



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: March 20, 2013

REPORT NO. HO 13-025

ATTENTION: Hearing Officer

SUBJECT: SCRIPPS RANCH PUMP STATION  
PTS PROJECT NUMBER: 273683

LOCATION: 10714 Scripps Lake Drive

APPLICANT: City Of San Diego/Engineering & Capital Projects Department

### SUMMARY

Issue(s): Should the Hearing Officer approve the Scripps Ranch Pump Station replacement project on a vacant portion of a City of San Diego owned parcel in the Scripps Miramar Ranch Community Plan area?

### Staff Recommendation(s):

**Certify** Mitigated Negative Declaration (MND) No. 273683/SCH No. 2013011038 and **Adopt** the Mitigation Monitoring and Reporting Program; and

**Approve** Site Development Permit No. 961735.

Community Planning Group Recommendation - On September 6, 2012, the Scripps Miramar Ranch Community Planning Group voted 14-0-0 to recommend approval of the project without conditions (Attachment 7).

Environmental Review: A Mitigated Negative Declaration No. 273683/SCH No. 2013011038 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation Monitoring and Reporting Program (MMRP) has been prepared and would be implemented which would reduce, to a level of insignificance, any potential impacts identified in the environmental review process.

## BACKGROUND

The proposed Scripps Ranch Pump Station Replacement Project is located at 10150 Scripps Lake Drive, 575 feet east of the intersection of Scripps Ranch Boulevard and Scripps Lake Drive in the AR-1-1 zone of the Scripps Miramar Ranch Community Planning area (Attachment 2).

The proposed pump station would replace the existing pump station located (0.06) miles east of the project site at 10714 Scripps Lake Drive. Both Pump stations are on Assessor's Parcel Number [APN] 319-160-1900. The new Scripps Ranch Pump Station would be located on the same parcel next to an existing San Diego Water Department valve vault. The lot is a sloping area which is bounded by the San Diego County Water Authority (SDCWA) aqueduct easement to the north and east, Scripps Lake Drive to the south, and an existing business park to the west. The existing station is a critical facility within the Miramar Service Area since it supplies over 90 percent of the water to Scripps Ranch and is the sole source of water to the Community. The proposed replacement project is part of the City of San Diego Public Utilities Capital Improvements Program. This program has identified that this pump station is aging, lacks sufficient capacity to meet the City's needs, and is approaching the end of its functional life.

The new pump station is intended to reduce maintenance and energy costs while improving overall pump station reliability, maintainability, and reducing noise. The City's Public Utilities Department System Operations Division would operate and maintain the existing pump station until the replacement station completes a continuous 14-day operational performance testing period (substantial completion) and is ready to be placed into full-time service. By that time, the existing pump station would be put on standby, and the Water Branch Operations would assume day-to-day operational responsibility of the new station.

This proposed project site lies entirely within the City's Multi-Habitat Planning Area (MHPA) and requires a Site Development Permit (SDP) for impacts to Environmentally Sensitive Lands (ESL).

## DISCUSSION

The proposed project's scope includes construction of a 2,400-square-foot masonry block wall building that would house the new pump station. The station building would house six turbine pumps, a trailer-mounted emergency auxiliary generator, and a paved area for parking. The suction and discharge would be connected to existing pipelines via a 36-foot pipeline and a 30-foot manifold. A new sewer line would run west along Scripps Lake Drive and connect to an existing manhole at the intersection of Scripps Lake and Scripps Ranch Boulevard.

The north wall of the building would consist of a reinforced concrete wall which would also act as a retaining wall. The maximum height of the retaining wall proposed along the eastern boundary will be 8 feet. The building would be accessed via a 24-foot-wide driveway off Scripps Lake Drive, leading to a paved area that will provide parking and a turn-around area for City personnel to access the building. The area around the pump station will be paved with asphalt

with the exception of the portable generator parking pad and the access pads in front of doors, which will be reinforced concrete. The exterior of the pump station will be constructed of split-faced-block reinforced concrete masonry units; structural steel roof framing, glass block windows, and a concrete tile roof (Attachment 9).

Although the proposed pump station is located within the MHPA, it is situated on the lower portion of a slope and all drainage and runoff would flow out of or away from the MHPA. The project will also include bio-swales to filter and retain the water on-site as well as a high efficiency, low-maintenance irrigation system. The project impacts 1.20 acres, including 0.32 acres within the grading footprint and 0.88 acre within the construction zone. Of this, 0.53 acres of Diegan coastal sage scrub will be directly impacted. Diegan coastal sage scrub are mitigated at a 1:1 ratio and the mitigation will be accomplished with the purchase of 0.53 acres of mitigation credits at the City of San Diego Public Utilities Cornerstone Lands Conservation Bank, which is located in Marron Valley and lies within the MHPA. Additional mitigation for potential impacts to raptors, the California Rufous-crowned sparrow and California gnatcatchers, is in place if found to be present during construction (Attachment 6).

A landscape concept and revegetation plan has also been prepared for the project which would integrate the new pump station within the natural character of the Scripps Ranch community. Plant selection would reflect the rural character of the area, while adhering to the project goals of sustainability and water conservation. The plant palette would consist of plants native to California, supplemented by low-water-use and low-maintenance plants adapted to the San Diego region. The plant material chosen will complement the existing vegetation of the area and help screen the pump station from public view.

The Scripps Miramar Ranch Community Plan recommends “the preservation of as many eucalyptus trees as possible”, however one existing eucalyptus tree having a diameter exceeding eight inches is in the south west corner of the project and directly east of the project’s driveway cannot be saved. The tree must be removed as it poses a line of site hazard which is safety issue. Access options are limited and the current driveway location proposal is aligned with the existing adjacent development and infrastructure. Other eucalyptus woodland on the property is outside the project impact area and will remain.

## CONCLUSION

Staff has reviewed the request for a Site Development Permit for the construction of a 2,400-square-foot masonry block wall building that will house the new Scripps Ranch Pump Station and has found it to be in conformance with the applicable sections of the San Diego Municipal Code, the MHPA Adjacency Guidelines, and the California Environmental Quality Act (CEQA) Guidelines and the Administrative Regulation 1.60. Therefore, staff believes the findings can be made and recommends the Hearing Officer approve the project.

ALTERNATIVE

1. **Certify** Mitigated Negative Declaration No. 273683/SCH No. 2013011038 and **Approve** Site Development Permit No. 961735 and, with modifications or;
2. **Deny** Site Development Permit No. 961735 and the Mitigated Negative Declaration No. 273683/SCH No. 2013011038, if the required findings to approve the project, cannot be affirmed.

Respectfully submitted,

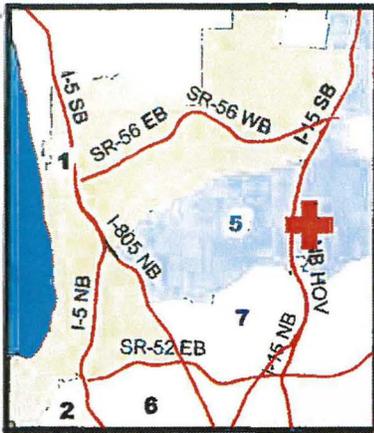


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Helene Deisher, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution with MMRP
7. Community Planning Group Recommendation
8. Building Rendering
9. Project Plans



SENIOR ENGINEER  
Mark Nassar  
619-533-3172

PRELIM ENGR. PROJECT ENGINEER  
XXX XXX XXX  
XXX-XXX-XXXX

PRELIM ENGR. PROJECT MANAGER  
Julian Espinoza  
619-533-4384

PRELIM ENGR P.E.A.  
Susan Griebenow  
619-533-3652

**Project Name**  
**Scripps Miramar Pump Station**



**Legend**

 **Project Location**

**FIGURE 1**



COMMUNITY NAME: SCRIPPS MIRAMAR RANCH COUNCIL DISTRICT: 05 SAP ID: B-00xxxx (S) \ B-00xxxx (W)

Date: October 28, 2009

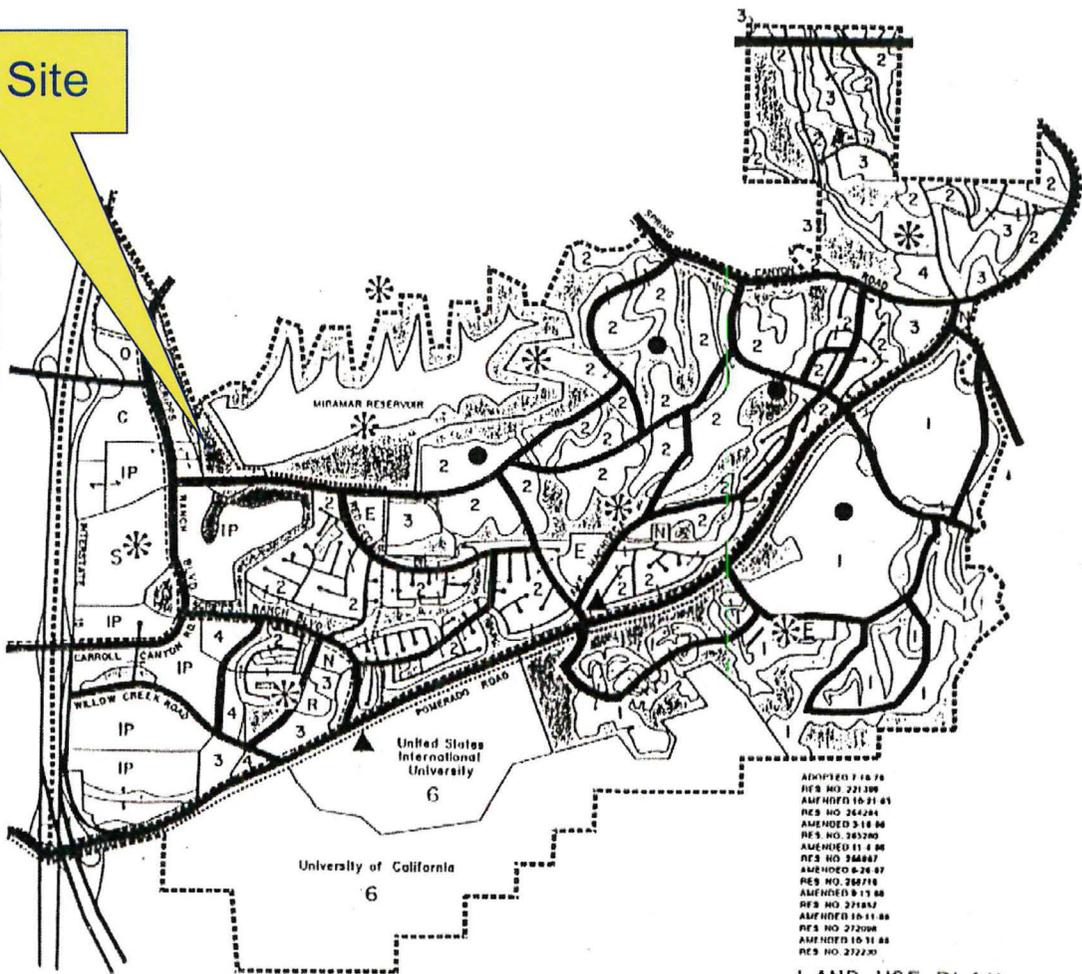
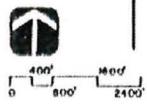
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**Project Site**

**LEGEND**

- Residential 0-300/Net AC [1]
- Residential 3-500/Net AC [2]
- Residential 5-1000/Net AC [3]
- Residential 10-1500/Net AC [4]
- Residential 15-2900/Net AC [5]
- Existing Commercial Recreation [R]
- Community Shopping [C]
- Neighborhood Shopping [N]
- Professional Offices [O]
- Industrial Park [IP]
- Park \* [\*]
- Tot Lot [●]
- Open Space [OS]
- Elementary School [E]
- Secondary School [S]
- University [U]
- Major Hiking Trail [---]
- Dikeway [---]
- County Boundary [---]
- Possible Fire Station Site [▲]

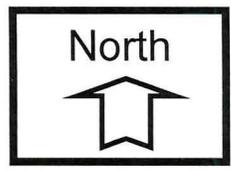


ADOPTED 7 18 78  
 RES. NO. 221306  
 AMENDED 10 21 81  
 RES. NO. 264204  
 AMENDED 3 18 86  
 RES. NO. 365200  
 AMENDED 11 4 86  
 RES. NO. 344667  
 AMENDED 6 26 87  
 RES. NO. 268716  
 AMENDED 9 11 88  
 RES. NO. 271863  
 AMENDED 10 11 88  
 RES. NO. 272008  
 AMENDED 10 31 88  
 RES. NO. 272230

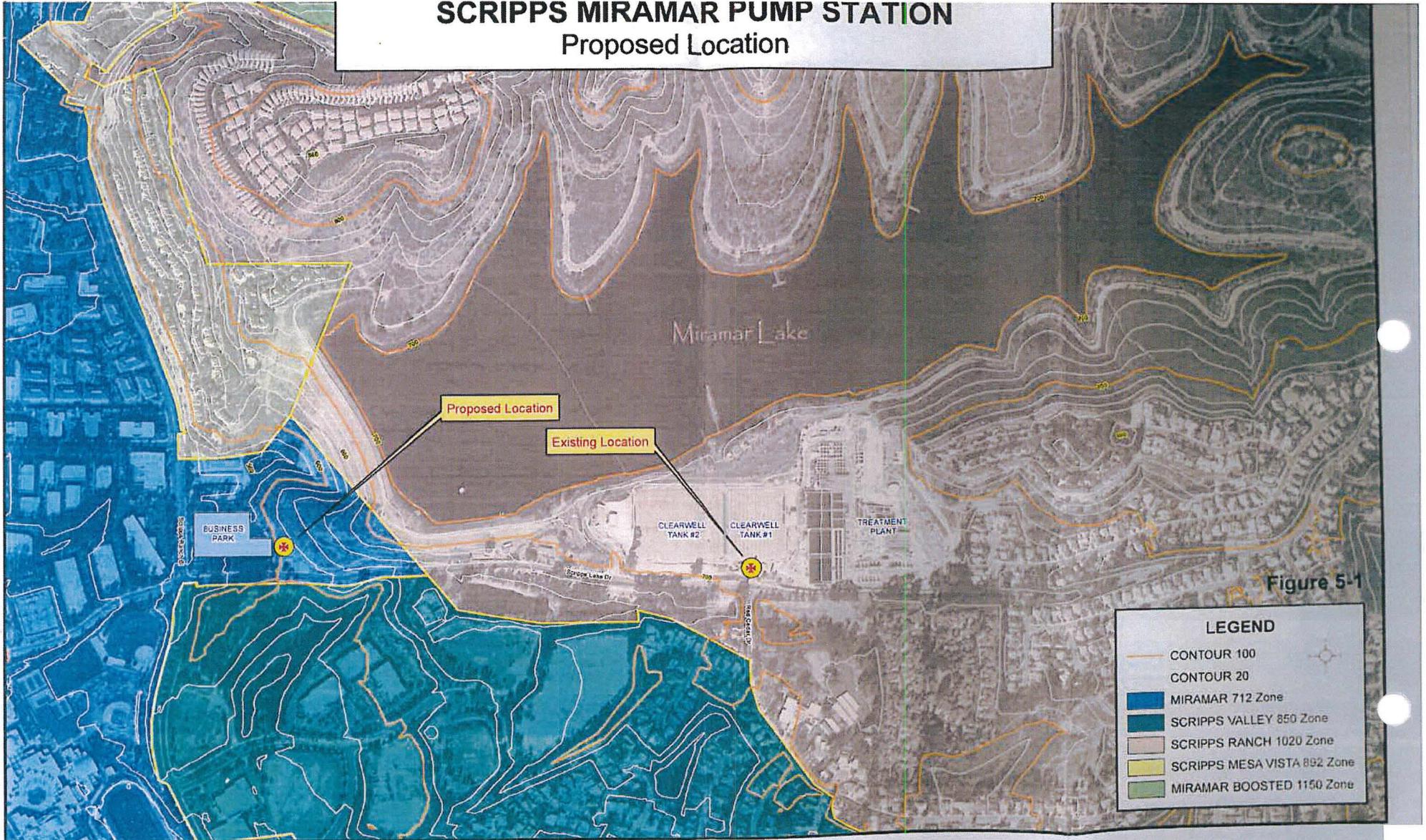
**LAND USE PLAN  
 SCRIPPS MIRAMAR RANCH COMMUNITY PLAN**



**Land Use Map**  
**SCRIPPS RANCH PUMP STATION**  
**PROJECT NO. 273683**



# SCRIPPS MIRAMAR PUMP STATION Proposed Location



**FIGURE 2**

HEARING OFFICER RESOLUTION NO. xxx  
SITE DEVELOPMENT PERMIT NO. 961735  
**SCRIPPS RANCH PUMP STATION - PROJECT NO. 273683 [MMRP]**

WHEREAS, the City of San Diego Public Utilities Department, Owner, and Orion Construction, Permittee, filed an application with the City of San Diego for a permit to construct a new 2,400-square-foot sewer pump station of masonry construction (replacing the existing at a different location) on a vacant City owned parcel (319-160-1900). The work will also include new water/sewer lines and parking (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 961735);

WHEREAS, the project site is located at 10150 Scripps Lake Drive in the AR-1-1 zone, within the Scripps Miramar Ranch Community Plan area, Airport Land Use Compatibility Overlay Zone, FAA Part 77 Notification Area, and Airport Influence Area (Review Area 2) zone(s);

WHEREAS, the project site is legally described as a portion of the south half of section 32, township 14 south, range 2 west, San Bernardino Meridian, lying south of Scripps Lake Drive;

WHEREAS, on March 20, 2013, the Hearing Officer of the City of San Diego considered Site Development Permit 961735 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 20, 2013.

**Site Development Permit - Section 126.0504**

**A. Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan.** The proposed project site, as well as the entire treatment plant facility, is located within designated Open Space in the Scripps Miramar Ranch Community Plan. The parcel is owned by the City's Public Utilities Department which includes much of the land around the reservoir; the treatment plant and the proposed new pump station. The treatment plant was already in existence when the plan was developed. The Public Facilities and Services Element of the Community Plan recognizes that existing utility services (including sewer) will require extension and improvement as development occurs. One of the objectives is to "Assure the availability of all utilities needed for new development." Therefore the project is consistent with this policy.

The Scripps Miramar Ranch Community Plan also recommends that existing eucalyptus trees be preserved since they are important to the historical continuity and overall community design. There are provisions to remove the trees with "justification." One existing eucalyptus tree having a diameter exceeding eight inches is in the south west corner of the project and directly east of the project's driveway and cannot be saved. In this case the justification for this trees removal is because it poses a line of site hazard which is a public safety issue. Access options are limited and the current proposal is aligned with the existing adjacent development and infrastructure. Other eucalyptus woodland on the property is outside the project impact area and will remain.

A landscape concept and revegetation plan has also been prepared for the project which would integrate the new pump station within the natural character of the Scripps Ranch community. Plant selection would reflect the rural character of the area, while adhering to the project goals of sustainability and water conservation. The plant palette will consist of plants native to California requiring low-water-use until established. The plant material chosen will complement the existing vegetation of the area and help screen the pump station from public view.

The proposed architecture, which will include natural materials with earth-tone colors for the building exterior, and tile roofing, is consistent with the Design Element of the Community Plan. The exterior of the pump station would be constructed of split-faced-block reinforced concrete masonry units, structural steel roof framing, glass block windows, and a concrete tile roof. The architectural features and color schemes would blend with the surrounding neighborhood and would require approval by the community planning group prior to construction. Therefore, the proposed development supports the needs of the community as a public utility and will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.** The project is to construct a new 2,400-square-foot masonry block pump station (that would replace the existing Scripps Ranch Pump Station), new water/sewer lines, and associated site improvements on a vacant City of San Diego-owned parcel. The proposed replacement project is part of the City of San Diego Public Utilities Capital Improvements Program. This program has identified that this pump station is aging, lacks sufficient capacity to meet the City's needs, and is approaching the end of its functional life. By replacing an inadequate public facility the project supports both public health and safety and therefore is not detrimental to public health and safety.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.** The project is to construct a new 2,400-square-foot masonry block pump station (that would replace the existing Scripps Ranch Pump Station), new water/sewer lines, and associated site improvements on a vacant portion of City of San Diego owned parcel. Based on the review of the proposal and the supporting information the proposed development complies with the applicable regulations of the Land Development Code.

#### **B. Supplemental Findings--Environmentally Sensitive Lands**

**1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.** The project is to construct a new 2,400-square-foot masonry block pump station (that would replace the existing Scripps Ranch Pump Station), new water/sewer lines, and associated site improvements on a vacant portion of a City of San Diego-owned parcel. Although the proposed pump station and associated new water and sewer lines are located within the MHPA, it is situated on the lower portion of a slope and all drainage and runoff would flow out of or away from the MHPA. The project will also include bio-swales to filter and retain the water on-site as well as a high efficiency, low-maintenance irrigation system.

A landscape concept and revegetation plan has also been prepared for the project which would integrate the new pump station within the natural character of the Scripps Ranch community. The plant selection reflects the rural character of the area, while adhering to the project goals of sustainability and water conservation. The plant will consist of plants native to California requiring low-water-use until established. The plant material chosen complements the existing vegetation of the area, will help screen the pump station from public view and adhere to the MHPA adjacency guidelines.

Therefore, site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

**2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.** The project is to construct a new 2,400-square-foot masonry block pump station (that would replace the existing Scripps Ranch Pump Station), new water/sewer lines, and associated site improvements on a vacant portion of a City of San Diego-owned parcel. The proposed development footprint will not be located within Steep Hillside as defined by the Land Development Code. Additionally, the project area was previously graded for the existing water vault, and the project utilizes the existing grade wherever possible. The proposed pump station is located within the MHPA. It is situated on the lower portion of a slope and all drainage and runoff would flow out of or away from the MHPA. The project will also include bio-swales to filter and retain the water on-site as well as a high efficiency, low-maintenance irrigation system. The project design utilized some existing grading and will not cause or be subject to any geologic or erosional forces or flood hazards and being a masonry block building, will not result in or undue risk from any fire hazard.

**3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.** The project is to construct a new 2,400-square-foot masonry block pump station (that would replace the existing Scripps Ranch Pump Station), new water/sewer lines, and associated site improvements on a vacant portion of a City of San Diego-owned parcel. Although the proposed pump station is located within the MHPA, it is situated on the lower portion of a slope and all drainage and runoff would flow out of or away from the MHPA. The project will also include bio-swales to filter and retain the water on-site as well as a high efficiency, low-maintenance irrigation system.

The project impacts 1.20 acres, including 0.32 acres within the grading footprint and 0.88 acre within the construction zone. Of this, 0.53 acres of Diegan coastal sage scrub will be directly impacted. Diegan coastal sage scrub is mitigated at a 1:1 ratio and the mitigation will be accomplished with the purchase of 0.53 acres of mitigation credits at the City of San Diego Public Utilities Cornerstone Lands Conservation Bank, which is located in Marron Valley and lies within the MHPA. Additional mitigation for potential impacts to raptors, the California Rufous-crowned sparrow and California gnatcatchers, is in place if found to be present during construction. The remaining aspects of the project will comply with the MHPA Adjacency Guidelines including the lighting which will be trained only on the developed portion of the site which would limit impacts to sensitive species. Therefore, the proposed development is sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

**4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.** The project is to construct a new 2,400-square-foot masonry block pump station (that would replace the existing Scripps Ranch Pump Station), new water/sewer lines, and associated site improvements on a vacant portion of a City of San Diego-owned parcel. The proposed pump station is an allowed use within the MHPA pursuant to section 1.4.1, compatible uses, roads and utilities. Although the proposed pump station and associated pipelines are located within the MHPA the facility has been designed to minimize impacts to sensitive biological resources, by being placed in the least sensitive area. The station is situated on the lower portion of a slope and all drainage and runoff would flow out of or away from the MHPA. The project will also include bio-swales to filter and retain the water on-site as well as a high efficiency, low-maintenance irrigation system.

The project impacts 1.20 acres, including 0.32 acres within the grading footprint and 0.88 acres within the construction zone. Of this, 0.53 acres of Diegan coastal sage scrub will be directly impacted. Diegan coastal sage scrub is mitigated at a 1:1 ratio and the mitigation will be accomplished with the purchase of 0.53 acres of mitigation credits at the City of San Diego Public Utilities Cornerstone Lands Conservation Bank, which is located in Marron Valley and lies within the MHPA. Additional mitigation for potential impacts to raptors, the California Rufous-crowned sparrow and California gnatcatchers, is in place if found to be present during construction. The remaining aspects of the project will comply with the MHPA Adjacency Guidelines including the lighting which will be trained only on the developed portion of the site which would limit impacts to sensitive species. The project does have a Mitigation Monitoring and Reporting Program (MMRP) and the implementation of that MMRP will make the project consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

**5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.** The project site is located approximately 15 miles from the ocean and the development will not contribute to the erosion of public beaches or impact the shoreline sand supply.

**6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.** The mitigation for this project has been analyzed and gauged against the proposed impacts of the development. The project does have a Mitigation Monitoring and Reporting Program (MMRP) which is agreed upon by the applicant and is consistent with the published guidelines for development with the proposed impacts. Mitigation will be accomplished with the purchase of 0.53 acres of mitigation credits at the City of San Diego Public Utilities Cornerstone Lands Conservation Bank, which is located in Marron Valley which is also consistent with and an acceptable off-site mitigation method of the Biology Guidelines.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer Site Development Permit No. 961735 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 961735, a copy of which is attached hereto and made a part hereof.

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Helene Deisher  
Development Project Manager  
Development Services

Adopted on: March 20, 2013

WBS# S-12019.06.02

**RECORDING REQUESTED BY**  
 CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES  
 PERMIT INTAKE, MAIL STATION 501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: WBS S-12019.06.02

**SITE DEVELOPMENT PERMIT NO.961735**  
**SCRIPPS RANCH PUMP STATION, PROJECT NO. 273683 [MMRP]**  
**Hearing Officer**

This Site Development Permit No. 961735 is granted by the Hearing Officer of the City of San Diego to the city of San Diego Public Utilities Department, Owner, and Orion Construction, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0504. The site is located at 10714 Scripps Lake Drive in the AR-1-1 zone, within the Scripps Miramar Ranch Community Plan area, Airport Land Use Compatibility Overlay Zone, FAA Part 77 Notification Area, Airport Influence Area (Review Area 2) zone(s). The project site is legally described as: portion south half of section 32, township 14 south, range 2 west, San Bernardino Meridian, lying south of Scripps Lake Drive.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner the city of San Diego Public Utilities Department, Owner, and Orion Construction, Permittee, to construct a new sewer pump station of masonry construction (replacing the existing at a different location) on a vacant City owned parcel (319-160-1900). Work will also include new water/sewer lines and parking as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 20, 2013, on file in the Development Services Department.

The project shall include:

- a. Construction of a 2,400 square foot masonry block building containing pump equipment; and
- b. Fences and retaining walls according to exhibit a including: A solid fence within the required side yard (western side) setback at 8.3 feet, an 8 foot wrought iron fence (south side), an 8 foot Concrete Masonry Unit (CMU) fence (north side) and a retaining wall along the western side of the property 7.3 feet in height; and

- c. Landscaping (planting, irrigation and landscape related improvements); and
- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

#### **ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

10. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

11. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION, NO. 273683/SCH No. 2013011038, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

12. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION NO. 273683/SCH No. 2013011038, to the satisfaction of the Development Services Department and the City Engineer. Prior to the issuance of the "Notice to Proceed" with construction, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: **Biological Resources and Land Use (MHPA)**.

**ENGINEERING REQUIREMENTS:**

13. The City Engineer shall assure that all grading shall conform to requirements in accordance with the City of San Diego Municipal Code and incorporation of any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 20, 2013, by resolution number XXXX

Site Development Permit No. 961735:  
Date of Approval: March 20, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Helene Deisher  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

City Of San Diego, Public Utilities Department  
Owner

By \_\_\_\_\_  
NAME  
TITLE

Orion Construction  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

RESOLUTION NUMBER R- \_\_\_\_\_

ADOPTED ON March 20, 2013

WHEREAS, on March 29, 2012, Orion Construction submitted an application to Development Services Department for a Site Development Permit for the: Scripps Ranch Pump Station Project; and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on March 20, 2013; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigation Negative Declaration No. 273683 prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the DEVELOPMENT SERVICES DEPARTMENT, 1222 FIRST AVENUE, SAN DIEGO, CA 92101

BE IT FURTHER RESOLVED, that DEVELOPMENT SERVICES STAFF is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: Helene Deisher

By: \_\_\_\_\_  
Helene Deisher, Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A**  
Scripps Ranch Pump Station  
MITIGATION MONITORING AND REPORTING PROGRAM  
**Site Development Permit**

PROJECT NO. 273683

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 230429 shall be made conditions of Site Development Permit as may be further described below.

**A. GENERAL REQUIREMENTS – PART I**

Plan Check Phase (prior to permit issuance)

1. Prior to Bid Opening/Bid Award or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD) (plans, specification, details, etc.) to ensure the MMRP requirements have been incorporated.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

**B. GENERAL REQUIREMENTS – PART II**

**Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

**Biologist**

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

## CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) No. 264038, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's ED, MMC and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc)

## Note:

Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence that any other agency requirements or permits have been obtained or are in process shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

**California Department of Fish and Game (CDFG) - Streambed Alteration Permit, Regional Water Quality Control Board (RWQCB) - 401 Water Quality Certificate, and Army Corps of Engineers (ACOE) - preconstruction notification.**

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.
5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

**Document Submittal/Inspection Checklist**

<i>Issue Area</i>	<i>Document submittal</i>	<i>Associated Inspection/Approvals/Note</i>
General	Consultant Qualification Letters meeting	Prior to Pre-construction
General	Consultant Const. Monitoring	Prior to or at the Pre-Construction meeting
Biology Final MMRP	Biology Reports	Limit of Work Verification Final MMRP Inspection

## SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS:

**A. LAND USE- MULTIPLE SPECIES CONSERVATION PROGRAM (MSCP)**

## I. Prior to Preconstruction meeting:

- a. Prior to the Notice to Proceed, which will be sent to DSD, the ADD Environmental Designee shall verify that all Multi-Habitat Planning Area (MHPA) boundaries and limits of work have been delineated on all construction documents.
- b. Prior to the first pre-construction meeting, the Applicant Department shall provide a letter of verification to the Mitigation Monitoring Coordination (MMC) Section stating that a qualified Biologist or City Biologist, as defined in the City of San Diego Biology Guidelines, has been retained to implement the project's MSCP Monitoring Program. The letter shall include the names and contact information of all persons involved in the Biological Monitoring of the project.
- c. At least thirty days prior to the pre-construction meeting, the qualified Biologist shall submit all required documentation to MMC, verifying that any special reports, maps, plans and time lines, such as, but not limited to, revegetation plans, plant relocation requirements and timing, MSCP requirements, avian or other wildlife protocol surveys, impact avoidance areas or other such information has been completed and updated.

## II. Prior to the Notice to Proceed:

- a. The qualified biologist (project biologist) shall attend the first preconstruction meeting and discuss the projects biological monitoring program.
- b. The limits of work shall be clearly delineated by a survey crew prior to brushing, clearing or grading. The limits of work, as shown on the approved Exhibit A, shall be defined with flagging and checked by the biological monitor before initiation of construction grading. All native plants or species of special concern,

as identified in the biological technical report, shall be staked, flagged and avoided within Brush Management Zone 2, if applicable.

- c. **MONITORING EXHIBITS** All consultants are required to submit, to MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc, marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.
- III. During Construction:
- a. The Biological Monitor shall be present full-time during clearing activities, which could result in impacts to biological resources as identified on the Biological Monitoring Exhibit.
  - b. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed to MMC the first day of monitoring, the last day of monitoring, monthly.
  - c. The Biological Monitor shall immediately notify MMC by phone of any unanticipated impacts outside the approved limits of work, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the impacts to biological resources in context, if possible.

In addition, the following mitigation measures related to the MHPA Land Use Adjacency Guidelines shall be implemented during construction:

- d. Prior to initiation of any demolition and/or construction-related grading, the project biologist shall discuss the sensitive nature of the adjacent habitat with the crew and subcontractor.
- e. Invasive non-native plant species shall not be introduced into areas within, or adjacent to, the MHPA. Landscape plans shall contain non-invasive native species adjacent to sensitive biological areas as shown on the approved Exhibit A.
- f. All lighting adjacent to the MHPA shall be shielded, unidirectional, low pressure sodium illumination (or similar) and directed away from preserve areas using appropriate placement and shields. If lighting adjacent to the MHPA is required for nighttime construction, it shall be directed away from the preserve and the tops of adjacent trees with potentially nesting raptors, using appropriate placement and shielding.
- g. All construction activities (including staging areas and/or storage areas) shall be restricted to the development area as shown on the approved Exhibit A. No equipment maintenance shall be conducted within or near the adjacent open space and/or sensitive areas and shall be restricted to the development area, as shown on

the approved Exhibit. All construction activities shall not encroach into sensitive biological areas within either the open-space and/or MHPA areas. The project biologist shall monitor construction activities, as needed, to ensure that construction activities do not encroach into biologically sensitive areas beyond the limits of work as shown on the approved Exhibit "A".

- h. Natural drainage patterns shall be maintained as much as possible during construction. Erosion control techniques, including the use of sandbags, hay bales, and/or the installation of sediment traps, shall be used to control erosion and deter drainage during construction activities into the adjacent open space. Drainage from all development areas adjacent to the MHPA shall be directed away from the MHPA, or if not possible, must not drain directly into the MHPA, but instead into sedimentation basins, grassy swales, and/or mechanical trapping devices as specified by the City Engineer.
- i. No trash, oil, parking or other construction related activities shall be allowed outside the established limits of grading, as shown on the approved Exhibit A. All construction related debris shall be removed off-site to an approved disposal facility.

## **B. BIOLOGICAL RESOURCES**

- I. Prior to the Notice to Proceed, which will be sent to DSD, the ADD Environmental Designee of the Entitlements Division shall verify that the following conditions have occurred to mitigate direct impacts to 0.05 acre of Diegan coastal sage scrub (Tier II habitat) and 0.24 acre of southern mixed chaparral (Tier IIIA habitat):
  - a. In order to mitigate for the impacts to uplands, the applicant would be required to provide verification that payment into the Habitat Acquisition Fund (HAF) has occurred. The required mitigation ratio for both the Tier II and IIIA habitats listed above is 1:1. Therefore, the applicant shall purchase a total of 0.29 acre of habitat through the City's Habitat Acquisition Fund (HAF) at the current per-acre contribution amount.
- II. Letters of Qualification Have Been Submitted to ADD
  - a. The applicant shall submit, for approval, a letter verifying the qualifications of the biological professional to MMC. This letter shall identify the Principal Qualified Biologist (PQB) and Qualified Biological Monitor (QBM) and the names of all other persons involved in the implementation of the biological monitoring program, as they are defined in the City of San Diego Biological Review References. Resumes and the biology worksheet should be updated annually.
  - b. MMC will provide a letter to the applicant confirming the qualifications of the PQB /QBM and all City Approved persons involved in the biological monitoring of the project.
  - c. Prior to the start of work, the applicant must obtain approval from MMC for any personnel changes associated with the biological monitoring of the project.

- d. PBQ must also submit evidence to MMC that the PQB/QBM has completed the Storm Water Pollution Prevention Program (SWPPP) training.

### III. Prior to Start of Construction

#### A. PQB Shall Attend Preconstruction (Precon) Meetings

1. Prior to beginning any work that requires monitoring:
  - a. The owner/permittee or their authorized representative shall arrange and perform a Precon Meeting that shall include the PQB, Construction Manager (CM) and/or Grading Contractor (GC), Landscape Architect (LA), Revegetation Installation Contractor (RIC), Revegetation Maintenance Contractor (RMC), Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC.
  - b. The PQB shall also attend any other grading/excavation related Precon Meetings to make comments and/or suggestions concerning the biological monitoring program.
  - c. If the PQB is unable to attend the Precon Meeting, the owner shall schedule a focused Precon Meeting with MMC, PQB, CM, BI, LA, RIC, RMC, RE and/or BI, if appropriate, prior to the start of any work associated with the revegetation/restoration phase of the project, including site grading preparation.

#### B. When Biological Monitoring Will Occur

1. Prior to the start of any work, the PQB shall also submit a monitoring procedures schedule to MMC and the RE indicating when and where biological monitoring and related activities will occur.

#### C. PQB Shall Contact MMC to Request Modification

1. The PQB may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information (such as other sensitive species not listed by federal and/or state agencies and/or not covered by the MSCP and to which any impacts may be considered significant under CEQA) which may reduce or increase the potential for biological resources to be present.

### IV. During Construction

#### A. PQB or QBM Present During Construction/Grading/Planting

1. The PQB or QBM shall be present full-time during construction activities including but not limited to, site preparation, cleaning, grading, and excavation, in association with the construction of the project which could result in impacts to sensitive biological resources as identified in the LCD and on the RRME. **The QBM is responsible for notifying the PQB of changes to any approved construction plans, procedures, and/or activities. The PQB is responsible to notify MMC of the changes.**

2. The PQB or QBM shall document field activity via the Consultant Site Visit Record Forms (CSVSR). The CSVSR's shall be faxed by the CM the first day of monitoring, the last day of monitoring, monthly, and in the event that there is a deviation from conditions identified within the LCD and/or biological monitoring program. The RE shall forward copies to MMC.
3. The PQB or QBM shall be responsible for maintaining and submitting the CSVSR at the time that CM responsibilities end (i.e., upon the completion of construction activity other than that of associated with biology).
4. All construction activities (including staging areas) shall be restricted to the development areas. The PQB or QBM staff shall monitor construction activities as needed, with MMC concurrence on method and schedule. This is to ensure that construction activities do not encroach into biologically sensitive areas beyond the limits of disturbance.
5. The PQB or QBM shall supervise the placement of orange construction fencing or City approved equivalent, along the limits of potential disturbance adjacent to (or at the edge of) all sensitive habitats.
6. The PBQ shall provide a letter to MMC that the limits of potential disturbance have been surveyed, staked and that the construction fencing has been installed properly.
7. The PQB or QBM shall oversee implementation of BMP's, such as gravel bags, straw logs, silt fences or equivalent erosion control measures, as needed to ensure prevention of any significant sediment transport. In addition, the PQB/QBM shall be responsible to verify the removal of all temporary construction BMP's upon completion of construction activities. Removal of temporary construction BMP's shall be verified in writing on the final construction phase CSVSR.
8. PQB shall verify in writing on the CSVSR's that no trash stockpiling or oil dumping, fueling of equipment, storage of hazardous wastes or construction equipment/material, parking or other construction related activities shall occur adjacent to sensitive habitat. These activities shall occur only within the designated staging area located outside the area defined as biological sensitive area.

**B. Disturbance/Discovery Notification Process**

1. If unauthorized disturbances occurs or sensitive biological resources are discovered that were not previously identified, the PQB or QBM shall direct the contractor to temporarily divert construction in the area of disturbance or discovery and immediately notify the RE or BI, as appropriate.

2. The PQB shall also immediately notify MMC by telephone of the disturbance and report the nature and extent of the disturbance and recommend the method of additional protection, such as fencing and appropriate Best Management Practices (BMP's). After obtaining concurrence with MMC and the RE, PQB and CM shall install the approved protection and agreement on BMP's.
3. The PQB shall also submit written documentation of the disturbance to MMC within 24 hours by fax or email with photos of the resource in context (e.g., show adjacent vegetation).

C. Determination of Significance

1. The PQB shall evaluate the significance of disturbance and/or discovered biological resource and provide a detailed analysis and recommendation in a letter report with the appropriate photo documentation to MMC to obtain concurrence and formulate a plan of action which can include fines, fees, and supplemental mitigation costs.
2. MMC shall review this letter report and provide the RE with MMC's recommendations and procedures.

V. General Bird Mitigation

- a. If project grading/brush management is proposed in or adjacent to native habitat during the typical bird breeding season (i.e. Feb. 1-Sept. 15), or an active nest is noted, the project biologist shall conduct a pre-grading survey for active nests in the development area and within 300 feet of it, and submit a letter report to MMC prior to the preconstruction meeting.
- b. If active nests are detected, or considered likely, the report shall include mitigation in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) to the satisfaction of the Assistant Deputy Director (ADD) Environmental Designee of the Entitlements Division. Mitigation requirements determined by the project biologist and the ADD shall be incorporated into the project's Biological Construction Monitoring Exhibit (BCME) and all monitoring results shall be incorporated into the final biological construction monitoring report.
- c. If no nesting birds are detected per Section III(a) above, mitigation under III(a) is not required.

VI. LEAST BELL'S VIREO (State Endangered/Federally Endangered)

- I. Prior to the preconstruction meeting, the City Manager (or appointed designee) shall verify that the following project requirements regarding the least Bell's vireo are shown on the construction plans:

NO CLEARING, GRUBBING, GRADING, OR OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR BETWEEN MARCH 15 AND SEPTEMBER 15,

THE BREEDING SEASON OF THE LEAST BELL'S VIREO, UNTIL THE FOLLOWING REQUIREMENTS HAVE BEEN MET TO THE SATISFACTION OF THE CITY MANAGER:

- A. A QUALIFIED BIOLOGIST (POSSESSING A VALID ENDANGERED SPECIES ACT SECTION 10(a)(1)(A) RECOVERY PERMIT) SHALL SURVEY THOSE WETLAND AREAS THAT WOULD BE SUBJECT TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DECIBELS [dB(A)] HOURLY AVERAGE FOR THE PRESENCE OF THE LEAST BELL'S VIREO. SURVEYS FOR THIS SPECIES SHALL BE CONDUCTED PURSUANT TO THE PROTOCOL SURVEY GUIDELINES ESTABLISHED BY THE U.S. FISH AND WILDLIFE SERVICE WITHIN THE BREEDING SEASON PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IF THE LEAST BELL'S VIREO IS PRESENT, THEN THE FOLLOWING CONDITIONS MUST BE MET:
1. BETWEEN MARCH 15 AND SEPTEMBER 15, NO CLEARING, GRUBBING, OR GRADING OF OCCUPIED LEAST BELL'S VIREO HABITAT SHALL BE PERMITTED. AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; AND
  2. BETWEEN MARCH 15 AND SEPTEMBER 15, NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES WOULD RESULT IN NOISE LEVELS EXCEEDING 60 dB(A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED LEAST BELL'S VIREO OR HABITAT. AN ANALYSIS SHOWING THAT NOISE GENERATED BY CONSTRUCTION ACTIVITIES WOULD NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED HABITAT MUST BE COMPLETED BY A QUALIFIED ACOUSTICIAN (POSSESSING CURRENT NOISE ENGINEER LICENSE OR REGISTRATION WITH MONITORING NOISE LEVEL EXPERIENCE WITH LISTED ANIMAL SPECIES) AND APPROVED BY THE CITY MANAGER AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. PRIOR TO THE COMMENCEMENT OF ANY OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON, AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; OR
  3. AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, UNDER THE DIRECTION OF A QUALIFIED ACOUSTICIAN, NOISE ATTENUATION MEASURES (e.g., BERMS, WALLS) SHALL BE IMPLEMENTED TO ENSURE THAT NOISE LEVELS RESULTING FROM CONSTRUCTION

ACTIVITIES WILL NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF HABITAT OCCUPIED BY THE LEAST BELL'S VIREO. CONCURRENT WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION OF NECESSARY NOISE ATTENUATION FACILITIES, NOISE MONITORING\* SHALL BE CONDUCTED AT THE EDGE OF THE OCCUPIED HABITAT AREA TO ENSURE THAT NOISE LEVELS DO NOT EXCEED 60 dB(A) HOURLY AVERAGE. IF THE NOISE ATTENUATION TECHNIQUES IMPLEMENTED ARE DETERMINED TO BE INADEQUATE BY THE QUALIFIED ACOUSTICIAN OR BIOLOGIST, THEN THE ASSOCIATED CONSTRUCTION ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT ADEQUATE NOISE ATTENUATION IS ACHIEVED OR UNTIL THE END OF THE BREEDING SEASON (SEPTEMBER 16).

\* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

B. IF LEAST BELL'S VIREO ARE NOT DETECTED DURING THE PROTOCOL SURVEY, THE QUALIFIED BIOLOGIST SHALL SUBMIT SUBSTANTIAL EVIDENCE TO THE CITY MANAGER AND APPLICABLE RESOURCE AGENCIES WHICH DEMONSTRATES WHETHER OR NOT MITIGATION MEASURES SUCH AS NOISE WALLS ARE NECESSARY BETWEEN MARCH 15 AND SEPTEMBER 15 AS FOLLOWS:

1. IF THIS EVIDENCE INDICATES THE POTENTIAL IS HIGH FOR LEAST BELL'S VIREO TO BE PRESENT BASED ON HISTORICAL RECORDS OR SITE CONDITIONS, THEN CONDITION A.III SHALL BE ADHERED TO AS SPECIFIED ABOVE.
2. IF THIS EVIDENCE CONCLUDES THAT NO IMPACTS TO THIS SPECIES ARE ANTICIPATED, NO MITIGATION MEASURES WOULD BE NECESSARY.

VII. COASTAL CALIFORNIA GNATCATCHER (State Species of Special Concern/Federally Threatened)

- I. Prior to the preconstruction meeting, the City Manager (or appointed designee) shall verify that the following project requirements regarding the least Bell's vireo

are shown on the construction plans:

NO MECHANIZED CLEARING, GRUBBING, GRADING, OR OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR BETWEEN MARCH 1 AND AUGUST 15, THE BREEDING SEASON OF THE COASTAL CALIFORNIA GNATCATCHER UNTIL THE FOLLOWING REQUIREMENTS HAVE BEEN MET TO THE SATISFACTION OF THE CITY MANAGER:

- A. A QUALIFIED BIOLOGIST (POSSESSING A VALID ENDANGERED SPECIES ACT SECTION 10(A)(1)(A) RECOVERY PERMIT) SHALL SURVEY THOSE HABITAT AREAS WITHIN THE MHPA THAT WOULD BE SUBJECT TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DECIBELS [DB(A)] HOURLY AVERAGE FOR THE PRESENCE OF THE COASTAL CALIFORNIA GNATCATCHER. SURVEYS FOR THE COASTAL CALIFORNIA GNATCATCHER SHALL BE CONDUCTED PURSUANT TO THE PROTOCOL SURVEY GUIDELINES ESTABLISHED BY THE U.S. FISH AND WILDLIFE SERVICE WITHIN THE BREEDING SEASON PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. IF GNATCATCHERS ARE PRESENT, THEN THE FOLLOWING CONDITIONS MUST BE MET:
1. BETWEEN MARCH 1 AND AUGUST 15, NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES WOULD RESULT IN NOISE LEVELS EXCEEDING 60 DB(A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED GNATCATCHER HABITAT. AN ANALYSIS SHOWING THAT NOISE GENERATED BY CONSTRUCTION ACTIVITIES WOULD NOT EXCEED 60 DB(A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED HABITAT MUST BE COMPLETED BY A QUALIFIED ACOUSTICIAN (POSSESSING CURRENT NOISE ENGINEER LICENSE OR REGISTRATION WITH MONITORING NOISE LEVEL EXPERIENCE WITH LISTED ANIMAL SPECIES) AND APPROVED BY THE CITY MANAGER AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON, AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; OR
  2. AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, UNDER THE DIRECTION OF A QUALIFIED ACOUSTICIAN, NOISE ATTENUATION MEASURES (E.G., BERMS, WALLS) SHALL BE IMPLEMENTED TO ENSURE THAT NOISE LEVELS RESULTING FROM CONSTRUCTION ACTIVITIES WILL NOT EXCEED 60 DB(A) HOURLY AVERAGE

AT THE EDGE OF HABITAT OCCUPIED BY THE COASTAL CALIFORNIA GNATCATCHER. CONCURRENT WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION OF NECESSARY NOISE ATTENUATION FACILITIES, NOISE MONITORING\* SHALL BE CONDUCTED AT THE EDGE OF THE OCCUPIED HABITAT AREA TO ENSURE THAT NOISE LEVELS DO NOT EXCEED 60 DB(A) HOURLY AVERAGE. IF THE NOISE ATTENUATION TECHNIQUES IMPLEMENTED ARE DETERMINED TO BE INADEQUATE BY THE QUALIFIED ACOUSTICIAN OR BIOLOGIST, THEN THE ASSOCIATED CONSTRUCTION ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT ADEQUATE NOISE ATTENUATION IS ACHIEVED OR UNTIL THE END OF THE BREEDING SEASON (AUGUST 16).

\* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

- B. If Coastal California gnatcatchers are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the city manager and applicable resource agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between March 1 and August 15 as follows:
  1. If this evidence indicates the potential is high for Coastal California gnatcatcher to be present based on historical records or site conditions, then condition A.III shall be adhered to as specified above.
  2. If this evidence concludes that no impacts to this species are anticipated, no further mitigation measures are necessary.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

# *Scripps Ranch Planning Group*

<http://www.scrippsranchplanning.blogspot.com>

## DRAFT MEETING MINUTES

Thursday, September 6, 2012 at 7:00 p.m.

Scripps Ranch Community Library - Community Room

10301 Scripps Lake Drive, San Diego, CA 92131

(858) 538-8158

- I. Welcome!
  - A. Call to order: 7:06pm
    - Roll Call: Julie Ellis, Scott Hilberg, Wally Wulfeck, Paul Vaughan, Todd Philips, Bob Petering, John Lowe, Tamar Silverstein, Marvin Miles, John Lyons, Marc Sorensen, Elizabeth Hansen, Dan Buell, Gordon Boerner
    - Absent : Michael Butcher, Jennifer Wilson, Karen Ringel
  - B. Modifications to Agenda: None
- II. Non-Agenda Public Comment: What is the WIFI code access at SRPG Library: None; it is open.
- III. Announcements
  - A. Councilman Carl DeMaio (T. Vinson)
    - i. License Plates \$20 fundraiser for SRCA
    - ii. Studying streets for VCalm traffic calming units on Aviary near 10196 & Scripps Lake near Red Cedar and Mesa Madera,
    - iii. SR PFFP to go to LUH/Council on Sept 26, Oct 23 and Nov 27 for approval/adoption.
  - B. Assemblymember Nathan Fletcher (S. Benton) Not present
  - C. Miramar Ranch North Planning Committee (D. Steiner) Not present
  - D. MCAS Miramar Update (J. Lias)
    - i. Airshow October; practice sessions to occur week preceding airshow.
    - ii. The new MCAS Commanding Officer will visit SRPG for intro and Q&A.
  - E. CalTrans Update (G. Fong) Not present
- IV. Information Reports, Presentations & Discussion
  - A. Chairperson's Report (T. Philips)
    - Long-time SRPG member John Gardner passed away last week; funeral services held in Minnesota. Condolences to family and friends of long-time active resident and participant in SR community.
  - B. Casa Mira View Construction Update (J. Leppert)
    - i. Casa Mira View II Project heading to Planning Commission on Oct 4.
    - ii. MMPG approved design of I-15 visible art wall with the community's schools mascots.
    - iii. Reviewed street improvements completed, in-progress and future improvement projects.
    - iv. Approx \$4MM in additional FBA fees to be paid for park design/construction at Wagenheim.
    - v. Casa Mira II will be 319 units, approx 45 units/acre vs 105 Community Plan entitlement.
    - vi. To Planning Commission Oct 3<sup>rd</sup>, then City Council November 12.
    - vii. CMV II may take a number of years to get started.
  - C. Scripps Ranch Brush Management (G. Boerner)
    - Go to the SRCA Facebook page to view latest information. Let Tiffany from CD#5 know if you want to be included in the email notification chains for this project.


 V. Action Items

## A. Scripps Lake Pump Station Update (A. Nguyen)

- i. Continuing quest to use the huge rock in front of the station.
- ii. Gravel Road access will be moved.
- iii. About ½ acre of MHPA Sage Scrub impacted by this project.

Motion/2<sup>nd</sup>: Sorensen/Hansen; **Approved 14-0-0**

## B. Scoping Letter for Northeast Corner of I-15 and Carroll Cyn Road (C. Sudberry)

Still have not seen this letter. Philips to contact City to get a copy and forward to SRPG, requesting comments immediately after reading.

## C. Road Humps for Forest Lane Between Scripps Lake Drive and Lake Rim Drive (T. Philips)

- i. A Special Assessment District may be needed to assess the H/O's installation/maintenance.
- ii. Despite City approval, the humps will have to compete with all road maintenance projects on the Needs List that the city maintains. This project does not qualify for TransNet funds. The city has stated that there is currently no specified funding for this project.
- iii. Julie Ellis spoke with the neighbors, confirming speeding concerns.
- iv. Pippa Dinger and neighbors from this street present to discuss issue.
- v. Discussion concurred with Park Safety issue, suggesting potential for 2 vs 6 hump sets.

Motion/2<sup>nd</sup>: Sorensen/Boerner; **Approved 9-3-2**

“Ask City Traffic Engineers to assess traffic speeds on Forest View Lane with 2 hump sets (1 on each side of the Open Space Tot Lot Area) as to whether this is an acceptable traffic calming.”

## D. Aviary Drive Speed Limit Decrease (T. Philips)

Decrease both directions from 35mph to 30mph between Willow Creek road and Scripps Ranch Blvd.

Motion/2<sup>nd</sup>: Sorensen/Miles; **Approved 14-0-0**

## VI. Approval of Minutes

## A. August 2, 2012 Minutes

Motion/2<sup>nd</sup> Sorensen/ Vaughan; **Approved 13-0-1**

## VII. Committee Reports

## A. SR LMD-MAD (M. Sorensen) – Update

- i. All parks are open

## B. MCAS Miramar (J. Lyons) – Update

- i. No August meeting.

## C. CPC (T. Silverstein) – Update

- i. Invitation to CIP Workshop on Sep10 and Sep20th.
- ii. CPC collating Public Facilities Wish Lists from each Planning Group in San Diego.

D. Ad Hoc Subcommittee Meeting at Latitude on Sept 11<sup>th</sup> at 9am re: CLC Project

## VIII. Adjournment 8:58pm

*\*Note time-specific items.*

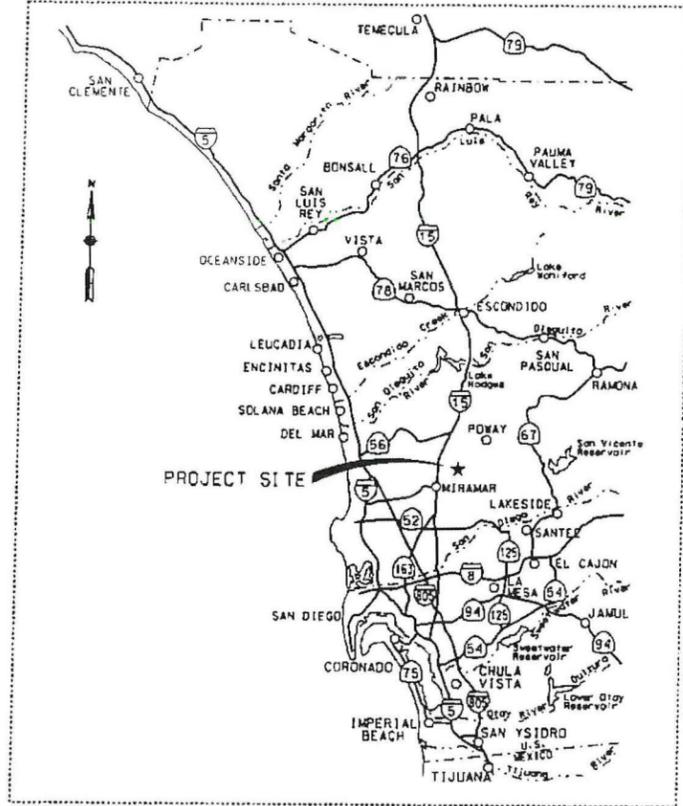


# CONTRACT DRAWINGS FOR

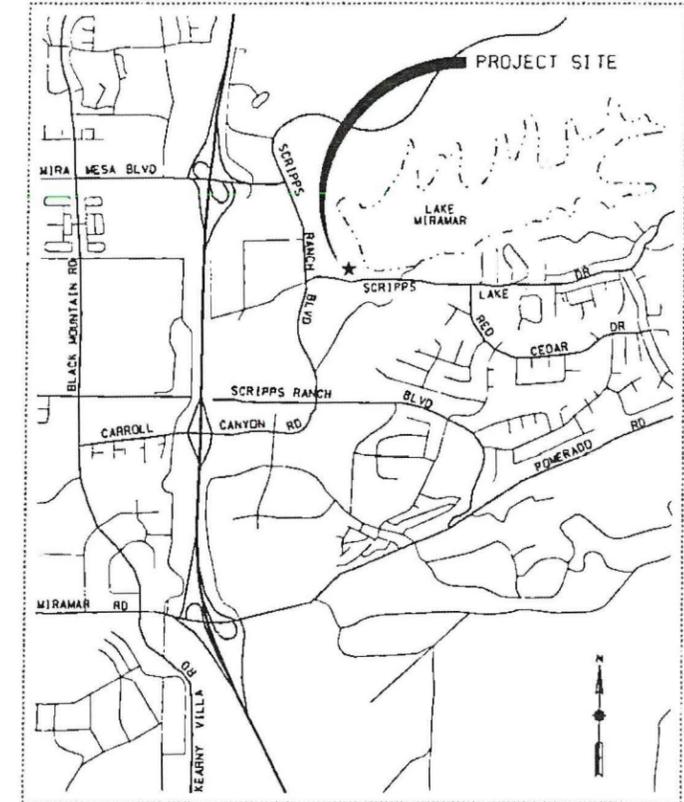
# CAPITAL IMPROVEMENTS PROGRAM

## City of San Diego

# SCRIPPS RANCH PUMP STATION PROJECT



VICINITY MAP  
NTS



LOCATION MAP  
NTS

# SCRIPPS RANCH PUMP STATION PROJECT

LEGAL DESCRIPTION:

PORTION SOUTH HALF OF SECTION 32, TOWNSHIP 14 SOUTH, RANGE 2 WEST,  
SAN BERNARDINO MERIDIAN, LYING NORTHERLY OF SCRIPPS LAKE DRIVE.

VOLUME 2 OF 2

SEPTEMBER 2012

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

(ENGINEER'S NAME)

DATE

P:\Projects\San Diego Water Dept. City of CA\141845 - Scripps Ranch Pump Station DB\CADD\2-SHEETS\C-GENERAL\36605-001.dgn 26-SEP-2012 08:13

SCRIPPS RANCH PUMP STATION

CF NO. 73-263.7	SPEC. NO. 5006	<b>G-1</b>
<b>SCRIPPS RANCH PUMP STATION PROJECT</b>		
TITLE SHEET		
CITY OF SAN DIEGO, CALIFORNIA SHEET 01 OF 117 SHEETS		N.B.S. WATER S-12019
FOR CITY ENGINEER	DATE	APPROVED BY: ANH NGUYEN PROJECT MANAGER
DESCRIPTION	BY	MANUEL FLORES MEZA PROJECT ENGINEER
ORIGINAL	BC	6292407-1910444 NAD83 COORDINATES
		270-1731 LAMBERT COORDINATES
CONTRACTOR (ORIN CONSTRUCTION CORPORATION)	DATE STARTED	36605-01-D
INSPECTOR	DATE COMPLETED	

DRAWING STATUS				
NO.	DATE	REVISION DESCRIPTION	DWN	RVD

TEMPORARY BMP CONSTRUCTION SITE STORM WATER PRIORITY: HIGH  MEDIUM  LOW

CONSULTANT: **Brown AND Caldwell**

ENGINEER OF WORK: **Manuel Flores Meza**

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

City of San Diego  
PUBLIC WORKS PROJECT

**ORION**  
CONSTRUCTION CORPORATION

SCALE: \_\_\_\_\_

VERT: N/A  
HOR: N/A

0 1/2 1  
EQUALS ONE INCH LENGTH ON ORIGINAL DRAWING

APPROVED BY:  
FOR CITY ENGINEER

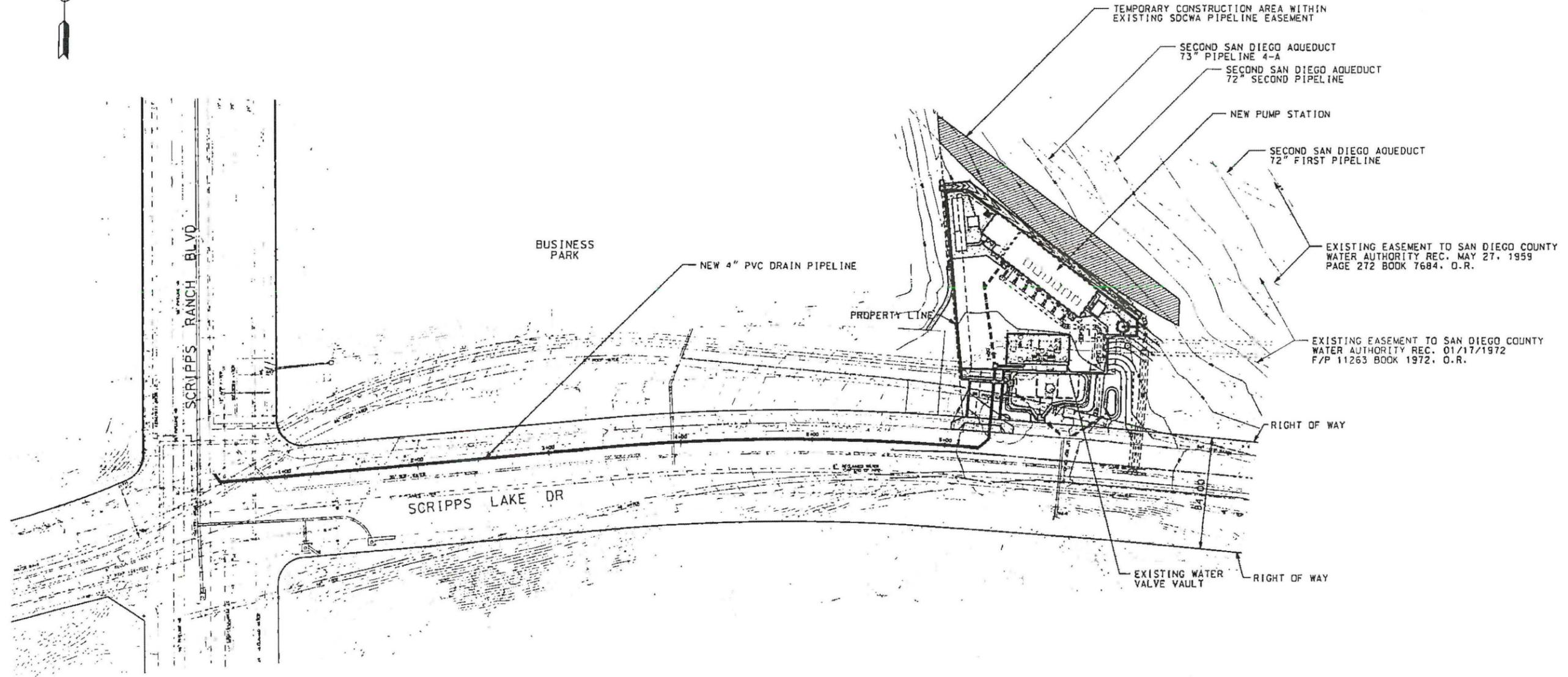
CHECKED BY:  
ASSOCIATE ENGINEER

INSPECTOR

NOT FOR CONSTRUCTION  
SDP 10/15



NOTE:  
THE ENTIRE PUMP STATION SITE IS LOCATED  
IN THE CITY OF SAN DIEGO MULTI-HABITAT  
PLANNING AREA (MHPA).



OVERALL SITE PLAN

P:\Projects\San Diego Water Dept City of (CA)\14845 - Scripps Ranch Pump Station DB\CADD\2-SHEETS\G-GENERAL\36605-G02.dgn 27-AUG-2012 07:54

CP NO. 73-263.7 SPEC. NO. 5006 **G-2**

**SCRIPPS RANCH PUMP STATION  
GENERAL  
OVERALL SITE PLAN**



CITY OF SAN DIEGO, CALIFORNIA  
SHEET 02 OF 117 SHEETS

FOR CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
DESCRIPTION BY APPROVED DATE FILMED  
ORIGINAL BC

FOR CITY ENGINEER  
CHECKED BY: ASSOCIATE ENGINEER  
CHECKED BY: INSPECTOR  
CONTRACTOR ORION CONSTRUCTION CORPORATION DATE STARTED \_\_\_\_\_ DATE COMPLETED \_\_\_\_\_  
36605-02 -D

W.B.S. WATER S-12019

MANUEL FLORES MEZA  
PROJECT ENGINEER  
6292407-1910444  
NAD83 COORDINATES  
270-1731  
LAMBERT COORDINATES

DRAWING STATUS						
NO.	DATE	REVISION DESCRIPTION	DWN	CKD	RVD	PE

CONSULTANT  
**Brown AND Caldwell**



ENGINEER OF WORK  
NAME \_\_\_\_\_ DATE \_\_\_\_\_

DES VCH  
DWN RMK  
CKD GCS

City of San Diego  
**PUBLIC WORKS PROJECT**



SCALE:  
VERT: N/A  
HOR: 1" = 40'  
0 1/2 1  
EQUALS ONE INCH LENGTH ON DRAWING, REGARDLESS

NOT FOR CONSTRUCTION

SDP 2 of 15

LIST OF DRAWINGS

GENERAL

DWG	SHEET	TITLE
G-1	01	TITLE SHEET
G-2	02	OVERALL SITE PLAN
G-3	03	LIST OF DRAWINGS
G-4	04	GENERAL NOTES, LEGEND, AND SYMBOLS
G-5	05	ABBREVIATIONS 1
G-6	06	ABBREVIATIONS 2
G-7	07	ABBREVIATIONS 3
G-8	08	HYDRAULIC PROFILE AND PUMP CURVES

CIVIL

DWG	SHEET	TITLE
C-1	09	SITE PLAN
C-2	10	SITE HORIZONTAL CONTROL PLAN
C-3	11	GRADING AND DRAINAGE PLAN
C-4	12	YARD PIPING HORIZONTAL CONTROL PLAN
C-5	13	YARD PIPING PLAN
C-6	14	CONNECTION DETAILS 1
C-7	15	CONNECTION DETAILS 2
C-8	16	36" PUMP SUCTION MANIFOLD PROFILE
C-9	17	30" PUMP DISCHARGE MANIFOLD PROFILE
C-10	18	SITE DRAINAGE DETAILS
C-11	19	SITE DRAINAGE BASIN SECTIONS
C-12	20	4" DRAIN PIPELINE PLAN STA 0+42.59 TO STA 2+50
C-13	21	4" DRAIN PIPELINE PLAN STA 2+50 TO STA 7+75
C-14	22	4" DRAIN PIPELINE PROFILE
C-15	23	RETAINING WALL PLAN
C-16	24	WEST RETAINING WALL PROFILE
C-17	25	NORTH RETAINING WALL PROFILE
C-18	26	EAST AND SOUTH RETAINING WALL PROFILES
C-19	27	STANDARD DETAILS 1
C-20	28	STANDARD DETAILS 2
C-21	29	STANDARD DETAILS 3

LANDSCAPE

DWG	SHEET	TITLE
L-1	30	IRRIGATION LEGEND, NOTES, AND DETAILS
L-2	31	IRRIGATION PLAN
L-3	32	PLANTING LEGEND AND DETAILS
L-4	33	PLANTING NOTES
L-5	34	PLANTING PLAN

ARCHITECTURAL

DWG	SHEET	TITLE
A-1	35	NOTES, LEGEND, AND BUILDING CODE ANALYSIS
A-2	36	FLOOR PLAN
A-3	37	ROOF PLAN
A-4	38	EXTERIOR ELEVATIONS 1
A-5	39	EXTERIOR ELEVATIONS 2
A-6	40	BUILDING SECTIONS
A-7	41	INTERIOR ELEVATIONS 1
A-8	42	INTERIOR ELEVATIONS 2
A-9	43	DOOR AND FINISH SCHEDULES
A-10	44	DOOR AND WINDOW DETAILS
A-11	45	MISCELLANEOUS DETAILS
A-12	46	ROOF DETAILS
A-13	47	SIGN SCHEDULE

LIST OF DRAWINGS (CON'T)

STRUCTURAL

DWG	SHEET	TITLE
S-1	48	NOTES 1
S-2	49	NOTES 2
S-3	50	NOTES 3
S-4	51	TYPICAL DETAILS 1
S-5	52	TYPICAL DETAILS 2
S-6	53	TYPICAL DETAILS 3
S-7	54	TYPICAL DETAILS 4
S-8	55	TYPICAL DETAILS 5
S-9	56	FOUNDATION PLAN
S-10	57	LOWER ROOF PLAN
S-11	58	UPPER ROOF PLAN
S-12	59	SECTIONS 1
S-13	60	SECTIONS 2
S-14	61	DETAILS 1
S-15	62	DETAILS 2
S-16	63	DETAILS 3
S-17	64	DETAILS 4
S-18	65	DETAILS 5
S-19	66	DETAILS 6
S-20	67	DETAILS 7
S-21	68	DETAILS 8

MECHANICAL

DWG	SHEET	TITLE
M-1	69	PUMP STATION PLAN
M-2	70	PUMP STATION SECTIONS 1
M-3	71	PUMP STATION SECTIONS 2
M-4	72	DETAILS 1
M-5	73	DETAILS 2
M-6	74	DETAILS 3
M-7	75	DETAILS 4
M-8	76	DETAILS 5
M-9	77	DETAILS 6
M-10	78	VALVE AND EQUIPMENT SCHEDULES

HVAC

DWG	SHEET	TITLE
H-1	79	SYMBOLS, LEGEND, SCHEDULES, AND NOTES
H-2	80	TITLE 24
H-3	81	SCHEMATIC DIAGRAM
H-4	82	PUMP STATION PLAN 1
H-5	83	PUMP STATION PLAN 2
H-6	84	PUMP STATION SECTION 1
H-7	85	PUMP STATION SECTION 2
H-8	86	DETAILS

CATHODIC PROTECTION

DWG	SHEET	TITLE
CP-1	87	SITE PLAN
CP-2	88	CORROSION DETAILS 1
CP-3	89	CORROSION DETAILS 2

LIST OF DRAWINGS (CON T)

ELECTRICAL

DWG	SHEET	TITLE
E-1	90	SYMBOLS AND LEGEND 1
E-2	91	SYMBOLS AND LEGEND 2
E-3	92	SITE PLAN
E-4	93	PUMP STATION POWER AND CONTROL PLAN 1
E-5	94	PUMP STATION POWER AND CONTROL PLAN 2
E-6	95	PUMP STATION LIGHTING PLAN 1
E-7	96	PUMP STATION LIGHTING PLAN 2
E-8	97	PUMP STATION GROUNDING PLAN 1
E-9	98	PUMP STATION GROUNDING PLAN 2
E-10	99	MCC ELEVATION
E-11	100	STANDARD DETAILS 1
E-12	101	STANDARD DETAILS 2
E-13	102	STANDARD DETAILS 3
E-14	103	CABLE AND CONDUIT SCHEDULE
E-15	104	LIGHTING PANEL AND FIXTURE SCHEDULES
E-16	105	SINGLE LINE DIAGRAM
E-17	106	CONTROL SCHEMATICS 1
E-18	107	CONTROL SCHEMATICS 2
E-19	108	TITLE 24 SHEET 1
E-20	109	TITLE 24 SHEET 2

INSTRUMENTATION

DWG	SHEET	TITLE
I-1	110	PIPING AND INSTRUMENTATION DIAGRAM SYMBOLS AND LEGEND 1
I-2	111	PIPING AND INSTRUMENTATION DIAGRAM SYMBOLS AND LEGEND 2
I-3	112	PUMP STATION PIPING AND INSTRUMENTATION DIAGRAM 1
I-4	113	PUMP STATION PIPING AND INSTRUMENTATION DIAGRAM 2
I-5	114	GENERATOR AND FLOW METER PIPING AND INSTRUMENTATION DIAGRAM
I-6	115	MISCELLANEOUS PIPING AND INSTRUMENTATION DIAGRAM
I-7	116	PIPING AND INSTRUMENTATION DIAGRAM DETAILS
I-8	117	SURGE TANK PIPING AND INSTRUMENTATION DIAGRAM

TRAFFIC CONTROL

DWG	SHEET	TITLE
* T-1	TC1	TRAFFIC CONTROL NOTES AND LEGEND
* T-2	TC2	TRAFFIC CONTROL SYMBOLS
* T-3	TC3	TRAFFIC CONTROL PLAN 1
* T-4	TC4	TRAFFIC CONTROL PLAN 2
* T-5	TC5	TRAFFIC CONTROL PLAN 3
* T-6	TC6	TRAFFIC CONTROL PLAN 4

P:\Projects\San Diego Water Dept. City of (CA)\147845 - Scripps Ranch Pump Station DB\CADD\2-SHEETS\G-GENERAL\36605-G03.dgn 27-AUG-2012 07:54 therranda

LIST OF DRAWINGS

CP NO. 73-263.7 SPEC. NO. 5006 **G-3**  
**SCRIPPS RANCH PUMP STATION**  
**PROJECT**  
**GENERAL**  
**LIST OF DRAWINGS**

	CITY OF SAN DIEGO, CALIFORNIA		W.B.S. WATER	S-12019
	SHEET 03 OF 117 SHEETS			
APPROVED BY:	FOR CITY ENGINEER	DATE	DRAWN BY: ANH NGUYEN PROJECT MANAGER	
SCALE:	DESCRIPTION	BY	APPROVED	DATE
VERT: N/A	ORIGINAL	BC		
HOR: N/A				
0 1/2 1				
CONTRACTOR: ORION CONSTRUCTION CORPORATION	DATE STARTED:	DATE COMPLETED:	36605-03-0	

\* DRAWINGS NOT INCLUDED IN THIS SUBMITTAL

DRAWING STATUS					CONSULTANT		ENGINEER OF WORK		CITY OF SAN DIEGO	
NO.	DATE	REVISION DESCRIPTION	DWN	CKD	RVD	PE	NAME	DATE	DES	VCH

**Brown AND Caldwell**

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 No. CS1883  
 Exp. 06/30/14  
 CIVIL

City of San Diego  
**PUBLIC WORKS PROJECT**

NOT FOR CONSTRUCTION  
 SDP 3 of 15

**GENERAL NOTES**

**TRAFFIC REQUIREMENTS:**

1. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION, SECTION 7-10.1 THROUGH 7-10.4

**STANDARD SPECIFICATIONS:**

DOC NO	FILED	DESCRIPTION
AEC1231061	12-31-2006	REGIONAL AND CITY OF SAN DIEGO SUPPLEMENT TO BE USED IN CONJUNCTION WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK) 2006 EDITION

**STANDARD DRAWINGS:**

DOC NO	FILED	DESCRIPTION
AEC1231063	12-31-2006	CITY OF SAN DIEGO STANDARD DRAWINGS INCLUDING ALL REGIONAL DRAWINGS

**IMPORTANT NOTICE:**

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG.

**UNDERGROUND UTILITIES:**

THE CONTRACTOR SHALL AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF WORK, PHONE THE TELEPHONE AND THE GAS AND ELECTRIC COMPANY AND OTHER UTILITY COMPANIES AND REQUEST THAT THEIR UNDERGROUND UTILITIES BE MARKED OUT. THIS REQUEST SHALL BE MADE BY THE CONTRACTOR PRIOR TO ALL TRENCHING OPERATIONS REGARDLESS OF WHETHER THE PLANS SHOW UNDERGROUND TELEPHONE OR GAS AND ELECTRIC DUCTS, CABLES, OR PIPELINES.

SAN DIEGO GAS & ELECTRIC CO. 1-800-422-4133  
PACIFIC TELEPHONE CO. 1-800-422-4133

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AT LEAST THREE (3) WORKING DAYS PRIOR TO START OF WORK NEAR THEIR FACILITIES:

CITY BUILDINGS DIVISION 1-619-236-5500  
WATER & SEWER 1-800-422-4133  
STREET LIGHTING SYSTEMS 1-619-236-5310  
CABLE TV 1-619-236-1122  
COMMUNICATIONS DIVISION 1-619-236-5505

**INDEX OF DISCIPLINES:**

- G GENERAL
- C CIVIL
- L LANDSCAPE AND IRRIGATION
- A ARCHITECTURAL
- S STRUCTURAL
- M MECHANICAL
- H HVAC
- CP CATHODIC PROTECTION
- E ELECTRICAL
- I INSTRUMENTATION
- T TRAFFIC CONTROL

**GENERAL CONSTRUCTION NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND REPLACEMENT OR REPAIR OF EXISTING UTILITY SYSTEMS, EXISTING STREET AND SURFACE IMPROVEMENTS SUCH AS CURBS, CUTTERS, PAVING, FENCING, PLANTERS, LANDSCAPING, STREET LIGHTS, IRRIGATION, PAVEMENT STRIPING, ETC. ALL REPLACEMENT OR REPAIR ITEMS SHALL BE RESTORED TO THE ORIGINAL PRE-CONSTRUCTION CONDITION IN ACCORDANCE WITH THE CITY OF SAN DIEGO STANDARD DRAWINGS INCLUDING ALL REGIONAL STANDARD DRAWINGS AS APPLICABLE.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FROM THE SOLE NEGLIGENCE OF THE OWNER.
- SURVEY ACCURACY - THE DEGREE OF ACCURACY OF HORIZONTAL MEASUREMENT SHALL BE +/- 0.1 FEET AS MEASURED BETWEEN COORDINATES.
- HAUL ROUTES MUST BE APPROVED BY THE CITY AND ANY OTHER PUBLIC AGENCY (AS REQUIRED) PRIOR TO CONSTRUCTION.
- THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND IMPROVEMENTS AS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. CONTRACTOR SHALL POTHOLE ALL UTILITIES TO VERIFY SIZE, TYPE AND LOCATION PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY STREET SURVEY MONUMENTS DISTURBED BY THE IMPROVEMENTS. SEE SAN DIEGO REGIONAL STANDARD DRAWING M-10.
- THE LOCATION OF EXISTING BUILDINGS AS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY.
- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

**REFERENCE DRAWINGS**

**WATER:**

X

**SEWER:**

X

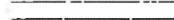
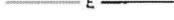
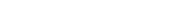
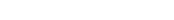
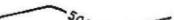
**STORM DRAIN:**

X

**EASEMENTS:**

X

**LEGEND**

-  EXISTING WATER - SIZE AS INDICATED
-  PROPOSED WATER - SIZE AS INDICATED
-  EXISTING STORM DRAIN - SIZE AS INDICATED
-  PROPOSED STORM DRAIN - SIZE AS INDICATED
-  EXISTING MANHOLE
-  PROPOSED MANHOLE
-  EXISTING ELECTRICAL
-  PROPOSED ELECTRICAL
-  EXISTING PROPERTY LINE/EASEMENT
-  RIGHT OF WAY
-  EXISTING CONCRETE CURB
-  PROPOSED CONCRETE CURB
-  EXISTING EDGE OF PAVEMENT
-  PROPOSED EDGE OF PAVEMENT
-  EXISTING FENCE
-  PROPOSED FENCE
-  PROPOSED MASONRY BLOCK WALL
-  EXISTING BRUSH AND LANDSCAPING
-  EXISTING MINOR CONTOUR LINE
-  EXISTING MAJOR CONTOUR LINE
-  PROPOSED MINOR CONTOUR LINE
-  PROPOSED MAJOR CONTOUR LINE
-  DAYLIGHT LINE
-  CUT/FILL LINE
-  PROPOSED AIR RELEASE VALVE
-  PROPOSED BLOW OFF ASSEMBLY

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GENERAL NOTES, LEGEND, AND SYMBOLS

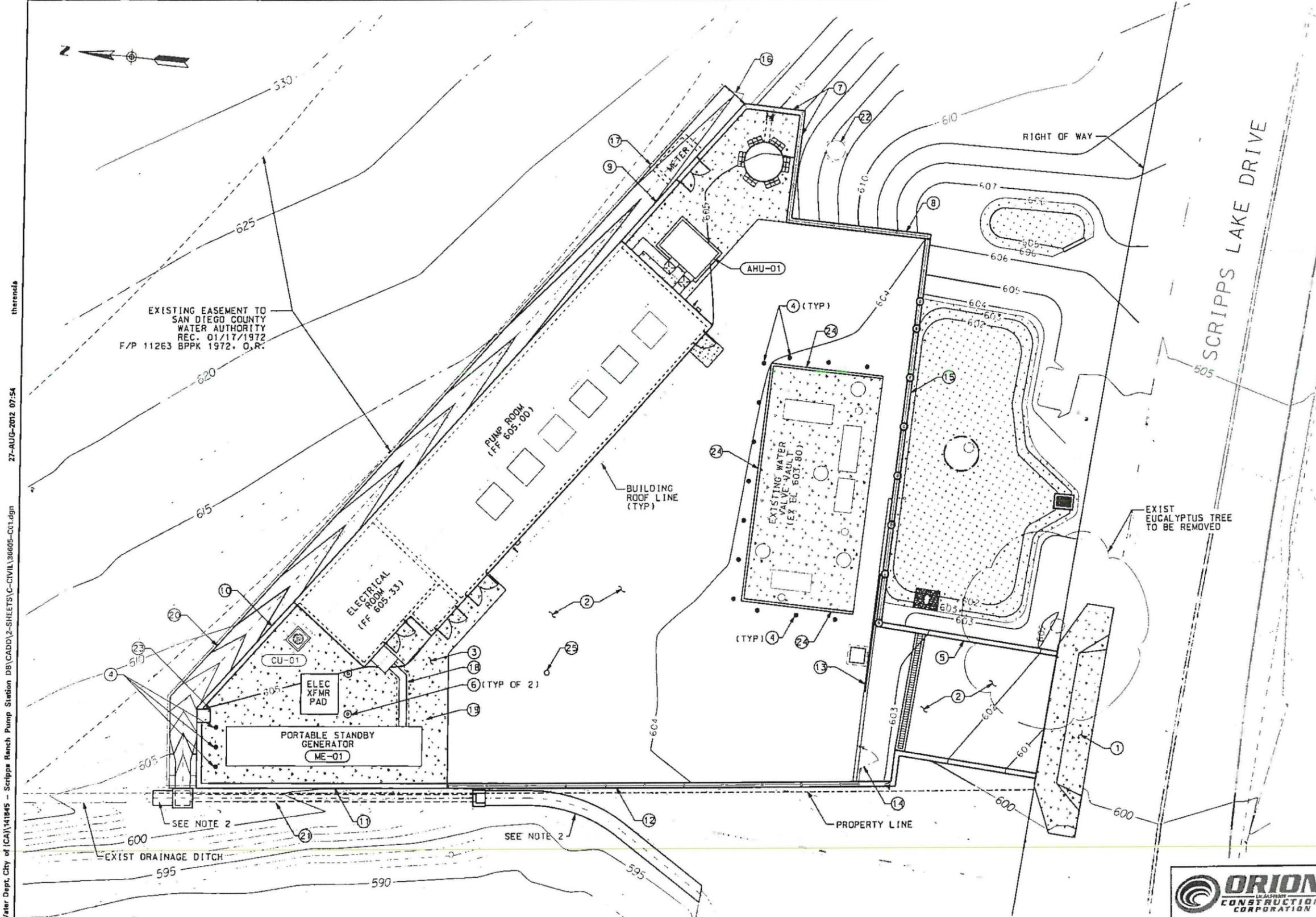
CP NO. 73-263.7	SPEC. NO. 5006	<b>G-4</b>
<b>SCRIPPS RANCH PUMP STATION PROJECT GENERAL GENERAL NOTES, LEGEND, AND SYMBOLS</b>		
CITY OF SAN DIEGO, CALIFORNIA SHEET 04 OF 117 SHEETS		W.B.S. WATER S-12019
FOR CITY ENGINEER		APPROVED BY: ANH NGUYEN PROJECT MANAGER
DESCRIPTION	BY	DATE
ORIGINAL	BC	
FOR CITY ENGINEER		MANUEL FLORES MEZA PROJECT ENGINEER
FOR CITY ENGINEER		6292407-1910444 NAD83 COORDINATES
FOR CITY ENGINEER		270-1731 LAMBERT COORDINATES
CONTRACTOR DATE COMPLETED		36605-04 -0



SCALE: 0 1/2 1  
VERT: N/A  
HOR: N/A  
ORION CONSTRUCTION CORPORATION

DRAWING STATUS					CONSULTANT					ENGINEER OF WORK			CITY OF SAN DIEGO		
NO.	DATE	REVISION DESCRIPTION	OWN	CKD	RVD	PE	Brown AND Caldwell					DES	VCH	City of San Diego	
												DVN	RMK	PUBLIC WORKS PROJECT	
												CKD	GCS		

NOT FOR CONSTRUCTION  
SDP 4 of 15



- MATERIALS LIST:**
- ① 24'-0" WIDE COMMERCIAL CONCRETE DRIVEWAY PER SORSO SDG-114
  - ② 3.5" THK AC PAVEMENT OVER 6" THK CLASS 2 AGGREGATE BASE PER GEOTECHNICAL REPORT
  - ③ 6" THK PCC PAVEMENT W/ #3 REBAR @ 18" OC, EW, OVER 6" THK CLASS 2 AGGREGATE BASE PER GEOTECHNICAL REPORT
  - ④ TYPE A PROTECTION POST PER SDRSD WM-04
  - ⑤ TYPE B-1 CURB PER SORSO G-6
  - ⑥ TYPE B PROTECTION POST (REMOVABLE) PER SDRSD WM-04, WITHOUT CHAINS
  - ⑦ CONCRETE RETAINING WALL W/ 8'-0" HIGH WROUGHT IRON FENCE, SEE DWG C-18 FOR PROFILE
  - ⑧ MASONRY RETAINING WALL W/ 8'-0" HIGH WROUGHT IRON FENCE, SEE DWG C-18 FOR PROFILE
  - ⑨ CONCRETE RETAINING WALL, SEE DWG C-17 FOR PROFILE
  - ⑩ CONCRETE RETAINING WALL, SEE DWG C-17 FOR PROFILE
  - ⑪ MASONRY RETAINING WALL, SEE DWG C-16 FOR PROFILE
  - ⑫ MASONRY RETAINING WALL W/ 8'-0" HIGH WROUGHT IRON FENCE, SEE DWG C-16 FOR PROFILE
  - ⑬ 24'-0" WIDE MOTORIZED ROLLING GATE PER DETAIL 3, DWG C-21
  - ⑭ 3'-0" WIDE ACCESS GATE PER DETAIL 2, DWG C-21
  - ⑮ 8'-0" HIGH WROUGHT IRON FENCE PER DETAIL 1, DWG C-21
  - ⑯ 8'-0" HIGH BLACK VINYL CHAIN LINK ACCESS GATE PER SDRSD SDM-114
  - ⑰ 8'-0" HIGH BLACK VINYL CHAIN LINK FENCE PER SDRSD SDM-112
  - ⑱ UTILITY TRENCH PER DETAIL 3, DWG C-20
  - ⑲ THICKENED CONCRETE SLAB PER STRUCTURAL DWGS
  - ⑳ 5'-6" WIDE TYPE "A" DRAINAGE DITCH PER SDRSD D-75
  - ㉑ TYPE "A" DRAINAGE DITCH PER SDRSD D-75, WIDTH TO MATCH EXISTING DRAINAGE DITCH, SEE NOTE 2
  - ㉒ PROTECT IN PLACE EXISTING ACCESS MANHOLE
  - ㉓ PILASTER PER DETAIL 1, DWG S-20
  - ㉔ TYPE "B-3" CURB PER SDRSD G-6
  - ㉕ TYPE "B" CLEANOUT PER SDRSD SC-01

- GENERAL NOTES:**
1. FOR YARD PIPING SEE DWG C-5.
  2. REMOVE AND REPLACE ANY SECTION OF EXISTING DRAINAGE DITCH DAMAGED DURING CONSTRUCTION.
  3. SEE DWG C-15 FOR RETAINING WALL PLAN.
  4. SEE DWG C-2 FOR SITE HORIZONTAL CONTROL PLAN.
  5. SEE DWG C-3 FOR GRADING AND DRAINAGE PLAN.

OP. NO. 73-263.7 SPEC. NO. 5006 **C-1**  
**SCRIPPS RANCH PUMP STATION PROJECT CIVIL SITE PLAN**

CITY OF SAN DIEGO, CALIFORNIA SHEET 03 OF 117 SHEETS		V.B.S. WATER S-12019
APPROVED BY: FOR CITY ENGINEER	DATE	MANAGER BY: ANH NGUYEN PROJECT MANAGER
DESCRIPTION	BY	APPROVED DATE FILMED
ORIGINAL	BC	
ASSOCIATE ENGINEER		MANUEL FLORES MEZA PROJECT ENGINEER
INSPECTOR		6292407-1910444 NAD83 COORDINATES
CONTRACTOR	DATE STARTED	270-1731 LAMBERT COORDINATES
INSPECTOR	DATE COMPLETED	36605-09-0D



SCALE:	APPROVED BY:
VERT: NONE	FOR CITY ENGINEER
HOR: 1" = 10'	CHECKED BY:
0 1/2 1	ASSOCIATE ENGINEER
SCALE ONE INCH LENGTH ON ORIGINAL DRAWING	CHECKED BY:
	INSPECTOR

DRAWING STATUS		CONSULTANT				
NO.	DATE	REVISION DESCRIPTION	DWN	CKD	RVD	PE

**Brown and Caldwell**



ENGINEER OF WORK  
 NAME \_\_\_\_\_ DATE \_\_\_\_\_

DES. VCH  
 DWN. RMK  
 CKD. GCS

City of San Diego  
**PUBLIC WORKS PROJECT**

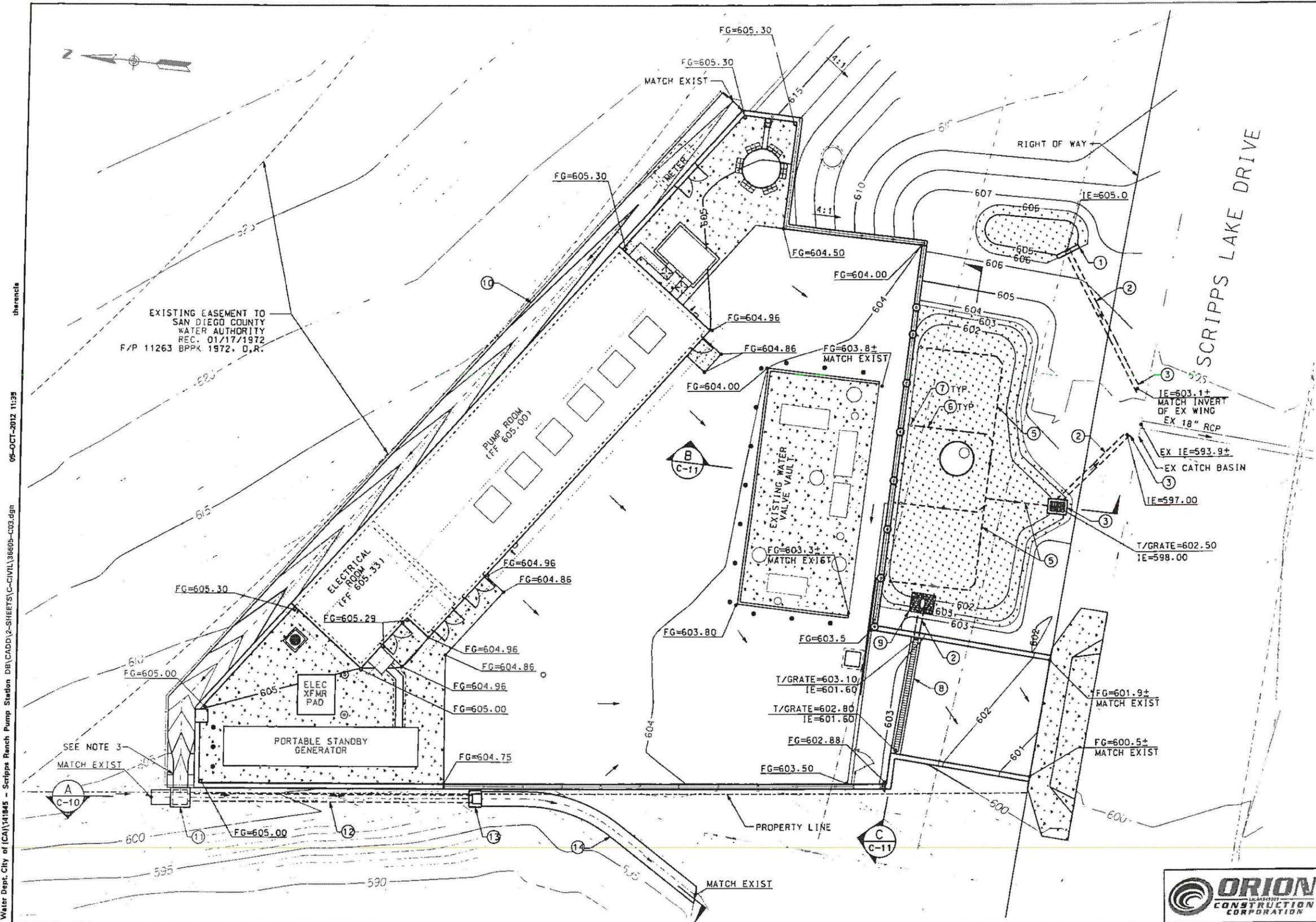


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*SDP 5 of 15*

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CIVIL SITE PLAN



- MATERIALS LIST:**
- ① TYPE "A" STRAIGHT HEADWALL PER SDRSD D-30
  - ② 12" PVC STORM DRAIN PIPE
  - ③ CONNECT TO EXISTING STORM DRAIN INLET PER DETAIL 2, DWG C-10
  - ④ TYPE "I" CATCH BASIN PER SDRSD D-29
  - ⑤ 6" PVC STORM DRAIN PIPE
  - ⑥ 4" PERFORATED PVC PIPE
  - ⑦ 4" CLEANOUT PER DETAIL 3, DWG M-8
  - ⑧ TRENCH DRAIN PER DETAIL 1, DWG C-10
  - ⑨ GROUTED RIP RAP SLOPE PROTECTION PER SPECIFICATIONS
  - ⑩ 5'-6" WIDE, TYPE "A" DRAINAGE DITCH PER SDRSD D-75. SLOPE TO MATCH EXIST GRADE
  - ⑪ TYPE "F" CATCH BASIN PER SDRSD D-7
  - ⑫ 18" RCP STORM DRAIN W/ 3% SLOPE
  - ⑬ "U" TYPE HEADWALL PER SDRSD D-34
  - ⑭ REMOVE AND REPLACE EXISTING CONCRETE DRAINAGE SWALE

**GRADING QUANTITIES:**

GRADED AREA	0.4 (ACRES)
CUT QUANTITIES*	481 (CYD)
FILL QUANTITIES*	630 (CYD)
MAX. CUT DEPTH*	12 (FT)
MAX. FILL DEPTH*	10 (FT)

\* DOES NOT INCLUDE PIPE TRENCHES, PUMP CANS OR WALL FOUNDATIONS

ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

- GENERAL NOTES:**
1. SEE DWGS C-15 THROUGH C-18 FOR RETAINING WALL INFORMATION.
  2. REMOVE AND REPLACE ANY SECTION OF EXISTING DRAINAGE DITCH DAMAGED DURING CONSTRUCTION.
  3. TAPER DRAINAGE SWALE FROM 5'-6" WIDE TO 3'-0" WIDE.

CP NO. 73-263.7 SPEC. NO. 5006 **C-3**

**SCRIPPS RANCH PUMP STATION  
PROJECT  
CIVIL  
GRADING AND DRAINAGE  
PLAN**

CITY OF SAN DIEGO, CALIFORNIA SHEET 11 OF 117 SHEETS		W.B.S. WATER S-12019
APPROVED BY:	DATE:	APPROVED BY:
FOR CITY ENGINEER		ANH NGUYEN PROJECT MANAGER
DESCRIPTION:	BY:	DATE:
ORIGINAL	BC	
INSPECTOR:	DATE STARTED:	DATE COMPLETED:
CONTRACTOR: ORION CONSTRUCTION CORPORATION		36605-11-10

DRAWING STATUS		CONSULTANT	
NO.	DATE	REVISION DESCRIPTION	REVISED BY

**Brown AND Caldwell**

ENGINEER OF WORK

DES - YCH  
DWN - RMK  
CKD - GCS

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

City of San Diego  
**PUBLIC WORKS PROJECT**



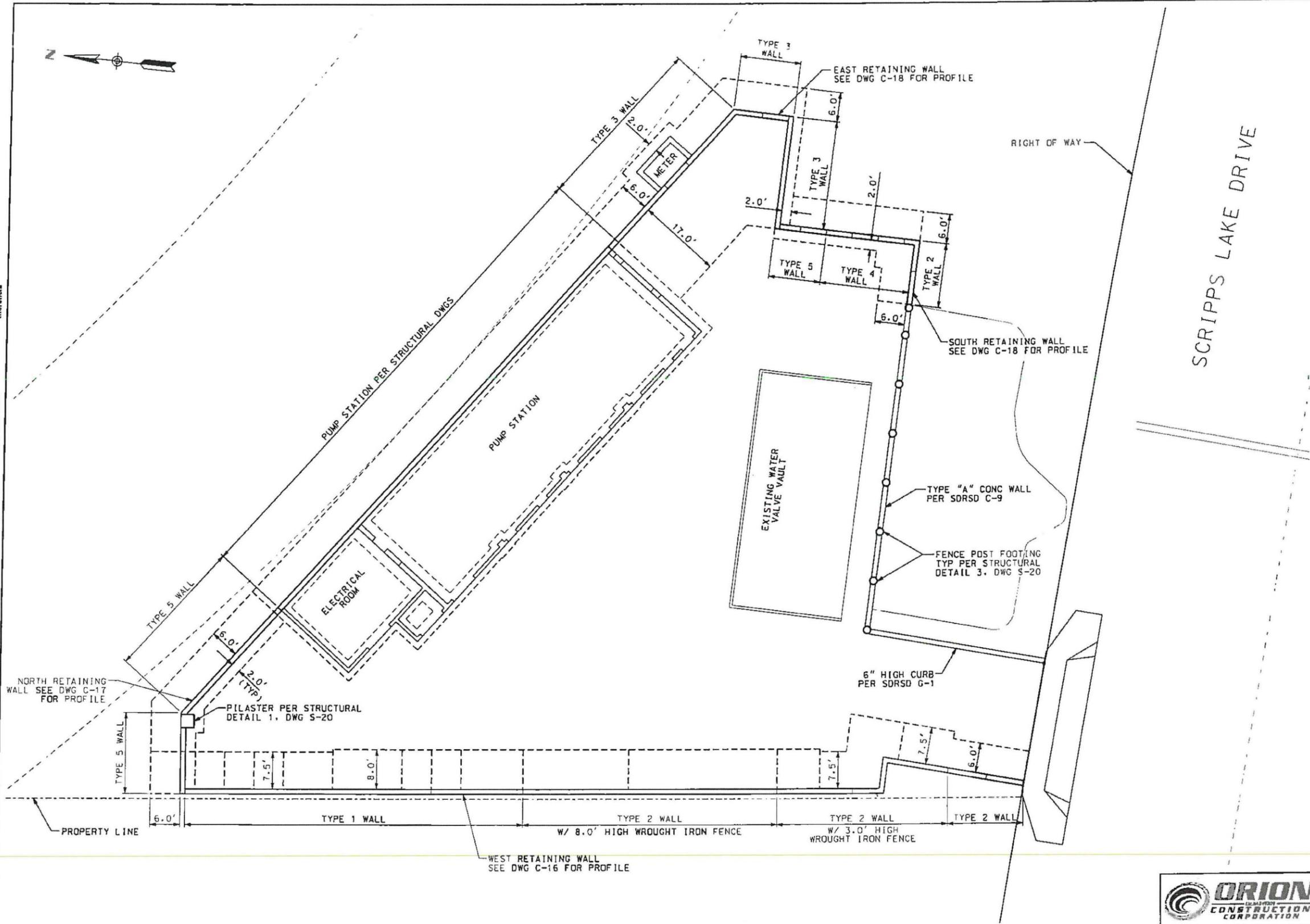
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*SDP 6 of 15*

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CIVIL GRADING AND DRAINAGE PLAN

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- NOTES:**
1. SEE RETAINING WALL PROFILES FOR DIMENSIONAL INFORMATION INCLUDING TOP OF WALL AND TOP OF FOOTING ELEVATIONS.
  2. SEE RETAINING WALL PROFILES FOR MAXIMUM WALL HEIGHT.

CIVIL RETAINING WALLS PLAN

CP NO. 73-263.7 SPEC. NO. 5006 **C-15**

**SCRIPPS RANCH PUMP STATION PROJECT  
CIVIL  
RETAINING WALLS  
PLAN**

CITY OF SAN DIEGO, CALIFORNIA SHEET 23 OF 117 SHEETS		V.B.S. WATER S-12019	
FOR CITY ENGINEER	DATE	APPROVED BY	PROJECT MANAGER
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	BC		
MAMUEL FLORES MEZA PROJECT ENGINEER		6292407-1910444 NAD83 COORDINATES	
270-1731 LAMBERT COORDINATES		36605-23 -D	
CONTRACTOR		DATE STARTED	
INSPECTOR		DATE COMPLETED	

DRAWING STATUS		CONSULTANT				
NO.	DATE	REVISION DESCRIPTION	DWN	CKD	RVD	PE

**Brown and Caldwell**

REGISTERED PROFESSIONAL ENGINEER  
STATE OF CALIFORNIA  
No. 51864  
Exp. 06/30/14  
CIVIL

ENGINEER OF WORK

DES: VCH  
DWN: RMK  
CKD: GCS

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

City of San Diego  
**PUBLIC WORKS PROJECT**

**ORION**  
CONSTRUCTION CORPORATION

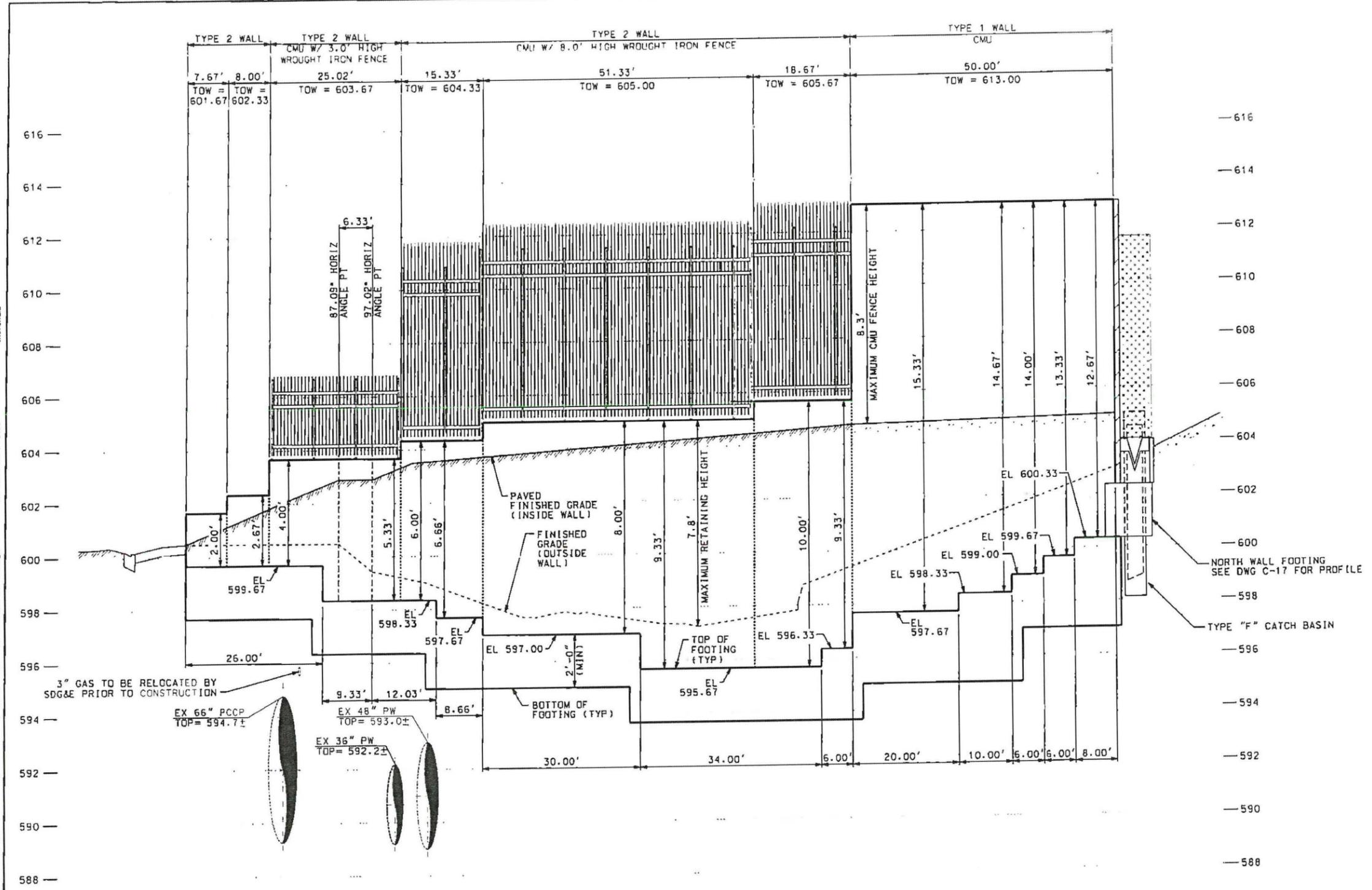
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HOR. 1" = 10'  
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APPROVED BY: FOR CITY ENGINEER  
CHECKED BY: ASSOCIATE ENGINEER  
ORDER BY: INSPECTOR

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*SDP 7 of 15*

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CIVIL WEST RETAINING WALL PROFILE

C-16

CIP NO. 73-263.7	SPEC. NO. 5006	C-16	
<b>SCRIPPS RANCH PUMP STATION PROJECT CIVIL WEST RETAINING WALL PROFILE</b>			
CITY OF SAN DIEGO, CALIFORNIA SHEET 24 OF 117 SHEETS		N.B.S. WATER 5-12019	
APPROVED BY:	DATE:	FOR CITY ENGINEER:	DATE:
FOR CITY ENGINEER	DATE	DESCRIPTION	BY
ORIGINAL	BC	APPROVED	DATE
FILED			
MANAGER BY:	PROJECT ENGINEER	6292407-1910444 NAD83 COORDINATES	
270-1731	LAMBERT COORDINATES		
CONTRACTOR	DATE STARTED	DATE COMPLETED	36605-24-D

**CONTRACTOR'S NOTE:**  
USE EXTREME CAUTION WHEN WORKING DUE TO EXISTING LARGE DIAMETER WATER PIPELINES.



SCALE:	APPROVED BY:
VERTICAL 1" = 2'	FOR CITY ENGINEER
HORIZONTAL 1" = 10'	DATE:
1/2	DESCRIPTION
INSPECTOR	BY
	DATE

DRAWING STATUS		CONSULTANT				
NO.	DATE	REVISION DESCRIPTION	DWN	CKD	RVD	PE

**Brown AND Caldwell**



ENGINEER OF WORK  
NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

DES VCH  
OWN VCH  
CKD GCS

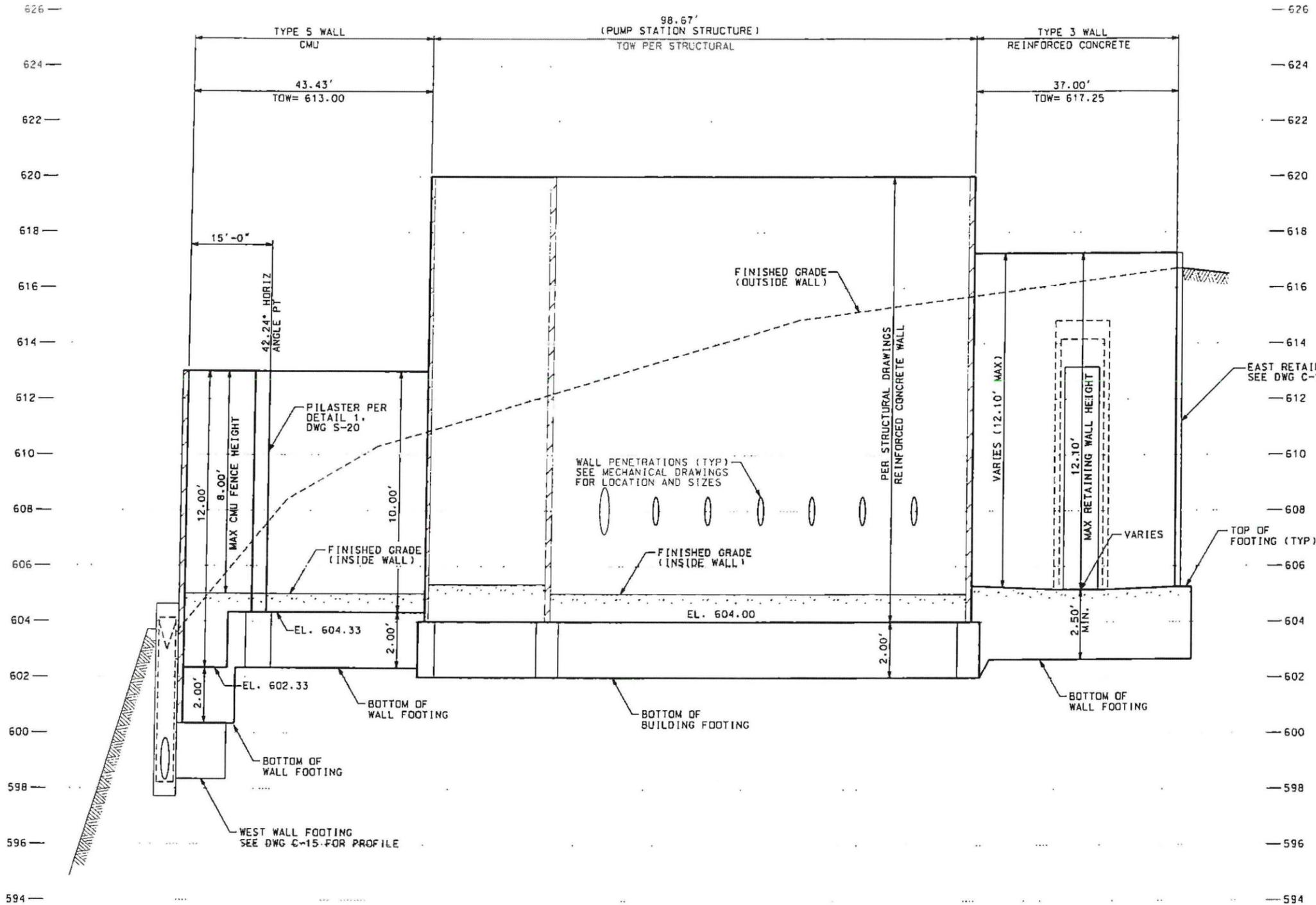
City of San Diego  
**PUBLIC WORKS PROJECT**



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SDP 8 of 15

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CIVIL NORTH RETAINING WALL PROFILE

OP. NO. 73-263.7	SPEC. NO. 5006	C-17
<b>SCRIPPS RANCH PUMP STATION PROJECT</b> CIVIL NORTH RETAINING WALL PROFILE		
CITY OF SAN DIEGO, CALIFORNIA		V.B.S. WATER S-12019
SHEET 25 OF 117 SHEETS		
APPROVED BY:	FOR CITY ENGINEER	DATE
FOR CITY ENGINEER	DATE	
DESCRIPTION	BY	APPROVED DATE
ORIGINAL	BC	
SUBMITTED BY: ANH NGUYEN		PROJECT MANAGER
APPROVED BY: MANUEL FLORES MEZA		PROJECT ENGINEER
CHECKED BY: 6292407-1910444		NAD83 COORDINATES
CHECKED BY: ASSOCIATE ENGINEER		270-1731
CHECKED BY: INSPECTOR		LAMBERT COORDINATES
CONTRACTOR: [blank]		DATE STARTED: [blank]
INSPECTOR: [blank]		DATE COMPLETED: [blank]
		36605-25-0

DRAWING STATUS						
NO.	DATE	REVISION DESCRIPTION	DWN	CKD	RVD	PE

CONSULTANT

**Brown AND Caldwell**

ENGINEER OF WORK

DES: VCH  
DWN: VCH  
CKD: GCS

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_



City of San Diego  
PUBLIC WORKS PROJECT



SCALE: VERT. 1" = 2'  
HOR. 1" = 10'

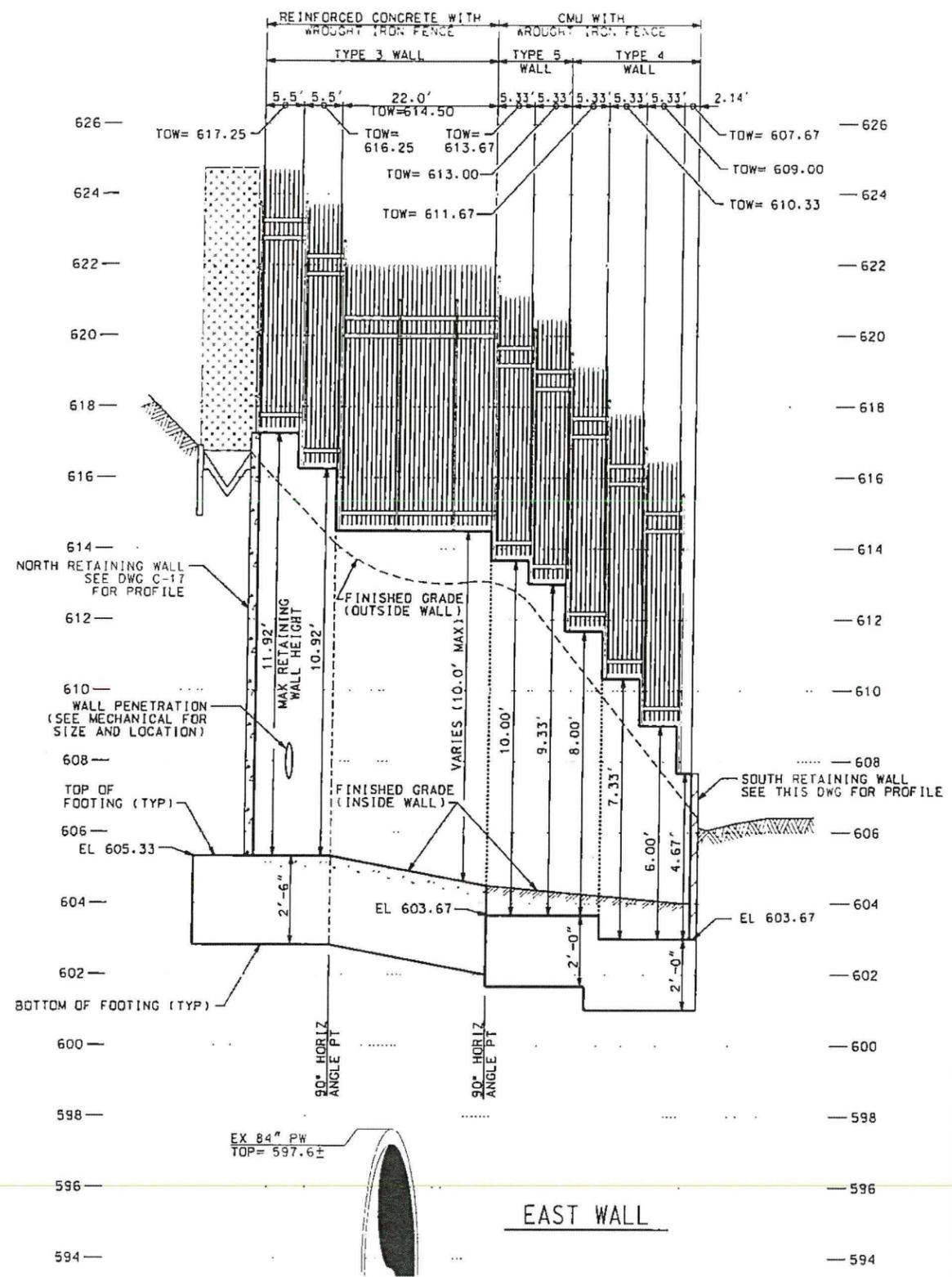
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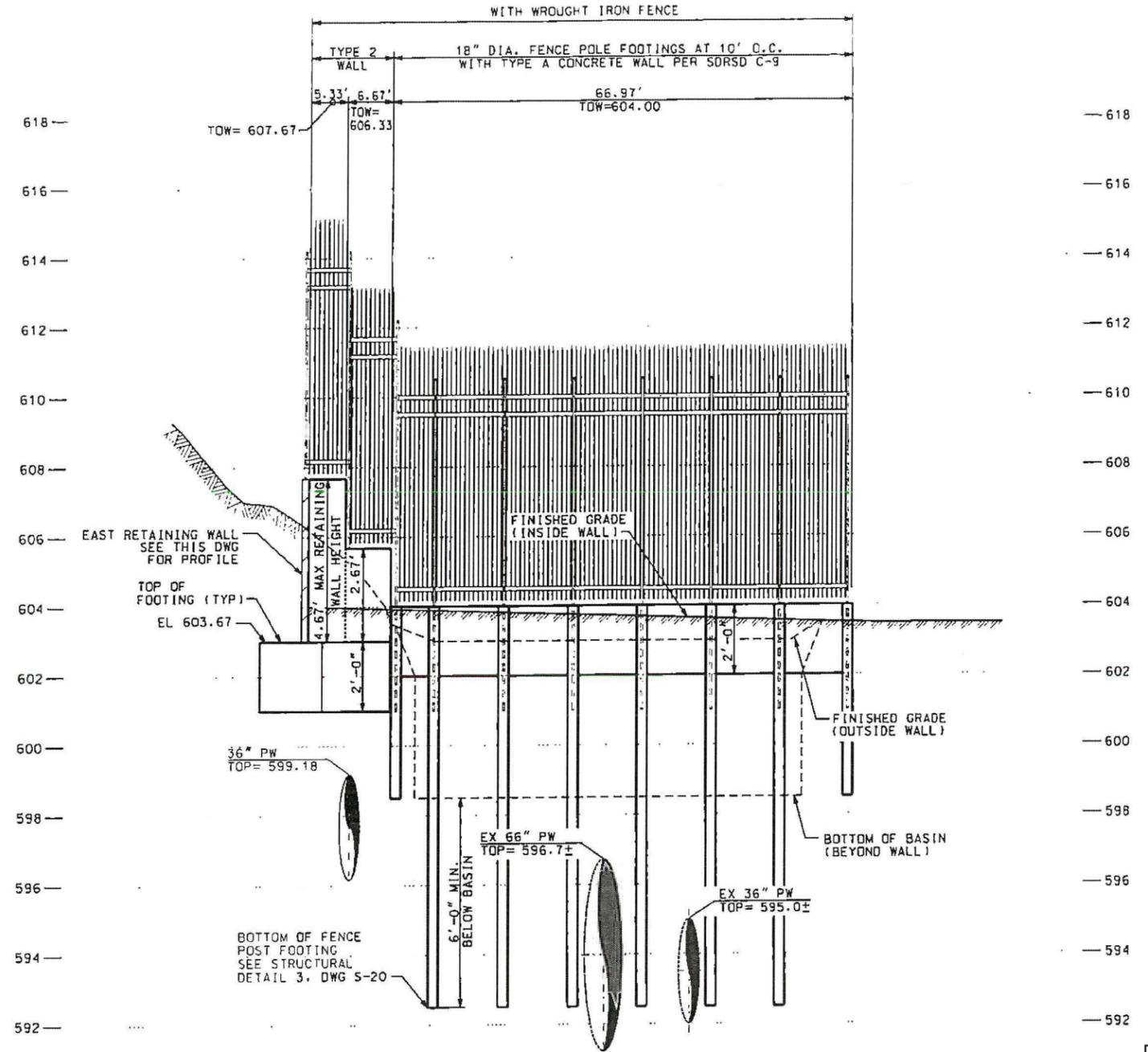
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SDP 9 of 15

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**EAST WALL**



**SOUTH WALL**

**CONTRACTOR'S NOTE:**  
 USE EXTREME CAUTION WHEN WORKING DUE TO EXISTING LARGE DIAMETER WATER PIPELINES.



CIP NO. 73-263.7	SPEC. NO. 5006	C-18
<b>SCRIPPS RANCH PUMP STATION PROJECT CIVIL EAST AND SOUTH RETAINING WALL PROFILES</b>		
CITY OF SAN DIEGO, CALIFORNIA SHEET 26 OF 117 SHEETS		W.B.S. WATER S-12019
APPROVED BY:	DATE:	FOR CITY ENGINEER
FOR CITY ENGINEER	BY: BC	APPROVED
DESIGNED BY:	DATE:	FILMED
ASSOCIATE ENGINEER		MANUEL FLORES MEZA PROJECT ENGINEER
CHECKED BY:		6292407-1910444 NAD83 COORDINATES
INSPECTOR		270-1731 LAMBERT COORDINATES
CONTRACTOR: ORION CONSTRUCTION CORPORATION		DATE STARTED: _____
INSPECTOR: _____		DATE COMPLETED: _____
		36605-26 -0

DRAWING STATUS		CONSULTANT				
NO.	DATE	REVISION DESCRIPTION	DMW	CKD	RVD	PE

**Brown AND Caldwell**



ENGINEER OF WORK  
 NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

DES - VCH  
 DMW - VCH  
 CKD - GCS

City of San Diego  
**PUBLIC WORKS PROJECT**



SCALE:  
 VERT: 1" = 2'  
 HOR: 1" = 10'  
 0 1/2 1  
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NOT FOR CONSTRUCTION

SDP 10 of 15

CIVIL EAST AND SOUTH RETAINING WALL PROFILES

IRRIGATION NOTES

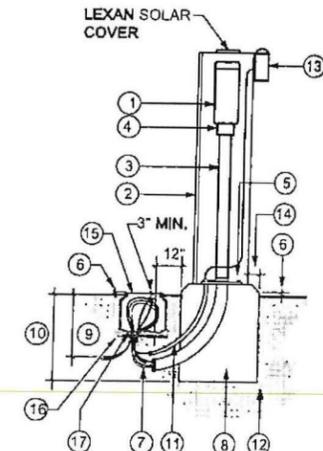
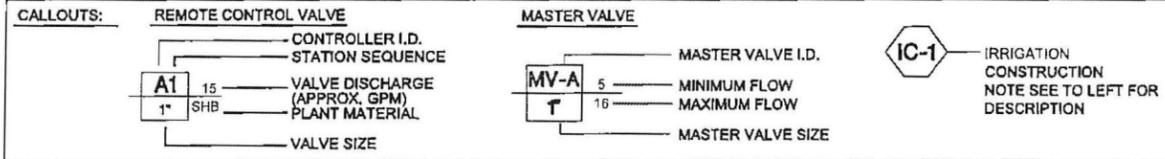
- IRRIGATION FOR THIS PROJECT IS TEMPORARY AND SHALL BE SHUT OFF ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. REFER TO SHEET L-4 FOR PROJECTED TIMEFRAME.
- THE IRRIGATION PLAN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTING AREAS ONLY, UNLESS NOTED OTHERWISE. REFER TO THE IRRIGATION LEGEND AND DETAILS FOR EQUIPMENT AND INSTALLATION.
- CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO WORK OF THIS SECTION.
- A. ALL RISERS SHALL BE PVC SCHEDULE 80.  
B. ALL PIPE FITTINGS SHALL BE PVC SCHEDULE 40.
- A. ALL WIRE SHALL BE AWG-UF, DIRECT BURIAL TYPE, AND ALL SPLICES AND CONNECTIONS SHALL BE MADE WITH PEN-TITE CONNECTORS OR EQUAL. EACH VALVE ON A CONTROLLER SHALL HAVE A SEPARATE WIRE COLOR, ALL WIRES SHALL BE INSTALLED WITH TWO (2) FEET OF EXCESS WIRE (COILED) AT THE END OF EACH RUN. B. CONTROL WIRE SHALL BE BUNDLED AND PLACED BENEATH MAINLINE.
- BACKFLOW PREVENTION DEVICES SHALL BE LOCATED AS INDICATED ON THE IRRIGATION PLAN. INSTALLATION SHALL CONFIRM TO LOCAL GOVERNING CODES AND REGULATIONS AND MANUFACTURER'S SPECIFICATIONS.
- CHECK VALVES SHALL BE USED WHERE INDICATED AND WHERE NECESSARY TO PREVENT WATER FLOW FROM LOWER ELEVATION HEADS WHEN SYSTEMS ARE TURNED OFF.
- ALL PRESSURE MAINLINES SHALL HAVE EIGHTEEN (18) INCHES OF COVER, AND ALL LATERALS SHALL HAVE TWELVE (12) INCHES OF COVER. TRENCH BACKFILL SHALL BE FREE OF ANY MATERIAL THAT MAY DAMAGE IRRIGATION PIPE OR EQUIPMENT. IN THE EVENT OF BACKFILL SETTLEMENT, CONTRACTOR SHALL PERFORM REQUIRED REPAIRS AT HIS OWN COST.
- ALL AUTOMATIC VALVES SHALL BE LOCATED WITHIN SHRUB AREAS. VALVES SHALL BE LOCATED IN SEPARATE VALVE BOXES.
- ALL MAINLINE AND LATERAL LINES SHALL BE SLEEVED WITH PVC SCHEDULE 80 TWICE THE DIAMETER OF THE SLEEVED LINE WHERE IT PASSES UNDER PAVED AREAS.
- AUTOMATIC CONTROLLER SHALL BE SIZE AND TYPE AS NAMED AND INSTALLED WHERE INDICATED ON IRRIGATION PLAN. CONTROL WIRES SHALL BE SLEEVED IN ELECTRICAL CONDUIT WHERE IT PASSES UNDER PAVED AREAS
- PRIOR TO BACK FILLING IRRIGATION TRENCHES:
  - ALL MAINLINES IN THE SYSTEM SHALL BE CAPPED AND PRESSURE TESTED AT 125 PSI FOR A PERIOD OF FOUR HOURS. ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING MATERIAL IN ITS PLACE.
  - ALL LATERAL LINES SHALL BE PRESSURE TESTED AT DESIGN PRESSURE FOR ONE HOUR.
  - THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE IRRIGATION CONTRACTOR SHALL ADJUST ALL HEADS TO PROVIDE EVEN COVERAGE AND TO KEEP SPRAY OFF BUILDINGS, WALKWAYS, WALLS AND DRIVES.
- WHEN THE SPRINKLER SYSTEM IS COMPLETED THE CONTRACTOR, IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE, SHALL PERFORM A COVERAGE TEST OF WATER AFFORDED THE PLANTING AREAS TO ENSURE IT IS COMPLETE AND ADEQUATE. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT AND INADEQUACIES OF COVERAGE AT HIS OWN COST. IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF SIXTY (60) DAYS AND SHALL WATER ON A DAILY BASIS.
- THE IRRIGATION CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE BY THE OWNER.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH CITY OF SAN DIEGO STANDARDS. THESE STANDARDS SHALL TAKE PRECEDENCE OVER ALL DETAILS AND SPECIFICATIONS CONTAINED IN THESE DOCUMENTS.
- IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- ALL LANDSCAPE AND IRRIGATION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS. THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER/MODEL NO / NOZZLE	RADIUS	PSI	GPM	DETAIL	S.D.R.S.D.
①	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MP2000 NOZZLE-Q	20'	40	.40	-	I-1
②	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MP2000 NOZZLE-H	19'	40	.74	-	I-1
③	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MP2000 NOZZLE-F	19'	40	1.47	-	I-1
④	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MP3000 NOZZLE-Q	30'	40	.86	-	I-1
⑤	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MP3000 NOZZLE-H	30'	40	1.82	-	I-1
⑥	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MP3000 NOZZLE-F	30'	40	3.64	-	I-1
⑦	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MP1000 NOZZLE-Q	14'	40	.19	-	I-1
⑧	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MP1000 NOZZLE-H	14'	40	.37	-	I-1
⑨	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-MPSS530 NOZZLE-SS	5'X30'	40	.44	-	I-1
⑩	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MP2000 NOZZLE-Q	20'	40	.40	-	I-3
⑪	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MP2000 NOZZLE-H	19'	40	.74	-	I-3
⑫	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MP2000 NOZZLE-F	19'	40	1.47	-	I-3
⑬	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MPLCS515 NOZZLE-SS	5'X15'	40	.22	-	I-3
⑭	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MPRCS515 NOZZLE-SS	5'X15'	40	.22	-	I-3
⑮	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MPSS530 NOZZLE-SS	5'X30'	40	.44	-	I-3
⑯	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MP1000 NOZZLE-Q	14'	40	.19	-	I-3
⑰	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MP1000 NOZZLE-H	14'	40	.37	-	I-3
⑱	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MP3000 NOZZLE-Q	30'	40	1.82	-	I-3
⑲	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MP3000 NOZZLE-H	30'	40	3.64	-	I-3
⑳	12" POP-UP SPRAY (IN SHRUB)	HUNTER PROS-12-PRS40-CV-MP3000 NOZZLE-F	30'	40	7.28	-	I-3
㉑	ROTARY SPRINKLER ON RISER	HUNTER PROS-00-PRS40-CV-MPCORNER NOZZLE	14'	40	.19	-	I-3

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER/MODEL NUMBER	REMARKS	DETAIL	S.D.R.S.D.
P.O.C.	POINT OF CONNECTION	-	APPROXIMATE, FIELD VERIFY	-	-
Ⓜ	WATER METER	REFER TO CIVIL PLANS	SEE PLANS FOR SIZE & LOCATION	-	-
Ⓡ	RAIN SENSOR	HUNTER SG-MC	INSTALL AT CONTROLLER	A	-
Ⓢ	AUTO SOLAR-POW CONTROLLER	LEIT 4008 W/ MV-P	INSTALL PER MANUFACTURER	A	-
NO SYMBOL	STAINLESS STEEL ENCLOSURE	DIG CORP ENCL 4000	STAINLESS STEEL	A	-
NO SYMBOL	MOUNTING COLUMN	DIG MOUNTING COLUMN MCOL 4000	STAINLESS STEEL, 32" IN HEIGHT	A	-
NO SYMBOL	SWITCH TYPE SENSOR ADAPTER	DIG SKIT 8821-4	FOR CONTROLLER	A	-
NO SYMBOL	SPRING CHECK VALVE	VALCON ADV OR EQUAL	RISER SIZE, WHERE REQUIRED	-	I-1
NO SYMBOL	LETT KEY	DIG CORP LETT KEY	PROVIDE ONE KEY	-	-
Ⓡ	BACKFLOW PREVENTER (BFA)	FEBCO 825YAR-1"	FIELD VERIFY EXACT LOCATION	-	WR-01
NO SYMBOL	BFA ENCLOSURE	V.I.T. PRODUCTS SB8C-30SS	SMOOTH TOUCH, STAINLESS STEEL	-	WR-01
Ⓜ	MASTER VALVE	RAIN BIRD SUPERIOR 850 PRS- 1"	WITH DIG CORP 30-920 ADAPTOR	-	I-10
Ⓜ	REMOTE CONTROL VALVE (RCV)	RAIN BIRD PEB SERIES	SIZE PER PLAN	-	I-14, I-32
Ⓢ	QUICK COUPLER (POTABLE)	RAIN BIRD 44 LRC	PER DETAIL	-	I-5, I-32
Ⓢ	BALL VALVE	SPEARS TRUE-UNION	SIZE AS NOTED	-	I-11, I-32
NO SYMBOL	CONTROL WIRE	14 AWG DIRECT BURY	BELOW MAINLINE	-	I-16
(1/2)	PRESSURE SUPPLY LINE	APPROVED - PVC SCH 40	FOR PIPE 1 1/2" AND SMALLER	-	I-25
---	NON-PRESSURE LATERAL LINE	APPROVED - PVC CL200	FOR PIPE 3/4" - 1 1/2"	-	I-25
---	SLEEVING	APPROVED - PVC SCH 40	2X DIAMETER OF SLEEVED PIPE	-	I-25
---	WIRE CONDUIT	APPROVED - PVC GRAY SCH 40	2X DIAMETER OF WIRE BUNDLE	-	I-18
NO SYMBOL	WATERPROOF WIRE CONNECTOR	PENTITE OR EQUAL	FOR ALL WIRE SPLICES	-	I-15
NO SYMBOL	SOLAR SOLENOID ACTUATOR	DIG LEMA 1600HE W/30-921 ADAPTOR	ONE FOR EACH VALVE	-	-
NO SYMBOL	QUICK COUPLING VALVE KEYS	RAINBIRD #44K- SINGLE LUG	FOR QUICK COUPLING VALVE	-	I-5



- SOLAR CONTROLLER W/ FRONT PLATE ACCESS
- CONTROLLER ENCLOSURE (V.I.T. STRONG BOX #SB-18SSLT)
- 32" LONG MOUNTING COLUMN
- ADAPTER FOR MOUNTING COLUMN
- ANCHOR BOLTS (PER MFR'S REQ'MTS)
- 2" ABOVE FINISH GRADE (TYP. ALL AROUND)
- IRRIGATION CONTROL WIRE AND RAIN SENSOR WIRE TO CONTROLLER
- CONCRETE FOOTING (AS WIDE AND AS LONG AS REQ'D TO SUPPORT ENCLOSURE, SEE ALSO DIMENSION)
- SEE SPECS.
- 18" MIN.
- PROVIDE 3/4" NOM. DIA. PLASTIC ELECT. CONDUIT FOR RAIN SENSOR WIRES. APPLY DUCT TAPE TO CONDUIT ENDS OR OTHER APPR'VD METHOD TO SEAL OPENINGS
- BACKFILL (95% COMPACT, UNDIST. SUBGRADE)
- RAIN SENSOR IN VANDAL RESISTANT ENCLOSURE
- 4" MIN. (SLOPE AWAY FROM PEDESTAL ON ALL SIDES)
- PLASTIC VALVE BOX WITH COVER
- CONCR./ BRICK SUPPORTS (END TO END UNDER BASE OF VALVE BOX)
- 1 CU. FT MIN. PEA GRAVEL SUMP

NOTE:  
ORIENT ENCLOSURE SO DOOR FACES EAST. COORDINATE EXACT LOCATION WITH RESIDENT ENGINEER.

IRRIGATION CONSTRUCTION NOTES

- IC-1 CONNECT TO POTABLE SERVICE LINE DOWNSTREAM 1/2" WATER METER. INSTALL SHUT-OFF VALVE AND EXTEND MAINLINE.
- IC-2 COORDINATE EXACT LOCATION ON SOLAR CONTROLLER WITH RESIDENT ENGINEER. ROUTE CONTROL WIRES UNDER PAVEMENT TO LANDSCAPE AREA VIA ELECTRICAL CONDUIT.

A AUTO SOLAR-POWERED CONTROLLER SECTION - N.T.S.

NO.	DATE	REVISION DESCRIPTION	DWN	CKD	RVD	PE

CONSULTANT

**Brown and Caldwell**

2347  
Exp. 2/28/13

ENGINEER OF WORK

DES \_\_\_\_\_  
DWN \_\_\_\_\_  
CKD \_\_\_\_\_

NAME \_\_\_\_\_ DATE \_\_\_\_\_

City of San Diego  
Public Works Department

2013

**KTU+A**

3740 Marston Road  
San Diego, CA 92121  
619-441-4177  
Fax: 619-441-9195

Project Manager: **ANH NGUYEN**

Inspector: \_\_\_\_\_

CP NO. 73-263.7 SPEC. NO. 5006 L-1

**SCRIPPS RANCH PUMP STATION PROJECT**

LANDSCAPE IRRIGATION LEGEND, NOTES AND DETAILS

CITY OF SAN DIEGO, CALIFORNIA SHEET 30 OF 17 SHEETS

W.S.S. WATER 5-12019

FOR CITY ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

DESCRIPTION: ORIGINAL BY: KTU+A APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_ FILED: \_\_\_\_\_

PROJECT ENGINEER: **MANUEL FLORES MEZA**

6292407-1910444

270-1731

CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_

NOT FOR CONSTRUCTION

SDP 11 of 15







