



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: November 21, 2012 REPORT NO. HO-12-095

ATTENTION: Hearing Officer

SUBJECT: BENSON RESIDENCE
PROJECT NUMBER: 232790

LOCATION: 5970 Camino De La Costa

OWNER: Eric B. Benson Trust U.T.D. (Attachment 7)

SUMMARY

Requested Action - Should the Hearing Officer approve a Coastal Development/Site Development Permit for the demolition of an existing single family residence for the construction of a new two-story single family residence within the La Jolla Community Planning area?

Staff Recommendation - **APPROVE** Coastal Development Permit No. 833568 and Site Development Permit No. 872200.

Community Planning Group Recommendation – On November 1, 2012, the La Jolla Community Planning Association voted 12-0-0 to recommend approval of the project with no conditions (Attachment 8).

Environmental Review – The project was determined to be exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 24, 2012 and the opportunity to appeal that determination ended on November 14, 2012.

BACKGROUND

The 0.65-acre site is located at 5970 Camino De La Costa in the RS-1-5 Zone, Coastal Overlay Zone (Appealable Area), First Public Roadway of the Coastal Overlay Zone, Sensitive Coastal Overlay Zone (Coastal Buffs), Coastal Height Limitation Overlay Zone, Residential Tandem Parking Overlay Zone and the Beach Impact Area of the Parking Impact Overlay Zone. The La

Jolla Community Plan designates the site as Low Density Residential uses (5-9 dwelling units per acre). The property is currently developed with a one-story single family residence.

The proposed project requires a Coastal Development Permit for proposed new development within the Coastal Overlay Zone. A Site Development Permit is required for Environmentally Sensitive Lands in the form of coastal sensitive resources.

DISCUSSION

The development includes the demolition of an existing residence for the construction of an approximate 9,995-square-foot residence with 4-car garage, storage areas and accessory improvements. The development must maintain public view corridors within both side yards extending the full depth of the premises through a deed restriction. The rear portion of the site slopes downward to a steep natural bluff, ranging from 30 to 35 feet in height above the Pacific Ocean. The proposed residence, structures and pool would be set back greater than 40 feet from the coastal bluff edge with the exception of at-grade accessory structures, which will be located no closer than 5' from coastal bluff edge as permitted by the municipal code. The subject parcel is not mapped as impeding any visual or physical access to the ocean within the La Jolla Community Plan. There are scenic overlooks mapped on La Canada that brush by the edge of the subject parcel but the proposed residence would not hamper the scenic overlook identified as it is sufficiently set back from the street and side yards. In addition, a five-foot easement would be executed in favor of the City to preserve the coastal bluff face as required by the Environmentally Sensitive Lands Regulations. The easement would preclude any form of development, including grading and on-grade improvements, within five feet from the coastal bluff edge setback. The remainder of the site seaward would be placed within a Covenant of Easement to preserve the coastal bluff areas in perpetuity.

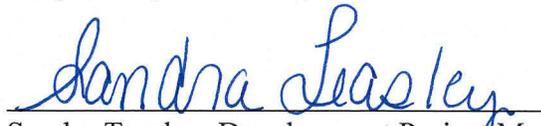
CONCLUSION

Staff has reviewed the proposed project and has determined that it conforms to the RS-1-5 zone, Environmentally Sensitive Lands regulations and the policies and goals within the La Jolla Community Plan as further detailed in the draft findings of fact submitted for consideration in Attachment 5. Therefore, staff supports the proposed Coastal Development Permit and Site Development Permit.

ALTERNATIVES

1. Approve Coastal Development Permit No. 833568 and Site Development Permit No. 872200, with modifications; or
2. Deny Coastal Development Permit No. 833568 and Site Development Permit No. 872200, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Sandra Teasley, Development Project Manager

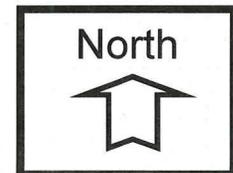
Attachments:

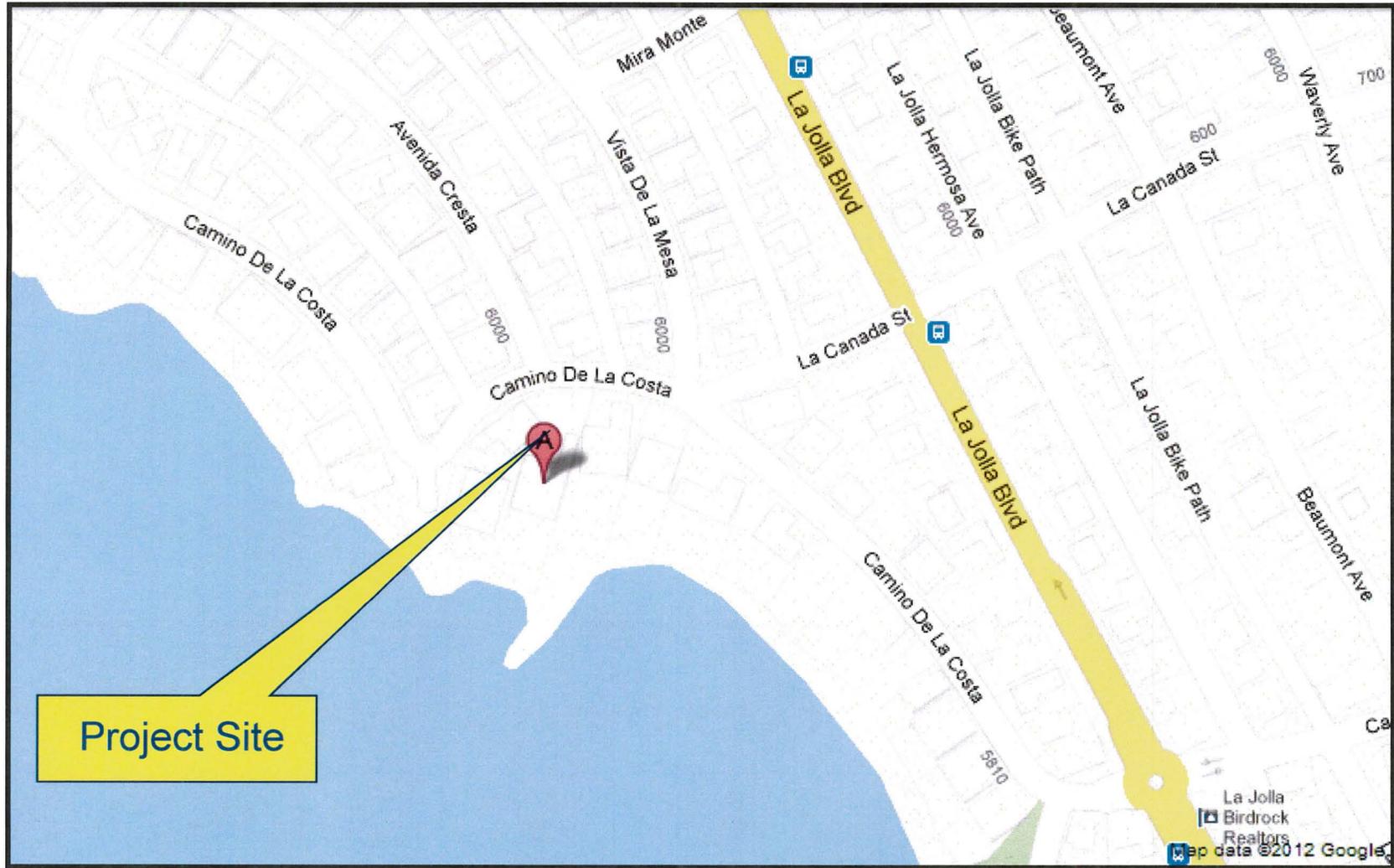
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit
5. Draft Resolution
6. Project Data Sheet
7. Ownership Disclosure Statement
8. Community Planning Group Recommendation
9. Environmental Exemption
10. Project Plans



Aerial Photo

BENSON 5 RESIDENCE - 5970 CAMINO DE LA COSTA
PROJECT NO. 232790

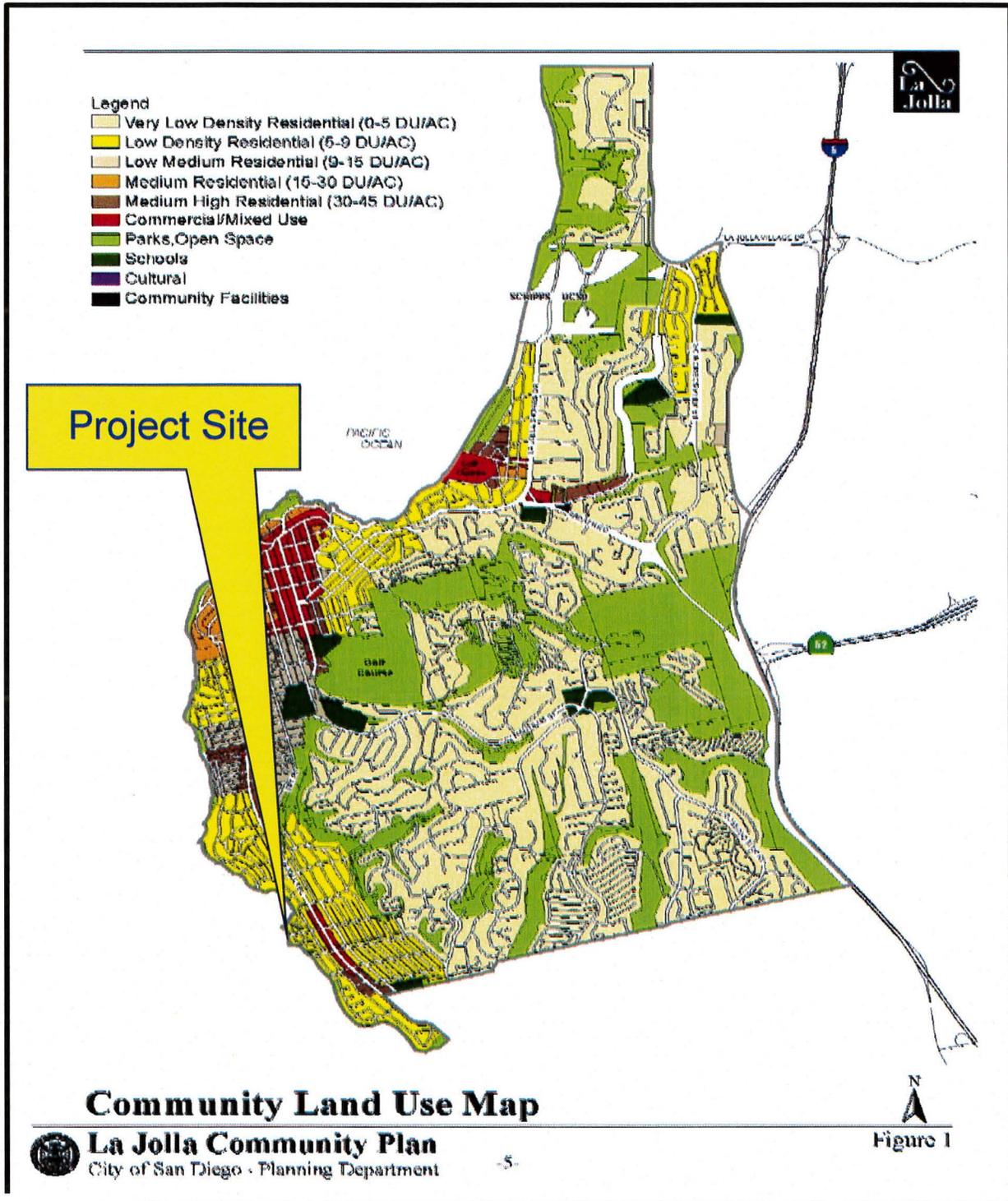




Project Location Map

BENSON RESIDENCE 5970 - 5970 CAMINO DE LA COSTA
PROJECT NO. 232790





Land Use Map

BENSON RESIDENCE 5970 - 5970 CAMINO DE LA COSTA
PROJECT NO. 232790



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24001566

COASTAL DEVELOPMENT PERMIT NO. 833568
SITE DEVELOPMENT PERMIT NO. 872200
BENSON RESIDENCE 5970 – PROJECT NO. 232790
HEARING OFFICER

This Coastal Development Permit No. 833568/Site Development Permit No. 872200, is granted by the Hearing Officer of the City of San Diego to ERIC B. BENSON TRUST, U.T.D, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0501 and 126.0701. The 0.65-acre site is located at 5970 Camino De La Costa in the RS-1-5 zone, Coastal Overlay Zone, Sensitive Coastal Bluff Overlay Zone, Coastal Height Limit Overlay Zone and the Beach Impact Area of the Parking Impact Overlay zone and the Transit Area Overlay Zone. The site is located within the La Jolla Community Planning area and legally described as Lot 2, Block 2 of La Jolla Hermosa Map No. 1810.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing residence and construct a two-story residence with basement and four-car garage. The development is described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 21, 2012, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing residence for the construction of a new two-story residence with basement and four-car garage totaling approximately 9,995 square feet, including a swimming pool and other accessory improvements;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. This permit expires on ----- . If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

12. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use

unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

13. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement for Sensitive Coastal Bluffs in accordance with SDMC section 143.0143, in a form and content acceptable to the Director of the Development Services Department, or designated representative, which shall provide: (a) that the Owner/Permittee understands that new accessory structures or landscape features customary and incidental to residential uses are prohibited within 5 feet of the Coastal Bluff Edge or on the face of the Bluff, as illustrated on approved plan Exhibit "A;" (b) that the Owner/Permittee understands that the site may be subject to extraordinary hazard from coastal bluff erosion, and the Owner/Permittee assumes all liability from such hazards; and (c) the Owner/Permittee unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify, and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns.

15. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the provisions of this permit shall supersede Coastal Development Permit No. 833568 and Site Development Permit No. 872200.

16. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

17. The height(s) of the buildings(s) or structures shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this Permit.

18. Accessory structures and landscape features customary and incidental to residential uses shall not be closer than five feet to the coastal bluff edge provided, however, that these shall be located at grade. Accessory structures and features may be landscaping, walkways, unenclosed patios, open shade structures, decks that are less than three feet above grade, lighting standards,

fences and walls, seating benches, signs, or similar structures and features, excluding garages, carports, buildings, pools spas, and upper floor deck with load bearing support structures.

19. No development shall be permitted on the coastal bluff face.

20. At grade accessory structures and landscape features customary and incidental to residential uses shall not be closer than five feet to the coastal bluff edge, in accordance with the requirements of the Land Development Code.

21. Prior to the issuance of construction permits, the Owners/Permittees shall record a Deed Restriction preserving a 6'-3 1/2" wide visual corridor within the east interior side yard, and a 7'-7" wide visual corridor within the west interior side yard, running full length of property in accordance with the requirements of the Land Development Code and as described in exhibit "A." Any trees proposed within these corridors shall be maintained by pruning and thinning of tree canopy to a height of 8 feet or greater.

22. Open fencing and landscaping may be permitted within this visual corridor, provided such improvements do not significantly obstruct public views of the ocean. Landscape within this visual corridor shall be planted and maintained not exceed 3'-0" in height pursuant to Exhibit "A" in order to preserve public views.

23. It shall be the responsibility of the Owners/Permittees to properly remove and dispose of any and all debris resulting from the natural erosion of any existing blufftop improvements that cannot be removed as a part of this project.

24. Prior to the issuance of any construction permits, the owner/permittee shall record a Covenant of Easement for the Protection of Environmentally Sensitive Lands, as shown on Sheet A.1.1 of the approved Exhibit "A" drawings on file in the office of the Development Services Department. The easement shall be drafted in accordance with the Land Development Code.

25. The covenant of easement shall ensure enforceability of the covenant of easement by the City.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards, Coastal Bluffs and Beaches Guidelines and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including environmental conditions) and Exhibit "A", on file in the Office of the Development Services Department.

27. Prior to issuance of any engineering permits for public right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities,

drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

28. Prior to issuance of any construction permits for structures, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A", Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

29. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

30. The Owner/Permittee shall be responsible for the installation and maintenance of all landscape improvements consistent with the Land Development Code: Landscape Regulations and the Land Development Manual: Landscape Standards.

31. All landscape proposed within the view corridors shall be maintained by pruning and thinning to a maximum height of three feet, pursuant to Exhibit "A." Any trees proposed within these corridors shall be maintained by pruning and thinning of the tree canopy to a height of 8 feet or greater.

32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

33. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall ensure that all proposed landscaping, on and within the five-foot setback of the Sensitive Coastal Bluff, shall not include non-native, exotic plant species that may be invasive to native habitats. Invasive plant species found within the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory and the City of San Diego's Land Development Manual, Landscape Standards are prohibited.

34. Prior to issuance of any engineering permits, the Owner/Permittee shall ensure that all existing, invasive plant species, including vegetative parts and root systems, shall be completely removed from the top of the Coastal Bluff and the five-foot bluff edge setback when the combination of species type, location, and surrounding environmental conditions provides a means for the species to invade other areas of native plant material that are on or off of the premises [LDC 142.0403(b)(2)].

35. All drainage from the improvements on the premises shall be directed away from any coastal bluff and either into an existing or newly improved public storm drain system or onto a street developed with a gutter system or public right-of-way designated to carry surface drainage run-off. All drainage from any unimproved areas shall be appropriately collected and discharged in order to reduce, control, or mitigate erosion of the coastal bluff.

36. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

37. All proposed public water facilities, including services and meters, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto.

38. All proposed public sewer facilities are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide.

39. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

40. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities.

41. Prior to the issuance of construction permits, the Owner/Permittee shall obtain Encroachment and Maintenance Removal Agreement (EMRA) for proposed improvements of any kind, including utilities, medians, landscaping, enriched paving, curb, gutter and sidewalk, and electrical conduits to be installed within the public right-of-way.

42. Utilization of existing sewer laterals is at the sole risk and responsibility of the developer to ensure the laterals are functional and connected to a public sewer facility. Prior to connecting to any existing sewer lateral, the lateral shall be inspected using a closed-circuit television (CCTV) by a California Licensed Plumbing Contractor to verify the lateral is in good working condition and free of all debris.

ENGINEERING REQUIREMENTS:

43. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the closure of the existing non-utilized driveways with City standard curb, gutter and sidewalk, on Camino De La Costa, per Standard Drawings G-2, G-7, G-9 and SDG-100, satisfactory to the City Engineer.

44. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the construction of A 12-foot wide City standard driveway, on Camino De La Costa, per Standard Drawing G-14A, G-16 and SDG-100, satisfactory to the City Engineer.
45. The drainage system for this project shall be private and will be subject to approval by the City Engineer.
46. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMPs) maintenance, satisfactory to the City Engineer.
47. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
48. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
49. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction BMPs on the final construction drawings, consistent with the approved Water Quality Technical Report.
50. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the closure of the existing non-utilized driveways with City standard curb, gutter and sidewalk, on Camino De La Costa, satisfactory to the City Engineer.
51. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

GEOLOGY REQUIREMENTS:

52. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed

on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer
of the City of San Diego on -----, Resolution No. _____.

DRAFT

Permit Type/PTS Approval No.: Coastal Development Permit No. 833568/Site
Development Permit No. 872200

Date of Approval: -----

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

SANDRA TEASLEY
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

DRAFT

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ERIC BENSON TRUST, U.T.D., 8-20-96
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

DRAFT

HEARING OFFICER
RESOLUTION NO.
COASTAL DEVELOPMENT PERMIT NO. 833568
SITE DEVELOPMENT PERMIT NO. 872200
BENSON RESIDENCE - PROJECT NO. 232790
HEARING OFFICER

WHEREAS, ERIC B. BENSON TRUST, U.T.D, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing residence and construct a two-story residence with basement and four-car garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 833568 and 872200), on portions of a .65-acre site;

WHEREAS, the project site is located at 5970 Camino De la Costa in the RS-1-5 zone, Coastal Overlay Zone, Sensitive Coastal Bluff Overlay Zone, Coastal Height Limit Overlay Zone and the Beach Impact Area of the Parking Impact Overlay zone and the Transit Area Overlay zone, within the La Jolla Community Planning Area.

WHEREAS, on November 21, 2012, the Hearing Officer of the City of San Diego considered Coastal Development Permit and Site Development Permit Nos. 833568 and 872200 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 24, 2012, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the proposed activity is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated November 21, 2012:

FINDINGS:

Coastal Development Permit – Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa.

The site is surrounded by existing single-family development and bounded on the south by the Pacific Ocean. The site is designated for residential development within the La Jolla Community Plan and Local Coastal Program Land Use Plan. The Local Coastal Program, adopted by the San Diego City Council and certified by the California Coastal Commission, identifies standards needed to protect the community coastal resources. The policies and recommendations of the Local Coastal Program have been incorporated into the Community Plan.

The La Jolla Community Plan and Local Coastal Program Land Use Plan contain recommendations for visual and physical access to the ocean from the first street adjacent to the ocean. The property is not located on or adjacent to any existing physical access way that is legally used by the public or any proposed public accessway.

The subject site is located within an identified Public Vantage Point identified as a Viewshed. The Community Plan states that public views from identified vantage points, to and from La Jolla's community landmarks and scenic vistas of the ocean, beach, and bluff areas, hillsides and canyons shall be retained and enhanced for public use. The applicant has provided a view corridor exhibit which provides the required view corridor easement extending the full depth of both interior side yards.

Appendix G of the La Jolla Community Plan contains recommendations for visual and physical access to the ocean from the first street adjacent to the ocean. The subject parcel is not mapped as impeding any visual or physical access to the ocean. There are scenic overlooks mapped on La Canada that brush by the edge of the subject parcel but the proposed residence would not hamper the scenic overlook identified as it is sufficiently set back from the street and side yards.

Staff has determined that the proposed structure does not project into this area. The development must maintain public visual corridors within both side yards extending the full depth of the premises through a deed restriction.

Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa.

The site is surrounded by existing single-family development and bounded on the south by the Pacific Ocean. The property contains environmentally sensitive lands in the form of a coastal bluff located within the southern portion of the site adjacent to the Pacific Ocean. The site does not contain any other sensitive resources, nor is it mapped as being located within the Multiple Habitat Planning Area.

The Sensitive Coastal Bluff regulations (San Diego Municipal Code Section 143.0143), contain various requirements. These regulations include but are not limited to bluff setbacks from proposed development, restoration of previously disturbed areas, requirements for specific landscape materials, restrictions on site drainage, and allowable improvements within the sensitive coastal bluff. The project would remove

landscaped areas inconsistent with these regulations and replace them with native or naturalized materials in order to minimize the need for irrigation beyond initial plant establishment. Grass swales and desilt planters are proposed to direct drainage to a device identified as a Sump Pump Cleanout which would pump drainage up to Camino De La Costa away from the coastal bluff.

The proposed development will maintain a 40-foot coastal bluff setback as required by the code, with the exception of a small corner of a proposed pool, and will maintain the required five-foot setback from the top of the bluff. The remainder of the lot seaward of the coastal bluff five-foot setback would be conserved in perpetuity through a conservation easement.

The environmentally sensitive lands regulations for coastal bluff properties require a 40-foot setback from a coastal bluff edge. Structures may be located between 25 and 40 feet from the bluff edge where evidence contained in a geology report indicates that the site is stable enough to support the development at the proposed distance from the bluff edge. An updated Preliminary Geotechnical Investigation Report was prepared for the project dated February 9, 2011. This report indicates that the proposed development will not be impacted by coastal bluff instability or recession during the economic life of the development (75 years), provided that the development is sited as shown on the most recent set of plans (dated August 8, 2012) and that the recommendations in the report are followed. The recommendations contained within the updated Preliminary Geotechnical Investigation Report will be implemented pursuant to conditions of Coastal Development Permit No. 833568 and Site Development Permit No. 872200 through the submission of a new report or update letter during ministerial plan check phase of the project. Further it was noted that a shoreline protection device will not be necessary to protect the proposed development during the reasonable economic life of the development, provided that the development is sited as shown on Exhibit "A" and the recommendations in the report are adhered to.

Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa.

The project is located in an area identified as Low Density Residential (5-9 du/acre), Community Plan. The proposed project is consistent with this designation. The construction of the new two-story residence over basement with attached garages is in conformity with the certified Local Coastal Program Land Use Plan and all of the regulations of the certified Implementation Program. A significant goal and policy of the Local Coastal Program is that public views to the ocean from the first public roadway adjacent to the ocean shall be preserved and enhanced, including visual access across private coastal properties at yards and setbacks. The Local Coastal Program Land Use Plan established eight subareas to address physical (vertical and lateral) and visual access. The property is not located on or adjacent to any existing physical access way that is legally used by the public or any proposed public accessway identified in the Local Coastal Program. The subject site is located within an identified Public Vantage Point identified as a Viewshed. The Community Plan states that public views from identified vantage points, to and from La Jolla's community landmarks and scenic vistas of the ocean, beach, and bluff areas, hillsides and canyons shall be retained and enhanced for public use.

Appendix G of the La Jolla Community Plan contains recommendations for visual and physical access to the ocean from the first street adjacent to the ocean. The subject parcel is not mapped as impeding any visual or physical access to the ocean. There are scenic overlooks mapped on La Canada that brush by the edge of the subject parcel but the proposed residence would not hamper the scenic overlook identified as it is sufficiently set back from the street and side yards. However, as required by San Diego Municipal Code, the development must maintain public view corridors along both side yards extending the full depth of the premises, through a deed restriction, to maintain functional views. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa. The site is within a fully developed single-family neighborhood adjacent to the Pacific Ocean. The development would be located entirely within private property and does not contain a public accessway or nor is it located adjacent to public open space areas. Therefore, the coastal development will not conflict with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Site Development Permit – Section 126.0504

- 1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes to demolish one single-family residence and accessory improvements for the construction of a new single-family residence located at 5970 Camino De La Costa. The site is within a fully developed area adjacent to the Pacific Ocean. The site is designated as Low Density Residential (5-9 du/acre) in the La Jolla Community Plan. The proposed residence is consistent with the land use. The proposed development conforms to all the requirements of the RS-1-5 zone and would adhere to community goals and policies in effect for the site.

The La Jolla Community Plan recommends that community character be maintained through several measures to reduce bulk and scale of proposed developments and by requiring public physical and visual access measures. The plan also recommends that single-family neighborhoods be preserved and coastal resources protected. The proposed residence is consistent with other developments in the area which include use of materials such as stucco siding, earth tone colors and varied building off sets. The Urban Design guidelines of the plan recommend that public view corridors be maintained utilizing side-yard setbacks. The proposed development incorporates a deed restriction to protect functional side yard view corridors. The Natural Resource and Open Space Element of the Community Plan contains policies which state that accessory structures located within the bluff edge setback should be removed or relocated if determined that they pose a threat to bluff stability and that accessory structures should be brought into conformance with current standards and regulation. Additionally, encroachments into sensitive resources areas should be limited pursuant to the environmentally sensitive lands regulations. The project was reviewed for conformance with all applicable Sensitive Coastal Bluff regulations which include requirements for bluff setbacks from proposed development, restoration of previously disturbed areas, requirements for specific landscape materials, restrictions on site drainage, and allowable

improvements within the sensitive coastal bluff. The project would remove landscaped areas inconsistent with these regulations and replace them with native or naturalized materials, in order to minimize the need for irrigation beyond initial plant establishment. Grass swales and desilt planters are proposed to direct drainage to a sump which would pump drainage up to Camino De La Costa away from the coastal bluff. Therefore, the development will not adversely affect the community plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa. The site is within a fully developed area adjacent to the Pacific Ocean.

The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project is adding catch basins and BMP filters to collect run-off and avoid potential drainage on to the public areas from private improvements. Project implementation requires that potential view corridors be maintained through a deed restriction, and that the rear portion of the site be preserved in a conservation easement limiting further encroachment into the sensitive coastal bluff. Therefore, the proposed project conforms to the development regulations for storm water quality standards and will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa. The project complies with all of the development regulations of the RS-1-5 zone and the environmentally sensitive lands regulations for coastal bluff areas. The proposed development will comply with the applicable regulations of the Land Development Code.

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa. The site is within a fully developed area adjacent to the Pacific Ocean.

The project site contains environmentally sensitive lands in the form of Coastal Beaches. The project site is not located within or adjacent to the City of San Diego's Multi-Habitat Planning Area. However, the site does contain environmentally sensitive lands, specifically coastal bluffs. The proposed residence would be set back 40 feet from the top of the coastal bluff edge with the exception of a minor encroachment of a pool, and a five-foot setback is required from the top of the bluff. A Covenant of Easement would be executed in favor of the City to preserve the coastal bluff face as required by the

coastal bluff regulations. The easement would preclude any form of development, including grading and on-grade improvements, five feet from the coastal bluff edge setback. All proposed development would occur within the previously developed portions of the site and there would be no direct impact to the coastal bluff. The project includes the removal of accessory improvements located within the coastal bluff area. This disturbed area is required to be restored with drought-tolerant, non-native landscape materials consistent with the coastal bluff regulations. An updated Geotechnical Report was prepared for the project dated February 9, 2011 which concluded that lawn areas would be placed in the rear yard as close as five feet from the edge of the coastal bluff. In order to minimize adverse effects on slope stability, no significant amount of water would be allowed to infiltrate the ground adjacent to the coastal bluff. Proposed drainage systems will adequately collect any excess irrigation water and that a drainage swale will be installed near the edge of the bluff to help prevent water from flowing over the edge of the bluff.

The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project is adding catch basins and BMP filters to collect all run-off and avoid any potential drainage to the public areas from private improvements. The project required the preparation of an updated geotechnical report to ensure that the site conditions were suitable for the proposed development.

Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa. The site is within a fully developed area adjacent to the Pacific Ocean. The proposed development would maintain the required 40-foot setback from the coastal bluff and a five-foot setback from the coastal bluff edge.

The project required the preparation of an updated Geotechnical Report dated February 9, 2011 and a Water Quality Technical Report dated January 24, 2011. These documents concluded that there are no geologic hazards of sufficient magnitude to preclude redevelopment of the site that are known to exist and that all site drainage would be directed to a desilting basin/sump pump station and pumped through a pressure main where it would be discharged to Camino de la Costa via a curb outlet. This report concluded that the project adequately addresses site drainage and water quality through implementation of the Water Quality Technical Report and project features consistent with the Land Development Code. Risk from fire hazards will be reduced since the property is adjacent to the Pacific Ocean. The site is not mapped as within the City's Fire Hazard Severity Zone, nor does the development require a brush management plan. The development must comply with all uniform building code and fire code requirements.

Therefore, the development as proposed would minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa. The site is not located within or adjacent to the Multiple Species Conservation Program (MSCP), Multiple Habitat Planning Area, nor any other environmentally sensitive lands however, the site does contain coastal bluff areas. The proposed development would be set back 40 feet from the coastal bluff edge (with the exception of a minor encroachment of a pool) as required by the environmentally sensitive lands regulations, to minimize potential impacts to the bluff and adjacent off-site southerly slopes. All proposed development would occur within the previously developed portions of the site and there would be no direct impact to the coastal bluff. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5950 Camino De La Costa. The site is not within or adjacent to the Multiple Species Conservation Program's Multiple Habitat Planning Area and thus there is no inconsistency with the Multiple Species Conservation Program Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa. The proposed development takes place entirely within private property and within the existing approximate footprint. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity.

A Geotechnical Report, prepared by a licensed engineering geologist, concluded that there are no significant hazards known to exist on the site. All site drainage would be directed to a desilting basin/sump pump station and pumped through a pressure main where it would be discharged to Camino de la Costa via a curb outlet. The project would be required to incorporate construction Best Management Practices (BMPs) and post-construction BMPs consistent with the approved Water Quality Technical Report. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project proposes to demolish one single-family residence for the construction of a new single-family residence and accessory improvements located at 5970 Camino De La Costa. The proposed

ATTACHMENT 5

activity was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures). Therefore, no mitigation measures are required for project implementation.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 833568 and Site Development Permit No. 872200 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 662248 and 662250, a copy of which is attached hereto and made a part hereof.

Sandra Teasley
Development Project Manager
Development Services

Adopted on: November 21, 2012

Job Order No. 24001566

PROJECT DATA SHEET

PROJECT NAME:	Benson Residence 5970	PTS#232790
PROJECT DESCRIPTION:	Demolish existing single-family residence and construct a 7,950 square foot two story residence with an attached 4 car garage located at 5970 Camino De La Costa.	
COMMUNITY PLAN AREA:	La Jolla Community Plan and Local Coastal Program	
DISCRETIONARY ACTIONS:	Site Development Permit and Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low density residential, 5-9 dwelling units per acre.	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-5 (Single Family Zone) HEIGHT LIMIT: 30-Foot max. height limit LOT SIZE: 8,000 square-foot minimum lot size. FLOOR AREA RATIO: .45 maximum FRONT SETBACK: 20- feet SIDE SETBACK: .08% of the lot width (7'-7" West/6'3 1/2" East provided) STREETSIDE SETBACK: N/A REAR SETBACK: 20-feet PARKING:		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Single Family Residential; RS-1-7	Single Family
SOUTH:	Beach - Passive	Beach - Passive
EAST:	Single Family Residential; RS-1-5	Single Family
WEST:	Single Family Residential; RS-1-5	Single Family
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	Approved 11/1/12	



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

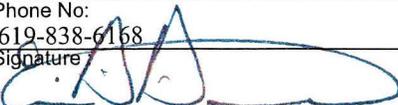
Project Title _____ **Project No. For City Use Only** _____
 Benson 5970 Residence

Project Address:
 5970 Camino de la Costa, La Jolla, CA

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Eric B. Benson Trust UTD 8/20/96
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 5960 Camino de la Costa
 City/State/Zip:
 La Jolla, CA 92037
 Phone No: 619-838-6168 Fax No: 858-737-7750
 Signature:  Date: 2-8-2011

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

LA JOLLA DEVELOPMENT PERMIT REVIEW COMMITTEE
LA JOLLA COMMUNITY PLANNING ASSOCIATION

COMMITTEE REPORT
FOR
October 2012

October 9 Present: Benton (Chair), Collins, Costello, Liera, Merten, Welsh

October 16 Present: Benton (Chair), Collins, Costello, Grunow, Kane, Liera, Welsh

1. NON-AGENDA PUBLIC COMMENT BY THE COMMITTEE 10/09/12

Costello Announced that there will be an Independent La Jolla Form at the Riford Library Oct 17, 2012 at 5:30 PM. Casey Tanaka, the Mayor of Coronado, and Michael Ott, the Director of LAFCO, will speak.

2. FINAL REVIEW 10/09/12 (PREVIOUSLY REVIEWED 9/18/12)

Project Name: **HERITAGE ON IVANHOE MW**

7716 Ivanhoe Ave (multiple addresses)	Permits:	CDP
Project #: PO# 289238	DPM:	Jeff Peterson 619-446-5237 japeterson@sandiego.gov
Zone: RM-3-7	Applicant:	Robert Bateman 858-565-8362

Scope of Work:

(Process 3) Map Waiver and Amendment to CDP #793182 to create 14 residential condominium units (under construction) on a 0.72 acre site at 7716 Ivanhoe Avenue (multiple addresses) in the RM-3-7 Zone within the La Jolla Community Plan, Coastal Overlay (non-appealable), Coastal Height Limit, Residential Tandem Parking, and Transit Area.

Presenters: Robert Bateman
Sasha Varone

APPLICANT PRESENTATION:

The Applicant would like to sell the 14 residential units as independent condo units. Initially there were three lots that were consolidated for the Heritage on Ivanhoe Project. A map waiver will allow them to be sold as 14 individual units.

Provided for FINAL REVIEW: *Applicant response in Italics*

1. Please provide the previously drawn Landscaping plan. *Provided landscaping plan, will keep the big Brazilian Pepper Tree, additional 24" box trees will be planted.*
2. Indicate the location of the historic Tudor style house. *House is located at the North East corner, will be for sale.*
3. Define the common areas and public areas in the Project. *Outlined private areas for each individual unit. Common areas such as the driveways, central courtyard with mailboxes and parkway on Ivanhoe were outlined.*

SUBCOMMITTEE MOTION:

(Collins/Costello 5-0-1) The findings can be made for a Map Waiver and Amendment to CDP #793182 to create 14 residential condominium units at 7716 Ivanhoe Avenue.

In Favor: Benton, Collins, Costello, Liera, Welsh

Oppose: 0

Abstain: Merten

MOTION PASSES

→ **3. FINAL REVIEW 10/09/12 (PREVIOUSLY REVIEWED 4/17/12)**

Project Name:	BENSON RESIDENCE	Permits:	CDP + SDP
	5970 Camino De La Costa		
Project #:	PO# 232790	DPM:	Sandra Teasley 619-446-5271 steasley@sandiego.gov
Zone:	RS-1-5	Applicant:	Mark T. House 619-557-0575 Scott Huntsman

Scope of Work:

(Process 3) Coastal Development Permit and Site Development Permit to demolish an existing two level 7,554 sq ft single family residence, and construct a two level 9,995 sq ft single family residence located at 5970 Camino De La Costa in the RS-1-5 Zone within the La Jolla Community Plan, Coastal Overlay (appealable), Coastal Height Limit, First Public Roadway, Parking Impact, Residential Tandem Parking, and Transit Area.

Presenters: Mark House
Scott Huntsman
Myles Cooper C.E.
Trace Wilson

APPLICANT PRESENTATION:

The Applicant is no longer planning additions to the existing house, instead there will be a completely new house. They are complying with all new setbacks, and other requirements. Applicant is not relying on existing conditions.

Sideyard setbacks, both sides, 7 ft 7 in. Sideyards are open, can see ocean. Utilities will be underground, poles removed. Gates are 75% open. FAR, allowed = .45, proposed = .352. Lot coverage 21.3%. 3 bedrooms plus office, 4 car garage plus motor court. Front yard setback = 20 ft. Rear yard over 100 ft (so, 40 ft bluff edge OK). One corner of the long axis of the swimming pool is in 40 ft bluff edge setback. The pool corner problem was solved by rotating the long axis of the pool 90 degrees on the plans, the design change was signed by Mark House and dated.

Roof plan, flat roof with low parapet walls, ¼ in/ft for drainage. Usually the inside of the parapet walls has flashing and black membrane and looks unfortunate, can you help that? **Yes, we will work with the contractor also keep them low, 4 – 8 inches. Not much should be visible from the street.**

What documentation is there to codify the VC and its maintenance? **There will be a VC easement document recorded, as well as a covenant of easement for the bluff. As well the side yard views. These are recorded against the land.**

Can you open up the bushes along the side yard setback in front, to make a wider VC? **We want to keep the bushes to screen the neighbor's retaining wall.**

SUBCOMMITTEE MOTION:

(Merten/Liera 5-0-1) Findings can be made for a Coastal Development Permit and Site Development Permit to demolish an existing two level 7,554 sq ft single family residence, and construct a two level 9,995 sq ft single family residence located at 5970 Camino De La Costa. The Motion is based on the revised drawings dated 9 Oct. 2012, signed by the applicant, Sheet A1.1.

In Favor: Collins, Costello, Liera, Merten, Welsh

Oppose: 0

Abstain: Benton

MOTION PASSES

5. PRELIMINARY REVIEW 10/09/12 + FINAL REVIEW 10/16/12

Project Name: **BUTTERFIELD RESIDENCE**

Project #:	5328 & 5334 Calumet Avenue	Permits:	CDP & SDP
	PO# 243464	DPM:	John Fisher 619-446-5231
			jsficher@sandiego.gov
Zone:	RS-1-7	Applicant:	Dave Longmore 858-603-9478
			619-234-0361

Scope of Work:

(Process 3) Coastal Development Permit and Site Development Permit to Demolish 2 existing structures totaling 8,042 SF at 5328 Calumet Avenue and 5334 Calumet Avenue, execute a lot tie agreement, and construct a new 7,308 SF single story home (5,332 SF living area + 703 SF attached garage + 1,273 SF “phantom floor”) for a total FAR of .48, a spa, and a 2820 SF basement on a 15,201 SF site (Lot 15 is 7,272 SF and Lot 16 is 7,929 SF) The project is located in the RS-1-7 Zone within the La Jolla Community Plan, Coastal Overlay (appealable), Coastal Height Limit, First Public Roadway, Parking Impact, Residential Tandem Parking, and Transit overlay zones.

Presenters: Matt Peterson
Kristi Hanson
Ingrid Espe

APPLICANT PRESENTATION 10/09/12:

Statistics sheet provided with 4 pages of drawings. Two lots are merged, and both houses will be removed (total = 8,042 sq ft), a one story single family home (7,308 sq ft) will be constructed. The FAR allowed = .49, proposed = .48. There is an 11 ft setback on one side, 12 ft the other. On S-W side there will be a big view corridor when combined with Bandera paper alley. The project includes three bedrooms and a full basement. There will be a safety rail partitioning the private property from the bluff edge and a 5 ft set back. They will provide a new fence at the Bandera paper alley. Project includes 4 parking spaces. The house will be 25 ft from bluff edge. The Coastal bluff is in City property.

Costello: asked Applicant to re-post notices on green paper in obvious locations, **answered “no”**.

Benton: Let’s review the rear yard setback issue. ***Muni Code requires 15 ft (observing 22 ft), bluff edge setback is 25 ft.***

PUBLIC COMMENT 10/09/12: *Applicant response in Italics*

Rita: will there be a basement? ***Yes, a full basement***

Howard Reedy: what is the fate of the basement excavate? ***It is trucked off site for licensed disposal.***

Collins: What is the paper alley width? ***I believe it is 20 ft***

Jackie Lustiak: how many feet are you providing for a VC? ***12 ft plus the Bandera VC, a total of 32 ft.***

Peter Wintje: How much VC is there now between each of the houses and how much will there be with just one house? ***Maybe 4 ft each, but none in between the two houses. The only way to get more is with a new Coastal Permit.***

NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT TITLE/ NO.: **BENSON RESIDENCE / 232790**

PROJECT LOCATION-SPECIFIC: 5970 Camino de la Costa, San Diego, CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Applicant is requesting a Coastal Development Permit and a Site Development Permit for the demolition of an existing single-swelling unit and subsequent construction of a 9,995-square-foot single family residence. The 0.65-acre project site is located at 5970 Camino de la Costa, designated Low Density Residential (5 - 9 dwelling unit per acre), the RS-1-5 Zone, the Coastal Overlay Zone, the Coastal Height Limitation Overlay Zone, the Sensitive Coastal Resource Overlay Zone, the First Public Right-of-Way Overlay, the Beach Parking Impact Overlay Zone, the Coastal Parking Impact Overlay Zone, the Transit Area Overlay Zone, the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone within the La Jolla Community Plan and Local Coastal Program Land Use Plan. (LEGAL DESCRIPTION: Lot 2 in Block 2 of La Jolla Hermosa, Map No. 1810).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Eric B. Benson, 5960 Camino de la Costa, San Diego, CA 92037, (858) 737-7601.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: 15303 (New Construction or Conversion of Small Structures)
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an Initial Study that determined that the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the density as determined by the community plan and implemented by the applicable zone. The City of San Diego conducted an Initial Study that determined that the project would not have the potential for causing a significant effect on the environment in that the project would involve negligible expansion of the current use. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15301 which allows for the operation, repair, maintenance, permitting, licensing, or minor alteration of existing facilities (public or private) involving negligible or no expansion of use beyond that existing at the time determination.

In addition, the project meets the criteria set forth in CEQA Section 15302 which allows for the replacement or reconstruction of existing structures where the new structure will be located on the same site. The project will have substantially the same purpose and capacity as the existing. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply.

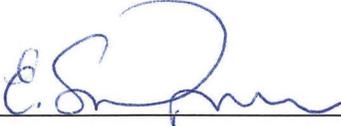
LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.


 Sr. Planner

 SIGNATURE/TITLE

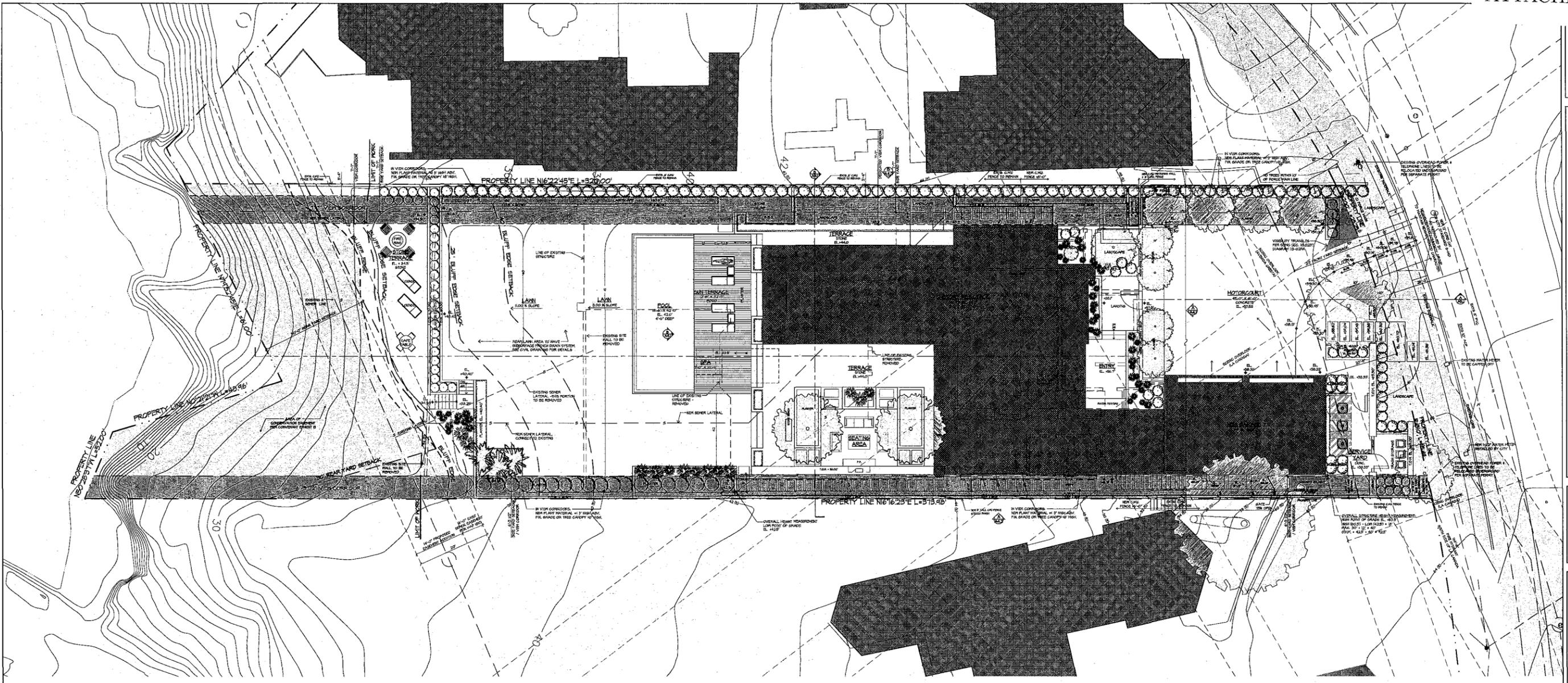
October 24,, 2012

 DATE OF PROJECT APPROVAL

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



HOUSE & DODGE
 Mark T. House
 John Dodge
 1828 Hancock St.
 San Diego, CA 92110
 619.567.0676

10/15/10
 House & Dodge Design, Inc.



RENSON RESIDENCE
 5970 CAMINO DE LA COSTA
 LA JOLLA, CALIFORNIA 92037

SITE PLAN
 SCALE: 1" = 10'-0"

STORM WATER QUALITY NOTES AND CONSTRUCTION BMPs	GRADING DATA	SITE NOTES	CONSERVATION NOTES
<p>THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001/01 (FWS NO. 04502075)</p> <p>NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs</p> <p>1. SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT (STREET) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.</p> <p>2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS, SUCH AS SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.</p> <p>3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE PLACED IN PLACE ON THE SITE.</p> <p>4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.</p> <p>5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.</p> <p>THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.</p> <p>SEE SHEET C-4 FOR WATER POLLUTION CONTROL PLAN</p>	<p>GRADING DATA CONTAINED HEREIN COMPILED FROM GRADING PLAN SHEETS C-1 TO C-2. FOR ADDITIONAL INFORMATION, REFER TO GRADING PLAN SHEET C-1. FOR ADDITION NOTES AN INFORMATION, REFER TO GRADING PLAN SHEET C-1. ANY DISCREPANCY BETWEEN DATA CONTAINED HEREIN AND GRADING PLAN BECOME APPARENT.</p> <p>1. AMOUNT OF CUT: 280 CUBIC YARDS 2. MAXIMUM DEPTH OF CUT: 1 FEET 3. AMOUNT OF EXPORT: 20 CUBIC YARDS 4. AMOUNT OF FILL: 800 CUBIC YARDS 5. MAXIMUM HEIGHT OF FILL: 2 FEET</p> <p>SIDE YARD SETBACK DETERMINATION</p> <p>LOT WIDTH = 86'-4" (1) PER SDMG 13.0249 TOTAL SETBACK REQ. = 13'-10" (1/2) PER SDMG TABLE 131-04D</p> <p>WEST SIDE = 1'-1" EAST SIDE = 6'-3" (1/2) TOTAL SETBACK PROVIDED = 13'-10" (1/2)</p> <p>PROJECT INFORMATION</p> <p>APN: 351-220-02-00 PROJECT ADDRESS: 5970 CAMINO DE LA COSTA, LA JOLLA, CA 92037 OWNER: ERIC B. RENSON TRUST LTD.</p> <p>LEGAL DESCRIPTION</p> <p>LOT 2 IN BLOCK 2 OF LA JOLLA HERMOSEA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 31, 1924.</p>	<p>1) SEE GRADING PLAN SHEETS C-1 TO C-2 FOR GRADING INFO</p> <p>2) DOTTED LINE INDICATES DRAINAGE PATTERN</p> <p>3) ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM ANY COASTAL BLUFF AND EITHER INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF. ALL DRAINAGE FROM ANY UNIMPROVED AREAS SHALL BE APPROPRIATELY COLLECTED AND DISCHARGED IN ORDER TO REDUCE, CONTROL, OR MITIGATE EROSION OF THE COASTAL BLUFF.</p> <p>4) NO EXISTING OR PROPOSED BUS STOPS LOCATED ON PROPERTY.</p> <p>5) FIELD VERIFY ALL UTILITIES PRIOR TO WORK/SIDS.</p> <p>6) NO PROPOSED DEVELOPMENT WITHIN 25' BLUFF EDGE PER GEOTECHNICAL REPORT.</p> <p>7) THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET ABOVE SECTIONS 1810444 AND 1810209. HIGHEST POINT ON ROOF EQUIPMENT, PIPE VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.</p> <p>8) BUILDING NUMBER TO BE VISIBLE AND LEGIBLE FROM STREET PER PDPS POLICY P-00-6.</p> <p>9) AN APPROVED VEHICLE STRIKE DETECTOR SYSTEM, WITH KNOX KEYPATCH OVERRIDE, SATISFACTORY TO THE FIRE MARSHAL, SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO THE PROJECT.</p> <p>10) IN LIEU OF PROVIDING FIRE DEPARTMENT ACCESS BOTH THE SINGLE FAMILY RESIDENCE AND GARAGE SHALL BE EQUIPPED WITH A RESIDENTIAL FIRE SPRINKLER SYSTEM SATISFACTORY TO THE FIRE MARSHAL.</p> <p>11) PROJECT SHALL IMPLEMENT PALEONTOLOGICAL IMPACT PER ENVIRONMENTAL REQUIREMENTS.</p>	<p>PROJECT TO UTILIZE THE FOLLOWING SUSTAINABLE, CLEAN AND GREEN BUILDING AND DEVELOPMENT TECHNIQUES:</p> <p>PROJECT TO UTILIZE STORM WATER/IRRIGATION RECYCLING FOR IRRIGATION AND OTHER NON-POTABLE USES.</p> <p>PROJECT TO ADDRESS CITY OF SAN DIEGO CONSERVATION ELEMENT AS SPECIFIED IN THE FOLLOWING POLICIES:</p> <p>CE-A-1. PROJECT WILL HELP TO REDUCE URBAN HEAT ISLAND EFFECT THROUGH SUSTAINABLE DESIGN AND BUILDING PRACTICES AS WELL AS PLANTING TREES.</p> <p>CE-A-2. PROJECT TO USE HIGH EFFICIENCY MECHANICAL AND ELECTRICAL SYSTEMS AND TO EMPLOY RENEWABLE ENERGY TECHNOLOGIES.</p> <p>CE-A-3. PROJECT TO REUSE BUILDING MATERIALS, MATERIALS FROM EXISTING HOUSE DEMO TO BE REUSED (HABITAT FOR HUMANITY).</p> <p>CE-A-4. PROJECT TO INCORPORATE MATURE TREES AND NATIVE VEGETATION AND TO IMPLEMENT WATER CONSERVATION MEASURES IN SITE DESIGN.</p> <p>CE-B-1. PROJECT TO LIMIT AND CONTROL RUNOFF AND EROSION BOTH DURING AND AFTER CONSTRUCTION ACTIVITY.</p> <p>CE-B-2. PROJECT TO MINIMIZE ALTERATIONS TO BLUFF AND LIMIT EROSION.</p> <p>CE-B-3. BLUFF, BEACH, AND SHORELINE USE LIMITED PER COASTAL AND COMMUNITY PLAN.</p> <p>CE-C-1. PROJECT TO IMPLEMENT WATER RECYCLING.</p> <p>CE-C-2. PROJECT TO PROTECT COASTAL VIEWS VIA VIEW CORRIDORS.</p> <p>CE-D-1. PROJECT TO IMPLEMENT RECYCLED WATER SYSTEM FOR NON-POTABLE IRRIGATION DEMANDS, RECYCLING FOR IRRIGATION AND OTHER NON-POTABLE USES.</p> <p>CE-D-2. PROJECT TO CONTROL WATER DISCHARGE SO AS TO PREVENT EROSION AND TO MAKE USE OF ORGANIC FILTRATION AND GRASS LINED DESILT PLANTER, ETC.</p> <p>CE-E-1. PROJECT TO APPLY WATER QUALITY PROTECTION MEASURES DURING AND AFTER CONSTRUCTION TO MINIMIZE OFF-SITE RUN-OFF. PROJECT TO UTILIZE ON-SITE WATER RECYCLING, DIRECT DRAINAGE AWAY FROM OPEN SPACE AREAS AND BLUFF USE VEGETATION IN DRAINAGE DESIGN (ORGANIC FILTRATION), AVOID DEVELOPMENT IN AREAS SENSITIVE TO EROSION (BLUFF), AND IMPLEMENT TEMPORARY AND PERMANENT BMPs.</p> <p>CE-E-2. PROJECT TO COMPLY WITH BMPs DURING CONSTRUCTION.</p> <p>CE-E-3. PROJECT TO FILTER (ORGANIC FILTRATION) STORMWATER AND IRRIGATION RUNOFF PRIOR TO BEING RELEASED INTO STORM WATER SYSTEM.</p> <p>CE-F-1. PROJECT TO PRESERVE AND PLANT VEGETATION CONSISTANT WITH HABITAT ON BLUFF.</p> <p>CE-F-2. PROJECT TO IMPLEMENT STORMWATER AND IRRIGATION RETAILING FOR IRRIGATION AND OTHER NON-POTABLE USES.</p> <p>CE-G-1. PROJECT TO PLANT STREET TREES PER THE COMMUNITY PLAN.</p> <p>CE-G-2. PROJECT TO RECYCLE MATERIALS FROM EXISTING DEMO HOUSE (HABITAT FOR HUMANITY).</p> <p>NOTE THAT ABOVE MEASURES REPRESENT CONSERVATION GOALS AND ARE NOT BINDING.</p>

CDP # 232790

PREPARED BY:	House & Dodge Design	Revision 14:	
Name:	Eric House and John Dodge	Revision 13:	
Address:	1423 Hancock St., Ste. 200	Revision 12:	
City:	San Diego, CA 92110	Revision 11:	
Phone:	(619) 581-0576	Revision 10:	
Project Address:	5970 Camino De La Costa	Revision 9:	
City:	La Jolla, CA 92037	Revision 8:	
Project Name:	RENSON RESIDENCE	Revision 7:	
Sheet Title:	SITE PLAN	Revision 6:	
Sheet:	11 of 11	Revision 5:	
DEPR:		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	

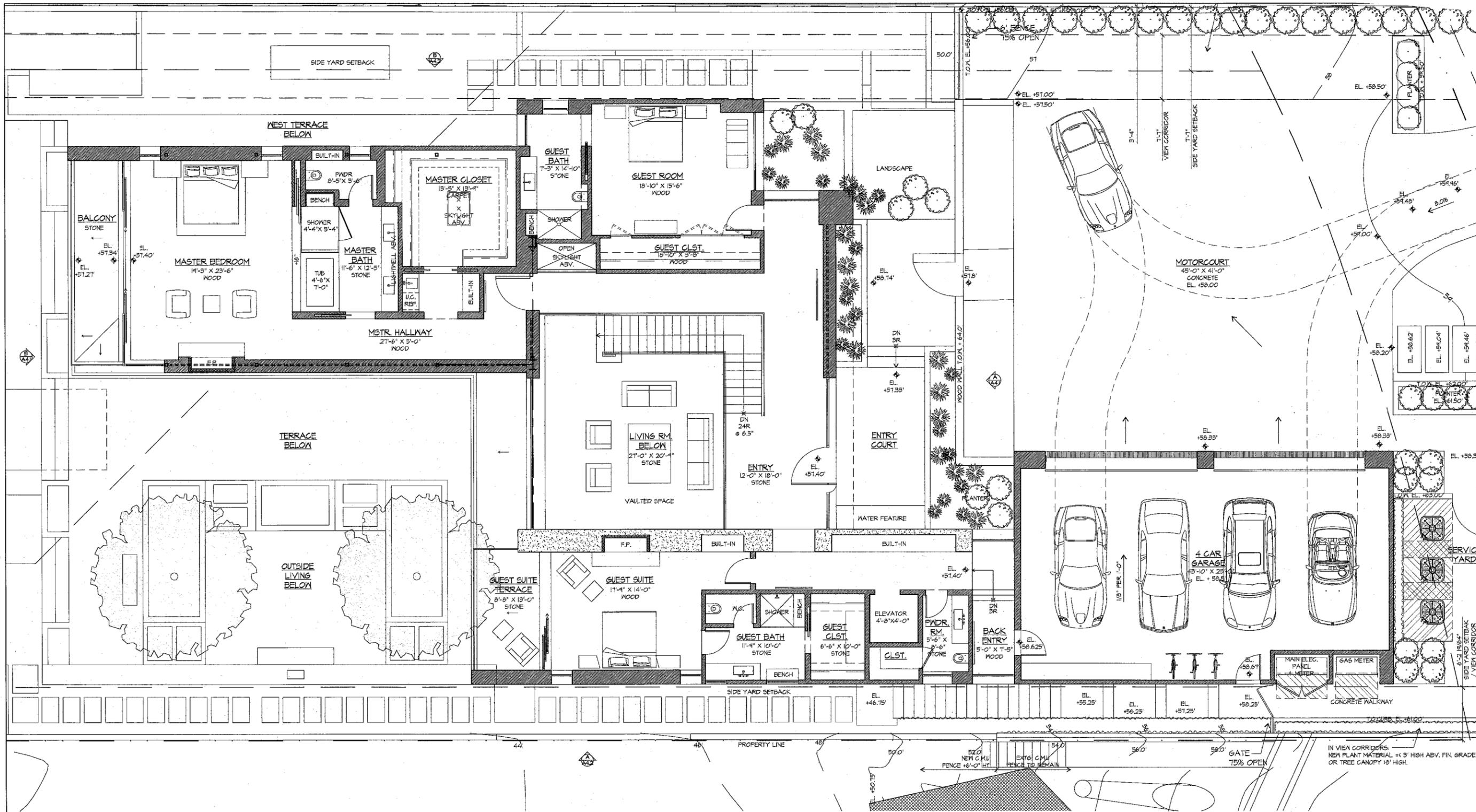
Original Date: 2-24-2011

SUBMITTAL SET
 NOT FOR
 CONSTRUCTION

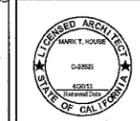
SCALE: 1"=10'-0"
 DATE: 10-28-2012

SITE PLAN

A1.1



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 John House
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 619-657-0675 ph



BENSON RESIDENCE
 5970 CAMINO DE LA COSTA
 LA JOLLA, CALIFORNIA 92037

UPPER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

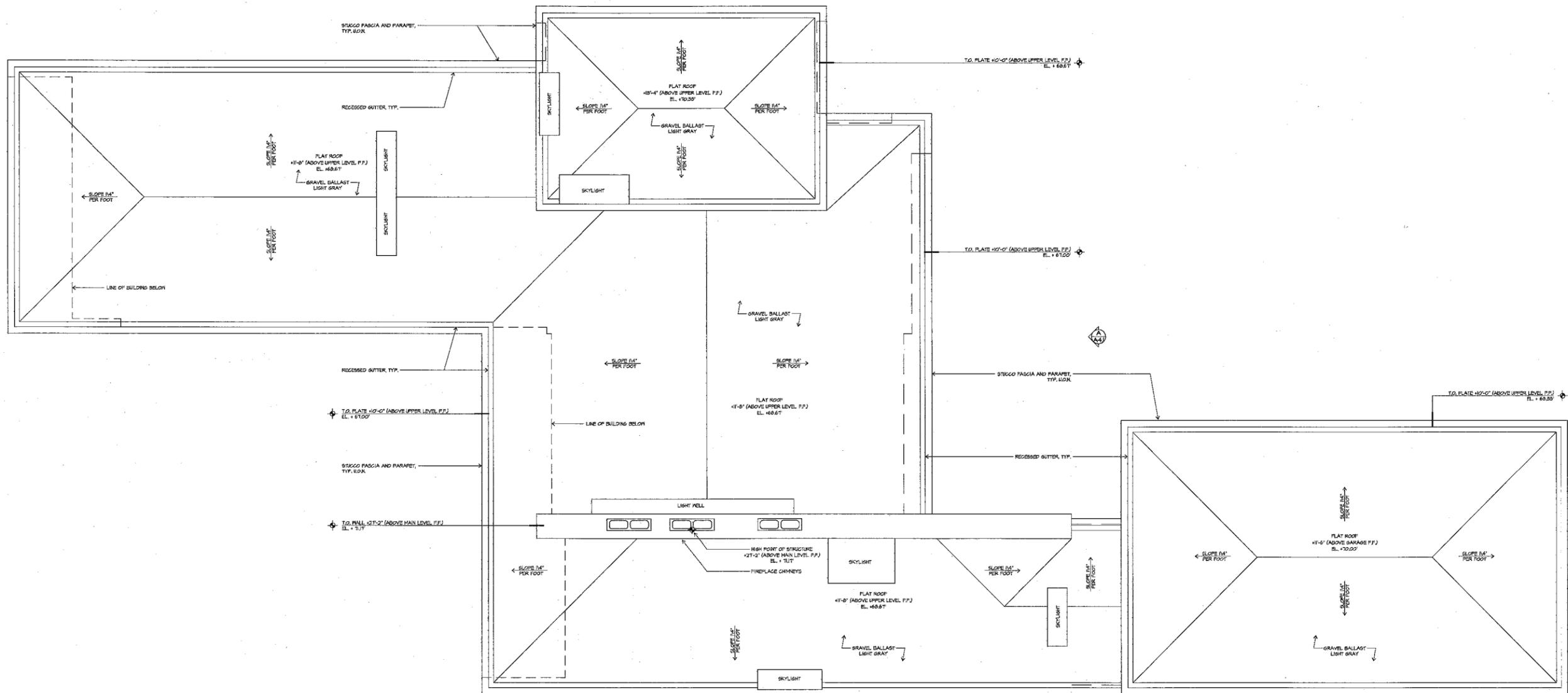
CDP # 232790

PREPARED BY: House & Dodge Design Mark House and John House 1829 Hancock St. Ste. 202 San Diego, CA 92110 Phone: (619) 657-0675	Project Address: 5970 Camino De La Costa La Jolla, CA 92037	Project Name: BENSON RESIDENCE	Sheet Title: UPPER LEVEL FLOOR PLAN
Revision 14: _____ Revision 13: _____ Revision 12: _____ Revision 11: _____ Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: 12-22-2012 Revision 5: 08-08-2012 Revision 4: 08-08-2012 Revision 3: 06-06-2012 Revision 2: 06-06-2012 Revision 1: 05-28-2011	Revision 14: _____ Revision 13: _____ Revision 12: _____ Revision 11: _____ Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: 12-22-2012 Revision 5: 08-08-2012 Revision 4: 08-08-2012 Revision 3: 06-06-2012 Revision 2: 06-06-2012 Revision 1: 05-28-2011	Original Date: 2-24-2011	Sheet: 10 of 17 DEPN: _____

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 CONSTRUCTION

SCALE: 1/4" = 1'-0"
 DATE: 10-23-2012

UPPER LEVEL
 FLOOR PLAN
A2.2



ROOF PLAN NOTES

ROOF SHALL BE BARNUM 30-MIL FELT-TRUCK FIELD SHEET OVER 3/4\"/>

ROOF ASSEMBLY SHALL BE GLASS 1/4\"/>

FLAT ROOF TO SLOPE 1/4\"/>

ROOF GUTTERS TO SLOPE 1/4\"/>

ROOF GUTTERS TO BE PVC GLAD METAL.

ROOF AND PARAPET COPINGS AND FLASHINGS TO BE _____

ROOF FASCIAS, WHERE OCCURRING, TO BE _____

ROOF DRAINS SHALL COMPLY WITH APPLICABLE PROVISIONS OF 2007 CALIFORNIA PLUMBING CODE.

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

⊕ - ROOF DRAIN
 ⊙ - DOWNPOUT - IN WALL



SCALE: 1/4" = 1'-0"

CDP # 232790

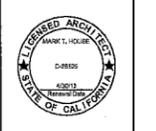
PREPARED BY: House & Dodge Design Mark House and John Dodge 1423 Hancock St., Ste. 200 San Diego, CA 92116 Phone: (619) 557-0515	Revision 10: Revision 11: Revision 12: Revision 13: Revision 14: Revision 15: Revision 16: Revision 17: Revision 18: Revision 19: Revision 20:
Project Address: 5970 Camino De La Costa La Jolla, CA 92037	Revision 1: Revision 2: Revision 3: Revision 4: Revision 5: Revision 6: Revision 7: Revision 8: Revision 9: Revision 10: Revision 11: Revision 12: Revision 13: Revision 14: Revision 15: Revision 16: Revision 17: Revision 18: Revision 19: Revision 20:
Project Name: BENSON RESIDENCE	Original Date: 2-24-2011
Sheet Title: ROOF PLAN	Sheet: 12 of 11 DEPN:

HOUSE & DODGE
 MARK T. HOUSE
 JOHN DODGE

1828 Hancock St.
 San Diego, CA 92110
 619 557-0515 ph

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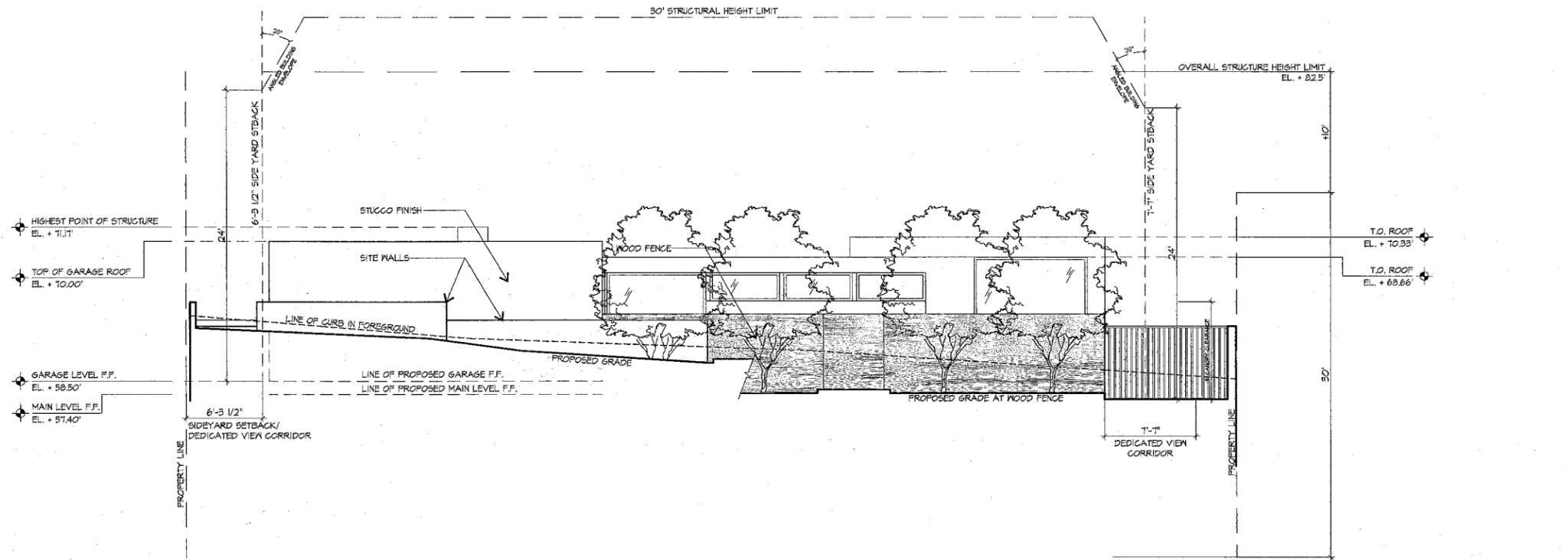


BENSON RESIDENCE
 5970 CAMINO DE LA COSTA
 LA JOLLA, CALIFORNIA 92037

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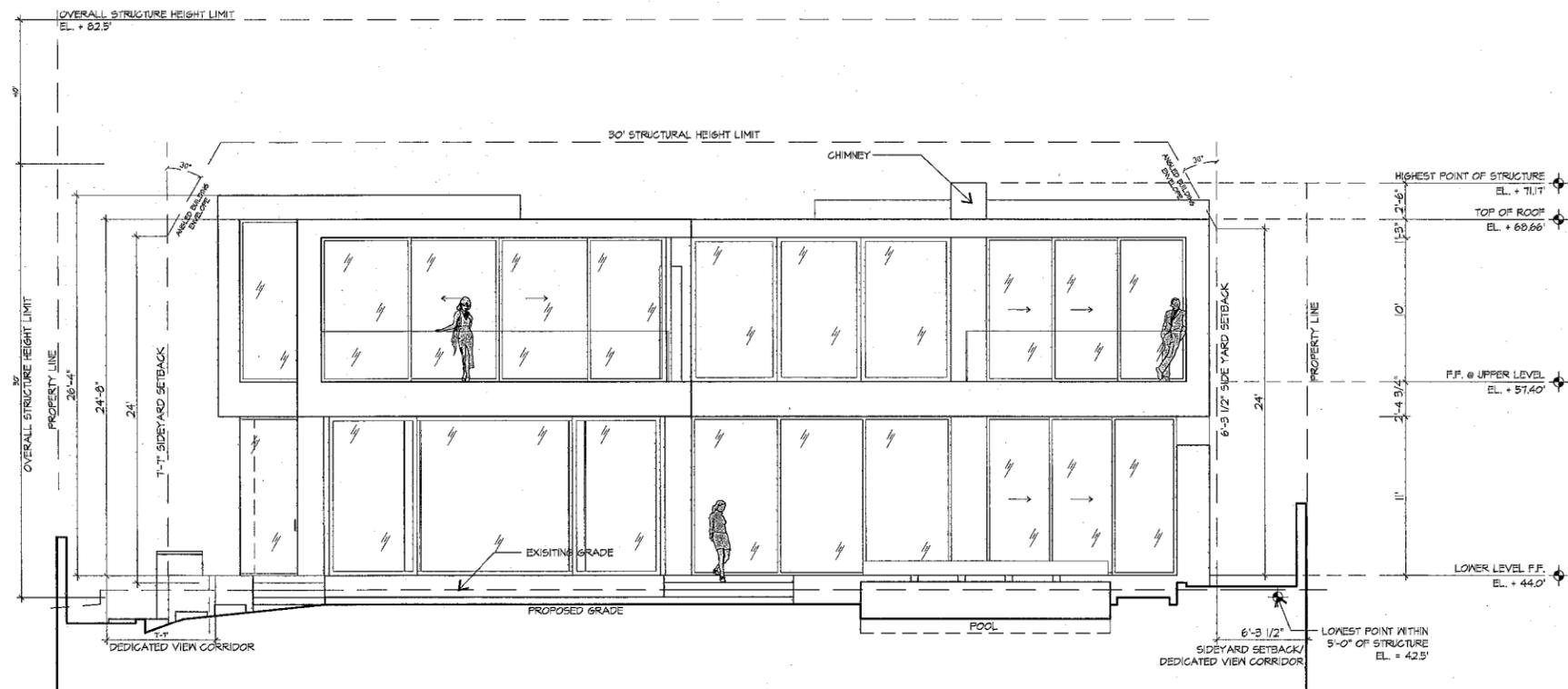
SCALE: 1/4"=1'-0"
 DATE: 10-23-2012

ROOF PLAN
A2.3



(A) FRONT (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



(B) REAR (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"

CDP # 232790

PREPARED BY:	House & Dodge Design	Revision 14:	
Name:	Mark House and John Dodge	Revision 13:	
Address:	1224 Hancock St. Ste. 200	Revision 12:	
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Project Address:	5910 Camino De La Costa	Revision 10:	
	La Jolla, CA 92037	Revision 9:	
Project Name:	BENSON 5910 RESIDENCE	Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
Sheet Title:	EXTERIOR ELEVATIONS	Original Date:	2-24-2011
		Sheet:	15 of 17
		DATE:	

REVISIONS

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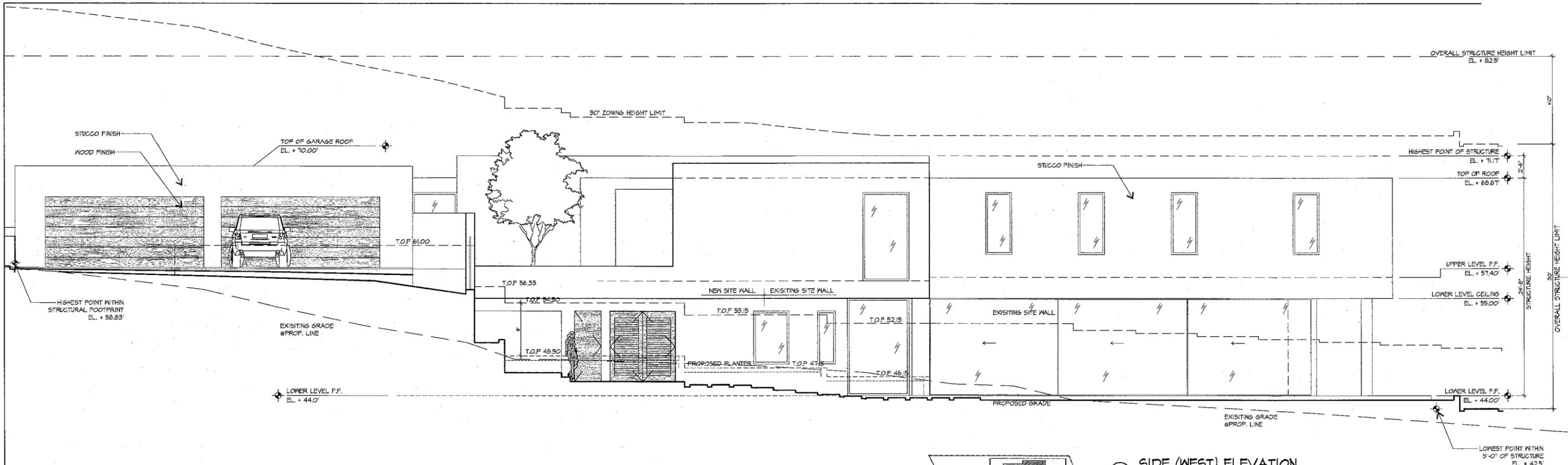
BENSON RESIDENCE
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 LA JOLLA, CALIFORNIA 92037

PRELIMINARY
 NOT FOR
 CONSTRUCTION

SCALE: 1/4" = 1'-0"
 DATE: 10-23-2012

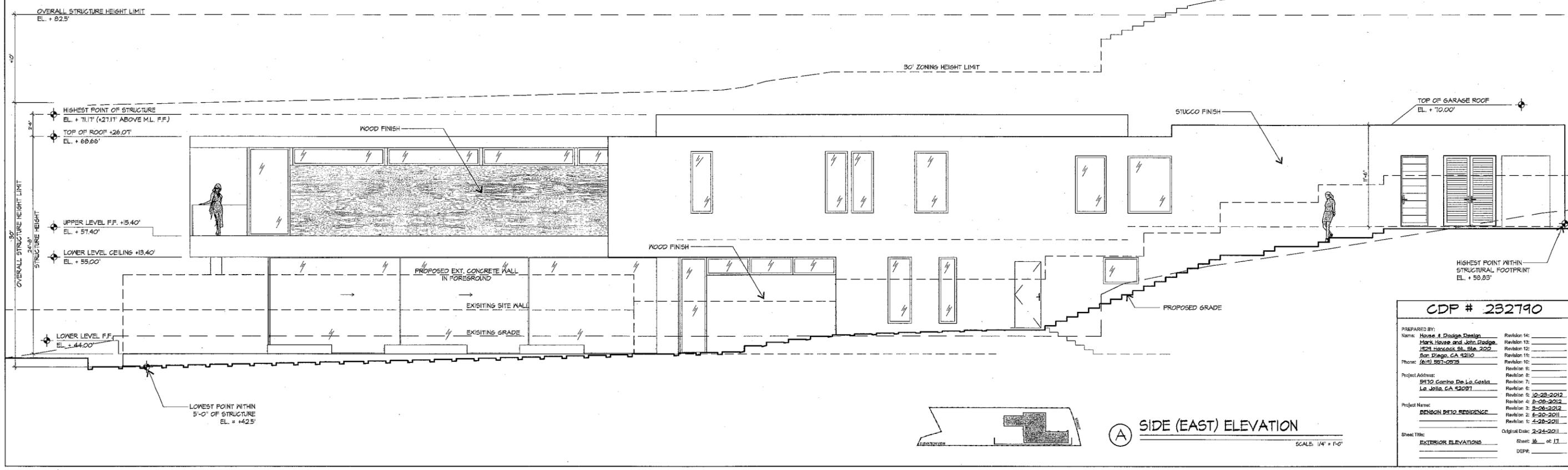
EXTERIOR ELEVATIONS

A4.1



(B) SIDE (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



(A) SIDE (EAST) ELEVATION

SCALE: 1/4" = 1'-0"

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BENSON RESIDENCE
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CDP # 232790

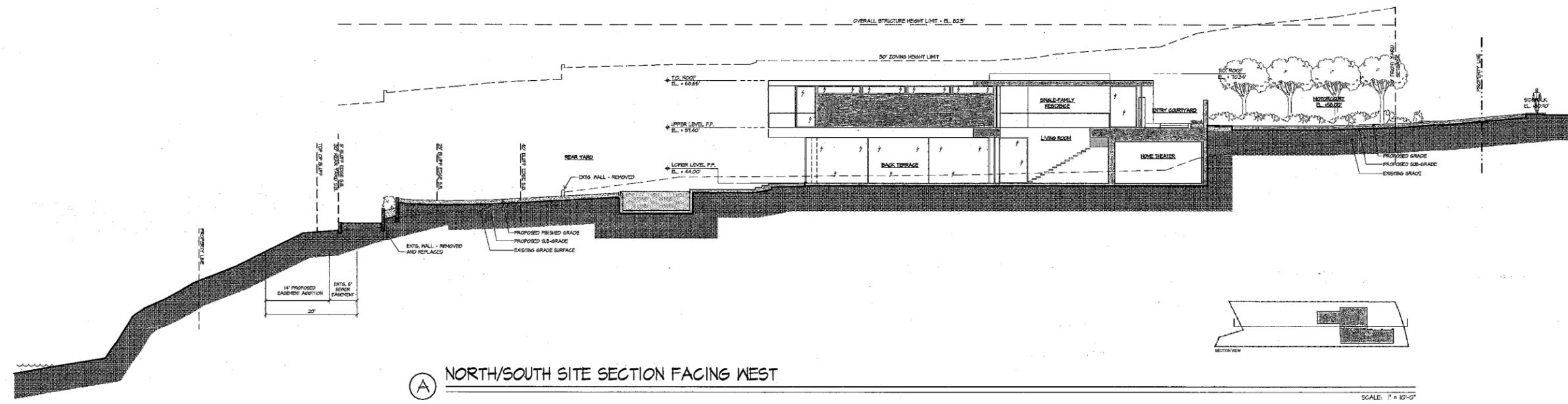
PREPARED BY:	House & Dodge Design	Revision 14:	
Name:	Mark House and John Dodge	Revision 13:	
Address:	1929 Hancock St. Ste. 200	Revision 12:	
City:	San Diego, CA 92110	Revision 11:	
Phone:	(619) 667-0575	Revision 10:	
Project Address:		Revision 9:	
Site:	5950 Camino De La Costa	Revision 8:	
City:	La Jolla, CA 92037	Revision 7:	
Project Name:	BENSON RESIDENCE	Revision 6:	
Revision 5:	10-25-2012	Revision 5:	
Revision 4:	8-08-2012	Revision 4:	
Revision 3:	8-06-2012	Revision 3:	
Revision 2:	6-20-2011	Revision 2:	
Revision 1:	4-28-2011	Revision 1:	
Original Date:	2-24-2011	Sheet:	16 of 17
Sheet Title:	EXTERIOR ELEVATIONS	DEPK:	

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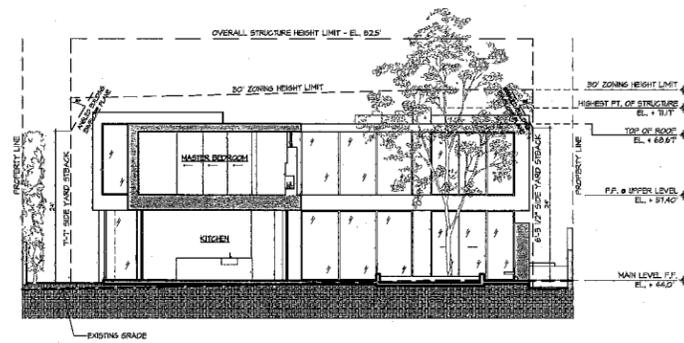
SCALE: 1/4" = 1'-0"
 DATE: 10-25-2012

EXTERIOR
 ELEVATIONS

A4.2



(A) NORTH/SOUTH SITE SECTION FACING WEST



(B) EAST/WEST SITE SECTION FACING NORTH

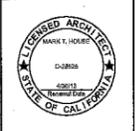
HOUSE & DODGE
ARCHITECTS

Mark T. House
John Dodge

1828 Hancock St.
San Diego, CA 92110
619.557.0675 ph

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201-003
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BENSON RESIDENCE
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LA JOLLA, CALIFORNIA 92037

SUBMITTAL SET
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CONSTRUCTION

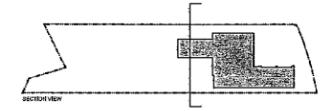
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DATE: 10-23-2012

SITE
SECTIONS

A5.1

CDP # 232790

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Project Address: 5970 Camino De La Costa La Jolla, CA 92037	Revision 2: _____ Revision 1: _____
Project Name: BENSON RESIDENCE	Original Date: 2-24-2011
Sheet Title: SITE SECTIONS	Sheet: 17 of 17 DEFP: _____



SCALE: 1" = 10'-0"

GRADING DATA

1. TOPOGRAPHY PREPARED BY CEA ON 09-01-04, DATUM IS M.S.L.
2. TOTAL AMOUNT OF SITE GRADED: SITE GRADED (ON-SITE): 0.56 AC. TOTAL AMOUNT OF SITE GRADING: 0.56 AC.
3. PERCENT OF SITE GRADED: 86.2%
4. EXISTING AMOUNT OF SITE GRADED: 0.56 ACRES
5. EXISTING PERCENT OF SITE GRADED: 86.2%
6. AMOUNT OF CUTS: 200 CUBIC YARDS AND MAXIMUM DEPTH OF CUT: 4 FEET. EXPORT: 280 CUBIC YARDS.
7. AMOUNT OF FILL: 510 CUBIC YARDS AND MAXIMUM DEPTH OF FILL: 4.8 FEET.
8. MAXIMUM HEIGHT OF FILL SLOPES: 2 FEET, 2:1 SLOPE RATIO.
9. MAXIMUM HEIGHT OF CUT SLOPES: 2 FEET, 2:1 SLOPE RATIO.
10. AMOUNT OF SITE WITH STEEP SLOPES: 2 AC.
11. PERCENT OF TOTAL SITE WITH STEEP SLOPES: 0%
12. AERIAL TOPOGRAPHY FLOW BY PHOTOCOPIES, APRIL 2006.
13. FINISH ELEVATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO CHANGE IN FINAL DESIGN. ALL DISTANCES ARE APPROXIMATE. ALL SLOPES ARE 2:1 UNLESS OTHERWISE INDICATED.
14. THE OVERHEAD ELECTRICAL POWER POLE LINE AND ANCHOR FOR POWER POLE WILL BE RELOCATED OR UNDERGROUND.
15. A NOTE WILL BE ON THE GRADING PLAN STATING THE SIDE YARD SETBACK, AND THE BLUFF WILL HAVE NO PROPOSED BUILDING STRUCTURES ABOVE GROUND.

LEGAL DESCRIPTION

LOT 2 IN BLOCK 2 OF LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 21, 1924.

BENCHMARK

SNMP AT THE INTERSECTION OF CAMINO DE LA COSTA AND LA JOLLA BLVD.

OWNER/APPLICANT

ERIC B. BENSON
5970 CAMINO DE LA COSTA
LA JOLLA, CA 92037

ADDRESS:

5970 CAMINO DE LA COSTA
LA JOLLA, CA 92037

APN
APN 357-220-02

ABBREVIATIONS

- TO — TOP OF GRATE
- FG — FINISH GRADE
- FF — FINISH FLOOR
- LP — LOW POINT
- HP — HIGH POINT
- SD — SUBDRAIN
- YD — YARD DRAIN
- FM — FORCE MAIN
- S — SEWER
- W — WATER

"THE BENSON 5970 RESIDENCE"

SITE DEVELOPMENT PERMIT,
COASTAL DEVELOPMENT PERMIT NO. 232790

PROJECT TEAM

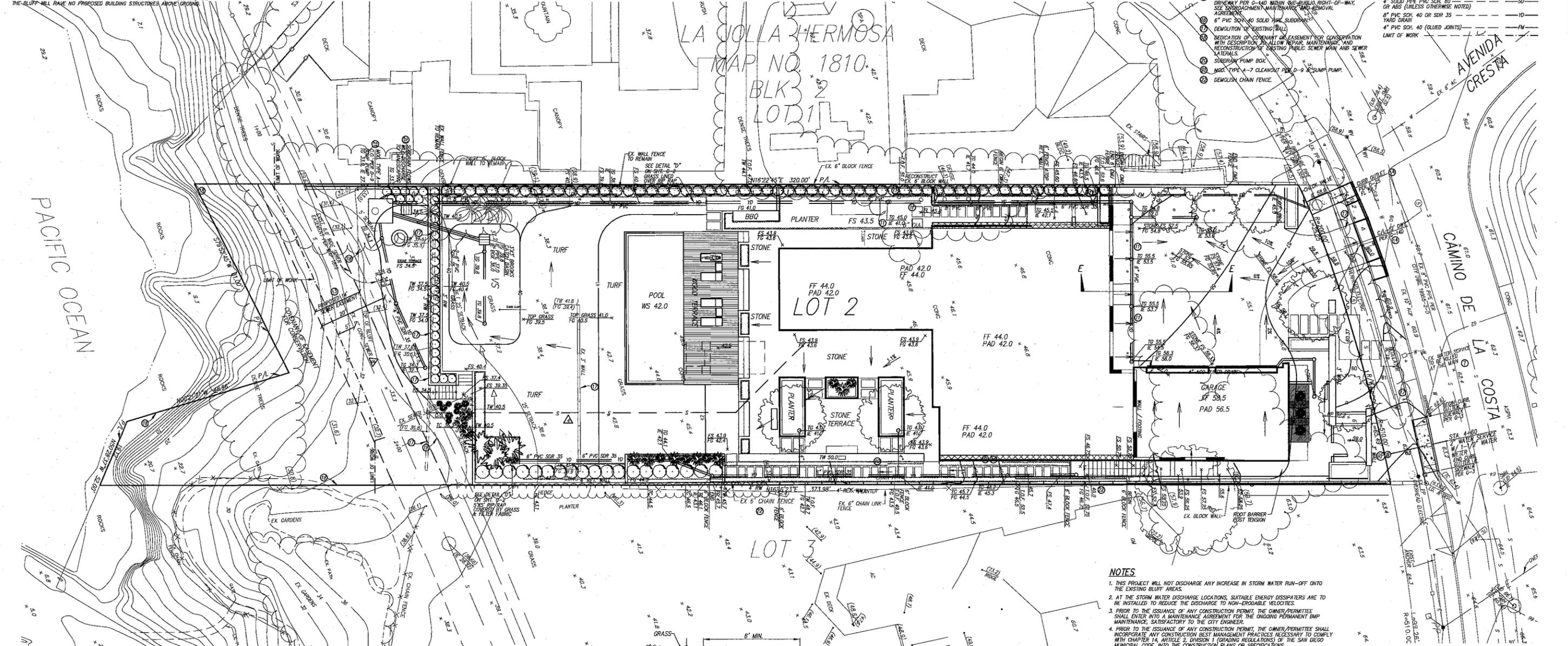
- ARCHITECT — HOUSE AND DODGE
1929 HANCOCK ST. STE. 200
SAN DIEGO, CA 92110
(619) 557-0575
- CIVIL ENGINEERS/SURVEYORS — CEA ENGINEERING
8369 WICKERS ST., STE. C
SAN DIEGO, CA 92111
(619) 277-0441
- CONTACT: ALLAN COOPER, R.C.E. 16685
CHRISTIAN WHEELER
4525 MERCURY ST.
SAN DIEGO, CA 92111
(858) 496-9760
- LANDSCAPING — ENVIRONS LANDSCAPE ARCHITECTURE
1829 STATE STREET
SAN DIEGO, CA 92101
(619) 232-7007
- WATERPROOFING CONSULTANT — SIMMONS GUMPERTZ & HEGER
THE LANDMARK @ ONE MARKET, STE. 600
SAN FRANCISCO, CA 94105
(415) 495-3700

NOTES

1. RECONSTRUCT 6" CURB, GUTTER AND SIDEWALK PER 6-2.
2. 36" DEPT BRICKS CATCH BASIN (PVT).
3. 18"x18" MDS CATCH BASIN (PVT).
4. RESTORATION OF BLUFF: SEE LANDSCAPE PLAN.
5. EX. WATER METER TO BE UPGRADED TO 1-1/2" METER WITH 2" COPPER SERVICE.
6. WATER SERVICE TO BE KILLED AT MAIN.
7. WALL SUBDRAIN OUTLETS ON 3' X 5' ROCK PAD.
8. REFER TO STRUCTURAL PLANS OR WATER PROOFING CONSULTANT FOR WATER PROOFING.
9. REFER TO STRUCTURAL & ARCHITECT'S PLANS FOR STEM WALL.
10. 6" PVC SOR 35.
11. PROPOSED 14" SEWER EASEMENT.
12. PRIVATE CURB OUTLET PER D-35 AND PRIVATE 12" WIDE DRIVEWAY PER C-40 WITHIN THE PUBLIC RIGHT-OF-WAY. SEE APPROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
13. 6" PVC SCH. 40 SOLID PIPE SUBDRAIN.
14. DEMOLITION OF EXISTING WALL.
15. REDICATION OF COVENANT OF EASEMENT FOR CONSERVATION WITH DESCRIPTION TO ALLOW REPAIR, MAINTENANCE, AND RECONSTRUCTION OF EXISTING PUBLIC SEWER MAIN AND SEWER LATERALS.
16. SUBDRAIN PUMP BOX.
17. MOD. TYPE A-7 CLEANOUT PER D-9 & SUMP PUMP.
18. DEMOLISH CHAIN FENCE.

LEGEND

- EXIST. RETAINING WALL
- EXIST. CONTOUR
- DIRECTION OF SLOPE
- COASTAL BLUFF
- EXIST. PCC DITCH
- RETAINING WALL-B 222
- STEM WALL
- ABANDON IN PLACE CONCRETE-SLURRY BACKFILL
- TRENCH DRAIN GRATE INLET (PVT)
- TRAFFIC LID (GALVANIZED)
- EXIST. FENCE
- VEGETATED SWALE - SEE DETAIL "A"
- GRASS SWALE
- CATCH BASIN (PVT)
- 4" SOLID PIPE PVC SCH. 40 OR ABS (UNLESS OTHERWISE NOTED)
- 6" PVC SCH. 40 OR SOR 35 YARD DRAIN
- 4" PVC SCH. 40 (GLUED JOINTS)
- LIMIT OF WORK

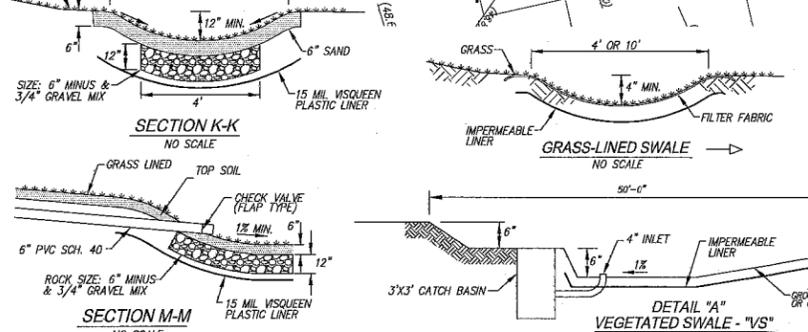
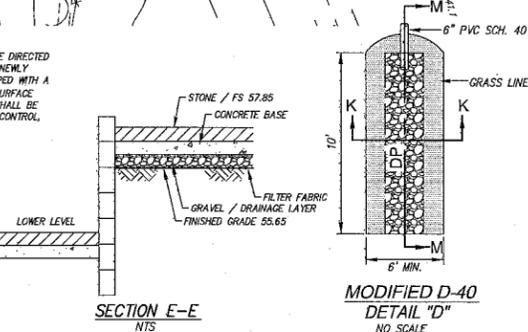


DRAINAGE NOTES

1. ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM ANY COASTAL BLUFF AND EITHER INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM OR INTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF. ALL DRAINAGE FROM ANY UNIMPROVED AREAS SHALL BE APPROPRIATELY COLLECTED AND DISCHARGED IN ORDER TO REDUCE, CONTROL, OR MITIGATE EROSION OF THE COASTAL BLUFF. SEMC 143.0143 (d).

NOTES

1. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING BLUFF AREAS.
2. AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-PROBABLE VELOCITIES.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OF SPECIFIC AREAS.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX C OF THE CITY STORM WATER STANDARDS.
6. A NOTE WILL BE ON THE DRAINAGE PLAN STATING THE SIDE YARD SETBACK, AND THE BLUFF WILL HAVE NO PROPOSED BUILDING STRUCTURES ABOVE GROUND.



INTERIM-FOR REVIEW ONLY

ENGINEER OF WORK

CEA ENGINEERING
8369 WICKERS ST., STE. C
SAN DIEGO, CA 92111
PH. (619) 277-0441



SITE DEVELOPMENT/COASTAL DEVELOPMENT PERMIT NO. 232790

PREPARED BY: CEA ENGINEERING
ADDRESS: 8369 WICKERS ST., STE. C
SAN DIEGO, CA 92111
PHONE NO.: (619) 277-0441
PROJECT ADDRESS: 5970 CAMINO DE LA COSTA
LA JOLLA, CA 92037

- REVISION 1: 4-28-2011
- REVISION 2: 6-20-2011
- REVISION 3: 3-6-2012
- REVISION 4: 8-8-2012
- REVISION 5:
- REVISION 6:
- REVISION 7:
- REVISION 8:
- REVISION 9:
- REVISION 10:

PROJECT NAME:
"THE BENSON 5970 RESIDENCE"

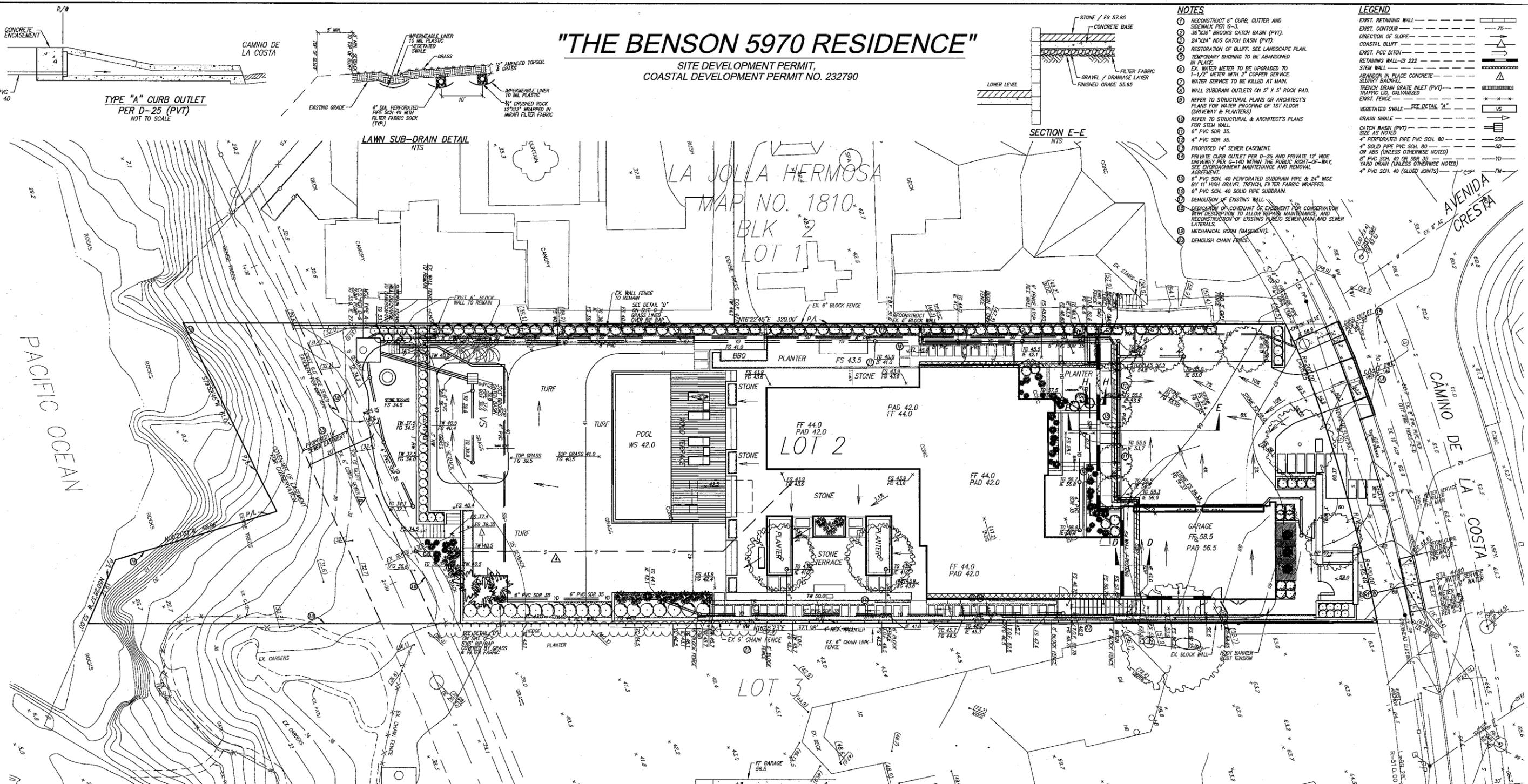
SHEET TITLE:
DRAINAGE DEVELOPMENT PLAN

ORIG. DATE: 2-24-2011
SHEET 2 OF 17
P.T.S.
I.O.



"THE BENSON 5970 RESIDENCE"

SITE DEVELOPMENT PERMIT,
COASTAL DEVELOPMENT PERMIT NO. 232790

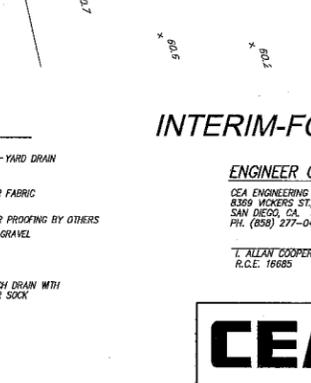
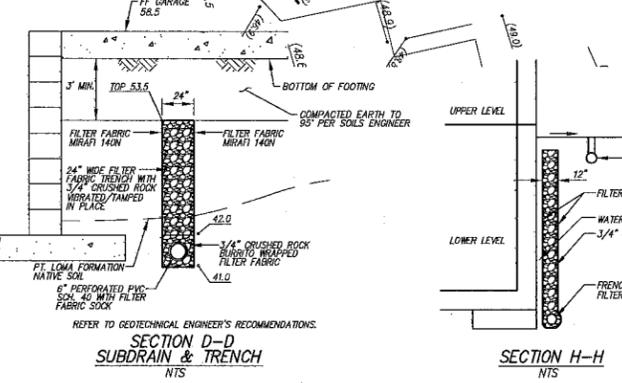
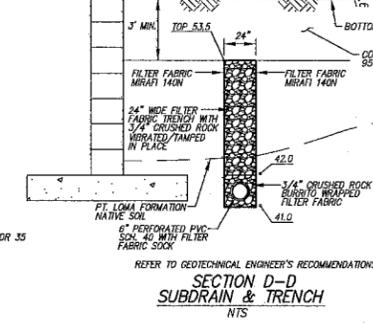
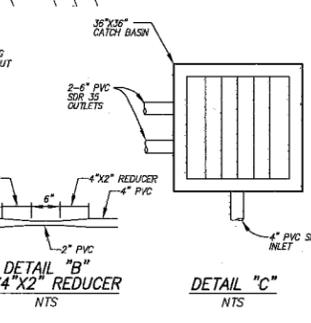
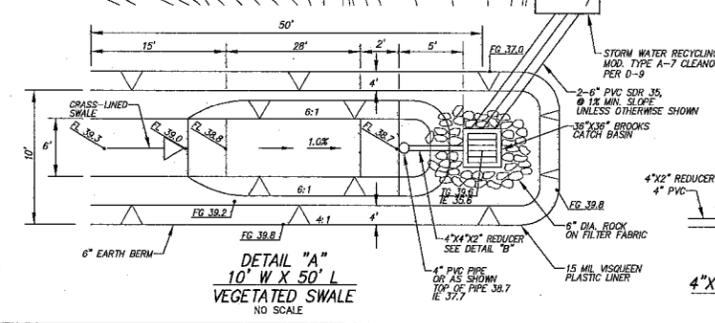


- NOTES**
- RECONSTRUCT 6" CURB, GUTTER AND SIDEWALK PER 6-3.
 - 36"x36" BROOKS CATCH BASIN (PVT).
 - 24"x24" NOS CATCH BASIN (PVT).
 - RESTORATION OF BLUFF, SEE LANDSCAPE PLAN.
 - TEMPORARY SHORING TO BE ABANDONED IN PLACE.
 - EX. WATER METER TO BE UPGRADED TO 1-1/2" METER WITH 2" COPPER SERVICE WATER SERVICE TO BE KILLED AT MAIN.
 - WALL SUBDRAIN OUTLETS ON 5' X 5' ROCK PAD.
 - REFER TO STRUCTURAL PLANS OR ARCHITECT'S PLANS FOR WATER PROOFING OF 1ST FLOOR (DRIVEWAY & PLANTERS).
 - REFER TO STRUCTURAL & ARCHITECT'S PLANS FOR STEM WALL.
 - 6" PVC SDR 35.
 - 4" PVC SDR 35.
 - PROPOSED 14" SEWER EASEMENT.
 - PRIVATE CURB OUTLET PER D-25 AND PRIVATE 12" WIDE DRIVEWAY PER G-140 WITHIN THE PUBLIC RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
 - 6" PVC SCH. 40 PERFORATED SUBDRAIN PIPE & 24" WIDE BY 11" HIGH GRAVEL TRENCH, FILTER FABRIC WRAPPED.
 - 6" PVC SCH. 40 SOLID PIPE SUBDRAIN.
 - DEMOLITION OF EXISTING WALL.
 - DEDICATION OF COVENANT OR EASEMENT FOR CONSERVATION WITH DESCRIPTION TO ALLOW REPAIR, MAINTENANCE AND RECONSTRUCTION OF EXISTING PUBLIC SEWER MAIN AND SEWER LATERALS.
 - MECHANICAL ROOM (BASEMENT).
 - DEMOLISH CHAIN FENCE.
- LEGEND**
- EXIST. RETAINING WALL
 - EXIST. CONTOUR
 - DIRECTION OF SLOPE
 - COASTAL BLUFF
 - EXIST. PCC DITCH
 - RETAINING WALL-19 222
 - STEM WALL
 - ABANDON IN PLACE CONCRETE-SLURRY BACKFILL
 - TRENCH DRAIN GRATE INLET (PVT)
 - TRENCH LID GALVANIZED
 - EXIST. FENCE
 - VEGETATED SWALE-SEE DETAIL "A"
 - GRASS SWALE
 - CATCH BASIN (PVT)
 - SIZE AS NOTED
 - 4" PERFORATED PIPE PVC SCH. 80
 - 4" SOLID PIPE PVC SCH. 80 OR ABS (UNLESS OTHERWISE NOTED)
 - 8" PVC SCH. 40 OR SDR 35
 - YARD DRAIN
 - 4" PVC SCH. 40 (GLUED JOINTS)

TYPE "A" CURB OUTLET
PER D-25 (PVT)
NOT TO SCALE

LAWN SUB-DRAIN DETAIL
NTS

SECTION E-E
NTS



INTERIM-FOR REVIEW ONLY

ENGINEER OF WORK

CEA ENGINEERING
8389 WICKERS ST., STE. C
SAN DIEGO, CA. 92111
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T. ALLAN COOPER DATE
R.C.E. 16685 EXP. 08-30-13



SITE DEVELOPMENT/COASTAL
DEVELOPMENT PERMIT NO. 232790

PREPARED BY:
NAME: CEA ENGINEERING
ADDRESS: 8389 WICKERS ST., STE. C
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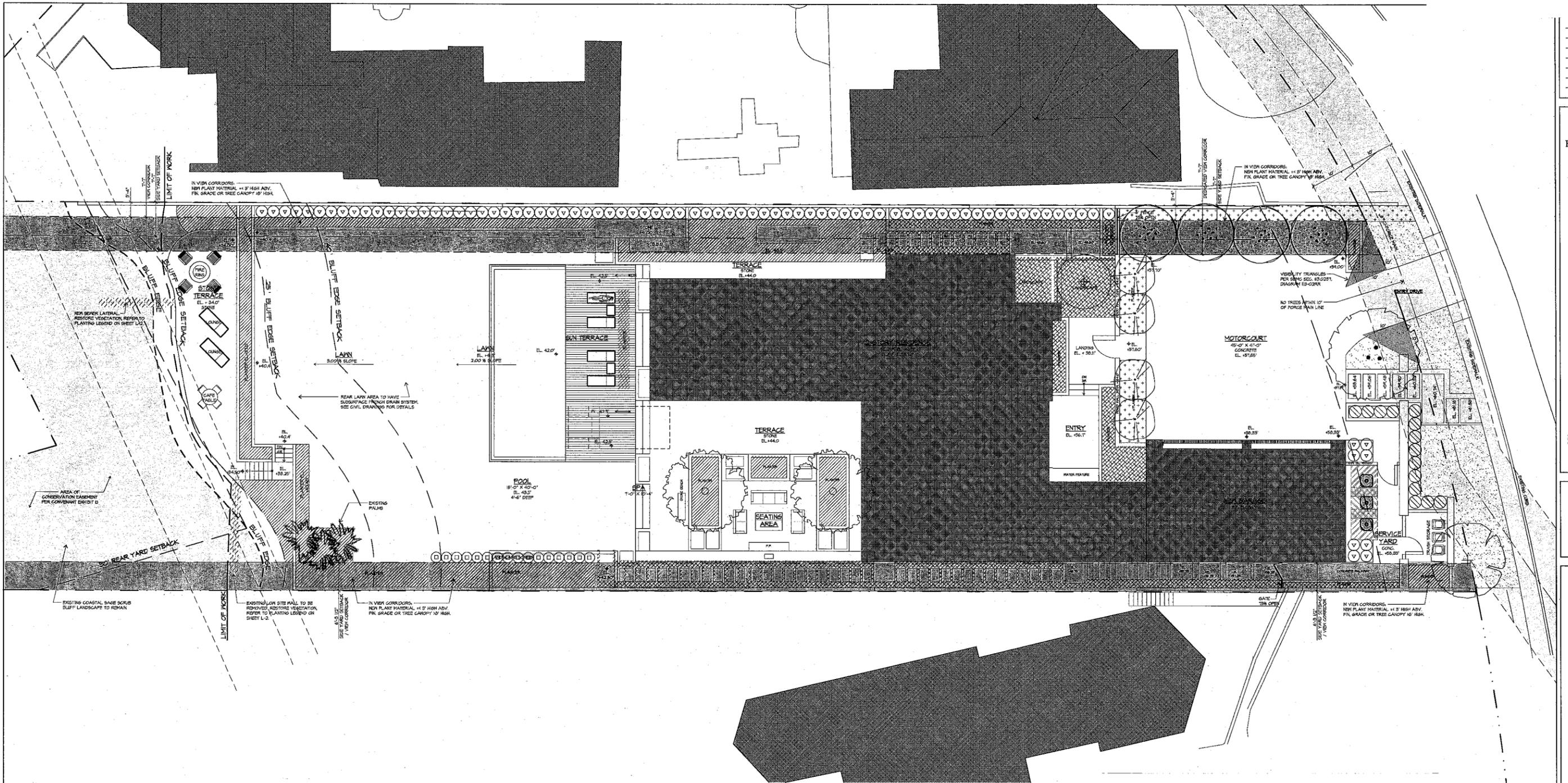
PROJECT ADDRESS:
5970 CAMINO DE LA COSTA
LA JOLLA, CA. 92037

PROJECT NAME:
"THE BENSON 5970 RESIDENCE"

- REVISION 1: 4-28-2011
REVISION 2: 6-20-2011
REVISION 3: 3-6-2012
REVISION 4: 8-8-2012
REVISION 5:
REVISION 6:
REVISION 7:
REVISION 8:
REVISION 9:
REVISION 10:

ORIG. DATE: 2-24-2011
SHEET TITLE: YARD DRAIN PLAN
SHEET 3 OF 17
P.T.S.
I.O.

CEA ENGINEERING
8389 WICKERS STREET, SUITE C, SAN DIEGO, CALIFORNIA 92111
PLANNING AND SURVEYING
PHONE: (858) 277-0441



HOUSE & DODGE
 Mark T. House
 John Dodge
 1828 Hancock St.
 San Diego, CA 92110
 619-587-0878

33 Years and counting...
 House & Dodge Design, Inc.



BENSON RESIDENCE
 5970 CAMINO DE LA COSTA
 LA JOLLA, CALIFORNIA 92037

SUBMITTAL SET
 NOT FOR
 CONSTRUCTION

SCALE: 1/8"=1'-0"
 DATE: 10-23-2012

LANDSCAPE
 DEVELOPMENT
 PLAN

L-1

CDP # 232790

PREPARED BY:	House & Dodge Design	Revision 14:	
Name:	Mark House and John Dodge	Revision 13:	
Address:	1828 Hancock St. Ste. 200	Revision 12:	
City:	San Diego, CA 92110	Revision 11:	
Phone:	(619) 587-0878	Revision 10:	
Project Address:	5970 Camino De La Costa	Revision 9:	
City:	La Jolla, CA 92037	Revision 8:	
Project Name:	BENSON RESIDENCE	Revision 7:	
Sheet Title:	LANDSCAPE DEVELOPMENT PLAN	Revision 6:	10-23-2012
		Revision 5:	8-28-2012
		Revision 4:	8-28-2012
		Revision 3:	8-28-2012
		Revision 2:	8-28-2011
		Revision 1:	4-28-2011
		Original Date:	2-24-2011
		Sheet:	1 of 11
		DATE:	

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	FORM / FUNCTION	NATURE SIZE (HEIGHT X SPREAD)
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	60" BOX	1	DECIDUOUS / SHADE TREE	15' X 60'
	OLEA EUROPAEA	OLIVE	60" BOX	2	EVERGREEN CANOPY / FOCAL POINT	25' X 25'
	JACARANDA MIMOSIFOLIA	JACARANDA	36" BOX	4	DECIDUOUS / ACCENT COLOR	25' X 25'
	SUCH AS: PRUNUS CERASIFERA 'KRAUTER VEINLUS', ACER PALMATHUM ATRORUBRUM, GERCIS OCCIDENTALIS, GINKGO BILOBA	SUCH AS: PURPLE LEAF PLUM, JAPANESE MAPLE, WESTERN REDBUD, GINKGO	36" BOX	1	SMALL DECIDUOUS TREES / ACCENT COLOR	20' X 15'
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	36" BOX	1	STREET TREE	25' X 25'
	SUCH AS: CITRUS / FRUIT	SUCH AS: CITRUS / FRUIT	24" BOX	4	EDIBLE / PRIVACY	
	FITTSOPORUM TENNIPOLIUM	SILVER SHEEN	5 GAL		PRIVACY HEDGE	6' X 3'
	PODOCARPUS MACROPHYLLUS	YEW PINE	5 GAL		PRIVACY	20' X 3'
	SUCH AS: EUPHORBIA CHARAGIAS 'ALPENI', NANNIA 'GOLDEN ABRIDANCE', RHAMNUS CALIFORNIA 'EVE CASE', ARCTOSTAPHYLOS 'SUNSET', FITTSOPORUM TOBIIRA	SUCH AS: EUPHORBIA, NANNIA, COFFEY BARRY, MANZANTIA, JAPANESE FITTSOPORUM	5 GAL		ACCENT SHRUB	3' X 3'
	SUCH AS: BOUSAINVILLEA 'LA JOLLA', BOUSAINVILLEA 'SAN DIEGO RED', STRELITZIA 'JANGA'	SUCH AS: BOUSAINVILLEA, BOUSAINVILLEA 'NARROW LEAF BIRD OF PARADISE'	1 GALLON @ 36" O.G.		ACCENT / CASCADING PLANTER	2' X 4'
	SUCH AS: OLIVIA MINATA, FARFUGIUM JAPONICUM, JUNPERUS CONFERTA, 'FRAGROSPERMIUM JASMINOIDES', IRIS 'FREQUENT FLYER', IRIS 'WORLD PREMIER'	SUCH AS: NA, SHORE JUNPER, STAR JASMINE, NA, NA	1 GALLON @ 36" O.G.		ACCENT / GROUND COVER	2' X 4'
	SUCH AS: SELERIA GAMBILEA, GAREX SPECIES, SALVIA 'BEES BLISS', ARCTOSTAPHYLOS 'HOOKER', ARTEMESIA 'POWES CASTLE', GERANIUM TOMENTOSUM	SUCH AS: BLUE MOOR GRASS, SEDGE, SAGE, MONTEREY MANZANTIA, ARTEMESIA, SNOW-IN-SUMMER	1 GALLON @ 36" O.G.		ACCENT / COURTYARD & SIDELYARD	2' X 3'
	LAWN TURF - MARATHON II	DWARF TALL FESCUE	500		LAWN	
	ENCELIA CALIFORNICA, ARTEMESIA CALIFORNICA	COAST SUNFLOWER, CALIFORNIA SAGEBRUSH	1 GAL		REVEGETATION - BLUFF	VARIES

CONCEPT NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
- THE DEVELOPMENT ON THE SITE WILL BE IN CONFORMANCE WITH THE LAND USE ADJACENCY GUIDELINES OF THE MSCP SUB-AREA PLAN. IN PARTICULAR, ALL LIGHTING, DRAINAGE, LANDSCAPING, GRADING, ACCESS AND NOISE MUST NOT ADVERSELY AFFECT THE MHPA.
- ALL LANDSCAPE AREAS ARE TO BE IRRIGATED BY A COMPLETELY AUTOMATED SPRAY HEAD IRRIGATION SYSTEM - UTILIZING AN AUTOMATIC CONTROLLER, REMOTE CONTROL VALVES, LOW PRECIPITATION HEADS AND UNDERGROUND PIPING. THE DOMESTIC SYSTEM WILL BE PROTECTED BY A REDUCED PRESSURE BACK FLOW PREVENTION DEVICE. ALL IRRIGATION OVER SPRAY AND/OR RAINOFF SHALL NOT FLOW INTO THE COASTAL BLUFF FACE.
- THE SYSTEM WILL BE PROGRAMMED AND OPERATED TO MAXIMIZE THE EFFICIENCY OF THE SYSTEM AND LIMIT WATER CONSUMPTION. THE SYSTEM WILL BE DESIGNED TO ACHIEVE 100% COVERAGE.
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM OF 2" EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- THE HOMEOWNER WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY HOMEOWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS, LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED FOR THE CONDITION OF THE PERMIT.
- PERMANENT REVEGETATION: ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL. ALL REQUIRED VEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
- ALL TREES SHALL BE PROVIDED WITH 40-50 FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE:
 TRAFFIC SIGNALS STOP SIGNS - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 SEWER LINES - 10 FEET

STREET TREE REQUIREMENTS

THERE IS AN EXISTING 6" CI FORCED MAIN LOCATED WITHIN THE PUBLIC ROW. PER ENGINEERING DEPARTMENT, NO TREES OR SHRUBS EXCEEDING 3'-0" IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10'-0". NO STREET TREES CAN BE PROVIDED IN THE PUBLIC RIGHT-OF-WAY DUE TO THIS REQUIREMENT. FRONT YARD TREES PROVIDED ON-SITE:

- TOTAL STREET FRONTAGE = 10'-0"
- STREET TREES REQUIRED = 3
- STREET TREES PROVIDED = 3
- METROSIDEROS EXCELSA
- PLATANUS RACEMOSA (PER LA JOLLA COMMUNITY GROUP APPROVAL)
- JACARANDA MIMOSIFOLIA

DESIGN STATEMENT

THE BENSON RESIDENCE IS LOCATED ON THE COASTAL BLUFFS IN LA JOLLA. IN KEEPING WITH THE PROPOSED ARCHITECTURE, THE DESIGN INTENT IS TO CREATE A GEOMETRIC AND DROUGHT TOLERANT LANDSCAPE. ALL EXISTING PLANT MATERIAL, WITH THE EXCEPTION OF THE FRUIT TREES, WILL BE REMOVED FROM THE SITE AND REPLACED WITH LOW WATER USE, REGIONALLY APPROPRIATE PLANT MATERIAL. THE SITE WILL BE UTILIZED FOR SINGLE FAMILY ACTIVITIES WHICH INCLUDE OUTDOOR LIVING SPACES, A RECREATIONAL LAWN AND PRIVACY SCREENING.

LANDSCAPE AREA

DESCRIPTION	S.F.	PERCENT
LANDSCAPE	14,740	51.0%
HARDSCAPE	7,645	26.5%
MAIN LEVEL RESIDENCE	6,043	21.2%
TOTAL SITE AREA	28,428	100%

STORM WATER QUALITY NOTES & CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001-01, NPDES NO. CA0300875 (WWW.WPCB.CA.GOV/PRNG/PROGRAMMED_STORMWATER/IN) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM WATER EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION / SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

IRRIGATION ON THE COASTAL BLUFF

PLANT MATERIAL USED ON OR ADJACENT TO COASTAL BLUFFS SHALL BE NATIVE OR NATURALIZED TO MINIMIZE THE NEED FOR IRRIGATION BEYOND INITIAL PLANT ESTABLISHMENT. PERMANENT IRRIGATION IS NOT PERMITTED ON COASTAL BLUFFS AS PER THE COASTAL BLUFFS AND BEACHES GUIDELINES AND THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.

- TEMPORARY IRRIGATION CONSISTING OF MICROSPRINKLERS AND/OR Drip IRRIGATION MAY BE PERMITTED ON A CASE-BY-CASE BASIS AS NECESSARY TO ESTABLISH NATIVE OR NATURALIZED PLANT MATERIALS. IRRIGATION SHALL BE REMOVED FROM THE BLUFF UPON ESTABLISHMENT OF THE PLANT MATERIALS.

SITE DRAINAGE

THE PROPOSED DRAINAGE SYSTEM WILL CAPTURE ANY RUN-OFF AND PUMP IT BACK ONTO THE STREET - SEE DRAINAGE PLAN AND DETAILS BY CIVIL ENGINEER.

- ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM ANY COASTAL BLUFF AND EITHER INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM, ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF. ALL DRAINAGE FROM ANY UNIMPROVED AREAS SHALL BE APPROPRIATELY COLLECTED AND DISCHARGED IN ORDER TO REDUCE, CONTROL, OR MITIGATE EROSION OF THE COASTAL BLUFF.

EROSION CONTROL

ALL REGRADED REAR SLOPE AREAS SHALL HAVE JITE MESH INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND SHALL IMMEDIATELY BE LANDSCAPED UPON COMPLETION OF GRADING. TEMPORARY EROSION CONTROL MEASURES SUCH AS SAND BAGS OR OTHER APPROVED METHODS SHALL BE INSTALLED TO PREVENT EROSION AND RUN-OFF ONTO ADJACENT PUBLIC OR PRIVATE PROPERTY. IN THE EVENT THAT NEWLY GRADED AREAS ON THE REAR SLOPE CANNOT BE LANDSCAPED IMMEDIATELY A NON-IRRIGATED HYDROSEED MIX SHALL BE APPLIED.

CDP # 232790

PREPARED BY: _____
 Name: _____
 Phone: _____
 Project Address: **5970 Camino De La Costa, La Jolla, CA 92037**
 Project Name: **BENSON 2610 RESIDENCE**
 Sheet Title: **LANDSCAPE DEVELOPMENT LEGEND**

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: **10-28-2012**
 Revision 5: **8-08-2012**
 Revision 4: **8-08-2012**
 Revision 3: **8-08-2012**
 Revision 2: **6-20-2011**
 Revision 1: **4-28-2011**
 Original Date: **2-24-2011**

Sheet: **12** of **11**
 DEFS: _____

BENSON RESIDENCE
 5970 CAMINO DE LA COSTA
 LA JOLLA, CA 92037

PRELIMINARY
 NOT FOR
 CONSTRUCTION

SCALE: N.T.S.
 DATE: 10-28-2012

LANDSCAPE
 DEVELOPMENT
 LEGEND
L-2

BENSON 5970 RESIDENCE



REAR RENDERING - N.T.S.

SQUARE FOOTAGE SUMMARY

DESCRIPTION	PROPOSED TOTALS	EXISTING REMOVED
MAIN LEVEL ALL SQUARE FOOTAGE		
MAIN LEVEL HABITABLE	4891 S.F.	5,467 S.F.
MAIN LEVEL HABITABLE / BASEMENT - NOT IN P.A.R.	109 S.F.	N.A.
MAIN LEVEL STORAGE / MECHANICAL	359 S.F.	566 S.F.
TOTAL ALL MAIN LEVEL	4,359 S.F.	6,039 S.F.
UPPER LEVEL ALL SQUARE FOOTAGE		
UPPER LEVEL HABITABLE	3,411 S.F.	N.A.
UPPER LEVEL GARAGE / STORAGE / MECH.	1,236 S.F.	N.A.
LIVING ROOM - PHANTOM FLOOR	564 S.F.	N.A.
ATTIC SPACE - PHANTOM FLOOR	N.A.	1,521 S.F.
TOTAL ALL UPPER LEVEL	5,211 S.F.	1,521 S.F.
TOTALS - HABITABLE		
PROPOSED TOTALS	4,454 S.F.	5,467 S.F.
EXISTING REMOVED	3,411 S.F.	N.A.
TOTAL ALL HABITABLE	7,925 S.F.	5,467 S.F.
TOTALS - F.A.R.		
PROPOSED TOTALS	4,104 S.F.	5,467 S.F.
EXISTING REMOVED	5,211 S.F.	N.A.
TOTAL ALL F.A.R.	9,315 S.F.	5,467 S.F.
TOTALS - CONSTRUCTION		
PROPOSED TOTALS	4,817 S.F.	5,467 S.F.
EXISTING REMOVED	4,117 S.F.	N.A.
TOTAL ALL CONSTRUCTION	8,934 S.F.	5,467 S.F.
SITE INFORMATION		
GROSS SITE AREA	28,420 S.F.	28,420 S.F.
LOT COVERAGE	21.3 %	21.2 %
ALLOWABLE FLOOR AREA RATIO (F.A.R.)	45 %	45 %
ACTUAL FLOOR AREA RATIO	35.2 %	26.6 %

PROJECT INFORMATION

OWNER
ERIC B. BENSON TRUST, U.T.D. 8-20-16
5960 CAMINO DE LA COSTA
LA JOLLA, CA 92037

SITE ADDRESS
8710 CAMINO DE LA COSTA
LA JOLLA, CA 92037

APN
957-222-02-00

COMMUNITY PLAN NAME
LA JOLLA

LEGAL DESCRIPTION
LOT 2 IN BLOCK 2 OF LA JOLLA HERNDON, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, ACCORDING TO MAP THEREOF NO. 1816 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1924.

ZONE
RS-19
COASTAL OVERLAY ZONE
COASTAL HEIGHT LIMIT OVERLAY ZONE
SENSITIVE COASTAL OVERLAY ZONE
FIRST FLEET ROADWAY
BEACH IMPACT AREA OF PARKING IMPACT OVERLAY ZONE
TRANSIT AREA OVERLAY ZONE
PROJECT SITE CONTAINS ENVIRONMENTALLY SENSITIVE LANDS (ESL)
SENSITIVE COASTAL BLUFF

OCCUPANCY
RS192

APPROVALS APPLIED FOR UNDER THIS SUBMITTAL
COASTAL DEVELOPMENT PERMIT
SITE DEVELOPMENT PERMIT
DEMOLITION PERMIT

PREVIOUS APPROVALS
-

CITY OF SAN DIEGO PROJECT NUMBER(S)
PROJECT NBR. 232790

ADDITIONAL CITY OF SAN DIEGO PROJECT NUMBER(S)
-

REVISIONS

NO.	DESCRIPTION

HOUSE & DODGE

Mark T. House
John Dodge

1822 Hancock St.
San Diego, CA 92110
619-597-0576 ph

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BENSON RESIDENCE
5970 CAMINO DE LA COSTA
LA JOLLA, CALIFORNIA 92037

SUBMITTAL SET
NOT FOR
CONSTRUCTION

SCALE: N.T.S.

DATE: 10-23-2012

TITLE SHEET
INDEX

T-1

PLAN ANALYSIS

TYPE OF CONSTRUCTION

TYPE VB SPRINKLERED

APPLICABLE CODES

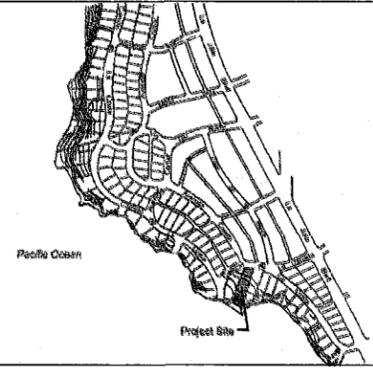
ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

- 2010 CALIFORNIA BUILDING CODE (2006 INTERNATIONAL BUILDING CODE)
- 2010 CALIFORNIA ELECTRICAL CODE (2008 NATIONAL ELECTRICAL CODE)
- 2010 CALIFORNIA MECHANICAL CODE (2008 UNIFORM MECHANICAL CODE)
- 2010 CALIFORNIA PLUMBING CODE (2008 UNIFORM PLUMBING CODE)
- 2010 CALIFORNIA ENERGY CODE (2008 CALIFORNIA ENERGY CODE)
- 2010 CALIFORNIA FIRE CODE (2006 INTERNATIONAL FIRE CODE)

SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE ON PROPERTY
- NEW ATTACHED GARAGE
- POOL AND SPA
- SITE WORK TO INCLUDE GRADING, HARDSCAPE, SITE WALLS, AND LANDSCAPING

VICINITY MAP



DRAWING INDEX

DWG. #	DRAWING TITLE
T-1	TITLE SHEET
C-1	YARD DRAIN PLAN
C-2	INTERIM BMPs / EROSION CONTROL
C-3	PERMANENT BMPs
C-4	UTILITY PLAN
C-5	TOPOGRAPHY MAP
C-6	SUMP PUMP & DETAILS
L-1	LANDSCAPE DEVELOPMENT PLAN
L-2	LANDSCAPE DEVELOPMENT LEGEND
AJ1	SITE PLAN
AJ2	MAIN LEVEL FLOOR PLAN
AJ3	UPPER LEVEL FLOOR PLAN
AJ4	ROOF PLAN
AJ5	EXTERIOR ELEVATIONS
AJ6	EXTERIOR ELEVATIONS
AJ7	SITE SECTIONS

SYMBOLS AND LEGEND

ELEVATION SYMBOL	REVISION SYMBOL
DETAIL LETTER	REVISION NUMBER
DIRECTION OF VIEW	DOOR SYMBOL
DETAIL SHEET	DOOR NUMBER
BUILDING SECTION SYMBOL	WINDOW SYMBOL
DETAIL LETTER	WINDOW LETTER
DIRECTION OF VIEW	
DETAIL SHEET	
WALL SECTION SYMBOL	WALLS
DETAIL NUMBER	CONCRETE
DIRECTION OF VIEW	MASONRY
DETAIL SHEET	INSULATION
DETAIL SYMBOL	WINDOW
DETAIL NUMBER	OTHER
DETAIL SHEET	PLYWOOD
KEYNOTE SYMBOL	BLOCKING
KEYNOTE NUMBER	METAL
GRIDLINE SYMBOL	SOL
GRIDLINE NUMBER	PLASTER
DATUM SYMBOL	GRAVEL
DATUM / ELEVATION POINT	PLANTING

CDP # 232790

PREPARED BY: House & Dodge Design 1822 Hancock St., Suite 200 San Diego, CA 92110 Phone: (619) 597-0576	Revision 10: _____ Revision 11: _____ Revision 12: _____ Revision 13: _____ Revision 14: _____ Revision 15: _____ Revision 16: _____ Revision 17: _____ Revision 18: _____ Revision 19: _____ Revision 20: _____ Revision 21: _____ Revision 22: _____ Revision 23: _____ Revision 24: _____ Revision 25: _____ Revision 26: _____ Revision 27: _____ Revision 28: _____ Revision 29: _____ Revision 30: _____ Revision 31: _____ Revision 32: _____ Revision 33: _____ Revision 34: _____ Revision 35: _____ Revision 36: _____ Revision 37: _____ Revision 38: _____ Revision 39: _____ Revision 40: _____ Revision 41: _____ Revision 42: _____ Revision 43: _____ Revision 44: _____ Revision 45: _____ Revision 46: _____ Revision 47: _____ Revision 48: _____ Revision 49: _____ Revision 50: _____ Revision 51: _____ Revision 52: _____ Revision 53: _____ Revision 54: _____ Revision 55: _____ Revision 56: _____ Revision 57: _____ Revision 58: _____ Revision 59: _____ Revision 60: _____ Revision 61: _____ Revision 62: _____ Revision 63: _____ Revision 64: _____ Revision 65: _____ Revision 66: _____ Revision 67: _____ Revision 68: _____ Revision 69: _____ Revision 70: _____ Revision 71: _____ Revision 72: _____ Revision 73: _____ Revision 74: _____ Revision 75: _____ Revision 76: _____ Revision 77: _____ Revision 78: _____ Revision 79: _____ Revision 80: _____ Revision 81: _____ Revision 82: _____ Revision 83: _____ Revision 84: _____ Revision 85: _____ Revision 86: _____ Revision 87: _____ Revision 88: _____ Revision 89: _____ Revision 90: _____ Revision 91: _____ Revision 92: _____ Revision 93: _____ Revision 94: _____ Revision 95: _____ Revision 96: _____ Revision 97: _____ Revision 98: _____ Revision 99: _____ Revision 100: _____
Project Address: 5970 Camino De La Costa La Jolla, CA 92037	Original Date: 2-24-2011
Project Name: BENSON 5970 RESIDENCE	Sheet: _____ of 17
Sheet Title: TITLE SHEET	DATE: _____

SHORING CONSULTANT	M/E/P CONSULTANT	INTERIOR DESIGNER	STRUCTURAL ENGINEER	CIVIL ENGINEER	ARCHITECT
-	-	-	-	MYLES COOPER COOPER ENGINEERING ASSOCIATES 8564 VICKERS STREET, SUITE C SAN DIEGO, CA 92111 (858) 211-0441 PH. (858) 211-0441 FAX	MARK HOUSE / JOHN DODGE HOUSE & DODGE DESIGN, INC 1929 HANCOCK ST. SUITE 200 SAN DIEGO, CA 92110 (619) 591-0515 PH. (619) 591-0511 FAX www.houseanddodge.com
ELECTRICAL CONSULTANT	WATERPROOFING	SOILS ENGINEER	LANDSCAPE ARCHITECT	CONTRACTOR	CONSTRUCTION MANAGER
-	-	-	-	-	-

∠ AND ANGLE	C.M.U. CONCRETE MASONRY UNIT	FAU FORCED AIR UNIT	H.M. HOLLOW METAL	N.T.P. NOTICE TO PROCEED	REFR. REFRIGERATOR	T. TREAD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.N.R. CONDUIT ONLY	F.D. FLOOR DRAIN	H.R. HORIZONTAL	N.T.S. NOT TO SCALE	REV. REVERSE	T.B. TOWEL BAR
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C. CONCRETE	F.F. FINISH FLOOR	H.T. HEIGHT	O. OVER	RENF. REINFORCE, REINFORCED	T.C. TELEPHONE
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N. CONNECTION	F.F.G. FINISH GRADE	H.V.A.C. HEATING VENTILATING	O.A. OVERALL	ROTR. REGISTER	TEMP. TEMPERED GLASS
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S. CONNECTION	F.F.H. FIRE HYDRANT	H.H. HEATING VENTILATING	O.B.S. OBSCURE	RES. RESISTANT	TER. TERRAZZO
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. RESILIENT	T&G. TONGUE AND GROOVE
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N. FINISH	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
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∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD
∅ DIAMETER OR ROUND PHASE (ELECTRICAL) FOUND OR NUMBER	C.C.N.S.T. CONNECTION	F.F.I.N.S. FINISH AND INSTALL	H.H.C. HEATING VENTILATING	O.C. ON CENTER	RESIL. THICK	THR. THRESHOLD

"THE BENSON 5970 RESIDENCE"

SITE DEVELOPMENT PERMIT,
COASTAL DEVELOPMENT PERMIT NO. 232790

EROSION AND SEDIMENT CONTROL NOTES

- TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW.
- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WP2) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL, PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
- FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- FOR INLETS LOCATED AT BUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DICES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

EROSION AND SEDIMENT CONTROL NOTES (CONTI.)

- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RAIN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEANING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.
- THE GRADING CONTRACTOR WILL INSTALL EROSION CONTROL MEASURES A MIN. OF 48 HOURS PRIOR TO A FORECAST RAIN EVENT. THIS WILL PROVIDE ADEQUATE TIME FOR RESIDENT ENGINEER AND PROJECT ENGINEER TO INSPECT BMP MEASURES.

INTERIM BMP'S LEGEND

- DIRECTION OF FLOW
- FIBER ROLL SEE DETAIL "C"
- 18"X30" GRAVEL PAD
- 10' DIA. DESILT/DETENTION POND
- GRAVEL BAGS
- GRASS SWALE
- HYDROSEED OR MULCH
- TEMPORARY SWALE

NOTE

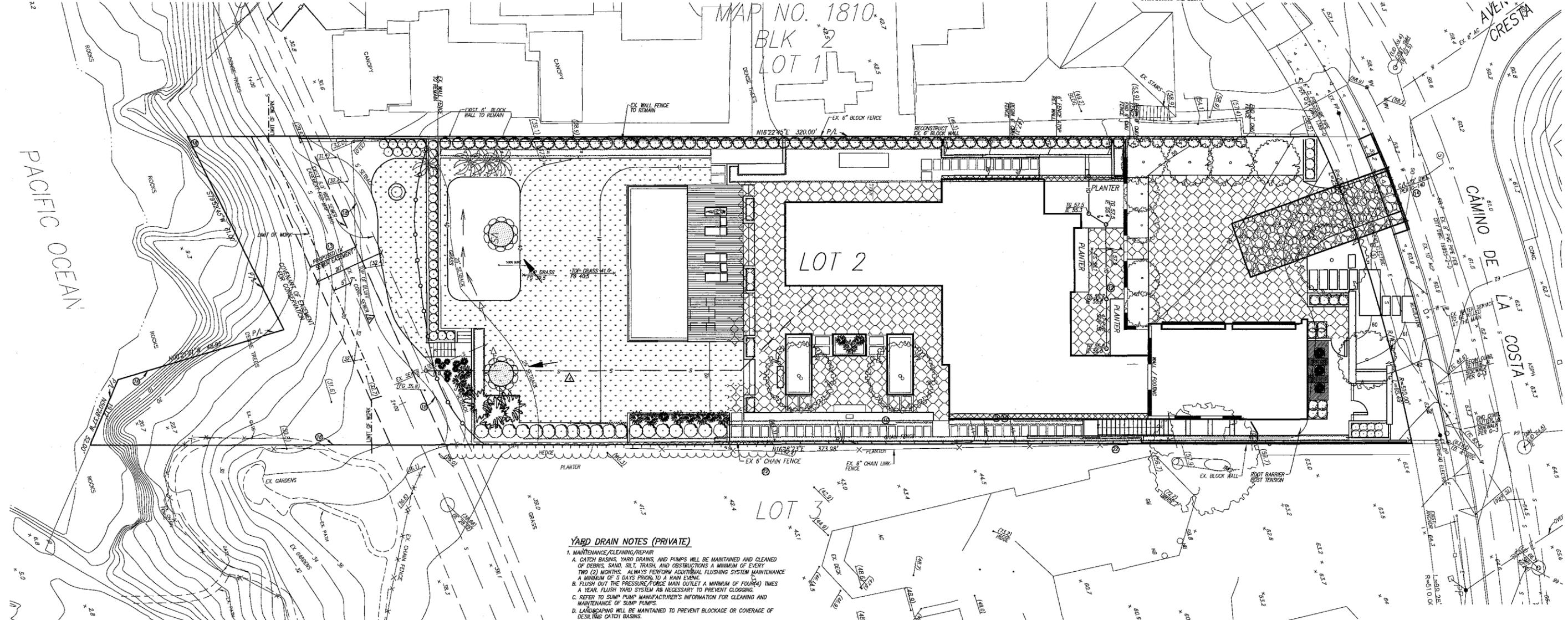
IF CONSTRUCTION DOES NOT COMMENCE WITHIN 30 DAYS OF COMPLETION OF GRADING AND IF HYDROSEED IS NOT ESTABLISHED PRIOR TO RAIN EVENTS AND THERE IS EROSION, INSTALL FIBER MULCH AND FIBER ROLL ON ALL GRADED (MANUFACTURED) SLOPES.

TEMPORARY DETENTION NOTE

1. PRIOR TO THE COMMENCEMENT OF GRADING THE CONTRACTOR WILL INSTALL A TEMPORARY DETENTION POND, SWALES WITH GRAVEL BAGS AND A SUMP PUMP SYSTEM TO REDUCE THE CHANCES OF WATER OVERFLOWING THE BLUFF.

LEGEND

- EXIST. RETAINING WALL
- EXIST. CONTOUR
- DIRECTION OF SLOPE
- COASTAL BLUFF
- EXIST. PCC DITCH
- RETAINING WALL-18"X22"
- STEM WALL
- ABANDON IN PLACE CONCRETE SLURRY BACKFILL
- TRENCH DRAIN GRATE INLET (PVT)
- TRAFFIC LIGHT GALVANIZED
- EXIST. FENCE
- VEGETATED SWALE
- GRASS SWALE
- CATCH BASIN (PVT)
- SIZE AS NOTED
- 4" SOLID PIPE PVC SCH. 40
- OR AER. (UNLESS OTHERWISE NOTED)
- 8" PVC SCH. 40 OR SDR 35
- YARD DRAIN
- 4" PVC SCH. 40 (GLUED JOINTS)
- STONE SURFACE



YARD DRAIN NOTES (PRIVATE)

- MAINTENANCE/CLEANING/REPAIR
- CATCH BASINS, YARD DRAINS, AND PUMPS WILL BE MAINTAINED AND CLEANED OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS A MINIMUM OF EVERY TWO (2) MONTHS. ALWAYS PERFORM ADDITIONAL FLUSHING SYSTEM MAINTENANCE A MINIMUM OF 3 DAYS PRIOR TO A RAIN EVENT.
- FLUSH OUT THE PRESSURE/FORCE MAIN OUTLET A MINIMUM OF FOUR(4) TIMES A YEAR. FLUSH YARD SYSTEM AS NECESSARY TO PREVENT CLOGGING.
- REFER TO SUMP PUMP MANUFACTURER'S INFORMATION FOR CLEANING AND MAINTENANCE OF SUMP PUMPS.
- LANDSCAPING WILL BE MAINTAINED TO PREVENT BLOCKAGE OR COVERAGE OF DESIGNING CATCH BASINS.
- ALL YARD DRAINS WILL HAVE A MINIMUM OF 1% SLOPE.
- ATTRUM GRATES SHOULD BE USED IN NON-PAVED AREAS. LANDSCAPING AND BUSHES ARE TO BE KEPT AWAY FROM INLETS TO PREVENT CLOGGING.
- ALL JOINTS WILL BE GULDED/WATER TIGHT TO PREVENT SYSTEM FROM CLOGGING.

EROSION CONTROL MONITORING PROGRAM

- OVERALL FIELD REVIEW OF CONSTRUCTION OPERATIONS WILL BE PERFORMED BY THE CITY RESIDENT ENGINEER ON EACH PROJECT IN THE COASTAL ZONE.
- FIELD REVIEW OF EROSION CONTROL DEVICES, SEDIMENTATION BASINS, DETENTION BASINS, AND LANDSCAPING WILL BE MADE BY THE CITY ENGINEER PRIOR TO THE ADVENT OF THE RAINY SEASON, AND THROUGHOUT THE RAINY SEASON AS NECESSARY TO MONITOR GRADING OPERATIONS PHASED BETWEEN NOVEMBER 15 AND MARCH 31. THE CITY ENGINEER SHALL PREPARE A PERIODICAL REPORT DOCUMENTING THE COMPLIANCE OF ALL INDIVIDUAL PROJECTS WITH THE GRADING AND EROSION CONTROL REQUIREMENTS. THE REPORT WILL BE COMPLETED AS OF NOVEMBER 15 OF EACH YEAR.

BMP'S APPLICABLE TO INDIVIDUAL PRIORITY PROJECT CATEGORIES

HILLSIDE LANDSCAPING
COASTAL BLUFF AREAS THAT ARE DISTURBED BY PROJECT DEVELOPMENT OR TO BE VEGETATED SHALL BE LANDSCAPED WITH DEEP-ROOTED DROUGHT-TOLERANT PLANT SPECIES SELECTED FOR EROSION CONTROL, IN ACCORDANCE WITH THE LANDSCAPE TECHNICAL MANUAL, A COPY OF WHICH CAN BE FOUND AT THE OFFICE OF THE CITY ENGINEER, FILED AS DOCUMENT NO. RP-274506, INCLUDING SUPPLEMENTS AND AMENDMENTS.

NOTE

GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH THE FOLLOWING NON-IRRIGATED HYDROSEED MIX.

HYDROSEED

BOTANICAL/COMMON NAME	PURITY	%SEED	LBS./ACRE
OSTIA OBOVATUS "MAUIE ROCK ROSE"	98	75	2
DIAMORPHOTHECA SINIATA "AFRICANA DAISSY"	85	75	5
ECOSIPHOLIA CALIFORNICA "CALIFORNIA POPPY"	95	75	5
GAZANIA SPRENGENS "GAZANIA"	90	60	5
LYMBURIA PERZEI "SEA LAVENDER"	65	5	10
LYMBURIA SINIATA "STATION"	95	10	10
LOBELARIA MARTIMA "ALYSSUM"	68	80	4
FIBER MULCH.....		2000 LBS./ACRE	
COMMERCIAL FERTILIZER			
*GRD-POWER 5-3-1 PLUS.....		1200 LBS./ACRE	
AZTEC BINDER.....		130 LBS./ACRE	
SHAYON (NETTING AGENT).....		6 GALLONS	

INTERIM BINDER NOTE

GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER / TACKIFIER AS NEEDED BETWEEN APRIL 2ND AND AUGUST 31ST FOR DUST-EROSION CONTROL. WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST, UNLESS STRAW BLANKET IS IN PLACE.

INTERIM-FOR REVIEW ONLY

ENGINEER OF WORK

CEA ENGINEERING
8389 VICKERS ST., STE. C
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PH. (658) 277-0441

L. ALLAN COOPER
R.C.E. 16685
DATE: 06-30-13



SITE DEVELOPMENT/COASTAL DEVELOPMENT PERMIT NO. 232790

PREPARED BY:
NAME: CEA ENGINEERING
ADDRESS: 8389 VICKERS ST., STE. C
SAN DIEGO, CA 92111
PHONE NO. (658) 277-0441

PROJECT ADDRESS:
5970 CAMINO DE LA COSTA
LA JOLLA, CA 92037

PROJECT NAME:
"THE BENSON 5970 RESIDENCE"

SHEET TITLE:
INTERIM BMP'S/
EROSION CONTROL

- REVISION 1: 4-28-2011
- REVISION 2: 6-20-2011
- REVISION 3: 3-6-2012
- REVISION 4: 8-8-2012
- REVISION 5: _____
- REVISION 6: _____
- REVISION 7: _____
- REVISION 8: _____
- REVISION 9: _____
- REVISION 10: _____
- DATE: 2-24-2011
- SHEET 4 OF 17
- P.T.S. _____
- I.O. _____

CEA ENGINEERING
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8389 VICKERS STREET, SUITE C, SAN DIEGO, CALIFORNIA 92111
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"THE BENSON 5970 RESIDENCE"

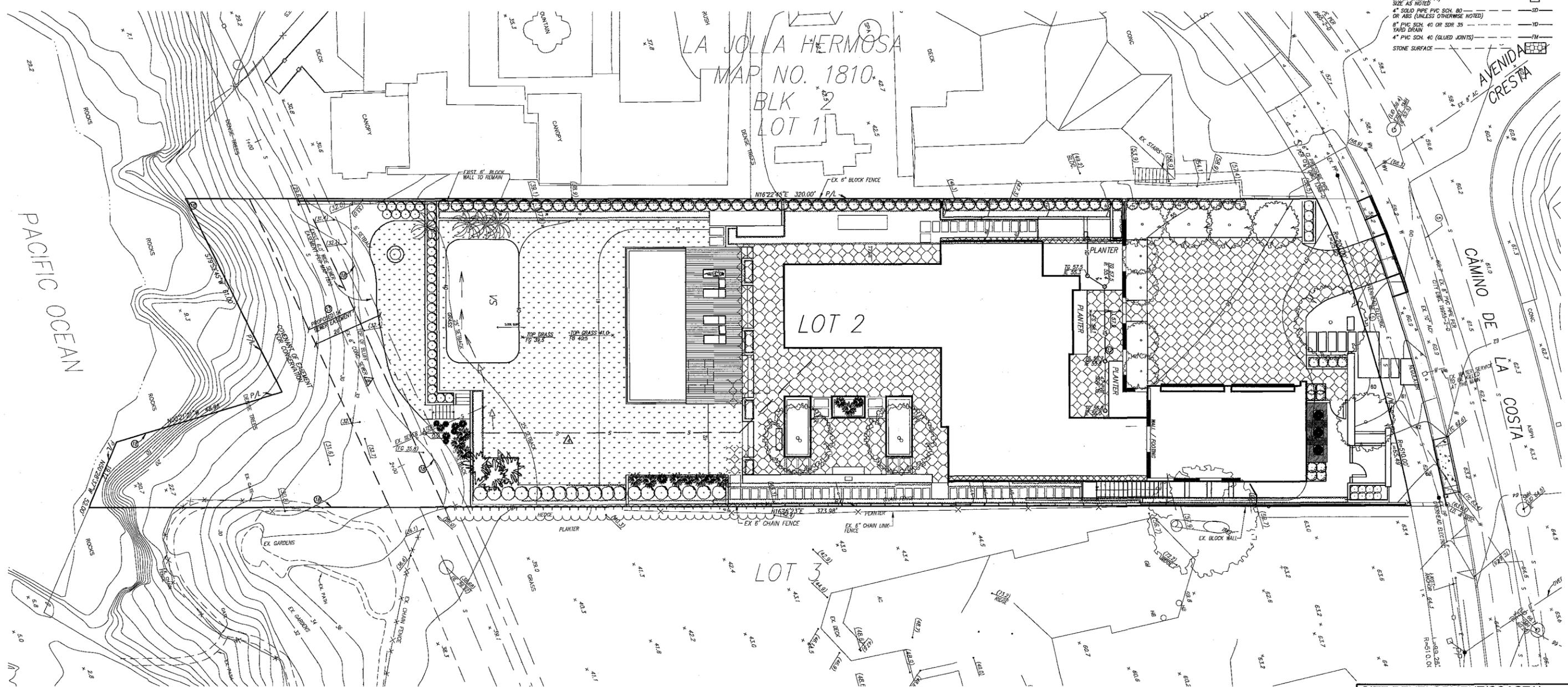
SITE DEVELOPMENT PERMIT,
COASTAL DEVELOPMENT PERMIT NO. 232790

- IMPROVEMENTS**
- △ CONTRACTOR TO FIELD VERIFY LOCATIONS OF UNDERGROUND UTILITIES. THERE ARE TWO SEWER MAINHOLES LOCATED ADJACENT TO ONE ANOTHER ON CAMINO DE LA COSTA. THE CITY OF SAN DIEGO SEWER PLAN SHOWS SEWER FORCE MAIN ON THE SOUTH SIDE OF THE ROAD. THIS ALSO NEEDS TO BE FIELD VERIFIED.
 - △ 1-1/2" WATER SERVICE & 1-1/2" BACKFLOW PREVENTER DEVICE & GALVANIZED COVER & LOCK.
 - △ NEW 4" SEWER LATERAL SDR 35 (PVT).
 - △ EX WATER SERVICES TO BE KILLED AT THE MAIN.
 - △ NEW 1" BPPD & GALVANIZED STEEL CASE & LOCK FOR IRRIGATION METER.
 - △ EX. GUY WIRES, OVERHEAD POWER, TELEPHONE & CABLE TO BE UNDERGROUND.

- YARD DRAIN NOTES (PRIVATE)**
1. MAINTENANCE/CLEANING/REPAIR
 - A. CATCH BASINS, YARD DRAINS, AND PUMPS WILL BE MAINTAINED AND CLEANED OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS A MINIMUM OF EVERY TWO (2) MONTHS. ALWAYS PERFORM ADDITIONAL FLUSHING SYSTEM MAINTENANCE A MINIMUM OF 5 DAYS PRIOR TO A RAIN EVENT.
 - B. FLUSH OUT THE PRESSURE/FORCE MAIN OUTLET A MINIMUM OF FOUR(4) TIMES A YEAR. FLUSH YARD SYSTEM AS NECESSARY TO PREVENT CLOGGING.
 - C. REFER TO SUMP PUMP MANUFACTURER'S INFORMATION FOR CLEANING AND MAINTENANCE OF SUMP PUMPS.
 - D. LANDSCAPING WILL BE MAINTAINED TO PREVENT BLOCKAGE OR COVERAGE OF DESLTING CATCH BASINS.
 2. ALL YARD DRAINS WILL HAVE A MINIMUM OF 1% SLOPE.
 3. ATRIUM GRATES SHOULD BE USED IN NON-PAVED AREAS. LANDSCAPING AND BUSHES ARE TO BE KEPT AWAY FROM INLETS TO PREVENT CLOGGING.
 4. ALL JOINTS WILL BE GLUED/WATER TIGHT TO PREVENT SYSTEM FROM CLOGGING.

- PERMANENT BMPS LEGEND**
- PERMANENT LANDSCAPING (GRASS OR LAWN) [Symbol]
 - VEGETATED SWALE - SEE DETAIL "A" [Symbol]
 - GRASS SWALE [Symbol]

- LEGEND**
- EXIST. RETAINING WALL [Symbol]
 - EXIST. CONTOUR [Symbol]
 - DIRECTION OF SLOPE [Symbol]
 - COASTAL BLUFF [Symbol]
 - EXIST. POB DITCH [Symbol]
 - RETAINING WALL-B 222 [Symbol]
 - STEM WALL [Symbol]
 - ABANDON IN PLACE CONCRETE [Symbol]
 - SLURRY BACKFILL [Symbol]
 - TRENCH DRAIN GRATE INLET (PVT) [Symbol]
 - IRRAWATI LTD. GALVANIZED EXIST. FENCE [Symbol]
 - VEGETATED SWALE [Symbol]
 - GRASS SWALE [Symbol]
 - CATCH BASIN (PVT) SIZE AS NOTED [Symbol]
 - 4" SOLID PIPE PVC SCH. 80 OR ABS (UNLESS OTHERWISE NOTED) [Symbol]
 - 6" PVC SCH. 40 OR SDR 35 YARD DRAIN [Symbol]
 - 4" PVC SCH. 40 (GLUED JOINTS) [Symbol]
 - STONE SURFACE [Symbol]



MAINTENANCE AND INSPECTION OF PERMANENT BMPS

1. DESLTING CATCH BASINS, NET WELLS, PUMPING SYSTEMS, SIDEWALK UNDERDRAINS, RIP-RAP, AND OTHER EROSION CONTROL MEASURES WILL BE MAINTAINED AND CLEANED BY THE INDIVIDUAL LOT OWNER. CLEANING WILL INCLUDE THE REMOVAL OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS. SYSTEMS WILL BE FLUSHED AND CLEANED A MINIMUM OF ONCE EVERY 2 MONTHS DURING THE DRY SEASON AND ONCE IMMEDIATELY BEFORE AND AFTER A RAIN EVENT.
2. LANDSCAPING WILL BE INSPECTED A MINIMUM OF ONCE EVERY MONTH DURING THE DRY SEASON AND ALWAYS IMMEDIATELY BEFORE AND AFTER A RAIN EVENT. LANDSCAPING WILL BE REPAIRED/REPLACED AS NECESSARY. ALL EXPOSED EARTH SURFACES WILL BE MULCHED, HYDROSEEDED, OR STRAW BLANKET TO MINIMIZE EROSION.
3. THE INDIVIDUAL LOT OWNER IS RESPONSIBLE FOR REMOVING ALL POLLUTANTS, TRASH, SILT, AND DEBRIS TO A LEGAL DUMP SITE.
4. THE INDIVIDUAL LOT OWNER TAKES FULL RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF STORM WATER PUMPING SYSTEM.
5. MAINTENANCE OF SUMP PUMP SYSTEM CAN BE PERFORMED BY BARRIET ENGINEERED PUMPS (619) 235-7087, MARTIN PLUMBING (659) 715-0808, OR QUALIFIED CONTRACTOR.

TREATMENT CONTROL BMPS

POST-CONSTRUCTION (PERMANENT) BMPS - POST CONSTRUCTION BMPS TO BE PERMANENTLY INSTALLED AFTER CONSTRUCTION INCLUDES:

- A. LANDSCAPE: ALL SLOPES
- B. GRASS-LINED SWALES, RIP-RAP, AND SIDEWALK UNDER-DRAINS.
- C. RUN-OFF FROM BUILDINGS AND HARDSCAPE GOES INTO PLANTERS.
- D. DESLTING PLANTERS AND GRASS SWALES.

IMPERVIOUS AREAS HAVE BEEN COMBINED WITH PLANTED AREAS AND PLANTED SLOPES TO MINIMIZE RUNOFF AND INCREASE INFILTRATION. THE LOT GENERALLY DRAINS TO THE EXISTING NATURAL SWALES. ALL THE SLOPES ARE PLANTED WITH TREES AND VEGETATION TO MINIMIZE EROSION. THE LOT WILL DIRECT RUNOFF TO YARD DRAINS OR GRASS-LINED SWALES, THEN OUTLET TO THE YARD DRAIN SYSTEM & PUMP TO CAMINO DE LA COSTA. THE SITE HAS BEEN DESIGNED TO BE SENSITIVE TO AND ENHANCE THE EXISTING CHARACTER OF THE NEIGHBORHOOD. ROOF DRAINS SHALL DISCHARGE INTO PLANTERS OR GRASS-LINED SWALES.

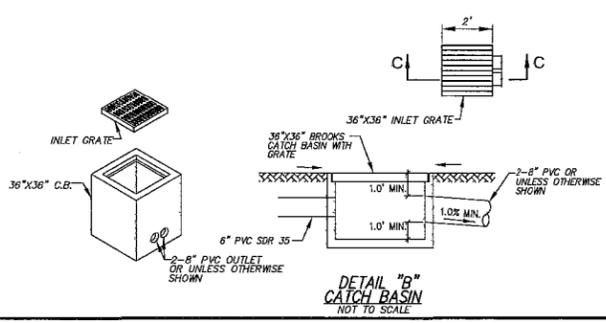
LID DESIGN BMPS

1. SLOPES SHALL BE PLANTED WITH NATIVE OR DROUGHT-TOLERANT VEGETATION.
2. PLANTERS WILL POND WATER A MAX. OF 6"
3. GRASS SWALES WILL BE A MIN. OF 2' WIDE AND 4" DEEP.

SOURCE CONTROL BMPS

SOURCE CONTROL BMPS TO EMPLOY INTEGRATED PEST MANAGEMENT (IPM) PRINCIPALS WILL BE INCLUDED IN THE DESIGN OF THIS PROJECT. GOALS INCLUDE THE ELIMINATION AND/OR REDUCTION OF THE NEED FOR PESTICIDE USE, AND TO DISCOURAGE PESTS. ACTIONS TAKEN TO ACHIEVE THESE GOALS INCLUDE:

1. PLANT PEST-RESISTANT OR WELL-ADAPTED PLANT VARIETIES SUCH AS NATIVE PLANTS.
2. MODIFY THE SITE AND LANDSCAPE DESIGN.
3. DISTRIBUTE IPM EDUCATIONAL MATERIALS TO FUTURE SITE RESIDENT.



INTERIM-FOR REVIEW ONLY

ENGINEER OF WORK

CEA ENGINEERING
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SAN DIEGO, CA. 92111
PH. (659) 277-0441

T. ALLEN COOPER DATE
R.C.E. 10685 EXP. 06-30-13



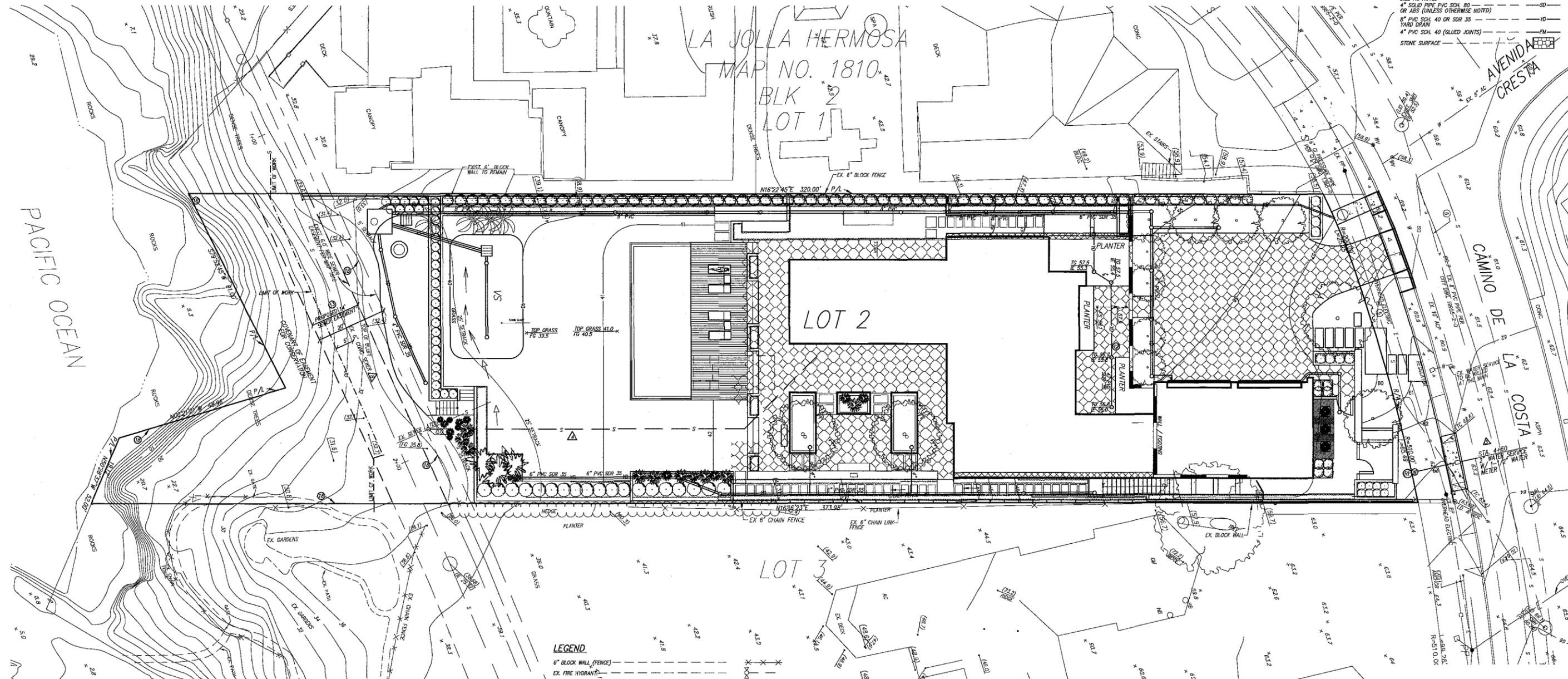
SITE DEVELOPMENT/COASTAL
DEVELOPMENT PERMIT NO. 232790

PREPARED BY: NAME: CEA ENGINEERING	REVISION 1: 4-28-2011
ADDRESS: 639 WICKERS ST., STE. C SAN DIEGO, CA. 92111	REVISION 2: 6-20-2011
PHONE NO. (659) 277-0441	REVISION 3: 3-6-2012
PROJECT ADDRESS: 5970 CAMINO DE LA COSTA LA JOLLA, CA 92037	REVISION 4: 8-8-2012
PROJECT NAME: "THE BENSON 5970 RESIDENCE"	REVISION 5:
	REVISION 6:
	REVISION 7:
	REVISION 8:
	REVISION 9:
	REVISION 10:
SHEET TITLE: PERMANENT BMPS	ORIG. DATE: 2-24-2011
	SHEET 5 OF 17
	P.T.S.
	I.O.

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"THE BENSON 5970 RESIDENCE"

SITE DEVELOPMENT PERMIT,
COASTAL DEVELOPMENT PERMIT NO. 232790



IMPROVEMENTS

- ▲ CONTRACTOR TO FIELD VERIFY LOCATIONS OF UNDERGROUND UTILITIES. THERE ARE TWO SEWER MANHOLES LOCATED ADJACENT TO ONE ANOTHER ON CAMINO DE LA COSTA. THE CITY OF SAN DIEGO SEWER PLAN SHOWS SEWER FORCE MAIN ON THE SOUTH SIDE OF THE ROAD. THIS ALSO NEEDS TO BE FIELD VERIFIED.
- ▲ 2" WATER SERVICE & 1" BACKFLOW PREVENTER DEVICE & GALVANIZED COVER & LOCK.
- ▲ NEW 4" SEWER LATERAL SDR 35 (PVT).
- ▲ EX WATER SERVICES TO BE KILLED AT THE MAIN.
- ▲ NEW 1" BFFD & GALVANIZED STEEL CASE & LOCK FOR IRRIGATION METER.
- ▲ EX. GUY WIRES, OVERHEAD POWER, TELEPHONE & CABLE TO BE UNDERGROUND.
- ▲ CONTRACTOR TO REPLACE EXISTING 6" CONC. SEWER MAIN WITH 6" PVC SDR 35 SEWER MAIN AS NEEDED.

LEGEND

- EXIST. RETAINING WALL
- EXIST. CONTOUR
- DIRECTION OF SLOPE
- COASTAL BLUFF
- EXIST. PCC DITCH
- RETAINING WALL-IB 222
- STEM WALL
- ABANDON IN PLACE CONCRETE SLURRY BACKFILL
- TRENCH DRAIN GRATE INLET (PVT)
- TRAFFIC LID, GALVANIZED
- EXIST. FENCE
- VEGETATED SWALE
- GRASS SWALE
- CATCH BASIN (PVT) SIZE AS NOTED
- 4" SOLID PIPE PVC SCH. 80 OR ABS (UNLESS OTHERWISE NOTED)
- 6" PVC SCH. 40 OR SDR 35
- YARD DRAIN
- 4" PVC SCH. 40 (GLUED JOINTS)
- STONE SURFACE

LEGEND

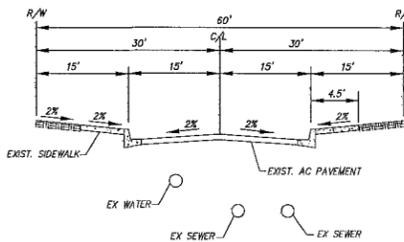
- 6" BLOCK WALL (FENCE)
- EX. FIRE HYDRANT
- EX. WATER
- EX. SEWER/MANHOLE
- EX. WATER SERVICE
- EX. SEWER LATERAL
- 2" COPPER WATER SERVICE --- SDW-100, SDW-135, WS-02, WS-03, W/ 2" WATER METER
- 4" PVC SCH. 35 --- SDS-100, SDS-102, SDS-105, SDS-108, S-4(C) SEWER LATERAL
- SEWER CLEANOUT --- SDS-102, SDS-103
- PVC SEWER MAIN --- SDS-100, SDS-101, SDS-108, S-4(C)
- FIRE HYDRANT (PVT)
- PVC WATER, CL 150
- PVC FIRE SERVICE, CL 150 (PVT)
- 1" BFFD (PVT)

NOTES

1. ALL ON SITE WATER & SEWER SERVICES ARE PRIVATE AND WILL HAVE A EMRA PROCESSED.
2. THE PRIVATE WATER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS INFORMATION ONLY. A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.
3. ALL PLANS FOR PRIVATE FIRE SPRINKLER SERVICES MUST BE SUBMITTED SEPARATELY TO THE PLAN CHECK FOR APPROVAL PRIOR TO INSTALLATION. ALL PRIVATE FIRE SYSTEMS WILL BE DESIGNED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE, AND NFPA 24. PRIVATE FIRE SYSTEM MAINS AND THEIR APPURTENANCES. PLANS SHALL BE SINGLE LINE DRAWINGS SHOWING ALL OF THE APPLICABLE REQUIREMENTS OF THE CODES SPECIFIED ABOVE.
4. EX. WATER AND SEWER NEEDS TO BE LOCATED BY CONTRACTOR PRIOR TO CONSTRUCTION.

EXISTING UTILITY DRAWINGS

1. CITY DWG. NO. 15343-2, 3, 4-D
2. CITY DWG. NO. 15336-2, 3-D
3. CITY DWG. NO. 1530-D



INTERIM-FOR REVIEW ONLY

ENGINEER OF WORK

CEA ENGINEERING
6359 WICKERS ST., STE. C
SAN DIEGO, CA. 92111
PH. (858) 277-0441



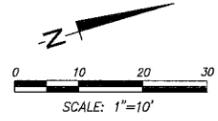
I, ALLAN COOPER DATE: 05-30-13
R.C.E. 16685 EXP. 05-30-13



SITE DEVELOPMENT/COASTAL DEVELOPMENT PERMIT NO. 232790

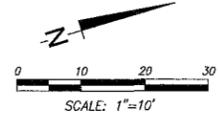
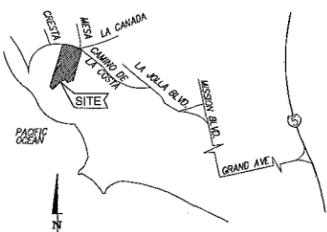
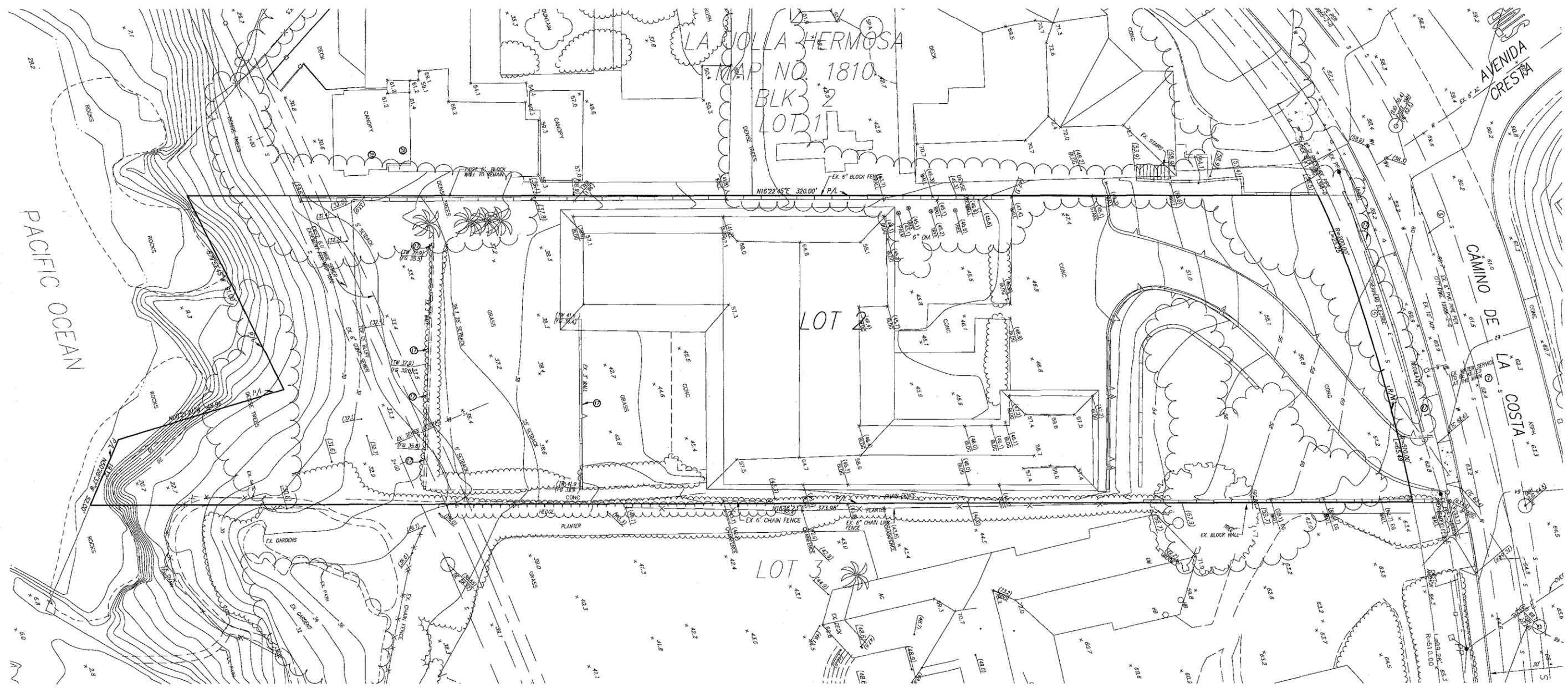
PREPARED BY: CEA ENGINEERING
ADDRESS: 6359 WICKERS ST., STE. C SAN DIEGO, CA. 92111
PHONE NO. (858) 277-0441
PROJECT ADDRESS: 5970 CAMINO DE LA COSTA LA JOLLA, CA 92037
PROJECT NAME: "THE BENSON 5970 RESIDENCE"
SHEET TITLE: UTILITY PLAN

REVISION 1:	4-28-2011
REVISION 2:	6-20-2011
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REVISION 5:	
REVISION 6:	
REVISION 7:	
REVISION 8:	
REVISION 9:	
REVISION 10:	
ORIG. DATE:	2-24-2011
SHEET 6 OF 17	
P.T.S.	
I.O.	



"THE BENSON 5970 RESIDENCE"

SITE DEVELOPMENT PERMIT,
COASTAL DEVELOPMENT PERMIT NO. 232790



LEGEND

PROPERTY BOUNDARY	---	800
EXIST. CONTOUR	---	810
APPROXIMATE CONTOUR	---	(800.5)
EXIST. SPOT ELEVATION	*	(800.5)
EXIST. CHAINLINK FENCE	x-x	
EXIST. TREES	(tree symbol)	
EXIST. RETAINING WALL	(wall symbol)	
EXIST. TRAFFIC SIGN	(sign symbol)	
FOUND MONUMENTS	(dot symbol)	
DEMOLITION OF EXIST. WALL	(circle with slash symbol)	

DEFINITIONS

WM	WATER MAIN
WM	WATER METER
P/A	PROPERTY LINE
FL	FLOW LINE
EM	ELECTRIC METER
ACP	ASBESTOS CONCRETE PIPE
GM	GAS METER
GV	GAS VALVE
EP	EDGE OF PAVEMENT
EG	EXISTING GROUND
TB	TOP OF BEAM
TBM	TEMPORARY BENCHMARK
TS	TOP OF SLOPE
SODD	STORM DRAIN CLEAN OUT
DI	CAST IRON
SMH	SEWER MANHOLE
FH	FIRE HYDRANT
FP	FIRE PLACE

LEGAL DESCRIPTION
LOT 2, BLOCK 2, LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1924, EXCEPTING HEREFROM ANY PORTION LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.

APN
357-220-02

AERIAL PHOTOGRAPHY
PHOTO GEOMETRIC CORPORATION
1101 EAST MAIN STREET, SUITE 102
ES CALVA, CA 92027-7150
FLOWN ON 4-13-06
DATUM M.S.L.

BENCHMARK
LOCATION: INTERSECTION OF CAMINO DE LA COSTA AND VISTA DE LA MESA, NEP.
ELEV. 71.645 FT. M.S.L.

REFERENCE MAPS
MAP 1810, PM 3750, OR 5902

TITLE REPORT
TITLE REPORT PREPARED BY: ORDER NO. DATED PHONE: SEE TITLE REPORT FOR COVENANTS AND AGREEMENTS OF RECORD. ASSESSOR PARCEL NO. 357-220-02 AREA= AC ()

CITY OF SAN DIEGO REFERENCE DRAWINGS
5175-D 19855-2-D, 19855-3-D, 19855-5-D 1368-D 1987-D 13210-10-D 13210-12-D

EASEMENTS: PRELIMINARY TITLE REPORT
SEWER EASEMENT PER MAP 1810

NOTES
1. NO BOUNDARY SURVEY WAS PERFORMED. BOUNDARY WAS PLOTTED PER MAP 1810.
2. EXISTING UTILITIES WERE PLOTTED BY VISUAL OBSERVATION OF SURFACE MARKINGS OR CITY OF SAN DIEGO DRAWINGS.
3. CONTRACTOR TO FIELD LOCATE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

ENGINEER OF WORK
CEA ENGINEERING
8309 VICKERS ST., STE. C
SAN DIEGO, CA 92111
PH. (619) 277-0441

T. ALAN COOPER DATE R.C.E. 19885 EXP. 06-30-13



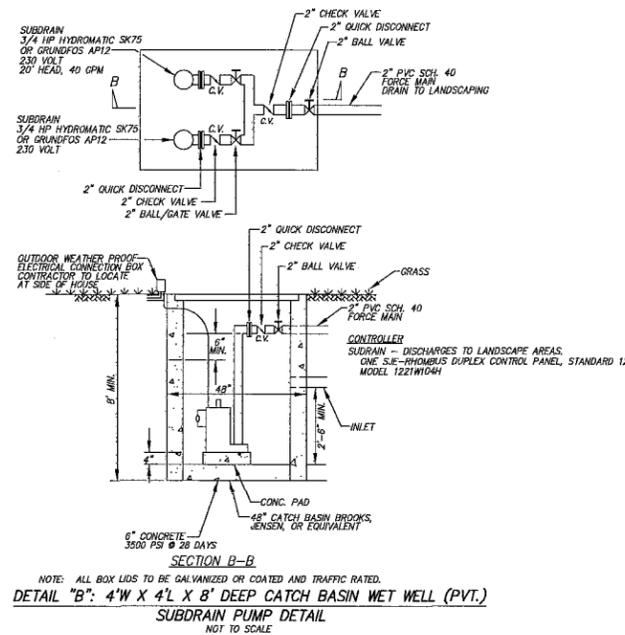
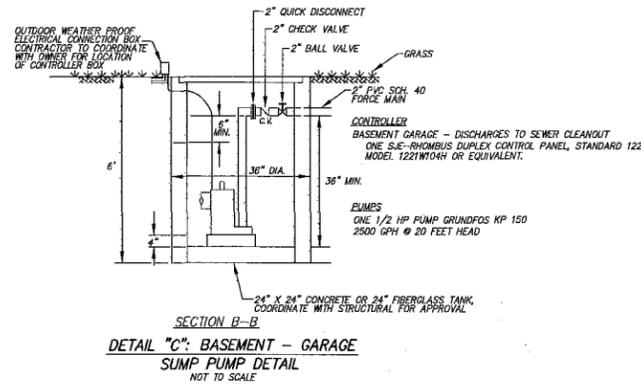
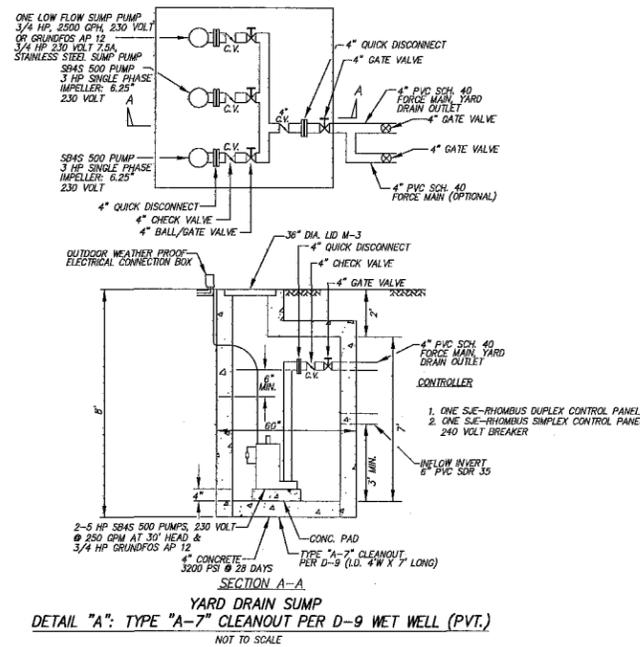
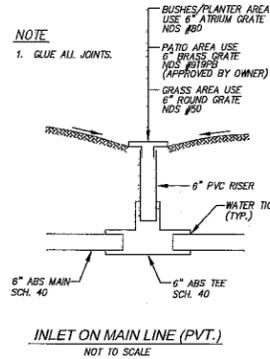
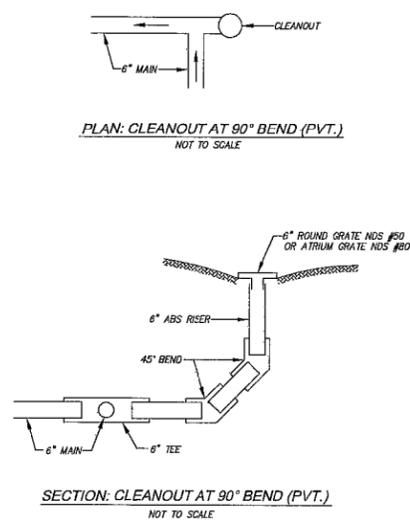
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SITE DEVELOPMENT/COASTAL DEVELOPMENT PERMIT NO. 232790

PREPARED BY: NAME: CEA ENGINEERING	REVISION 1: 4-28-2011
ADDRESS: 8309 VICKERS ST., STE. C SAN DIEGO, CA 92111	REVISION 2: 6-20-2011
PHONE NO. (619) 277-0441	REVISION 3: 3-6-2012
PROJECT ADDRESS: 5970 CAMINO DE LA COSTA LA JOLLA, CA 92037	REVISION 4: 8-8-2012
PROJECT NAME: "THE BENSON 5970 RESIDENCE"	REVISION 5: _____
	REVISION 6: _____
	REVISION 7: _____
	REVISION 8: _____
	REVISION 9: _____
	REVISION 10: _____
SHEET TITLE: TOPOGRAPHY MAP	ORIG. DATE: 2-24-2011
	SHEET 7 OF 17
	P.T.S. _____
	I.O. _____

"THE BENSON 5970 RESIDENCE"

SITE DEVELOPMENT PERMIT,
COASTAL DEVELOPMENT PERMIT NO. 232790



GENERAL NOTES

1. DRAINAGE SWALES WILL NOT JUST BE REMOVED. THEY MAY BE RELOCATED OR REPLACED WITH A YARD DRAIN.
2. YARD DRAIN SYSTEM PREPARED BY COOPER ENGINEERING ASSOCIATES
3. CONTRACTOR TO VERIFY SPOT ELEVATIONS AT ALL DOOR THRESHOLDS PRIOR TO CONSTRUCTION. ALL DOOR THRESHOLDS YARD DRAIN SYSTEM WILL HAVE A MIN. OF 2% SLOPE AWAY FROM DOOR TO PREVENT WATER FROM ENTERING DOORS.
4. ADJUST GRADE AT PROPERTY LINE TO PREVENT DRAINAGE FROM CROSSING ONTO ADJACENT PROPERTY.
5. DIRECT ALL DRAINAGE AWAY FROM DOORS AND BUILDINGS.

YARD DRAIN NOTES (PRIVATE)

1. MAINTENANCE/CLEANING/REPAIR
 - A. CATCH BASINS, YARD DRAINS, AND PUMPS WILL BE MAINTAINED AND CLEANED OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS A MINIMUM OF EVERY TWO (2) MONTHS. ALWAYS PERFORM ADDITIONAL FLUSHING SYSTEM MAINTENANCE A MINIMUM OF 5 DAYS PRIOR TO A RAIN EVENT.
 - B. FLUSH OUT THE PRESSURE/FORCE MAIN OUTLET A MINIMUM OF FOUR(4) TIMES A YEAR. FLUSH YARD SYSTEM AS NECESSARY TO PREVENT CLOGGING.
 - C. REFER TO SUMP PUMP MANUFACTURER'S INFORMATION FOR CLEANING AND MAINTENANCE OF SUMP PUMPS.
 - D. LANDSCAPING WILL BE MAINTAINED TO PREVENT BLOCKAGE OR COVERAGE OF DESLTING CATCH BASINS.
2. ALL YARD DRAINS WILL HAVE A MINIMUM OF 1% SLOPE.
3. ATRIUM GRATES SHOULD BE USED IN NON-PAVED AREAS. LANDSCAPING AND BUSHES ARE TO BE KEPT AWAY FROM INLETS TO PREVENT CLOGGING.
4. ALL JOINTS WILL BE GLUED/WATER TIGHT TO PREVENT SYSTEM FROM CLOGGING.

DUPLEX RESIDENTIAL STORM WATER SYSTEM (PRIVATE)

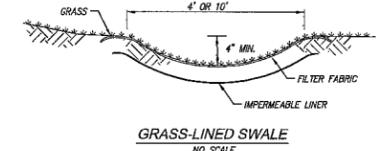
1. DUPLEX RESIDENTIAL STORM WATER SYSTEM TO BE PROVIDED BY BARRETT ENGINEERED PUMPS (PHONE: 619-232-7887), OR PROVIDED BY OWNER, AND INCLUDE THE FOLLOWING:
 - A. TWO HYDRAMATIC SB45 500 SUBMERSIBLE PUMP WITH 3 HP, 1750 RPM, 230V, 1 PHASE MOTOR AT 0-90 GPM AT TDH=34" OR EQUIVALENT, AND STAINLESS STEEL IMPELLERS. ONE LOW FLOW SUMP PUMP 25 GPM, 230 VOLT AT 34 FEET HEAD.
 - B. THREE EACH S.E.-RHOMBUS DUPLEX, ALTERNATING CONTROL PANEL WITH HIGH WATER ALARM LIGHT AND HORN. INCLUDES 3 FLOATS SWITCHES, FLOAT BRACKET AND DUPLEX JUNCTION BOX, TWO 240 VOLT BREAKERS. ONE S.E. RHOMBUS SIMPLEX CONTROL PANEL, ONE 240 VOLT BREAKER.
 - C. EACH PUMP SHALL BE RATED FOR A MINIMUM OF 280 GPM AT 33' OF HEAD.
 - D. PUMPS SHALL BE RATED FOR INTERMITTENT SERVICE. DURING A STORM EVENT BOTH PUMPS WILL BE UTILIZED.
 - E. POWER SUPPLY SHALL BE 240 VOLT AND ELECTRICAL SHALL BE INSTALLED BY A LICENSED ELECTRICIAN, AND SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE.
 - F. OPERATION OF TWO PUMPS AT THE RATED FLOW WILL HANDLE A PEAK FLOW OF OVER 80 GPM.
 - G. SEE OWNER/ARCHITECT FOR LOCATION OF CONTROL PANEL AND PUMP ALARMS.

MAINTENANCE AND INSPECTION OF PERMANENT BMP'S

1. DESLTING CATCH BASINS, WET WELLS, PUMPING SYSTEMS, SIDEWALK UNDERDRAINS, RIP-RAFF, AND OTHER EROSION CONTROL MEASURES WILL BE MAINTAINED AND CLEANED BY THE INDIVIDUAL LOT OWNER OF EACH LOT. CLEANING WILL INCLUDE THE REMOVAL OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS. SYSTEMS WILL BE FLUSHED AND CLEANED A MINIMUM OF ONCE EVERY 2 MONTHS DURING THE DRY SEASON AND ONCE EVERY 24 HOURS IMMEDIATELY BEFORE, DURING, AND IMMEDIATELY AFTER A RAIN EVENT.
2. LANDSCAPING WILL BE INSPECTED A MINIMUM OF ONCE EVERY MONTH DURING THE DRY SEASON AND ALWAYS IMMEDIATELY BEFORE AND AFTER A RAIN EVENT. LANDSCAPING WILL BE REPAIRED/REPLACED AS NECESSARY. ALL EXPOSED EARTH SURFACES WILL BE MULCHED, HYDROSEDED, OR STRAW MATTED TO MINIMIZE EROSION.
3. THE INDIVIDUAL LOT OWNER IS RESPONSIBLE FOR REMOVING ALL POLLUTANTS, TRASH, SILT, AND DEBRIS TO A LEGAL DUMP SITE.
4. THE INDIVIDUAL LOT OWNER TAKES FULL RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF STORM WATER PUMPING SYSTEM.
5. MAINTENANCE OF SUMP PUMP SYSTEMS CAN BE PERFORMED BY BARRETT ENGINEERED PUMPS (619) 232-7887 OR MARTIN PLUMBING (858) 715-0850 OR ACAD PUMP SERVICE (858) 748-5050.

EMERGENCY BACKUP POWER FOR STORM PUMP SYSTEM MINIMUM REQUIREMENTS

- OPTION 1. ELECTRIC SYSTEM WILL INCLUDE QUICK DISCONNECT BOX IN LINE WITH PUMP SYSTEM TO ALLOW CONNECTION OF AN EMERGENCY GENERATOR.
- OPTION 2. NATURAL GAS EMERGENCY GENERATOR SYSTEM.



INTERIM-FOR REVIEW ONLY

SITE DEVELOPMENT/COASTAL DEVELOPMENT PERMIT NO. 232790

ENGINEER OF WORK

CEA ENGINEERING
6589 WICKERS ST., STE. C
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PH. (858) 277-0441

T. ALAN COOPER DATE: 6-3-2012
P.E. 19985 EXP. 08-30-13



PREPARED BY: NAME: CEA ENGINEERING	REVISION 1: _____
ADDRESS: 6589 WICKERS ST., STE. C SAN DIEGO, CA. 92111	REVISION 2: _____
PHONE NO. (858) 277-0441	REVISION 3: _____
PROJECT ADDRESS: 5970 CAMINO DE LA COSTA LA JOLLA, CA. 92037	REVISION 4: _____
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	REVISION 6: _____
	REVISION 7: _____
	REVISION 8: _____
	REVISION 9: _____
	REVISION 10: _____

ORIG. DATE: 6-3-2012
SHEET TITLE: SUMP PUMP & DETAILS
SHEET 8 OF 17
P.T.S. _____
I.O. _____

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