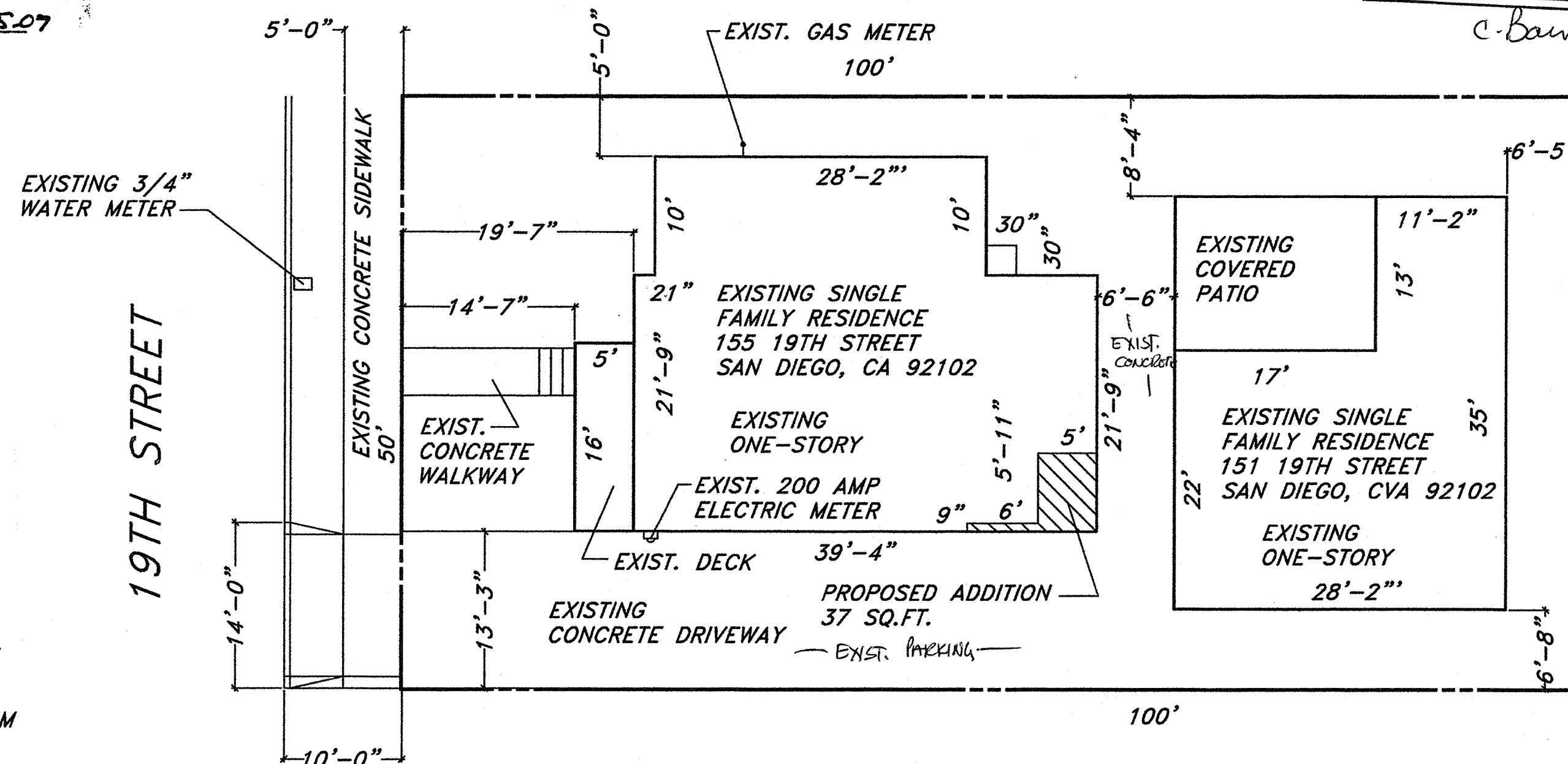
HOUSE DATA:
EXISTING FIRST FLOOR: 1,099 SQ.FT.
NEW FIRST FLOOR ADDITION: 37 SQ.FT.
TOTAL HOUSE: 1,136 SQ.FT.
EXISTING FRONT PORCH: 80 SQ.FT.

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01 NPDES NO. CAS010875 ([HTTP://WWW.SWRCB.CA.GOV/RWQCB9/PROGRAMS/SD_STORMWATER.HTML](http://www.swrcb.ca.gov/rwqcb9/PROGRAMS/SD_STORMWATER.HTML)) AND THE CITY OF SAN DIEGO LAND DEVELOPEMENT CODE ([HTTP://CLERKDOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?DMV_OBJECTID=090014518008CC43](http://CLERKDOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?DMV_OBJECTID=090014518008CC43))

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS %40 OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WOKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

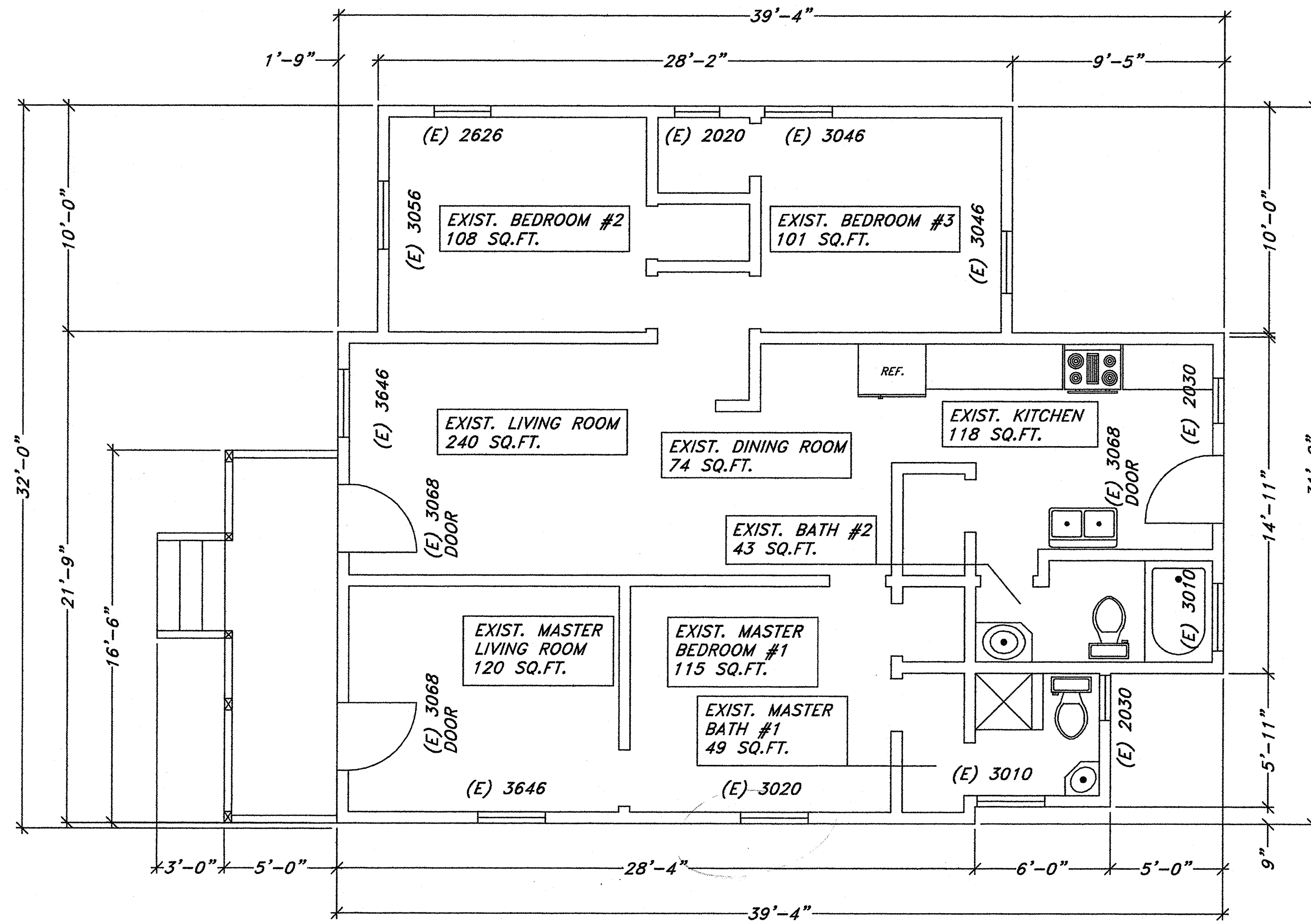


SITE PLAN

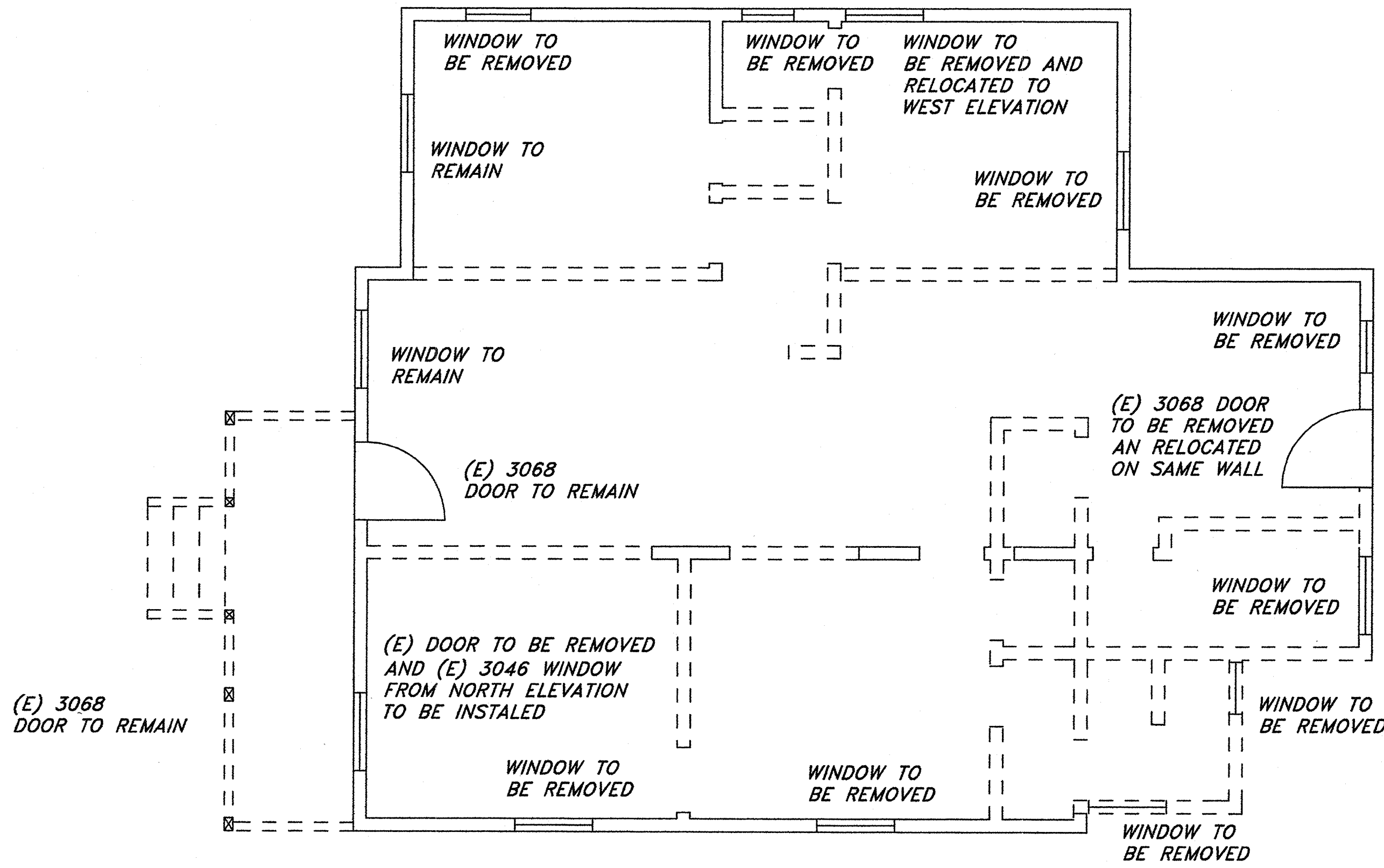
SCALE: 1" = 10'-0"

COMPOSITORS
DEVELOPMENT SERVICES
DEPARTMENT
Land Development Review
Plan File/Work O: 129576
Conforms to SESDPDO Contingent approval of HRB staff
By: Loren Breyer
Date: 5/20/07 Phone: 446-5378
Call _____ for landscape inspection
Any Revision To These Plans Will Require Another Stamp of Conformity

DATE: APRIL 19, 2007
DESIGNER: PETER TARANTINO 10728 ANAHEIM DRIVE LA MESA, CA 91941
SITE: 155 19TH STREET SAN DIEGO, CA 92102
DESCRIPTION: REMODEL AND ADDITION
OWNER: MR. ROGER ROBLEDO 151 19TH STREET SAN DIEGO, CA 92102
SHEET 1 OF 9



EXIST. FLOOR PLAN
SCALE: 1/4" = 1'-0"



DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:
EXISTING WALLS ———
WALLS REMOVED - - - -
NEW WALLS ———

NOTE: BEDROOM ELECTRICAL CIRCUITS MUST BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS (AFCI). (NEC 210.12)

NOTE: WATER HEATERS REQUIRE A MINIMUM OF 2 STRAPS TO RESIST HORIZONTAL DISPLACEMENT. A MINIMUM OF 3/8" X 24 GAUGE STRAPS WITH 1/2" X 3" LAG BOLTS ATTACHED DIRECTLY TO THE FRAMING (U.P.C. SEC 510.5)

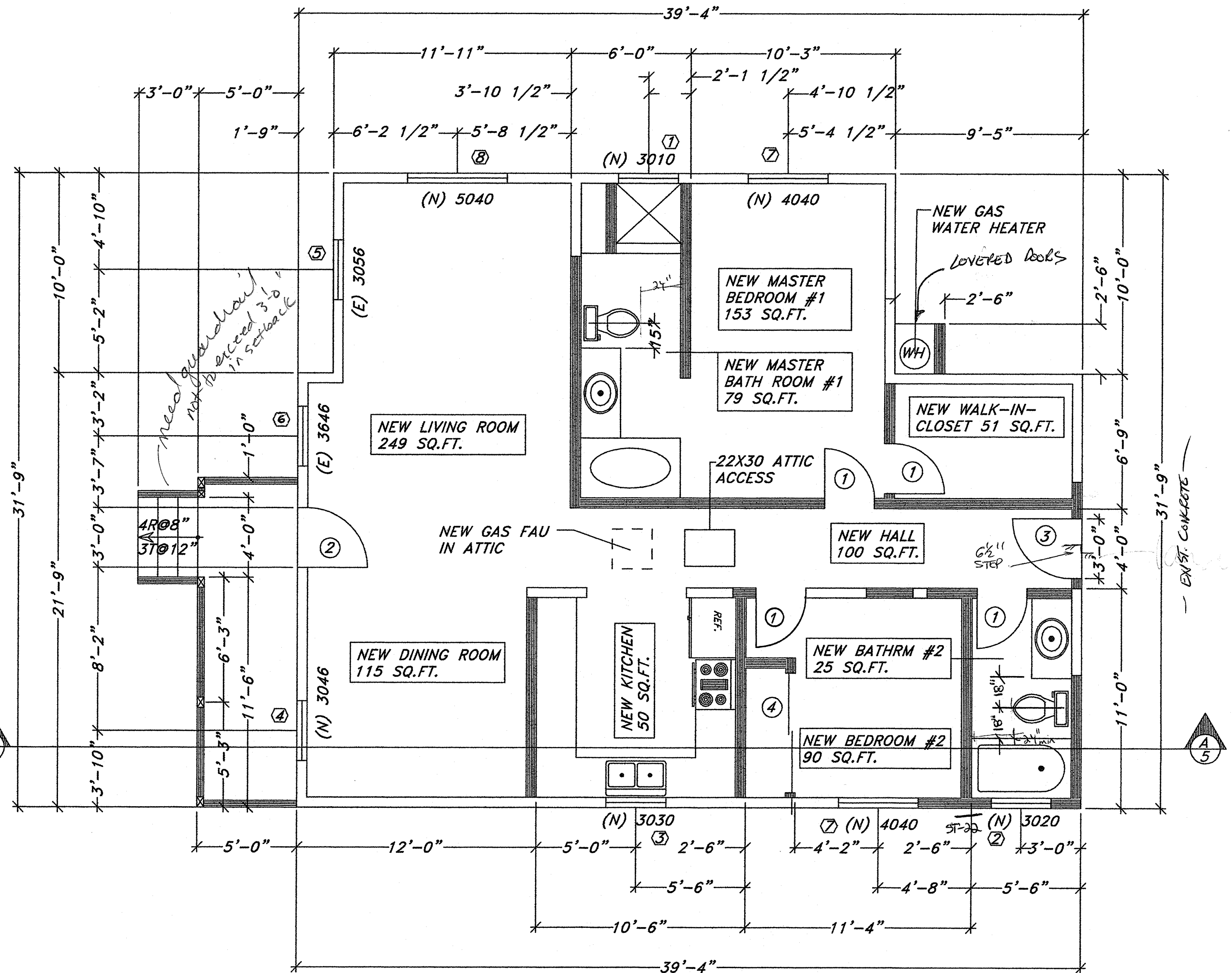
NOTE: THIS PROJECT WILL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING ORDINANCE.

NOTE: ALL LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS, AND OTHER ROOMS SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR (OR DIMMER FOR OTHER ROOMS ONLY).

NOTE: OUTDOOR LIGHTING SHALL BE HIGH EFFICACY LUMINAIRES OR SHALL BE CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR COMBINATION.

NOTE: IN ADDITION TO ANY TOILETS BEING ADDED TO THE BUILDING AS A RESULT OF THIS PROJECT, ALL EXISTING TOILETS MUST BE REPLACED WITH ULTRA-LOW-FLOW TOILETS. NOTE: ALL WATER CLOSETS IN THIS BUILDING TO BE STATE OF CALIFORNIA, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT APPROVED WITH MAXIMUM 1.6 GALLONS PER FLUSH. (COUNTY ORDINANCE #7870)

Note: State Health & Safety Code bans the use of CPVC (chlorinated polyvinyl chloride) + PG X (cross linked polyethylene) per Sec. 17921.9.

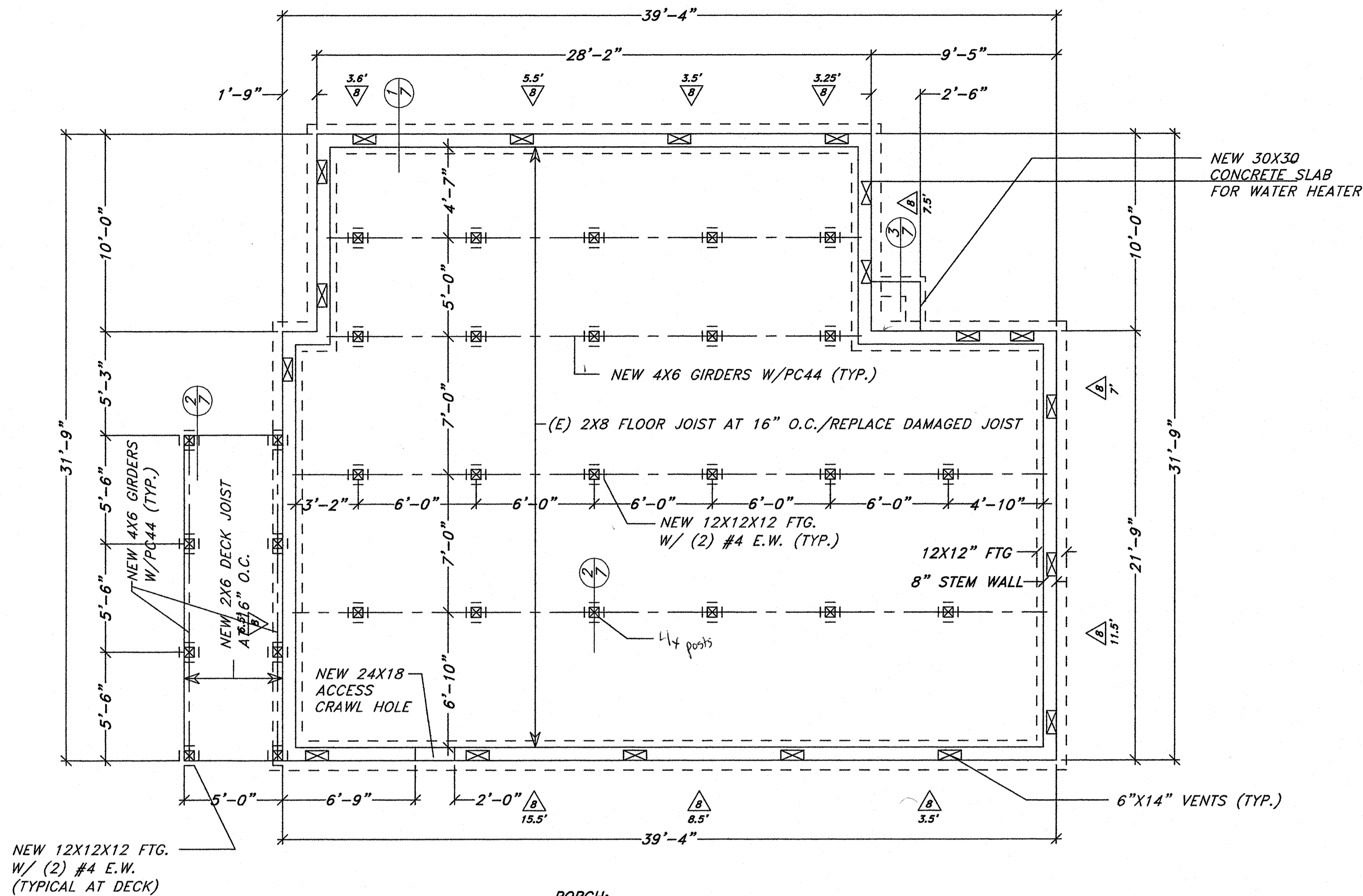


NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"

| WINDOW SCHEDULE | | | | |
|-----------------|-------|------|---------------------------|---------|
| SYM | QUANT | SIZE | TYPE | REMARKS |
| 1 | 1 | 3010 | XO SLIDING TEMPERED GLASS | |
| 2 | 1 | 3020 | XO SLIDING TEMPERED GLASS | |
| 3 | 1 | 3030 | SINGLE HUNG | |
| 4 | 1 | 3046 | (EXIST.) SINGLE HUNG | |
| 5 | 1 | 3056 | (EXIST.) SINGLE HUNG | |
| 6 | 1 | 3646 | (EXIST.) SINGLE HUNG | |
| 7 | 2 | 4040 | SINGLE HUNG | |
| 8 | 1 | 5040 | SINGLE HUNG | |

| DOOR SCHEDULE | | | | |
|---------------|-------|------|---------------------------------------|------------|
| SYM | QUANT | SIZE | TYPE | REMARKS |
| 1 | 4 | 2668 | INTERIOR SWINGING | |
| 2 | 1 | 3068 | (EXIST.) EXTERIOR SWINGING FRONT DOOR | SOLID CORE |
| 3 | 1 | 3068 | (EXIST.) EXTERIOR SWINGING DOOR | SOLID CORE |
| 4 | 2 | 3068 | CLOSET DOORS SLIDING | |

DATE: MARCH 20, 2007
 DESIGNER: PETER TARANTINO
 10728 ANAHEIM DRIVE
 LA MESA, CA 91941
 DESCRIPTION: REMODEL AND ADDITION
 OWNER: MR. ROGER ROBLEDO
 151 19TH STREET
 SAN DIEGO, CA 92102
 SHEET
 2
 OF 9



- FOUNDATION NOTES**
1. FOUNDATION DESIGN IS BASED ON 1000 P.S.F.
 2. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGICAL INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND SUBMITAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.
 3. TYPICAL FOOTING TO BE 12" X 12" @ 1 STORY; 15" X 18" @ 2 STORY CONDITIONS UNLESS OTHERWISE SPECIFIED ON FOUNDATION DETAILS.
 4. ALL HOLDDOWNS ANCHORS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
 5. NO PLUMBING PIPES OVER ONE INCH DIAMETER IN SHEAR WALLS.
 6. ALL HOLDDOWNS ON 4" X 4" POST MIN. U.N.O.
 7. ALL CONCRETE BUILDING SLABS SHALL BE MIN. 4" THICK WITH #3 REBARS AT 24" O.C. MIN. E.W. @ MIDDLE THIRD OF SLAB WITH 2" MIN. SAND FILL OVER 6 MIL. VISQUEEN.
 8. THE CONCRETE SLAB IS TO BE POURED MONOLITHICALLY.
 9. WOOD TO BE MIN. 6" ABOVE ADJACENT NATURAL OR FINISHED GRADE.
 10. ANCHOR BOLTS TO BE 5/8" X 10" LONG ON 2X SILL AND 12" LONG ON 3X SILL EMBEDDED AT LEAST 7" INTO CONCRETE WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE AT 6'-0" O.C. MIN. OR LESS PER SHEAR TRANSFER SCHEDULE WITH 2" X 2" X 3/16" THICK WASHERS.
 11. PROVIDE A MINIMUM OF 2 ANCHOR BOLTS PER SHEAR PANEL.
 12. IF A SHEAR WALL OCCURS ON BOTH SIDES OF A FOOTING THEN THE ANCHOR BOLT SPACING IS TO BE REDUCED BY 1/2.
 13. CONCRETE TO REACH 2500 P.S.I. AT 28 DAYS.
 14. FOR INTERIOR NON-BEARING WALLS, USE RAMSET POWER DRIVEN PIN AT 32" O.C. PER I.C.B.O. #1147.
 15. HORIZONTAL DISTANCE FROM BOTTOM LEADING EDGE OF FOOTING TO DAYLIGHT SHALL BE 7'-0" MINIMUM OR AS RECOMMENDED BY SOILS REPORT.

- PORCH:**
1. THE PORCH, WHICH IS SEVERELY DETERIORATED, SHALL BE REPLACED IN-KIND.
 2. THE SECOND, NON-HISTORIC DOOR WHICH WAS ADDED TO THE RIGHT OF THE PORCH WILL BE REMOVED AND FRAMED IN WITH A 1-OVER-1 WOOD FRAMED WINDOW.

- FOUNDATION:**
1. THE FOOTINGS WILL BE REPLACED, WITH SOME GRADING TO OCCURE AT THE REAR OF THE PROPERTY TO CREATE A LEVEL FOUNDATION. THIS GRADING WILL NOT OCCURE AT THE FRONT OF THE PROPERTY, WHICH WILL APPEAR AS IT DID HISTORICALLY.

UNDER FLOOR VENTILATION CALC'S:

AREA: 1,127 SQ.FT X 1/150 = 7.57 SQ.FT. REQ.
VENTS ARE 5"X14" = .58 SQ.FT.
HAVE (19) VENTS X .58 SQ.FT. = 11.02 SQ.FT.

⊠ 6"X14" VENTS

NOTE: ALL VENTS (ROOF, FOUNDATION, COMBUSTION AIR, ETC.) MUST BE LOUVERED AND COVERED WITH 1/2 INCH NONCOMBUSTIBLE, CORROSION-RESISTANT METAL MESH. TURBINE VENTS SHALL TURN IN ONE DIRECTION ONLY.

NOTE: PAPER FACED INSULATION IS NOT PERMITTED IN ATTIC OR OTHER VENTILATED SPACES.

| SYM | PLY | ASSEMBLY (3) | NAILING (1) |
|-----|--------|--|---------------------------|
| 0 | 180 | 7/8" STUCCO ON EXPANDED METAL OR WOVEN WIRE LATH. UNBLOCKED. W/ #11 GAUGE, 1-1/2" LONG, 7/16" HEAD, NAILS OR #16 GAUGE STAPLES, 7/8" LEGS, @ 8" O.C. | |
| 1 | 100(5) | 1/2" GYP. BD. UNBLOCKED | 5d COOLER @ 7" O.C. |
| 2 | 125(5) | 1/2" GYP. BD. UNBLOCKED | 5d COOLER @ 4" O.C. |
| 3 | 150(5) | 1/2" GYP. BD. BLOCKED | 5d COOLER @ 4" O.C. |
| 4 | 115(5) | 5/8" GYP. BD. UNBLOCKED | 6d COOLER @ 7" O.C. |
| 5 | 145(5) | 5/8" GYP. BD. UNBLOCKED | 6d COOLER @ 4" O.C. |
| 6 | 175(5) | 5/8" GYP. BD. BLOCKED | 6d COOLER @ 4" O.C. |
| 7 | 250(5) | 5/8" G.B. BLK'D Bd @ 9" | 5/8" FACE PLY Bd @ 7" |
| 8 | 260 | 3/8" 32/16 APA SHT'G | 8d COMMON @ 6" O.C. |
| 9 | 350 | 3/8" 32/16 APA SHT'G | 8d COMMON @ 4" O.C.(4) |
| 10 | 490 | 3/8" 32/16 APA SHT'G | 8d COMMON @ 3" O.C.(2,4) |
| 11 | 310 | 15/32" 32/16 APA SHT'G | 10d COMMON @ 6" O.C. |
| 12 | 460 | 15/32" 32/16 APA SHT'G | 10d COMMON @ 4" O.C.(2,4) |
| 13 | 600 | 15/32" 32/16 APA SHT'G | 10d COMMON @ 3" O.C.(2,4) |
| 14 | 280 | 3/8" 32/16 APA STRUCT 1 | 8d COMMON @ 6" O.C. |
| 15 | 430 | 3/8" 32/16 APA STRUCT 1 | 8d COMMON @ 4" O.C.(2,4) |
| 16 | 550 | 3/8" 32/16 APA STRUCT 1 | 8d COMMON @ 3" O.C.(2,4) |
| 17 | 340 | 15/32" 32/16 APA STRUCT 1 | 10d COMMON @ 6" O.C. |
| 18 | 510 | 15/32" 32/16 APA STRUCT 1 | 10d COMMON @ 4" O.C.(2,4) |
| 19 | 665 | 15/32" 32/16 APA STRUCT 1 | 10d COMMON @ 3" O.C.(4,6) |
| 20 | 870 | 15/32" 32/16 APA STRUCT 1 | 10d COMMON @ 2" O.C.(4,6) |

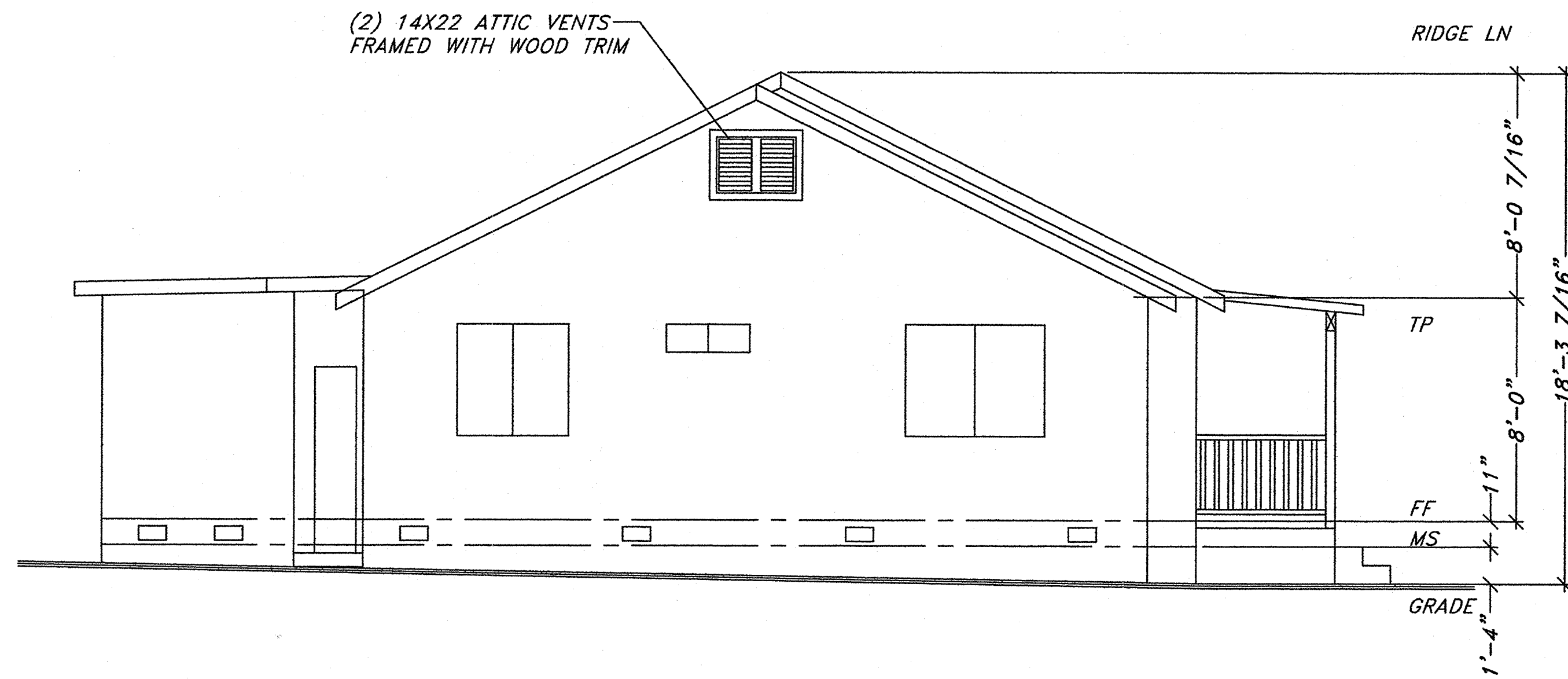
| SYM | A | B | C | D | E | F | INCHES O.C. |
|-----|-----|----|----|----|----|----|-------------|
| 0 | 8 | 72 | 72 | 24 | 24 | 8 | |
| 1 | 16 | 72 | 72 | 48 | 48 | 16 | |
| 2 | 12 | 72 | 72 | 32 | 48 | 12 | |
| 3 | 8 | 72 | 72 | 32 | 32 | 8 | |
| 4 | 12 | 72 | 72 | 32 | 48 | 12 | |
| 5 | 8 | 72 | 72 | 32 | 32 | 8 | |
| 6 | 8 | 72 | 72 | 24 | 32 | 8 | |
| 7 | 6 | 60 | 72 | 16 | 24 | 6 | |
| 8 | 6 | 48 | 60 | 16 | 16 | 6 | |
| 9 | 4 | 36 | 48 | 12 | 12 | 4 | |
| 10 | 206 | 16 | 32 | 8 | 12 | NA | |
| 11 | 4 | 48 | 60 | 16 | 16 | 4 | |
| 12 | 206 | 16 | 32 | 8 | 12 | NA | |
| 13 | 204 | 12 | 24 | 8 | 8 | NA | |
| 14 | 6 | 48 | 60 | 16 | 16 | 6 | |
| 15 | 4 | 16 | 36 | 12 | 12 | 4 | |
| 16 | 206 | 12 | 24 | 8 | 8 | NA | |
| 17 | 4 | 32 | 48 | 12 | 16 | 4 | |
| 18 | 206 | 12 | 32 | 8 | 8 | NA | |
| 19 | 204 | NA | 28 | 8 | 8 | NA | |
| 20 | NA | NA | 16 | 6 | 6 | NA | |

SILL PLATE TO WOOD FLOOR
 (A) 16d COMMON NAILS
 SILL PLATE TO CONCRETE(2)
 (B) 5/8" DIA. ANCHOR BOLTS ON 2X SILL PLATE
 (C) 5/8" DIA. ANCHOR BOLTS ON 3X SILL PLATE
 (D) .140" DIA. SHOT PIN, MIN 1-1/8" PENETRATION, ICBO 1639
 (E) .170" DIA. SHOT PIN, MIN 1-1/2" PENETRATION, ICBO 1639
 1. WHEREVER EXISTING ANCHOR BOLTS ARE NOT ADEQUATE PER THIS SCHEDULE, USE 5/8" KWIK BOLTS II WITH MIN 4" EMBEDMENT PER ER 4827.
 2. IN SEISMIC ZONE 4, (CALIF.) USE ONLY 5/8" ANCHOR BOLTS WITH MIN 7" EMBEDMENT INTO CONC OR MASONRY WITH A 2"X2"X3/16" THICK WASHER.

NEW FOUNDATION PLAN

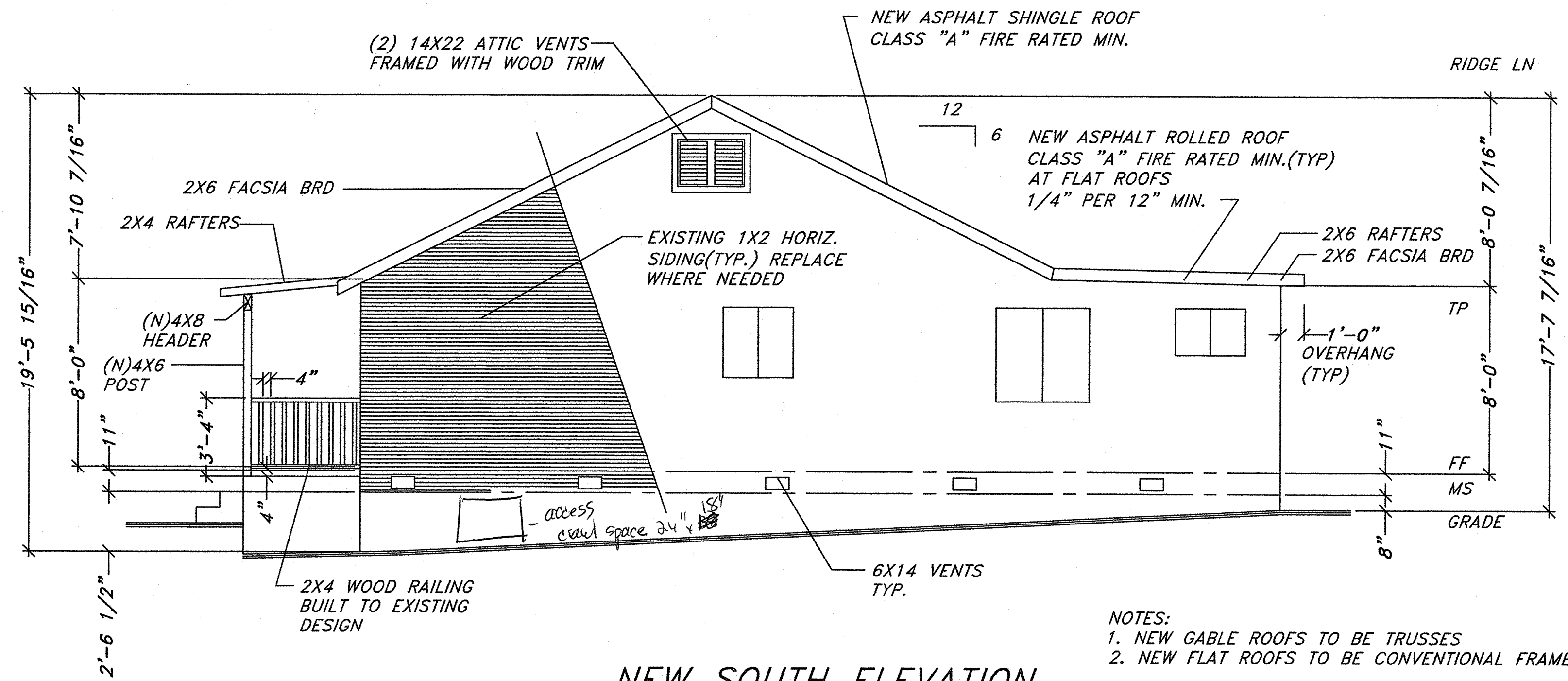
SCALE: 1/4" = 1'-0"

NO CPVC or PEX
 State Health & Safety Code
 Sec. 17921.9 Bans the use of
 chlorinated polyvinyl chloride for
 interior water-supply piping.



NEW NORTH ELEVATION

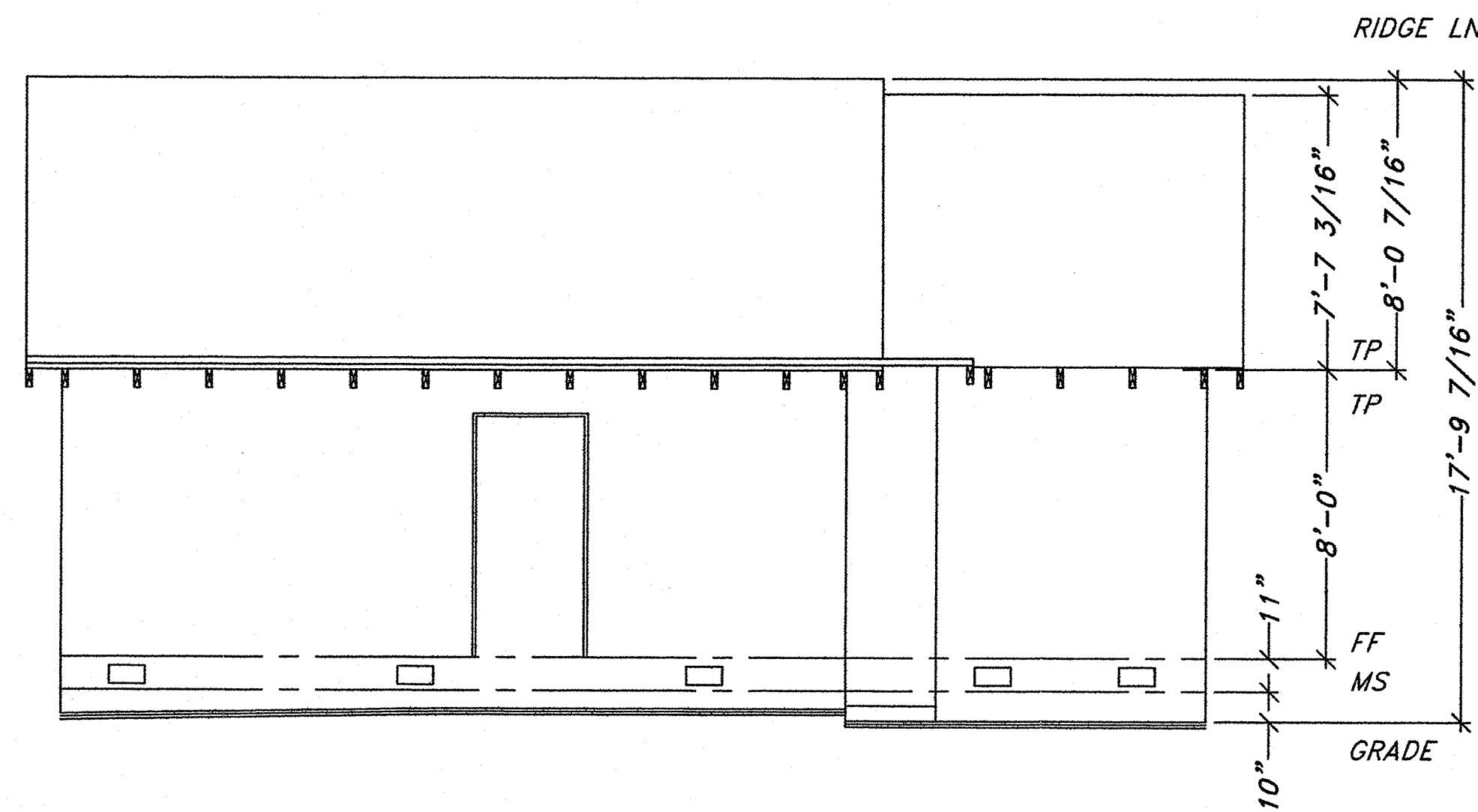
SCALE: 1/4" = 1'-0"



NEW SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

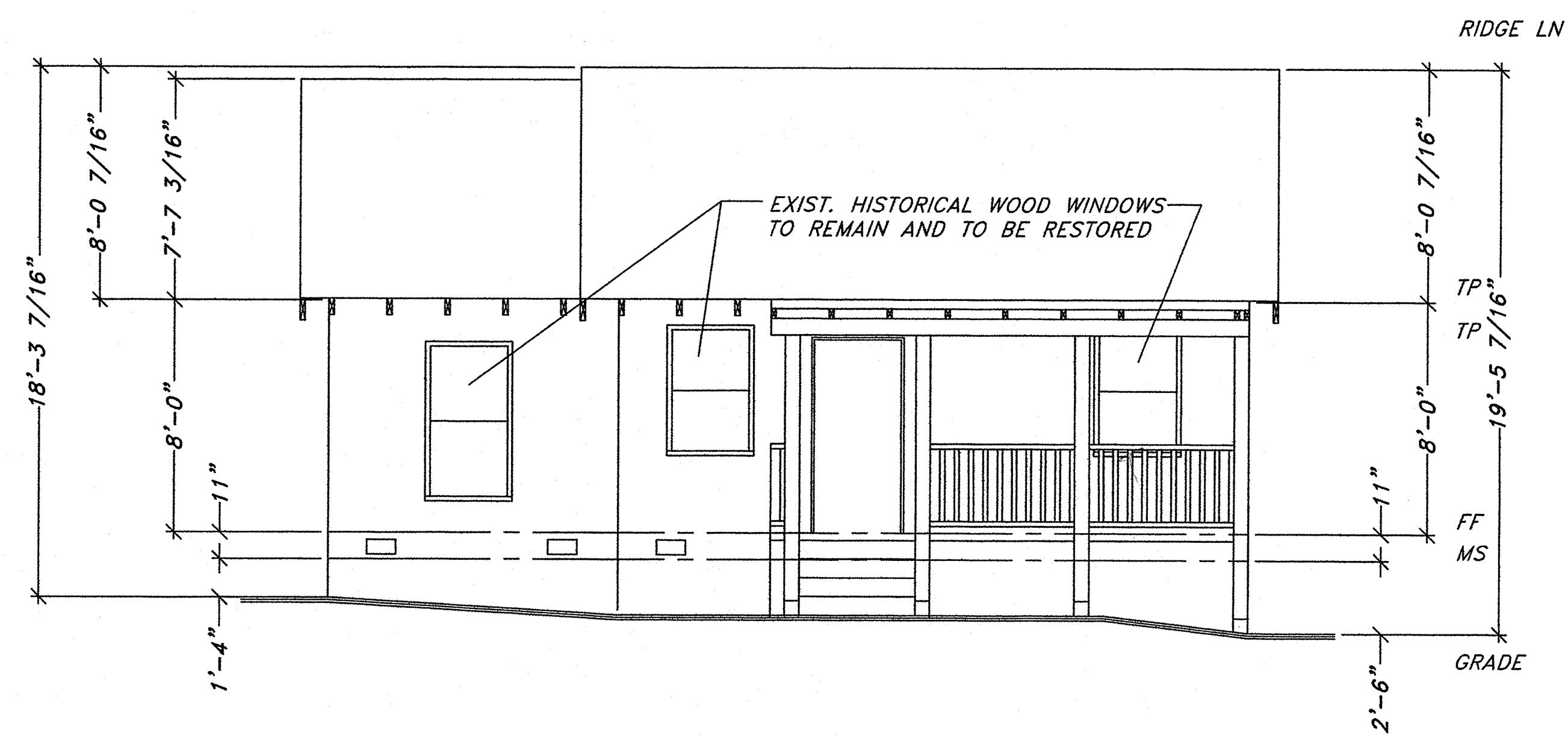
NOTES:
 1. NEW GABLE ROOFS TO BE TRUSSES
 2. NEW FLAT ROOFS TO BE CONVENTIONAL FRAMED



NEW EAST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: SEE SOUTH ELEVATION FOR ALL ELEVATION INFORMATION



NEW WEST ELEVATION

SCALE: 1/4" = 1'-0"

DESIGNATED HISTORICAL RESOURCE

THIS HOUSE IS A DESIGNATED HISTORICAL RESOURCE, LISTED AS HRB SITE #208-003 WITHIN THE SHERMAN HIEGHTS HISTORICAL DISTRICT. THE FOLLOWING PLANS WERE REVIEWED AND APPROVED BY HISTORICAL RESOURCES BOARD (HRB) STAFF. ANY AND ALL MODIFICATIONS TO OR DEVIATIONS FROM THESE PLANS MUST BE REVIEWED AND APPROVED BY HRB STAFF PRIOR TO THOSE CHANGES BEING CARRIED OUT. THE FOLLOWING SCOPE OF WORK HAS BEEN REVIEWED AND APPROVED:

ROOF:

1. THE DOUBLE-GABLE ROOFLINE OF THE HISTORICAL PORTION OF THE HOUSE SHALL BE RECONSTRUCTED WITH THE SAME PITCH, EAVE OVERHANG, AND EXPOSED RAFTER TAILS. THE ROOF OVER THE ADDITIONS AT THE REAR SHALL BE FLAT.
2. ROOFING MATERIALS SHALL BE DARK BROWN OR GRAY COMPOSITE SHINGLE.

SIDING:

1. THE ORIGINAL HISTORICAL SIDING, EXISTING ON THE HOUSE UNDER 3 LAYERS OF NON-HISTORIC SIDING, WILL BE PRESERVED AND REPAIRED. WHERE REPAIR IS NOT POSSIBLE, THE SIDING WILL BE REPLACED IN-KIND WITH MATERIALS AND SIZE, UNDER THE DIRECTION AND GUIDANCE OF HRB STAFF.

PORCH:

1. THE PORCH, WHICH IS SEVERELY DETERIORATED, SHALL BE REPLACED IN-KIND.
2. THE SECOND, NON-HISTORIC DOOR WHICH WAS ADDED TO THE RIGHT OF THE PORCH WILL BE REMOVED AND FRAMED IN WITH A 1-OVER-1 WOOD FRAMED WINDOW.

WINDOWS:

1. ALL EXISTING WOOD FRAMED WINDOWS WILL BE REPAIRED. THOSE WINDOWS WHICH ARE BEYOND REPAIR WILL BE REPLACED IN-KIND WITH NEW 1-OVER-1 WOOD FRAME AND SASH WINDOWS.
2. ALL WINDOWS ALONG THE PRIMARY (19TH STREET) ELEVATION WILL BE ORIGINAL WOOD FRAME AND SASH WINDOWS.
3. NON-HISTORIC ALUMINUM WINDOWS WILL BE REPLACED WITH NEW 1-OVER-1 WOOD FRAME AND SASH WINDOWS.

FOUNDATION:

1. THE FOOTINGS WILL BE REPLACED, WITH SOME GRADING TO OCCURE AT THE REAR OF THE PROPERTY TO CREATE A LEVEL FOUNDATION. THIS GRADING WILL NOT OCCURE AT THE FRONT OF THE PROPERTY, WHICH WILL APPEAR AS IT DID HISTORICALLY.

PAINT:

1. PAINT SHALL BE PASTEL OR EARTH TONES WITH DARK COLORS USED ONLY FOR ACCENTS.

DATE: MARCH 20, 2007

DESIGNER: PETER TARANTINO
 10728 ANAHEIM DRIVE
 LA MESA, CA 91941

DESCRIPTION: REMODEL AND ADDITION

SITE: 155 19TH STREET
 SAN DIEGO, CA 92102

OWNER: MR. ROGER ROBLEDO
 151 19TH STREET
 SAN DIEGO, CA 92102

SHEET

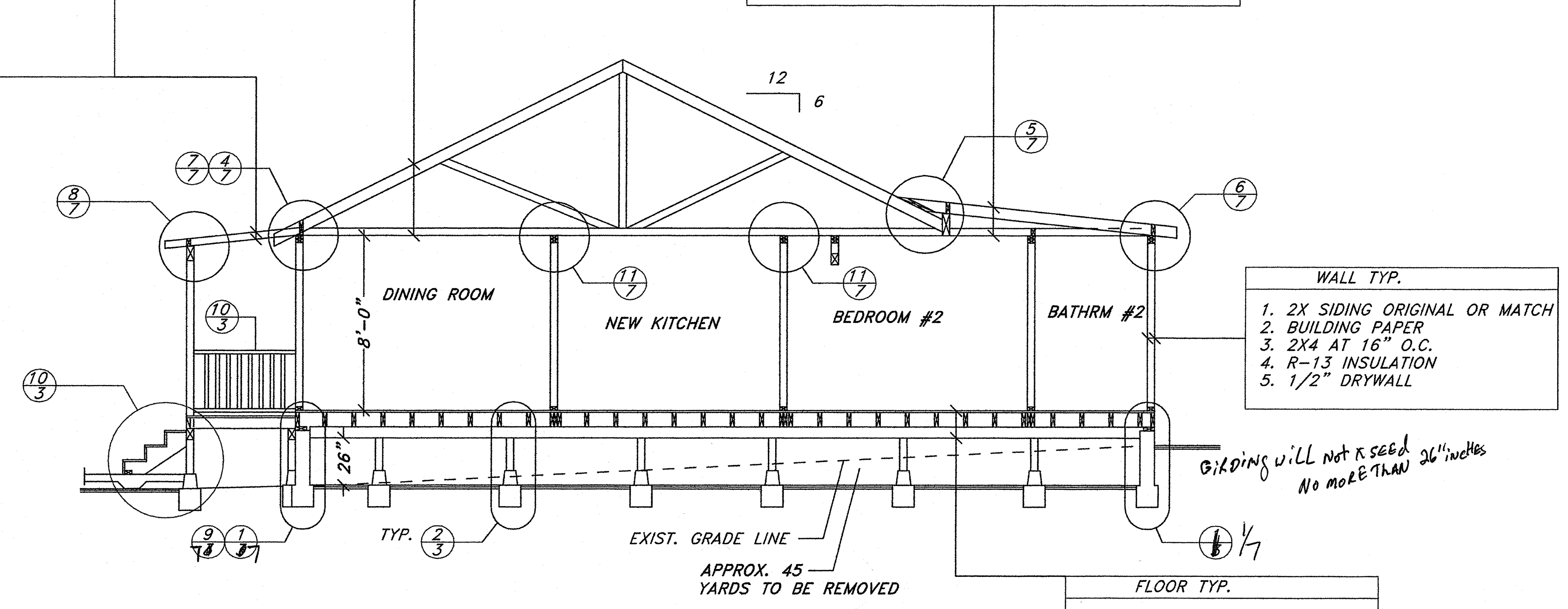
4

OF 9

- NEW ROOF**
1. NEW ASPHALT ROLLED ROOF CLASS 'A' FIRE RATED
 2. NEW 40# ROOFING PAPER
 3. NEW 1/2" PLY 32/16, NAIL 8d
COMMON AT 6,12
 4. 2X6 RAFTERS AT 24" O.C.

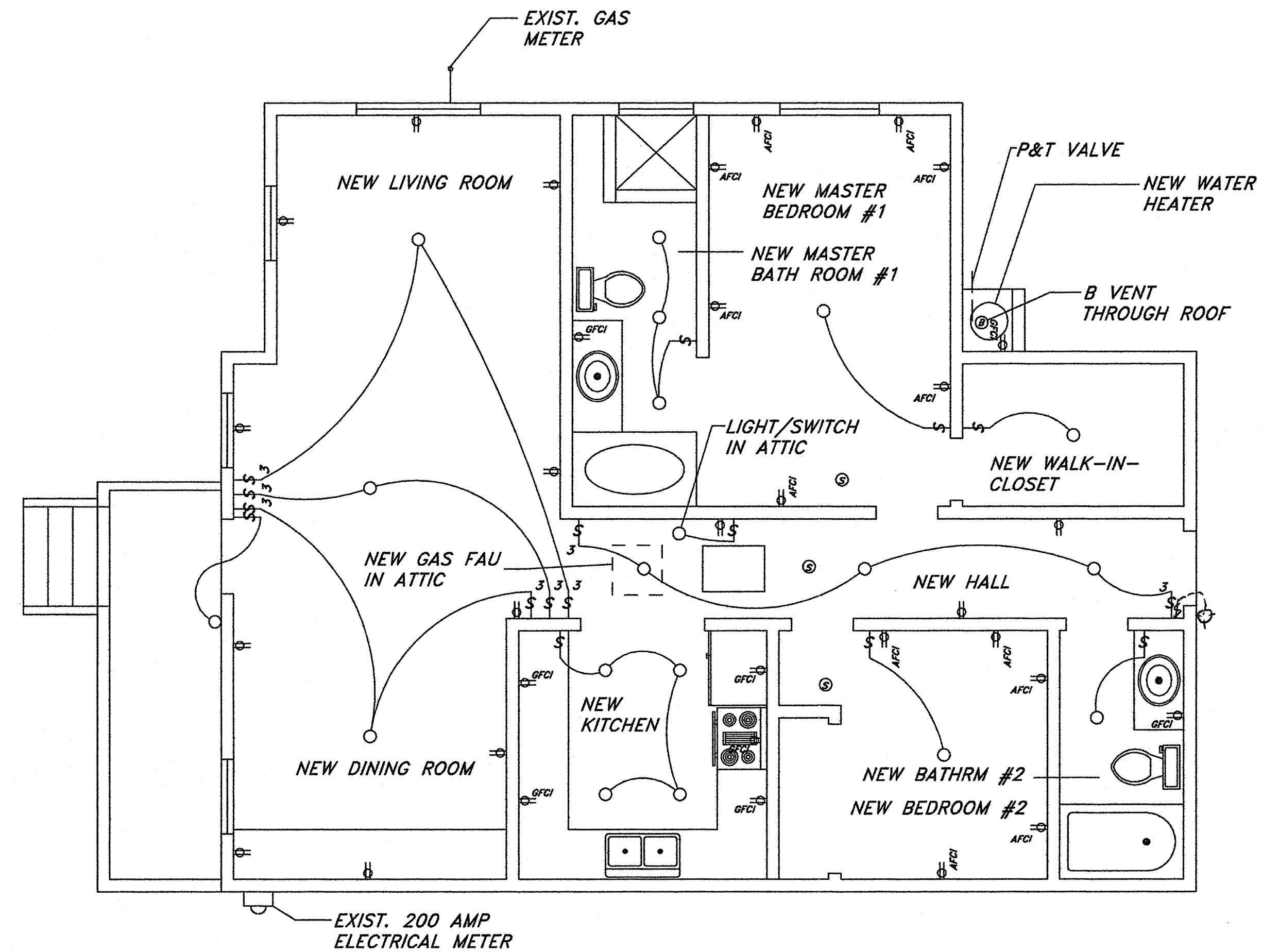
- NEW ROOF**
1. NEW ASPHALT SHINGLE ROOF CLASS 'A' FIRE RATED
 2. NEW 40# ROOFING PAPER
 3. NEW 1/2" PLY 32/16, NAIL 8d
COMMON AT 6,12
 4. TRUSSES AT 24" ON CENTER
 5. R-30 INSULATION
 6. 1/2" DRYWALL

- NEW ROOF**
1. NEW ASPHALT ROLLED ROOF CLASS 'A' FIRE RATED
 2. NEW 40# ROOFING PAPER
 3. NEW 1/2" PLY 32/16, NAIL 8d
COMMON AT 6,12
 4. 2X6 RAFTERS AT 24" O.C.
 5. 2X4 CEILING JOIST AT 24" O.C.
 6. R-30 INSULATION
 7. 1/2" DRYWALL



TYPICAL SECTION A-A
SCALE: 1/4" = 1'-0"

| | |
|--|---|
| DATE: MARCH 20, 2007 | DESIGNER: PETER TARANTINO 10728 ANAHEIM DRIVE LA MESA, CA 91941 |
| DESCRIPTION: REMODEL AND ADDITION | SITE: 155 19TH STREET SAN DIEGO, CA 92102 |
| OWNER: MR. ROGER ROBLEDO 151 19TH STREET SAN DIEGO, CA 92102 | |
| SHEET | 5 |
| OF | 9 |



NOTE: BEDROOM ELECTRICAL CIRCUITS MUST BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS.(AFCI). (NEC 210.12)

NOTE: WATER HEATERS REQUIRE A MINIMUM OF 2 STRAPS TO RESIST HORIZONTAL DISPLACEMENT. A MINIMUM OF 3/8" X 24 GAUGE STRAPS WITH 1/2" X 3" LAG BOLTS ATTACHED DIRECTLY TO THE FRAMING (U.P.C. SEC 510.5)

NOTE: THIS PROJECT WILL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING ORDINANCE.

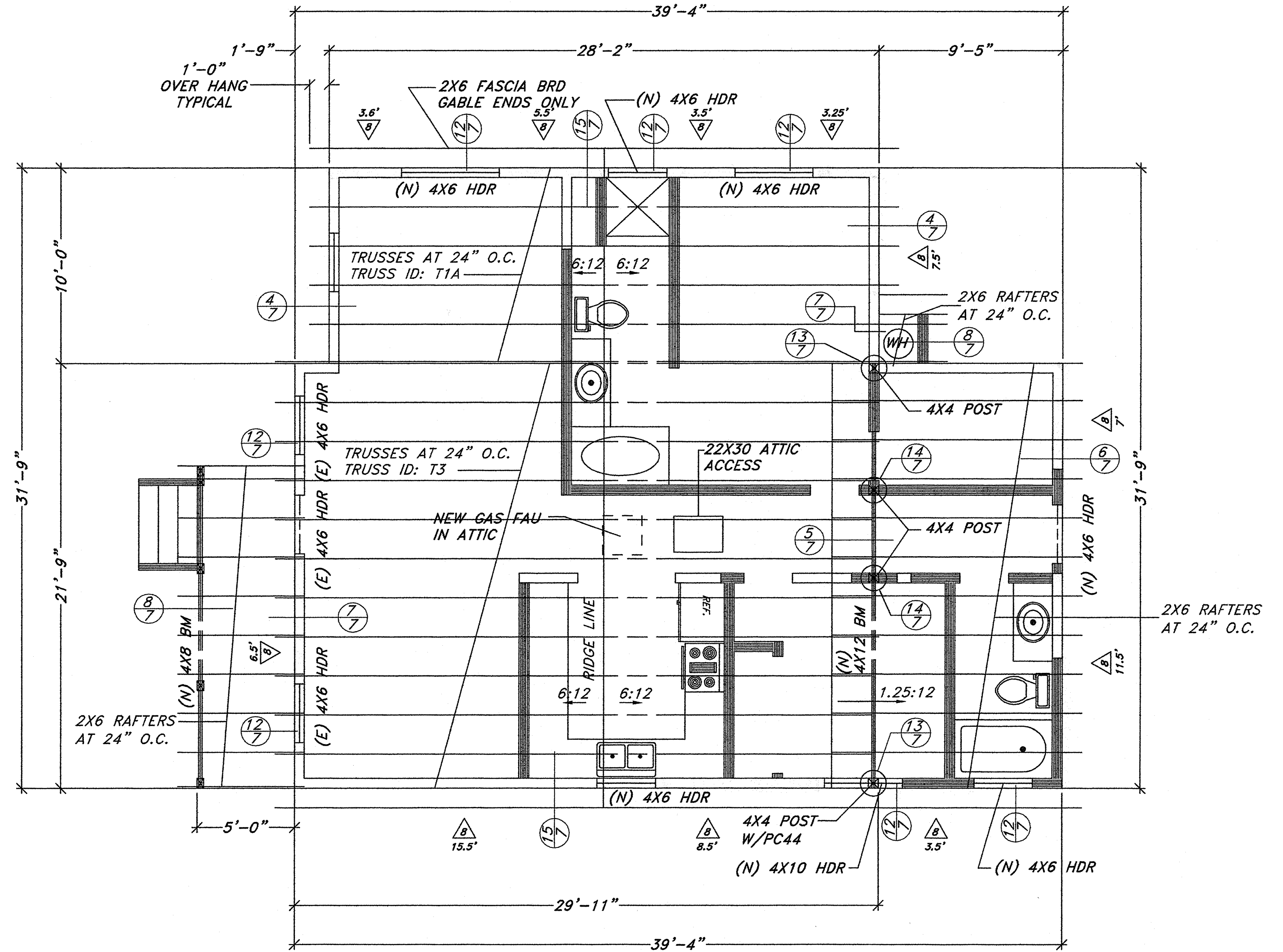
NOTE: ALL LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS, AND OTHER ROOMS SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR (OR DIMMER FOR OTHER ROOMS ONLY).

NOTE: OUTDOOR LIGHTING SHALL BE HIGH EFFICACY LUMINAIRES OR SHALL BE CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR COMBINATION.

| ELECTRICAL SYMBOLS | |
|--------------------|----------------------------------|
| | SINGLE POLE SWITCH |
| | 3-WAY SWITCH |
| | DUPLEX OUTLET |
| | DUPLEX OUTLET W/ GFCI |
| | DUPLEX OUTLET W/ AFCI |
| | LIGHT FIXTURE |
| | SMOKE DETECTOR PERMANENTLY WIRED |
| | MECHANICAL FAN |

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



- ROOF FRAMING DIAPHRAGM TO BE 1/2" PLY 32/16, NAIL 8d COMMON AT 6" O.C. EDGE NAILING AND BOUNDARY, 12" O.C. FIELD NAILING.
- ROOF HEADERS:
 - L ≤ 6' 4X6 OR: 6X6
 - L ≤ 8' 4X8 OR: 6X8
- ALL HIP FILL AND HIP OVER TRUSS FRAMING MUST BE BRACED AND SUPPORTED PER CALIFORNIA FILL DETAILS.
- BALLOON FRAME WALLS OF ROOMS WITH SLOPING CEILINGS.
- MAXIMUM ALLOWABLE STUD HEIGHTS: (U.N.O.)
 - BEARING WALL: 2X4 AND 2X6 MAXIMUM 10 FT.
 - NON-BEARING WALL: 2X4 MAXIMUM 14 FT.; 2X6 MAXIMUM 20 FT.
- ALL HOLDDOWNS ON 4X4 POST MIN. U.N.O.
- ALL STRAPS, COLUMN CAPS, HANGERS, CLIPS, ETC. TO BE PRODUCED BY "SIMPSON STONG TIE," OR EQUAL.
 - A) ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THIS CATALOG. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16d FASTENERS ARE COMMON NAILS (8 GA X 3-1/2") AND CANNOT BE REPLACED WITH 16d SINKERS (9 GA X 3-1/4") UNLESS OTHERWISE SPECIFIED.
 - B) BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
 - C) UNLESS OTHERWISE NOTED, ALLOWABLE, BOLTS AND NAILS CANNOT BE COMBINED. 8d, 10d, AND 16d SPECIFY COMMON NAILS.
 - D) FILL ALL FASTENED HOLES WITH FASTENER TYPES SPECIFIED WITH TABLES FOR HIGHEST CAPACITY.

- THIS PLAN DOES NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS. THE DESIGNER AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING. IT SHALL BE THE RESPONSIBILITY OF THE ROOFING/DECKING CONTRACTORS TO PROVIDE THE WORKMANSHIP AND MATERIALS NECESSARY TO PROVIDE THE STANDARD OF CARE TO COMPLETE THE ROOF AND DECKS IN A WATERTIGHT CONDITION. ROOF OR DECK DRAINAGE SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARDS OR THE STUCCO EXTERIOR FINISH.
- ALL PLUMBING WALL TO BE 2X6 STUDS. NO PLUMBING PIPE OVER ONE INCH DIAMETER IN SHEAR WALL. NO HEATING/AC DUCTS IN SHEAR WALLS.
- MEASUREMENTS AND WALL THICKNESS MAY VARY FROM DRAWINGS, EXPOSED EXISTING FRAMING AND FIELD VERIFY EXACT GEOMETRY AND DIMENSIONS PRIOR TO ORDERING TRUSSES.
- EACH TRUSS SHALL BE LEGIBLY BRANDED, MARKED OR OTHERWISE HAVE PERMANENTLY AFFIXED THERETO THE FOLLOWING INFORMATION LOCATED WITHIN 2 FEET OF THE CENTER OF THE SPAN ON THE FACE OF THE BOTTOM CHORD:
 - A) IDENTIFY OF THE COMPANY MANUFACTURING THE TRUSS.
 - TRUSS MANUFACTURE:
DIXIELINE LUMBER
2740 TIDELANDS AVE
NATIONAL CITY, CA 92950 PHONE: (619) 263-6161
 - B) THE DESIGN LOAD.
 - C) THE SPACING OF THE TRUSS.
SEE TRUSS CALC.
24" O/C

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

DATE: MARCH 20, 2007

DESIGNER: PETER TARANTINO
10728 ANAHEIM DRIVE
LA MESA, CA 91941

DESCRIPTION: REMODEL AND ADDITION

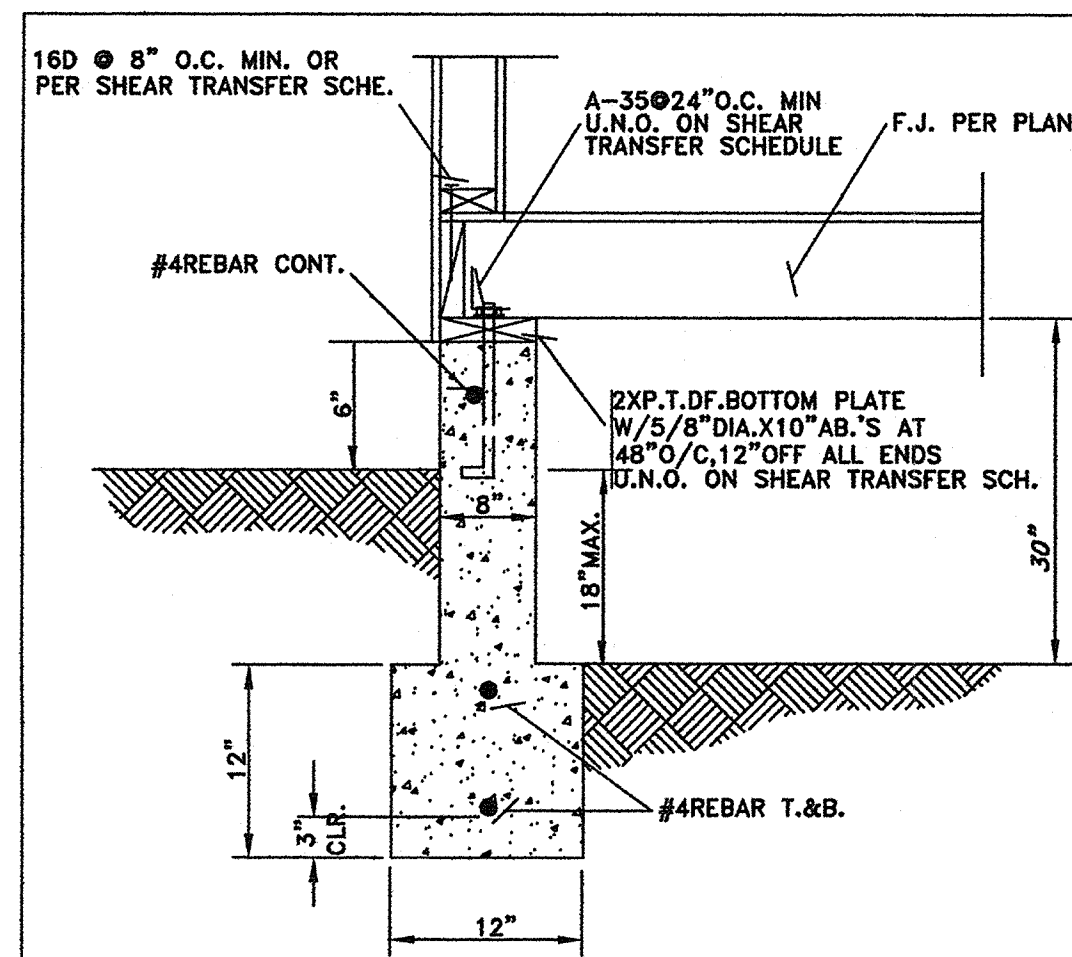
SITE: 155 19TH STREET
SAN DIEGO, CA 92102

OWNER: MR. ROGER ROBLEDO
151 19TH STREET
SAN DIEGO, CA 92102

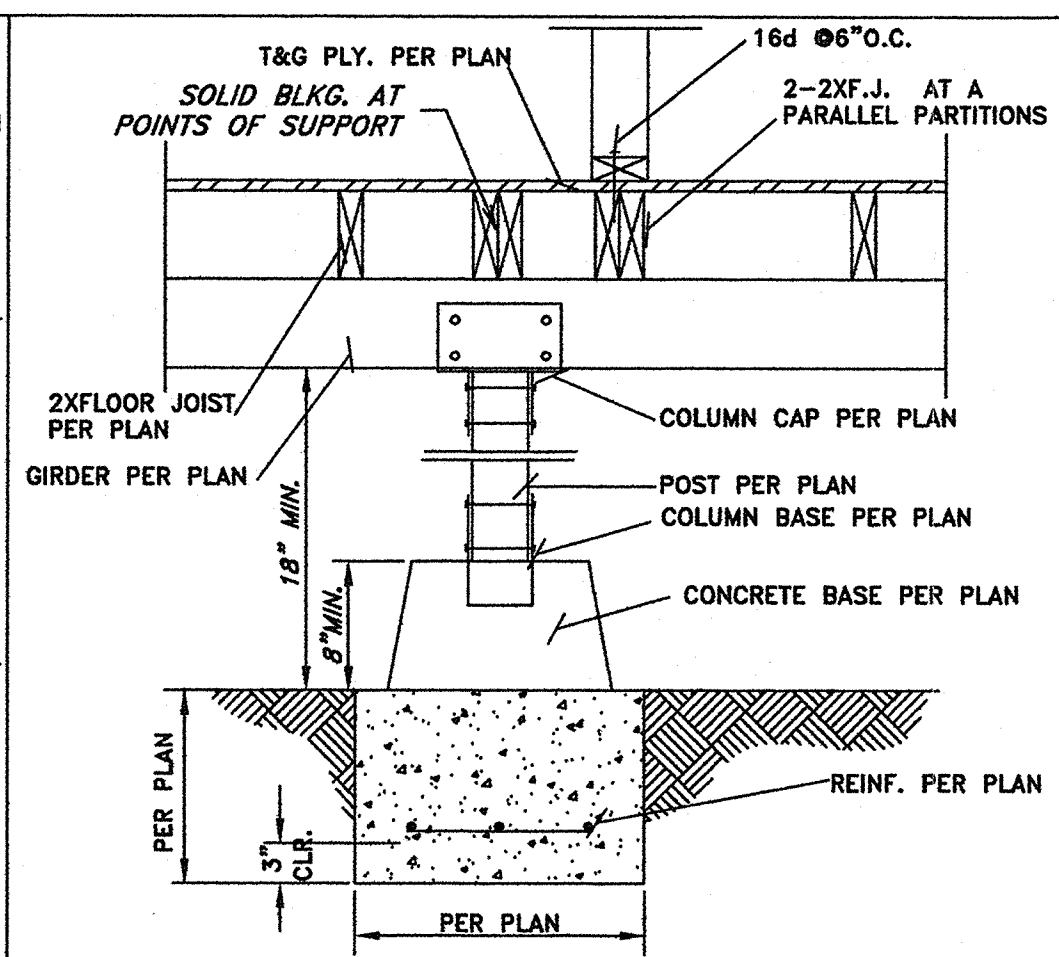
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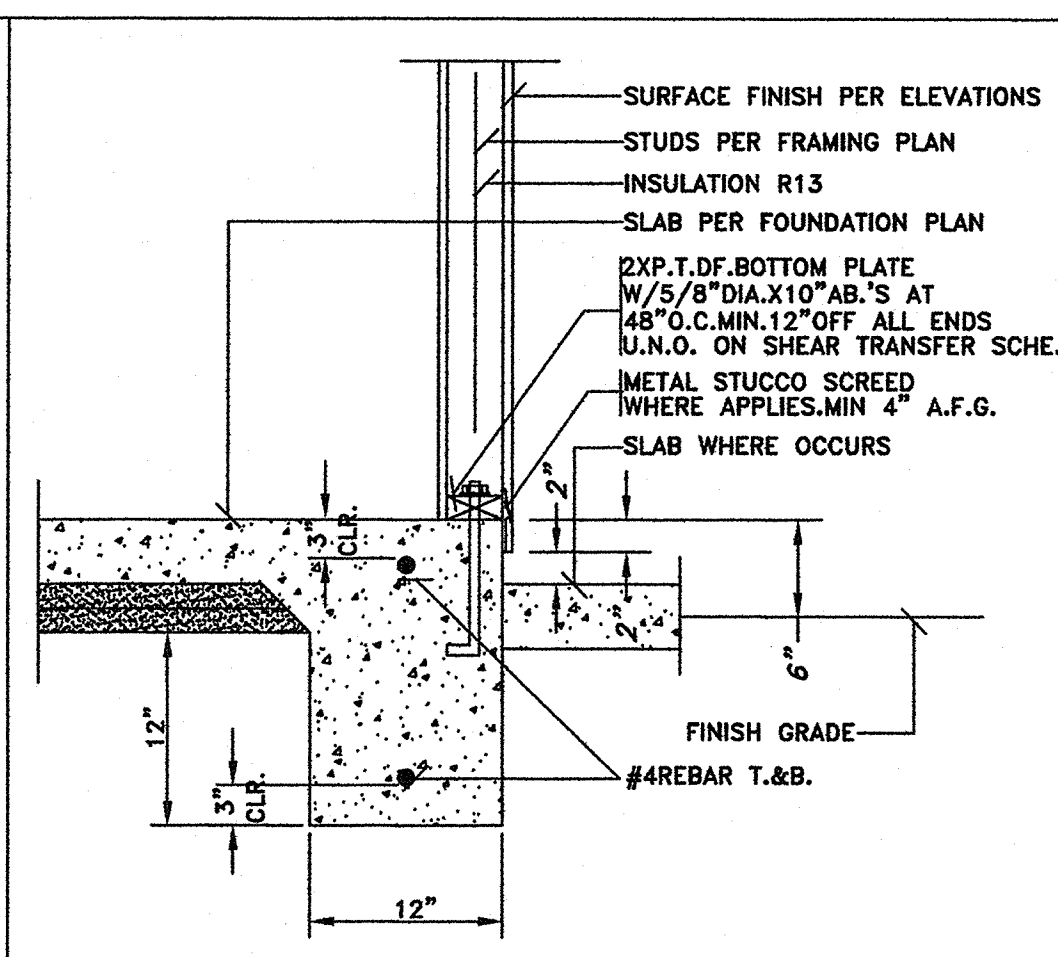
OF 9



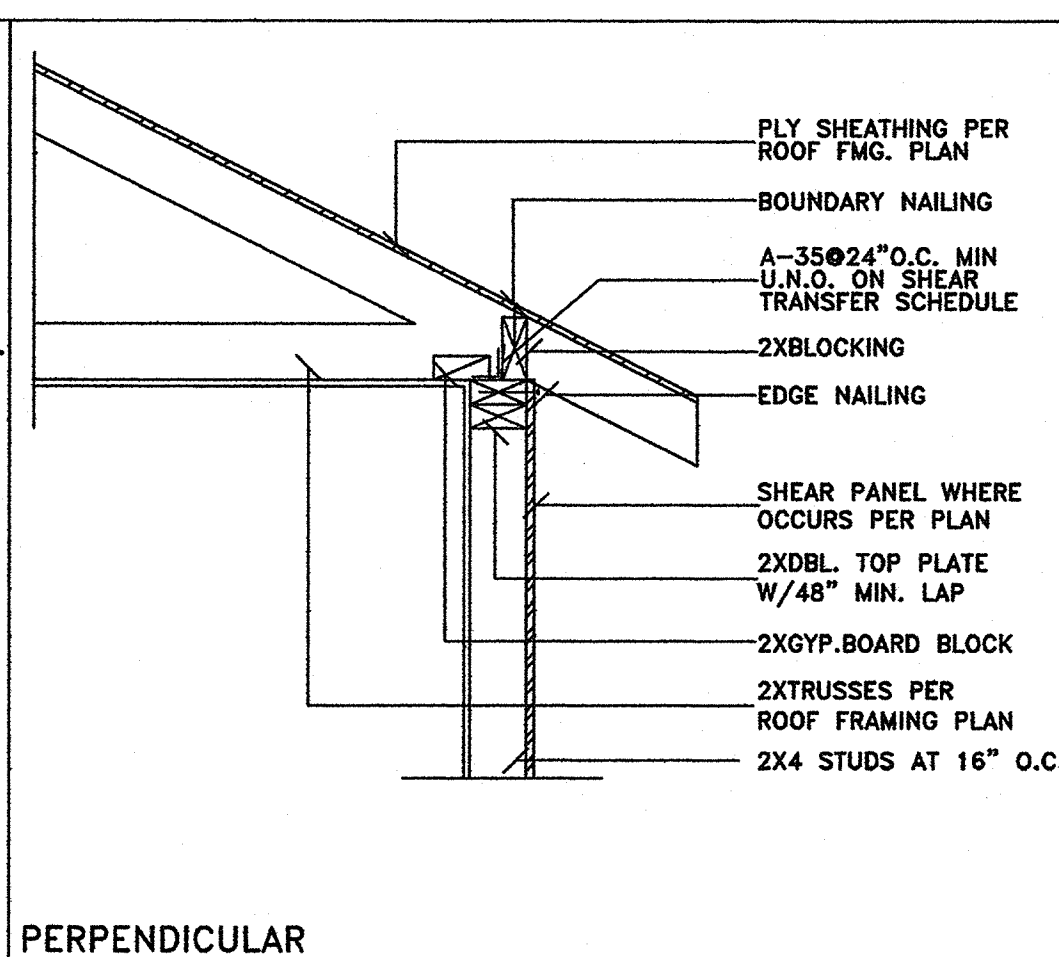
1 EXTERIOR FOOTING



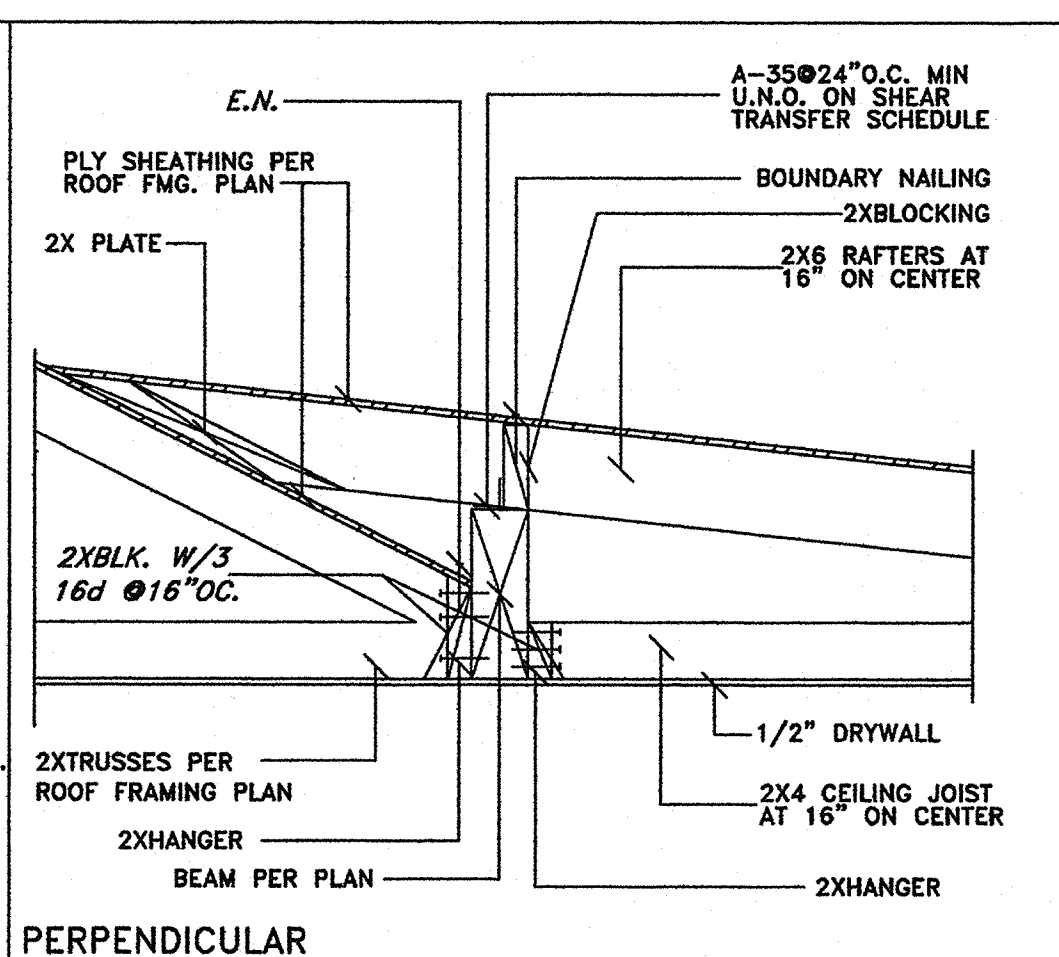
2 POST TO FOOTING CONN.



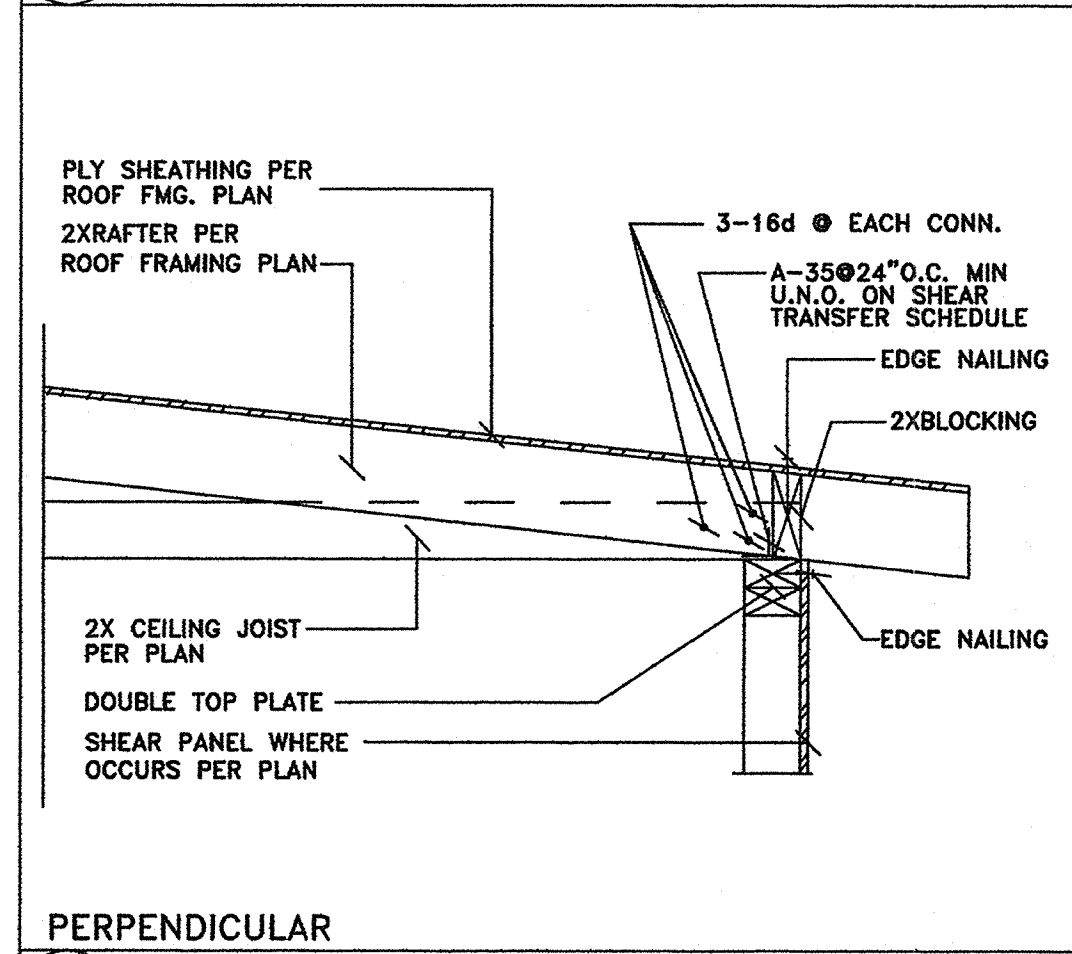
3 EXTERIOR FOOTING



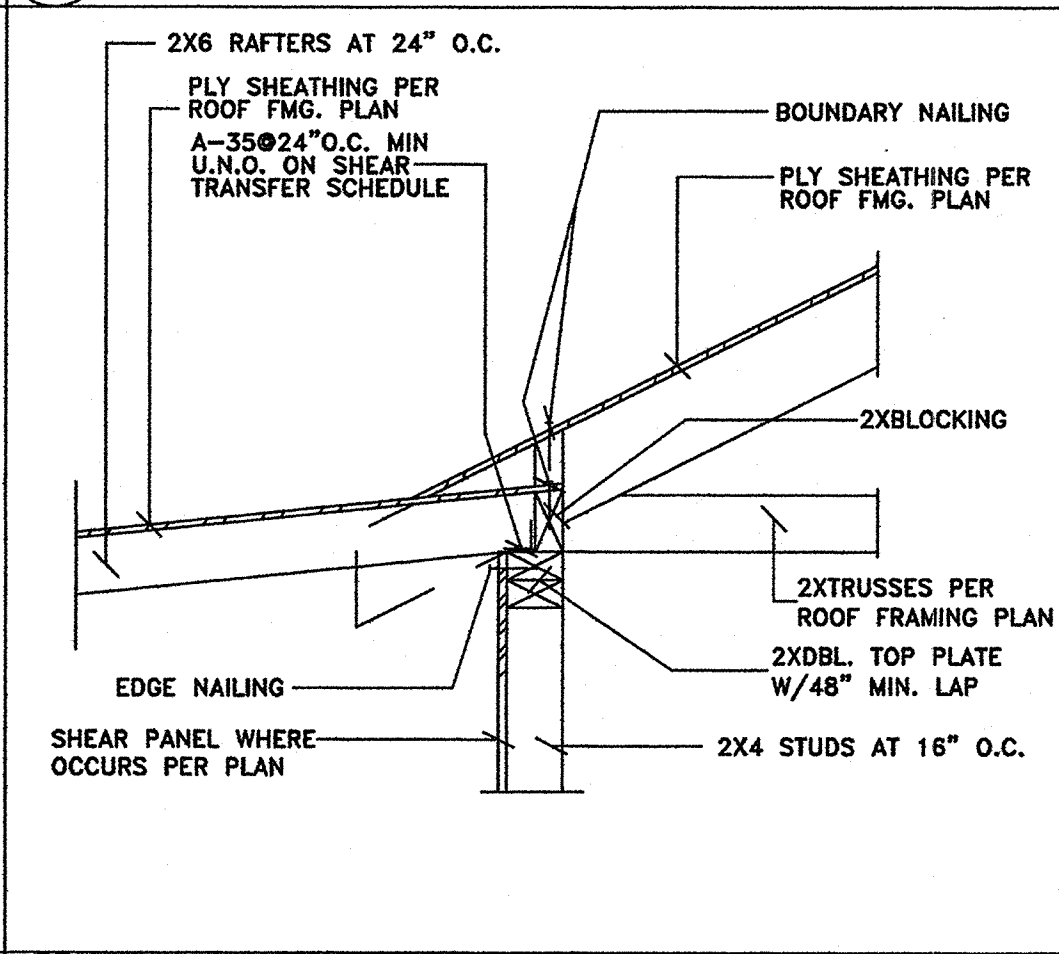
4 SHEAR TRANSFER



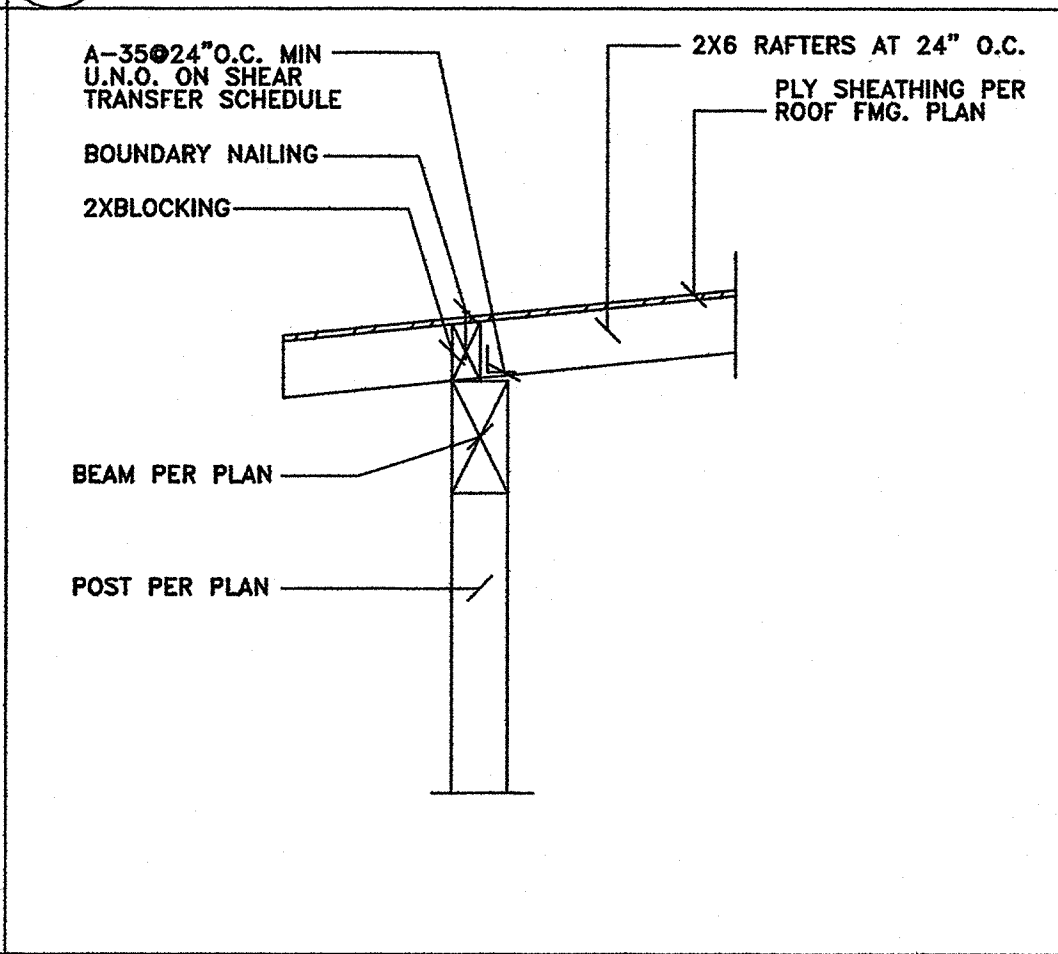
5 SHEAR TRANSFER



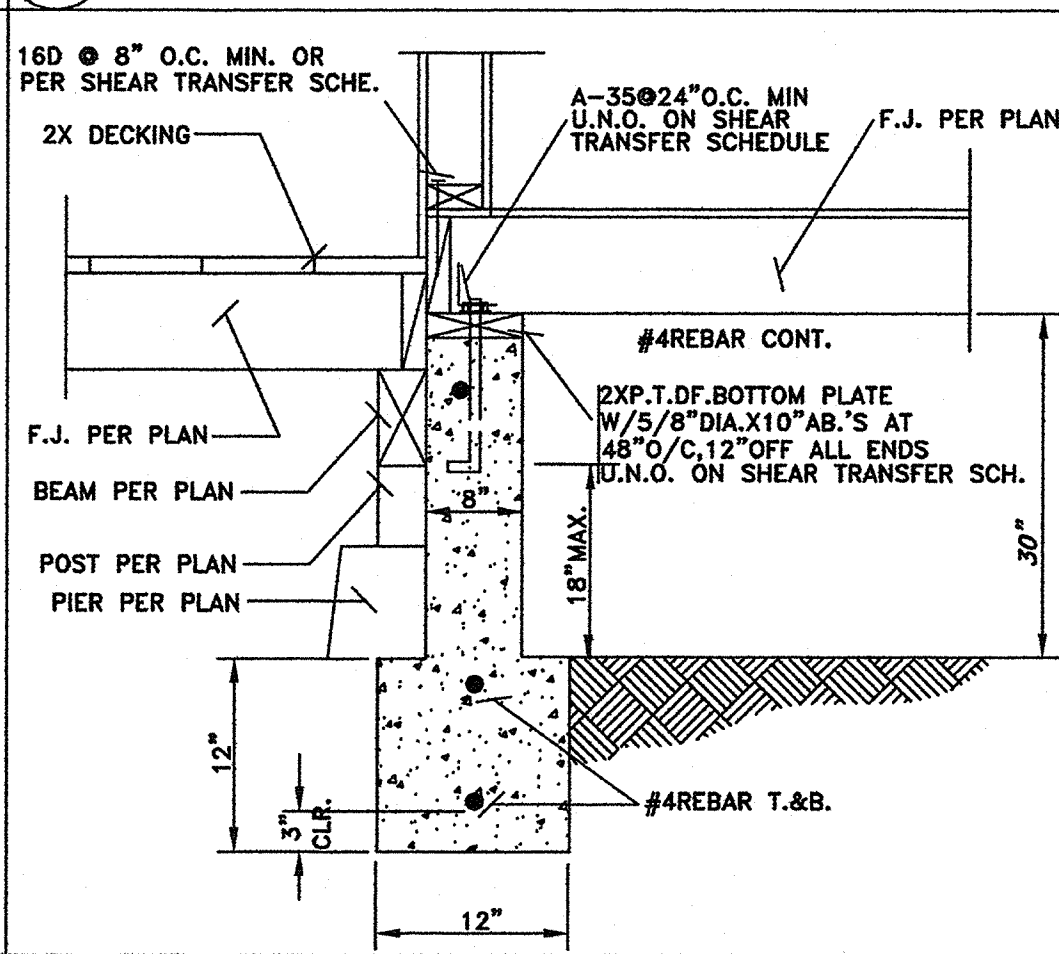
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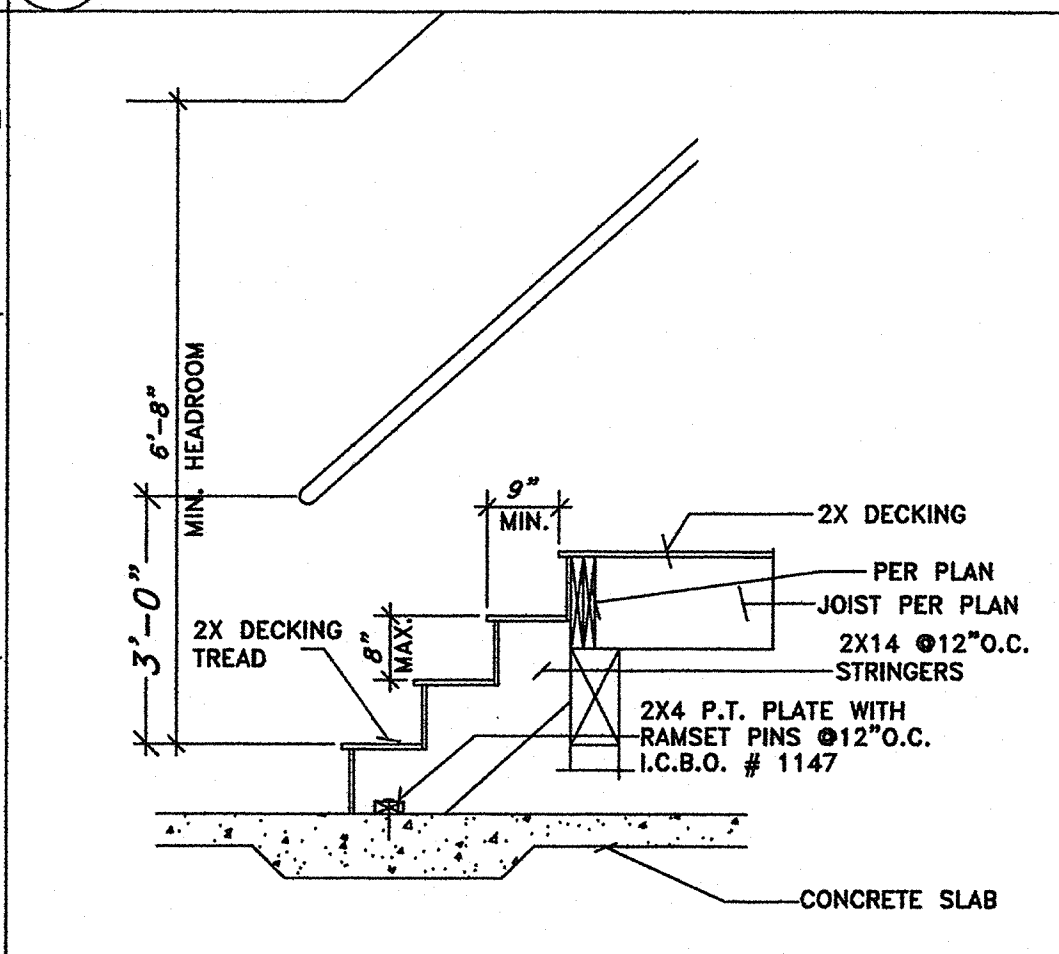
7 SHEAR TRANSFER



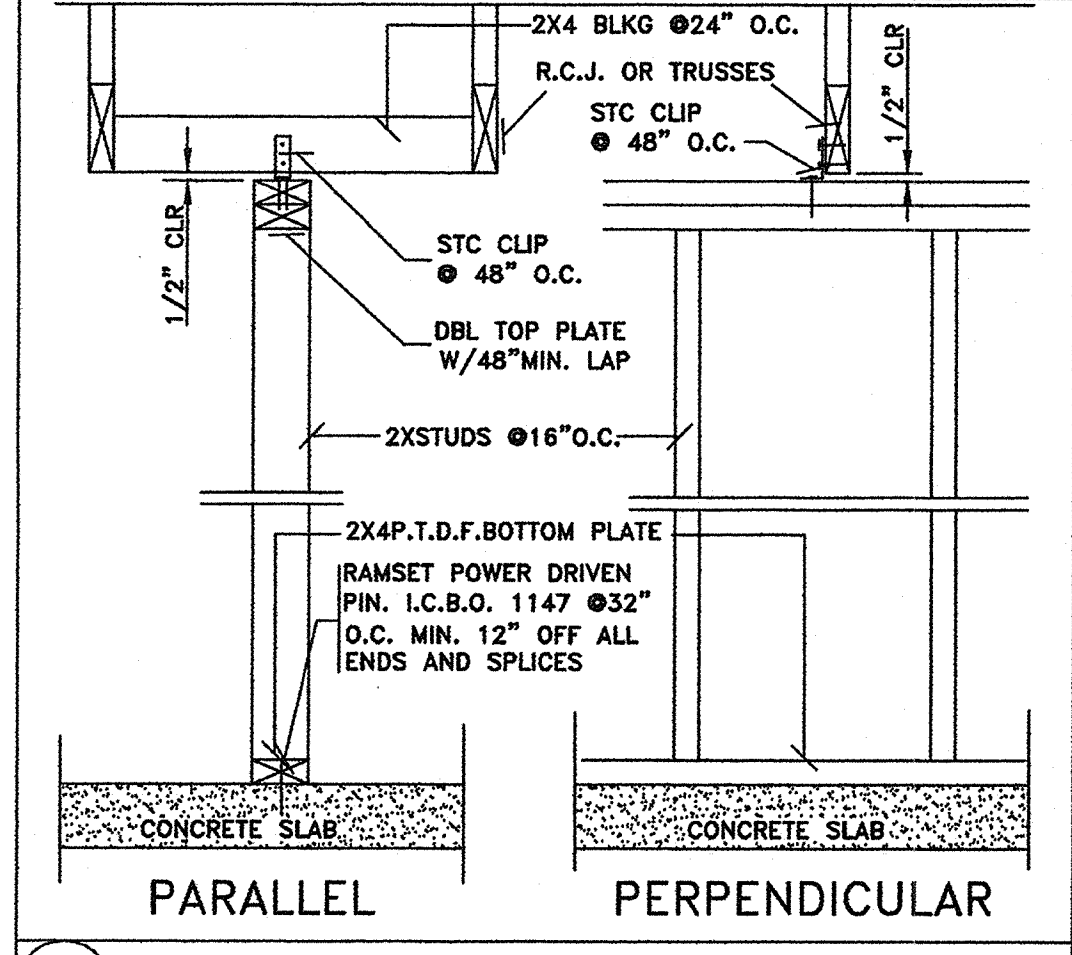
8 SHEAR TRANSFER



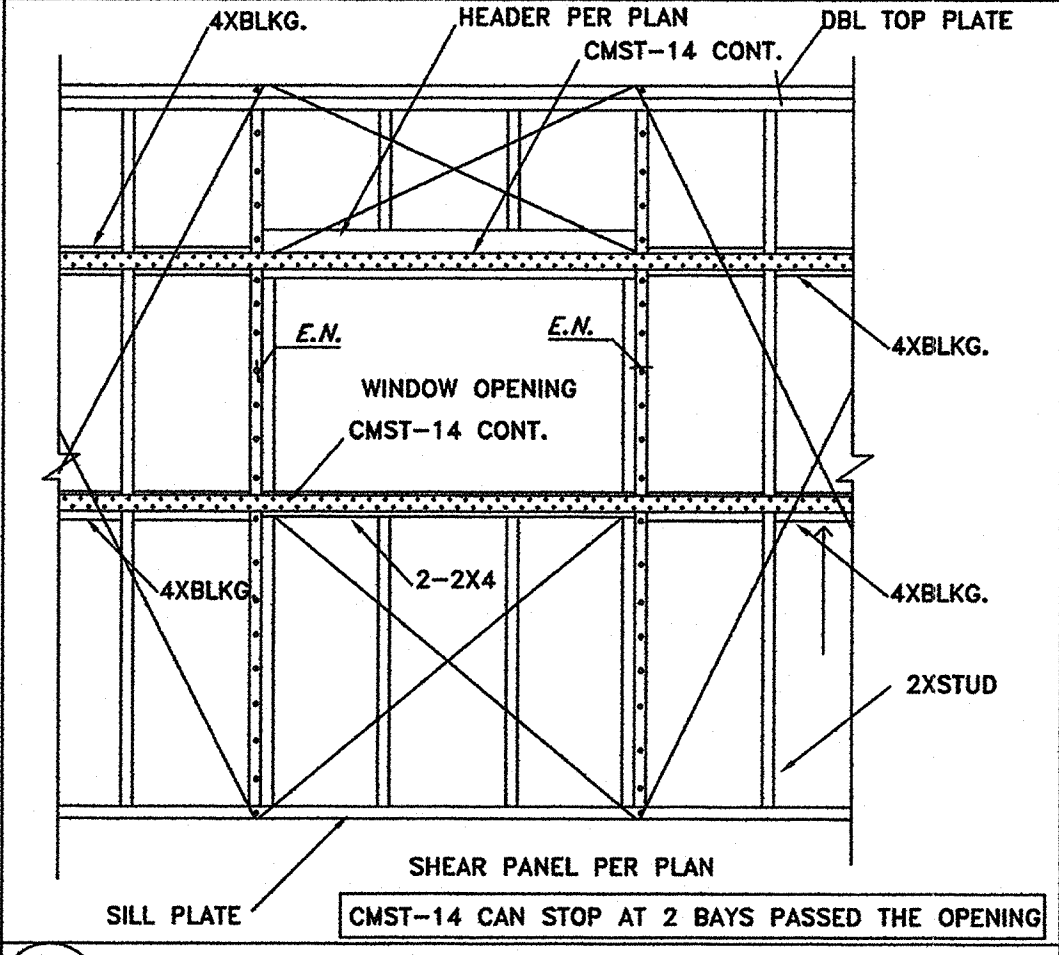
9 EXTERIOR FOOTING



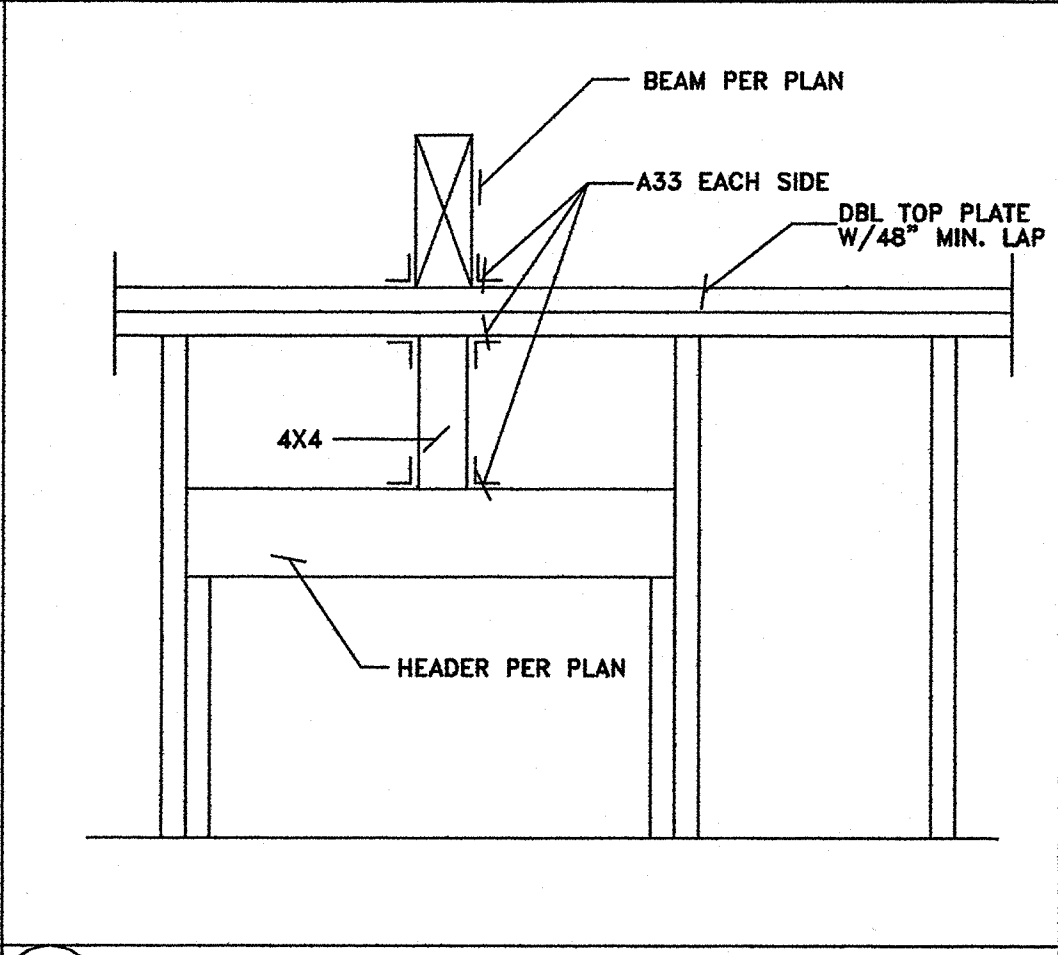
10 STAIR SECTION TYP-FRONT & REAR HANDRAIL DETAIL



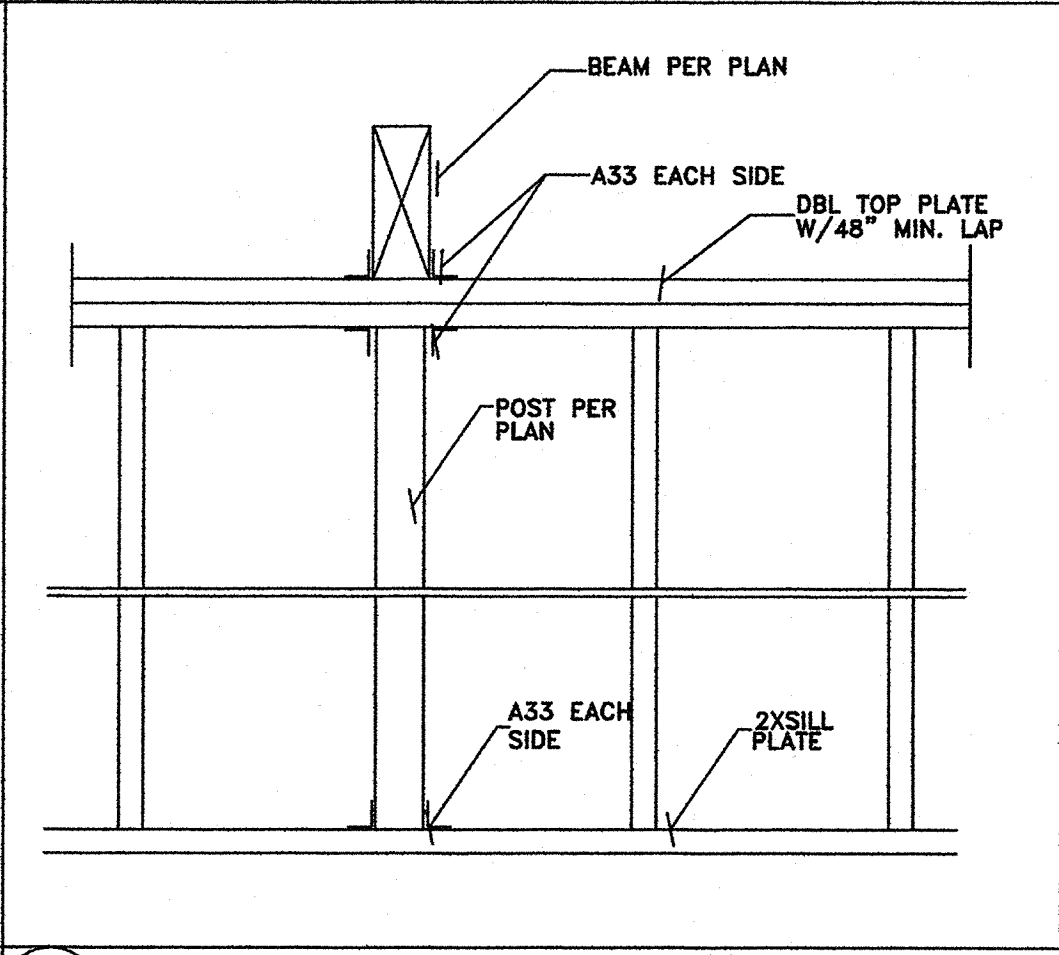
11 NONBEARING WALL



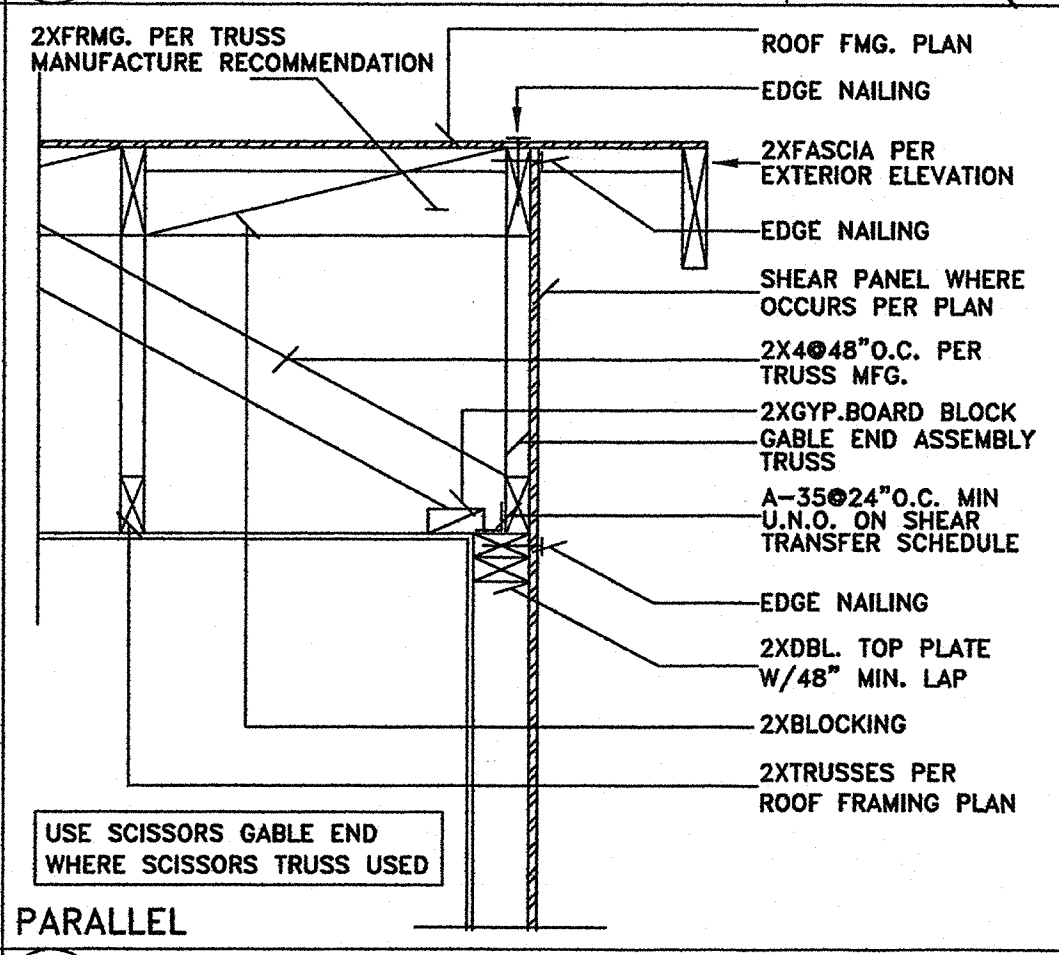
12 SHEAR AROUND OPENING



13 POST TO BEAM



14 POST TO BM@DBL PLATE



15 SHEAR TRANSFER

DATE: MARCH 20, 2007
 DESIGNER: PETER TARANTINO
 10728 ANAHEIM DRIVE
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DESCRIPTION: REMODEL AND ADDITION
 OWNER: MR. ROGER ROBLEDO
 151 19TH STREET
 SAN DIEGO, CA 92102

SITE: 155 19TH STREET
 SAN DIEGO, CA 92102

SHEET
 7
 OF 9

GENERAL:

- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION. INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, TEMPORARY EXCAVATIONS, AND SHALL BE IN ACCORDANCE WITH ALL STATE AND FEDERAL SAFETY REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK AND NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL OMISSIONS AND CONFLICTS BETWEEN VARIOUS ELEMENTS OF WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH ANY INVOLVED WORK.
- RESOLVE ANY CONFLICTS ON THE DRAWINGS WITH THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO BEGINNING EXCAVATIONS.
- NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PLACED IN SLABS, BEAMS OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS OR OTHER ITEMS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS OR OTHER ITEMS. REFER TO ARCHITECTURAL OR MECHANICAL DRAWINGS FOR LOCATIONS.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO REQUIREMENTS OF LATEST EDITION OF THE UNIFORM BUILDING CODE (UBC).
- SPECIAL INSPECTION PER SEC. 1701 OF THE UBC IS REQUIRED AS FOLLOWS:
 - ALL STRUCTURAL FIELD WELDING, INCLUDING WELDING OF STRUCTURAL STEEL, REINFORCING STEEL, AND STEEL DECKING.
 - INSTALLATION AND TIGHTENING OPERATIONS FOR ALL HIGH STRENGTH FRICTION BOLTING (A325F).
 - INSTALLATION AND TIGHTENING OPERATIONS FOR HIGH STRENGTH ANCHOR BOLTS.
 - THE TAKING OF TESTS & SPECIMENS DURING THE PLACEMENT OF ALL REINFORCED CONCRETE, WITH THE EXCEPTION OF FOUNDATION CONCRETE, WHEN THE STRUCTURAL DESIGN STRENGTH IS NO GREATER THAN F'c = 2500 PSI.
 - PLACEMENT OF ALL MASONRY DOES NOT REQUIRE SPECIAL INSPECTION UNLESS SPECIFICALLY INDICATED.
 - DURING THE NAILING OF HIGH LOAD DIAPHRAGMS WITH 3/4" PLYWOOD AND STAGGERED NAILING PER ICBO, REPORT NO. 1952.
- DESIGN BASED ON 1997 EDITION OF UNIFORM BUILDING CODE AND THE 2001 CALIFORNIA BUILDING CODE.
- SEISMIC BASE SHEAR COEFFICIENT PER CALCULATIONS.
- WIND DESIGN VELOCITY = 70 MPH, EXPOSURE "B" (U.N.O.)

CONCRETE MASONRY:

- BLOCK MASONRY UNITS SHALL BE TYPE I HOLLOW CORE CONCRETE BLOCK CONFORMING TO ASTM C-90 LATEST REVISION, AND IN ADDITION, SHALL HAVE A MAXIMUM SHRINKAGE OF 0.06% FROM THE SATURATED TO OVER DRY CONDITION. MINIMUM ULTIMATE STRENGTH OF BLOCK SHALL BE 1500 PSI.
- GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH 2000 PSI.
- MORTAR SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI. TYPE S ASTM C-144.
- MINIMUM LAP OF REINFORCING STEEL SHALL BE 40 BAR DIAMETERS FOR GRADE 40 BARS AND 48 BAR DIAMETERS FOR GRADE 60 BARS. PROVIDE 1" MINIMUM CLEARANCE FROM BLOCK MASONRY CELLS.
- MAXIMUM HEIGHT OF GROUT POUR SHALL BE 4'-0" UNLESS CLEAN OUT OPENINGS ARE PROVIDED AT THE BOTTOM OF CELLS TO BE FILLED.
- NO COLD JOINTS ARE PERMITTED UNLESS SPECIFICALLY DETAILED.
- ALL BOND BEAM BLOCK SHALL BE "DEEP CUT" UNITS.
- VERTICAL CELLS TO BE FILLED SHALL HAVE VERTICAL ALIGNMENT; ANY OVERHANGING MORTAR OR OTHER OBSTRUCTION OR DEBRIS SHALL BE REMOVED FROM THE INSIDES OF SUCH CELL WALLS.
- ALL CONCRETE BLOCK MASONRY WHERE SHOWN ON WALL DETAIL HAVE CONTINUOUS INSPECTION BY A REGISTERED INSPECTOR WHERE CALLED OUT.
- RESTRAINED (BASEMENT) WALLS SHALL BE PROPERLY SHORED OR THE FLOOR FRAMING SECURED PRIOR TO PLACING FILL.

FOUNDATION:

- CHARACTER OF FOUNDATION SOIL, SEE SOIL REPORT BY:
- SPREAD AND CONTINUOUS FOUNDATIONS ARE DESIGNED TO BE FOUNDED ON THE FORMATIONAL SOILS OR FILL SOILS, RECOMPACTED OR COMPACTED TO A MINIMUM RELATIVE DENSITY OF 90 PERCENT. COMPACTED BEARING CAPACITY PER RECOMMENDATIONS IN THE SOIL REPORT.
- UNLESS OTHERWISE NOTED, NO BACKFILL SHALL BE PLACED AGAINST WALLS UNTILL:
 - CANTILEVER RETAINING WALLS HAVE CURED FOR A MINIMUM OF 28 DAYS;
 - WALLS RESTAINED AT TOP, 14 DAYS MINIMUM AFTER FLOOR/ROOF SLABS ARE CAST;
- BACKFILL SHALL BE IMPORTED SELECT SAND OR APPROVED GRANULAR FILL.
- BACKFILL OF RETAINING WALLS TO BE COMPACTED BY LIGHT-HAND COMPACTORS ONLY.
- PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, THE SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT:
 - THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT;
 - THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED; AND
 - THE FOUNDATION EXCAVATIONS COMPLY WITH THE SOILS REPORT AND APPROVED PLAN.

REINFORCED CONCRETE:

- CEMENT SHALL CONFORM TO ASTM C-150, TYPE II.
- AGGREGATE SHALL CONFORM TO ASTM C-33 FOR STRUCTURAL NORMAL-WEIGHT CONCRETE (1" MAX. SIZE) AND ASTM C-330 FOR STRUCTURAL LIGHT-WEIGHT CONCRETE.

- READY MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94.
- CONCRETE DESIGN MIXES SHALL BE IN ACCORDANCE WITH CHAP 19 OF UBC AND SHALL BE SIGNED BY A REGISTERED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF JURISDICTION.
- ALL CONCRETE SHALL SATISFY BOTH A MINIMUM STRENGTH REQUIREMENT AND MINIMUM CEMENT CONTENT. THE MINIMUM ULTIMATE COMPRESSIVE STRENGTH (F'c) AT 28 DAYS SHALL BE:
 - 2500 PSI FOR SLAB FOOTING ON GRADE U.O.N.
 - 4000 PSI FOR COLUMN BEAMS AND POST-TENSIONED SLAB U.O.N.
 THE MINIMUM CEMENT CONTENT PER CUBIC YARD OF CONCRETE SHALL BE:
 - 5 1/4 SACK FOR 2500 PSI STRENGTH
 - 5 1/2 SACK FOR 3000 PSI CONCRETE OR GREATER
- THE MAXIMUM CONCRETE SLUMP SHALL BE 3" + 1" FOR SLAB ON GRADE AND 4" + 1" FOR ALL OTHER WORK.
- ADMIXTURES MAY BE USED WITH APPROVAL OF ENGINEERS. ADMIXTURES USED TO INCREASE THE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT.
- REFER TO AND VERIFY WITH ARCHITECTURAL DRAWINGS ANY MOLDS, GROOVES, REVEALS AND SCUPPERS, ORNAMENTS, CLIP OR TEXTURE. REQUIRED TO BE CAST INTO CONCRETE AND FOR LOCATION AND EXTENT OF DEPRESSIONS, CURBS AND RAMPS.
- PROJECTING CORNERS OF SLABS, BEAMS, WALLS, COLUMNS, ETC. SHALL BE FORMED WITH A 3/4" CHAMFER UNLESS OTHERWISE NOTED.
- CONCRETE FORM TOLERANCES SHALL BE WITHIN STANDARDS SET BY AMERICAN CONCRETE INSTITUTE.
- ALL REINFORCEMENT STEEL, ANCHOR BOLTS, DOWELS, AND OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- LOCATION OF ALL CONSTRUCTION JOINTS NOT SPECIFICALLY INDICATED ON THE DRAWINGS SHALL BE APPROVED BY ENGINEER PRIOR TO PLACING REINFORCING STEEL.

REINFORCEMENT STEEL:

- BAR REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 40, FOR UP TO #8 BARS AND GRADE 60, FOR #6 BARS AND LARGER.
- ALL WELDED REBAR TO BE A706.
- WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS D1.4.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- REINFORCEMENT DETAILING, BENDINGS AND PLACING SHALL BE IN ACCORDANCE WITH CONCRETE REINFORCING STEEL INSTITUTE "MANUAL OF STANDARD PRACTICE" LATEST EDITION.
- LAPS AND BAR SPLICES SHALL BE:
 - 36 BAR DIAMETER OR 18" MINIMUM FOR CONCRETE; AND
 - 40 BAR DIAMETER OR 24" MINIMUM FOR MASONRY UNLESS OTHERWISE NOTED.
- VERTICAL BARS IN WALL SHALL BE ACCURATELY POSITIONED AT THE CENTER WALL, UNLESS OTHERWISE NOTED ON DETAILS AND SHALL BE TIED IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 192 DIAMETERS.
- REINFORCING STEEL SHALL BE PROVIDED WITH THE FOLLOWING AMOUNT OF CONCRETE COVER, UNLESS OTHERWISE NOTED:

| | |
|---|--------|
| FOOTINGS (CONCRETE DEPOSITED AGAINST EARTH) | 3" |
| CONCRETE SURFACE (FORMED) EXPOSED TO EARTH OR WEATHER | 2" |
| COLUMN REINFORCEMENT (INCLUDING COLUMN TIES) | 1 1/2" |
| BEAMS AND GIRDS | 1 1/2" |
| SLAB (NO. 11 OR SMALLER) | 3/4" |
- ALL REINFORCING STEEL ANCHOR BOLTS, DOWELS, AND INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE OR GROUT.
- UNLESS OTHERWISE NOTED IN DETAILS, FURNISH NO. 3 SPACER TIES AT APPROX. 2'-6" ON CENTER ON ALL BEAMS AND FOOTINGS TO SECURE REINFORCING IN PLACE.

STRUCTURAL STEEL:

- STRUCTURAL STEEL SHALL COMPLY WITH A.S.T.M. A36 (FY=36KSI).
- MATERIALS AND WORKMANSHIP SHALL COMPLY WITH A.I.S.C. SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- PIPE COLUMNS SHALL COMPLY WITH A.S.T.M., A501 (FY=36KSI).
- TUBE COLUMNS SHALL COMPLY A.S.T.M. A500, GRADE "B" (FY=46KSI).
- MACHINE BOLTS SHALL COMPLY WITH A.S.T.M. A307, GRADE "A" UNLESS OTHERWISE NOTED.
- ANCHOR BOLTS SHALL COMPLY WITH A.S.T.M. A307 GRADE "A", UNLESS OTHERWISE NOTED.
- SHEAR STUDS SHALL BE FIELD WELDED.
- ALL WELDING SHALL BE BY THE SHIELDED ARC PROCESS. USE E-70XX ELECTRODES.
- ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS AND SHALL CONFORM TO A.W.S. D1.1 STRUCTURAL WELDING CODE.
- STRUCTURAL FIELD WELDING SHALL HAVE SPECIAL INSPECTIONS AS REQUIRED BY THE LOCAL JURISDICTION HAVING PRECEDENCE.
- ALL STRUCTURAL STEEL EXPOSED TO EARTH SHALL HAVE 3" CONCRETE COVER.

STRUCTURAL WOOD:

- ALL FRAMING SHALL BE GRADED D.F. OR LARCH MARKED AS FOLLOWS, UNLESS OTHERWISE NOTED. LIGHT FRAMING- "STANDARD" AND "STUD":

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|------------------------|------------------------|
| STUDS: (10' & SHORTER) | DOUGLAS FIR # 2 U.O.N. |
| STUDS: (OVER 10') | DOUGLAS FIR # 2 U.O.N. |
| JOIST: | DOUGLAS FIR # 2 U.O.N. |
| POSTS: | DOUGLAS FIR # 1 U.O.N. |
| 4X BEAM: | DOUGLAS FIR # 2 U.O.N. |
| 6X & UP BEAM: | DOUGLAS FIR # 1 U.O.N. |
| LEDGERS AND TOP PLATE: | DOUGLAS FIR # 2 U.O.N. |
- SILL PLATES ON CONCRETE SHALL BE DOUGLAS FIR, PREASURE TREATED WITH MIN. 5/8" DIA. X 10" ANCHOR BOLTS @ 4'-0" MAX. AND 9" FROM END OF BOARD (OR AS SPLICED ON PLANS).
- TOP PLATES OF ALL STUD WALLS SHALL BE DOUBLED, SAME SIZE AS STUDS, LAP PLATES 4'-0" MIN. WITH AT LEAST 16d NAILS AT 4" MAX. O.C. EACH SIDE.
- SOLID BLOCK AT 10'-0" VERTICAL INTERVALS.
- PLACE 2X SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT SUPPORTS AND UNDER ALL PARTITIONS.

- USE DOUBLE JOISTS UNDER ALL PARALLEL BEARING PARTITIONS.
- CROSS BRIDGING BETWEEN JOISTS AND RAFTERS MAY BE OMITTED WHERE THE COMPRESSION EDGE IS CONTINUOUSLY CONNECTED TO THE SHEATHING, OTHERWISE BRIDGE PER U.B.C. SECTION 2306.7.
- BOLTS SHALL HAVE 7 DIA. MIN. END DISTANCE AND 4 DIA. MIN. EDGE DISTANCE U.O.N.
- ALL BOLTS SHALL BE FITTED WITH WASHERS. HOLES IN WOOD SHALL BE BORED WITH A BIT 1/32" TO 1/16" LARGER THAN THE BOLT DIAMETER.
- CONNECTORS SHALL BE MANUFACTURED BY THE SIMPSON COMPANY, UNLESS ALTERNATE CONNECTORS HAVE BEEN APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- CUTTING, NOTCHING OR DRILLING OF BEAMS OR JOISTS TO BE PERMITTED ONLY AS DETAILED OR APPROVED BY THE ENGINEER.
- ALL NAILING SHALL CONFORM TO U.B.C. TABLE 23-II-B-1 (U.O.N.).
- PROVIDE STRAP TIE (FLUSH HEADERS TO TOP PLATES) ST-22 MIN.
- SHOT PIN SECURING WOOD SILL PLATE TO CONCRETE AT NON-SHEAR WALL OR INTERIOR NONBEARING WALLS SHALL BE AS SPECIFIED MIN. 1.48 DIA., PENETRATE CONCRETE A MIN. OF 1-3/8", INSTALLED THROUGH STEEL WITH SPACING OF 32" O.C. MAX., WITH AT LEAST TWO PINS AT END OF PLATES WASHERS AT 6" & RESPECTIVELY (RAMSET REDHEAD 1524 SDB, 1524 SDC & 1524 SDP) PER ER-1147. FASTENERS SHALL NOT BE INSTALLED UNTIL THE CONCRETE HAS REACHED MIN. STRENGTH OF 2000 P.S.I.

GLUE LAMINATED BEAMS:

- GLUE-LAMINATED BEAMS SHALL BE DOUGLAS FIR/LARCH COMBINATION "24" U.O.N., MANUFACTURED IN ACCORDANCE WITH A.I.T.C. SPECIFICATION 117-84 AND SHALL BE INDUSTRIAL GRANDE APPEARANCE U.O.N.
- A CERTIFICATE OF COMPLIANCE FOR GLUE-LAMINATED BEAMS MUST BE SUBMITTED TO THE BUILDING INSPECTION DEPARTMENT PRIOR TO ERECTION. SHOW DRY OR WET SERVICE CONDITION.
- MINIMUM ALLOWABLE UNITS STRESS FOR GLUE-LAMINATED BEAMS:

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|----------------|---------------|---------------|------------------------------|
| FB=2400 P.S.I. | FV=165 P.S.I. | FC=650 P.S.I. | E=1.8X10 ⁶ P.S.I. |
|----------------|---------------|---------------|------------------------------|

STRUCTURAL I-JOIST & MANUFACTURED LUMBER:

- MANUFACTURED I-JOIST & LUMBER (MICROLAM [LVL], PARALLEL [PSL], AND TIMBERSTRAND [LSL]) BY TRUSS JOIST CO. EQUIVALENT PRODUCTS BY OTHER MANUFACTURERS ALLOWED WITH PRIOR APPROVAL.
- DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST EDITION ICBO ES ER 4979 NER-119, NER-481 AND ICBO ES ER PFC 4354 NER-200, NER-119. CONNECTION AND BEARING MATERIAL TO BE SHOP CONNECTED TO JOISTS AND DESIGNED AND FURNISHED BY JOIST FABRICATOR.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER FOR REVIEW PRIOR TO MANUFACTURE.
- ADDITIONAL JOIST SHALL BE SUPPLIED AS REQUIRED TO SUPPORT MECHANICAL EQUIPMENT.

PLYWOOD:

- ALL PLYWOOD SHALL BE MIN. C-D, INTERIOR SHEATHING, OR BETTER WITH EXTERIOR GLUE AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY.
- LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORT. (ON ROOFS WHERE PLYWOOD IS LAID UP WITH FACE GRAIN PARALLEL TO SUPPORTS, USE A MINIMUM OF 5-PLY PLYWOOD); STAGGER JOINTS; ALL NAILING TO BE COMMON NAILS.
- WHERE SCREWS ARE INDICATED FOR WOOD TO WOOD ATTACHMENTS, USE WOOD SCREWS.
- SCREWS AT FLOOR SHEATHING SHALL BE #8 X 2 1/2" LONG FOR SHEATHING LESS THAN 1" THICK. ALL FLOOR SHEATHING SHALL BE GLUED TO JOINTS WITH AN APA AFG-01 QUALIFIED GLUE.
- ALL PLYWOOD SHALL BE OF THE FOLLOWING NOMINAL THICKNESS, SPAN/INDEX RATIO AND SHALL BE ATTACHED AS FOLLOWS UNLESS NOTED OTHERWISE:

| USE | THICKNESS | SPAN/INDEX RATIO | EDGE ATTACHMENT | INTERMEDIATE ATTACHMENT |
|-------|-----------|------------------|-----------------|-------------------------|
| ROOF | 1/2" | 32/16 | 8d @ 6" O.C. | 8d @ 12" O.C. |
| FLOOR | 5/8" | 42/20 | 10d @ 6" O.C. | 10d @ 12" O.C. |
- AMERICAN PLYWOOD ASSOCIATION PERFORMANCE RATED SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD WITH PRIOR APPROVAL OF OWNER, ARCHITECT AND ROOFING CONTRACTOR. WHERE ROOF IS TO BE GUARANTEED, IT MAY NOT BE USED WITHOUT PRIOR APPROVAL FROM BUILD-UP ROOF SYSTEM MANUFACTURER. RATED SHEATHING SHALL COMPLY WITH I.C.B.O. REPORT NO. NER-108, EXPOSURE 1, AND SHALL HAVE A SPAN RATING EQUIVALENT TO OR GREATER THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN 1/32") SHALL BE THE SAME AS THE PLYWOOD IT REPLACES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

PREFABRICATED WOOD TRUSSES:

- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOAD AND SUPERIMPOSED DEAD LOADS STATED IN STRUCTURAL CALCULATIONS OR AS NOTED ON PLANS. BRIDGING SIZE AND SPACING BY TRUSS MANUFACTURER UNLESS NOTED OTHERWISE. FLAT TRUSS SHALL BE DESIGNED TO ACCOMMODATE A FUTURE MECHANICAL LOAD OF 300 POUNDS AT ANY LOCATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER FOR REVIEW PRIOR TO MANUFACTURE. CALCULATIONS AND SHOP DRAWINGS SHALL SHOW ANY SPECIAL DETAILS REQUIRED AT BEARING POINTS. ALL CONNECTORS SHALL HAVE CURRENT I.C.B.O. APPROVAL.
- ADDITIONAL TRUSSES SHALL BE SUPPLIED AS REQUIRED TO SUPPORT MECHANICAL EQUIPMENT.
- MULTIPLE TRUSS MEMBERS SHALL BE FASTENED TOGETHER TO ALLOW TRANSFER OF SHEAR AND TENSION FORCES (MINIMUM 300 PLF) AT PLYWOOD SHEATHING JOINTS AND PREVENT CROSS GRAIN BENDING OF TOP CHORDS. ATTACHMENT SHALL BE A CONTINUOUS 20 GAUGE METAL PLATE OR OTHER APPROVED MEANS. METHOD OF ATTACHMENT SHALL BE INDICATED ON SHOP DRAWINGS FOR REVIEW.

SHOP DRAWINGS:

- SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ITEMS REQUIRED BY ARCHITECTS SPECIFICATIONS.
- THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTAL. ITEMS NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS SHALL BE FLAGGED IN THE REVIEW.
- VERIFY ALL DIMENSIONS WITH ARCHITECT.
- ANY CHANGES SUBSTITUTIONS OR DEVIATIONS FROM CONTRACT DOCUMENTS SHALL BE CLOUDED BY MANUFACTURER OR FABRICATOR, ANY OF AFOREMENTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTED PARTIES, SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNLESS NOTED ACCORDINGLY.
- THE ENGINEER HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANYTIME BEFORE OR AFTER SHOP REVIEW.

STRUCTURAL SPECIFICATION

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| <p>STUD NOTCHING</p> <p>NOTES: 1. ONLY ONE MAX. SIZE NOTCH OR BORED HOLE IS ALLOWED PER STUD. 2. NONBEARING WALL IS DEFINED AS A PARTITION SUPPORTING NO LOAD OTHER THAN ITS OWN WEIGHT. 3. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.</p> | <p>STRAP DETAIL</p> |
| <p>PLATE NOTCHING</p> <p>NOTE: UNLESS OTHERWISE NOTED USE 5/8" A.B. X10" LONG W/7" MIN. EMBEDMENT.</p> <p>WHERE SILL PLATE IS NOTCHED OR DRILLED MORE THAN 1/3 PLATE WIDTH INSTALL ONE F1A18 STRAP AT EACH SIDE</p> | <p>STRAP DETAIL</p> |
| <p>STUD NOTCHING</p> <p>NOTE: WHEN HOLES EXCEED SHOWN, USE SS STUD SHOE.</p> <p>"h" = STUD HEIGHT "d" = STUD WIDTH</p> | <p>STRAP DETAIL</p> |
| <p>PIPING @ FOOTING</p> | <p>STRAP DETAIL</p> |
| <p>TYP. JOINT</p> <p>NOTES: 1. SLAB REINF. TO BE CONTINUOUS. 2. SAW CUT WITHIN 24 HOURS OF POURING SLAB. 3. PROVIDE SAW CUT AT MAXIMUM 20' O.C. FOR ALL INTERIOR AND EXTERIOR SLABS AND FLATWORK.</p> | <p>TOP PLATE AT SPLICE</p> |

DATE: MARCH 20, 2007

DESIGNER: PETER TARANTINO

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LA MESA, CA 91941

REMODEL AND ADDITION

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151 19TH STREET

SAN DIEGO, CA 92102

OWNER: MR. ROGER ROBLEDO

151 19TH STREET

SAN DIEGO, CA 92102

SHEET

9

OF 9

REV. 3/3/2007

REV. 1/20/2007