



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: March 20, 2013                      REPORT NO. HO 13-016

ATTENTION: Hearing Officer

SUBJECT: SPRINT TRINITY UNITED LTE  
PTS PROJECT NUMBER: 253791

LOCATION: 3030 Thorn Street, San Diego, CA 92104

APPLICANT: Tim Henion

### SUMMARY

Issue(s): Should the Hearing Officer approve modifications to an existing Wireless Communication Facility located at 3030 Thorn Street within the North Park Community planning area?

Staff Recommendation(s) - APPROVE Conditional Use Permit No. 1078263.

Community Planning Group Recommendation – On March 20, 2012, the North Park Planning Committee voted 8-0-0 to support the proposed Sprint Trinity United LTE project (Attachment 12).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 22, 2013, and the opportunity to appeal that determination ended February 5, 2013 (Attachment 7).

### BACKGROUND

Sprint is proposing to modify an existing Wireless Communication Facility (WCF) at 3030 Thorn Street in the RS-1-7 zone of the North Park Community Planning area. Sprint was originally approved on May 25, 2000 to install a total of nine façade mounted antennas on the existing bell tower and a 151-square foot equipment area pursuant to Permit No. 99-0923-24. There are a total of three WCF carriers located on this church property (Sprint, T-Mobile and Verizon). The property is surrounded completely by residential uses (Attachment 1). The primary intended coverage objective is the residential use and for commuters on 30<sup>th</sup> Street.

DISCUSSION

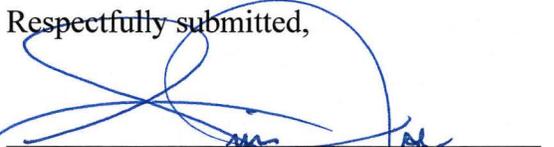
The proposed modification reduces the total amount of antennas from three to two per sector, for a total of six antennas. Each antenna is to be replaced to support Sprint's 4g network and concealed inside a Fiberglass Reinforced Panel (FRP) screen box, designed to appear as columns on the existing bell tower. The FRP box and the mounting apparatus have been designed to extend no more than 13-inches in depth and 15-inches in width. The existing Sprint cable tray would be rerouted to the interior of the bell tower where the Remote Radio Heads (RRH) will also be located. The equipment associated with this WCF will continue to operate at its current location with the addition of one fiber cabinet and one fiber junction box (Attachment). Since the property is zoned RS-1-7 and the antennas will be located less than 100' from a property line that contain a single family residence; the WCF requires the approval of a Process 3 Conditional Use Permit (CUP) in accordance with Land Development Code (LDC) Section 141.0420(e)(1). This is a Hearing Officer decision, appealable to Planning Commission.

The combination of reducing the amount of antennas, concealing the antennas within FRP columns, and relocating the cable tray to the interior of the bell tower would significantly improve the appearance of the existing bell tower. Each of these changes complies with LDC Section 141.0420 and the WCF Guidelines. Therefore, the proposed WCF has been determined to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the Wireless Communication Facilities Regulations Section 141.0420 and the RS-1-7 zone. As designed the WCF has been determined to be consistent with the General Plan and the North Park Community Plan. Staff recommends that the Hearing Officer approve CUP No. 1078263.

ALTERNATIVE

1. **Approve** Conditional Use Permit No. 1078263, **with modifications.**
2. **Deny** Conditional Use Permit No. 1078263, **if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state of local zoning law.**

Respectfully submitted,



Simon Tse, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map

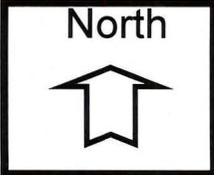
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Plans
9. Photosimulations
10. Site Photos
11. Copy of Recorded (existing) Permit(s)
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement
14. Project Chronology
15. Telecom Justification Letter
16. Coverage Map
17. Noticing of Hearing Officer

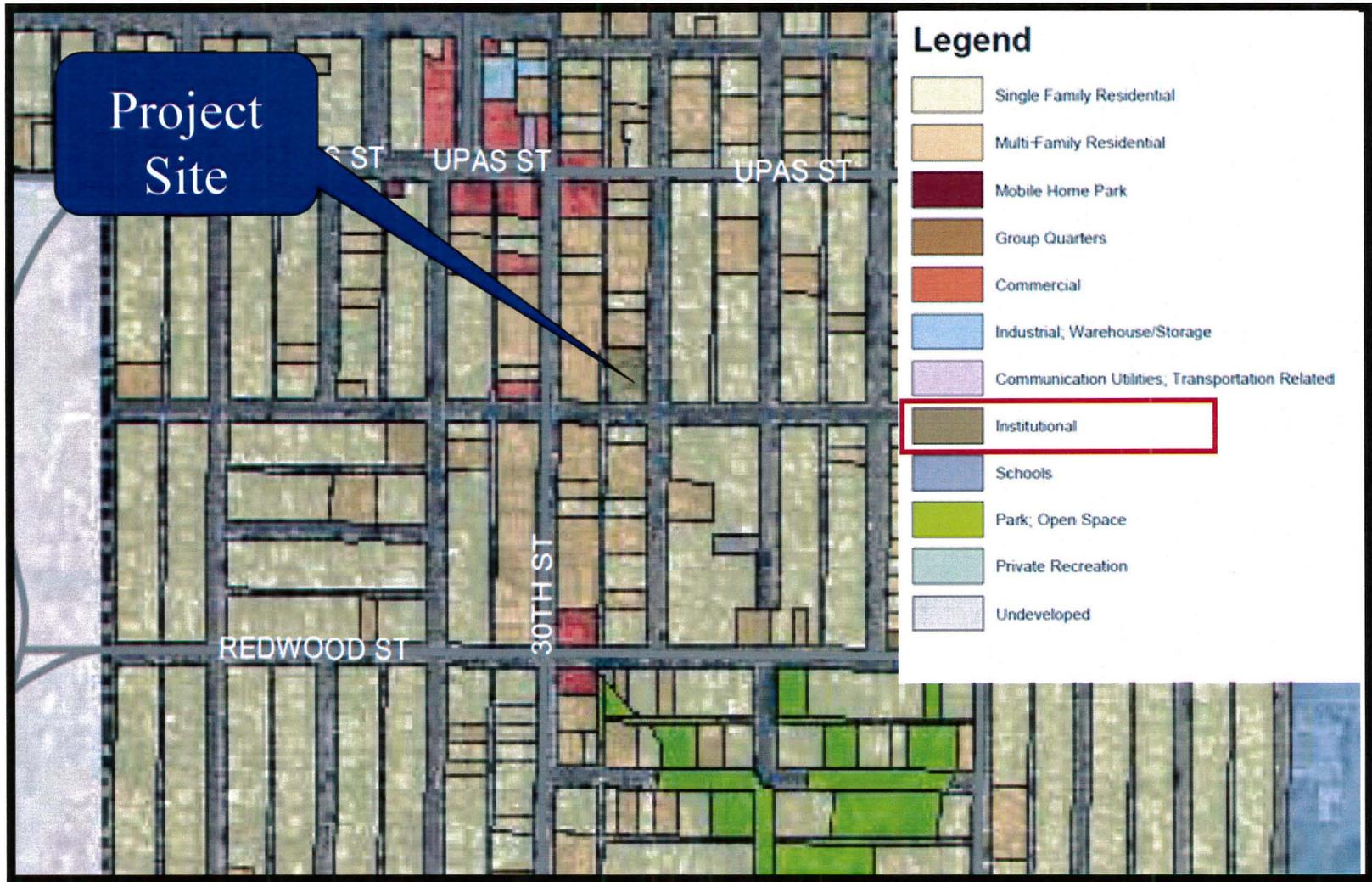
Rev 1/25/11 hmd



# Aerial Photo

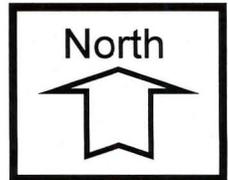
Sprint Trinity United LTE- Project No. 253791  
3030 Thorn Street, San Diego, CA 92104

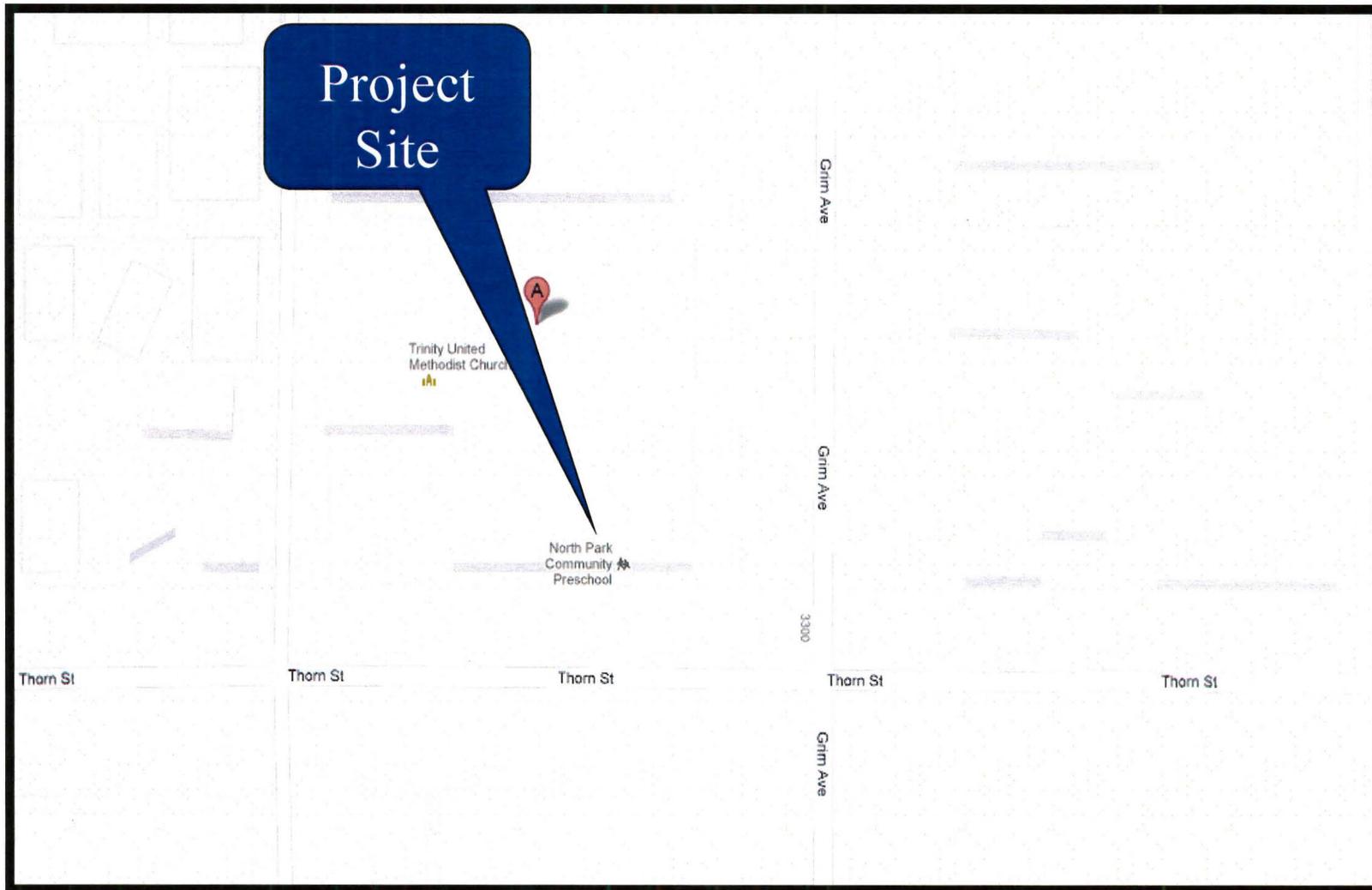




## Community Land Use Map (North Park)

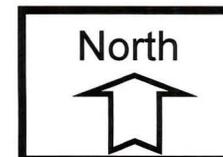
Sprint Trinity United LTE- Project No. 253791  
 3030 Thorn Street, San Diego, CA 92104





## Project Location Map

Sprint Trinity United LTE- Project No. 253791  
3030 Thorn Street, San Diego, CA 92104



PROJECT DATA SHEET		
<b>PROJECT NAME:</b>	Sprint Trinity United LTE	
<b>PROJECT DESCRIPTION:</b>	A modification to an existing Sprint Wireless Communication Facility (WCF) located at 3030 Thorn Street. This project consists of six replacement LTE antennas concealed inside a Fiberglass Reinforced Panel (FRP) screen box, designed to appear as columns on the existing bell tower. The equipment associated with this WCF will continue to operate at its current location with the addition of one fiber cabinet and one fiber junction box. As designed, the project requires a Conditional Use Permit, Process 3, Hearing Officer decision.	
<b>COMMUNITY PLAN AREA:</b>	North Park	
<b>DISCRETIONARY ACTIONS:</b>	Conditional Use Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Institutional	
<b>ZONE: RS-1-7</b>		
<b><u>Requirements:</u></b>		
<b><u>Proposed:</u></b>		
<b>HEIGHT LIMIT:</b> 30-feet		
<b>HEIGHT LIMIT:</b> No change		
<b>FRONT SETBACK:</b> 15-feet		
<b>FRONT SETBACK:</b> No change		
<b>SIDE SETBACK:</b> 13-feet		
<b>SIDE SETBACK:</b> No change		
<b>STREETSIDE SETBACK:</b> 15-feet		
<b>STREETSIDE SETBACK:</b> No change		
<b>REAR SETBACK:</b> 12-feet		
<b>REAR SETBACK:</b> No change		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential – RS-1-7	Residential
<b>SOUTH:</b>	Residential – RS-1-7	Residential
<b>EAST:</b>	Residential – RS-1-7	Residential
<b>WEST:</b>	Residential – RS-1-7	Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None with this action	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On March 20, 2012, the North Park Planning Committee voted to support the Sprint WCF with a vote of 8-0-0. (Attachment 11).	

**HEARING OFFICER RESOLUTION NO.  
CONDITIONAL USE PERMIT NO. 1078263  
SPRINT TRINITY UNITED LTE PROJECT NO. 253791**

WHEREAS, TRINITY UNITED METHODIST CHURCH OF SAN DIEGO, Owner, and SPRINT NEXTEL CORPORATION, Permittee, filed an application with the City of San Diego for a permit to modify an existing Wireless Communication Facility (WCF) that consists of six (6) replacement Long Term Evolution (LTE) antennas installed inside Fiberglass Reinforced Panel (FRP) boxes designed to appear as columns on the existing bell tower. Two additional boxes shall be installed for design consistency. The equipment associated with this project will continue to operate at its current location with the addition of one fiber cabinet and one fiber junction box (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 1078263).

WHEREAS, the project site Trinity United Church, is located at 3030 Thorn Street in the RS-1-7 zone of the North Park Community Plan;

WHEREAS, the project site is legally described as lots 25, 26, 27, 28, 29 and 30 in block 1 of Frary Heights, according to the Map thereof No. 940, filed in the office of the County Recorder of San Diego County.

WHEREAS, on March 20, 2013, the HEARING OFFICER of the City of San Diego considered Conditional Use Permit No. 1078263 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on January 22, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the HEARING OFFICER of the City of San Diego as follows:

That the HEARING OFFICER adopts the following written Findings, dated March 20, 2013.

**FINDINGS:**

**Findings for Conditional Use Permit Approval – Section §126.0305**

**1. The proposed *development* will not adversely affect the applicable *land use plan*;**

The project site is located at 3030 Thorn Street in the RS-1-7 zone within the North Park Community Pan. The property is designated for institutional use in the community plan and is surrounded by single family residences. The project site contains a total of three (3) existing Wireless Communication Facilities (Sprint, T-Mobile, and Verizon). Sprint is proposing to modify and upgrade their WCF to support their network vision project to enhance and improve the existing voice and data services.

Sprint originally received their approval to install a WCF on May 25, 2010 for a total of nine (9) flush mounted antennas on the existing 56-foot tall bell tower pursuant to Development Permit No. 99-0923-024. The current proposal reduces the number of Sprint antennas from nine (9) to six (6) and has been designed and configured to appear as columns on the bell tower.

WCF's are allowed on premises containing non-residential uses within a Residential Zone with a Conditional Use Permit (CUP) pursuant to Land Development Code (LDC) Section 141.0420(e)(1). The community plan does not contain specific policies on WCF development; however, the General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facility is to be aesthetically pleasing and respectful of the neighborhood context. The existing visual impacts from the previous Sprint WCF design would be reduced as a result of the current antenna proposal in addition to the relocation of the existing cable tray. The equipment associated with this project will continue to operate at its current location with the addition of one fiber cabinet and one fiber junction box. No exterior changes are being proposed to the equipment area as a result of this project. The project meets all applicable regulations and policy documents. The project is consistent with the recommended land use, the purpose and intent of the design guidelines, and development standards in effect for this site per WCF regulations, the development regulations and the General Plan. Therefore, the proposed development would not adversely affect the applicable land use.

**2. The proposed *development* will not be detrimental to the public health, safety, and welfare;**

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A statement has been included on the plans indicating that the WCF complies with federal standards for radio frequency in accordance with Telecommunication Act of 1996 and subsequent amendments and any other requirements imposed by state or federal regulatory agencies. The Permittee submitted a Radio Frequency Study to ensure that the FCC standards are being met.

**3. The proposed *development* will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and**

The site is currently developed with a church and a total of three (3) WCFs on site (Sprint, T-Mobile, and Verizon). Sprint originally received their approval to install a WCF on May 25, 2010 for a total of nine (9) flush mounted antennas on the existing 56-foot tall bell tower pursuant to Development Permit No. 99-0923-024. The current proposal reduces the number of Sprint antennas from nine (9) to six (6) and has been designed and configured to appear as columns on the bell tower.

The project site is located at 3030 Thorn Street in the RS-1-7 zone within the North Park community planning area. WCFs are allowed on a premises containing a non-residential use within a Residential Zone with a CUP pursuant to LDC Section 141.0420(e)(1). The project as designed, complies with LDC Section 141.0420(g)(2) which states: "The applicant shall use all reasonable means to conceal or minimize the visual impacts of the *wireless communication*

*facilities* through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscaping, and siting solutions.

Sprint is proposing to upgrade this facility with Long Term Evolution (LTE) antennas. In an effort to improve the appearance of the existing design, Sprint is proposing to remove one antenna from each sector and conceal the remaining six replacement antennas inside FRP boxes, designed to appear as columns on the bell tower. A total of two columns will be installed on each side of the tower for design consistency. Furthermore, the existing Sprint cable tray that currently runs vertically on the side of the bell tower will be removed and relocated to the interior of the bell tower. The proposed modification as a whole is in compliance with the WCF design requirements (LDC Section 141.0420(g)) and the RS-1-7 Zone.

**4. The proposed use is appropriate at the proposed location.**

The proposed LTE upgrade at this location is essential to network operations and will continue providing voice and data services to the neighborhood and those traveling through the area. Furthermore, the LTE antennas should result in significant data speed improvements offering more wireless services to the community and those passing through. The project meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, the purpose and intent of the design guidelines and development standards in effect for this site per WCF regulations, and the General Plan. The applicant has demonstrated in their Site Justification Letter (and the associated coverage maps) that the site is necessary for their network coverage objective while providing a feasible design to comply with the WCF design guidelines and regulations. Therefore, the proposed use is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the HEARING OFFICER, CONDITIONAL USE PERMIT NO. 1078263 is hereby GRANTED by the HEARING OFFICER to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1078263, a copy of which is attached hereto and made a part hereof.

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Simon Tse  
Development Project Manager  
Development Services

Adopted on: March 20, 2013

Internal Order No. 24002044

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
CITY CLERK

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002044

**CONDITIONAL USE PERMIT NO. 1078263**  
**SPRINT TRINITY UNITED LTE PROJECT NO. 253791**  
**HEARING OFFICER**

This Conditional Use Permit No. 1078263 is granted by the Hearing Officer of the City of San Diego to **TRINITY UNITED METHODIST CHURCH OF SAN DIEGO**, Owner, and **SPRINT NEXTEL CORPORATION**, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0301, 131.0401, and 141.0420. This site is located at 3030 Thorn Street in the RS-1-7 zone of the North Park Community Plan. The project site is legally described as lots 25, 26, 27, 28, 29 and 30 in block 1 of Frary Heights, according to the Map thereof No. 940, filed in the office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 20, 2013, on file in the Development Services Department.

The project shall include:

- a. A modification to an existing WCF that consists of six (6) antennas installed behind Fiberglass Reinforced Panel (FRP) materials designed to appear as columns (total of 8), painted and textured to match the existing bell tower. The equipment associated with this project will continue to operate at its current location with the addition of one fiber cabinet and one fiber junction box as illustrated in the approved 'Exhibit A' dated March 20, 2013.
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning

regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. **This permit must be utilized by April 3, 2016.**
2. This Conditional Use Permit [CUP] and corresponding use of this site shall **expire on March 20, 2023**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

14. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
15. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

**PLANNING/DESIGN REQUIREMENTS:**

16. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
17. All facilities and related equipment shall be maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
18. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
19. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the 'Exhibit A.'
20. No overhead cabling is allowed for this project.
21. Exposed mounting apparatus shall be removed and shall not remain on the existing tower façade absent antennas.
22. Owner/Permittee shall not cause or allow the antennas located on the WCF to be different sizes (length, width, or height) than as shown on the stamped approved plans and as listed here:
  - a. Six (6) antennas with the following dimensions: 72" by 11.8" by 7.9"
23. A total of six (6) Remote Radio Heads (RRHs) shall be installed inside the existing tower, not visible to the public.
24. The FRP screen box shall be 8-feet in length, 13-inches in depth and 15-inches in width consistent with the approved 'Exhibit A'.

25. A total of eight (8) FRP box shall be installed (Two (2) FRP boxes per side).
26. All conduits and coaxial cables connected to the antenna shall be routed through the wall and concealed within the proposed FRP box.
27. The Permittee is responsible for repairing, restoring, and repainting each sector of the tower after the removal of each antenna associated with this approval to the satisfaction of the Development Services Department.
28. The existing cable tray shall be removed and relocated to the interior of the bell tower to the satisfaction of the Development Services Department.
29. The final product shall conform to the stamp approved plans and approved photosimulations prior to final inspection approval.
30. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
31. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA to the satisfaction of the Development Services Department.

**INFORMATION ONLY:**

- Please note that a **Telecom Planning Inspection Issue** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 687-5984 to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 20, 2013 and Approved Resolution Number (Pending Hearing).

Conditional Use Permit No. 1078263  
March 20, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Simon Tse  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**TRINITY UNITED METHODIST CHURCH OF SAN DIEGO  
Owner**

By \_\_\_\_\_  
Walter Moredock  
Administrative Board Chairman

**SPRINT NEXTEL CORPORATION  
Permittee**

By \_\_\_\_\_  
NAME:  
TITLE:

**NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.**

## NOTICE OF EXEMPTION

TO:  X  RECORDER/COUNTY CLERK  
 P.O. BOX 1750, MS A-33  
 1600 PACIFIC HWY, ROOM 260  
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES DEPARTMENT  
 1222 FIRST AVENUE, MS 501  
 SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH  
 1400 TENTH STREET, ROOM 121  
 SACRAMENTO, CA 95814

PROJECT NO.: 253791

PROJECT TITLE: **SPRINT NEXTEL THORN STREET**

PROJECT LOCATION-SPECIFIC: 3030 Thorn Street, San Diego, California 92104

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: The project proposes a Conditional Use Permit (CUP) to allow the modification of an existing Wireless Communication Facility (WCF) consisting of a total of nine (9) replacement antennas, and the continued operation of existing equipment cabinets in a 10'-9" by 14'-0" lease area located on a second floor raised platform behind a stairwell in an existing building.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Bernard Dunham (Agent), Sprint (Firm), 7990 New Salem Street  
 San Diego, CA 92126, Phone: (619) 944-9564

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);  
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));  
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))  
 CATEGORICAL EXEMPTION: CEQA EXEMPTION 15301 (EXISTING FACILITIES)  
 STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The proposed project is exempt from CEQA pursuant to Section 15301 – Which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private) involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, a CUP to allow a WCF consisting of a total of 9 replacement antennas, and the continued operation of existing equipment cabinets in a 10'-9" by 14'-0" lease area located on a second floor raised platform behind a stairwell in an existing building is a negligible expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: Rhonda Benally

TELEPHONE: (619) 446-5468

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
 YES  NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Amel. M. Alcaraz AICP / Senior Planner  
 SIGNATURE/TITLE

JANUARY 22, 2013

DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY  
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



Together with NEXTEL

NETWORK VISION MMBTS LAUNCH

TRINITY UNITED

SD34XC541

3030 THORN STREET  
SAN DIEGO, CA 92104

**DCI PACIFIC**  
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ARCHITECTURE | ENGINEERING | CONSULTING  
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Together with NEXTEL  
310 COMMERCE, SUITE 250  
IRVINE, CA 92602  
PHONE: (714) 617-9342  
FAX: (714) 368-3501

PROJECT IDENTIFICATION:

TRINITY UNITED  
SD34XC541

3030 THORN STREET  
SAN DIEGO, CA 92104  
SAN DIEGO COUNTY

CURRENT ISSUE DATE:

07/12/12

ISSUED FOR:

ZONING

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APV:
HH	BOK	DKD

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08/02/11	PLANNING COMMENTS	HN
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SHEET TITLE:  
**T1**

SHEET NUMBER:  
**T1**

ISSUE LEVEL:  
TRINITY UNITED  
SD34XC541

**DEVELOPMENT SUMMARY**

**PROJECT SCOPE OF WORK:**

ZONING FOR AN EXISTING 'SPRINT' UNMANNED TELECOMMUNICATION FACILITY (PERMIT NO.: 99-0923-24):

**SPRINT ENTITLEMENT:**

- 3 ANTENNAS PER SECTOR, 9 TOTAL.
- 1 GPS ANTENNA
- 4 EQUIPMENT CABINETS INSIDE EXISTING LEASE AREA ON A RAISED PLATFORM BEHIND STAIRWELL.

**EXISTING INSTALLATION:**

- 3 ANTENNAS PER SECTOR, 9 TOTAL.
- 1 GPS ANTENNA
- 4 EQUIPMENT CABINETS INSIDE EXISTING LEASE AREA ON A RAISED PLATFORM BEHIND STAIRWELL.

**PROPOSED MODIFICATIONS:**

- PROPOSED MODIFICATION OF SIX (6) NEW REPLACEMENT ANTENNAS TO BE SKIRTED AND EXTENSIONS ADDED TO CONTINUE TOP AND BOTTOM INTEGRATED AS COLUMNS, PAINT TO MATCH EXISTING STEEPLE.
- NO STRUCTURAL CHANGE.
- NO ELECTRICAL CHANGE.

BOXED BELOW IS A LIST OF DEVELOPMENT REGULATION DEVIATIONS, AND THE REQUIRED PERMITS/APPROVALS, N/A IF LEFT BLANK:

RENEWAL OF USE PERMIT  
(EXISTING PERMIT NO.: 99-0923-24)

**PROPERTY INFORMATION:**

LEGAL DESCRIPTION:  
LOTS 25, 26, 27, 28, 29, AND 30 IN BLOCK 1 OF FRARY HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 940 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, ON MARCH 9, 1905.

ASSESSOR PARCEL NUMBER: 453-491-26-00  
EXISTING LEASE AREA: 151 SQ. FT.

**OWNER:**

OWNER: TRINITY UNITED METHODIST CHURCH

ADDRESS: 3030 THORN STREET  
SAN DIEGO, CA 92104

CONTACT: ROHER VELASQUEZ  
PHONE: (619) 261-2592

**EXISTING WCFs ON SAME PROPERTY:**

SPRINT-NEXTEL  
VERIZON WIRELESS  
T-MOBILE

**BUILDING CODE INFORMATION:**

EXISTING BUILDING/STRUCTURE:  
OCCUPANCY = S-2  
CONSTRUCTION TYPE = V-N  
SPRINKLER SYSTEM = NONE  
(E) BLDG. CONSTRUCTED = XXXXX  
PROPOSED STRUCTURE:  
OCCUPANCY = N/A  
CONSTRUCTION TYPE = N/A  
SPRINKLER SYSTEM = N/A

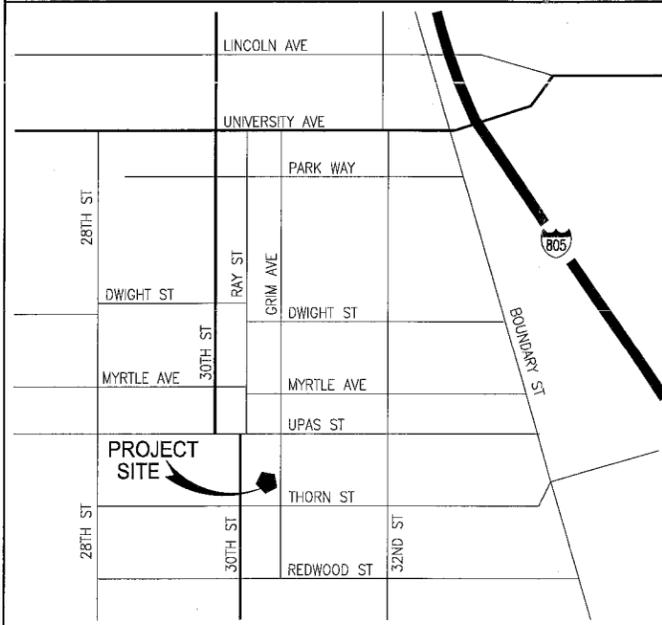
**ZONING INFORMATION:**

JURISDICTION: CITY OF SAN DIEGO  
ZONING DESIGNATION: RS-1-7  
EXISTING ZONING NO.: 99-0923-24  
LATITUDE: 32° 44' 21.76" N  
LONGITUDE: 117° 07' 42.45" W  
TOP OF (E) STRUCTURE: ±56'-0" AGL  
BASE OF STRUCTURE: 367.00' AMSL

**CODE COMPLIANCE**

- 2010 CALIFORNIA ADMINISTRATIVE CODE (CAC)
- 2010 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 (2009 EDITION IN TRENCHMENT BUILDING CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2010 CALIFORNIA ELECTRICAL CODE (2008 EDITION NATIONAL ELECTRICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2010 CALIFORNIA MECHANICAL CODE (CMC) (2009 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2010 CALIFORNIA ENERGY CODE (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)
- 2010 CALIFORNIA FIRE CODE (FC) (2009 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2010 CALIFORNIA GREEN CODE
- 2010 CALIFORNIA REFERENCES STANDARDS CODE

**VICINITY MAP**



**DRIVING DIRECTIONS**

- DEPART FROM SAN DIEGO INTERNATIONAL AIRPORT:
- START OUT GOING EAST TOWARD N HARBOR DR.
  - TURN LEFT ONTO N HARBOR DR.
  - TURN LEFT ONTO W GRAPE ST.
  - MERGE ONTO I-5 S.
  - TAKE THE PERSHING DR EXIT TOWARD B STREET.
  - MERGE ONTO PERSHING DR.
  - TURN SLIGHT RIGHT ONTO REDWOOD ST.
  - TURN LEFT ONTO 28TH ST.
  - TAKE THE 1ST RIGHT ONTO THORN ST.
  - 3030 THORN ST IS ON THE LEFT.

APPROVAL	DATE	SIGNATURE
P.M.:		
LANDLORD:		
CONST:		
S/A:		
R.F.:		
ZONING:		
A&E:		
R.F.:		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE. NOTE AS DRAWINGS ARE BEING REVIEWED

**DRAWING INDEX**

SHEET	DESCRIPTION
T1	TITLE SHEET
T2	LESSEE'S CERTIFICATE
A1	SITE PLAN
A2	ANTENNA & EQUIPMENT LAYOUT PLANS
A3	ELEVATIONS
A4	ELEVATIONS
A5	ANTENNA, RRU & MOUNTING BRACKET SPECIFICATIONS

**ABBREVIATIONS**

A/C	AIR CONDITIONING	GA	GAUGE	OC	ON CENTER
AGL	ABOVE FINISH GRADE	GALV	GALVANIZED	OD	OUTSIDE DIAMETER
APPROX	APPROXIMATELY	GC	GENERAL CONTRACTOR	(P)	PROPOSED
BLDG	BUILDING	GRND	GROUND	PLYWD	PLYWOOD
BLK	BLOCKING	GYP BD	GYPSONUM WALL BOARD	PROJ	PROJECT
CLR	CLEAR	HORZ	HORIZONTAL	PROP	PROPERTY
CONC	CONCRETE	HR	HOUR	R	RADIUS
CONST	CONSTRUCTION	HT	HEIGHT	REQ	REQUIRED
CONT	CONTINUOUS	HVAC	HEATING, VENTILATION, AIR CONDITIONING	RM	ROOM
DBL	DOUBLE	ID	INSIDE DIAMETER	RO	ROUGH OPENING
DIA	DIAMETER	IN	INCH	SHT	SHEET
DIAG	DIAGONAL	INFO	INFORMATION	SIM	SIMILAR
DN	DOWN	INSUL	INSULATION	SPEC	SPECIFICATION
DET	DETAIL	INT	INTERIOR	SF	SQUARE FOOT
DWG	DRAWING	INT	INTERIOR	SS	STAINLESS STEEL
E	EXISTING	CBC	CALIFORNIA BUILDING CODE	STL	STEEL
EA	EACH	L	LENGTH	STRUCT	STRUCTURAL
ELEV	ELEVATION	LBS	POUNDS	SUSP	SUSPENDED
ELEC	ELECTRICAL	MAX	MAXIMUM	THRU	THROUGH
EQ	EQUAL	MECH	MECHANICAL	T.O.	TOP OF
EQUIP	EQUIPMENT	MTL	METAL	TYP	TYPICAL
EXT	EXTERIOR	MFR	MANUFACTURE	UNO	UNLESS NOTED OTHERWISE
FIN	FINISH	MGR	MANAGER	VERT	VERTICAL
FLUOR	FLUORESCENT	MIN	MINIMUM	VIF	VERIFY IN FIELD
FLR	FLOOR	MISC	MISCELLANEOUS	W/	WITH
FT	FOOT	(N)	NEW	W/O	WITHOUT
		NA	NOT APPLICABLE	WP	WATER PROOF
		NIC	NOT IN CONTRACT		
		NTS	NOT TO SCALE		

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RF		
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DRAWN BY:	CHK:	APV:
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SHEET TITLE:  
**LESSEE'S CERTIFICATE**

SHEET NUMBER:  
**T2**

ISSUE LEVEL:  
TRINITY UNITED  
SD34XC541

Lessee's Certificate  
Standard Wireless Facility Project  
for Post-construction BMP's

I, we the undersigned, as lessee of a portion of the property described as  
3030 THORN STREET, SAN DIEGO, CA 92104

(Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee STEPHEN DEMARS Company Name SPRINT

(print name)

Lessee [Signature] Date 08/15/11

(signature)



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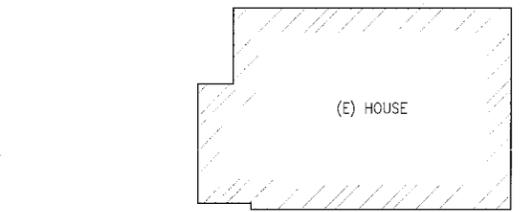
SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**A1**

ISSUE LEVEL:  
TRINITY UNITED  
SD34XC541

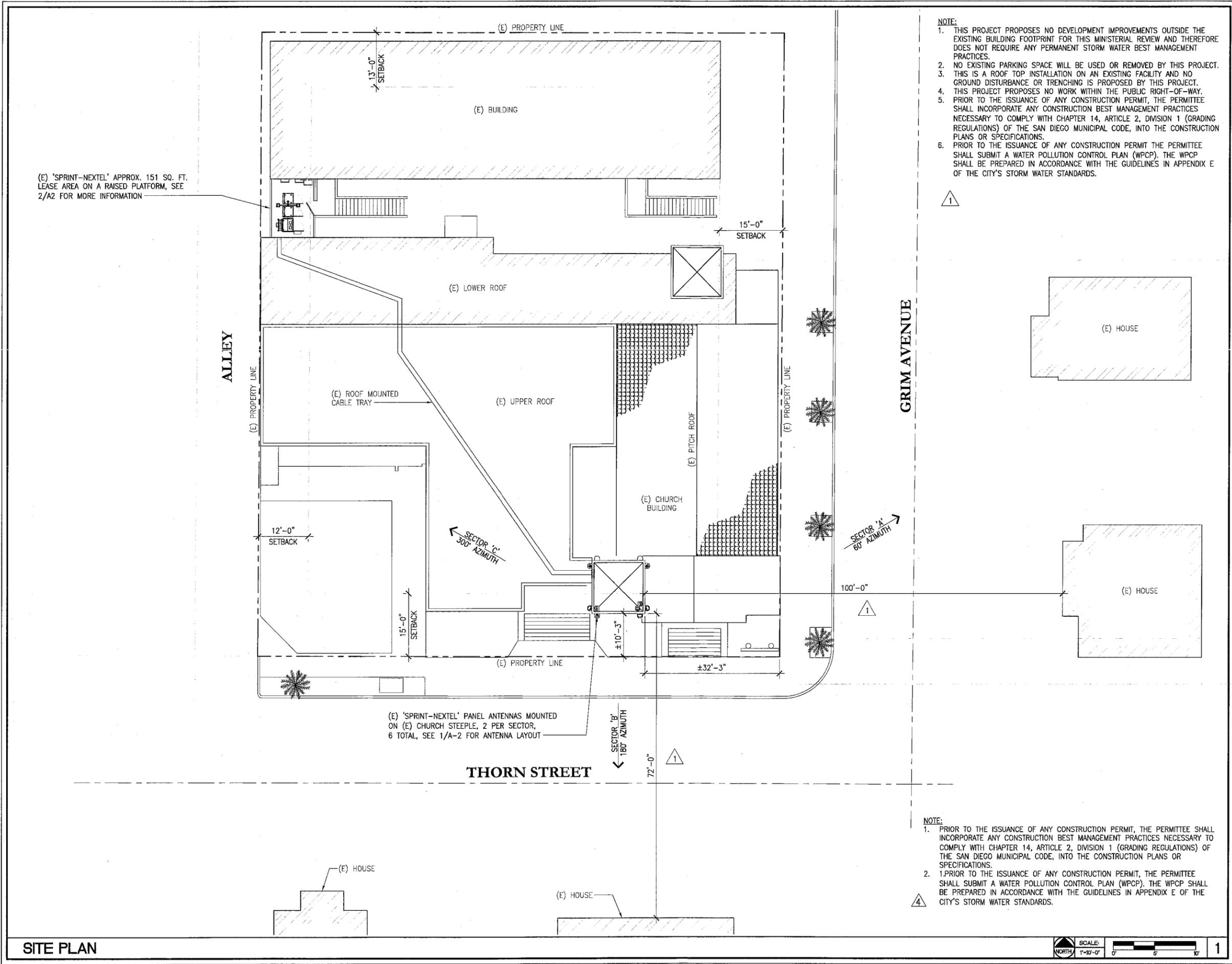
**NOTE:**

1. THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS MINISTERIAL REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.
2. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
3. THIS IS A ROOF TOP INSTALLATION ON AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT.
4. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.



**NOTE:**

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
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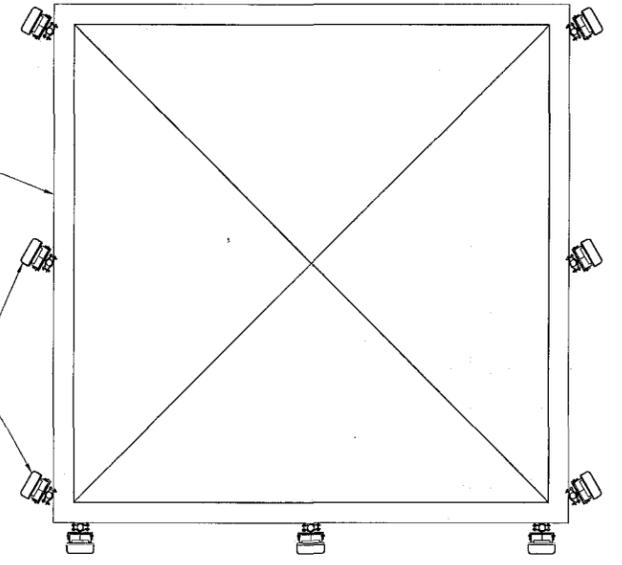


**SITE PLAN**

\*REMOVE EXISTING VACANT/UNUSED PIPE MOUNTS AND FAUX ANTENNA.

(E) CHURCH STEEPLE

(E) 'SPRINT' PANEL ANTENNAS MOUNTED ON (E) CHURCH STEEPLE, 3 PER SECTOR, 9 TOTAL



(P) 1/4" THICK SELF-REINFORCED NON R.F. SCREEN BOX WITH TOP AND BOTTOM COVER AND TEXTURES/COLOR TO MATCH (E) CHURCH STEEPLE, 2 TOTAL

(P) 'SPRINT' PANEL ANTENNAS MOUNTED ON (E) CHURCH STEEPLE, 2 PER SECTOR, 6 TOTAL, SEE 4/A2 FOR MORE INFORMATION

(P) 'SPRINT' COAX CABLE ENTRY PORT AT ROOF LEVEL

(E) CHURCH STEEPLE

(P) 'SPRINT' NV RRH, 2 PER SECTOR, 6 TOTAL, STACKED INSIDE (E) STEEPLE

(P) 1/4" THICK SELF-REINFORCED R.F. SCREEN BOX WITH TOP AND BOTTOM COVER AND TEXTURES/COLOR TO MATCH (E) CHURCH STEEPLE, 6 TOTAL

CDMA SECTOR 'C' 300° AZIMUTH

NV SECTOR 'C' 300° AZIMUTH

CDMA SECTOR 'A' 60° AZIMUTH

NV SECTOR 'A' 60° AZIMUTH

CDMA SECTOR 'B' 180° AZIMUTH

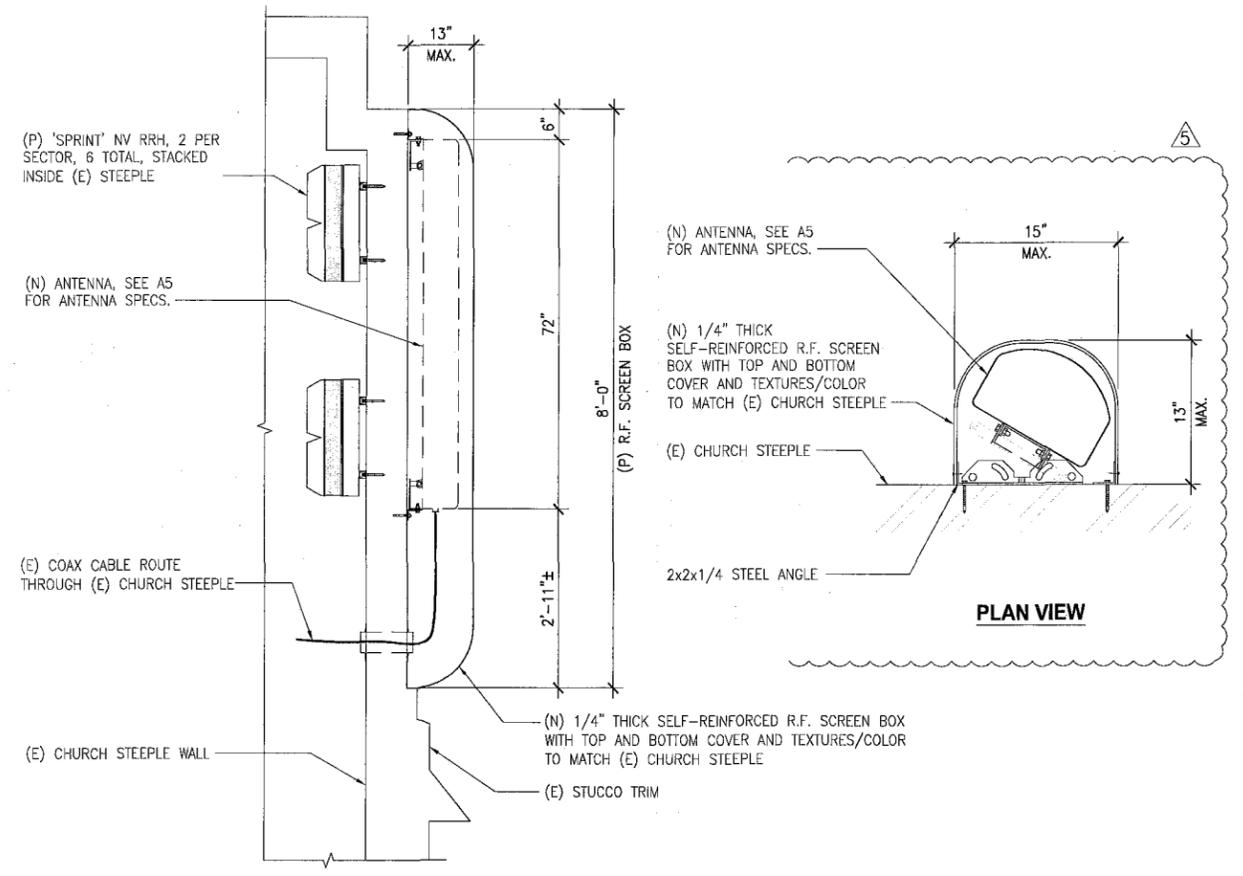
NV SECTOR 'B' 180° AZIMUTH

(E) ANTENNA LAYOUT PLAN

SCALE: 1/2"=1'-0" 3

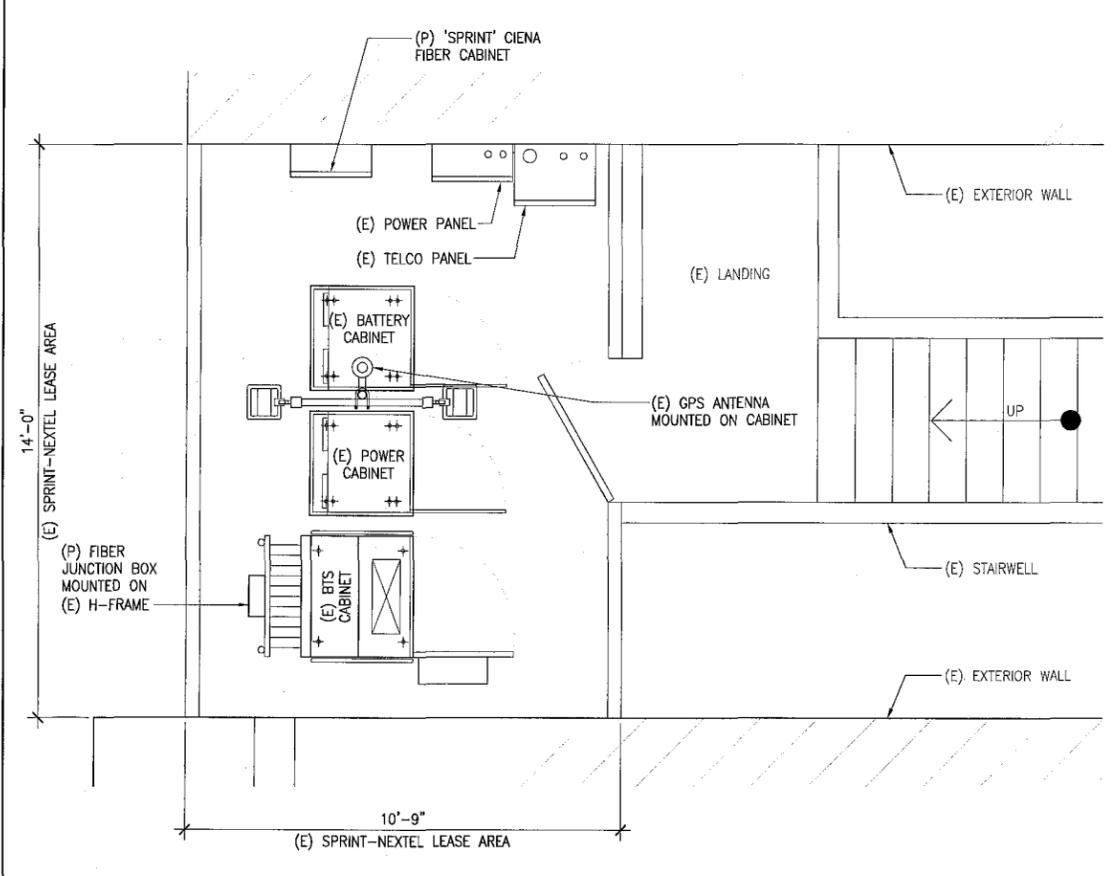
(P) ANTENNA LAYOUT PLAN

SCALE: 1/2"=1'-0" 1



ANTENNA AND SKIRT DETAIL

SCALE: NT.S. 4



EQUIPMENT LAYOUT PLAN

SCALE: 1/2"=1'-0" 2

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SHEET TITLE:  
**ANTENNA & EQUIPMENT LAYOUT PLANS**

SHEET NUMBER:  
**A2**  
 TRINITY UNITED  
 SD34XC541

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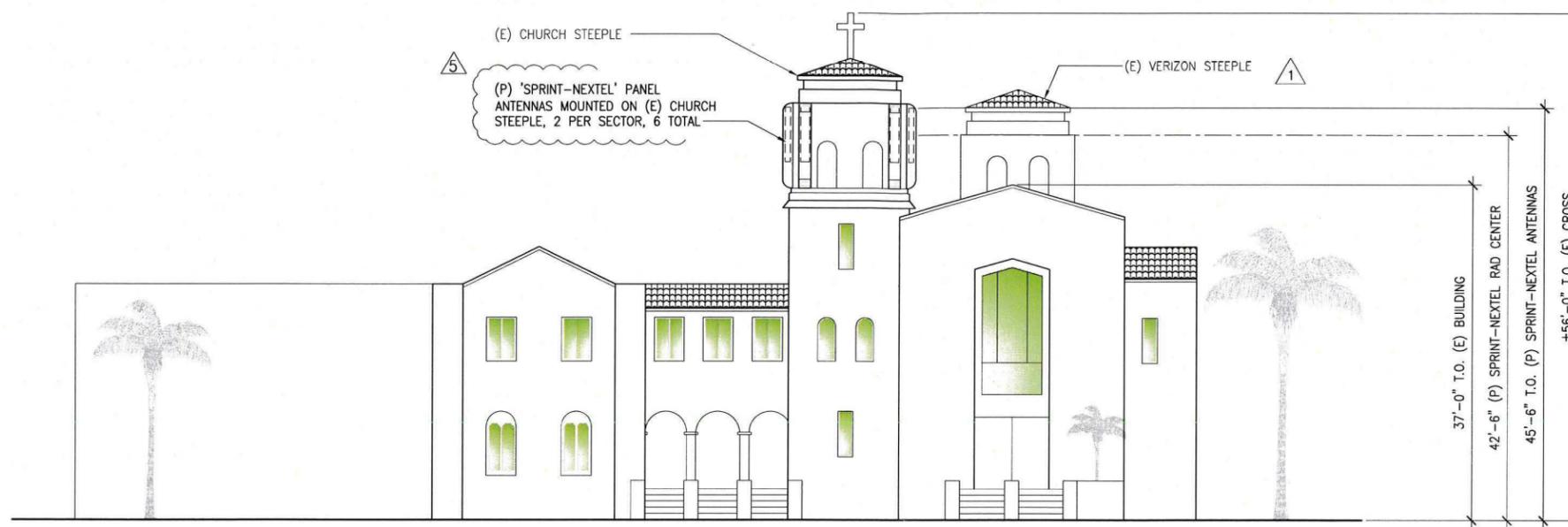
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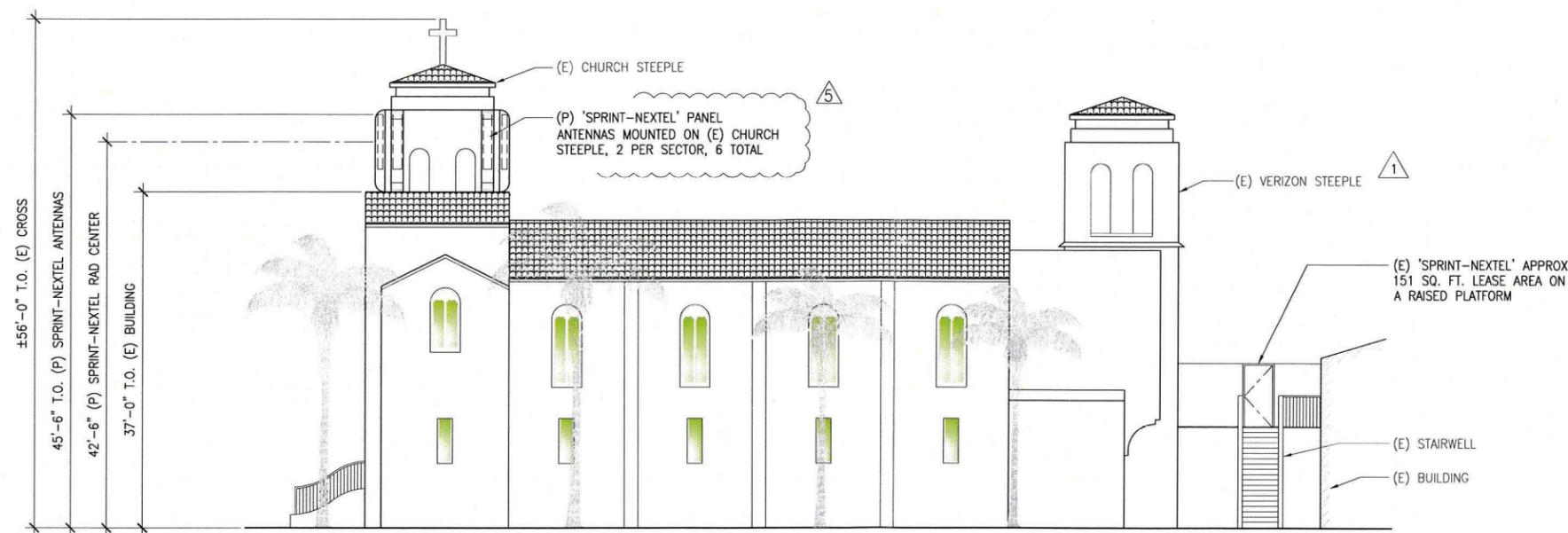
SHEET TITLE:
<b>ELEVATIONS</b>

SHEET NUMBER:	ISSUE LEVEL:
<b>A3</b>	TRINITY UNITED SD34XC541



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0" 1



**EAST ELEVATION**

SCALE: 1/8"=1'-0" 2

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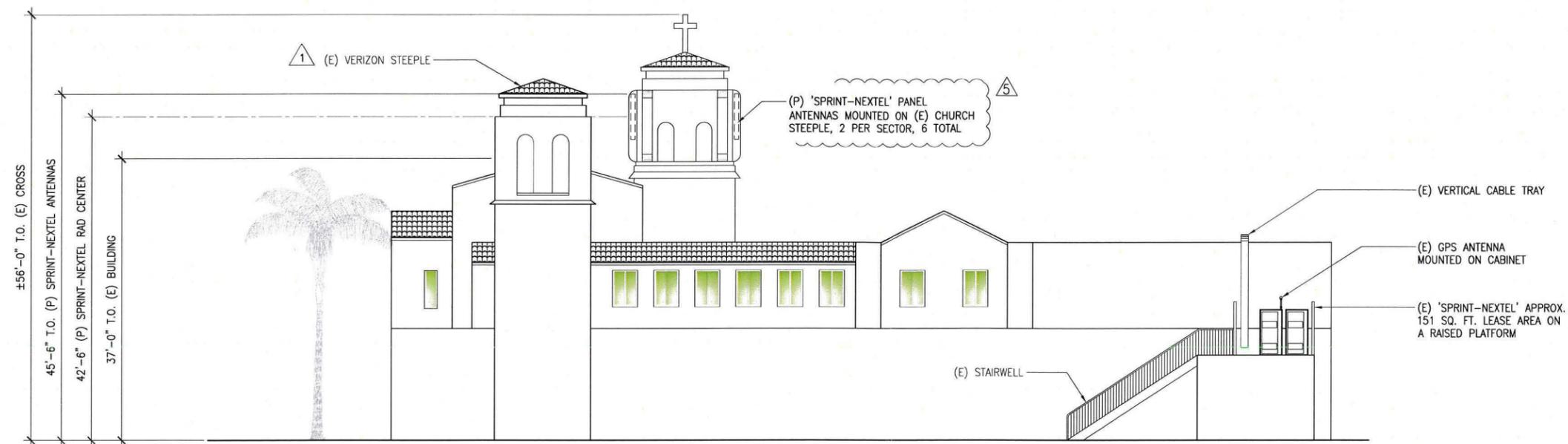
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SHEET TITLE:  
**ELEVATIONS**

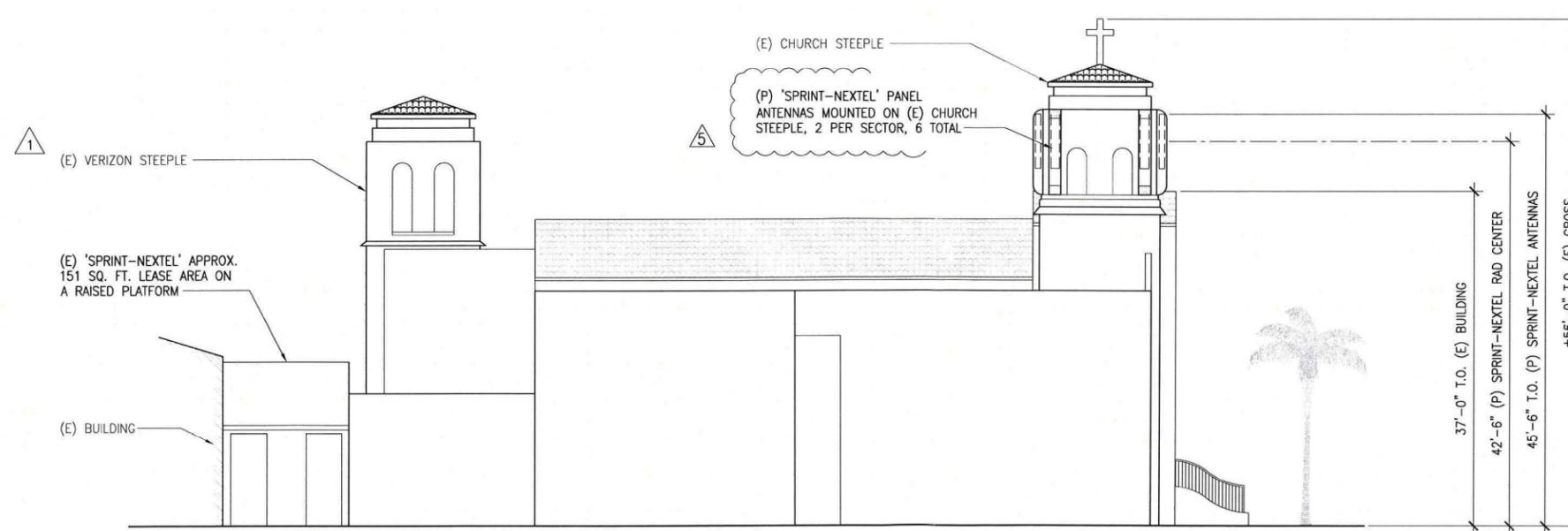
SHEET NUMBER:  
**A4**

ISSUE LEVEL:  
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**NORTH ELEVATION**

SCALE: 1/8"=1'-0" 0' 4' 8' 1



**WEST ELEVATION**

SCALE: 1/8"=1'-0" 0' 4' 8' 2

**Installation Instructions**

Bulletin 095370-000  
Revision D • March 2004 • Page 1 of 2

**Variable Azimuth Wall Mount Kit  
DB5094-AZ**



**GENERAL INFORMATION**

The DB5094-AZ Variable Azimuth Wall Mount Kit provides a 90° range of azimuth angle adjustment in 5° increments.

This wall mount is not designed for use with antennas that have connectors on the rear panel.

The DB5094-AZ is compatible to use with DB5098 and DB5099 downlink kits. Contact an Andrew representative for information or to order the DB5098 or DB5099 downlink kits.

**INSTALLATION INSTRUCTIONS**

1. Remove the factory-installed U-Brackets (Figure 2) from the back of the antenna.
2. Assemble the DB5094-AZ mounting hardware and attach to the antenna as shown in Figure 1 and Figure 3.
3. Place the antenna in the desired position against the wall and mark the locations of the mounting holes. Be sure to avoid any interference with the cable.

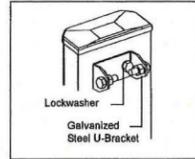


Figure 2. Factory-Installed Mounting Hardware.

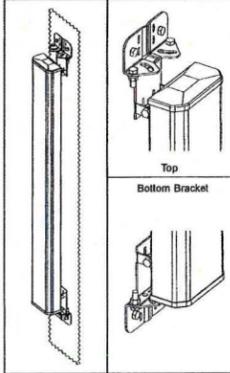


Figure 1. DB5094-AZ Variable Azimuth Wall Mount.

(continued on page 2)

**NOTICE**

The installation, maintenance, or removal of an antenna requires qualified, experienced personnel. Andrew installation instructions are written for such installation personnel. Antenna systems should be inspected once a year by qualified personnel to verify proper installation, maintenance, and condition of equipment.

Andrew disclaims any liability or responsibility for the results of improper or unsafe installation practices.



Do not install near power lines. Power lines, telephone lines, and guy wires look the same. Assume any wire or line can electrocute you.

Do not install on a wet or windy day or when lightning or thunder is in the area. Do not use metal ladders.

Wear shoes with rubber soles and heels. Wear protective clothing including a long-sleeved shirt and rubber gloves.

**DB5094-AZ Variable Azimuth Wall Mount Kit**

Andrew Corporation  
Bulletin 095370-000 • Revision D • March 2004 • Page 2 of 2

Continued from page 1

4. Securely attach the mounts to the wall using four 3/8" fasteners that are appropriate for the wall material (fasteners are not included).
5. As an option, the DB5094-AZ can be mounted to a mast using four stainless steel band clamps (not included); although, when mounting to a mast, Andrew's DB590 pipe clamps are recommended.

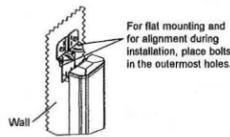


Figure 3. DB5094-AZ Bolt Placement for Mounting Flat Against the Wall.

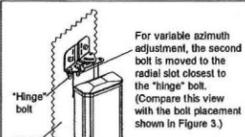


Figure 4. Bolt Placement for Adjusting Variable Azimuth.

**ADJUSTING THE DB5094-AZ**

1. To use the variable azimuth feature of the DB5094-AZ, move the appropriate outermost bolt to the radial slot adjacent to the "hinge" bolt (Figure 4).

The "hinge" bolt can be located on either the right or left side of the mount, depending upon which direction the antenna is to be positioned.

2. With the bolts loosened, swivel the antenna assembly to the desired position. The mounts have markings which measure in increments of approximately 5° each. As shown in Figure 5, these markings can be seen on the bottom bracket.
3. After adjustments have been made, securely tighten all bolts.

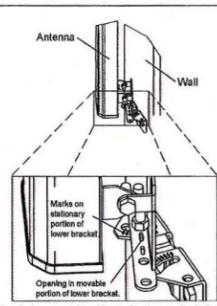


Figure 5. Aligning Azimuth by the Incremental Markings.



Andrew Corporation  
Base Station Antennas  
8530 Simmons Freeway  
Dallas, TX U.S.A. 75247

Telephone: 1-800-676-5342  
FAX (U.S.A.): 1-800-228-4706  
E-Mail: www.andrew.com

Customer Service, 24 Hour: U.S.A. • Canada • Mexico: 1-800-255-1470  
U.K.: 0800 250020  
Other Europe: +44 1582 782612

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**Product Data Sheet APXV9ERR18-C**

Trigle Band Dual Polarized Antenna, 806-1995, 80deg, 94-170dB, 1.8m, VET, 0-30deg, 0.5m AISG Cable



**Product Description**

This antenna is an ideal choice for dual band site upgrade for high traffic areas. It features 4 ports in 1900 MHz and 2 ports in 800 MHz.

**Features/Benefits**

- Variable electrical downtilt – provides enhanced precision in controlling intercell interference. The tilt is fully adjustable 0-30 deg.
- High suppression of all upper side lobes (Typically < -18 dB)
- Independent control of electrical downtilt for 800 and PCS bands
- Low profile for low visual impact
- Quick and easy to adjust
- High front-to-back ratio
- AISG compatible remote tilt available – Add suffix -A20 to the model number



**Technical Specifications**

Electrical Specifications	806-865	1850-1995	1850-1995
Frequency Range, MHz	806-865	1850-1995	1850-1995
Horizontal Beamwidth, deg	80	80	80
Vertical Beamwidth, deg	11.5	3.5	3.5
Surface of Downtilt, deg	0-10	0-10	0-10
Gain, dB (dBi)	14.1 (1.9)	17.1 (4.9)	17.1 (4.9)
1st Upper Side Lobe Suppression, dB, typ @ 10° & 10°	-23	-23	-23
Front-to-Back Ratio, dB @ 180° x 10°	>30	>27	>27
Isolation	Isolation: 40 dB @ 10°	Isolation: 40 dB @ 10°	Isolation: 40 dB @ 10°
Return Loss, dB	>15	>15	>15
Isolation between ports, dB	>20	>20	>20
2nd Order IMD @ 2 x 20 dBm @ 2 min. duration	>20	>20	>20
Loss Factor (Powermeter 1900° @ 10°)	>5	>11	>11
2nd Order Intermodulation (IMD) @ 10° @ 10°	>5	>11	>11
IMD (typical) (same test method)	>5	>11	>11
Maximum Power Input (W)	50	50	50
Lightning Protection	Direct Connect	Direct Connect	Direct Connect
Connector Type	RG 7-16, 50Ω Female	RG 7-16, 50Ω Female	RG 7-16, 50Ω Female

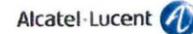
**Mechanical Specifications**

Dimensions, mm (in)	1829 x 302 x 200 (72.8 x 11.9 x 7.9)
Weight with 1.8m Hardware, kg (lb)	7.8 (17.2)
Rated Wind Speed, km/h (mph)	241 (150)
Roaming Material	ASA
Roaming Color	Light Gray, RAL 7035
Mounting Hardware Material	Electrocoat Aluminum and Galvanized Steel

**Ordering Information**

Mounting Hardware	APXASD-2 Downtilt Kit
AISG System Cable	0.5 m (included)
Mounting Type (Antenna, mm (in))	500 (19.7) x 4.4 (1.7)
Mounting Hardware Weight, kg (lb)	3.4 (7.5)

RFS The Clear Choice® APXV9ERR18-C Rev: P3 Print Date: 2.11.2011  
Please visit us on the internet at <http://www.rfworld.com> Radio Frequency Systems



**Product 1900MHz RRH (65MHz)**

**Product Description:**  
This Remote Radio Head (RRH) supports the 1900MHz spectrum with a Quad Transmit and Quad Receiver configuration supporting 4x45W of output power in a dual head configuration

**Features / Benefits:**

- Supports up to 6 carriers of CDMA in the 1900MHz spectrum and is hardware ready for 4x4 LTE MIMO (dual technology)
- Supports up to 8 carriers of CDMA (single technology)
- Supports AISG
- -48V DC may be powered from Alcatel-Lucent cabinet
- Supports Hybridflex fiber / power cable bundle



**Technical Specifications:**

Physical Dimensions (HxWxD)	25" x 11.1" x 11.4"
Weight:	60 pounds
Output Power:	4x45W (180W Total)
Frequency Range:	1930-1995MHz Tx / 1850 - 1915 Rx
Consumed Power (Typ):	680W
Instantaneous Bandwidth:	65 MHz
Rx Noise Figure:	3.0dB
Antenna Interface:	7/16 DIN Female
Operating Temperature Range:	-40C to +55C
Supports AISG 2.0	

-PCSS005-19-



Cellular 1900 - 990 MHz	
W.Pol: 45° Az: 18.6 dB	
Type	PCSS005-19-F
Product Code	PCSS005-19-F
Frequency Range (MHz)	1850 - 1990
Gain	18.6 dBi (+16.5 dBd)
Input Impedance (Ohms)	50
VSWR	< 1.4 : 1
Polarization	Vertical
Electrical Downtilt (x)	0°, 2°, 5°
Horizontal Beamwidth (+3 dB)	65°
Vertical Beamwidth (+3 dB)	4.7°
1st Upper Side Lobe	< -18 dB
1st Null	> -18 dB
Front to Back Ratio	> 25 dB
Intermodulation	< -153 dBc for 2 x 20 W carriers
Input Power (Watts)	250
Input Connector Type (1) / Location	7/16-DIN Female / Bottom Top Feed Option available in 0° and 5°
Operating Temperature	-40° F (-40° C) to +142° F (+100° C)
Wind Speed	125 mph (200 km/h, 56 m/s)
Antenna Weight	Front: 194 lb (88 kg) Side: 21 lb (9.5 kg) 14 lbs (6.4 kg)
Dimensions (in)	Height: 74.0 Width: 7.9 Depth: 1.6 (1877 x 200 x 40 mm)
Pole Mounting Kit: MCK55P01	Weight: 6.6 lbs (2.9 kg)
Scissor Tilt Mounting Kit: MK505103	Weight: 9.1 lbs (4.1 kg)
Bar Tilt Mounting Kit Option: MK505104	Weight: 8.0 lbs (3.6 kg)



Horizontal Plane

Vertical Plane

Amphenol JAYBEAM

**DCI PACIFIC**

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T 949 475.1000 | 949 475.1001 F



Together with NEXTEL  
310 COMMERCE, SUITE 250  
IRVINE, CA 92602  
PHONE: (714) 617-9342  
FAX: (714) 368-3501

**PROJECT IDENTIFICATION:**

**TRINITY UNITED  
SD34XC541**

3030 THORN STREET  
SAN DIEGO, CA 92104  
SAN DIEGO COUNTY

**CURRENT ISSUE DATE:**

07/12/12

**ISSUED FOR:**

ZONING

**APPROVALS:**

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APV:
HH	BOK	DKD

**ISSUE STATUS:**

DATE:	DESCRIPTION:	BY:
08/02/11	PLANNING COMMENTS	HN
09/19/11	COMPLETENESS REVIEW	HN
02/07/12	COMPLETENESS REVIEW #2	HN
02/21/12	COMP. REVIEW #3 COMMENTS	HN
04/18/12	REVISED PER NV	HN
06/20/12	COMP. REVIEW #4 COMMENTS	HH
07/12/12	PER CITY COMMENTS	HH

**SHEET TITLE:**

**ANTENNA, RRH &  
MOUNTING BRACKET  
SPECIFICATIONS**

**SHEET NUMBER:**

**A5**

**ISSUE LEVEL:**

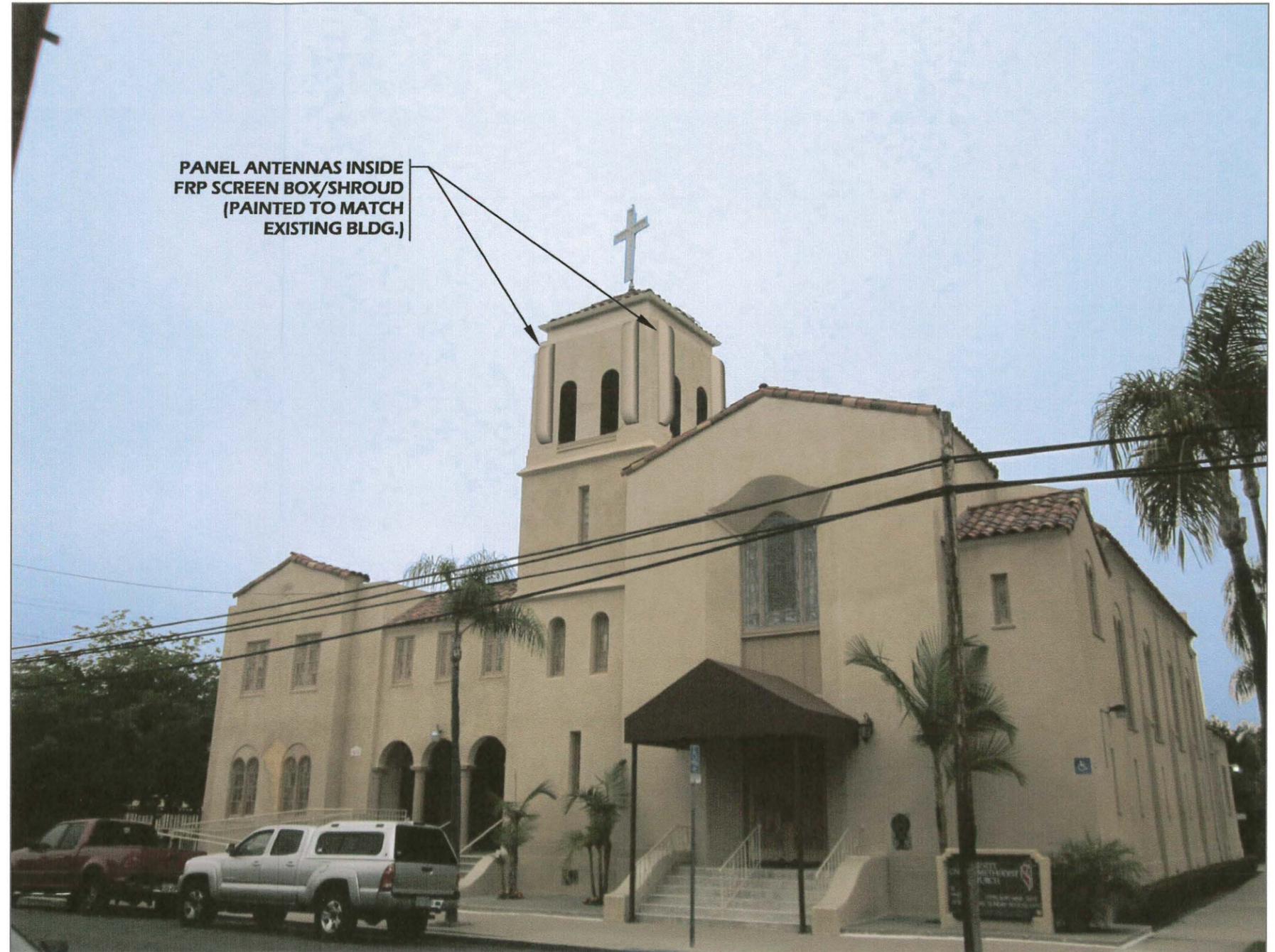
TRINITY UNITED  
SD34XC541

# AERIAL MAP

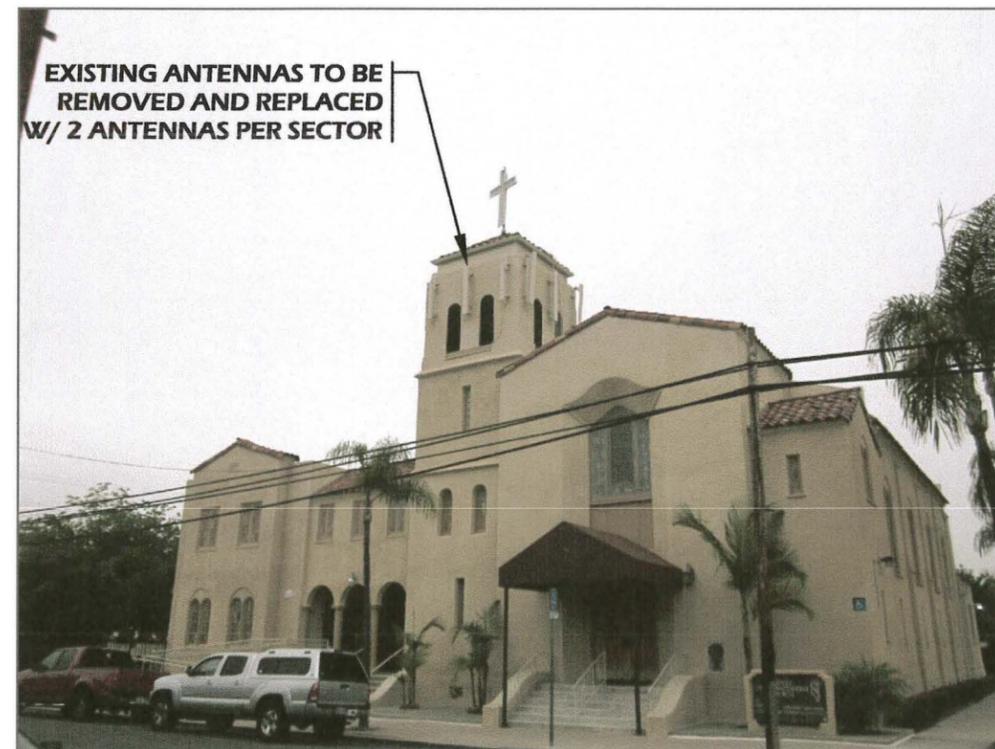


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# PROPOSED



# EXISTING

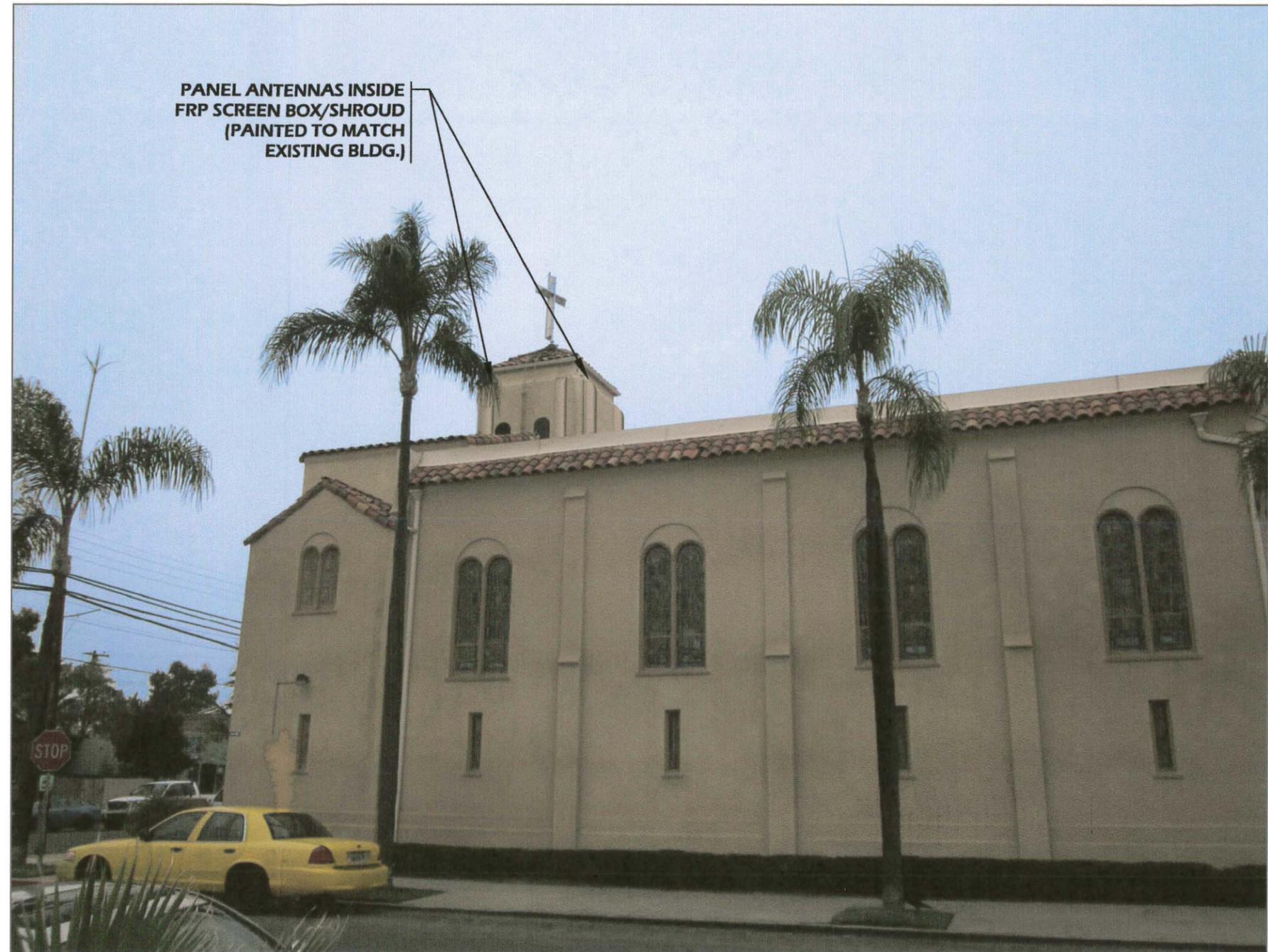


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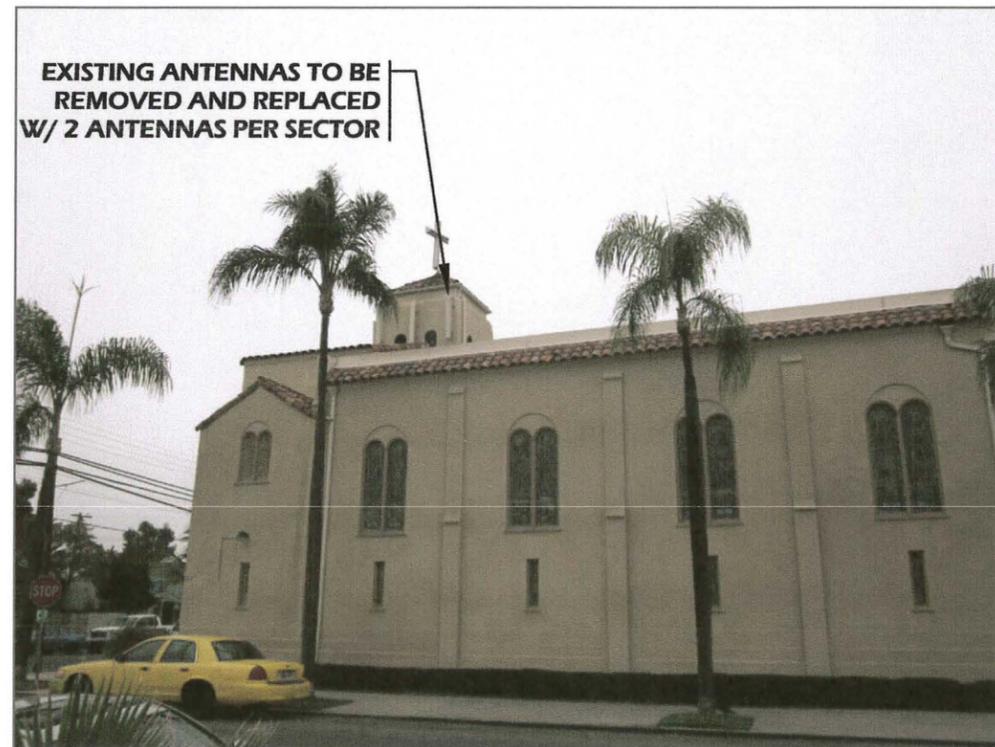


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# PROPOSED



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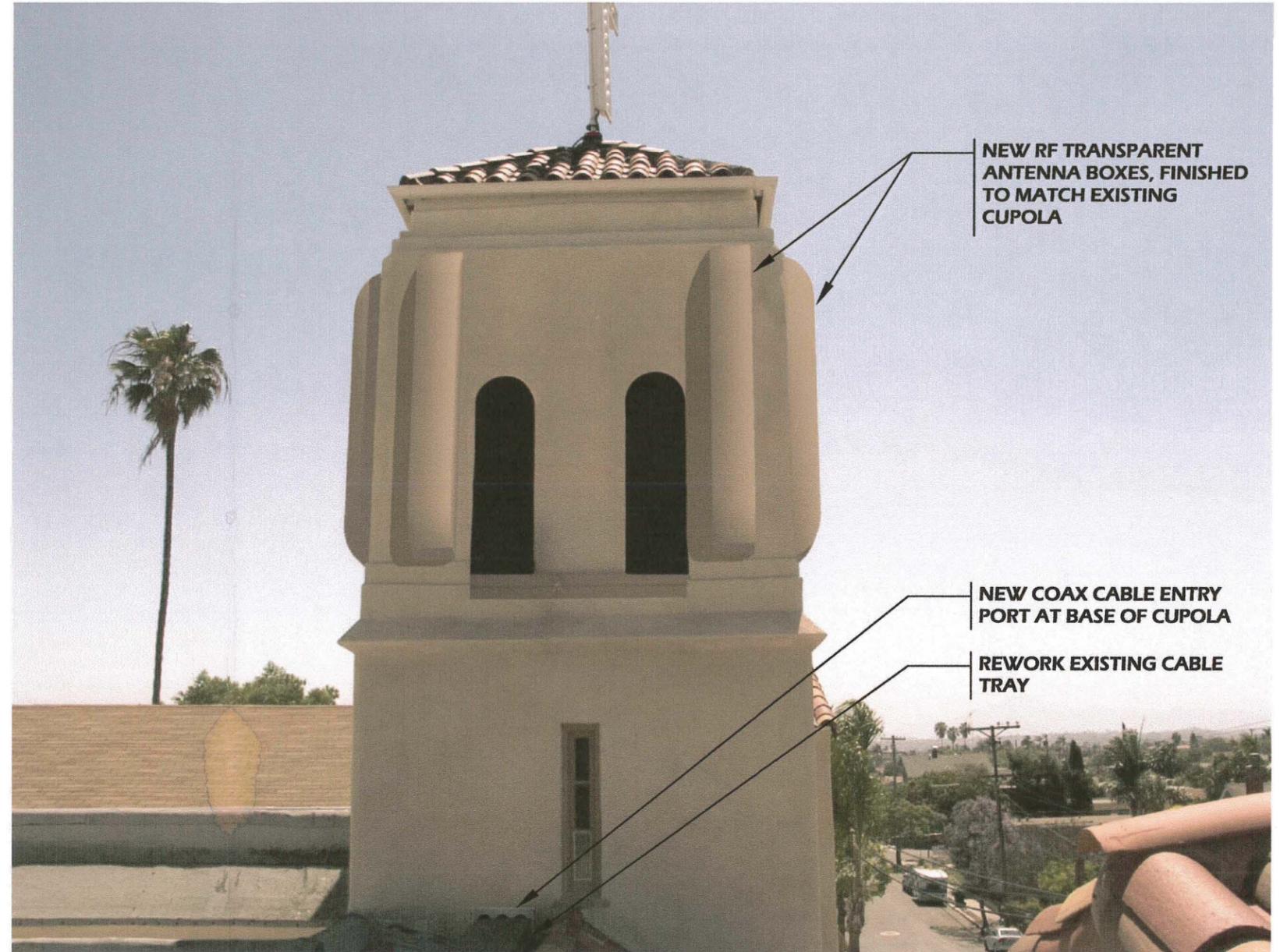
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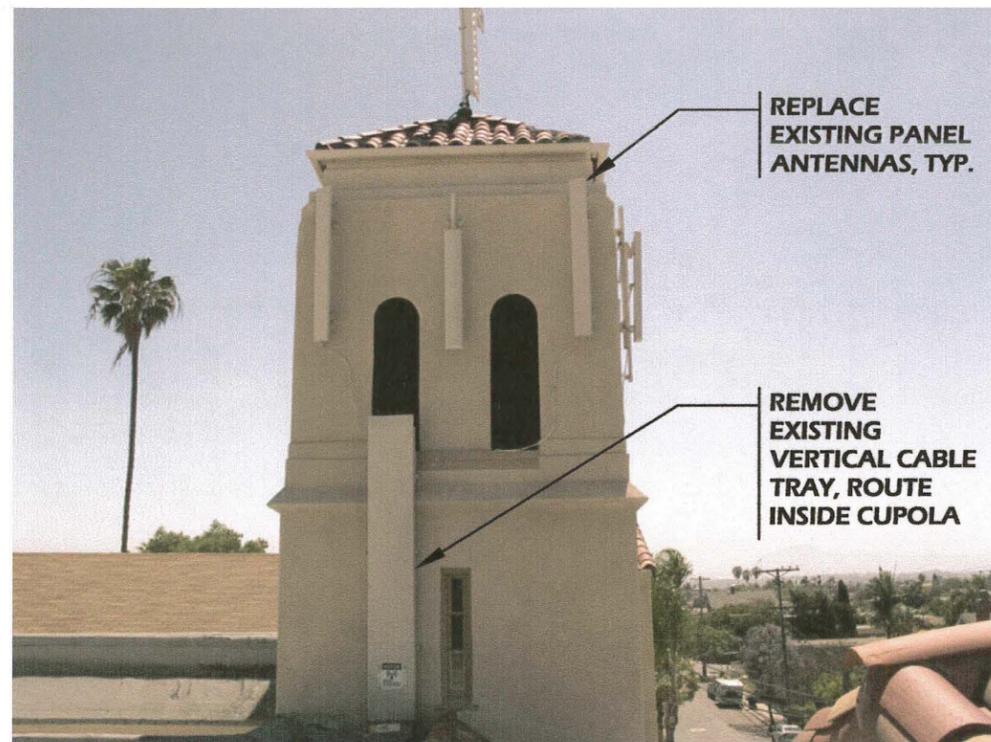
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APPLICANT REPRESENTATIVE:  
DEPRATTI, INC.

# PROPOSED (OPTION 2)



# EXISTING



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<b>VIEW</b>	<b>SHEET</b>
<b>D</b>	<b>2 / 2</b>
SUPPLEMENTARY	

# SD34XC541 Trinity United Photo Survey





View of building and south and west sector



View of building all sector looking north



View of building and east sector, looking west



View from Street looking east



Equipment located on raised platform behind wall



Equipment on west side of building behind wall



View from street looking east



View from street looking south at site

SD34XC541 Trinity United



View looking east towards site



View to west from front of the church



THE CITY OF SAN DIEGO

COPY

Date: May 25, 2000

Applicant: WFI for:  
Sprint PCS  
9665 Cheasapeake Drive, Suite 320  
San Diego, CA 92123  
Attn: **Tim Kolset**

Permit No.: 99-0923-24 Telecommunication Administration Review, Trinity United

Address: 3030 Thorn Street

Subject: **PROPOSED MINOR TELECOMMUNICATION FACILITY**

PLANNING AND DEVELOPMENT REVIEW ACTION:

It has been determined by **Planning & Development Review** that this proposal does not substantiate a major telecommunication facility and therefore will not be required to proceed with the Conditional Use Permit (Process Three). This decision is based on the City of San Diego's Land Development Code Section 141.0405. This proposal has been reviewed with the California Environmental Quality Act (CEQA) and has been determined to be exempt per Section 15061 (b)(3).

Planning and Development Review grants **APPROVAL** of your application subject to the following:

- The facility shall be designed and constructed in accordance with the approved Exhibit "A", dated May 25, 2000. No modification or alteration shall be permitted to the approved **Exhibit "A"** unless revised plans are submitted and approved by Planning and Development Review.
- The facility will consist of a total of nine (9) panel antennas ( three sectors of three antennas) to be located on the steeple of an existing church. The antennas will be painted and textured to match the existing steeple. The equipment cabinets will be located adjacent to the building behind the existing stairwell.



**Planning and Development Review**

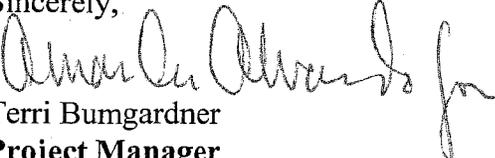
1222 First Avenue, MS 501 • San Diego, CA 92101-4155

Tel (619) 446-5460

- This Conditional Use Permit and corresponding use of this site **shall expire on May 25, 2010**. Upon expiration of this permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to it's original condition preceding approval of this permit.
- Prior to the expiration date of this Conditional Use Permit, the Permit Holder may submit a new Conditional Use Permit application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time.

All work authorized by this permit shall be in conformance with the description of work contained herein and as indicated on the plans submitted to the Building Services Division and stamped with the Planning & Development Review "CONFORMS" stamp. All modifications to this structure or site not directly approved by this permit shall require further review by Planning and Development Review. Building permits must be obtained within six months from the date of this approval or this authorization shall be null and void.

Sincerely,

  
Terri Bumgardner  
Project Manager



**NORTH PARK PLANNING COMMITTEE**  
**Draft Minutes: March 20, 2012 – 6:30 PM**  
<http://www.northparkplanning.org>  
**2901 NORTH PARK WAY, 2<sup>ND</sup> FLOOR**

**I. Called to order: 6:51 p.m.**

**II. Members in attendance (15):** Rene Vidales, Cheryl Dye, Vicki Granowitz, Carl Moczydlowsky, Lucky Morrison, Dang Nguyen, Brandon Hilpert, Peter Hill, Rick Pyles, David Cohen, Christy Scannell, Dionne Carlson, Judi O'Boyle, Robert Barry, Roger Lewis.

**III. Modifications to & Adoption of the 01/17/12 Agenda.**

- Add Toyland Parade Letter of Support to the Agenda Action Items
- Changes in the Park Terrace Consent agenda item as strikethrough/underlined below.

**MOTION TO AMEND AGENDA: Barry/Moczydlowsky 13-0-2 (O'Boyle, Pyles abstaining)**

**MOTION TO ADOPT: Carlson/Dye 13-0-2 (O'Boyle, Pyles abstaining)**

**IV. Chair's Report/CPC**

- None

**V. Approval of Previous NPPC Minutes:**

- Minutes to be approved at April Meeting

**VI. Treasurer's Report.**

1. Balance \$532.81
2. Meeting collection of \$116 (Cohen/Carlson)

**VII. Election Results**

1. Election registration closed at 7:13
2. Election balloting closed at 7:37
3. Results (\*Incumbent):
  - a. Robert Barry\* Resident Homeowner 73 votes, 3rd place, re-elected
  - b. Nate Benedetto Business Owner/Resident Homeowner 45 votes
  - c. Adam Cook Business Owner/Resident Renter 44 votes
  - d. Dr Rick Donaldson Resident Homeowner 28 votes
  - e. Cheryl Dye\* Business Owner/Resident Homeowner 94 votes, 2nd place, re-elected
  - f. Peter Graves Resident Renter 39 votes
  - g. Brandon Hilpert\* Resident Homeowner 64 votes, 4th place, re-elected
  - h. Don Leichtling Resident Homeowner 31 votes
  - i. Lucky Morrison\* Resident Homeowner 56 votes, 6th place, re-elected
  - j. Omar Passons Resident Homeowner 63 votes, 5th place, elected
  - k. Rene Vidales\* Resident Homeowner 98 votes, 1st place, re-elected
  - l. Steven Williamson Business Owner/Resident Renter 48 votes, 7th place electe

### VIII. Planner's Report - Marlon Pangilinan 619.235.5293; [mpangilinan@sandiego.gov](mailto:mpangilinan@sandiego.gov)

- Update big effort to update the plan. LUH Committee provided with schedule. Land Use, outlines for the elements and basic format to be presented as soon as May 2012. Would like to use the planning group format instead of the community plan update format. Don't want to lose other members that had specific subject matter expertise.
- Dye – moving forward can you answer some specific process questions:
  - Will the specific elements be presented in May along with their respective outlines?
  - Will the Plan organize guidelines by neighborhood or by the entire community?
  - Will the Plan propose Overlay Zones?
  - What scope will the Economic Prosperity element cover? The Manual instructions leave that wide open.

### IX. Announcements & Non Agenda Public Comment

- **North Park Main Street – David Cohen and Angie Landsberg** - reviewed strategic objectives and handoff of Toyland Parade. Looking for volunteers and sponsors for the North Park festival of the arts – Sunday May 20th 10am to 6pm. Sustainable North Park Main Street is hosting a competition for design project incorporating solar technologies. Parking services one sheet is available on the web site regarding the valet and parking garage. Businesses have not been released but may be through the NPMS.Affordable Housing Fund Annual Plan for FY2013 – Housing Commission
- **HRB Hearing on possible historic designation of the Woolworth building (3606 University)** March 22, 2012, 1 pm 202 C St 12 Flr 12 Committee rm, see attachment 1 below
- **LGTB Mayoral Candidate Forum** - The Center 3909 Centre St., March 28, 2012, 6 pm
- **Tools for Preserving Community Character: Conservation Areas**, Marlon Pangilinan. Grace Lutheran Church in University Heights, located at 3993 Park Blvd. southeast corner of Park & Lincoln. Free parking is available in the lot behind the church as well as how to find the staircase to the meeting rm. April 12: 2012, 6 pm
- **NP Mini Park – Scoping and next steps meeting for redevelopment funding.** North Park Recreation Council 4044 Idaho St April 23, 2012, 6 pm. <http://www.sandiego.gov/engineering-cip/projectsprograms/northparkminipark.shtml>
- **Scannel** – thank you for electing me to the board. Tonight is last night.
- **Dionne Carlson** – thank you to the outgoing members.

### X. Elected Official Reports

- 1) **Katherine Fortner, Hon. Susan Davis, US Congressional District 53,** [Katherine.Fortner@mail.house.gov](mailto:Katherine.Fortner@mail.house.gov) - No update.
- 2) **Lindsey Masukawa, Hon. Toni Atkins, State Assembly District 76,** [Lindsey.Masukawa@asm.ca.gov](mailto:Lindsey.Masukawa@asm.ca.gov) - No update.
- 3) **Anthony Bernal, Hon. Todd Gloria, Councilmember District 3** [ABernal@sandiego.gov](mailto:ABernal@sandiego.gov) - Councilmember Gloria is chair of the budget and finance committee, finally resolved the structural budget deficit. Savings of council supply accounts are reinvested into the community. In North Park \$10,000 went to the NP fire station. Work completed on historic properties without reports can now penalize up to \$250,000. Texas street improvements sidewalk, bike lane and acorn lights. Award to Judi O'Boyle from Council Member Gloria.

### XI. Consent Agenda

(3/5/12 UDPR Barry, Dye, Bonn, Callen, Granowitz, Hill, Pyles 6:25, Steppke)

- A. **Verizon – 4330 30th St.** (Doc. Brown, Project No. 258726): Applicant requesting Neighborhood Use Permit (Phase II DSD determination, appealable to the PC) for a wireless communication facility consisting of antennas and equipment within the building's clock tower element. The site

(Renaissance building at El Cajon Blvd and 30th St.) contains a Designated Historic Resource but City staff has determined that there will be no impacts. Applicant indicated that they considered other sites, including the Covenant Church and retail center across the street, but Renaissance supports a higher WCF. Applicant has agreed to conduct an on-air study once construction is completed to document actual radiation emissions levels, which they suggest are generally significantly lower than regulations permit: **Motion: To approve the NUP with the caveat that the applicant provide the building's residents with the on-air study shortly following construction. Granowitz/ Dye 7-0-0**

**B. Park Terrace – 4075 Park Blvd.** (Project No. 269953): Substantial Conformance Review for a SDP with a Tentative Map for an apartment complex at the Park & Polk vacant lot instead of 28 35 luxury condos. There is no change to the 7,377 sq. ft commercial space. Project now includes a 560 sq.ft. community room with gym equipment & a 5000 sq. ft. 2nd floor patio. The proposed apartments include 4 studios s 540-586 sq. ft. 18 one-and two-bedroom units 664924 sq. ft, & 13 two-bedroom units 887-1148 sq. ft. The original proposal requested 4 deviations, including a 65.5 feet tall, 5-story building -a 28% deviation. The applicant is now requesting a 55 feet tall, 4-story complex -a smaller 10% deviation. The 3 other deviations have been eliminated by reducing the number of stories from 5 to 4. The exterior design includes 6 offsetting planes on the street side, and is unchanged to reflect previous input from the planning group. Residential parking is underground. Subterranean commercial parking has been replaced by retained as grade level spaces behind the retail stores. This proposal gains 2 parking spaces and is 1 parking space above the requirement. Bus service is available to the site. The applicant indicated that the Fire Dept. wanted the proposed red curbing to allow entry from the street versus the alley. The applicant indicated that the patio and community room could potentially provide for child centric play space & not be dominated by adult-oriented uses. **Motion: To approve the Substantial Conformance Review for a Site Development Permit with the caveat that the applicant provides assurance that child-friendly features will be made a significant part of the patio and/or community room. Dye/Pyles 8-0-0**

**C. Sprint – Trinity United Methodist Church – 3030 Thorn St.** (Project No. 253791) CUP for replacement of an existing wireless communications facility, consisting of 9 antennas & 12 ft of vertical cable located in the steeple within a residential zone. The project will reroute the cable tray into the steeple, removing the existing cables that currently can be seen running along the exterior wall and into the windows. The antennas will be shortened and covered by casing- they will not change in number. The church's daycare facility is located in a separate building in back of the church. Hill asked about historical resource impacts. **Motion: To approve CUP as presented. Hill/Callen 8-0-0**

(3/14/12 PF/PA: Carlson, Vidales, Granowitz, Hill, Steppe, Bonn, Callen)

**D. Request from North Park Main Street for letter of support for Bike Corral.** Bike corral to be located at the southwest corner of 30<sup>th</sup> Street and North Park Way. Funded with grant from the County, Jay Porter owner of the Linkery has been briefed & is in support. **Motion: The NPPC supports in concept the design of the bike corral at the southwest corner of North Park Way and 30<sup>th</sup> Street as proposed by Sustainable North Park Main Street. We ask that North Park Main Street return as design is finalized. Granowitz/Bonn 7-0-0.**

**MOTION: BARRY/SUB-COMMITTEE 14-0-1 (O'Boyle)**

## XII. Subcommittee Reports

- **Urban Design/Project Review, Robert Barry, Cheryl Dye -NP Adult Community Center, 6:00pm 1st Monday. Next meeting April 2, 2012 –** Items A,B,C on the consent agenda. Additional item on the Plaza de Panama project.

- **Public Facilities/Public Art, Dionne Carlson, Rene Vidales – NP Adult Community Center, 6:00 pm, 2nd Wednesday. Next meeting April 18, 2012 – bike corrals, McKinley Joint-use field, Texas Street improvement design, Plaza de Panama EIR comments were all discussed.**

### XIII. Liaisons Reports

- **Balboa Park Committee Rob Steppke – Nothing of note**
- **Maintenance Assessment District Lucky Morrison – elected new officers: Lucky Chair, Carl Vice-Chair, Beth Swersie Secretary. Discussion of trash can stickers to advertise. Visit by Debbie Fuentes of Victoria House that is taking over the Toyland Parada. NPHS walking tours in the Dryden district and in Burlingame. Painting of light poles to cover graffiti.**
- **North Park Parking Management Working Group Roger Lewis – Consideration of community residential parking district to identify interest and necessity.**
- **University Ave Mobility Plan Roger Lewis – No update**
- **Mini Park & Streetscape Rene Vidales – advisory group meeting discussed mini-park as one component of the project and the division of the rest of the ROW as a separate project. No maintenance funds have been identified, looking at grant options, Parks and Rec involvement and General Development Plan to accept the park component maintenance plan. Redevelopment funding set aside is in jeopardy. Final conceptual design had unanimous support. Please come to the workshop listed above – April 23rd at the North Park Recreation Center at Idaho St.**
- **Utility Boxes Cheryl Dye – Working with other planning groups to develop standards for placement of utility boxes. Presented to the CPC which recommended LUHC take up the issue. Expecting to receive a legal opinion from the City Attorney on the latitude that the City may or may not have on creating standards based. The City acted as the project manager for undergrounding for Mission Hills which resulted in easements with property owners and increased undergrounding. Dry transformers are being used that can be undergrounded at lower cost.**

### XIV. Action Items

1. **Plaza de Panama, Circulation & Parking Structure Project EIR**
  - a. Cover letter to the City Planner.
    - i. **MOTION: to send the letter as written and read and to attached the comments to the EIR. Carlson/Barry 13-1-1 (Cohen voting no, Granowitz recused)**
  - b. Comments due to the NPPC by tomorrow.
  - c. Chair recuses from further discussion
- **Lewis – alternatives presented at January meeting regarding bridge closing issues were expected to be voted on by the board. Letter does not allude to the time constraints faced by the board.**
- **Carlson/Vidales – time constraints limited the manner in which the response.**
- **Moczydlowsky – weight of the board vs. individual comments doesn't carry more weight in the EIR process.**
- **Barry – comments are weighted on the basis of the relevancy against the EIR, not on the individual commenter or source.**
- **O'Boyle – has decided not to submit comments through the board.**
- **Don Leichtling – believes that the letter should allude to the time constraints.**
- **Ed Cronan – believes that it gives it false weight to attach the cover letter.**
- **Moczydlowsky – EIR phase doesn't require a motion from the board. Don't think this is the appropriate time for an opposition.**
- **Cohen – agrees with Moczydlowsky**

- **Dionne Carlson** – would like to consider opposing the project as a whole.
  - **Morrison** – thinks the record of opposition is adequate
  - **Barry** – agrees with Moczydlowsky, thinks the planning commission hearing is the appropriate time for opposing the project as a whole.
  - **O'Boyle** – agrees with Barry
2. **The Redevelopment Next Steps : Roger Lewis** – chair of the PAC until it was disbanded. In the process of forming the oversight board. Mini-park parcel purchase has been completed. Bond funding of \$1.4 million dollars for design was allocated but never encumbered. Additional projects (Boundary Improvements, Woolworth Building, Arts Plan) funding was allocated but not encumbered. Please voice opinions and participate in the process to keep the mini-park process moving forward. Applications for the oversight board appointments have now closed. Board of Supervisors will make appointments on March 26th. Notification of oversight board meetings. Email Anthony Bernal to get on a notification list for oversight board. Many districts and jurisdictions will have representatives as well as an at-large representative.
  3. **Toyland parade letter of support.** – Letter to the City in support of the Special Event Permit for the North Park Toyland Parade.

a. **MOTION TO APPROVE LETTER AS READ: BARRY/HILPERT 15-0-0**

**XV. ADJOURNMENT OF 2011 North Park Planning Committee Board (9:00 pm)**

**XVI. Call to order and seating of 2012 North Park Planning Committee Board (9:00)**

1. Installation of new board members
2. Elect Chair – MOTION: Granowitz - Carlson/Vidales (Barry, Vidales, Carlson, Lewis - deny nominations) 15-1-0 (Granowitz votes no)
3. Vice Chair – MOTION: Vidales – Granowitz/Dye 15-0-0
4. Secretary – MOTION: Moczydlowsky – Cohen/Carlson 15-0-0
5. A.D. & Treasurer – MOTION: Cohen – Granowitz/Passons 15-0-0
6. Chair appoints Subcommittee Chairs & Vice Chairs – Barry/Dye UD Chair/Vice, Dionne/Vidales PF Chair/Vice
7. Identification of Liaisons Rob Steppke Balboa Park, Lucky Morrison MAD, Mid City Parking District Rep – Lewis, North Park Sustainable Main Street Vidales, Rene, Dye, Utility Boxes – Dye/Nguyen, North Park Main Street - Cohen, CPC Alternate – Vidales MOTION TO ADJOURN Pyles/Ngyuen 15-0-0

**XVII. Next Meeting Date: April 17, 2012**

**XVIII. MOTION to ADJOURN: O'Boyle/Carlson 12-0-0 (left). Meeting adjourned at 9:15 p.m.**

Submitted by: Carl Moczydlowsky



THE CITY OF SAN DIEGO

City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title****Project No. For City Use Only**

PTS# 253791 Sprint Trinity United

**Project Address:**

3030 Thorn Street

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print):  
 Sprint Nextel  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 310 Commerce Suite 250  
 City/State/Zip:  
 Irvine, CA. 92602  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):  
 Tim Henion  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 13948 Calle Bueno  
 City/State/Zip:  
 Jamul, CA 91935  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 ( 503 ) 519-8591  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):  
 TRINITY UNITED METHODIST CHURCH  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 3030 Thorn Street  
 City/State/Zip:  
 San Diego, CA 92104  
 Phone No: 619-281-2592 Fax No: 619-281-2768  
 Signature: *Walter Moredock* Date: 2-15-2012  
 (Administrative Board Chairman)

Name of Individual (type or print):  
 WALTER MOREDOCK (Admin. Bd. Chair.)  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 525 W EL NORTE PKWY #40  
 City/State/Zip:  
 ESCONDIDO CA 92026  
 Phone No: 760-745-9255 Fax No: \_\_\_\_\_  
 Signature: *Walter Moredock* Date: 2-15-2012

<b>Project Title:</b> PTS# 245054 Sprint San Carlos	<b>Project No. (For City Use Only)</b>
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**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation  
  Limited Liability -or-  
  General) What State? \_\_\_\_\_ Corporate Identification No. TAX ID 33-0361519  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**    Yes    No

Corporate/Partnership Name (type or print):  
TRINITY UNITED METHODIST CHURCH

Owner    Tenant/Lessee

Street Address:  
3030 THORN ST.

City/State/Zip:  
SAN DIEGO, CA 92104

Phone No: 619-281-2592   Fax No: 619-281-2768

Name of Corporate Officer/Partner (type or print):  
WALTER MOREDOCK

Title (type or print):  
ADMINISTRATIVE BOARD CHAIR

Signature: Walter Moredock   Date: 2-15-2012

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :   Date:

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :   Date:

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :   Date:

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :   Date:

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

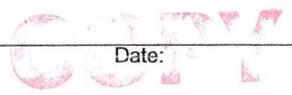
City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :   Date:



**Sprint Trinity United LTE**  
**PROJECT CHRONOLOGY**  
**PTS #253791 INT #24002044**

Date	Action	Description	City Review	Applicant Response
8.11.2011	<b>First Submittal</b>	<b>Project Deemed Complete</b>		
8.31.2011	First Assessment Letter		<b>20 days</b>	
4.24.2012	Second Submittal			<b>237 days</b>
6.11.2012	Second Assessment Letter		<b>48 days</b>	
11.29.12	Third Submittal			<b>171 days</b>
1.22.2013	All issues resolved		<b>54 days</b>	
3.20.2013	Scheduled for Planning Commission		<b>57 days</b>	
<b>Total Staff Time:</b>		Including City Holidays and Furlough	<b>179 days</b>	
<b>Total Applicant Time:</b>		Including City Holidays and Furlough		<b>408 days</b>
<b>Total Project Running Time:</b>		From Deemed Complete to PC Hearing	<b>587 days</b>	

**SD34XC541 Trinity United  
TELECOM SITE JUSTIFICATION LETTER**

1. Description of the location, type, capacity, field strength or power density, and calculated geographic service area of the existing antenna or antenna array.

**LOCATION AND TYPE**

Sprint Nextel continue the operation of and existing communications facility at the Trinity United Church located at 3030 Thorne Street. The renewal consists of 9 panel antennas attached to the church steeple. There are 3 antennas on 3 sectors, with all sectors façade mounted to the steeple the structure. The renewal design changes are skirt and extend the antenna vertically to the horizontal details both above and below as the photo simulation included with the submittal show. The equipment is inside a raised platform on the church property located on the west side next to the alley This existing facility is unmanned, operating 24 hours a day. The only visits to the site will consist of any emergency calls as well as regular maintenance visits once every four to six weeks.

**FREQUENCY AND POWER SPECIFICATIONS**

The transmitting frequency for the Sprint Nextel system is 1990-1995 Megahertz. The receiving frequency is 1910-1915 Megahertz.

**COVERAGE AND CAPACITY**

The objective of this existing site is to provide coverage and capacity within the residential area to the south, north and west, covering north to University Ave, east to Boundary Street, south to Switzer Canyon and west to Balboa Park connecting to surrounding sites shown on justification maps. Please refer to the existing coverage map that illustrates the existing coverage gap. The site will provide coverage in a current gap and provide additional capacity, allowing more users to use the system simultaneously and will provide "off-load" capacity for adjacent sites currently operating within a 1-mile radius from this existing site (see attached map).

2. Location of all existing and anticipated wireless communications facilities in the Applicant/Permitee's network located within a 1 mile radius from existing site.

Please see refer to justification and to coverage maps.

3. A description of how the existing facility fits into, and is a necessary part of, the Applicant/Permitee's network.

SD34XC541 Trinity United Church  
Telecom Site Justification

The objective of this existing site is to continue to provide coverage and capacity within the residential area to the south, east and west. Please refer to the existing coverage map that illustrates the existing coverage gap. The site provides coverage in a current gap and provide current capacity, allowing users to use the system simultaneously and will provide "off-load" capacity for adjacent sites currently operating within a 1-mile radius from this existing site (see attached map).

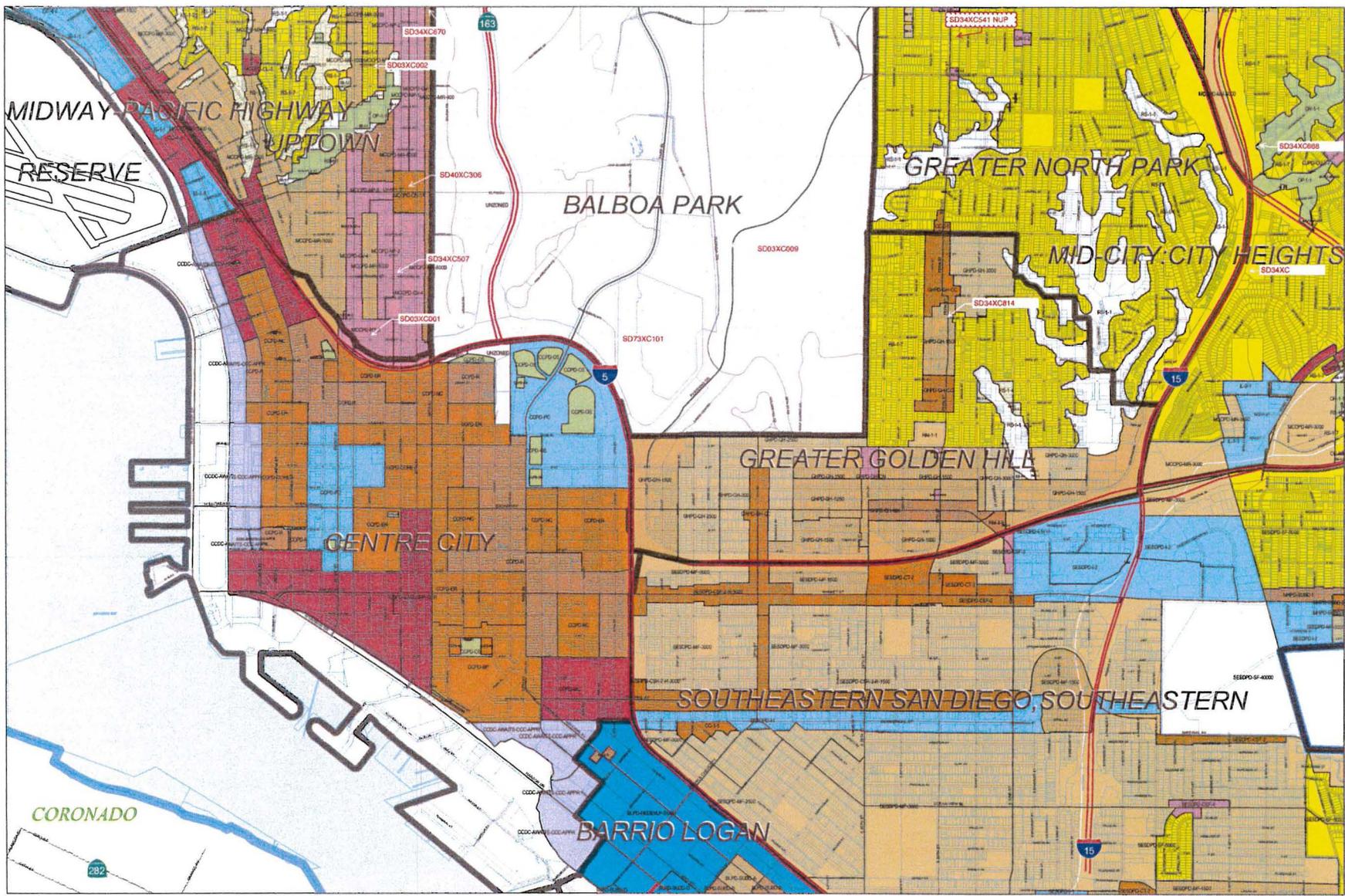
4. If the proposal does not include co-location, written documentation of all efforts made to co-locate at another site, and a justification for the decision not to co-locate.

There was a Verizon Wireless site built on the same property sometime after the Sprint site was constructed.

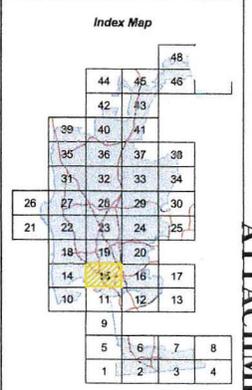
5. Discuss Alternative Sites and why they were not selected.

This site is located on a residential use within a residential zone surrounded by single and multi-family residential. The search ring is entirely residential. This site is on-air and no alternatives were reviewed. The existing site was selected because of its height above the coverage area and ability to fill the coverage gap and connect to surrounding sites. There were no other non-residential alternatives reviewed.

# Official Zoning Map



- Legend**
- City of San Diego Boundary  
 Community Plan Areas  
 Streets
- Zone**
- BLPD-REDEVELOP-SUBD
  - BLPD-SUBD-A
  - BLPD-SUBD-B
  - BLPD-SUBD-D
  - CC-3-5
  - CC-4-2
  - CC-4-5
  - CC-4-6
  - CCDC-AW/TH-CC-APPR
  - CCPD-A
  - CCPD-BP
  - CCPD-CORE
  - CCPD-E
  - CCPD-ER
  - CCPD-G
  - CCPD-H
  - CCPD-MC
  - CCPD-MC
  - CCPD-NC
  - CCPD-OS
  - CCPD-PC
  - CCPD-R
  - CH-12
  - CUPO-CU-3-7
  - GHPD-GH-1000
  - GHPD-GH-1250
  - GHPD-GH-1500
  - GHPD-GH-2000
  - GHPD-GH-3000
  - GHPD-GH-4000
  - GHPD-GH-CC
  - GHPD-GH-CN
  - GHPD-GH-ON
  - GHPD-GH-LAMP-QTR
  - IL-2-1
  - IS-3-1
  - IS-1-1
  - MCCPD-CL-5
  - MCCPD-CL-6
  - MCCPD-CN-1A
  - MCCPD-CV-1
  - MCCPD-CV-4
  - MCCPD-MR-1000
  - MCCPD-MR-1500
  - MCCPD-MR-3000
  - MCCPD-MR-4000
  - MCCPD-MR-6000
  - MCCPD-MP-1
  - MCCPD-MP-2
  - MCCPD-MP-3
  - MCCPD-MP-3
  - MHPD-SUBD-1
  - MHPD-SUBD-2
  - MHPD-MARINA
  - OT-CR-1-11
  - OR-1-1
  - RM-1-1
  - RM-2-5
  - RM-3-9
  - RS-1-10
  - RS-1-1
  - RS-1-2
  - RS-1-4
  - RS-1-7
  - SESDPD-CSF-1
  - SESDPD-CSF-2
  - SESDPD-CSF-2-R-3000
  - SESDPD-CSF-3
  - SESDPD-CSF-2-R-1500
  - SESDPD-CR-2-R-3000
  - SESDPD-CT-3
  - SESDPD-1
  - SESDPD-2
  - SESDPD-MF-1500
  - SESDPD-MF-2500
  - SESDPD-MF-3000
  - SESDPD-SF-4000
  - SESDPD-SF-5000
  - UNZONED

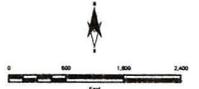


SanGIS (SanGIS) Accuracy  
 SanGIS Land Use (Color) Accuracy for the City of San Diego (as of 2017)  
 Horizontal Accuracy at the 90% Confidence Level  
 This color shows the accuracy for Class 1 Map Accuracy at a scale of 1:10,000 (1"=100').

This map data is provided without warranty of any kind, either expressed or implied, including but not limited to, the implied warranties of MERCHANTABILITY and FITNESS FOR A PARTICULAR PURPOSE. The user assumes the entire risk as to the accuracy and completeness of the data. This map data is provided for informational purposes only and is not intended to be used for any other purpose. The user assumes the entire risk as to the accuracy and completeness of the data. This map data is provided for informational purposes only and is not intended to be used for any other purpose.



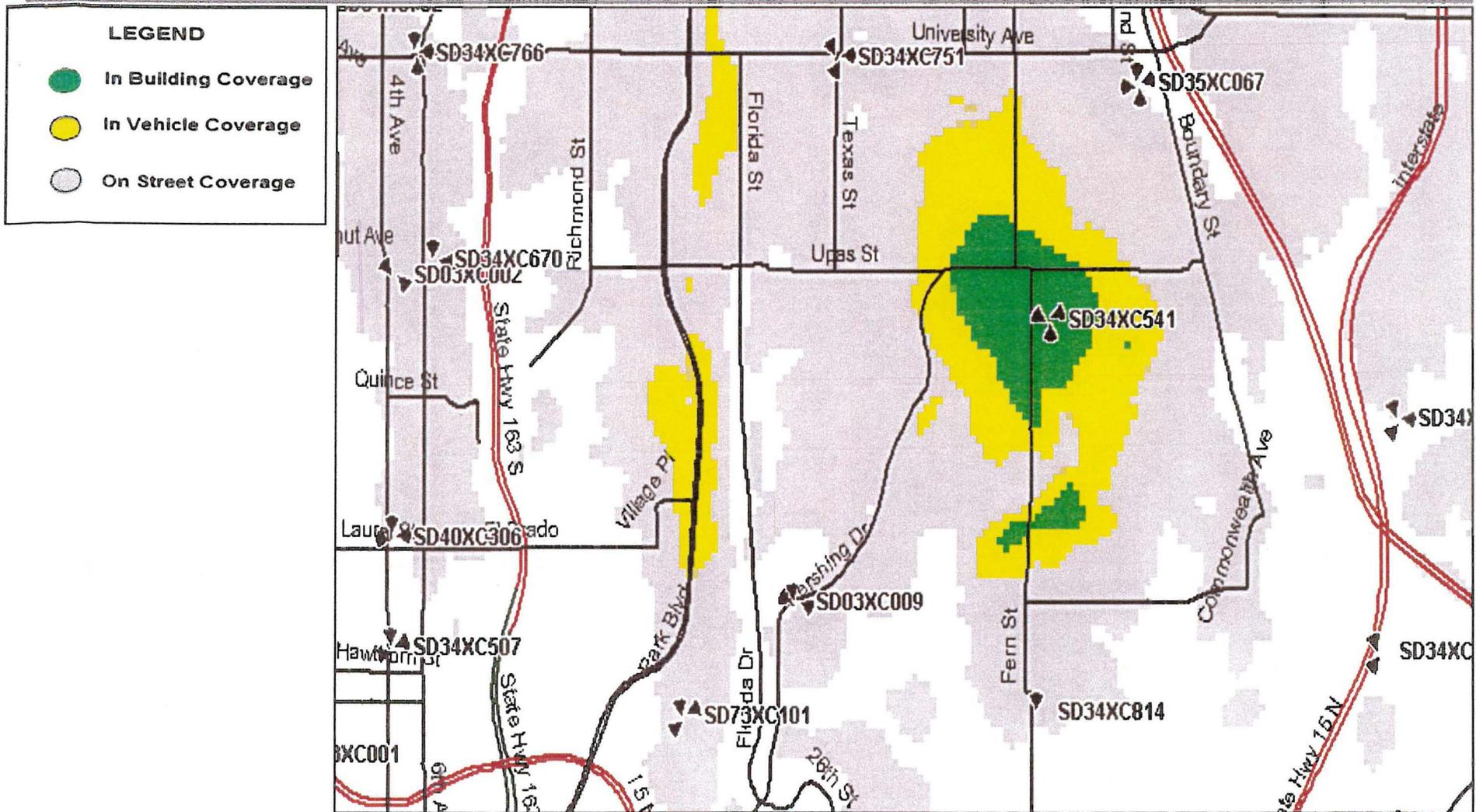
**City of San Diego**  
**Development Services Department**



**GRID TILE: 15**  
 GRID SCALE: 800  
 DATE: 10/5/2009 5:12:31 PM

ATTACHMENT 15

# Coverage of Site SD34XC541





THE CITY OF SAN DIEGO

DATE OF NOTICE: March 6, 2013

# NOTICE OF PUBLIC HEARING

## HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

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<b>DATE OF HEARING:</b>	<b>March 20, 2013</b>
<b>TIME OF HEARING:</b>	<b>8:30 A.M.</b>
<b>LOCATION OF HEARING:</b>	<b>Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101</b>
<b>PROJECT TYPE:</b>	<b>CONDITIONAL USE PERMIT/ ENVIRONMENTAL EXEMPTION AND PROCESS THREE</b>
<b>PROJECT NO:</b>	<b><u>253791</u></b>
<b>PROJECT NAME:</b>	<b><u>SPRINT TRINITY UNITED LTE</u></b>
<b>APPLICANT:</b>	<b>TIM HENION</b>
<b>COMMUNITY PLAN AREA:</b>	<b>NORTH PARK</b>
<b>COUNCIL DISTRICT:</b>	<b>District 3</b>
<b>CITY PROJECT MANAGER:</b>	<b>SIMON TSE, Development Project Manager</b>
<b>PHONE NUMBER/E-MAIL:</b>	<b>(619) 687-5984 and Stse@sandiego.gov</b>

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As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a modification to an existing Wireless Communication Facility (WCF). The modification consists of reducing the number of Sprint antennas from nine (9) to six (6) and also concealing these antennas inside Fiberglass Reinforced Panel (FRP) boxes, designed to appear as columns on the existing bell tower. The equipment associated with this project will continue to operate with the addition of one fiber cabinet and one fiber junction box. No exterior changes are being proposed to the existing equipment area. This project is located at 3030 Thorn Street in the RS-1-7 Zone of the North Park Community Plan.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 working days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services) or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

This project was determined to be categorically exempt from the California Environmental Quality Act on January 22, 2013 and the opportunity to appeal that determination ended February 5, 2013.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24002044

Revised 04/08/10 HRD