



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: October 10, 2012 REPORT NO. HO 12-081

ATTENTION: Hearing Officer

SUBJECT: Abelkop Residence  
PROJECT NUMBER: 258472

LOCATION: 2481 Rue Denise

APPLICANT/  
OWNER: Colin Hernstad/Stephen and Brenda Abelkop

### SUMMARY

Requested Action - Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to construct a one story addition to a one story, single-family residence within the La Jolla Community Planning area?

Staff Recommendation - **APPROVE** Coastal Development Permit No. 1023304 and Site Development Permit No. 910451.

Community Planning Group Recommendation - On May 3, 2012, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the project (Attachment 7).

La Jolla Shores Planned District Ordinance Advisory Board—This item is scheduled for the La Jolla Shores Planned District Ordinance Advisory Board on October 16, 2012. Staff will provide their vote at the Hearing Officer hearing on October 17, 2012.

Environmental Review—This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15301 (e) (2) (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 13, 2012 and the opportunity to appeal that determination ended September 27, 2012.

## BACKGROUND/DISCUSSION

The project proposes a Coastal Development Permit and Site Development Permit for the construction of a one story, 2,671-square-foot addition to a one story, 3,721-square-foot residence located at 2481 Rue Denise in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan and Coastal Overlay Zone (non-appealable to the California State Coastal Commission). The site currently contains a single family home with attached garage. The project is surrounded by single family homes. The project requires a Coastal Development Permit Process Three as the site proposes a coastal development pursuant to San Diego Municipal Code (SDMC) section 126.0702 and does not qualify for a Coastal Development Permit exemption as more than 50 percent of the exterior walls would be demolished. The project requires a La Jolla Shores Planned District Permit as processed as a Site Development Permit for the construction of a new building within the La Jolla Shores Planned District pursuant to SDMC section 1510.0201.

The proposed project design meets all land development requirements of the Land Development Code to include coverage, landscaping, parking, and height. The property will be landscaped with hardscape and a variety of drought tolerant trees, shrubs, and ground cover in accordance with the La Jolla Shores Planned District and recommendation of the La Jolla Community Plan.

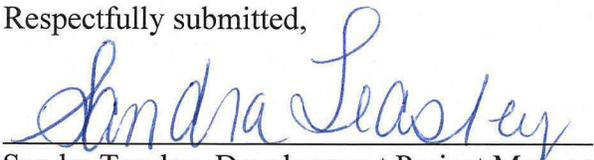
### Conclusion:

Staff has reviewed the proposed project and has found it is consistent with the development standards in effect for the site and with the adopted La Jolla Community Plan, Local Coastal Program Land Use Plan, and the City of San Diego Progress Guide and General Plan. Staff recommends approval of the project.

### ALTERNATIVES:

1. **Approve** Coastal Development Permit No. 1023304 and Site Development Permit No. 910451, with modifications.
2. **Deny** Coastal Development Permit No. 1023304 and Site Development Permit No. 910451, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Sandra Teasley, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Community Planning Group Recommendation
8. La Jolla Shores Advisory Board Recommendation
9. Project Plans



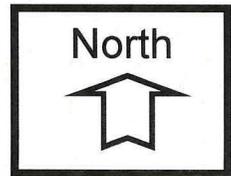
Project Site

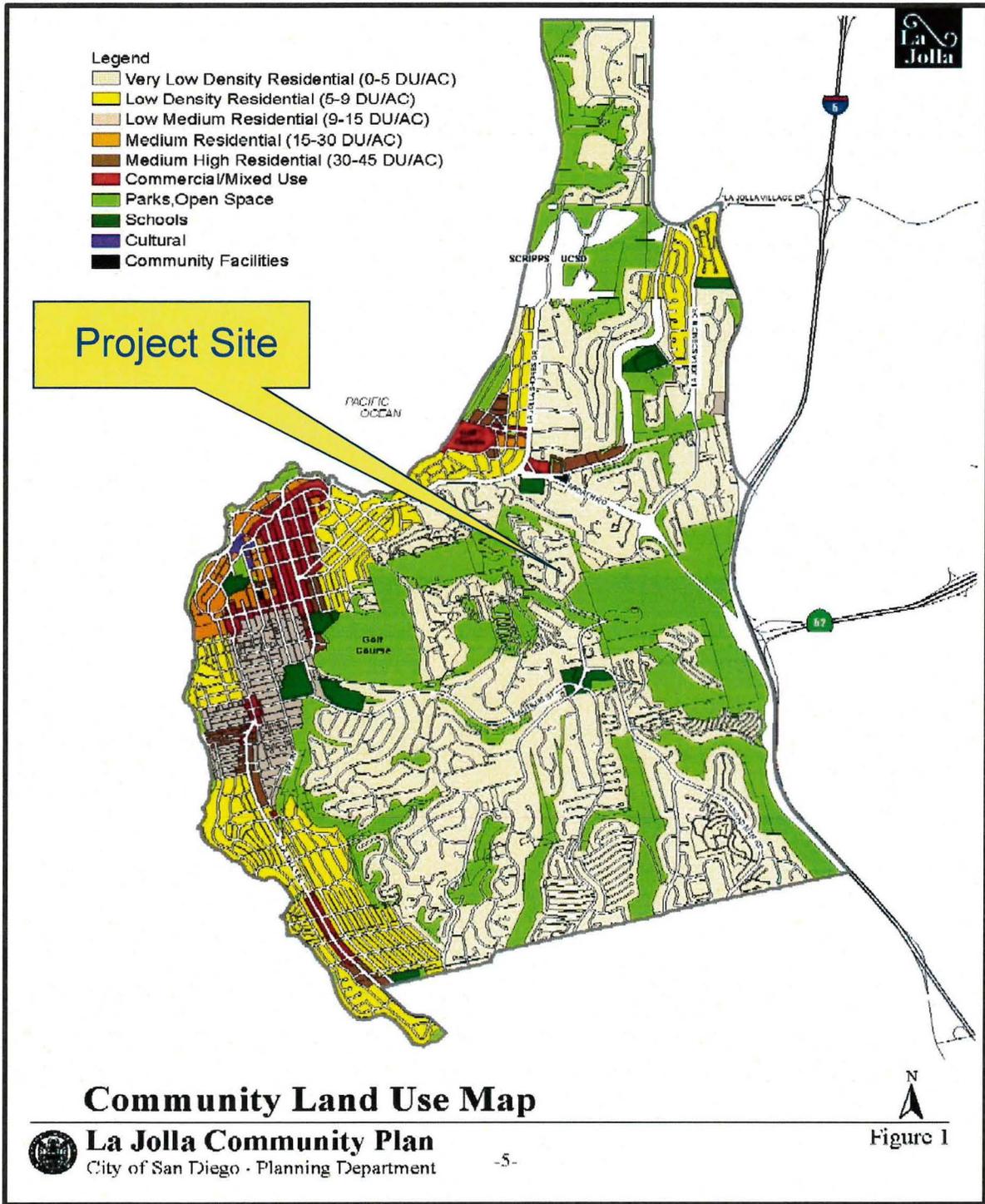
Roberts  
International Cell  
Phone Rental



### Aerial Photo

ABELKOP RESIDENCE – 2481 RUE DENISE  
PROJECT NO. 258472

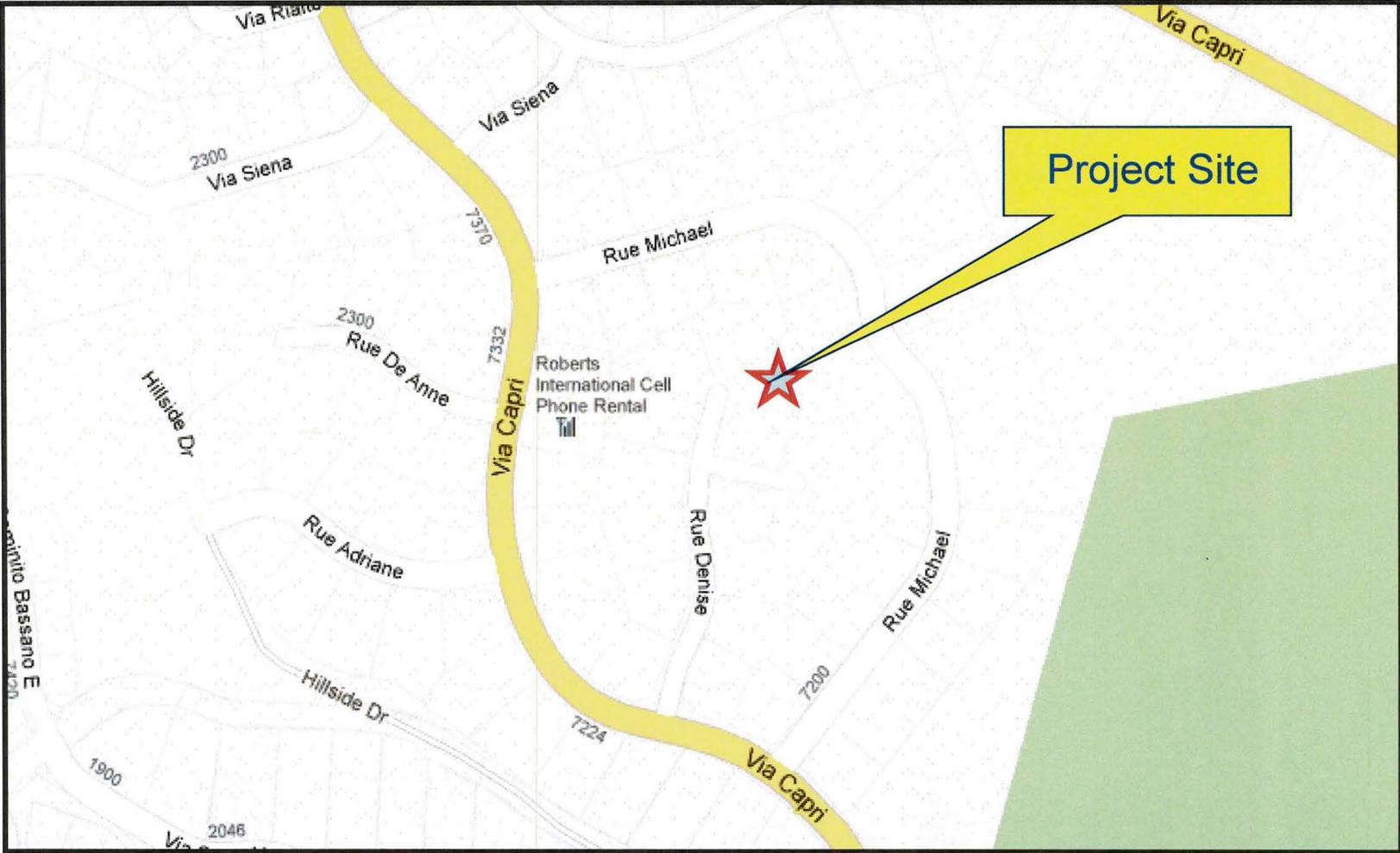




## Land Use Map

**ABELKOP RESIDENCE – 2481 RUE DENISE**  
**PROJECT NO. 258472**





### Project Location Map

ABELKOP RESIDENCE – 2481 RUE DENISE  
PROJECT NO. 258472



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	ABELKOP RESIDENCE	
<b>PROJECT DESCRIPTION:</b>	Addition for an existing one story single family residence.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla Community Plan	
<b>DISCRETIONARY ACTIONS:</b>	COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Very Low Density Residential (0-5 du/ac)	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> SF zone of the La Jolla Shores Planned District		
<b>HEIGHT LIMIT:</b> 30-Foot maximum height limit.		
<b>LOT SIZE:</b> General Conformity		
<b>FLOOR AREA RATIO:</b> No FAR requirement		
<b>FRONT SETBACK:</b> General Conformity		
<b>SIDE SETBACK:</b> General Conformity		
<b>STREETSIDE SETBACK:</b> General Conformity		
<b>REAR SETBACK:</b> General Conformity		
<b>PARKING:</b> 2 off-street parking spaces		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	SF zone of the La Jolla Shores Planned District	Single family residence
<b>SOUTH:</b>	SF zone of the La Jolla Shores Planned District	Single family residence
<b>EAST:</b>	SF zone of the La Jolla Shores Planned District	Single family residence
<b>WEST:</b>	SF zone of the La Jolla Shores Planned District	Single family residence
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	No Deviations Requested	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	<b>Approved 14-0-1 5/3/12 (La Jolla Community Planning Association).</b>	

HEARING OFFICER  
RESOLUTION NO. HO-XXX  
COASTAL DEVELOPMENT PERMIT NO. 1023304  
SITE DEVELOPMENT PERMIT NO. 910451

**ABELKOP RESIDENCE - PROJECT NO. 258472**

WHEREAS, Stephen and Brenda Abelkop, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a one story, 2,671-square-foot addition to a one story, 3,721-square-foot residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1023304 and 910451), on portions of a 0.46-acre site;

WHEREAS, the project site is located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Plan;

WHEREAS, the project site is legally described as Lot 74 of Chateau Ville, Map No. 3926;

WHEREAS, on October 17, 2012, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 102334 and Site Development Permit No. 910451 pursuant to the Land Development Code of the City of San Diego; and

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated October 17, 2012.

FINDINGS:

**Coastal Development Permit - Section 126.0708**

- The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes a Site Development Permit and a Coastal Development Permit to construct a 2,671-square-foot addition to an existing single family residence on a 0.29 acre site located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Planning area.

All of the proposed development will be contained within the existing disturbed, previously developed and graded site. The project site has no existing physical coastal access used legally or otherwise by the public, nor does it have any public access identified in the Local Coastal Program. The subject property is not identified in the City of San Diego's adopted Local Coastal Program (LCP) Land Use Plan as a public accessway, however, the site is identified as a scenic overlook. The proposed addition is maintaining the height of the existing single family residence and the locations of the proposed additions do not obstruct any scenic overlooks from the public right of way. The project is surrounded by single family homes and is completely contained within the private property, as such, the project would not

encroach upon any existing physical accessway. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project proposes a Site Development Permit and a Coastal Development Permit to construct a 2,671-square-foot addition to an existing single family residence on a 0.29 acre site located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Planning area.

The proposed project is located within a built, urban environment, and does not contain any environmentally sensitive lands. The project is also not adjacent to any sensitive resources, and not within, or adjacent to, the Multi-Habitat Planning Area (MHPA). As the project is not located within, or adjacent to, any sensitive resource areas, the proposed coastal development will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project proposes a Site Development Permit and a Coastal Development Permit to construct a 2,671-square-foot addition to an existing single family residence on a 0.29 acre site located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Planning area. The site is designated for low residential development.

The proposed project is consistent with the land use designation of the Community Plan by constructing additions to an existing residence, maintaining the allowable density range of up to five dwelling units per acre as identified within the La Jolla Community Plan and Local Coastal Program and Land Use Plan. The development would meet the goals of the La Jolla Community Plan/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches and bays.

The La Jolla Community Plan recommends that the community character be maintained through several measures including 1) new developments provide a high quality residential environment respective of the sea, hillsides and open space; 2) reduce bulk and scale; 3) maintain the character of residential area by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows an harmonious visual relationship to exist between the bulk and scale of new and existing developments. This remodel incorporates the following elements in order to to enhance the existing streetscape and neighborhood as follows:

The existing roof ridge line has been maintained order to fully preserve the views of the properties behind and will improve the views by offering an improved finished roof surface if visible. Existing perimeter landscaping will be maintained and enhanced to ensure that the remodel will not have any visual impact on the neighbors.

The existing roof overhang has been cut back significantly to increase the width of the view of the ocean and canyons beyond as seen from Rue Denise.

There is no increase to the footprint of the home as currently viewed from the street .

The architectural style used is in harmony with the improvement to other homes on the street so it will blend with the current the streetscape.

The color palette will blend with other homes in the neighborhood.

The proposed home will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations which include to height, coverage, parking, and landscape. The project proposes no deviations or variances from the applicable regulations and is consistent with the goals and recommendations within the applicable policy documents. The project is inherently original, adding to the diverse nature of La Jolla housing, therefore, the proposed development will not adversely affect the applicable land use plan.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes a Site Development Permit and a Coastal Development Permit to construct a 2,671-square-foot addition to an existing single family residence on a 0.29 acre site located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Planning area. The site is designated for low residential development. The site is not located between nearest public road and the sea or shoreline of any body of water and first public right-of-way and will not impact public access and public recreation polices of Chapter 3 of the California Coastal Act.

#### **Site Development Permit - Section 126.0504**

- 1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes a Site Development Permit and a Coastal Development Permit to construct a 2,671-square-foot addition to an existing single family residence on a 0.29 acre site located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Planning area. The site is designated for low residential development.

The proposed project is consistent with the land use designation of the Community Plan by constructing additions to an existing residence which maintains the allowable density range of up to five dwelling units per acre. The development would meet the goals of the La Jolla Community Plan/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches and bays.

The La Jolla Community Plan recommends that the community character be maintained through several measures including 1) new developments provide a high quality residential environment respective of the sea, hillsides and open space; 2) reduce bulk and scale; 3) maintain the character of residential area by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows an harmonious visual relationship to exist between the bulk and scale of new and existing developments. This remodel incorporates the following elements in order to to enhance the existing streetscape and neighborhood as follows:

The existing roof ridge line has been maintained order to fully preserve the views of the properties behind and will improve the views by offering an improved finished roof surface if visible. Existing perimeter landscaping will be maintained and enhanced to ensure that the remodel will not have any visual impact on the neighbors. The existing roof overhang has been cut back significantly to increase the width of the view of the ocean and canyons beyond as seen from Rue Denise. There is no increase to the footprint of the home as currently viewed from the street . The architectural style used is in harmony with the improvement to other homes on the street so it will blend with the current the streetscape. The color palette will blend with other homes in the neighborhood.

The proposed home will meet the land use regulations of the certified Implementation Program including compliance with the San Diego Municipal Code development regulations which includes building height, coverage, parking, and landscape. The project proposes no deviations or variances from the applicable regulations and is consistent with the goals and recommendations within the applicable policy documents. The proposed home will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations which include to height, coverage, parking, and landscape. The project proposes no deviations or variances from the applicable regulations and is consistent with the goals and recommendations within the applicable policy documents. Therefore, the proposed development will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project proposes a Site Development Permit and a Coastal Development Permit to construct a 2,671-square-foot addition to an existing single family residence on a 0.29 acre site located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Planning area. The site is designated for low residential development.

The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, public improvement repairs, fire protection, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. Therefore, the proposed project conforms to the development regulations and will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project proposes a Site Development Permit and a Coastal Development Permit to construct a 2,671-square-foot addition to an existing single family residence on a 0.29 acre site located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Planning area. The site is designated for low residential development.

The project is consistent with the development regulations of the SF zone and all other pertinent regulations of the Land Development Code (LDC) which include coverage, general conformity to existing setbacks, siting of building, height, grading, landscaping and architectural design. The home follows the basic structure of courtyard housing with its sheltered interior courtyard and neutral façade. The project presents a basic bulk, mass, scale, and lot coverage that is proportionate to the surrounding neighborhood. The project was designed in conformance with the underlying zone and land use plan and is not requesting deviations or variances to the Land Development Code. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1023304 and Site Development Permit No. 910451 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1023304 and 910451 a copy of which is attached hereto and made a part hereof.

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Sandra Teasley  
Development Project Manager  
Development Services

Adopted on: October 17, 2012

Job Order No. 24002192

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002192

**COASTAL DEVELOPMENT PERMIT NO. 1023304**  
**SITE DEVELOPMENT PERMIT NO. 910451**  
**ABELKOP RESIDENCE - PROJECT NO. 258472**  
**HEARING OFFICER**

This Coastal Development Permit No. 1023304 and Site Development Permit No. 910451 is granted by the Hearing Officer of the City of San Diego to STEPHEN AND BRENDA ABELKOP, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702 and 1510.0201. The 0.29-acre site is located at 2481 Rue Denise in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Plan, Coastal Overlay (non-appealable), and Coastal Height Limit Overlay Zone. The project site is legally described as Lot 74 of Chateau Ville, Map No. 3926.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct additions to a single-family residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 17, 2012, on file in the Development Services Department.

The project shall include:

- a. Construction of a one story, 2,671-square-foot addition to a one story, 3,721-square-foot residence with four garages;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning

regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **ENGINEERING REQUIREMENTS**

11. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

12. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix G of the City's Storm Water Standards, satisfactory to the City Engineer.

14. This project proposes to export 25 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

**LANDSCAPE REQUIREMENTS:**

15. Prior to issuance of a grading or building permit, the permittee shall submit a site/plot plan consistent with the plans submitted for a building permit showing the required 30% landscaped area in a crosshatch pattern and labeled "Landscape Area Diagram".

16. Provide the following note on the "Landscape Area Diagram": All of the landscape to meet the 30% area requirement shall be installed as required by the La Jolla Shores Planned District Ordinance prior to final inspection".

17. Any modifications or changes to the "Landscape Area Diagram" and existing or proposed plant material, as shown on the approved Exhibit 'A' Landscape Concept Plan, is permitted provided the resulting landscape meets the minimum area requirements of the La Jolla Shores Planned District Ordinance.

18. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

**PLANNING/DESIGN REQUIREMENTS:**

19. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

**FIRE REQUIREMENTS:**

21. Prior to the issuance of a building permit, construction plans shall demonstrate a fire sprinkler system in accordance with the California Building Code for single family homes.

**GEOLOGY REQUIREMENTS:**

22. Prior to the issuance of a construction permit, the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

23. Prior to the issuance of a construction permit, the Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of Development Services prior to exoneration of the bond and grading permit close-out.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 17, 2012.

Permit Type/PTS Approval No.: CDP No. 1023304  
SDP No. 910451

Date of Approval: October 17, 2012

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Sandra Teasley  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By \_\_\_\_\_  
STEPHEN AND BRENDA ABELKOP  
OWNERS

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



P.O. BOX 889  
• LA JOLLA •  
CALIFORNIA 92038

**LA JOLLA COMMUNITY PLANNING ASSOCIATION**

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: [Info@LaJollaCPA.org](mailto:Info@LaJollaCPA.org)

**Regular Meeting – 03 May 2012**

**Attention:** Sandra Teasley, PM  
City of San Diego

**Project:** Abelkop Residence  
2481 Rue Denise  
PN: 258472

**Motion:** To accept the actions of the La Jolla Shores Permit Review Committee: Findings can be made for a Site Development Permit. 5-0-1 **Vote: 14-0-1**

03 May 2012

**Submitted by:** Tony Crisafi, President  
La Jolla CPA

Date

NOTICE OF EXEMPTION

TO:  X  RECORDER/COUNTY CLERK  
P.O. BOX 1750, MS A-33  
1600 PACIFIC HWY, ROOM 260  
SAN DIEGO, CA 92101-2422  
  
                     OFFICE OF PLANNING AND RESEARCH  
1400 TENTH STREET, ROOM 121  
SACRAMENTO, CA 95814

FROM: CITY OF SAN DIEGO  
DEVELOPMENT SERVICES DEPARTMENT  
1222 FIRST AVENUE, MS 501  
SAN DIEGO, CA 92101

PROJECT NO.: **258472**                      PROJECT TITLE: **ABELKOP RESIDENCE**

PROJECT LOCATION-SPECIFIC: **2481 RUE DENISE**  
PROJECT LOCATION-CITY/COUNTY: **SAN DIEGO/SAN DIEGO**

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: **SITE DEVELOPMENT PERMIT FOR A 2,671-SQUARE-FOOT ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE (INCLUDING GARAGE AREA) FOR TOTAL LOT COVERAGE OF 6,392 SQUARE FEET ON A 0.29-ACRE SITE. THE SITE IS LOCATED AT 2481 RUE DENISE IN THE SF (SINGLE FAMILY) ZONE OF LA JOLLA SHORES PLANNED DISTRICT WITHIN THE LA JOLLA COMMUNITY PLAN, COASTAL OVERLAY (NON-APPEALABLE) ZONE, AND COASTAL HEIGHT LIMIT ZONE AND COUNCIL DISTRICT 1.**

NAME OF PUBLIC AGENCY APPROVING PROJECT: **CITY OF SAN DIEGO**

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: **COLIN HERNSTAD, HERN-ORE INC, 8515 LA JOLLA SCENIC DRIVE NORTH, LA JOLLA, CA 92037, PHONE (619) 921-0114**

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: SECTION 15301(A)(2)- EXISTING FACILITIES**

*(e) (2) Steasley 10.5.12*

REASONS WHY PROJECT IS EXEMPT: **THE PROPOSED ACTIVITY IS EXEMPT FROM CEQA PURSUANT TO SECTION 15301(A)(2), WHICH ALLOWS FOR INTERIOR OR EXTERIOR ALTERATIONS. ADDITIONALLY NONE OF THE EXCEPTIONS DESCRIBED IN CEQA GUIDELINES SECTION 15300.2 APPLY.**

LEAD AGENCY CONTACT PERSON: **HOLLY SMIT KICKLIGHTER**                      TELEPHONE: **(619) 446-5378**

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
(X) YES      ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

*[Handwritten Signature]*  
\_\_\_\_\_  
SIGNATURE/TITLE

September 13, 2012  
DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

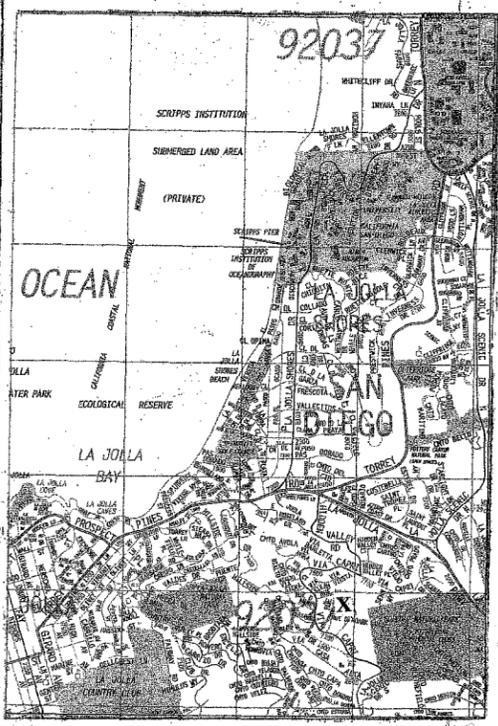
BUILDING CODE DATA ATTACHMENT 9

DEFERRED SUBMITTAL

Deferred submittals shall be provided for the following building component/elements: FIRE SPRINKLERS See notes on sheet A3

Submit documents for deferred submittals to be submitted in a timely manner that allows a minimum of 30 days for the initial plan review turn around.

VICINITY MAP



ADDITIONAL INFORMATION

RESIDENTIAL SPECIFICATIONS GENERAL CONDITIONS Unless otherwise noted all exterior dimensions are to face of stud and plan interior dimensions are to face of partitions. Do not scale drawings. Contractor shall verify all dimensions at the job site and report any discrepancies to the designer.

Stairs: Floor, walls and ceiling of enclosed accessible space under stairs shall be one-hour fire protected. Minimum headroom for stair shall be 6'8". The highest riser within a flight of stairs shall not exceed the smallest by 3/8".

Provide attic ventilation of 1 SF per 160 SF of attic space per 2010CRC

Raised floor foundation to be provided with ventilation of 1 SF per 150 SF of floor area per 2010 CRC

FOUNDATIONS / SOILS CRITERIA: EXPANSION INDEX HAS BEEN DETERMINED TO BE GREATER THAN 20 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER HAVE BEEN INCORPORATED INTO THESE PLANS.

SPECIAL INSPECTIONS OFF SITE FABRICATION

SPECIAL INSPECTION REQUIRED: YES NO SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:

BEST MANAGEMENT PRACTICES

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S This project shall comply with all requirements of the state permit: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01 NPDES NO. CAS010875

PLUMBING NOTES

- 1. Water heaters having non-rigid water connections and over 4 feet in height shall be anchored or strapped to the building. Provide "B" vent up to roof with draft stops as required.

ELECTRICAL NOTES

- 1. Provide hard wired smoke detectors per CBC 9010 and as noted on the plans: A. Centrally located in corridor or area leading to sleeping areas and in each sleeping room.

MECHANICAL NOTES

- 1. Forced air shall be supplied to each room and be capable of heating each room to a temperature of 70 degrees at a point 3' above the floor.

SCOPE OF WORK

REMODEL INTERIOR OF EXISTING HOUSE. ADD 2298 SQUARE FOOT ADDITION TO THE EXISTING HOUSE, INCLUDING A THIRD CAR GARAGE.

OWNER'S CERTIFICATE

I, THE UNDERSIGNED AS OWNER(S) OF THE PROPERTY DESCRIBED AS: 2248 RUE DENISE, LA JOLLA, CA 92037. I CERTIFY TO THE BEST OF MY KNOWLEDGE, POLLUTANTS ANTICIPATED BY THE PROPOSED LAND USE ARE AS FOLLOWS:

Table with columns for TYPE OF CONSTRUCTION, OCCUPANCY, CALIFORNIA BUILDING CODE, NO. OF STORIES, BUILDING HEIGHT, EXIST FLOOR AREA, ADDITION, TOTAL FLOOR AREA, EXISTING LOT SIZE, EAR, GOVERNING CODES, LOT COVERAGE, ZONE INFO.

INFORMATION INDEX

Table listing information sheets: INFORMATION SHEET, SITE PLAN, EXISTING FLOOR PLAN/DEMOLITION PLAN, DEMOLITION MATRIX, FIRST FLOOR PLAN, etc.

PROJECT DATA

Table with project details: PROJECT ADDRESS (2481 Rue Denise, La Jolla CA 92037), PROJECT OWNERS (Stephen Abelkop Family Trust), ARCHITECT (Donald D Goertz AIA/CSI Architect), LEGAL DESCRIPTION, APN (352-331-13-00), SOIL CONDITION (Previously graded), YEAR HOUSE BUILT (1964).

ABELKOP RESIDENCE 2481 Rue Denise, La Jolla CA 92037 INFORMATION SHEET Date: JUNE 28, 2012 Scale: Drawn: 1/8" = 1'-0" Sheet: A0 of 1

LOT 74 OF MAP 3926, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, SURVEY PERFORMED MARCH 2006

Minimum Required Best Management Practices (BMPs)	CALTRANS Stormwater Handbook Detail	BMP Selected	Each selected BMP must be shown on Grading Plan. If No BMP is selected, explain why
<b>Step 1 Select Erosion Control method for Disturbed Slopes (Choose at least one)</b>			
Vegetation Stabilization (see note 1)	SS-2 SS-4		
Hydraulic Stabilization	SS-3 SS-4		
Hydroseeding (see note 1)	SS-4		
Banded Fiber Matrix or Stabilized Fiber Matrix (see note 2)	SS-4		
Physical Stabilization	SS-7		
Erosion Control Blanket (see note 2)	SS-7		
<b>Step 2 Select Erosion Control method for Disturbed Flat Areas (slope &lt; 5%) (Choose at least one)</b>			
County Standard Lot Protection Detail	DPLU 853 SS-2		
Will use erosion control measures from Step #1 on flat areas also	SS-2, 3, 4, 7		
County Standard Grading Basin (small road side ditch)	DPLU 856 SS-2		
Mulch, straw, wood chips, soil application	SS-4 SS-8		
<b>Step 3 If runoff is concentrated, velocity must be controlled using energy dissipater</b>			
Energy Dissipater Outlet Protection (see note 3)	SS-10		
<b>Step 4 Select Sediment Control method for all disturbed areas (Choose at least one)</b>			
Silt Pans	SS-1	XXXXXX	
Straw Matting	SS-2 & 8	XXXXXX	
Gravel Basins	SS-2 & 8	XXXXXX	
Storm Drain Inlet Protection	SS-10		
Engineered Grading Basin (sized for 10-year flow)	SS-2		
<b>Step 5 Select method for preventing offsite tracking of sediment (Choose at least one)</b>			
Stabilized Construction Entrances	TC-1		
Construction Road Stabilization	TC-2		
Entrance/Exit Tire Wash	TC-3		
Entrance/Exit Inspection & Cleaning Facility			
<b>Step 6 Select the General Site Management BMPs for each waste that will be on site</b>			
Materials Management	WM-1		
Hazardous Materials & Storage	WM-1		
Waste Management	WM-4		
Concrete Waste Management	WM-5		
Soil Waste Management	WM-5		
Sanitary Waste Management	WM-5		
Interstate Waste Management	WM-6		

BENCHMARK CITY OF SAN DIEGO NO. 16877  
BRASS PLUG AT THE NORTHEAST CURB RETURN OF RUE DENISE AND VIA CAPRI. ELEVATION= 594.19'

BOUNDARY DATA SHOWN IS BASED ON FOUND MONUMENTS AND/OR RECORD DATA. THIS IS A TOPOGRAPHICAL SURVEY ONLY AND ALL BOUNDARY AND EASEMENT LINES SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THIS MAP REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION.

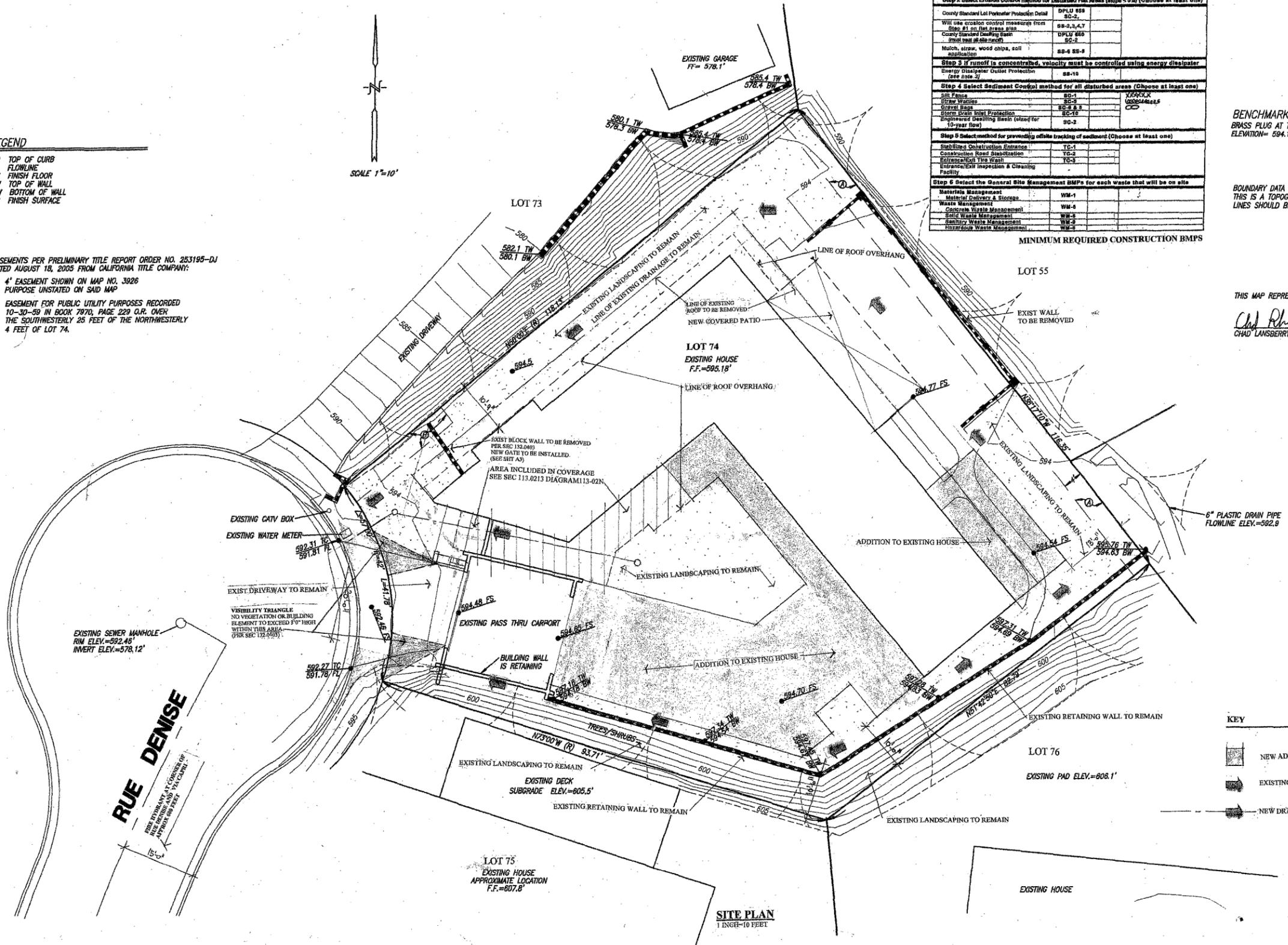
*Chad Lansberry*  
CHAD LANSBERRY, L.S. 7448



**LEGEND**

- TC TOP OF CURB
- FL FLOWLINE
- FF FINISH FLOOR
- TW TOP OF WALL
- BW BOTTOM OF WALL
- FS FINISH SURFACE

- EASEMENTS PER PRELIMINARY TITLE REPORT ORDER NO. 253195-DJ DATED AUGUST 18, 2005 FROM CALIFORNIA TITLE COMPANY:
- Ⓐ 4' EASEMENT SHOWN ON MAP NO. 3926 PURPOSE UNSTATED ON SAID MAP
  - Ⓑ EASEMENT FOR PUBLIC UTILITY PURPOSES RECORDED 10-30-59 IN BOOK 7970, PAGE 229 O.R. OVER THE SOUTHWESTERLY 25 FEET OF THE NORTHWESTERLY 4 FEET OF LOT 74.



**KEY**

	NEW ADDITION
	EXISTING DRAINAGE TO REMAIN
	NEW DRAINAGE LINE

**SITE PLAN**  
1 INCH = 10 FEET

NOTE: PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS P-00-6 (UPC 901.4.6)

JWEST SURVEYING & MAPPING  
40475 ROCK MOUNTAIN DR.  
FALLBROOK, CA 92028  
(760) 723-5892

**ABELKOP RESIDENCE**  
2481 Rue Denise, La Jolla CA 92037  
SITE PLAN/BMPS

Date:	JUNE 28, 2012
Scale:	
Drawn:	
Job:	
Sheet:	<b>A1</b>
Of:	Sheets

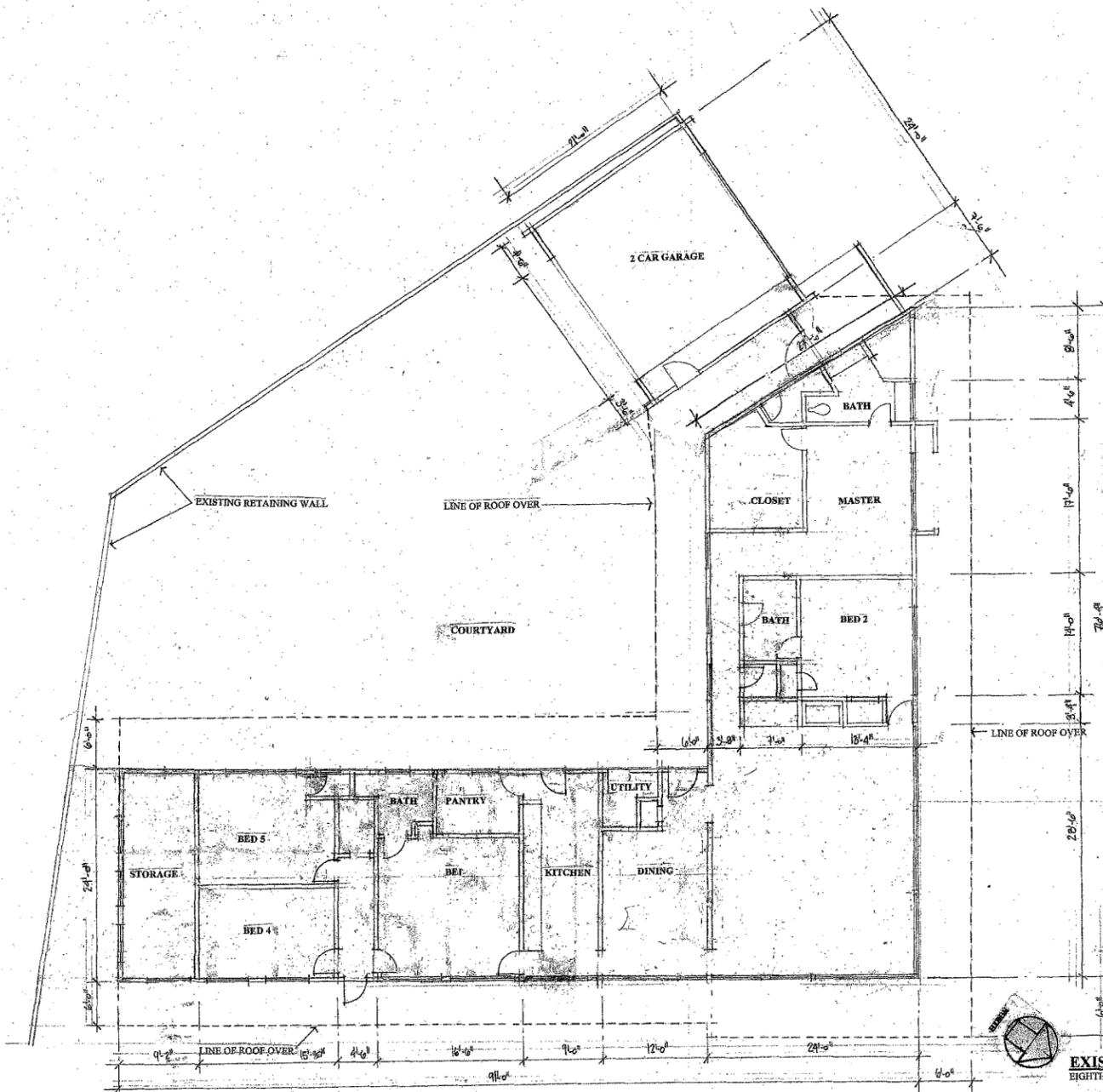
All Landscape and Irrigation shall conform to the standards of the City of San Diego's Land Development Manual, Landscape Standards; the La Jolla Shores Planned District; and all other landscape related City and Regional Standards.  
 Long-Term Maintenance: Please add the following note to the plan: "All required landscape areas shall be maintained by: STEVEN ABELKOP. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition."

**EXTERIOR WALL DEMOLITION MATRIX**

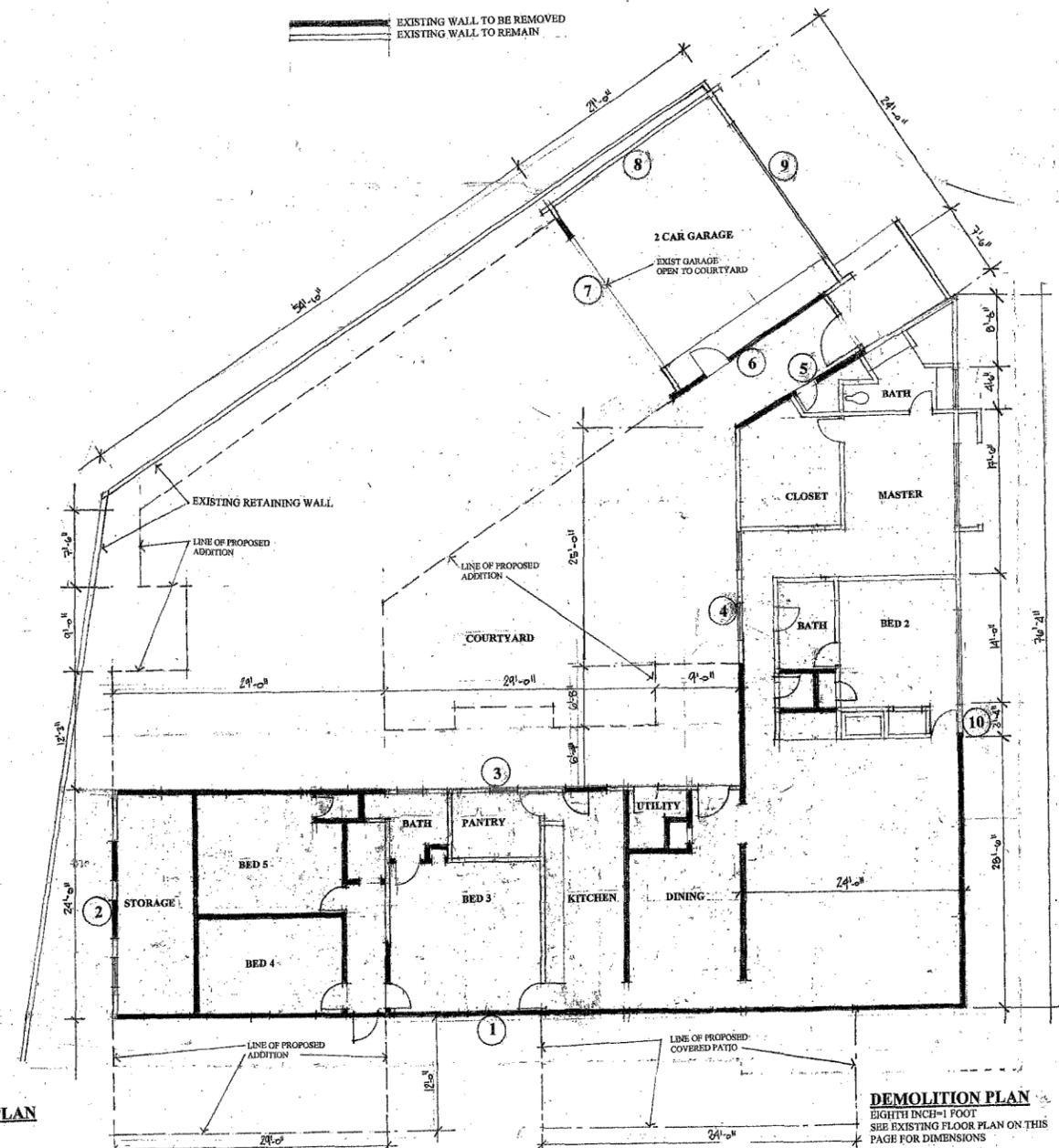
WALL NO	WALL LENGTH	LENGTH OF EXIST WALL REMOVED	LENGTH OF WALL ENCLOSED BY NEW CONSTRUCTION	EXIST WALL LENGTH REMAINING
1	91' 0"	74' 6"	16' 6"	0
2	24' 0"	8' 0"	0	16' 0"
3	67' 0"	34' 6"	32' 6"	0
4	29' 0"	13' 0"	8' 0"	8' 0"
5	27' 6"	15' 0"	0	12' 6"
6	21' 0"	18' 0"	0	3' 0"
7	24' 0"	22' 6"	0	1' 6"
8	21' 0"	0	0	21' 0"
9	24' 0"	0	0	24' 0"
10	76' 4"	28' 8"	0	47' 8"
<b>TOTAL</b>	<b>464' 10"</b>	<b>214' 2"</b>	<b>57' 0"</b>	<b>133' 8"</b>

PERCENTAGE OF EXISTING EXTERIOR WALLS THAT REMAIN IS:  $\frac{133.6}{464.9} = 33.00\%$

EXISTING WALL TO BE REMOVED  
 EXISTING WALL TO REMAIN



**EXISTING FLOOR PLAN**  
 EIGHTH INCH=1 FOOT



**DEMOLITION PLAN**  
 EIGHTH INCH=1 FOOT  
 SEE EXISTING FLOOR PLAN ON THIS PAGE FOR DIMENSIONS

**ABELKOP RESIDENCE**

2481 Rue Denise, La Jolla CA 92037

EXIST FLOOR PLAN/DEMOLITION PLAN/  
 EXIST WALL MATRIX LANDSCAPE PLAN

Date JUNE 28, 2012

Scale

Drawn

Job

Sheet

Of **A2** Sheets



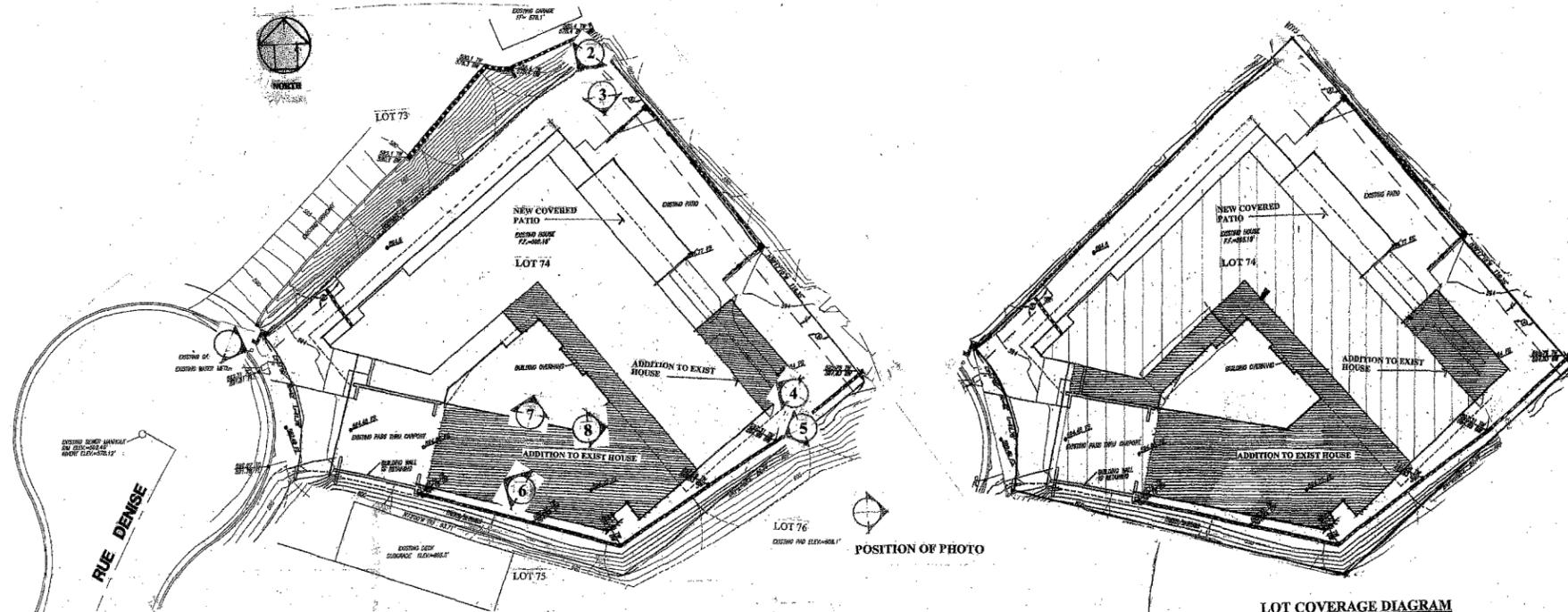
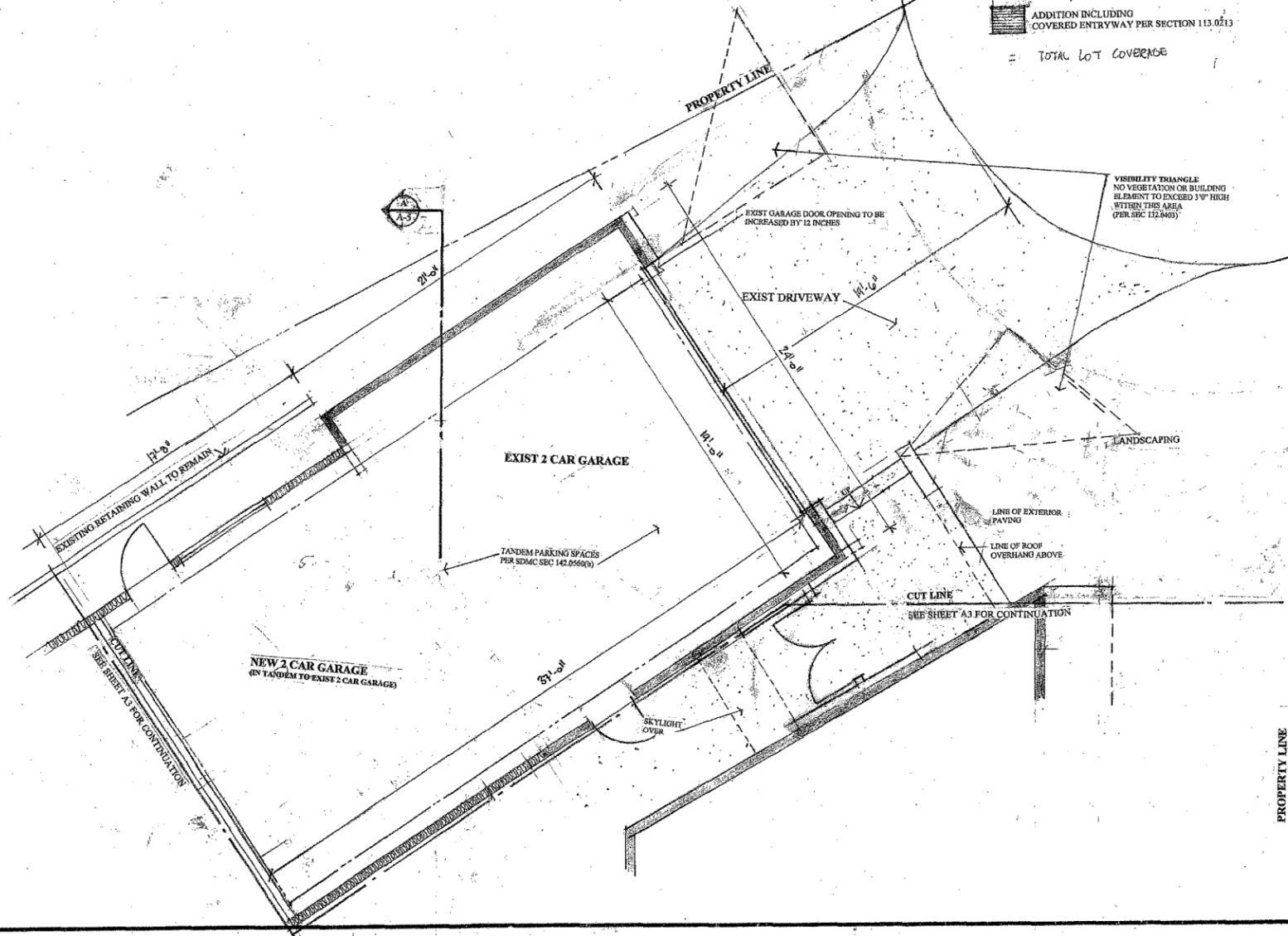
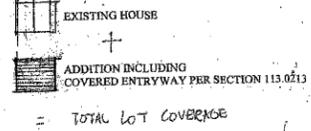


PHOTO SURVEY

POSITION OF PHOTO

LOT COVERAGE DIAGRAM



**NOTE - LING AT DOORS**  
 THERE SHALL BE A LANDING ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. (SEC R314.3) SEE DRAINAGE AND HANDICAP PLAN SHEET C1 FOR LANDINGS. ELEVATIONS: THE EXTERIOR LANDING OR FLOOR AT REQUIRED DOORS SHALL NOT BE MORE THAN 7.75 INCHES BELOW THE TOP OF THE THRESHOLD, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR AND A MAX OF 1 INCH IF IT DOES.

**INSULATION**  
 1. INSULATION MATERIALS TO BE CERTIFIED BY CALIFORNIA BUILDING CODE TITLE 24-2.51194, MEET FLAME SPEED AND SMOKE DENSITY REQUIREMENTS PER TITLE 24-2.51109.  
 2. ATTIC/UNDERFLOOR INSULATION MUST COMPLY WITH SECTIONS 904.309.119 AND 29 OF THE IBC.  
 3. SEE TITLE 24-2.51109 FOR MINIMUM REQUIRED EXTERIOR WALL/CEILING/ROOF ASSEMBLY INSULATION.  
 4. EXTERIOR WALLS TO HAVE R13 INSULATION.

**FIRE NOTES**  
 1. IN AREAS WHERE RECESSED FIXTURES VIOLATE THE INTEGRITY OF A FIRE RATED ASSEMBLY, PROTECTION SHALL BE CONTINUOUS AROUND RECESSED FIXTURE TO MAINTAIN CONTINUITY OF THE FIRE RATED ASSEMBLY.  
 2. BUILDERS CONTRACTOR SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPANCY OF THE BUILDING.  
 3. BUILDING NUMBERS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET (CFC SEC 901.4.4) MINIMUM 4" NUMBERS.  
 4. AN APPROVED SMOKE ALARM SYSTEM SHALL BE INSTALLED AS SET FORTH IN THE CFC.  
 5. OPENINGS INTO A SHAFTH INCLOSURE SHALL BE PROTECTED WITH FIRE DAMPERS OR SELF-CLOSING ASSEMBLIES AND SHALL HAVE A FIRE PROTECTION RATING OF 1 HOUR (CFC 711.4, 711.5).  
 6. EACH CHIMNEY USED IN CONJUNCTION WITH ANY FIREPLACE SHALL BE MAINTAINED WITH A SPARK ARRESTER.

**FIRE SPRINKLERS**  
 THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS WILL BE REQUIRED BY SEC R313 OF THE 2010 RESIDENTIAL CODE OR WHEN REQUIRED BY SEC 903 OF THE 2010 CALIFORNIA BUILDING CODE HAS BEEN DEEMED.  
 TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.

**SMOKE DETECTOR:**  
 1. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION (SEC. 907.2.10.2).  
 WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED (SEC. 907.2.10.3).

ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH PROVISIONS OF THE GOVERNING CRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHALL LISTED AND APPROVED IN ACCORDANCE WITH CCR, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED (SEC R314.1).

**CARBON MONOXIDE ALARM.**  
 X CMA  
 SINGLE AND MULTIPLE STATION CMA'S SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2304. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075.

CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION (SEC R315.1.1).  
 WHERE MORE THAN ONE CMA IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT (SEC R315.2.2).

**GENERAL**  
 JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF DEBRIS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (CBCS 4.402.1).  
 DEBRIS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (CBCS 4.402.1).  
 A MIN OF 20% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER CBCS SEC 4.401 AND CITY ORDINANCE.  
 BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT COPIES OF THE DELIVERY OF THE MAINTENANCE MANUAL (CBCS 4.408.1).  
 DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.  
 ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CBCS 4.504.2.1).  
 PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (CBCS 4.504.2.2).  
 AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MFR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS (CBCS 4.504.2.3).  
 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND/OR BUILDING OWNER WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR (CBCS 4.504.2.4).  
 PARTICLES FINISH MATERIALS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. A LETTER FROM THE INSTALLER AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR (CBCS 4.504.5).  
 EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM THAT CONTAINS A SHOWER OR TUB, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH CAN ADJUST BETWEEN 50 AND 80 PERCENT FLOORING.  
 CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR AND/OR THE BUILDING OWNER CLARIFYING WHAT MATERIALS HAVE BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR (CBCS 4.504.3).  
 FIFTY PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SEALS (CHPS) LOW-EMISSION MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORES PROGRAM (CBCS 4.504.4).  
 FRAMING  
 BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 15% MOISTURE CONTENT. THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE OR CONTACT TYPE MOISTURE METER. A CERTIFICATE OF COMPLIANCE INDICATING DATE OF TEST, LOCATION AND RESULTS ISSUED BY THE FRAMER, SUBCONTRACTOR OR GENERAL CONTRACTOR MUST BE SUBMITTED TO THE BUILDING INSPECTOR (CBCS 4.504.5).

**FIRST FLOOR PLAN (CONTINUED)**  
 SCALE: QUARTER INCH = 1 FOOT

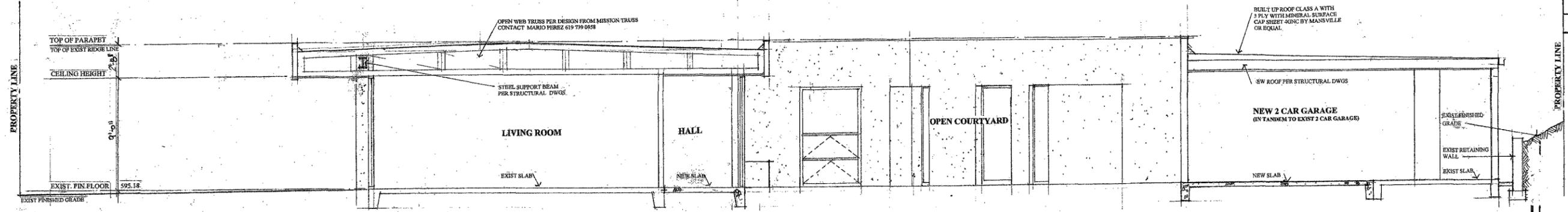
FOR WALL KEY INFORMATION SEE SHEET A3

IRRIGATION  
 AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL BE WEATHER BASED (CBCS 4.504.1).

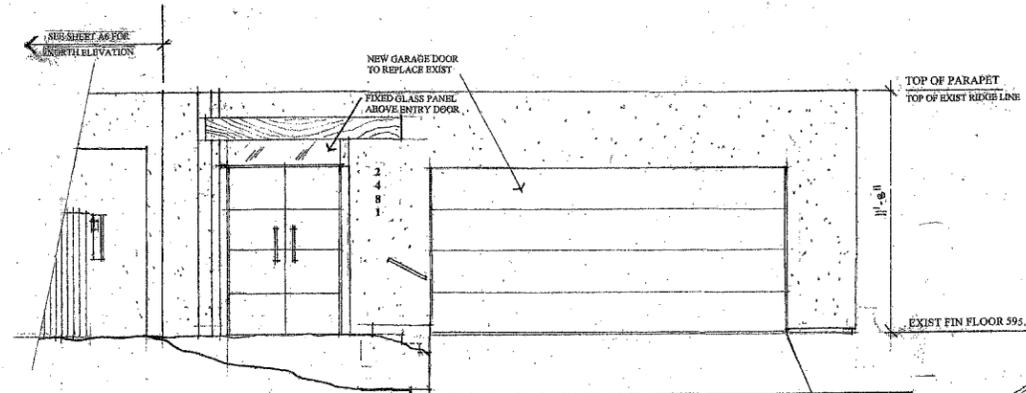
**NOTE:**  
 ALL EXISTING DIMENSIONS GIVEN ARE TO BE FIELD VERIFIED.  
 ANY DISCREPANCIES ARE TO BE IMMEDIATELY REPORTED TO THE CONTRACTOR AND OWNER.

**ABELKOP RESIDENCE**  
 2481 Rue Denise, La Jolla CA 92037  
**FIRST FLOOR PLAN CONTINUED**  
**PHOTO SURVEY KEY**

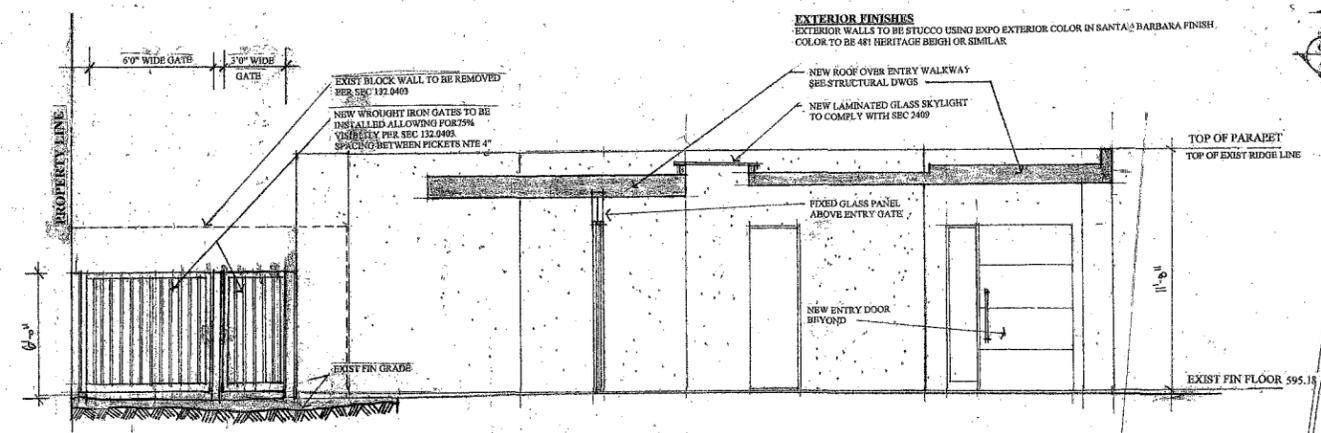
Date	JUNE 28, 2012
Scale	
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Job	
Sheet	<b>A4</b>
Of	2 Sheets



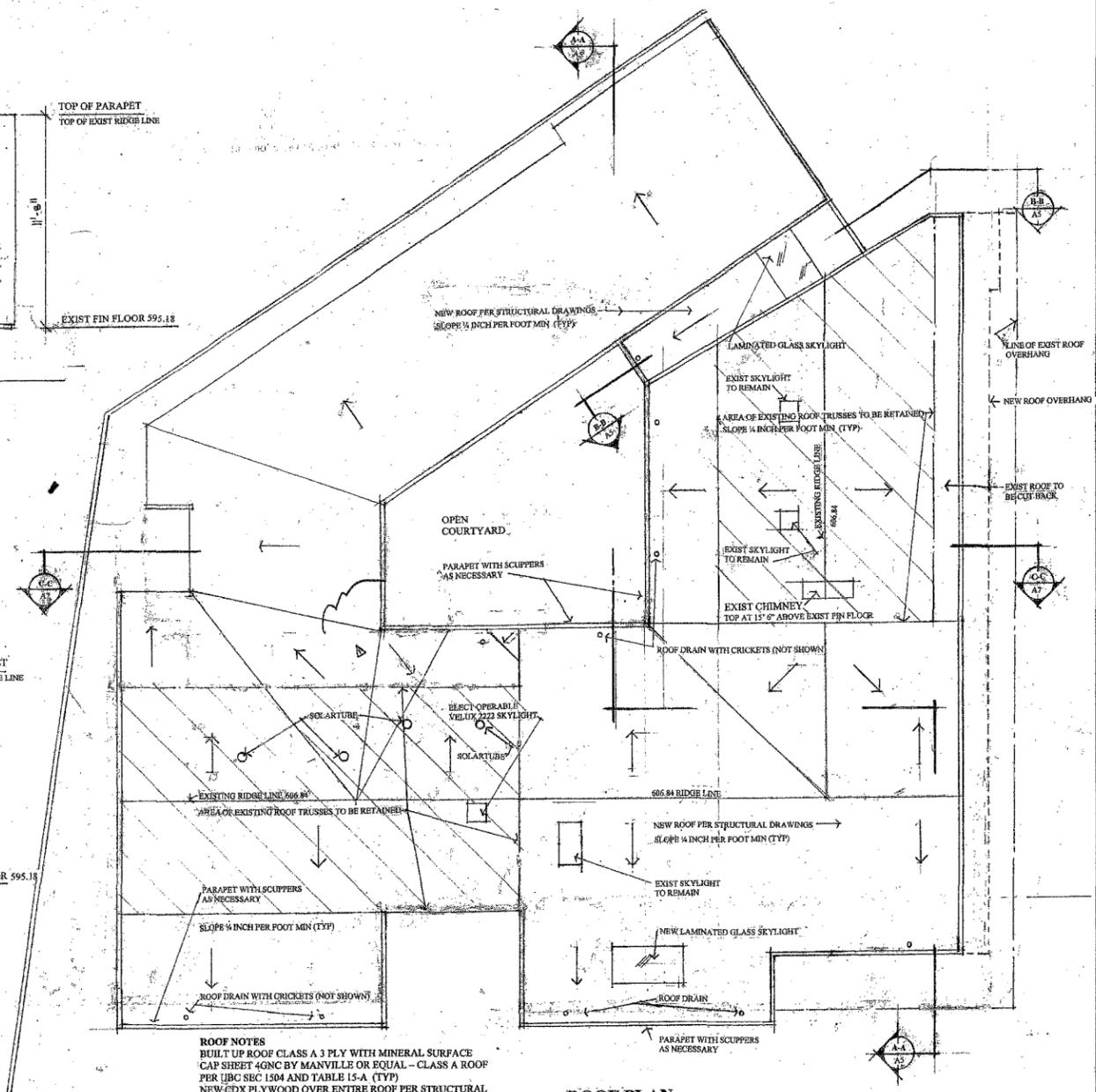
**SECTION A-A**  
 SHOWING EAST ELEVATION TO COURTYARD  
 SCALE: QUARTER INCH = 1 FOOT



**PARTIAL NORTH ELEVATION**  
 SHOWING GARAGE AND ENTRY  
 SCALE: QUARTER INCH = 1 FOOT



**SECTION B-B**  
 SCALE: QUARTER INCH = 1 FOOT

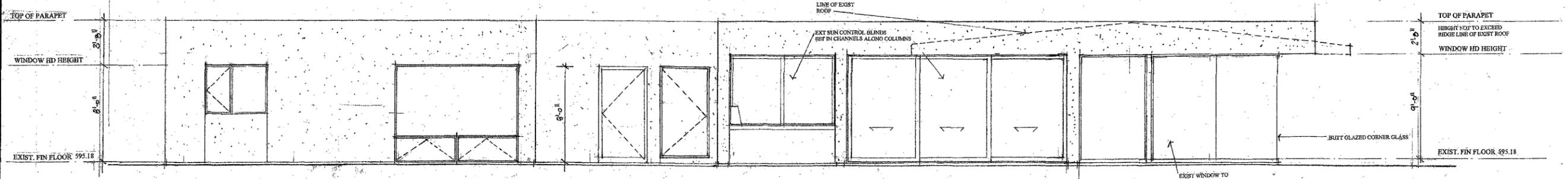


**ROOF PLAN**  
 SCALE: EIGHTH INCH = 1 FOOT

NOTE:  
 ALL EXISTING DIMENSIONS GIVEN ARE TO BE FIELD VERIFIED.  
 ANY DISCREPANCIES ARE TO BE IMMEDIATELY REPORTED TO THE CONTRACTOR AND OWNER

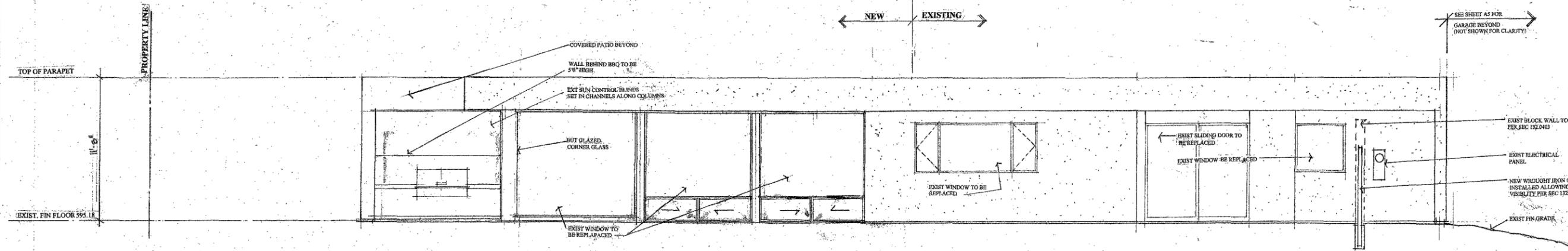
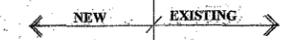
**ABELKOP RESIDENCE**  
 2481 Rue Denise, La Jolla CA 92037  
 ROOF PLAN/SECTIONS/ELEVATION

Date	JUNE 28, 2012
Scale	
Drawn	
Job	
Sheet	<b>A5</b>
Of	Sheets



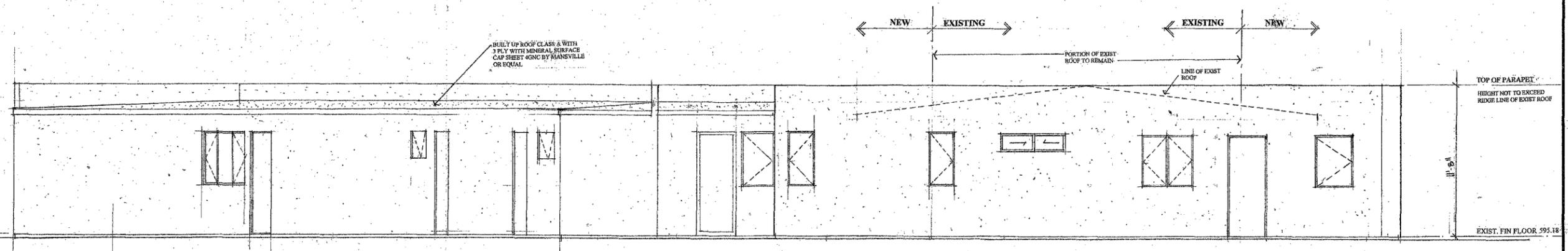
**EAST ELEVATION**  
SCALE: QUARTER INCH = 1 FOOT

**EXTERIOR FINISHES**  
EXTERIOR WALLS TO BE STUCCO USING EXPO EXTERIOR COLOR IN SANTA BARBARA FINISH  
COLOR TO BE 481 HERITAGE DRIFT OR SIMILAR



**NORTH ELEVATION**  
SHOWING HOUSE ONLY\*  
SCALE: QUARTER INCH = 1 FOOT

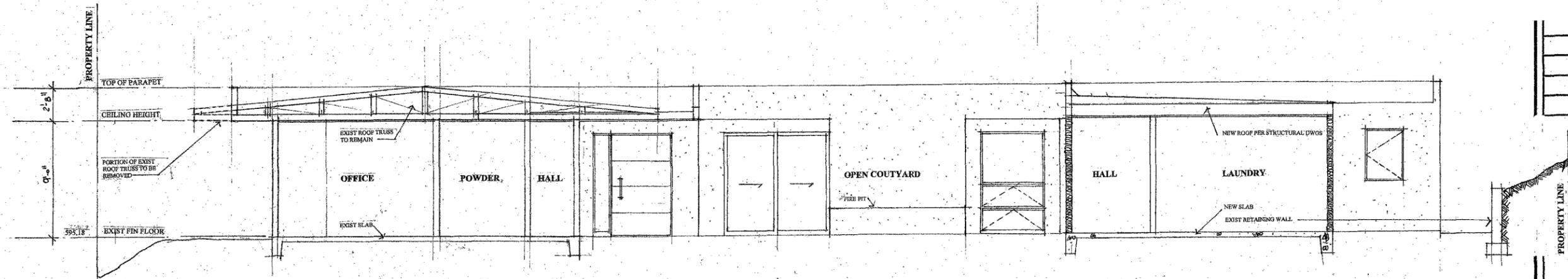
\*FOR GARAGE AND ENTRY ELEVATION SEE SHEET A-3



**SOUTH ELEVATION**  
SCALE: EIGHTH INCH = 1 FOOT

**ABELKOP RESIDENCE**  
2481 Rue Denise, La Jolla CA 92037  
ELEVATIONS

Date:	JUNE 28, 2012
Scale:	
Drawn:	
Job:	
Sheet:	<b>A6</b>
Of:	Sheets



**SECTION C-C**  
SCALE: QUARTER INCH = 1 FOOT

**ABELKOP RESIDENCE**  
2481 Rue Denise, La Jolla CA 92037  
ELEVATIONS

Date	JUNE 28, 2012
Scale	
Drawn	
Job	
Sheet	<b>A7</b>
Of	Sheets

TITLE 24 COMPLIANCE REQUIREMENTS SUMMARY

Abelkop Residence Addition

Ceiling Insulation = R-30 min. Radiant Barrier - no Roofing - Built-up Wall Insulation = R-13 at new Floor Insulation = N/A

Thermal Mass Areas = See Floor plan - all hard surface except bedrooms.

Glazing = All new windows & doors are dual glazed. All glass is Low E. Glazing shall be installed with a NRC certifying label attached showing U-value. Mirted glass may be single.

Solar Heat Gain Co-efficient = 0.40 windows, doors, mirrored - 0.80 U-value = 0.60 windows, doors, mirrored - 1.28 U-value = 0.40 doors

Owner to purchase windows & doors w/ specified U-values & SHGC's or better. Hot Water Heater = (2) 50 gal w.h. by A.O. Smith #80M-50 or eq. Energy Factor is 0.68 min.

Infiltration = Std WHOLE HOUSE FAN System = (2) 60cfm fans w/ 25 Flow Duct 4" (continuous ventilation per ASHRAE 62.2 is required for IAQ)

APUE = 0.70 min. SEER = 13.0 min. or none Duct Insulation = R-4.2 min. Duct Leakage Test = 0.70

Heater Sizing Total Sensible heat load = 97,941 Btu (2) EXHAUST FANS 400/60/10 - 85,000 Btu or eq.

A/C Sizing Total Sensible Cool'g load = 76,282 Btu Latent Cool'g load = 10,252 Btu

Verify HVAC sizing & equipment with a Mechanical Engineer/Contractor. Owner may install any make & model HVAC equipment that is equal or greater than the minimum efficiencies listed above.

KITCHEN FAN 'G' TO BE 50% OF TOTAL WAYS = HIGH EFFICIENCY (40 LUMENS/WATT) LOCAL EXHAUST FAN RATES FOR BATH = 50 CFM, FOR KITCHEN = 100 CFM. SOME RATING = 1 FOR CONTINUOUS FAN AND 3 FOR INTERMITTENT FAN. 50%

CERTIFICATE OF COMPLIANCE: RESIDENTIAL COMPUTER METHOD

Project Title: Abelkop Residence Add Date: 08/26/11 10:12:17
Project Address: 2481 Rue Denise
Documentation Author: Diana P. Mendosa, CEM, CA 92064
User: MCR084 User-D & R Calc Run-Existing & Addition

Table with columns: Climate Zone, Compliance Method, and various energy performance metrics like Heating, Cooling, and Total loads.

GENERAL INFORMATION

Building Verification: Not Required
Conditioned Floor Area: 5192 sq ft
Building Type: Single Family Detached
Construction Type: Masonry/Block/Concrete

SPECIAL FEATURES AND MODELING ASSUMPTIONS

shown before the altered feature with a number one less than the altered feature. For zones with HVAC systems and Meter Reading, the existing feature is shown just before the altered feature.

MECHANICAL SYSTEMS

Mechanical Fan System is not required to be installed for additions under 1000 square feet as noted in Section 5 to Section 152 (b).

DESIGNER OR OWNER DOCUMENTATION

Name: Diana P. Mendosa, CEM, CA
Company: Architect
Address: 14107 Inava Dr, Poway, CA 92064

EMPLOYMENT AGENCY

Name: CABEC
Address: 14107 Inava Dr, Poway, CA 92064

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New Ventilation Requirements

- Primary Requirements
Local exhaust ventilation - for control of indoor moisture
Whole-building ventilation - INDOOR AIR QUALITY (IAQ) for control of indoor air pollutants that cannot be controlled at their source.

WHOLE-BUILDING VENTILATION RATE

Q\_v = 0.01 A\_{T,vent} + 7.5 (N\_{T,vent} + 1)
C\_{PM} = 0.05 A\_{T,vent} + 7.5 (N\_{T,vent} + 1)

LOCAL MECHANICAL EXHAUST SYSTEMS

- Exhaust duct must be designed to operate as needed by its occupants.
Continuous exhaust must be installed to operate without occupant intervention, but with readily accessible, remote control.

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**GENERAL NOTES**

All construction, including materials and workmanship, shall conform to the provisions of the 2007 edition of the "California Building Code" (CBC) with the governing agency amendments and standards referenced therein. Whenever code or California Building Code (CBC) is referenced in the following general notes or other note sections, it shall imply the CBC Code with governing agency amendments.

All ASTM standards listed herein, shall be as referenced in the latest issue of the annual book of standards of the American Society for Testing and Materials.

The contractor shall verify all dimensions, elevations and site conditions before starting work. The designer and engineer shall immediately be notified in writing of any discrepancies.

All omissions and/or conflicts between the various elements of the working drawings and specifications shall be brought to the attention of the field inspector and a solution given by the designer and structural engineer prior to proceeding with any work affected by the conflict or omission.

In case of conflict, notes and details of these structural drawings shall take precedence over the "General Notes" and/or "Standard Details". Typical details shall be used whenever applicable.

If a specific detail is not shown for any part of the work, the construction shall be the same as for similar work.

Working dimensions shall not be scaled from plans, sections or details on these structural drawings.

The contractor shall provide and maintain adequate erection shoring and bracing as required for stability of the structure during all phases of construction. These drawings represent the finished structure and do not indicate the method of construction.

Pipes, ducts, sleeves, openings, pockets, chases, block-outs, etc. shall not be placed in slabs, beams, girders, columns, walls, foundations, etc. nor shall any structural member be cut for such items, unless specifically detailed on these structural drawings. (If any pipes, ducts, etc., do occur that are not shown on these structural drawings, the designer and structural engineer shall be notified.) See paragraph 4, above.

Anchor bolts or inserts for equipment anchorage or installation shall be designed for seismic zone 4 by a Civil or Structural Engineer registered in the State of California and shall be shown on the mechanical or electrical shop drawings.

The contractor shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property. This requirement shall apply continuously and not be limited to normal working hours. The contractor shall defend, indemnify, and hold the architect free and harmless from all claims, demands and all liability, real or alleged in connection with the performance of work on this project, except for liability arising from the sole negligence of the architect.

If the contractor proposes any substitution, new calculations may have to be prepared, the details may have to be altered, and new drawings may have to be submitted to the building department. The contractor shall pay the architect's fees to enter the approved plans. The contractor shall also process the revised plans reflecting all substitutions through the appropriate office of all governing agencies.

**WOOD NOTES**

Sawn wood members shall be Douglas Fir-Larch (uno) conforming to the "2007 California Building Code" (CBC) Sec. 2303, and shall be Grade Marked by an accreditation body that complies with Doc. PS 20 or equivalent.

MEMBERS	GRADE
Walls 2 x 4 (8'-0")	Construction #2
Walls 2 x 6 (8'-1" to 12'-0")	#2
Walls 2 x 8 (12'-0" to 16'-0")	#1
Structural joists and planks (2x)	#1
Beams and Stringers (4 x 8 & wider)	#1
Posts and timbers	#1
Top plate & bottom plate	Match wall members

All wood that rests on exterior foundation walls and are 8" or less from exposed earth. All wood attached directly to interior or exterior masonry or concrete walls below grade and all wood sleepers and sills on concrete that is in direct contact with earth shall be preservative-treated Douglas Fir.

All sills or plates bearing on concrete or masonry shall have anchor bolts: Not less than 5/8" with 2"x2"x3/16 washers. Embedded at least 7" into concrete or masonry. Spaced at more than 6'-0" apart (uno). Placed a minimum of 5" and a maximum of 9" from each end. A minimum of two bolts per each piece. Sized and spaced as shown on the drawings.

Wood structural panels shall conform to the "2007 California Building Code" (CBC) Sec. 2303 and shall conform to the requirements for their type in doc. PS 1 or PS 2. The Trademarks of an approved testing and grading agency shall identify each panel for grade and glue type. Wood structural panels that are permanently exposed in outdoor application shall be of exterior type (uno). All wood structural panels shall be of the following grades and panel identification indexes (uno on drawings).

USE	GRADE	PANEL IDENTIFY INDEX
Roof sheathing	CDX	24/0
Floor sheathing	APA	48/24
Shear Panels	CDX (uno)	24/0

Glue-Laminated timbers shall be manufactured and identified as required in AITC A190.1 and ASTM D 3737, using Douglas Fir Industrial Appearance Grade wood and exterior glue with intended dry use condition and use shall be as follows:

COMBINATION NO.	USE
24F-V4	Simple span
24F-V8	Can/levers

Wood framing anchors, post caps, column bases and other connectors specified on drawings shall be as manufactured by "Simpson Company" or an engineer-approved equal.

Bars, plates, unheaded bolts, washers and drift bolts shall conform to the requirements of ASTM A36.

Bolts shall conform to ASTM A307. Nuts shall conform to the requirements of ASTM A563, Grade A.

All bolt heads, nuts and lag screws bearing on wood shall have cut washers unless noted.

Bolt holes in wood shall be drilled 1/32" larger than the nominal bolt diameter.

The number and size of fasteners connecting wood members shall not be less than the following table.

Special connectors for connecting wood or glued laminated timber shall be fabricated from steel conforming to ASTM A36. Welds shall conform to the requirements of AWS D1.1-B5.

Diaphragm nailing shall conform to CBC Table 2306.3.1. and 2306.3.2 and Table 2306.4.1 and 2306.4.3 with nomenclature defined as follows:

BN = Nailing at diaphragm boundaries, continuous panel edges, & at edges of openings.  
EN = Edge nailing  
FN = Field nailing

Where diaphragm blocking is specified is specified, use 2 x 4 blocking with "z" clips, UON.

Simple span wood members, not shop cambered, shall be erected with the natural camber up. The engineer shall be consulted about camber/over members.

Lead holes for lag screws in wood shall be bored as follows:  
For shank: Same diameter and length as unthreaded shank  
For threaded portion: 60% to 75% of shank diameter & length equal to threaded portion.

Special provisions for shear walls with plywood on both sides:  
Where specifically indicated on plans:  
A. Sill plate shall be 3 x 6 P.T. D.F.  
B. All studs and blocking at panel edges shall be 4 x 6.  
C. All other intermediate studs shall be 3 x 6 @ 16" oc.  
D. End posts shall be min. 4 x 6 or as specified on the drawings.  
E. Both vertical and horizontal interior panel joints on opposite sides of the wall shall be staggered.  
F. The plywood on one side must be nailed before the frame inspection. The plywood on the other side must be installed and inspected prior to installation of wall surface covering.  
G. No penetrations or notches are permitted other than those shown on the structural drawings.

Provide double stud to support all beams unless posts are specified.

Double block under all posts.

Double joist under all parallel partitions unless otherwise specified.

Top plates of all wood stud walls shall be (2) 2 x (same width as studs), lap 48" min. with at least 12-16d nails at each side of lap and not more than 12" between.

Cutting, notching, or drilling of beams or joists shall be permitted only as detailed or approved by the engineer.

Moisture content of wood at time of placement shall not exceed 19%.

Provide 8T 6224 Straps across all discontinuous top plates.

\*For Structural Glue-laminated timber members, an AITC Certification of Conformance or a certificate of conformance issued by a current ICBO approved quality control agency, must be submitted to the building inspector prior to installation

**NAILING SCHEDULE (2007 CBC TABLE 2304.9.1)**

1. Joist to sill or girder, toenail	3-8d
2. Blocking to joist, toenail each end	2-8d
3. 1" x 6" subfloor (or smaller) to each joist, face nail	2-8d
4. Wider than 1" x 6" subfloor to each joist, face nail	3-8d
5. 2" subfloor to joist or girder, blind & face nail	2-16d
6. Sole plate to joist or blocking, typical face nail	16d @ 16" oc
7. Sole plate to joist or blk @ braced wall panels	3-16d per 16"
8. Top plate to stud, end nail	2-16d
9. Stud to sole plate, toenail or end nail	4-8d
10. Double studs, face nail	16d @ 24" oc
11. Double top plates, typical face nail	16d @ 16" oc
12. Blk between joists or rafter to top plate, toenail	8d @ 6" oc
13. Rim joist to top plate, toenail	8d @ 6" oc
14. Top plates, laps & intersections, face nail	2-16d
15. Continuous header, two pieces (along ea. edge)	16d @ 16" oc
16. Ceiling joists to plate, toenail	3-8d
17. Continuous header to stud, toenail	4-8d
18. Ceiling joists, laps over partitions, face nail	3-16d
19. Ceiling joists to parallel rafters, face nail	3-16d
20. Rafter to plate, toenail	3-8d
21. 1" brace to each stud & plate, face nail	2-8d
22. 1" x 8" sheathing (or smaller) to each bearing, face nail	3-8d
23. Wider than 1" x 8" sheathing to each bearing, face nail	3-8d
24. Built-up corner studs	16d @ 24" oc
25. Built-up girders & beams @ top & bot. Stagger 20d @ 32" oc (ends & @ ea. splice)	2-16d
26. 2" planks to each bearing	2-16d
27. Collar tie to rafter, face nail	3-10d
28. Jack rafter to hip, face nail or toenail	3-10d
29. Roof rafter to 2 by ridge beam, toenail	3-16d
30. Joist to band joist, face nail	3-16d
31. Ledger strip, face nail	3-16d
32. Wood structural panels & particleboard 1/2" and less	6d
33. Subfloor roof & wall sheathing (to framing) 5/8" to 3/4"	8d
34. Single floor (Combination subfloor-underlayment to framing) 7/8" to 1"	8d
35. Panel siding 1/2" and less	6d
36. Fiberboard sheathing 1/2"	6d
37. Interior paneling, casing 3/4"	6d
38. All nails to be common	4d

Whenever possible nails driven perpendicular to the grain shall be used instead of toenails. Diaphragm sheathing nails or other approved sheathing connectors shall be driven so that their head or crown is flush with the surface of the sheathing.

**REINFORCING STEEL NOTES**

Bar reinforcement shall conform to the requirements of ASTM A615, The following grades shall be used:  
Grade 40 - #4 and smaller  
Grade 60 - #6 and larger

Details of reinforcement shall conform to the requirements of ACI 318-5 Chapter 7 and other sections according to the application.

Vertical reinforcement shall be tied or otherwise fixed in position at the top and bottom and at intermediate locations, space not greater than 192 bar diameters.

Welded steel wire reinforcement shall conform to the supporting footings with reinforcement of the same size, grade and at the same spacing as the vertical reinforcement in the walls, pilasters or columns. (UON)

Bar supports shall be provided in accordance with the provisions of the "Bar Support Specifications" as contained in the latest edition of the "Manual of Standard Practice" by the Concrete Reinforcing Steel Institute (CRSI)

Reinforcing steel detailing, bending and placing shall be in accordance with the Concrete Reinforcing Steel Institute "Manual of Standard Practice", latest edition.

All reinforcement shall be securely tied in place before placing concrete or grout.

Welding of reinforcing bars shall conform to "Structural Welding Code-Reinforcing Steel", ANSI/AWS D1.4 of the American Welding Society.

Welding of all reinforcing steel to structural steel shall be limited to those areas specifically shown on the plans. Any other welding shall require the approval of the governing agency, field inspector and structural engineer.

Welding of crossing bars and tack welding of reinforcement shall not be permitted.

All welds shall, in addition, to all the specifications listed above, comply with the requirements of the Ninth edition of the "Manual of Steel Construction - Allowable Stress Design" as published by the American Institute of Steel Construction.

Laps at bar splices in concrete construction shall be as follows:

Bar size	Top bars (Class B)		Other than top bars (Class B)	
	f <sub>c</sub> = 2500	f <sub>c</sub> = 3000	f <sub>c</sub> = 2500	f <sub>c</sub> = 3000
#5	30	27	24	21
#6	35	33	28	25
#7	40	36	32	29
#8/CONCRETE	45	43	38	33

**CONCRETE NOTES**

Concrete shall conform to the requirements of ACI 318-05 Chapter 5. The minimum 28-day cylinder strength shall be as follows:

FOUNDATIONS	STRENGTH
Slab on grade & raised wood floor	2500 psi
Caissons / grade beams	3000 psi
All other concrete ( UON)	2500 psi

Where concrete strength is 3000 psi or greater, cylinder tests are required per ACI 318-05 5.6.3.3.

Portland cement shall conform to the requirements of ASTM C150, type I/II.

Aggregates shall conform to the requirements of ASTM C33 for normal weight concrete and ASTM C33 for light weight concrete.

Admixtures shall be used in accordance with the manufacturer's recommendations and approved by the engineer of record.

Ready-Mixed concrete shall be mixed and delivered in accordance with the requirements of "standard specification for ready-mixed concrete" ASTM C34

Minimum concrete cover (in inches) for reinforcing steel in nonprestressed cast-in-place concrete shall be as follows, UNO.

Location	Min. cover (inches)
A. Cast against and permanently exposed to earth	#6 and larger rebar 2"
B. Formed surfaces exposed to earth or weather:	1 1/2"
#6 and larger rebar	2"
#5 rebar, 5/8 inch wire and smaller	1 1/2"

All sleeves through beams, girders and foundation walls shall be installed and secured in position prior to placing concrete. Except as shown on structural drawings, sleeving shall not be permitted unless approved by the designer.

Sleeves, pipes, and conduits shall not be placed through continuous or spread footings, grade beams, pile caps, or tie beams, unless specifically detailed by the architect.

Conduit shall not be placed in any concrete slab less than 3 1/2" thick. If conduit is placed in concrete slab, its outside diameter shall not be greater than 1/3 of the slab thickness. The minimum clear distance between conduits shall be three inches.

All exposed corners shall be chamfered 1/4" UNO.

Refer to architectural drawings for molds, grooves, ornaments, clips or grounds required to be cast in the concrete and for extent of depressions, curbs and ramps.

All vertical surfaces of concrete above finished grade shall be formed.

Refer to architectural drawings and specifications for additional requirements due to architectural C.I.P. concrete.

**MASONRY SPECS**

Masonry units shall conform to ASTM C80 Hollow core, Normal Weight, f<sub>m</sub> = 1500 psi (UON) All units shall be sampled and tested in accordance with ASTM C140.

Mortar shall conform to ASTM C270 and to the requirements of 2007 CBC Table 2103.8. The minimum strength shall be 1800 psi at 28 days.

Grout shall conform to ASTM C476 or to the requirements of 2007 CBC Table 2103.12. The minimum strength shall be 2000 psi at 28 days. The compressive of grout shall be determined in accordance with ASTM C1019.

Portland cement shall conform to the requirements of ASTM C150. Blended cement shall conform to the requirements of ASTM C595.

Masonry cement shall conform to the requirements of ASTM C51. Normal cement shall conform to the requirements of ASTM C1329.

Coarse aggregate shall conform to ASTM C404. Coarse aggregate shall be pea gravel.

Fine aggregate shall conform to ASTM C144.

Admixtures shall be used in accordance with the manufacturer's recommendations and approved by the architect of record.

**STRUCTURAL STEEL SPECS**

The design, fabrication and erection of structural steel shall be in accordance with the AISC 360.

All structural steel to be the following:  
ASTM A36, Fy = 36 ksi (Structural shapes & plates)  
ASTM A572 Grade 50, Fy = 50 ksi (Moment frames)  
ASTM A500 Grade B, Fy = 46 ksi (Structural tubes)  
ASTM A53 Grade B, Fy = 35 ksi (Structural pipe)

All structural welds to be the following:  
E70 series typical  
E80 series for A615 Grade 60 reinforcing bars.

Shop welding to be done in an approved fabricator's shop. Field welding to have continuous "Special Inspection".

**SPREAD FOOTING WITH 2500 PSI CONCRETE**

LOAD	1000# BRG	1500# BRG	2000# BRG
2000	17" X 17" (2) #4 E.W.	15" X 15" (2) #4 E.W.	10" X 10" (2) #4 E.W.
4000	20" X 20" (3) #4 E.W.	19" X 19" (3) #4 E.W.	15" X 15" (3) #4 E.W.
6000	28" X 28" (3) #4 E.W.	20" X 20" (3) #4 E.W.	19" X 19" (3) #4 E.W.
8000	21" X 21" (4) #4 E.W.	24" X 24" (4) #4 E.W.	20" X 20" (4) #4 E.W.
10000	32" X 32" (4) #4 E.W.	28" X 28" (4) #4 E.W.	24" X 24" (4) #4 E.W.
12000	36" X 36" (5) #4 E.W.	30" X 30" (5) #4 E.W.	28" X 28" (5) #4 E.W.
14000	39" X 39" (5) #4 E.W.	30" X 30" (5) #4 E.W.	29" X 29" (5) #4 E.W.

**DESIGN CRITERIA**

DESIGN LOADS	Floor
Roof	Carpet, 4 psf max.
S-Tile, 10 psf max.	Total riser load 14 psf
Total dead load: 20.0 psf	Live load 49 psf
Live load 20.0 psf	Total load 69 psf
Total load 40.0 psf	

DESIGN LOADS	Exterior wall	Interior wall
Deck		
Dextotex, 2 psf max.		
Total dead load: 20.0 psf	16 psf	
Live load 40.0 psf		
Total load: 60.0 psf		7.0 psf

**LATERAL LOADS**

Seismic Load: Chapter 12.8, ASCE 7-05	Wind Load: Chapter 6.5, ASCE 7-05
Equivalent lateral force procedure	Method 1: Simplified procedure
Location	Exposure Category: B
Occupancy Category: II	Wind Importance Factor I <sub>w</sub> = 1.0
I <sub>s</sub> = 1.0 Seismic Importance Factor	V <sub>50</sub> = 85 mph
Seismic Design Category: D	K <sub>d</sub> = 1.0 Topographic Factor
Site Class: D	K <sub>d</sub> = 0.85 Directionality Factor
S <sub>s</sub> = 1.388 S <sub>1</sub> = 0.555	
S <sub>ds</sub> = 0.92996 S <sub>d1</sub> = 0.427	
R = 6.5 Wood Shear Walls	
Seismic Base shear V = S <sub>ds</sub> I <sub>w</sub> W	

\*Do not cut, notch, drill, bore, shave, taper or for any reason modify pre-engineered/manufactured structural elements such as glued-laminated members, Paralams, Microlams, Joists, and other similar timber products unless such modifications are within the written parameters set forth by the manufacturer of that product or a letter of certification from the manufacturer's engineer with a signed and stamped detail is issued and authorized by the project engineer of record and approved by the City of San Diego Building Official.

**SUMMARY OF SPECIAL INSPECTION**

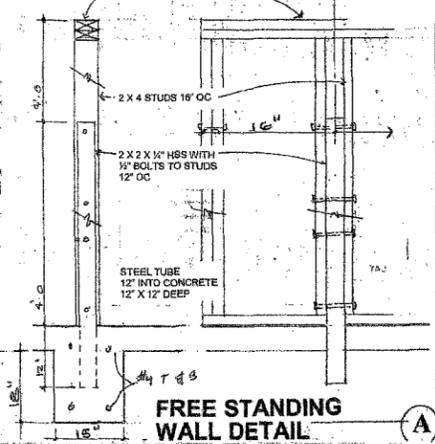
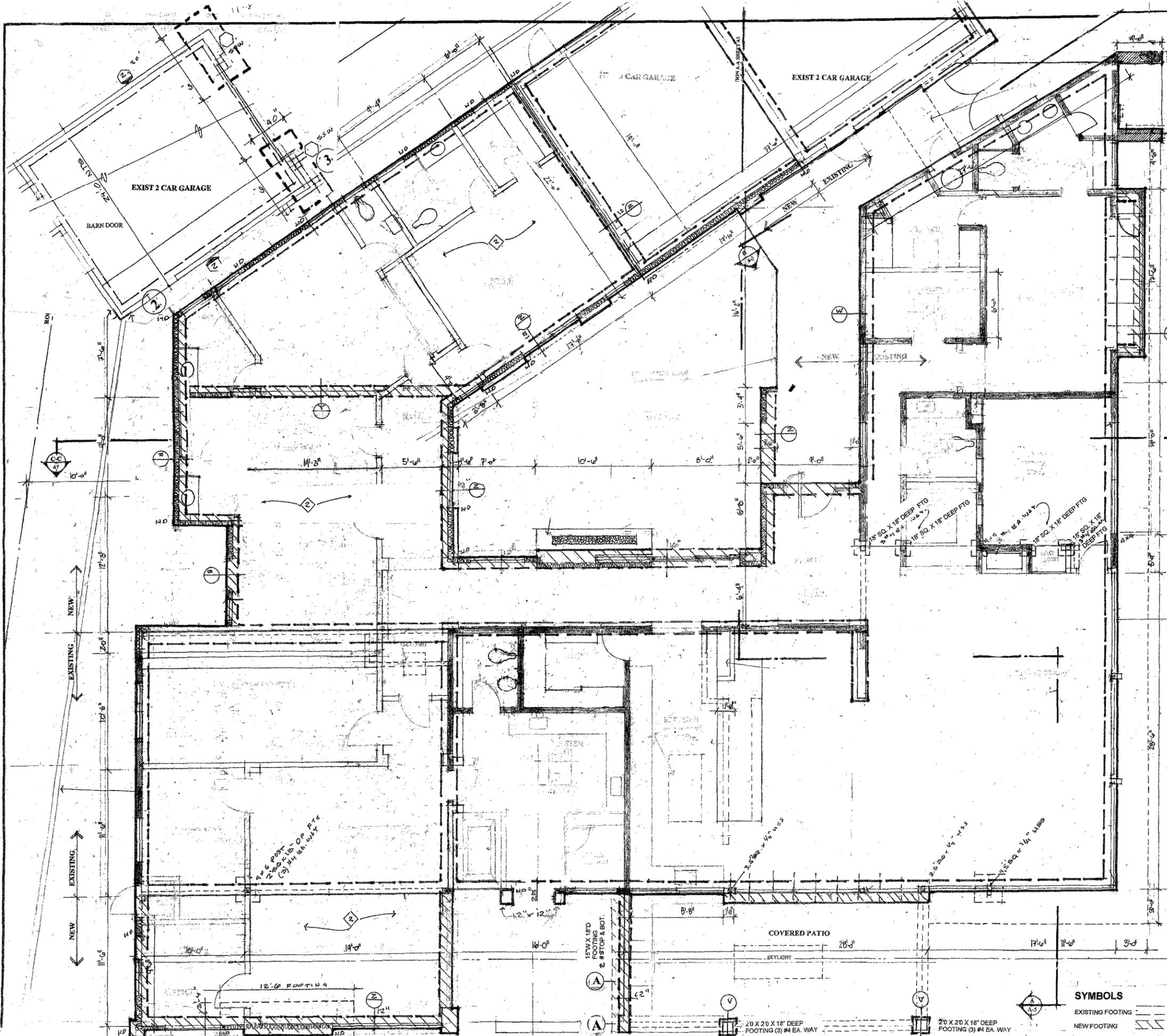
No.	Description of Type of Insp. Req'd, Location, Remarks, Etc.	Design Strength
1. Concrete		
2. Sills installed in concrete		
3. Concrete moment-resisting space frame		
4. Reinforcing steel and prestressing steel		
5.1 All structural welding		
5.2 Weld testing double moment-resisting steel frame		
5.3 Walking reinforcing steel		
6. High-strength bolting		
7. Structural masonry		
8. Reinforced gypsum concrete		
9. Insulating concrete fill		
10. Off-site fabrication for building components		
11. Deep foundations (piling, drilled & caissons)		
12. Shotcrete		
13. Verify field conditions are substantially in conformance with the soil investigation report.		
13.2 Verify that foundation excavations extend to proper depth and bearing strata.		
13.3 Provide soil compaction test results, depth of fill, relative density, bearing values.		
13.4 Provide soil expansion test results, expansion index, Recommendations for foundations, on-grade floor slab design for each building etc.		
14. Smoke control system.		
15. Special caissons (drilled)		
16. Off-site fabrication for building components		
17. Other special inspections as required by designer.		

No.	Description of Type of Insp. Req'd, Location, Remarks, Etc.	Design Strength
16 ROKY ANCHORS - SHIPBOARD SET-XP 100 85 85A 2508		

**NOTES**  
The Special Inspections identified are in addition to those required by the building code as amended. Special Inspection is not a substitute for inspection by a City inspector.  
Continuous inspections are always required during the performance of work unless otherwise specified. When work is more than one category of work requiring Special Inspection it is to be performed simultaneously, or the geographic location of the work is such that it cannot be continuously inspected in accordance with the provisions with the provisions of IBC Section 1704. It is the agent's responsibility to employ a sufficient number of inspectors to assure that all the work is inspected in accordance with these provisions.  
The Special Inspections must be certified by the Contractor's certification to perform the type of inspection specified.  
**EXCEPTIONS:**  
1. Sills inspection by the Sills E.O.R.  
2. Smoke control system by mechanical E.O.R.  
3. When waived by the Building Official.  
It is the responsibility of the contractor to notify the Special Inspector or Inspection Agency at least one working day prior to performing any work that requires Special Inspection.  
Specially Inspected work that is installed or subject without the approval of the City Inspector is subject to removal or exposure.  
A Certificate of Satisfactory Completion of Work requiring special inspection Must be completed and submitted to the inspection service Department.

**SHEARWALL SCHEDULE - IBC 2006 / CBC 07 (1,2,3,4,6,7,8,9,10,11,12)**

SECTION	HEIGHT	MATERIAL AND NAILING DESCRIPTION	ANCHOR BOLT SPACING	REINFORCING STEEL	MINIMUM WALL THICKNESS
(1)	24'0"	3/8" CDX PLYWOOD 1/2" @ 16" O.C. EN / 16" O.C. FN	2x 16" PLATE 1/4" x 6" @ 6" O.C.	2x 16" PLATE 1/4" x 6" @ 6" O.C.	12" @ 16" O.C. (SEE NOTE 1)
(2)	36'0"	3/8" CDX PLYWOOD 1/2" @ 16" O.C. EN / 16" O.C. FN	2x 16" PLATE 1/4" x 6" @ 6" O.C.	2x 16" PLATE 1/4" x 6" @ 6" O.C.	12" @ 16" O.C. (SEE NOTE 1)
(3)	48'0"	3/8" CDX PLYWOOD 1/2" @ 16" O.C. EN / 16" O.C. FN	2x 16" ANCHOR BOLTS @ 6" O.C. ON 2x 1		



**HOLD DOWN SYMBOL**

HD HD WITH SSTB 20  
OR 5/8\"/>

**CONCRETE NOTES**

- CONCRETE FOUNDATIONS ARE DESIGNED FOR 2500 PSI TYPE II/IV CONCRETE AT 28 DAYS.
- CONCRETE SLABS SHALL BE 4\"/>

**SYMBOLS**

EXISTING FOOTING  
NEW FOOTING

**FOUNDATION PLAN** 1/4\"/>

**ABELKOP RESIDENCE**  
2481 Rue Denise, La Jolla CA 92037  
FIRST FLOOR PLAN

Date JUNE 28, 2012  
Scale  
Drawn  
Job  
Sheet **S 2**  
Of Sheets

FRAMING NOTES

- A. ROOF SHEATHING SHALL BE:  
32/16" PLYWOOD EXPOSURE 1 INDEX 2440  
8d COMMON NAILS @ 6" OC BN  
BN APPLIES TO ALL SUPPORTED PLYWOOD EDGES AT:  
PLYWOOD EDGES, PERIMETER WALLS & SHEAR WALLS.  
ALL ROOF SHEATHING SHALL EXTEND UNDER CALIFORNIA FILL AREAS.  
FLOOR SHEATHING SHALL BE:  
23/82" APA RATED STURDI-FLOOR, T&G,  
24" OC SPAN RATING, EXPOSURE 1  
EXTERIOR GULLED TO FLOOR JOISTS  
10d COMMON NAILS @ 6" OC BN  
10d COMMON NAILS @ 12" OC FN  
BN APPLIES TO ALL SUPPORTED PLYWOOD EDGES AT:  
PLYWOOD EDGES, PERIMETER WALLS & SHEAR WALLS  
ALL RAFTERS, JOIST & HEADERS SHALL BE 2 X 8  
DOUGLAS FIR LARCH #2 GRADE (U.O.)  
ALL BEAMS SHALL BE DOUGLAS FIR LARCH #1 GRADE, UNO.  
ALL BEAM TO POST CONNECTIONS SHALL BE SIMPSON PC (U.O.)  
ALL POSTS SHALL BE DOUGLAS FIR LARCH #1, UNO.  
ALL JOIST HANGERS SHALL BE SIMPSON LUS' UNO.  
ALL RAFTERS AND JOISTS SHALL BE ATTACHED WITH SIMPSON HANGERS.  
ALL ROOF HEADERS SHALL BE MINIMUM 4 X 4, UNO.  
ALL POSTS TO TOP PLATE OR SILL PLATE  
CONNECTIONS SHALL BE SIMPSON "A34" UNO.  
ALL BEAM TO TOP PLATE CONNECTIONS SHALL BE  
SIMPSON W44 EACH SIDE, UNO.  
J. USE 2X4 D.F. #2 STUDS @ 16" OC FOR ALL BEARING WALLS  
10' 0" OR LESS IN HEIGHT. (14" MAX. FOR NON-BEARING)  
USE 3 X 4 D.F. #2 STUDS @ 16" OC (16' 0" MAX. HEIGHT)  
(20' 0" MAX. FOR NON-BEARING)  
FOR BEARING STUD WALL HEIGHTS 10' 0" - 16' 0", USE 2X6 D.F.  
#2 STUDS @ 16" OC. (20' 0" MAX. FOR NON-BEARING)  
BALCONY FRAMED WALLS MAX. HEIGHT  
(1) 2 X 4 STUDS #2 @ 16" OC 10' 0"  
(2) 2 X 4 STUDS #2 @ 12" OC 17' 0"  
(3) 2 X 4 STUDS #2 @ 12" OC 20' 0"
- K. ALL BEARING SLOPING RAFTER WALLS SHALL BE CONTINUOUS  
BETWEEN FLOOR/FOUNDATION AND ROOF FRAMING.
- L. TJI JOISTS (ESR 1153), MICROLAMS, TIMBER STRANDS AND  
PARALLAMS (ESR1387) SHALL BE "TRUSS JOIST OR EQUAL."  
USE SIMPSON LUS HANGERS FOR TJI FLOOR JOISTS.  
A CERTIFICATE OF CONFORMANCE IS REQUIRED PRIOR TO  
FRAMING INSPECTION FOR ALL PARALLEL STRANDED LBR.
- N. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL WALLS. PROVIDE DOUBLE  
JOISTS AT SIDES AND ENDS OF ALL ROOF OPENINGS. SISTER TOGETHER  
WITH 16d @ 12" OC (TYP - UNO).  
PROVIDE SOLID BLOCKING UNDER WALLS PERPENDICULAR TO JOIST.  
PROVIDE SOLID BLOCKING AT 8' 0" OC.  
O. SPLICE PLATES OF EXTERIOR WALLS AND SHEAR WALLS WITH  
(1) 16d @ 4/8 SPLICE (U.O.).  
P. MULTIPLE JOISTS, (3) OR MORE SHALL BE FASTENED TOGETHER WITH  
1/2" MACHINE BOLTS AT 16" OC STAGGERED (U.O.).  
Q. WRAP ALL EXPOSED POSTS, BEAMS, WALLS AND CEILING IN GARAGE WITH 5/8"  
TYPE 'X' GYPSUM BOARD.  
R. PROVIDE 4x POSTS AT ALL HOLD DOWNS (U.O.)  
S. ALL FRAMING HARDWARE SHALL BE SIMPSON STRONG-TIE' OR EQUAL.  
T. PROVIDE MULTIPLE STUDS UNDER MULTIPLE JOISTS.  
BEAMS BEARING ON TOP PLATE SHALL BE SUPPORTED BY MIN. DOUBLE  
2x STUDS (UNO) SISTERED TOGETHER WITH 16d @ 12" OC.
- U. PROVIDE 1x12x8" ST RAP ACROSS ALL DISCONTINUOUS DBL TOP PLATE.  
EACH TRUSS SHALL BE LEGIBLY BRANDED, MARKED OR OTHERWISE  
HAVE PERMANENTLY AFFIXED THERETO THE FOLLOWING INFORMATION  
LOCATED WITHIN 2 FEET OF THE CENTER OF THE SPAN ON THE FACE  
OF THE BOTTOM CHORD.  
A) IDENTITY OF THE COMPANY MANUFACTURING THE TRUSS.  
B) THE DESIGN LOADS  
C) THE SPACING OF THE TRUSSES
- W. FRAMING MEMBERS OR BLOCKING SHALL BE PROVIDED AT THE EDGES  
OF ALL PANELS IN PLYWOOD SHEAR WALLS.  
X. ALL SHEAR WALLS SHALL EXTEND UP TO THE ROOF SHEATHING. SHEAR  
PANELS SHALL BE APPLIED DIRECTLY TO STUDS PRIOR TO INSTALLATION  
OF DECORATIVE POP-OUTS AND TRIM.  
Y. ALL ROOF SHEATHING SHALL EXTEND UNDER CALIFORNIA FILL AREAS.  
Z. ROOF OPENINGS; PROVIDE DOUBLE JOISTS AT SIDES & ENDS OF ALL ROOF  
OPENINGS. SISTER TOGETHER WITH 16d @ 12" OC (TYP) (U.O.)  
AA) DO NOT CUT, NOTCH, DRILL, BORE, SHAVE, TAPER OR FOR ANY REASONS  
MODIFY PRE-ENGINEERED /MANUFACTURED STRUCTURAL ELEMENTS SUCH  
AS GLUE-LAMINATED MEMBERS, PARALLAMS, MICROLAMS, JOISTS, LIGHT  
GAUGE METAL MEMBERS AND OTHER SIMILAR TIMBERS OR STEEL  
PRODUCTS UNLESS SUCH MODIFICATIONS ARE WITHIN THE WRITTEN  
PARAMETERS SET FORTH BY THE MANUFACTURER OF THAT PRODUCT OR  
A LETTER OF CERTIFICATION FROM THE MANUFACTURER'S ENGINEER  
WITH DETAIL SIGNED AND STAMPED IS ISSUED AND AUTHORIZED BY THE  
PROJECT ENGINEER OF RECORD AND APPROVED BY THE CITY OR  
COVERING BUILDING OFFICIAL.  
BB) ALL POSTS TO BEAMS CONNECTIONS SHALL BE SIMPSON PC' (U.O.N.)
- CC) WRAP ALL EXPOSED POSTS, BEAMS AND WALLS IN GARAGE  
WITH 5/8" TYPE 'X' GYPSUM BOARD.  
DD) CALIFORNIA BUILDING CODE APPROVALS  
SIMPSON STRONGWALLS ARE APPROVED PER PFC-548S.  
MICROLAMS, TIMBERSTRANDS & PARALLAMS NER 481  
TJI FLOOR JOISTS NER 200

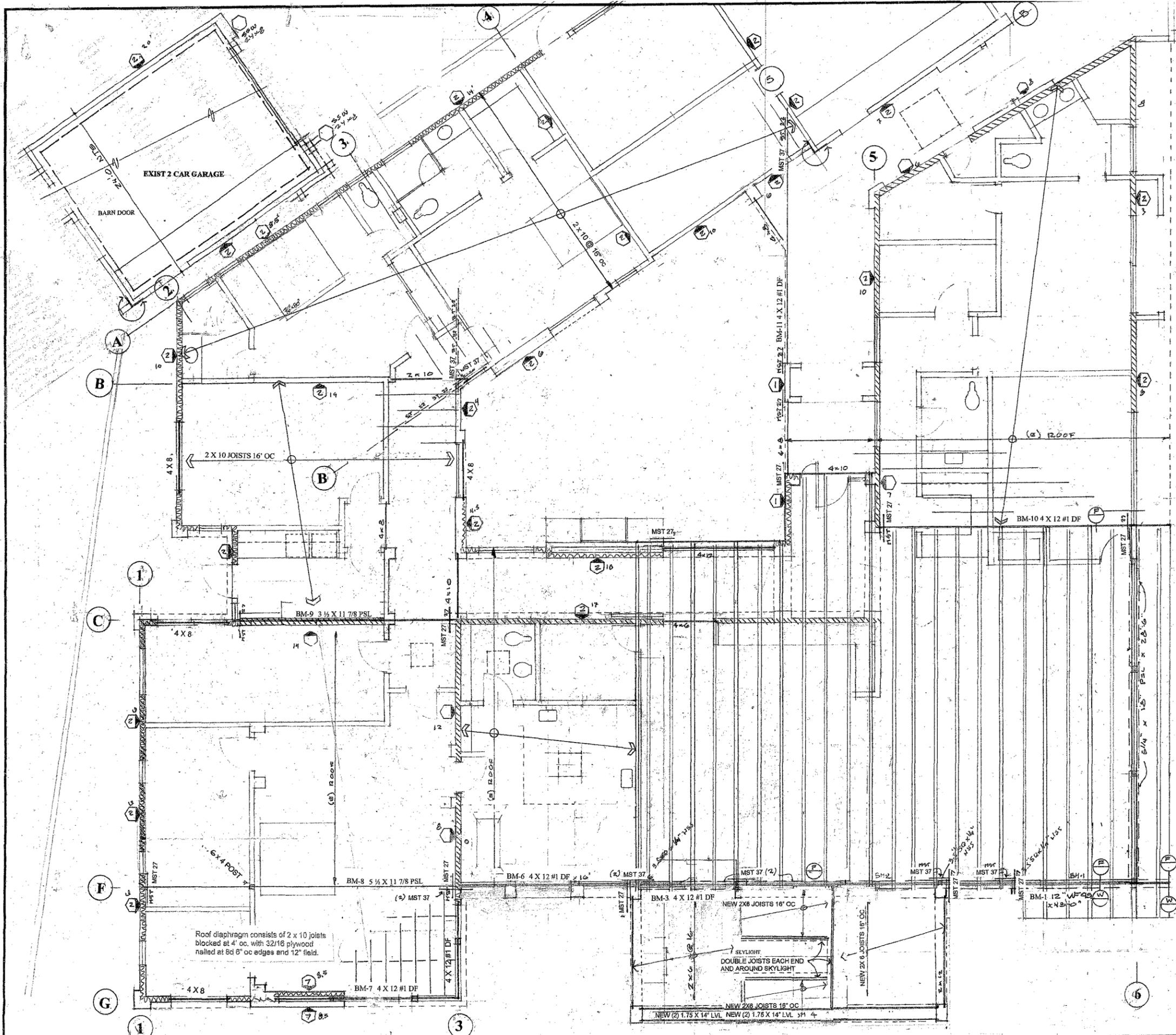
THE ABOVE SPECIFICATIONS SHALL APPLY UNLESS NOTED OTHERWISE ON THE DRAWING.

WALL SYMBOLS

- WOOD STUDS
- 8" CMU 8" PL. HT

ROOF FRAMING PLAN

1/4" = 1'-0"

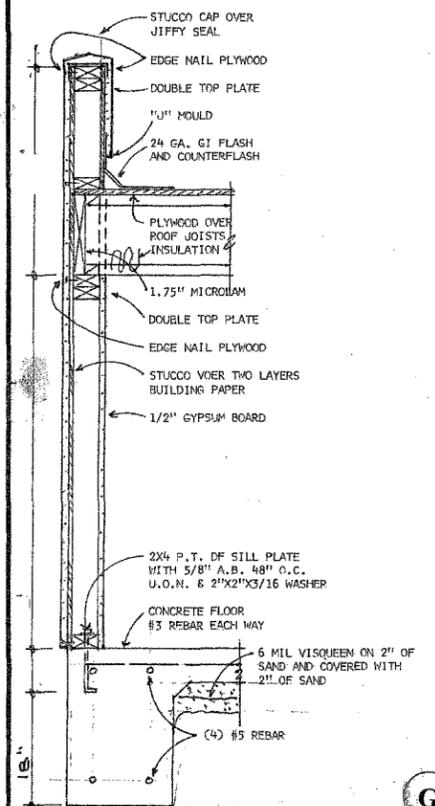


Roof diaphragm consists of 2 x 10 joists blocked at 4' oc, with 32/16 plywood nailed at 8d 6" oc edges and 12" field.

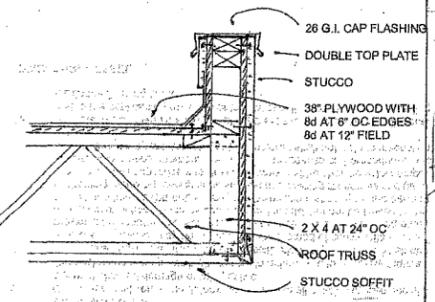
ABELKOP RESIDENCE  
2481 Rue Denise, La Jolla, CA 92037

Date
Scale
Drawn
Job
Sheet
Of

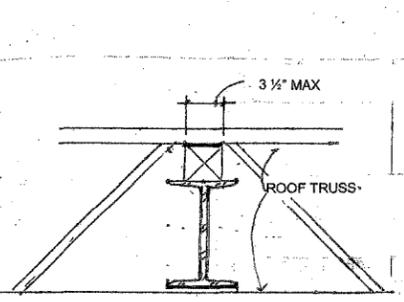
S.3



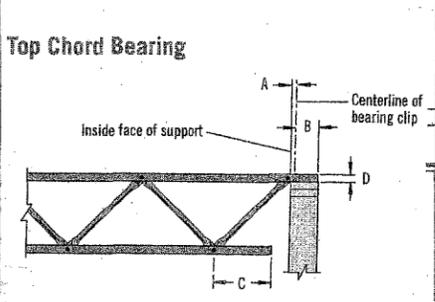
TYPICAL WALL SECTION



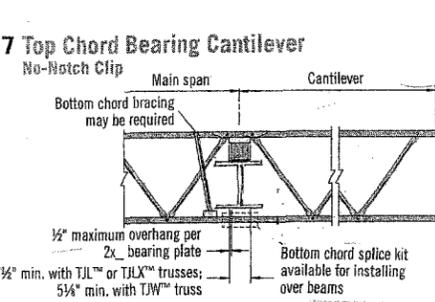
ROOF PARAPET DETAIL



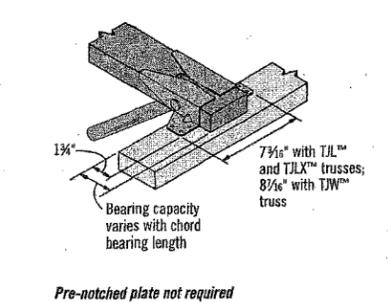
TRUSS TO BEAM DETAIL



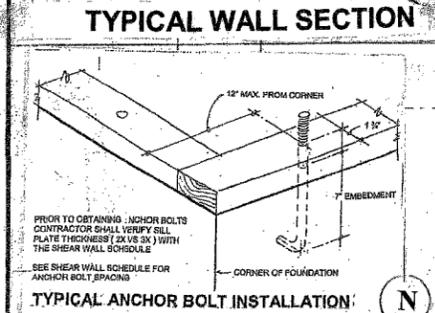
Top Chord Bearing



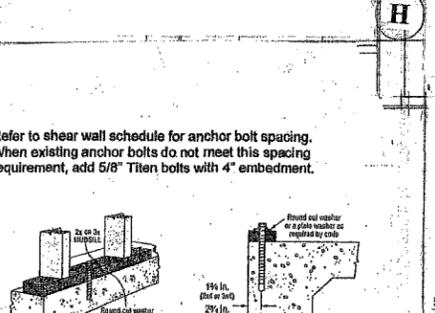
17 Top Chord Bearing Cantilever



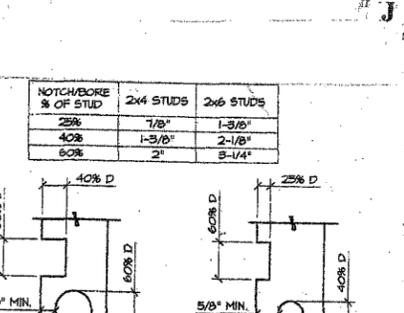
2 Top Bearing No-Notch Clip



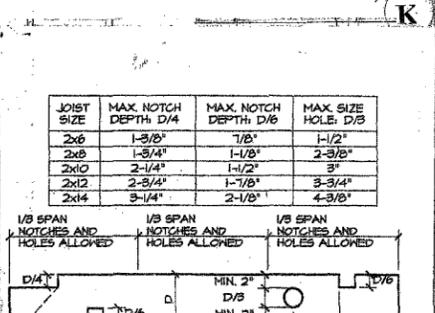
TYPICAL ANCHOR BOLT INSTALLATION



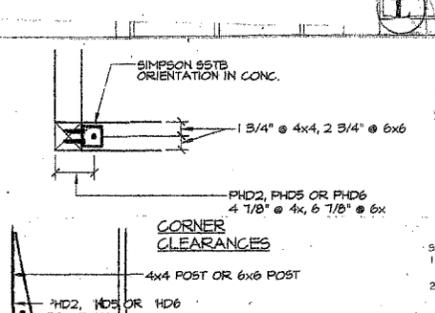
TITEN ANCHOR BOLT DETAIL



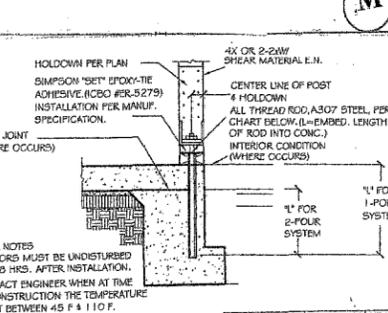
STUD NOTCHING



JOIST NOTCHING & BORING



HOLD DOWN (N) CONCRETE



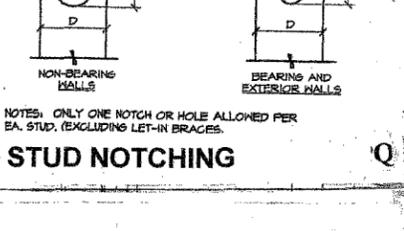
HOLD DOWN (E) CONCRETE

PHYSICAL PROPERTIES

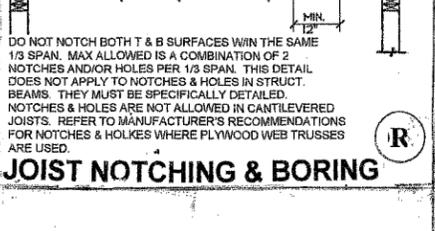
PRODUCT	WATER VAPOR PERFORMANCE RATING ASTM B 96, Water Method	TENSILE STRENGTH ASTM E 154, Section 9	PUNCTURE RESISTANCE ASTM D 1709, Method B
PERMINATOR 10 MIL	0.0043	52	2655
PERMINATOR 15 MIL	0.0031	84	4135

PER ICC ESR 1056

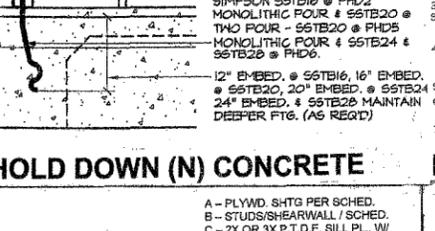
Titen HD Size (in)	Titen HD Model	All Range Size (in)	Min. End Dist. (in)	Min. Sill Wall Width (in)
1/4 x 6	THD50900H	2x or 3x	8	6
3/8 x 6	THD62600H	2x	10	6
1/2 x 6 1/2	THD62612H	3x	10	6



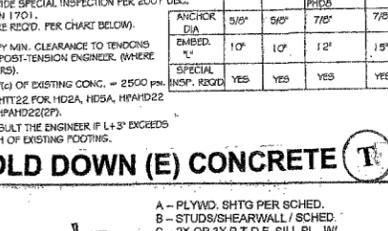
STUD NOTCHING



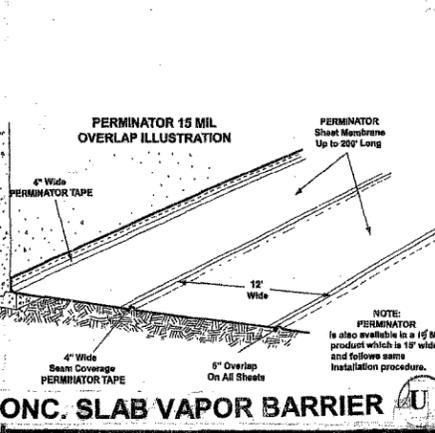
JOIST NOTCHING & BORING



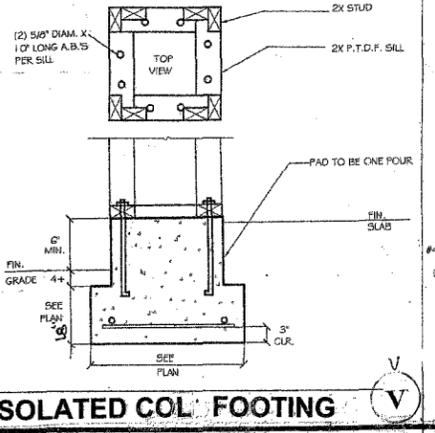
HOLD DOWN (N) CONCRETE



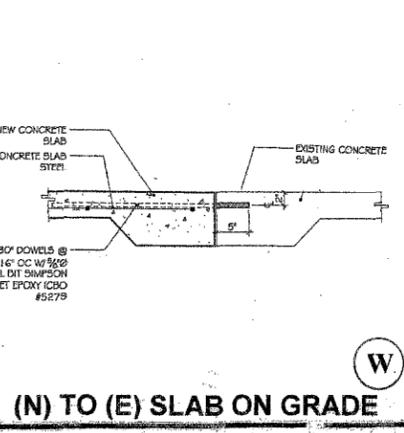
HOLD DOWN (E) CONCRETE



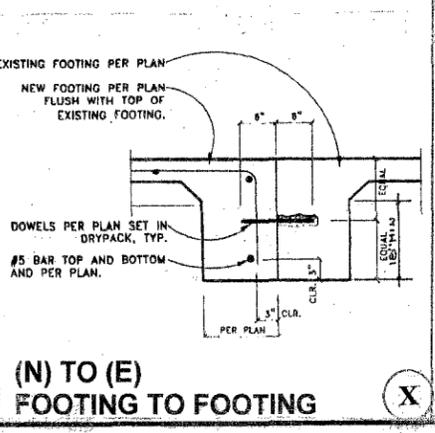
CONC. SLAB VAPOR BARRIER



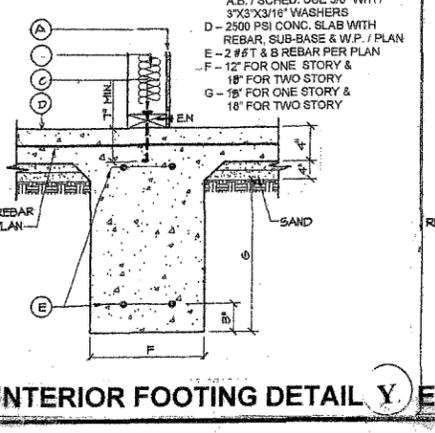
ISOLATED COL FOOTING



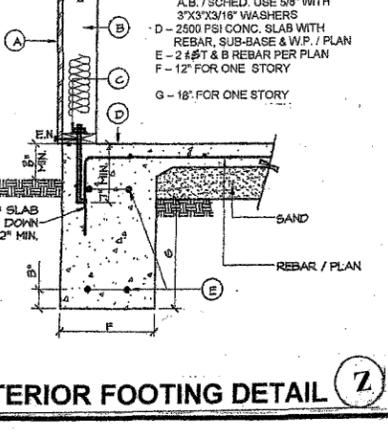
(N) TO (E) SLAB ON GRADE



(N) TO (E) FOOTING TO FOOTING



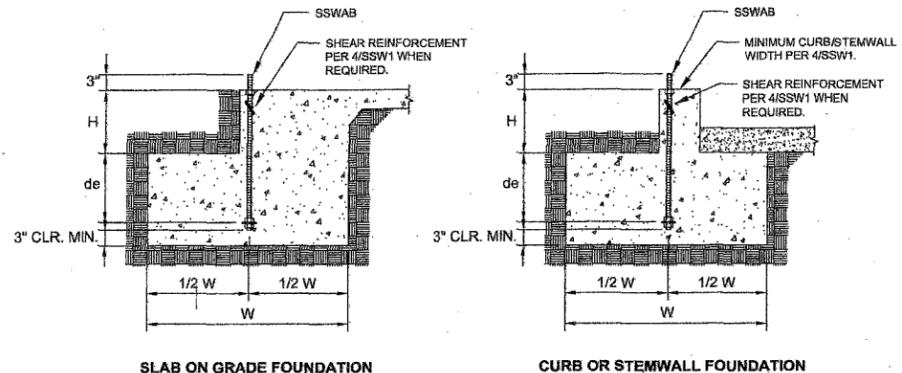
INTERIOR FOOTING DETAIL



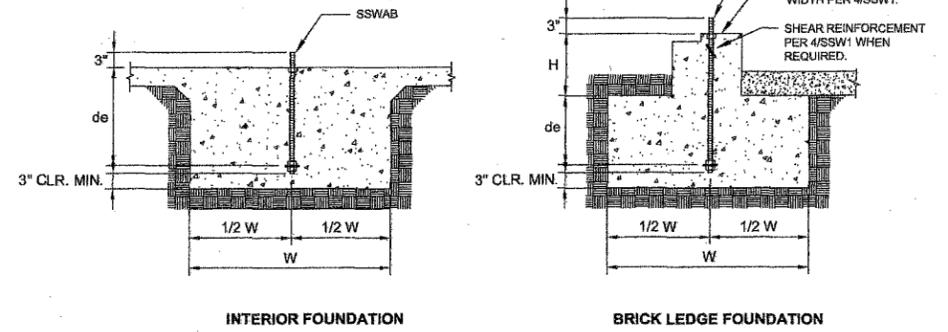
EXTERIOR FOOTING DETAIL

ABELKOP RESIDENCE  
2481 Rue Danisic, La Jolla CA 92037

Date	
Scale	
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Job	
Sheet	S 4
Of	Sheets

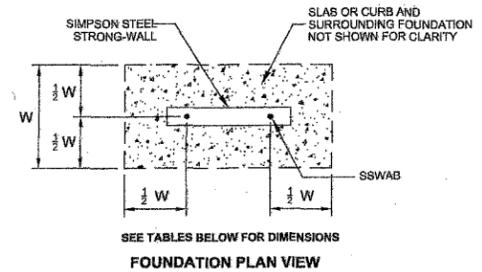


REGISTERED DESIGN PROFESSIONAL IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.



- NOTES:
- SEE 2/SSW1 AND 3/SSW1 FOR DIMENSIONS AND ADDITIONAL NOTES.
  - SEE 4/SSW1 FOR SHEAR REINFORCEMENT WHEN REQUIRED.
  - MAXIMUM H = 16 - de. SEE 6/SSW1 AND 6/SSW1 FOR de.

**STEEL STRONG-WALL ANCHORAGE - TYPICAL SECTIONS** 1



STEEL STRONG-WALL ANCHORAGE SOLUTIONS FOR 2500 PSI CONCRETE								
DESIGN CRITERIA	CONDITION	ANCHOR STRENGTH	SSWAB 3/4" ANCHOR BOLT			SSWAB 1" ANCHOR BOLT		
			ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)	ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)
SEISMIC	CRACKED	STANDARD	9,600	25	9	17,100	36	12
		HIGH STRENGTH	19,900	39	13	35,300	56	19
	UNCRAKED	STANDARD	9,600	21	7	17,100	32	11
		HIGH STRENGTH	19,900	34	12	35,300	49	17
WIND	CRACKED	STANDARD	4,500	12	6	6,000	14	6
			6,900	16	8	12,700	24	8
			9,600	20	7	17,100	30	10
			11,100	22	8	22,400	35	12
			13,500	25	9	26,800	39	13
	UNCRAKED	STANDARD	5,600	12	6	5,600	12	6
			7,800	15	6	12,000	20	7
			9,600	18	6	17,100	28	9
			11,200	19	7	22,100	30	10
			13,900	22	8	26,700	34	12

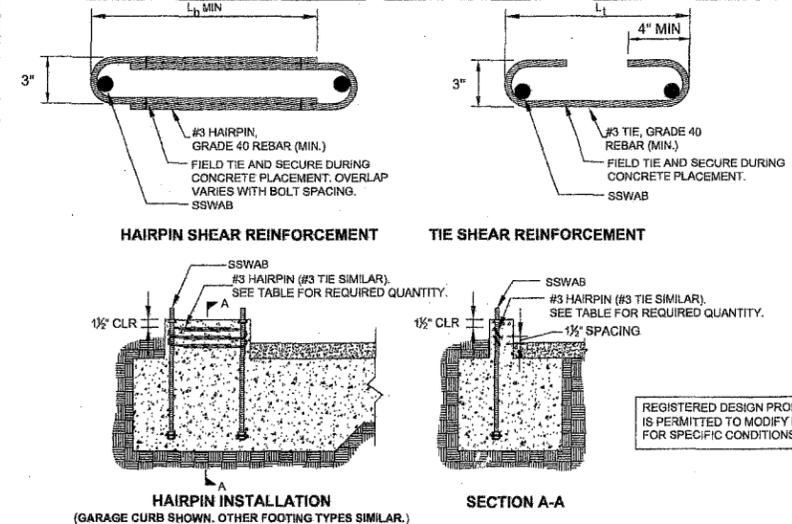
- NOTES:
- ANCHORAGE DESIGNS CONFORM TO ACI 318 APPENDIX D WITH NO SUPPLEMENTARY REINFORCEMENT FOR CRACKED OR UNCRACKED CONCRETE AS NOTED.
  - ANCHOR STRENGTH INDICATES REQUIRED GRADE OF SSWAB ANCHOR BOLT. STANDARD (ASTM F1554 GRADE 36) OR HIGH STRENGTH (HS) (ASTM A449).
  - SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC ANCHORAGE DESIGNS CONFORM TO ACI 318-05 SECTION D.3.3.4.
  - WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B AND DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C.
  - FOUNDATION DIMENSIONS ARE FOR ANCHORAGE ONLY. FOUNDATION DESIGN (SIZE AND REINFORCEMENT) BY OTHERS. THE REGISTERED DESIGN PROFESSIONAL MAY SPECIFY ALTERNATE EMBEDMENT, FOOTING SIZE OR ANCHOR BOLT.
  - REFER TO 1/SSW1 FOR de.

**SSWAB TENSION ANCHORAGE SCHEDULE 2500 PSI** 2

STEEL STRONG-WALL ANCHORAGE SOLUTIONS FOR 3500 PSI CONCRETE								
DESIGN CRITERIA	CONDITION	ANCHOR STRENGTH	SSWAB 3/4" ANCHOR BOLT			SSWAB 1" ANCHOR BOLT		
			ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)	ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)
SEISMIC	CRACKED	STANDARD	9,600	22	8	17,100	33	11
		HIGH STRENGTH	19,900	36	12	35,300	51	17
	UNCRAKED	STANDARD	9,600	19	7	17,100	28	10
		HIGH STRENGTH	19,900	31	11	35,300	44	15
WIND	CRACKED	STANDARD	5,300	12	6	6,000	13	6
			7,400	15	6	13,200	22	8
			9,600	18	7	17,100	27	9
			11,400	20	7	23,100	32	11
			14,100	23	8	27,800	36	12
	UNCRAKED	STANDARD	6,600	12	6	6,600	12	6
			8,300	14	6	12,200	18	6
			9,600	16	6	17,100	23	8
			11,200	17	6	22,400	27	9
			14,300	20	7	27,500	31	11

- NOTES:
- ANCHORAGE DESIGNS CONFORM TO ACI 318 APPENDIX D WITH NO SUPPLEMENTARY REINFORCEMENT FOR CRACKED OR UNCRACKED CONCRETE AS NOTED.
  - ANCHOR STRENGTH INDICATES REQUIRED GRADE OF SSWAB ANCHOR BOLT. STANDARD (ASTM F1554 GRADE 36) OR HIGH STRENGTH (HS) (ASTM A449).
  - SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC ANCHORAGE DESIGNS CONFORM TO ACI 318-05 SECTION D.3.3.4.
  - WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B AND DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C.
  - FOUNDATION DIMENSIONS ARE FOR ANCHORAGE ONLY. FOUNDATION DESIGN (SIZE AND REINFORCEMENT) BY OTHERS. THE REGISTERED DESIGN PROFESSIONAL MAY SPECIFY ALTERNATE EMBEDMENT, FOOTING SIZE OR ANCHOR BOLT.
  - SEE 1/SSW1 AND 2/SSW1 FOR W AND de.

**SSWAB TENSION ANCHORAGE SCHEDULE 3500/4500 PSI** 3

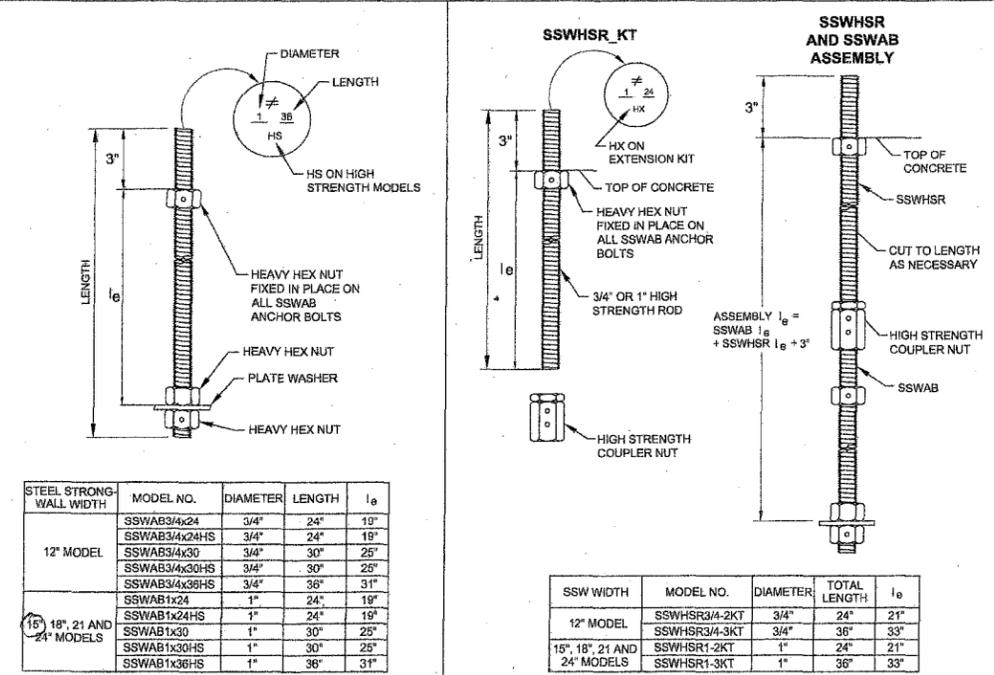


REGISTERED DESIGN PROFESSIONAL IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

STEEL STRONG-WALL SHEAR ANCHORAGE						
MODEL	L <sub>h</sub> OR L <sub>t</sub> (in)	SEISMIC <sup>3</sup>		WIND <sup>4</sup>		
		SHEAR REINFORCEMENT	MINIMUM CURB/STEMWALL WIDTH (in)	SHEAR REINFORCEMENT	MINIMUM CURB/STEMWALL WIDTH (in)	ASD ALLOWABLE SHEAR LOAD V (lbs)
SSW12	9	(1) #3 TIE	6	NONE REQUIRED	6	1370
SSW15	12	(1) #3 TIE	6	NONE REQUIRED	6	1765 <sup>7</sup>
SSW18	14	(1) #3 HAIRPIN	8 <sup>5</sup>	(1) #3 HAIRPIN	6	N/A
SSW21	15	(1) #3 HAIRPIN	8 <sup>5</sup>	(1) #3 HAIRPIN	6	N/A
SSW24	17	(2) #3 HAIRPINS	8 <sup>5</sup>	(2) #3 HAIRPINS	6	N/A

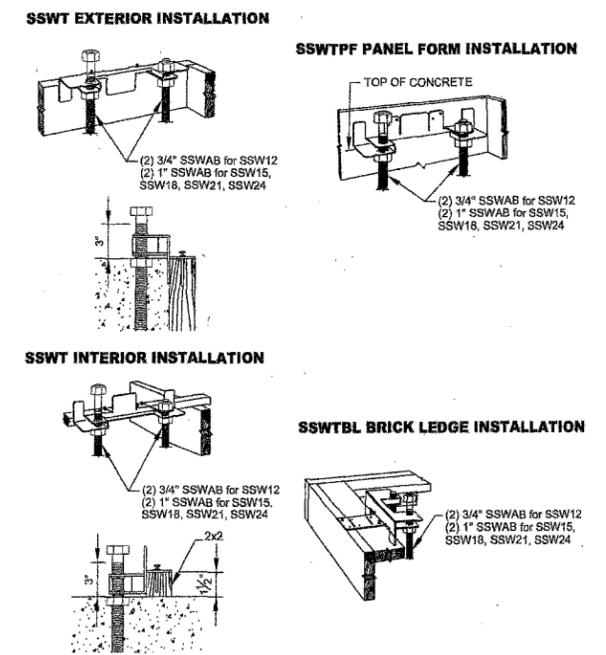
- NOTES:
- SHEAR ANCHORAGE DESIGNS CONFORM TO ACI 318-05 AND ASSUME MINIMUM f<sub>c</sub> = 2,500 PSI CONCRETE. SEE DETAILS 1/SSW1 TO 3/SSW1 FOR TENSION ANCHORAGE.
  - SHEAR REINFORCEMENT IS NOT REQUIRED FOR PANELS INSTALLED ON A WOOD FLOOR, INTERIOR FOUNDATION APPLICATIONS (PANEL INSTALLED AWAY FROM EDGE OF CONCRETE), OR BRACED WALL PANEL APPLICATIONS.
  - SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS.
  - WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B.
  - MINIMUM CURB/STEMWALL WIDTH IS 6" WHEN STANDARD STRENGTH SSWAB IS USED.
  - 8" MINIMUM CURB/STEMWALL ALLOWABLE SHEAR IS 1145 lbs. USE SEISMIC SHEAR REINFORCEMENT FOR HIGHER SHEAR LOADS.
  - 8" MINIMUM CURB/STEMWALL ALLOWABLE SHEAR IS 2015 lbs. UNCRACKED AND 1440 lbs. CRACKED. USE SEISMIC SHEAR REINFORCEMENT FOR HIGHER SHEAR LOADS.
  - CONCRETE EDGE DISTANCE FOR ANCHORS MUST COMPLY WITH ACI 318 D.8.2.

**STEEL STRONG-WALL ANCHOR BOLT SHEAR ANCHORAGE** 4



STEEL STRONG-WALL WIDTH	MODEL NO.	DIAMETER	LENGTH	l <sub>e</sub>
12" MODEL	SSWAB3/4x24	3/4"	24"	19"
	SSWAB3/4x24HS	3/4"	24"	19"
	SSWAB3/4x30	3/4"	30"	25"
	SSWAB3/4x30HS	3/4"	30"	25"
	SSWAB3/4x36HS	3/4"	36"	31"
15", 18", 21 AND 24" MODELS	SSWAB1x24	1"	24"	19"
	SSWAB1x24HS	1"	24"	19"
	SSWAB1x30	1"	30"	25"
	SSWAB1x30HS	1"	30"	25"
	SSWAB1x36HS	1"	36"	31"

SSW WIDTH	MODEL NO.	DIAMETER	TOTAL LENGTH	l <sub>e</sub>
12" MODEL	SSWHSR3/4-2KT	3/4"	24"	21"
	SSWHSR3/4-3KT	3/4"	36"	33"
	SSWHSR1-2KT	1"	24"	21"
15", 18", 21 AND 24" MODELS	SSWHSR1-3KT	1"	36"	33"



**SSW ANCHOR BOLTS** 5

**SSW ANCHOR BOLT EXTENSION** 6

**SSW ANCHOR BOLT TEMPLATES** 7

NO.	DATE	REVISION
1	9/21/2009	2008 IBC

**SIMPSON STRONG-TIE COMPANY, INC.**  
 HOME OFFICE: 2025 AS BLVD.  
 P.O. BOX 1000  
 PLEASANTON, CA 94588  
 TEL: (800) 999-5099

THIS IS NO EQUAL

**STEEL STRONG-WALL ANCHORAGE DETAILS ENGINEERED DESIGNS**

THIS IS NO EQUAL

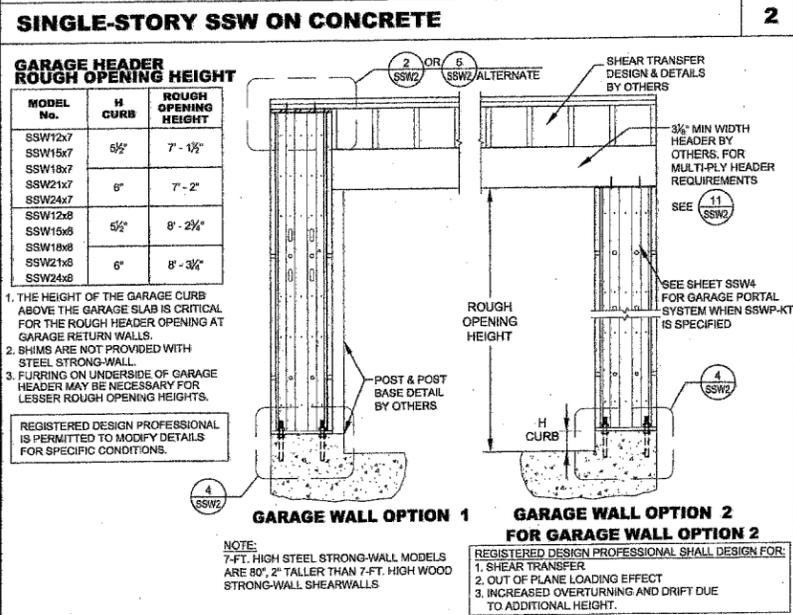
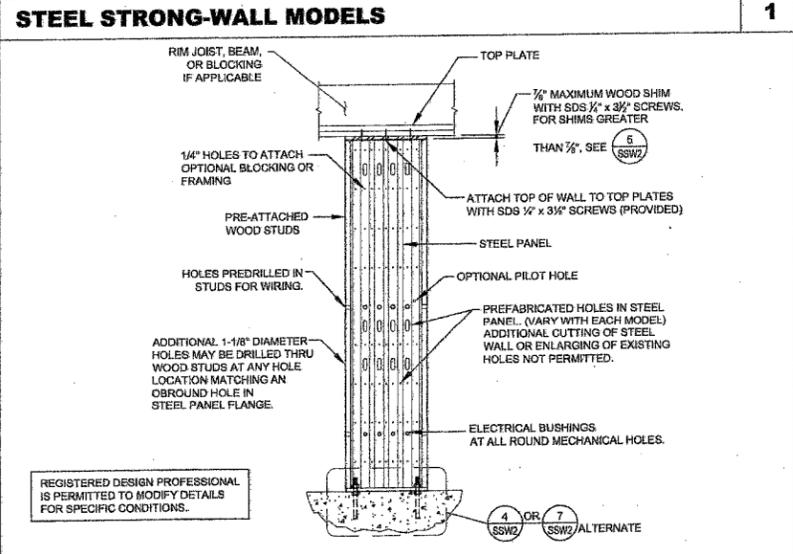
NAME	
DATE	9-21-2009
SCALE	N.T.S.
CHECKED	
SHEET	
<b>SSW1</b>	
OF SHEETS	
JOB NO.	

### STEEL STRONG-WALL MODELS

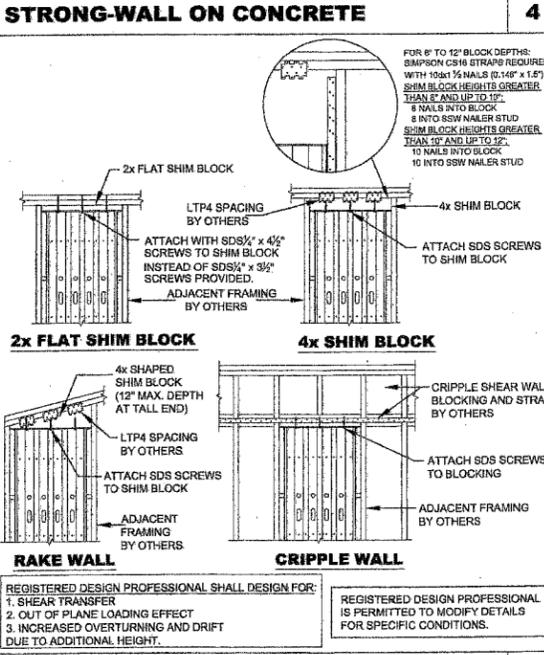
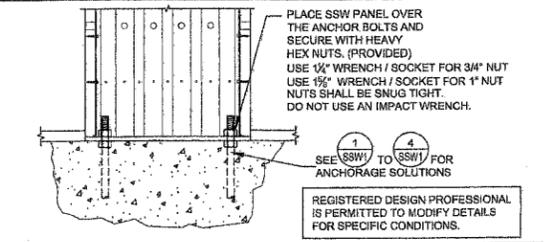
STD. WALL MODEL NO.	-STK WALL MODEL NO.	H (ft)	T (in)	HOLD-DOWN ANCHOR BOLTS	QTY. OF TOP OF WALL SCREWS
SSW12x7		60	3 1/2	(2) 3/4"	4
SSW15x7		80	3 1/2	(2) 1"	6
SSW18x7		80	3 1/2	(2) 1"	9
SSW21x7		80	3 1/2	(2) 1"	12
SSW24x7		80	3 1/2	(2) 1"	14
SSW12x7.4		85 1/2	3 1/2	(2) 3/4"	4
SSW15x7.4		85 1/2	3 1/2	(2) 1"	6
SSW18x7.4		85 1/2	3 1/2	(2) 1"	9
SSW21x7.4		85 1/2	3 1/2	(2) 1"	12
SSW24x7.4		85 1/2	3 1/2	(2) 1"	14
SSW12x8		93 1/4	3 1/2	(2) 3/4"	4
SSW15x8	SSW15x8-STK	93 1/4	3 1/2	(2) 1"	6
SSW18x8	SSW18x8-STK	93 1/4	3 1/2	(2) 1"	9
SSW21x8	SSW21x8-STK	93 1/4	3 1/2	(2) 1"	12
SSW24x8	SSW24x8-STK	93 1/4	3 1/2	(2) 1"	14
SSW12x9		105 1/4	3 1/2	(2) 3/4"	4
SSW15x9	SSW15x9-STK	105 1/4	3 1/2	(2) 1"	6
SSW18x9	SSW18x9-STK	105 1/4	3 1/2	(2) 1"	9
SSW21x9	SSW21x9-STK	105 1/4	3 1/2	(2) 1"	12
SSW24x9	SSW24x9-STK	105 1/4	3 1/2	(2) 1"	14
SSW12x10		117 1/4	3 1/2	(2) 3/4"	4
SSW15x10	SSW15x10-STK	117 1/4	3 1/2	(2) 1"	6
SSW18x10	SSW18x10-STK	117 1/4	3 1/2	(2) 1"	9
SSW21x10	SSW21x10-STK	117 1/4	3 1/2	(2) 1"	12
SSW24x10	SSW24x10-STK	117 1/4	3 1/2	(2) 1"	14
SSW12x11		129 1/4	5 1/2	(2) 1"	6
SSW15x11	SSW15x11-STK	129 1/4	5 1/2	(2) 1"	9
SSW18x11	SSW18x11-STK	129 1/4	5 1/2	(2) 1"	12
SSW21x11	SSW21x11-STK	129 1/4	5 1/2	(2) 1"	14
SSW24x11	SSW24x11-STK	129 1/4	5 1/2	(2) 1"	14
SSW12x12		141 1/4	5 1/2	(2) 1"	6
SSW15x12	SSW15x12-STK	141 1/4	5 1/2	(2) 1"	9
SSW18x12	SSW18x12-STK	141 1/4	5 1/2	(2) 1"	12
SSW21x12	SSW21x12-STK	141 1/4	5 1/2	(2) 1"	14
SSW24x12	SSW24x12-STK	141 1/4	5 1/2	(2) 1"	14
SSW12x13		153 1/4	5 1/2	(2) 1"	6
SSW15x13	SSW15x13-STK	153 1/4	5 1/2	(2) 1"	9
SSW18x13	SSW18x13-STK	153 1/4	5 1/2	(2) 1"	12
SSW21x13	SSW21x13-STK	153 1/4	5 1/2	(2) 1"	14
SSW24x13	SSW24x13-STK	153 1/4	5 1/2	(2) 1"	14

**WALL PROFILES**

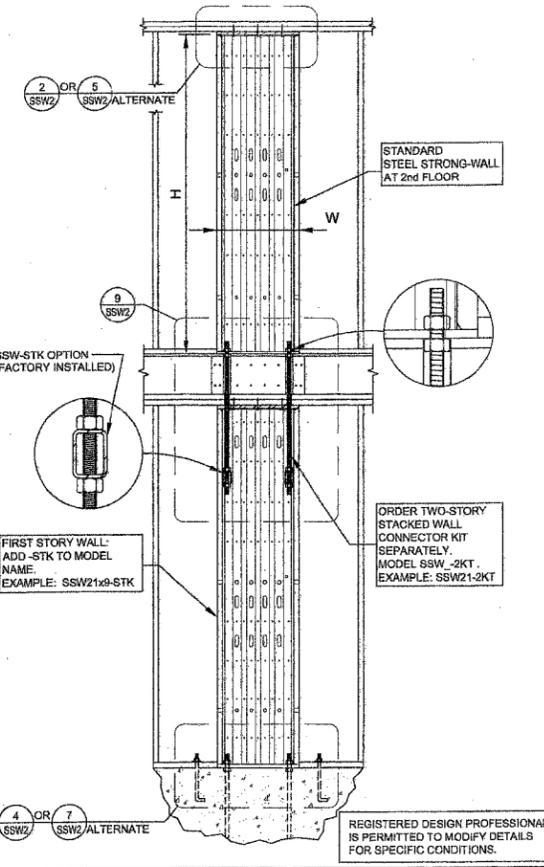
**TABLE NOTES:**  
 1. SDS 1/2" x 3/8" SCREWS PROVIDED WITH WALL.  
 2. SEE SHEET SSW1 FOR ANCHORAGE SOLUTIONS.



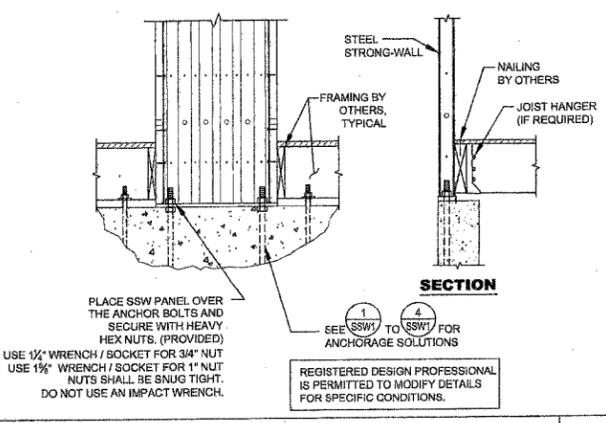
### ALTERNATE GARAGE WALL OPTIONS



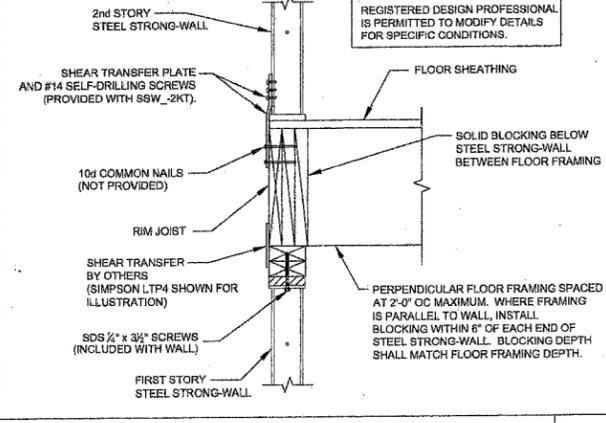
### TOP OF WALL HEIGHT ADJUSTMENTS



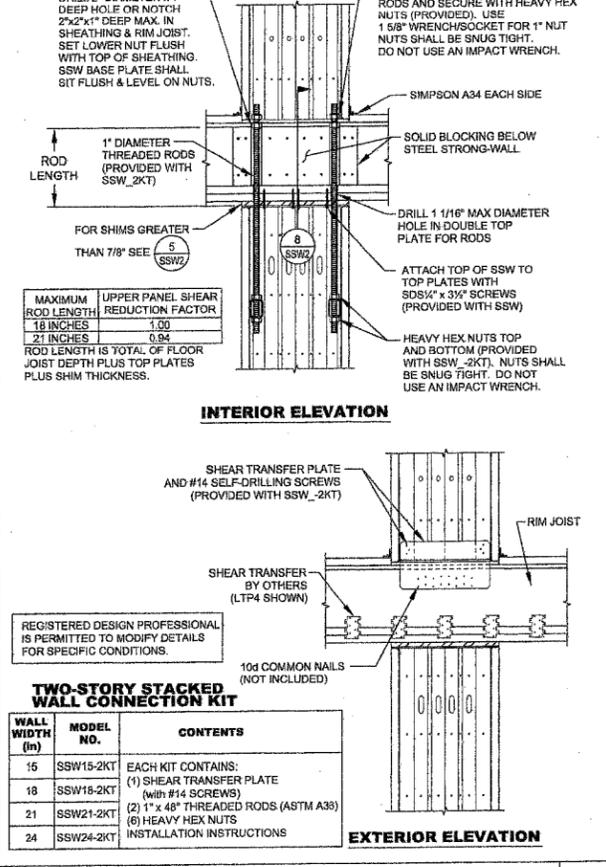
### TWO-STORY STACKED



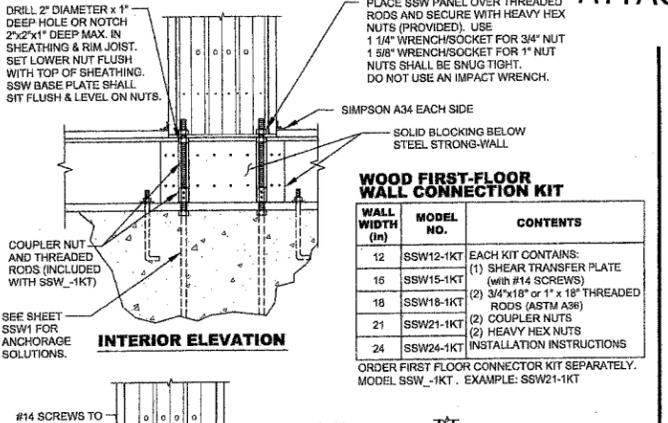
### ALTERNATE 1ST FLOOR WOOD FRAMING



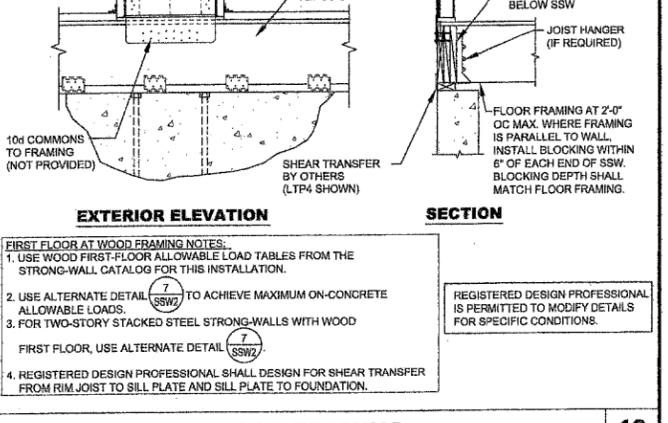
### TWO-STORY STACKED FLOOR SECTION



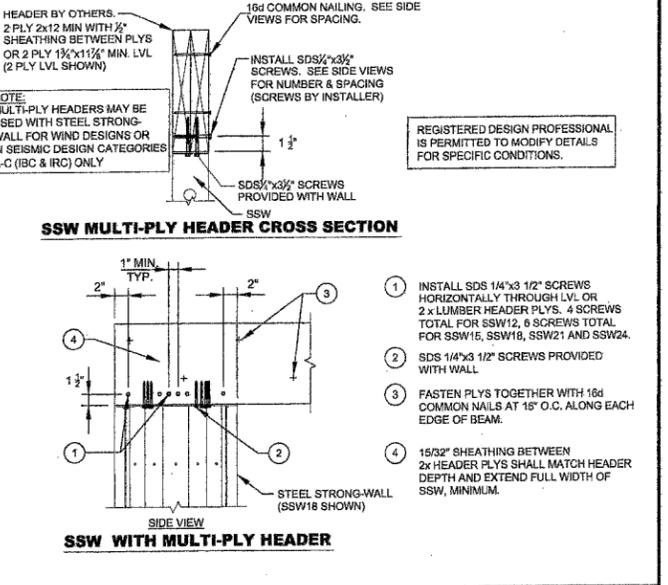
### TWO-STORY STACKED FLOOR FRAMING



### WOOD FIRST-FLOOR WALL CONNECTION KIT



### FIRST FLOOR AT WOOD FRAMING



### MULTI-PLY HEADERS

- STEEL STRONG-WALL SHEARWALL IS MANUFACTURED AND TRADEMARKED BY "SIMPSON STRONG-TIE COMPANY, INC." HOME OFFICE: 9558 W. LAS POSITAS BLVD., PLEASANTON, CA 94588 TEL: (800) 980-5089, FAX: (925) 847-1697. "SIMPSON STRONG-TIE COMPANY, INC." IS AN ISO 9001 REGISTERED COMPANY.
- USE OF THIS PRODUCT IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT.
- THIS PRODUCT IS PART OF THE OVERALL LATERAL FORCE RESISTING SYSTEM OF THE STRUCTURE. DESIGN OF THE BUILDING'S LATERAL FORCE RESISTING SYSTEM, INCLUDING THE LOAD PATH TO TRANSFER LATERAL FORCES FROM THE STRUCTURE TO THE GROUND, IS THE RESPONSIBILITY OF THE SPECIFIER.
- ENGINEER OF RECORD IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ELEVATIONS, ETC. PRIOR TO INSTALLATION OF ANY COMPONENTS FOR THE STEEL STRONG-WALL SYSTEM. IF ANY DISCREPANCIES ARE FOUND, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE SPECIFIER FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- INSTALLATION OF PRODUCT SHALL BE DONE IN CONFORMANCE TO THESE DRAWINGS. THE PERFORMANCE OF MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE SPECIFIER.
- SIMPSON STRONG-TIE COMPANY, INC. RESERVES THE RIGHT TO CHANGE SPECIFICATIONS, DESIGNS, AND MODELS WITHOUT NOTICE OR LIABILITY FOR SUCH CHANGES.
- ALL HARDWARE CALLED OUT IS SIMPSON STRONG-TIE.

### NOTES

REVISION NO. 1 DATE 9/21/2009 2006 IBC REVISION

SIMPSON STRONG-TIE COMPANY, INC.  
 HOME OFFICE: 9558 W. LAS POSITAS BLVD., PLEASANTON, CA 94588  
 TEL: (800) 980-5089

THIS IS AN ISO 9001 REGISTERED COMPANY

**STEEL STRONG-WALL FRAMING DETAILS ENGINEERED DESIGNS**

NAME: DATE: 9-21-2009 SCALE: N.T.S. CHECKED: SHEET: SSW2 OF SHEETS: JOB NO.

**BENCH MARK**

CITY OF SAN DIEGO BENCHMARK NO. 18877  
BRASS PLUG AT THE NORTHEAST CURB RETURN OF RUE DENISE AND VIA CAPRI  
ELEVATION= 594.19' MSL

**SOURCE OF TOPOGRAPHY**

THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN HAS BEEN PROVIDED BY J WEST SURVEYING & MAPPING, 40475 ROCK MOUNTAIN DRIVE, FALLBROOK CA, 92028 (760) 723-5992. SURVEY WAS COMPLETED MARCH, 2006.

**GRADING NOTES**

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET \_\_\_ FOR MIX AND SPECIFICATIONS.

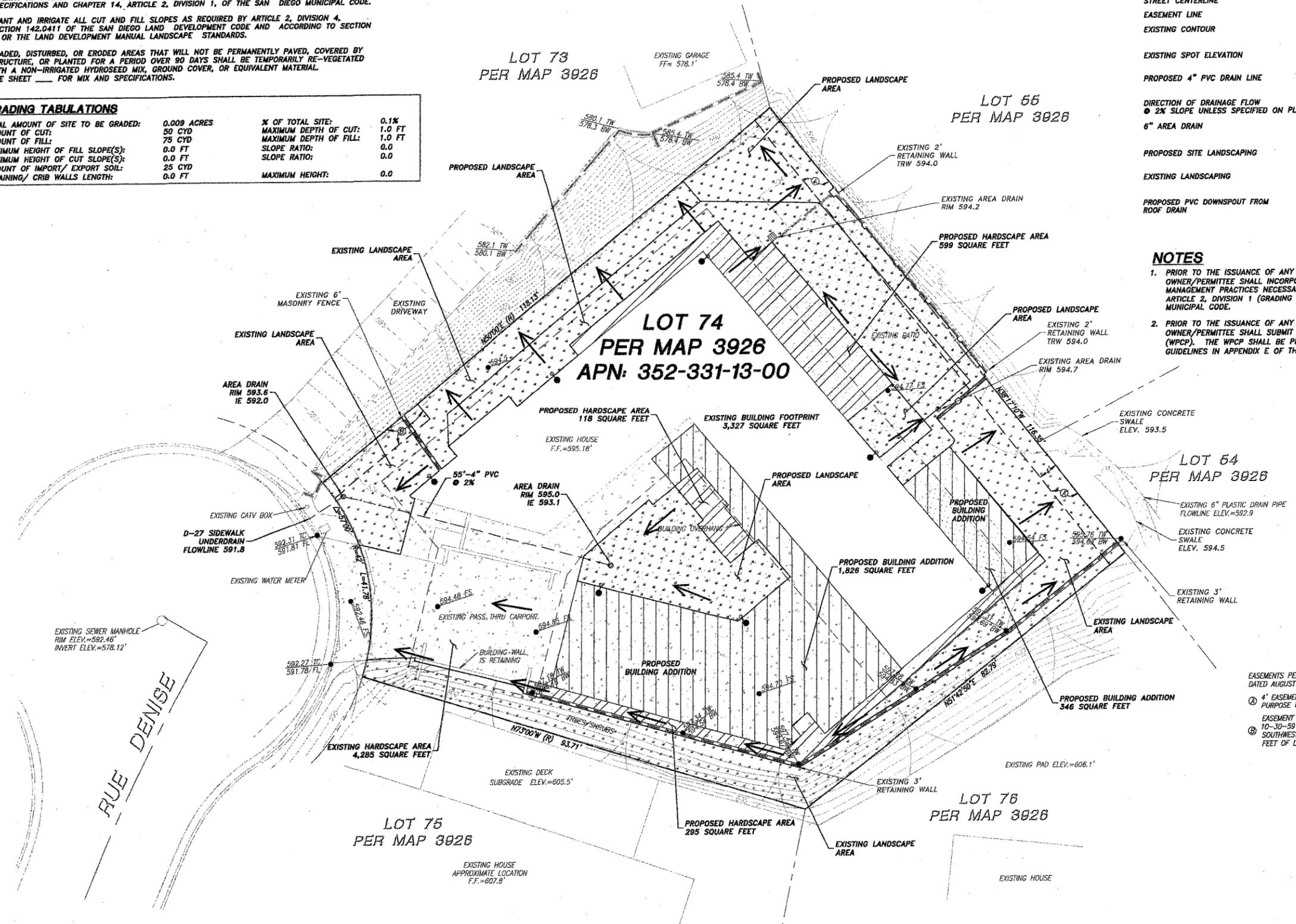
**GRADING TABULATIONS**

TOTAL AMOUNT OF SITE TO BE GRADED:	0.009 ACRES	% OF TOTAL SITE:	0.1%
AMOUNT OF CUT:	50 CYD	MAXIMUM DEPTH OF CUT:	1.0 FT
AMOUNT OF FILL:	75 CYD	MAXIMUM DEPTH OF FILL:	1.0 FT
MAXIMUM HEIGHT OF FILL SLOPE(S):	0.0 FT	SLOPE RATIO:	0.0
MAXIMUM HEIGHT OF CUT SLOPE(S):	0.0 FT	SLOPE RATIO:	0.0
AMOUNT OF IMPORT/EXPORT SOIL:	25 CYD	MAXIMUM HEIGHT:	0.0
RETAINING/ CRIB WALLS LENGTH:	0.0 FT		

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		N45°45'45"W
EXISTING BUILDING FOOTPRINT		[Symbol]
PROPOSED BUILDING FOOTPRINT		[Symbol]
EXISTING CONCRETE		[Symbol]
PROPOSED HARDSCAPE		[Symbol]
EXISTING RETAINING WALL		[Symbol]
STREET CENTERLINE		[Symbol]
EASEMENT LINE		[Symbol]
EXISTING CONTOUR		[Symbol]
EXISTING SPOT ELEVATION		[Symbol]
PROPOSED 4" PVC DRAIN LINE		[Symbol]
DIRECTION OF DRAINAGE FLOW		[Symbol]
2% SLOPE UNLESS SPECIFIED ON PLAN		[Symbol]
6" AREA DRAIN		[Symbol]
PROPOSED SITE LANDSCAPING		[Symbol]
EXISTING LANDSCAPING		[Symbol]
PROPOSED PVC DOWNSPOUT FROM ROOF DRAIN		[Symbol]

**NOTES**

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCCP). THE WPCCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.



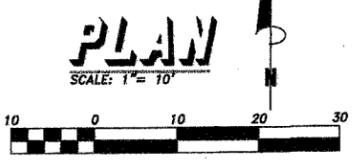
No.	Date	Revisions

**ABELKOP RESIDENCE**  
**2481 RUE DENISE, LA JOLLA**  
**CONCEPTUAL GRADING PLAN**

EASEMENTS PER PRELIMINARY TITLE REPORT ORDER NO. 253195-DJ DATED AUGUST 18, 2005 FROM CALIFORNIA TITLE COMPANY:  
 (A) 4' EASEMENT SHOWN ON MAP NO. 3926 PURPOSE UNSTATED ON SAID MAP  
 EASEMENT FOR PUBLIC UTILITY PURPOSES RECORDED 10-30-59 IN BOOK 7970, PAGE 229 O.R. OVER THE SOUTHWESTERLY 25 FEET OF THE NORTHWESTERLY 4 FEET OF LOT 74.

These drawings and specifications are the property and copyright of the architect and shall not be used on any other work except by agreement with the architect. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. Any discrepancies shall be brought to the attention of the architect prior to the commencement of any work.

Drawn By \_\_\_\_\_  
 Checked By \_\_\_\_\_  
 Date Issued \_\_\_\_\_

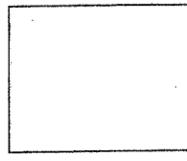
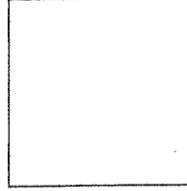


**SHEET**  
**C-1**

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		N45°45'45"W
EXISTING BUILDING FOOTPRINT		[Symbol]
PROPOSED BUILDING FOOTPRINT		[Symbol]
EXISTING CONCRETE		[Symbol]
PROPOSED HARDSCAPE		[Symbol]
EXISTING RETAINING WALL		[Symbol]
STREET CENTERLINE		[Symbol]
EASEMENT LINE		[Symbol]
EXISTING CONTOUR		[Symbol]
EXISTING SPOT ELEVATION		[Symbol]
PROPOSED 4" PVC DRAIN LINE		[Symbol]
DIRECTION OF DRAINAGE FLOW		[Symbol]
6" AREA DRAIN		[Symbol]
PROPOSED SITE LANDSCAPING		[Symbol]
EXISTING LANDSCAPING		[Symbol]

Revisions	
No.	Date

ABELKOP RESIDENCE  
2481 RUE DENISE, LA JOLLA  
LANDSCAPE AREA DIAGRAM



These drawings and specifications are the property and copyright of the architect and shall not be used on any other work except by agreement with the architect. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. Any discrepancies shall be brought to the attention of the architect prior to the commencement of any work.

Drawn By \_\_\_\_\_  
Checked By \_\_\_\_\_  
Date Issued \_\_\_\_\_

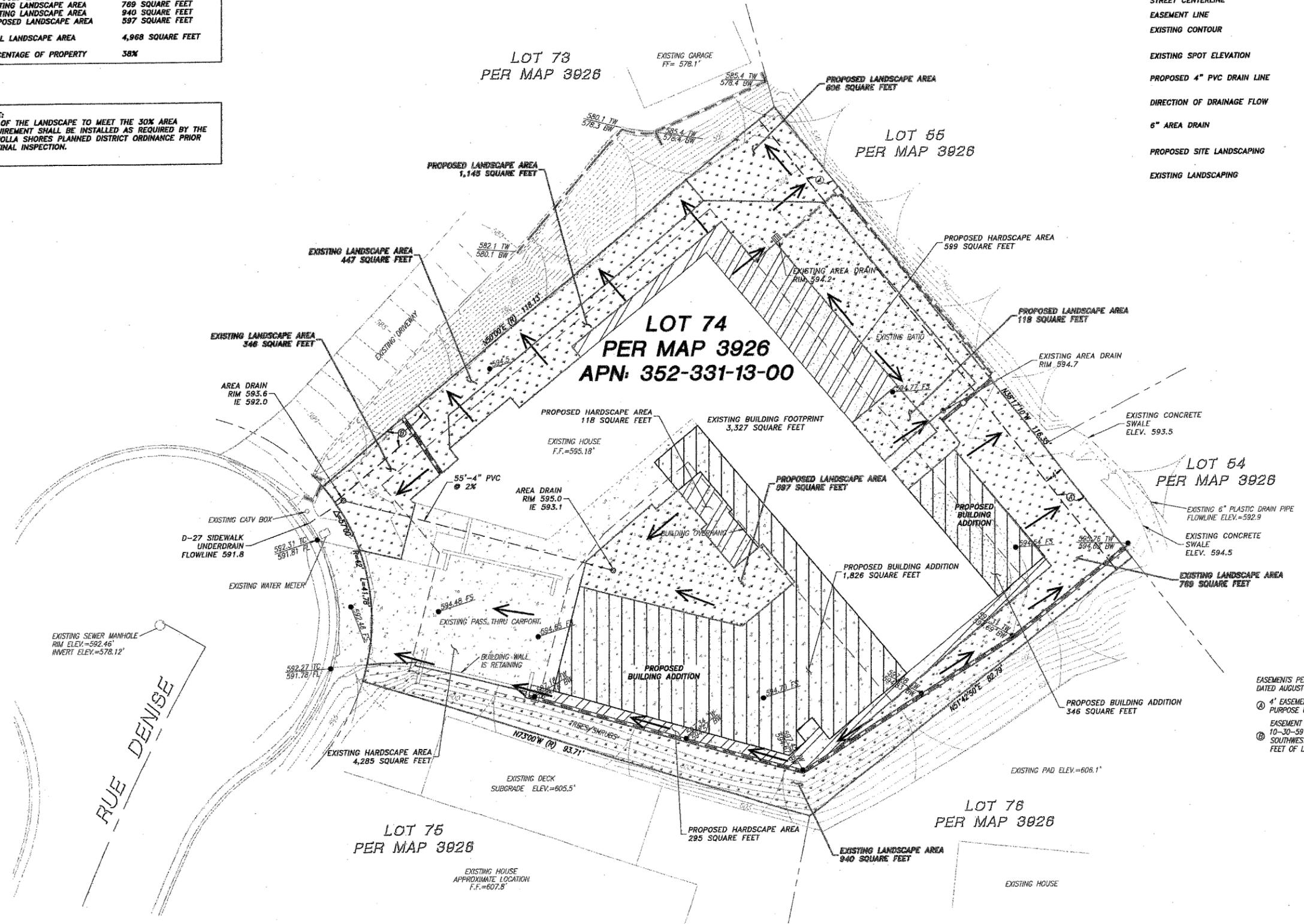
Project No. \_\_\_\_\_

SHEET  
C-2

**LANDSCAPE AREA TABULATIONS**

EXISTING LANDSCAPE AREA	346 SQUARE FEET
EXISTING LANDSCAPE AREA	447 SQUARE FEET
PROPOSED LANDSCAPE AREA	1,145 SQUARE FEET
PROPOSED LANDSCAPE AREA	606 SQUARE FEET
PROPOSED LANDSCAPE AREA	118 SQUARE FEET
EXISTING LANDSCAPE AREA	769 SQUARE FEET
EXISTING LANDSCAPE AREA	940 SQUARE FEET
PROPOSED LANDSCAPE AREA	597 SQUARE FEET
TOTAL LANDSCAPE AREA	4,968 SQUARE FEET
PERCENTAGE OF PROPERTY	38%

**NOTE:**  
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE PRIOR TO FINAL INSPECTION.



EASEMENTS PER PRELIMINARY TITLE REPORT ORDER NO. 253195-DJ DATED AUGUST 18, 2005 FROM CALIFORNIA TITLE COMPANY:  
 (A) 4' EASEMENT SHOWN ON MAP NO. J3926 PURPOSE UNSTATED ON SAID MAP  
 EASEMENT FOR PUBLIC UTILITY PURPOSES RECORDED 10-30-59 IN BOOK 7970, PAGE 229 O.R. OVER THE SOUTHWESTERLY 25 FEET OF THE NORTHWESTERLY 4 FEET OF LOT 74.

