



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: June 12, 2013 REPORT NO. HO 13-045
ATTENTION: Hearing Officer
SUBJECT: T-MOBILE – SPRING CANYON
PTS PROJECT NUMBER: 290644
LOCATION: 12225 Spring Canyon Road
APPLICANT: Anne Regan, DePratti, Inc.

SUMMARY

Issue: Should the Hearing Officer approve a Conditional Use Permit (CUP) for a Wireless Communication Facility (WCF) located at 12225 Spring Canyon Road in the Scripps Miramar Ranch Community Planning area?

Staff Recommendation - Approve CUP No. 1131147.

Community Planning Group Recommendation – On February 7, 2013, the Scripps Ranch Planning Group voted 13-0-0 to recommend approval of the T-Mobile – Spring Canyon project.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(b), Existing Facilities, Public or Private Utilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 19, 2012 and the opportunity to appeal that determination ended January 4, 2013 (Attachment 10).

BACKGROUND

T-Mobile – Spring Canyon is an application for a Conditional Use Permit (CUP), Process 3, for a Wireless Communication Facility (WCF). The project consists of an upgrade to T-Mobile's existing WCF project located on a City reservoir at 12225 Spring Canyon Road in the RS-1-8 zone of the Scripps Miramar Ranch Community plan area (Attachments 1, 2, and 3). The site is situated approximately 40-feet above the surrounding properties, which are single unit residential uses except to the northwest, where a canyon within the MHPA exists.

T-Mobile received an approval for the existing project on March 15, 2007. The approved project included six façade mounted panel antennas and two outdoor equipment cabinets. This application proposes to replace the existing six antennas (Attachments 8 and 13). The equipment would remain unchanged.

Wireless communication facilities (WCF's) are permitted in residential zones containing non-residential uses with a Conditional Use Permit (CUP), Process 3.

DISCUSSION

The project site contains a 31-foot tall City water reservoir supporting a number of WCF's. Sprint, Nextel, and AT&T have antennas mounted to the reservoir with their equipment enclosures located around the perimeter of the tank (Attachment 13). Cricket has a 35-foot tall faux Eucalyptus tree and an adjacent small equipment enclosure and most recently, Verizon received approval for a 48-foot tall faux eucalyptus to replace their two 45-foot monopoles.

T-Mobile proposes to replace six of their existing façade mounted panel antennas and add skirts and chin straps to conceal the coaxial cables from view and to present a cleaner appearance (Attachment 8). T-Mobile is not proposing any modifications to their existing two outdoor equipment cabinets.

Council Policy 600-43, "Wireless Communication Facilities," assigns preference levels to the locations of WCF's. This policy encourages these facilities to be located away from residential uses. Typically, WCF's proposed in non-residential zones, such as commercial or industrial, are considered more preferable than those located in residential zones. To encourage carriers to locate in non-residential zones, projects proposed in those areas are permitted with a lower approval process level. Similarly, non-residential uses in residential zones are also preferable to locating on a residential use and the decision process level is lower. In this case, the location of the project is an ideal spot, on a City reservoir, elevated above the surrounding residential with a perimeter of mature trees lining the property.

General Plan Analysis:

The Scripps Miramar Ranch Community Plan does not specifically address WCF's, however, the City of San Diego's General Plan addresses Wireless Facilities in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a. Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b. Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c. Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

This project, consisting of façade mounted antennas and outdoor equipment is minimally visible and is located on an elevated property above a residential neighborhood surrounded by mature eucalyptus trees complying with the recommendations in the General Plan to be respectful to the neighborhood context (Attachment 8).

Conclusion:

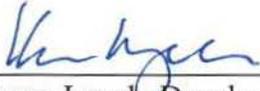
Staff has reviewed the project as submitted and has determined that it complies with the Wireless Communication Facility regulations, the General Plan and Council Policy 600-43.

The project complies with the applicable regulations of the Land Development Code. The Scripps Ranch Planning Group unanimously recommended approval of the project and draft findings have been made in the affirmative. Therefore, staff recommends approval of CUP No. 1131137.

ALTERNATIVES

1. Approve CUP No. 1131147, with modifications.
2. Deny CUP No. 1131147, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Karen Lynch, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Photo Survey
8. Photosimulations
9. Coverage Maps
10. Environmental Exemption
11. Project Chronology
12. Notice of Public Hearing
13. Project Plans

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003090

CONDITIONAL USE PERMIT NO. 1131147
T-MOBILE – SPRING CANYON
PROJECT NO. 290644
HEARING OFFICER
DRAFT

This Conditional Use Permit (CUP) No. 1131147 is granted by the Hearing Officer of the City of San Diego to City of San Diego, owner and T-Mobile West, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and Chapter 12, Article 6, Division 3. The 1.67-acre site is located at 12225 Spring Canyon Road in the RS-1-8 zone of the Scripps Miramar Ranch Community Plan area. The project site is legally described as: Lot 891 of Scripps Ranch Unit No. 11 according to Map thereof No. 8223 in the City of San Diego, County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 12, 2013, on file in the Development Services Department.

The project shall include:

- a. A total of six panel antennas with skirts and chin straps, mounted to the existing reservoir. The antenna dimensions are 51" x 15.8" x 5.2";
- b. Two outdoor equipment cabinets within a chain link enclosure on the southeast side of the reservoir. No modifications are proposed to the facility;
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality

9. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.

26. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

27. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

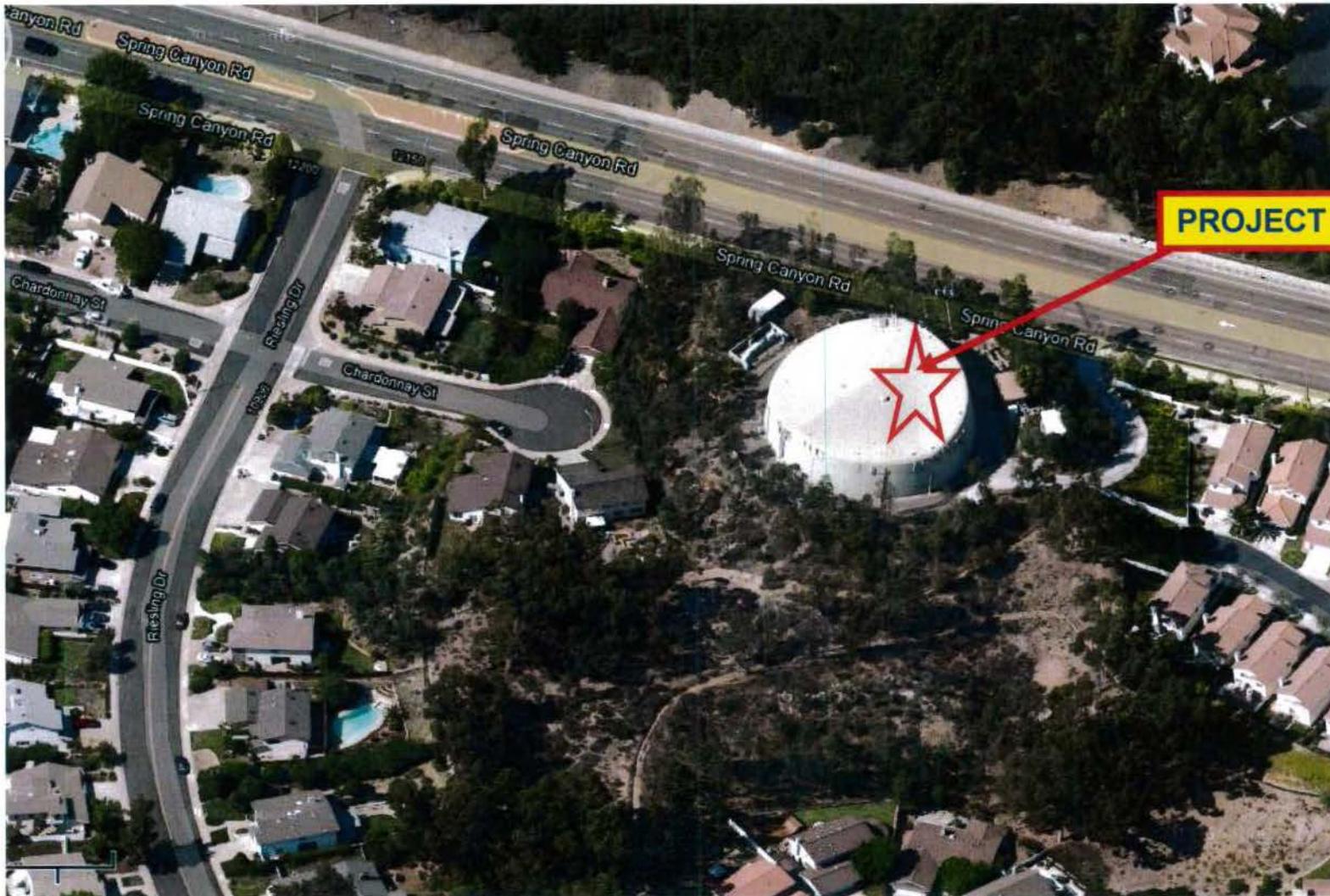
WATER REQUIREMENTS:

28. The Public Utilities Department, Water and Sewer Development Division shall review the construction documents. Only after their approval of the construction documents may the Building Permits be issued.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

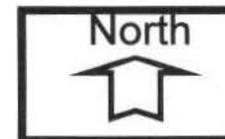
APPROVED by the Hearing Officer of the City of San Diego on June 12, 2013 and approved by Resolution No. _____.



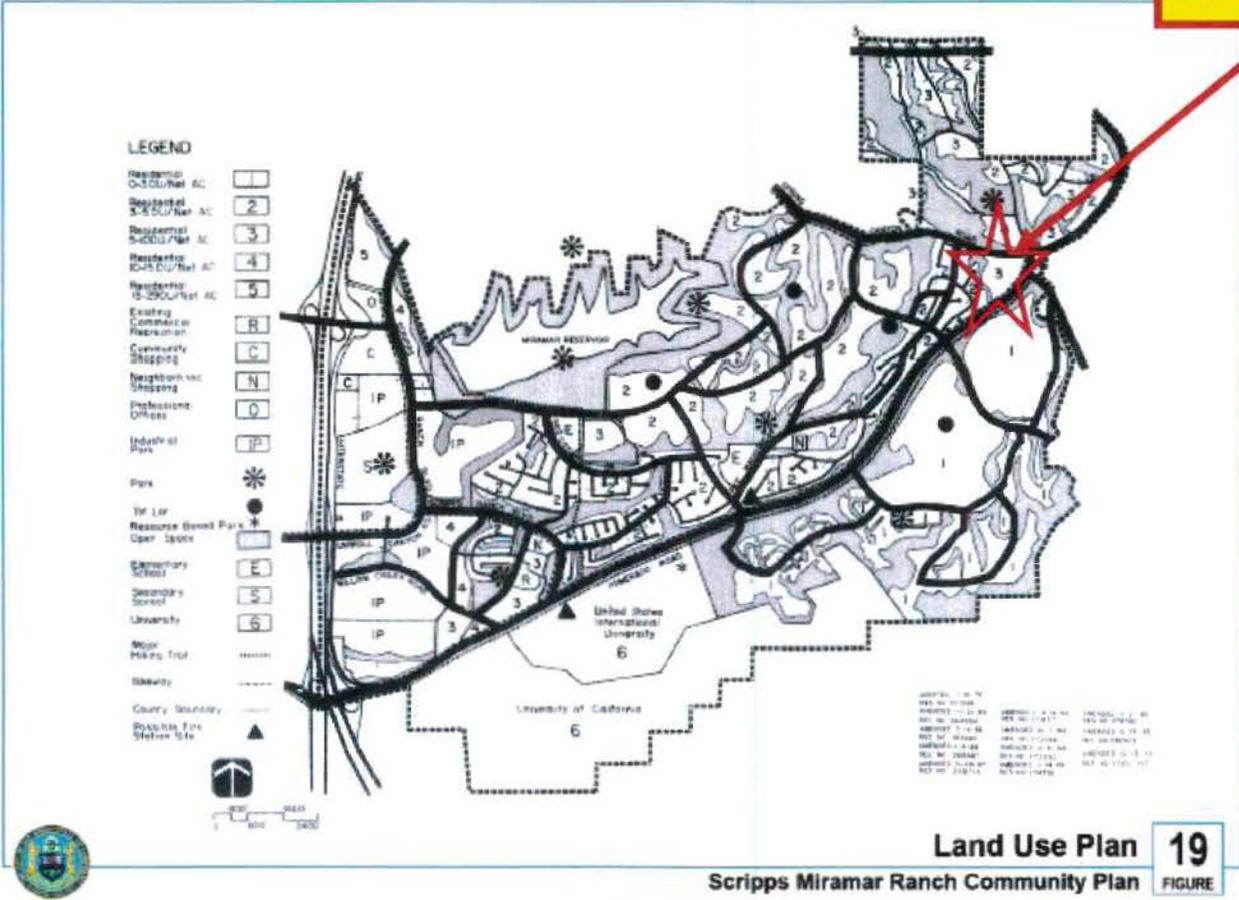
Aerial Photo

T-MOBILE – SPRING CANYON PROJECT NUMBER 290644

12225 SPRING CANYON ROAD



PROJECT SITE

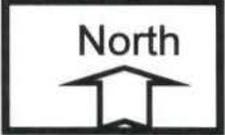


SCRIPPS MIRAMAR RANCH COMMUNITY PLAN MAP

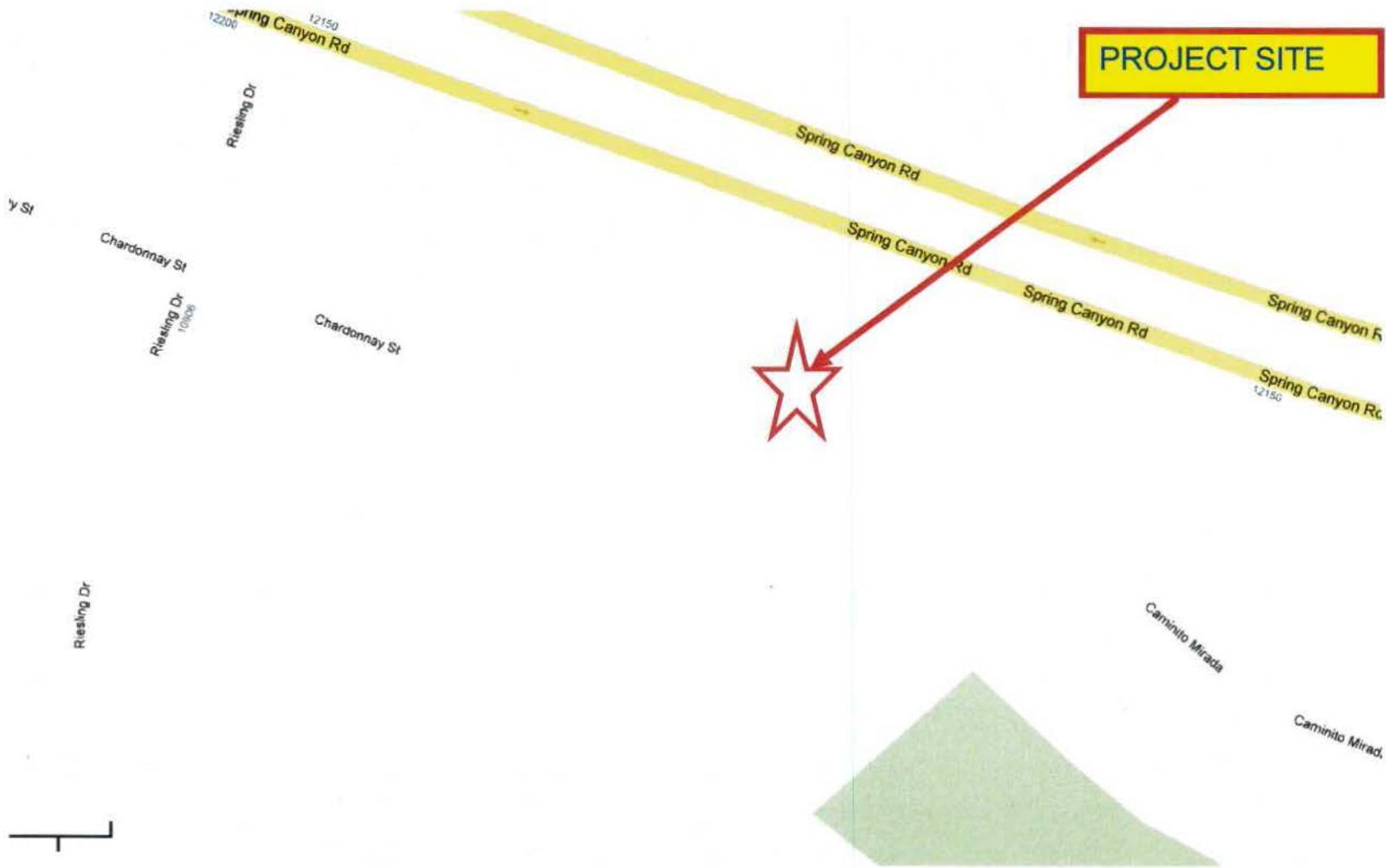


T-MOBILE – SPRING CANYON PROJECT NUMBER 290644

12225 SPRING CANYON ROAD



ATTACHMENT 2



Project Location Map

T-MOBILE - PROJECT NUMBER 290644

12225 SPRING CANYON ROAD



PROJECT DATA SHEET

PROJECT NAME:	T-Mobile – Spring Canyon	
PROJECT DESCRIPTION:	An upgrade to an existing wireless communication facility consisting of six façade mounted panel antennas and two outdoor equipment cabinets.	
COMMUNITY PLAN AREA:	Scripps Miramar Ranch	
DISCRETIONARY ACTIONS:	Conditional Use Permit.	
COMMUNITY PLAN LAND USE DESIGNATION:	Open Space.	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-8 HEIGHT LIMIT: 35-Foot maximum height limit. FRONT SETBACK: 25 feet. SIDE SETBACK: 10 feet. REAR SETBACK: 10 feet.		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Open Space; RS-1-8.	Open Space
SOUTH:	Open Space; RS-1-8.	Open Space
EAST:	Residential (3-5 du/ac); RM-1-1.	Single-Family Residential
WEST:	Residential (5-10 du/ac); RS-1-13.	Single-Family Residential
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 7, 2013, the Scripps Miramar Ranch Planning Group voted 13-0-0 to approve this project, with no conditions.	

**HEARING OFFICER RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1131147
T-MOBILE – SPRING CANYON
PROJECT NO. 290644**

WHEREAS, CITY OF SAN DIEGO, Owner and T-MOBILE WEST, LLC, Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1131147, on portions of a 1.67-acre site;

WHEREAS, the project site is located at 12225 Spring Canyon Road in the RS-1-8 zone of the Scripps Miramar Ranch Community Plan;

WHEREAS, the project site is legally described as Lot 891 of Scripps Ranch Unit No. 11 according to Map thereof No. 8223 in the City of San Diego, County of San Diego, State of California;

WHEREAS, on June 12, 2013, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1131147, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on June 12, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301(b), Existing Facilities, Public or Private Facilities and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 12, 2013.

FINDINGS:

Findings for Conditional Use Permit Approval – Section §126.0305

- 1. The proposed *development* will not adversely affect the applicable *land use plan*;**

Section A.15 of the Urban Design section of the City of San Diego's General Plan addresses Wireless Facilities. The intent is to minimize the visual impact of wireless facilities. The General Plan states that wireless facilities should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. In this particular case, T-Mobile currently has six antennas on the City-owned reservoir and they want to replace the antennas and add skirts and chinstraps to conceal the mounting components and update the look with a cleaner appearance. The antennas and components will be painted to match the reservoir.



The General Plan also states that facilities should be designed to be "aesthetically pleasing and respectful to the neighborhood context." There is an approximate elevational difference between the reservoir site and the surrounding residential area of 40-feet and the entire reservoir site is surrounded by mature Eucalyptus trees, which provides screening for the antennas.

The Scripps Miramar Ranch Community Plan does not address WCF's as a specific land use. The goal of the WCF regulations is to integrate facilities into the setting in which they are proposed. Utilizing an existing vertical element that is part of the neighborhood landscape is highly recommended especially when there is such a great topographical difference and existing mature trees surround the site as they do in this situation. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed *development* will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Fields Exposure Report was prepared for the proposed project which concludes that the project will be consistent with the FCC's regulations for wireless facilities. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

3. The proposed *development* will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

T-Mobile currently has six antennas on the reservoir that were approved in 2000. The permit expired on August 24, 2010. This project proposes to replace the six antennas and to add skirts and chinstraps in order to hide the mounting components and create a cleaner appearance. The water tank is elevated above the surrounding neighborhood and the property has mature Eucalyptus tree around the perimeter providing additional screening of the WCF. The project complies with all development regulations for the RS-1-8 zone and it complies with the Wireless Communication Facility regulations, LDC Section 141.0420, which requires WCF's to be minimally visible through the use of architecture, landscape architecture and siting solutions.

4. The proposed use is appropriate at the proposed location.

Council Policy 600-43 outlines preference levels for Wireless Communication Facilities where residential properties are the least preferred and non-residential properties are more preferred. This project is considered a Preference 2 Location, which is more preferable when carriers need to provide coverage in areas that are entirely residential. The preference then would be to utilize non-residential uses such as a reservoir. In this case, the elevation of the reservoir is approximately 40-feet higher than surrounding properties and the entire perimeter of the property is lined with mature Eucalyptus trees. Façade mounted antennas on the reservoir will be well screened by the trees and because the project site is much higher than the surrounding properties, therefore, the visual impact is minimized. Therefore, the T-Mobile project is appropriate at this location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1131147 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1131147, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: June 12, 2013

Job Order No. 24003090

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003090

CONDITIONAL USE PERMIT NO. 1131147
T-MOBILE – SPRING CANYON
PROJECT NO. 290644
HEARING OFFICER
DRAFT

This Conditional Use Permit (CUP) No. 1131147 is granted by the Hearing Officer of the City of San Diego to City of San Diego, owner and T-Mobile West, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and Chapter 12, Article 6, Division 3. The 1.67-acre site is located at 12225 Spring Canyon Road in the RS-1-8 zone of the Scripps Miramar Ranch Community Plan area. The project site is legally described as: Lot 891 of Scripps Ranch Unit No. 11 according to Map thereof No. 8223 in the City of San Diego, County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 12, 2013, on file in the Development Services Department.

The project shall include:

- a. A total of six panel antennas with skirts and chin straps, mounted to the existing reservoir. The antenna dimensions are 51" x 15.8" x 5.2";
- b. Two outdoor equipment cabinets within a chain link enclosure on the southeast side of the reservoir. No modifications are proposed to the facility;
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality

Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 27, 2016.
2. This Conditional Use Permit (CUP) and corresponding use of this site shall expire on June 27, 2023. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.

26. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

27. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

WATER REQUIREMENTS:

28. The Public Utilities Department, Water and Sewer Development Division shall review the construction documents. Only after their approval of the construction documents may the Building Permits be issued.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 12, 2013 and approved by Resolution No. _____.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
15. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
16. Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

PLANNING/DESIGN REQUIREMENTS:

17. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
18. All facilities and related equipment shall be maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
19. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
20. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
21. No overhead cabling is allowed for this project.
22. Exposed mounting apparatus shall be removed and shall not remain on the reservoir façade absent antennas.
23. The Permittee shall not cause or allow the antennas located on the reservoir to be different sizes (length, width, or height) than as shown on the stamped approved plans.
24. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
25. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal

Permit Type/PTS Approval No.: CUP No. 1131147
Date of Approval: June 12, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

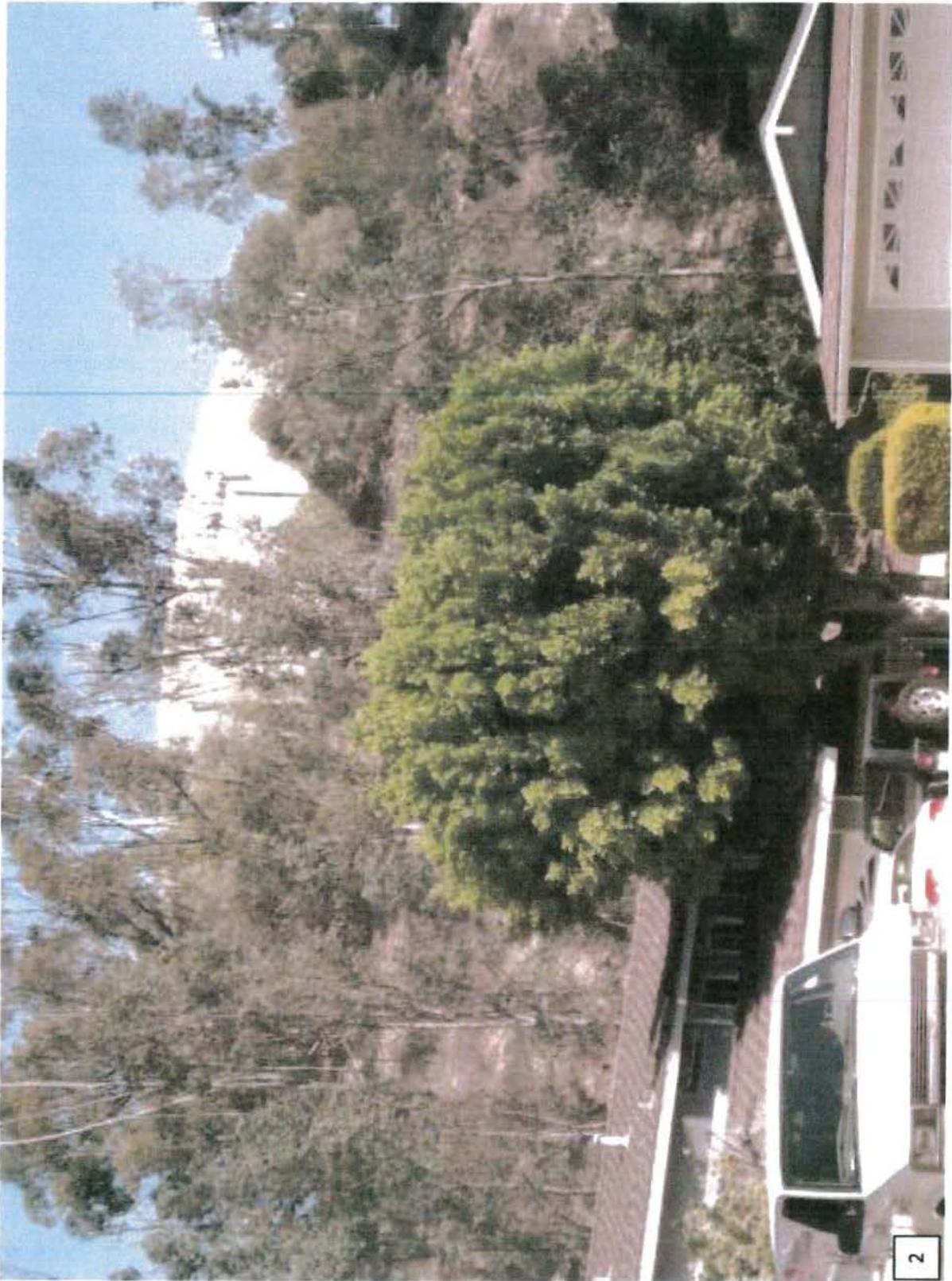
City of San Diego
Owner

By _____
Scott Chadwick,
Interim Chief Operating Officer

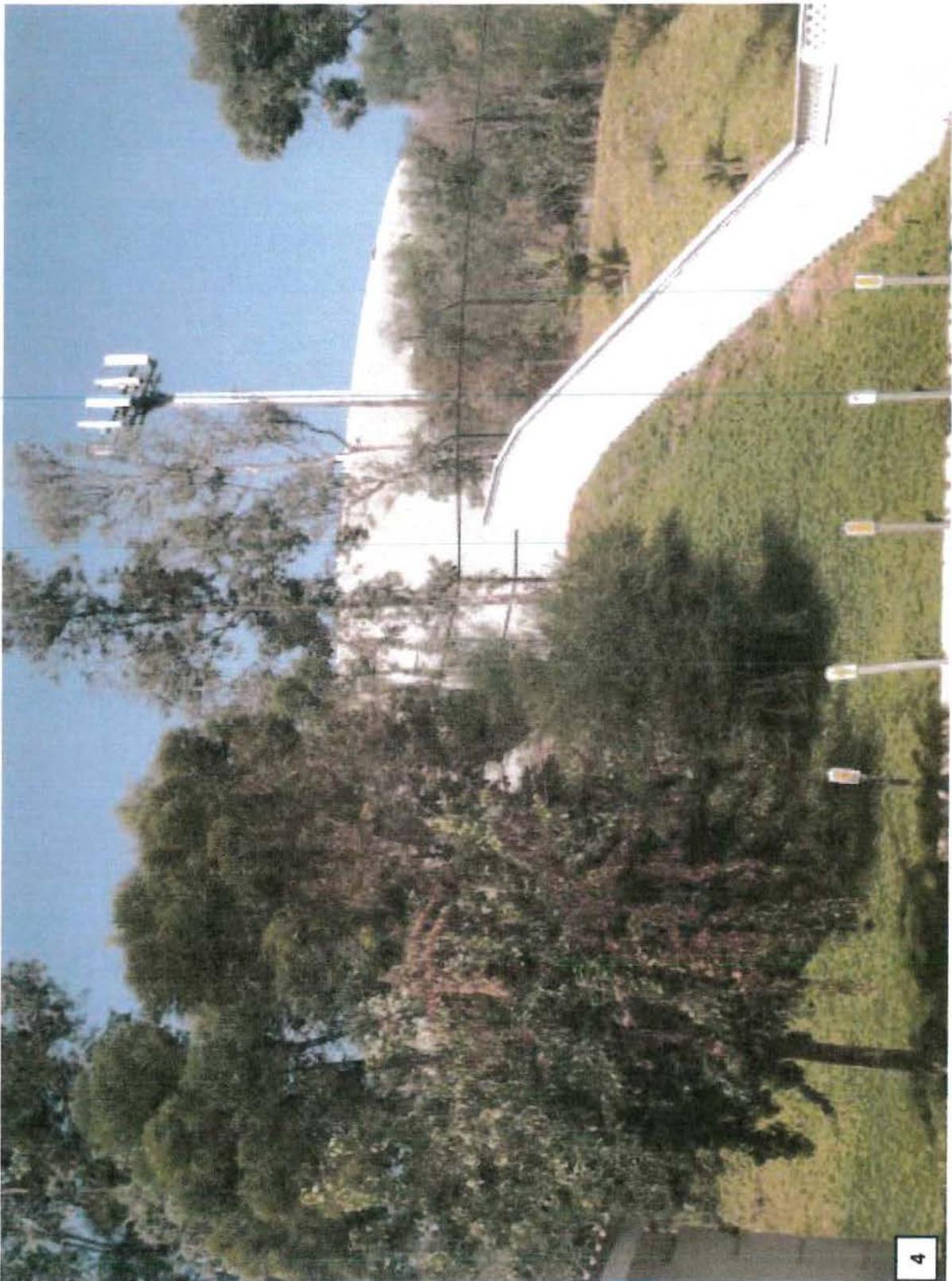
T-Mobile
Permittee

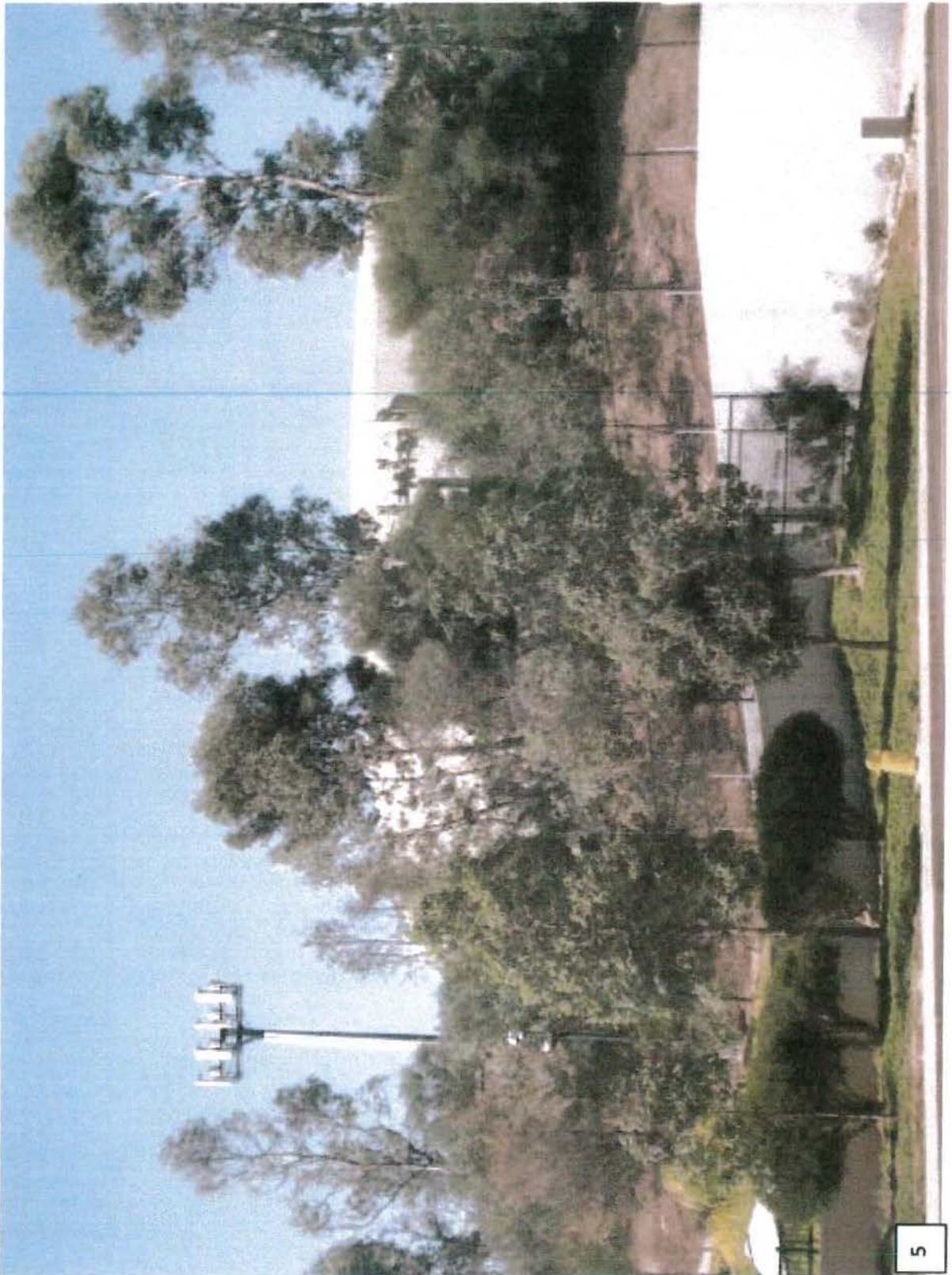
By _____
Michael Fulton
General Manager

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**









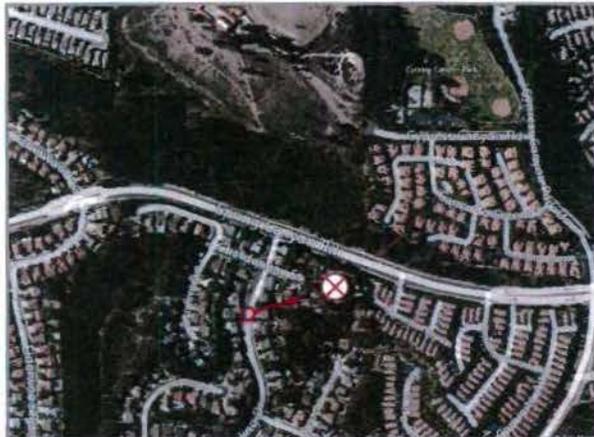


SD06219 SPRING CANYON

12226 SPRING CANYON ROAD SAN DIEGO CA 92131

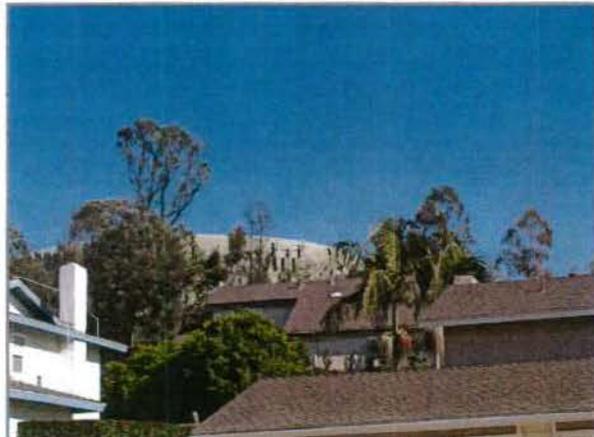


VIEW 1

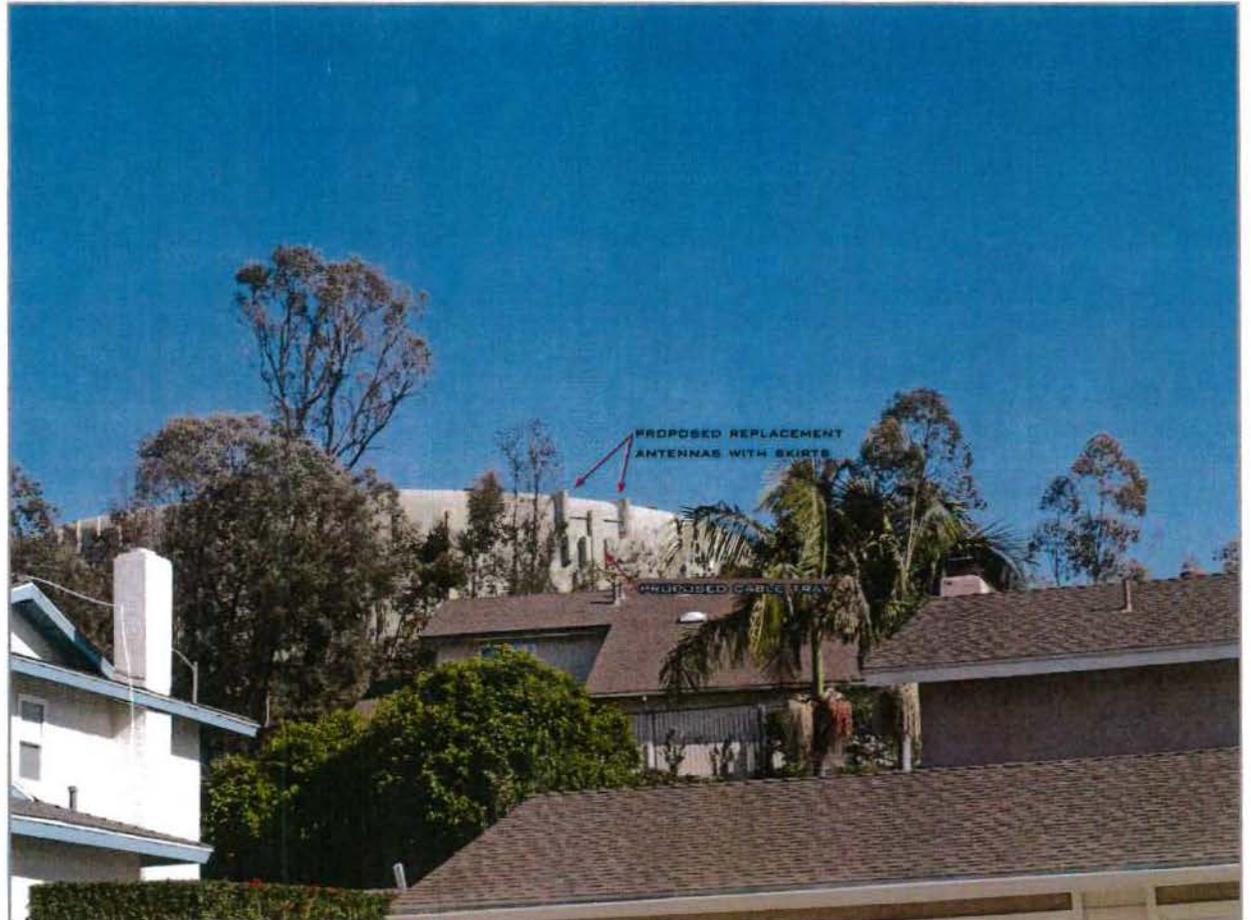


LOCATION

©2012 Google Maps



EXISTING



PROPOSED

LOOKING NORTHEAST FROM RIESLING DRIVE

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

1

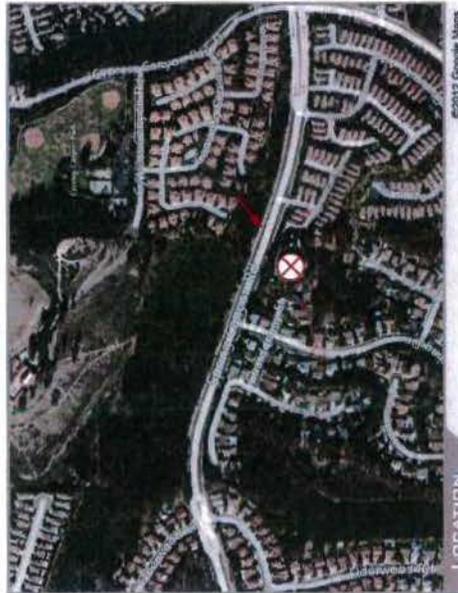


SD06219 SPRING CANYON

12226 SPRING CANYON ROAD SAN DIEGO CA 92131



VIEW 2



ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

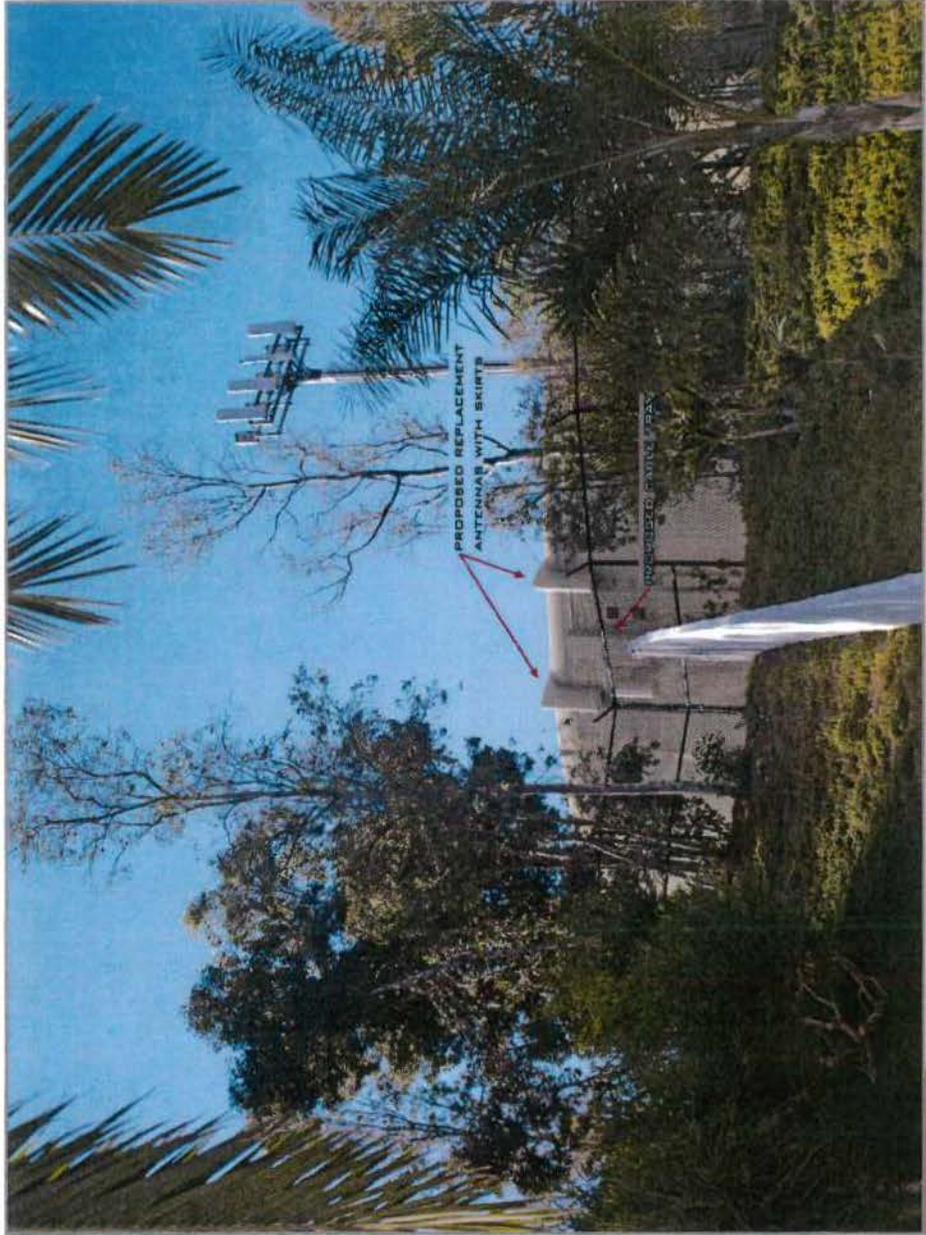
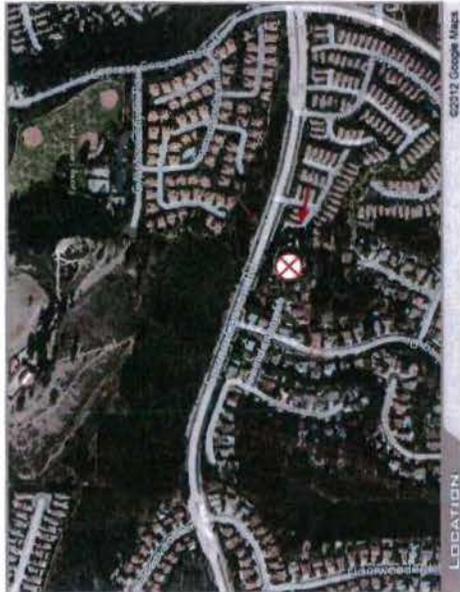


SD06219 SPRING CANYON

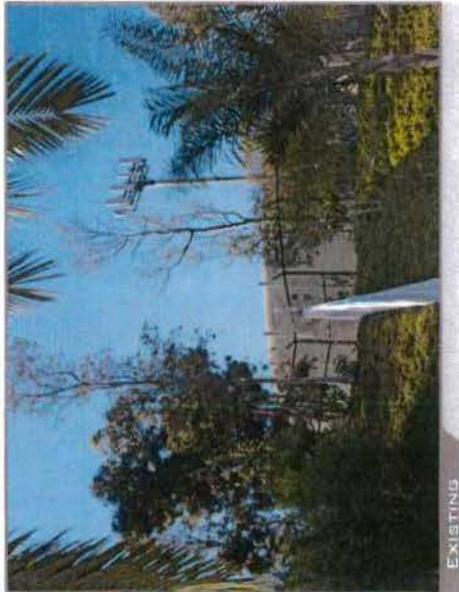
12226 SPRING CANYON ROAD SAN DIEGO CA 92131



VIEW 3

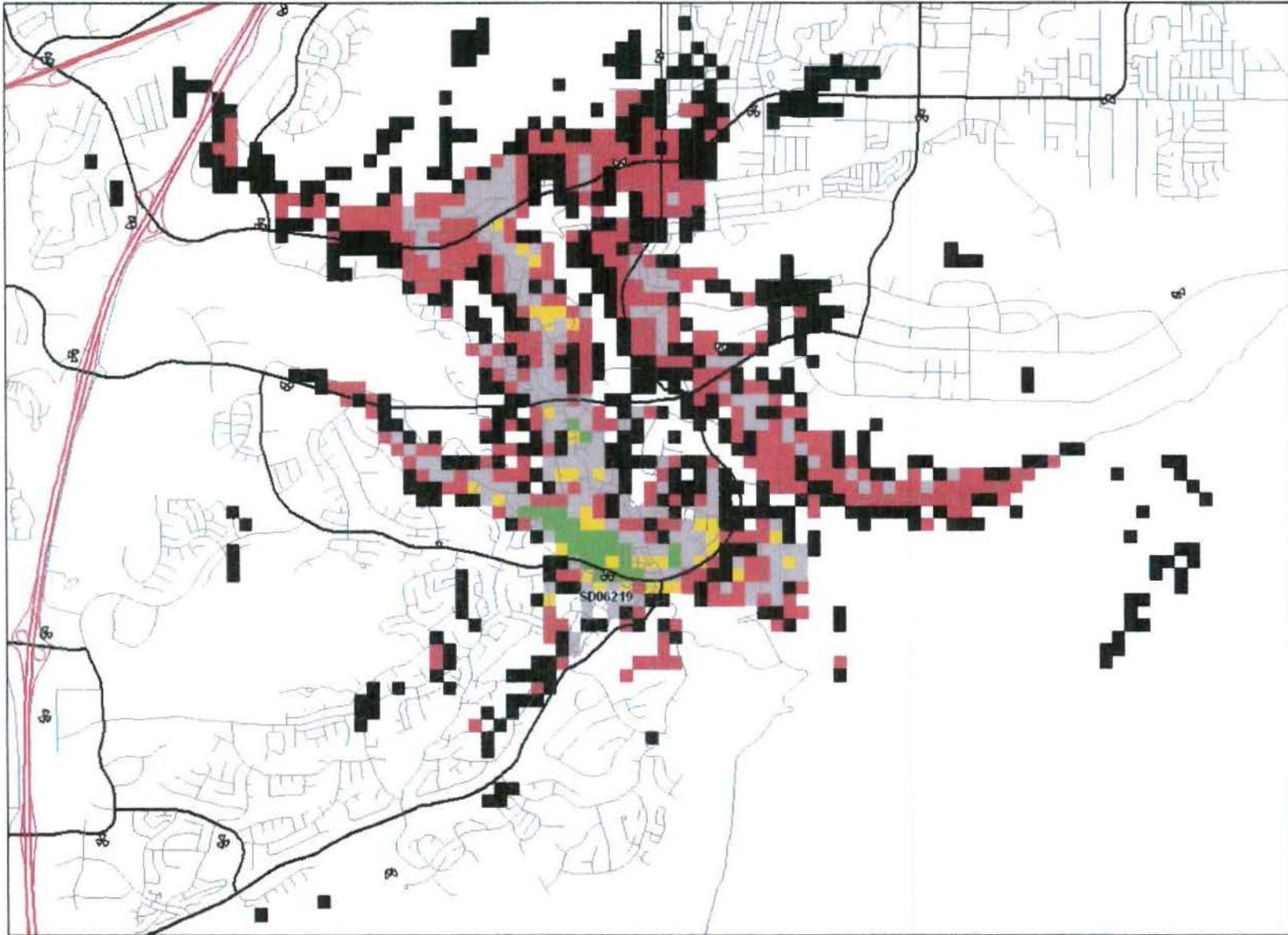


PROPOSED LOOKING WEST FROM CAMINITO MIRADA



EXISTING

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

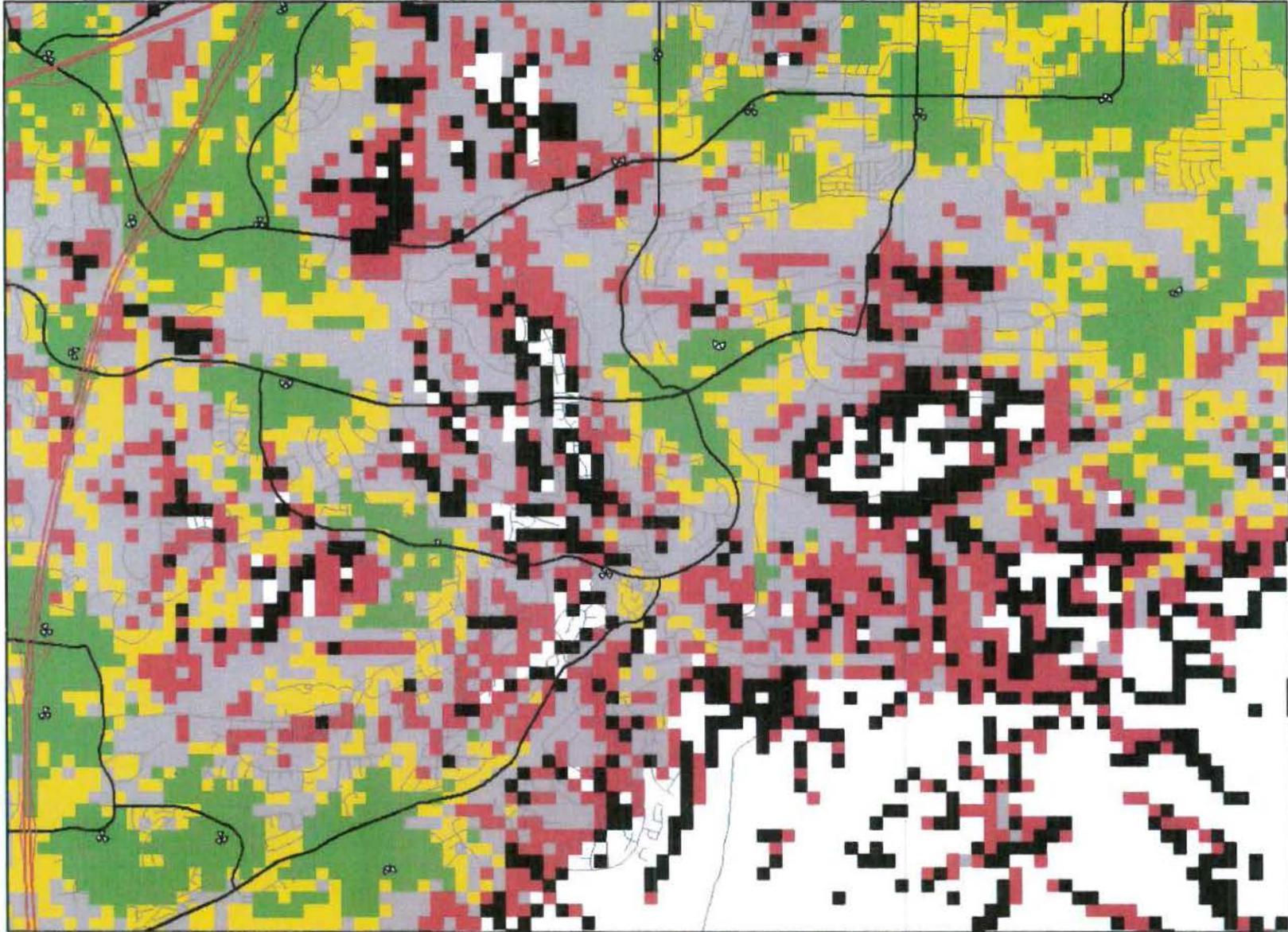


1

Legend: Coverage Level

- | | | |
|-------------------------|---------|-------------------|
| In Building Commercial | In Car | Poor to No Signal |
| In Building Residential | Outdoor | No Coverage |





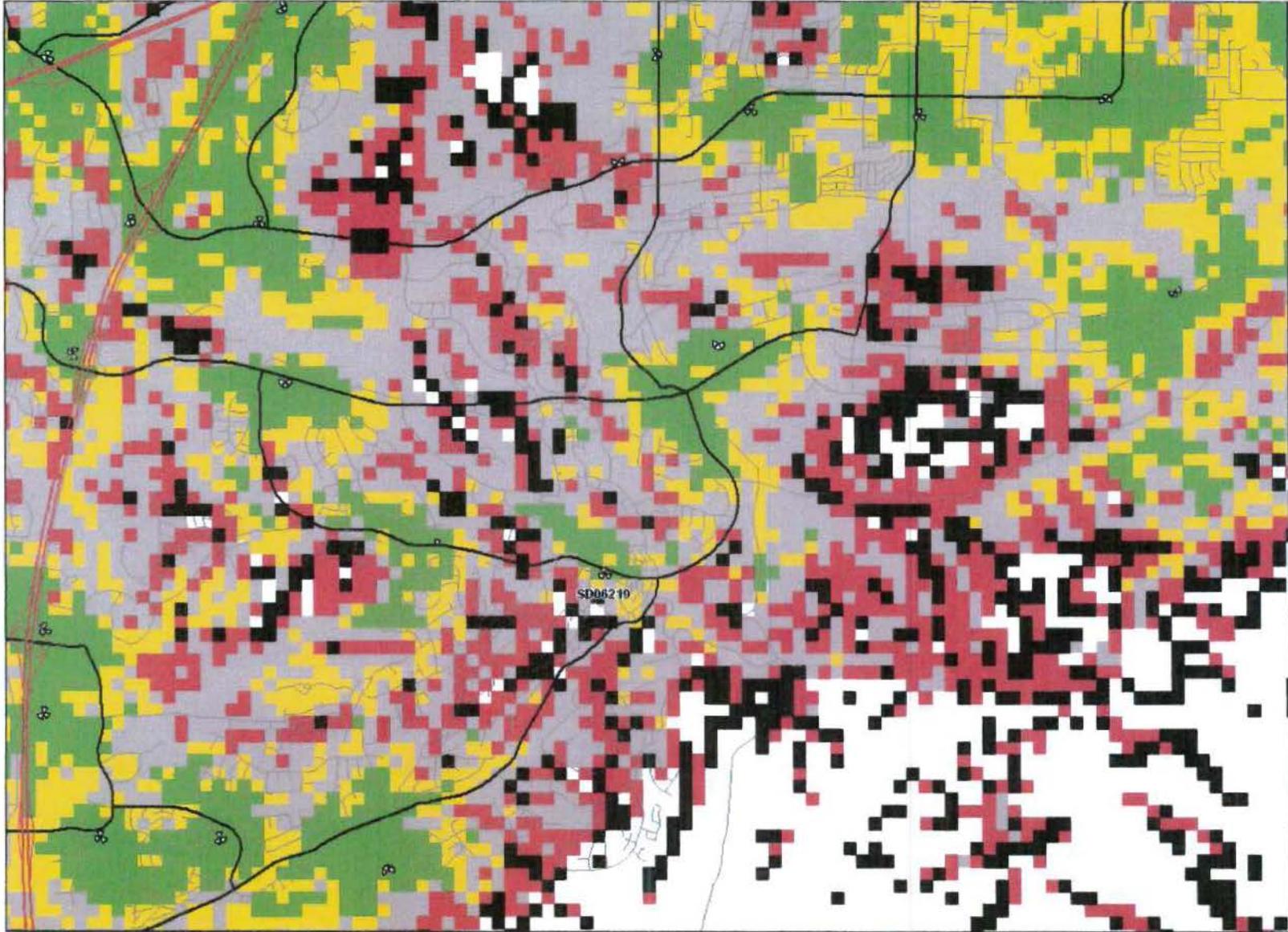
2

ATTACHMENT 9

Legend: Coverage Level

- | | | |
|-------------------------|---------|-------------------|
| In Building Commercial | In Car | Poor to No Signal |
| In Building Residential | Outdoor | No Coverage |





3

Legend: Coverage Level

- | | | |
|---------------------------|-----------|---------------------|
| ● In Building Commercial | ● In Car | ● Poor to No Signal |
| ● In Building Residential | ● Outdoor | ○ No Coverage |



NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

____ OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT NO.: 290644

PROJECT TITLE: T-Mobile Spring Canyon Road

PROJECT LOCATION-SPECIFIC: 12226 Spring Canyon Road, San Diego, CA 92131 (Lot 89 of Scripps Ranch No. 11)

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) for an existing Wireless Communication Facility (WCF). The project would include the removal of 8 existing façade mounted panel antennas and installation of 12 new façade mounted panel antennas on the existing water tank. The equipment is located in an existing equipment enclosure with no proposed changes. The project site is located at 12225 Spring Canyon Road in the RS-1-18 zone.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Bernard Dunham
 7990 New Salem Street
 San Diego, CA, 92126
 619-944-9564

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
 CATEGORICAL EXEMPTION: Section 15301(b) existing facilities, public or private utilities
 STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT This project is exempt because minimal changes are required to remove and replace antennas with a minimal expansion of use and would allow an existing WCF to continue operation. In addition the project is exempt because it meets the criteria set forth in CEQA section 15301(b) – existing facilities, public or private utilities and where the exceptions listed in CEQA section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: Lizzi

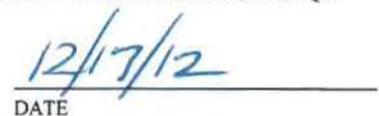
TELEPHONE: (619) 446-5159

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA


 SIGNATURE/TITLE


 DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

**PROJECT CHRONOLOGY
T-MOBILE – Spring Canyon
PTS NO. 290644**

Date	Action	Description	City Review Time	Applicant Response
8/2/12	Submittal for Completeness Check			
8/28/12	Completeness Review Assessment		26 days	
11/8/12	First Full Submittal	Deemed Complete		2 months, 11 days
1/23/13	First Assessment		2 months, 15 days	
3/12/13	Second Submittal			1 month, 17 days
4/11/13	Second Assessment- All Issues Resolved		30 days	
6/12/13	Hearing Officer Hearing		2 months, 1 day	
TOTAL STAFF TIME**			6 months, 12 days	
TOTAL APPLICANT TIME**				3 months, 28 days
TOTAL PROJECT RUNNING TIME**			10 months, 10 days	

**Based on 30 days equals to one month.



THE CITY OF SAN DIEGO

DATE OF NOTICE: May 29, 2013

NOTICE OF PUBLIC HEARING HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING:	June 12, 2013
TIME OF HEARING:	8:30 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	Conditional Use Permit, Exempt from CEQA, Process 3
PROJECT NO:	<u>290644</u>
PROJECT NAME:	<u>T-MOBILE – SPRING CANYON</u>
APPLICANT:	Anne W. Regan, DePratti, Inc.
COMMUNITY PLAN AREA:	Scripps Miramar Ranch
COUNCIL DISTRICT:	5
CITY PROJECT MANAGER:	Karen Lynch, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5351 / klynchash@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for an existing wireless communication facility. The permit is expired and T-Mobile is seeking a new permit to continue operations including the replacement of the six façade mounted panel antennas on the City water tank. Two outdoor equipment cabinets will remain in a fenced enclosure with no proposed changes. The facility is located at 12225 Spring Canyon Road.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 working days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

ATTACHMENT 12

This project was determined to be categorically exempt from the California Environmental Quality Act on December 19, 2012 and the opportunity to appeal that determination ended January 4, 2013.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003090.

Revised 04/08/10 HRD

T-Mobile®

SPRING CANYON SD06219

12226 SPRING CANYON ROAD
SAN DIEGO, CA 92131

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

PLOT PLAN NUMBER:

T-Mobile
10505 VISTA SORRENTO PKWY, SUITE 206
SAN DIEGO, CA 92121

Deprattinc.
13948 CALLE BUENO
JAMUL, CA 91935

PTS
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 454-1885

PROJECT INFORMATION

PROJECT DESCRIPTION:
T-MOBILE PROPOSES TO MODIFY AN EXISTING UNSTAFFED TELECOMMUNICATION FACILITY BY REPLACING (6) EXISTING ANTENNAS (2 PER SECTOR) WITH (6) NEW ANTENNAS (2 PER SECTOR). ALL EXISTING EQUIPMENT CABINETS, COAX, AND TMA'S TO REMAIN.

APPLICANT:
T-MOBILE USA
10505 VISTA SORRENTO PKWY, SUITE 206
SAN DIEGO, CA 92121
CONTACT: ANNE WULFTANGE REGAN
PHONE: (858) 602-8522

PROPERTY OWNER:
CITY OF SAN DIEGO PUBLIC UTILITIES DEPARTMENT WATER BRANCH
2797 CAMINITO CHOLLAS
SAN DIEGO, CA 92105
CONTACT: CAROL YOUNG
PH: (619) 236-6061

PROJECT MANAGER:
PAUL HOKENESS, DEPRATTI, INC.
13948 CALLE BUENO
JAMUL, CA 91935
EMAIL: PAUL.HOKENESS@SAN.RR.COM
PH: (858) 231-8889

CONSTRUCTION MANAGER:
PAUL HOKENESS, DEPRATTI, INC.
13948 CALLE BUENO
JAMUL, CA 91935
EMAIL: PAUL.HOKENESS@SAN.RR.COM
PH: (858) 231-8889

LEASING AND PLANNING:
ANNE WULFTANGE REGAN, DEPRATTI, INC.
13948 CALLE BUENO
JAMUL, CA 91935
EMAIL: ANNE.WULFTANGE@GMAIL.COM
PH: (858) 602-6522

CODE INFORMATION:
ZONING CLASSIFICATION: RS-1-B
BUILDING CODE: 2010 CBC
CONSTRUCTION TYPE: IB
OCCUPANCY: S-2
JURISDICTION: CITY OF SAN DIEGO
CURRENT USE: TELECOMMUNICATIONS FACILITY
PROPOSED USE: TELECOMMUNICATIONS FACILITY

TELCO COMPANY:
AT&T

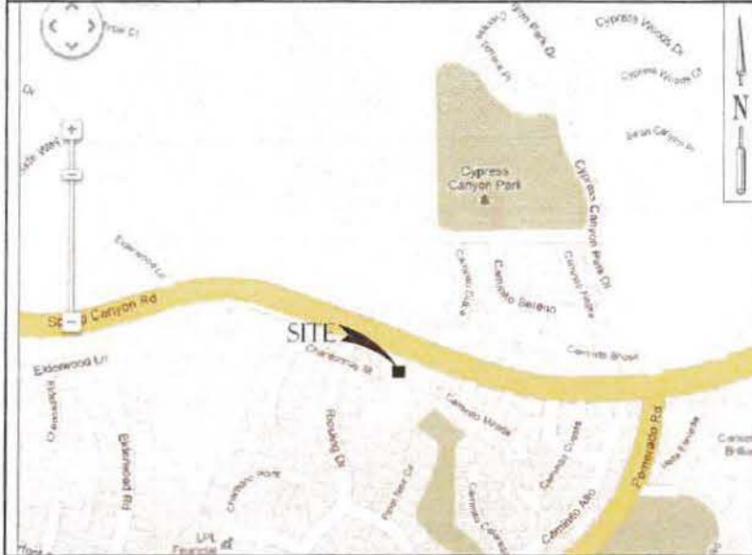
POWER COMPANY:
SDG&E

SITE LOCATION: (BASED ON NAD 83):
LATITUDE: 32° 55' 23.49" N
LONGITUDE: 117° 4' 10.85" W
TOP OF STRUCTURE AGL: 33'-5"
BASE OF STRUCTURE AMSL: - AMSL

PARCEL NUMBER(S):
319-211-35

EXISTING WCFS ON SAME PROPERTY:
1. T-MOBILE
2. NEXTEL
3. VERIZON
4. AT&T
5. CROCKET

VICINITY MAP



DRAWING INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
G-1	GENERAL NOTES
G-2	LESSEE'S CERTIFICATE
A-1	SITE PLAN
A-2	EXISTING & PROPOSED ANTENNA PLAN
A-3	EXISTING & PROPOSED SOUTH ELEVATION
A-4	EXISTING & PROPOSED NORTH ELEVATION
A-5	CONSTRUCTION DETAILS
E-1	GROUNDING LAYOUT, SCHEMATIC, & NOTES
E-2	GROUNDING DETAILS

LEGAL DESCRIPTION

LOT 89 OF SCRIPPS RANCH UNIT NO. 11 ACCORDING TO MAP THEREOF NO. IN THE CITY OF SAN DIEGO COUNTY OF SAN DIEGO STATE OF CALIFORNIA.

DRIVING DIRECTIONS

FROM T-MOBILE OFFICE, SAN DIEGO, CA:
HEAD SOUTH-EAST ON VISTA SORRENTO PKWY TOWARDS DIRECTORS PL 0.5 MI
TURN LEFT ONTO MIRA MESA BLVD 6.0 MI
TURN LEFT ONTO SCRIPPS RANCH BLVD 1.5 MI
TURN RIGHT ONTO SPRING CANYON RD 1.5 MI
MAKE A U-TURN AT RIESLING DR DESTINATION WILL BE ON THE LEFT 0.1 MI

12226 SPRING CANYON RD
SAN DIEGO, CA 92131, USA

RF INFORMATION

EXISTING RF & COAX CHART							
SECTOR	AZIMUTH	RAD CENTER	# OF ANTENNAS	ANTENNA MODEL	TMA	COAX	COAX LENGTH
ALPHA	034°	31'-0"	2	160W-160W-S-E-420	EXISTING	EXISTING	750
BETA	120°	31'-0"	2	160W-160W-S-E-420	EXISTING	EXISTING	750
GAMMA	240°	31'-0"	2	160W-160W-S-E-420	EXISTING	EXISTING	750

NOTE: VERIFY WITH FINAL RF DESIGN.

PROPOSED RF & COAX CHART							
SECTOR	AZIMUTH	RAD CENTER	# OF ANTENNAS	ANTENNA MODEL	TMA	COAX	COAX LENGTH
ALPHA	240°	31'-0"	2	OML_RL_6518	EXISTING	EXISTING	750
BETA	60°	31'-0"	1	OML_RL_6515	EXISTING	EXISTING	750
GAMMA	180°	31'-0"	1	OML_RL_6518	EXISTING	EXISTING	750
DELTA	240°	31'-0"	2	OML_RL_6518	EXISTING	EXISTING	750

NOTE: VERIFY WITH FINAL RF DESIGN.

PROJECT TEAM

PROJECT ARCHITECT:
THOMAS HOLLAND
PACIFIC TELECOM SERVICES, LLC
3199C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
CONTACT: ROBERT LEIGHTON
PH: (206) 464-4402
EMAIL: RLEIGHTON@PTSWA.COM

PROJECT CONSULTANT:
DEPRATTI, INC.
13948 CALLE BUENO
JAMUL, CA 91935
CONTACT: PAUL HOKENESS
PH: (858) 231-8889

APPROVAL	DATE	SIGNATURE
LANDLORD:		
CONST:		
S/A:		
R.F.:		
ZONING:		
AAE:		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED.

SPRING CANYON
SD06219
12226 SPRING CANYON ROAD
SAN DIEGO, CA 92131

REVISIONS				
NO.	DATE	DESCRIPTION	INITIALS	REVISION
A	6/24/13	PERMIT DRAWINGS	LB	
B	10/30/13	PERMIT DRAWINGS	CBR	
C	10/15/13	PERMIT DRAWINGS	NL	
D	10/17/13	PERMIT DRAWINGS	NL	
E	10/13/13	PERMIT DRAWINGS	WR	
F	12/23/13	PERMIT DRAWINGS	SV	
G	4/18/14	PLAN CHECK COMMENTS	FR	

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET.

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE "CALIFORNIA BUILDING CODE 2010" AND CITY CODE. SHALL MEET OR EXCEED THE STRICTER OF APPLICABLE COUNTY CODES AND REGULATIONS, LATEST EDITIONS.
- ANTENNAS, CABINETS AND JUNCTIONS SHALL BE PROVIDED BY CLIENT. CONTRACTOR SHALL COORDINATE SCHEDULE OF DELIVERY TO AVOID DELAYS.
- DAMAGE TO ALL UTILITIES, LAND, DRIVEWAY AREAS, AND PROPERTY OF OTHERS, DISTURBED DURING CONSTRUCTION, SHALL BE RETURNED TO THE ORIGINAL CONDITION AT THE COMPLETION OF WORK.
- CONTRACTOR SHALL COORDINATE WITH THE LOCAL POWER, TELEPHONE UTILITIES, AND THE CONSTRUCTION MANAGER TO CONFIRM THE SOURCE OF SERVICE PRIOR TO INSTALLATION OF CONDUITS.
- EXISTING VEGETATION AND ORGANIC MATERIALS SHALL BE REMOVED FROM THE CONCRETE PAD AREA. FILL SITE TO DESIGN ELEVATION WITH CLEAN, SANDY SOIL. COMPACT UNDER CONCRETE PAD TO OBTAIN NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR 50% IN ACCORDANCE WITH ASTM D557.
- REGRADE AROUND PAD AS REQUIRED TO ALLOW MAXIMUM 3" OF PAD THICKNESS, EXTENDING ABOVE GRADE.
- ALL WORK SHALL BE DONE SATISFACTORY IN A PROFESSIONAL WORKMANLIKE MANNER, SUBJECT TO INSPECTION DURING THE CONSTRUCTION AND FINAL APPROVAL BY THE CONSTRUCTION MANAGER.
- ANY SUBSTITUTIONS OF MATERIALS, EQUIPMENT OR ALTERATIONS FROM THE PLANS AND/OR SPECIFICATIONS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER.
- COLOR SELECTION SHALL BE COORDINATED WITH CONSTRUCTION MANAGER.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS, AND BRING DISCREPANCIES TO THE ATTENTION OF THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL CONTACT SUBSURFACE UTILITY LOCATOR FOR EXACT LOCATION OF EXISTING UTILITIES. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT, AS NECESSARY. LOCATION OF UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY.
- CONTRACTOR SHALL SECURE THE NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENT AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- TOWER AND TOWER FOUNDATIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
- CONTRACTOR SHALL VISIT THE PROJECT SITE TO VIEW ALL CONDITIONS PRIOR TO SUBMITTING BID. ANY CHANGES DURING CONSTRUCTION VISUALLY ASCERTAINABLE PRIOR TO SUBMITTING BID, CANNOT BE THE BASIS FOR A CHANGE ORDER.
- COAT ALL SURFACES WITH NO-OX WHERE DISSIMILAR METALS CONTACT.
- CONTRACTOR SHALL REMOVE ALL DEBRIS AND EMPTY COAX REELS FROM THE SITE UPON COMPLETION OF THE PROJECT.

PROJECT NOTES:

- REINFORCED CONCRETE:**
- R-1. CONCRETE, ALL CONCRETE SHALL BE F_c = 2,500 PSI AT END OF 28 DAYS AS DETERMINED BY ASTM C31 AND C39 AND SHALL BE NORMAL WEIGHT.
 - R-2. PREPARATION, TESTING, AND PLACING OF CONCRETE AND REINFORCEMENT SHALL BE PER ACI-318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, LATEST EDITION.
 - R-3. REINFORCING BARS SHALL HAVE A MINIMUM YIELD STRENGTH OF F_y = 60,000 PSI AND SHALL COMPLY WITH ASTM A615.
 - R-4. PROVIDE MINIMUM CONCRETE COVERAGE FOR REINFORCING STEEL OF 3"
- DESIGN:**
- D-1. DESIGN IS IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE 2010.
 - D-2. EQUIPMENT CABINET LOADING PER T-MOBILE STANDARD EQUIPMENT.
 - D-3. DESIGN LOADS, CALIFORNIA
 - A. 100 MPH WIND SPEED
 - B. 3 SECOND GUST
 - C. CATEGORY 2 IMPORTANCE FACTOR 1.0
 - D. EXPOSURE CATEGORY C
 - E. ALL OTHER LOADS ARE PER ASCE 7-02
- STRUCTURAL:**
- S-1. DETAIL, FABRICATE, AND ERECT ALL STRUCTURAL STEEL IN ACCORDANCE WITH AISC, SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURE STEEL FOR BUILDINGS.
 - S-2. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN, 9th EDITION.
 - S-3. STRUCTURAL PIPE COLUMNS SHALL COMPLY WITH ASTM A53 TYPE E OR S, GRADE B, F_y = 36KSI. ALL WIDE FLANGE SHAPES SHALL BE ASTM A992, GRADE 50. ALL STRUCTURAL SHAPES AND PLATE SHALL COMPLY WITH ASTM A36.
 - S-4. WELDING: ALL WELDING IS TO BE DONE BY PRE-QUALIFIED WELDERS HOLDING CURRENT CERTIFICATE FROM A RECOGNIZED TESTING LABORATORY. ALL WELDS SHALL BE 3/16" MINIMUM FILLET WELDS U.O.N. ELECTRODES SHALL BE E70XX.
 - S-5. THERE SHALL BE NO FIELD WELDING.
 - S-6. STRUCTURAL GROUT SHALL BE SHRINKAGE RESISTANT NON-EXPANSIVE, NONMETALLIC GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5,000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C109. FORMS SHALL BE PLACED AROUND BASE PLATE AND THE STRUCTURAL GROUT SHALL BE POURED, NO DRY-DAMP PACKING.
 - S-7. ANCHOR BOLTS AND ALL-THREAD RODS SHALL COMPLY WITH ASTM A36, UNLESS OTHERWISE NOTED. ALL OTHER BOLTS AND NUTS SHALL COMPLY WITH ASTM A325. ALL BOLTS SHALL BE HOT-DIPPED GALVANIZED.
 - S-8. ALL EXPOSED STEEL SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A153 OR A123.
 - S-9. APPLY TWO COATS OF ZINC-RICH RUST-OLEUM #2185 PAINT TO ALL FIELD DRILLED HOLES AND CUTS. GRID-GUARD EPOXY #5465 COATING SHALL BE APPLIED TO ALL AREAS WHERE GALVANIZED SURFACES NEED TO BE RECONDITIONED, INCLUDING ALL WELD AREAS.

ELECTRICAL NOTES:

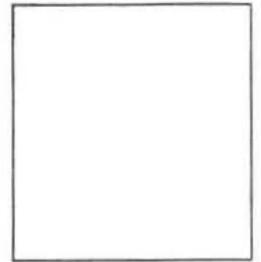
- ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.
- ALL ELECTRICAL ITEMS SHALL BE UL APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.
- THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATIONS, INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE, OPERATING AND APPROVED ELECTRICAL SYSTEM.
- GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
- ELECTRICAL AND TELCO WIRING BETWEEN CABINETS SHALL RUN IN EMT OR SCHEDULE 40 PVC (AS PERMITTED BY CODE).
- ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS AND WHERE REQUIRED IN LIQUID TIGHT FLEXIBLE METAL OR PVC WHERE LOCAL CODES AND SITE CONDITIONS PERMIT.
- ELECTRICAL WORK SHALL BE COPPER WITH TYPE XHHW, THWN, OR THHN INSULATION.
- RUN ELECTRICAL CONDUIT BETWEEN ELECTRICAL UTILITY DEMARCATION POINT AND EXISTING METER SOCKETS AS LOCATED ON THIS DRAWING IN PVC. PROVIDE FULL LENGTH PULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.
- RUN TELCO CONDUITS BETWEEN TELEPHONE UTILITY DEMARCATION POINT AND EXISTING TELCO CABINET AND T-MOBILE CABINET(S) AS INDICATED ON THIS DRAWING IN PVC. PROVIDE FULL LENGTH PULL ROPE IN TELCO CONDUIT.
- ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO APPLY FOR COMMERCIAL POWER IMMEDIATELY UPON RECEIVING AWARD OF BID. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL RECEIPTS FROM THE POWER COMPANY ACKNOWLEDGING APPLICATION FOR POWER AND THOROUGH DOCUMENTATION OF ANY DISCUSSIONS WITH THE POWER COMPANY THEREAFTER. ALSO, THE GENERAL CONTRACTOR SHALL RECEIVE IN WRITING FROM THE POWER COMPANY AS TO WHEN THE ANTICIPATED POWER CONNECTION WILL BE COMPLETE. IF COMMERCIAL POWER IS NOT AVAILABLE BY THE "POWER COMPLETE" DATE AS CALLED OUT IN THE SPECIFICATIONS, A GENERATOR SHALL BE SUPPLIED AND MAINTAINED BY THE GENERAL CONTRACTOR UNTIL COMMERCIAL IS OBTAINED. ALL COSTS ASSOCIATED WITH THE GENERATOR WILL BE MUTUALLY AGREED UPON BETWEEN THE OWNER AND GENERAL CONTRACTOR, IN THE EVENT THAT THE GENERAL CONTRACTOR FAILS TO TAKE THE NECESSARY MEASURES AS DESCRIBED HEREIN TO SECURE POWER BY THE POWER COMPLETION DATE, THEN ALL COSTS ASSOCIATED WITH THE GENERATOR SHALL BE BORNE BY THE CONTRACTOR.

GROUNDING NOTES:

- AN ANTI-OXIDANT COMPOUND SHALL BE APPLIED TO ALL EXTERIOR, ABOVE GRADE, MECHANICAL GROUND CONNECTIONS.
- CONTRACTOR SHALL SUPPLY ALL MATERIAL, LABOR, AND EQUIPMENT NECESSARY FOR A COMPLETE SYSTEM AS INTENDED HEREIN UNLESS OTHERWISE NOTED.
- ALL EXTERNAL GROUND CONDUCTORS SHALL BE #2 AWS, BARE, SOLID, TINNED COPPER UNLESS OTHERWISE NOTED.
- ALL GROUND CONNECTIONS SHALL BE MADE WITH EXOTHERMIC WELD PROCESS UNLESS OTHERWISE NOTED OR APPROVED. ALL CONNECTIONS SHALL BE MADE AT DESIGNATED LOCATIONS ON THE EQUIPMENT.
- EXACT LOCATION OF GROUND RODS AND GROUND CONNECTION POINTS SHALL BE DETERMINED IN THE FIELD, ADJUST LOCATIONS AS REQUIRED TO KEEP GROUND CONNECTIONS AS SHORT AS POSSIBLE (6" MIN. BEND RADIUS AND 90 DEGREE MAX BEND ANGLE). ALL BELOW GRADE GROUNDING SHALL BE INSPECTED AND APPROVED BY CONSTRUCTION MANAGER PRIOR TO BACKFILLING.
- ALL GROUND COMPONENTS SHALL BE INSTALLED WITHIN THE CONFINES OF THE FENCED AREA. ANY METALLIC ITEMS WITHIN 6" OF THE GROUND RING SHALL BE BONDED TO THE GROUND RING. GROUNDING REQUIREMENT NOT SHOWN ON PLANS ARE WAVEGUIDE HATCH COVER / PLATE, CABLE TRAYS, SUPPORTS, SERVICE PANELS, DISCONNECT SWITCHES, HVAC UNITS ETC. THESE ITEMS MUST BE GROUNDING.
- ALL EXTERIOR EXPOSED GROUND CONDUCTORS LONGER THAN 18" SHALL BE PROTECTED AND SUPPORTED BY A 3/4" PVC SCHEDULE 80 CONDUIT SLEEVE MOUNTED WITH CLIP-STRAP SUPPORTS FROM 6" BELOW FINISHED GRADE TO 6" FROM FINAL CONNECTION.
- ALL GROUND RODS SHALL BE DRIVEN STRAIGHT DOWN, PERPENDICULAR TO FINISHED GRADE. SUITABLE PROTECTION SHALL BE PROVIDED ON END OF RODS TO PREVENT MUSHROOMING WITH GROUND DURING INSTALLATION.
- GROUND CONDUCTORS SHALL NOT COME IN CONTACT WITH THE SLAB OR TOWER EXCEPT AS DESIGNATED.
- THE UTILITY NEUTRAL / GROUND BOND IS TO BE MADE IN THE METER OR MAIN DISCONNECT SWITCH, NOT IN ATS.
- ALL EQUIPMENT SURFACES TO BE BONDED TO GROUNDING SYSTEM SHALL BE STRIPPED OF ALL PAINT AND DIRT. CONNECTIONS TO VARIOUS METALS SHALL BE A TYPE AS TO NOT CAUSE A GALVANIC OR CORROSIVE REACTION AREA SHALL BE REPAIRED FOLLOWING BONDING.

ABBREVIATIONS

A/C	AIR CONDITIONING	GC	GENERAL CONTRACTOR	PLYWD	PLYWOOD
AGL	ABOVE GROUND LEVEL	GPS	POSITIONING SYSTEM	PROJ	PROJECT
APPROX	APPROXIMATELY	GRND	GROUND	PROP	PROPERTY
				PT	PRESSURE TREATED
BLDG	BUILDING	HORZ	HORIZONTAL	REQ	REQUIRED
BLK	BLOCKING	HR	HOUR	RF	RADIO FREQUENCY
		HT	HEIGHT	RM	ROOM
CLD	CEILING	HVAC	HEATING VENTILATION AIR CONDITIONING	RO	ROUGH OPENING
CLR	CLEAR			RHH	REMOTE RADIO HEAD
COAX	COAXIAL CABLE			RJU	REMOTE RADIO UNIT
CONC	CONCRETE	ID	INSIDE DIAMETER		
CONST	CONSTRUCTION	IN	INCH	SHT	SHEET
CONT	CONTINUOUS	INF	INFORMATION	SIM	SIMILAR
		INSUL	INSULATION	SPEC	SPECIFICATION
DBL	DOUBLE	INT	INTERIOR	SF	SQUARE FOOT
DA	DIAMETER	IBC	INTERNATIONAL BUILDING CODE	SS	STAINLESS STEEL
DIAG	DIAGONAL			STL	STEEL
DN	DOWN	LBS	POUNDS	STRUCT	STRUCTURAL
DET	DETAIL	LMU	LOCATION MEASUREMENT UNIT	STUD	STRUCTURAL STUD
DWG	DRAWING	LTE	LONG TERM EVOLUTION	SUSP	SUSPENDED
EA	EACH			THRU	THROUGH
ELEV	ELEVATION	MAX	MAXIMUM	TWA	TOWER MOUNTED AMPLIFIER
ELEC	ELECTRICAL	MECH	MECHANICAL	TRNG	TRAINED
EQ	EQUAL	MFR	MANUFACTURE	TYP	TYPICAL
EQUIP	EQUIPMENT	MGR	MANAGER	UNO	UNLESS NOTED OTHERWISE
EXT	EXTERIOR	MIN	MINIMUM	VERT	VERTICAL
FIN	FINISH	MISC	MISCELLANEOUS	VF	VERIFY IN FIELD
FLOOR	FLUORESCENT FLOOR	NA	NOT APPLICABLE		
FLP	FLOOR	NA	NOT APPLICABLE		
FT	FOOT	NIC	NOT IN CONTRACT		
FRP	FIBER-REINFORCED POLYMER	NTS	NOT TO SCALE	N/	WITH
				W/O	WITHOUT
				WF	WATER PROOF
GA	GAUGE	OC	ON CENTER		
GALV	GALVANIZED	OD	OUTSIDE DIAMETER		



SPRING CANYON
SD06219
 12226 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

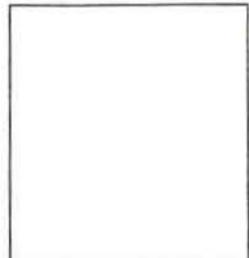
REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
A	10/24/19	PERMIT DRAWINGS	LB
B	10/30/19	PERMIT DRAWINGS	CBK
C	11/15/19	PERMIT DRAWINGS	NL
D	01/17/20	PERMIT DRAWINGS	NL
E	10/13/20	PERMIT DRAWINGS	WUR
F	12/25/21	PERMIT DRAWINGS	SV
G	4/18/23	PLAN CHECK COMMENTS	FR

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
G-1



SPRING CANYON
SD06219
 12226 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
A	07/24/10	PERMIT DRAWINGS	LB
B	08/30/10	PERMIT DRAWINGS	COM
C	01/15/11	PERMIT DRAWINGS	ML
D	01/17/11	PERMIT DRAWINGS	ML
E	02/13/11	PERMIT DRAWINGS	WUP
F	12/25/11	PERMIT DRAWINGS	GV
G	4/18/11	PLAN CHECK COMMENTS	TR

SHEET TITLE
LESSEE'S CERTIFICATE

SHEET NUMBER
G-2

Lessee's Certificate
Standard Wireless Facility Project
for Post Construction BMPs

I/we the undersigned as Lessee(s) of the property described as
 12226 Spring Canyon Road San Diego, CA 92131
 (Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design -

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping, prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally I/we will;

- Minimize the use of pesticides.
- Use efficient irrigation systems and landscape design - incorporating rain shutoff devices and flow reducers

I/we will maintain the above Standard Permanent BMPs for the duration of the lease.

Lessee Bill Padonky Company Name T-Mobile
 (print name)

Lessee [Signature] Date January 21, 2011
 (signature)

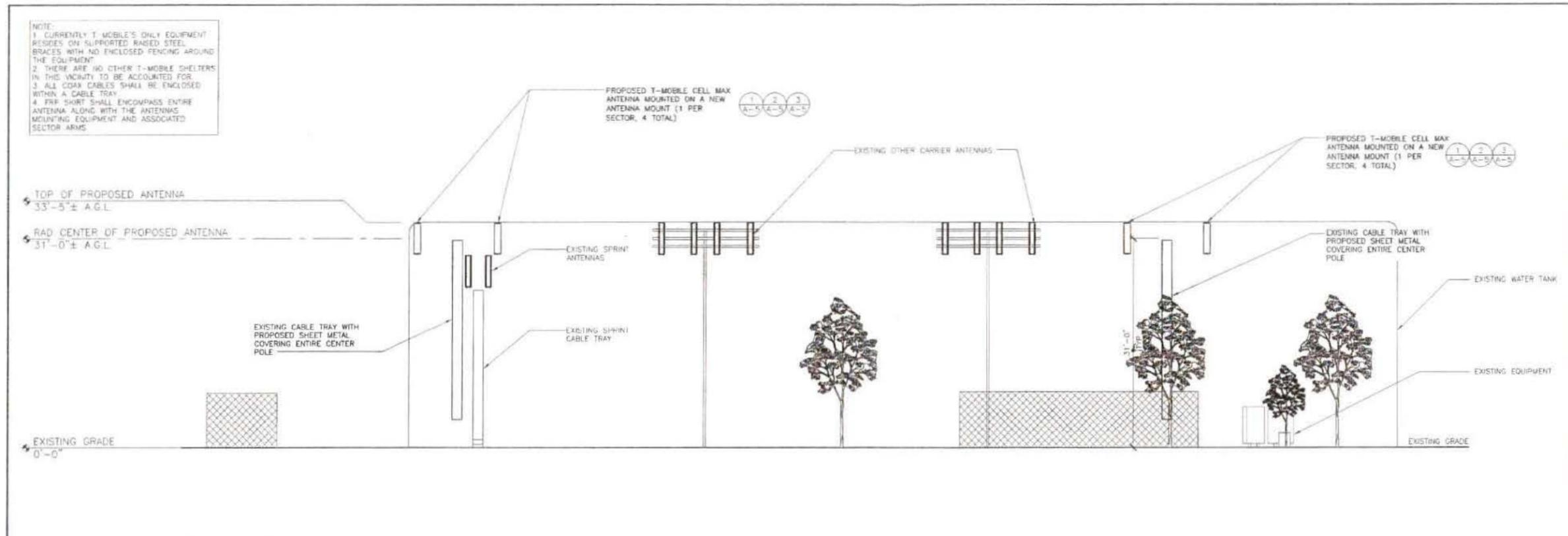


SPRING CANYON
SD06219
 12226 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

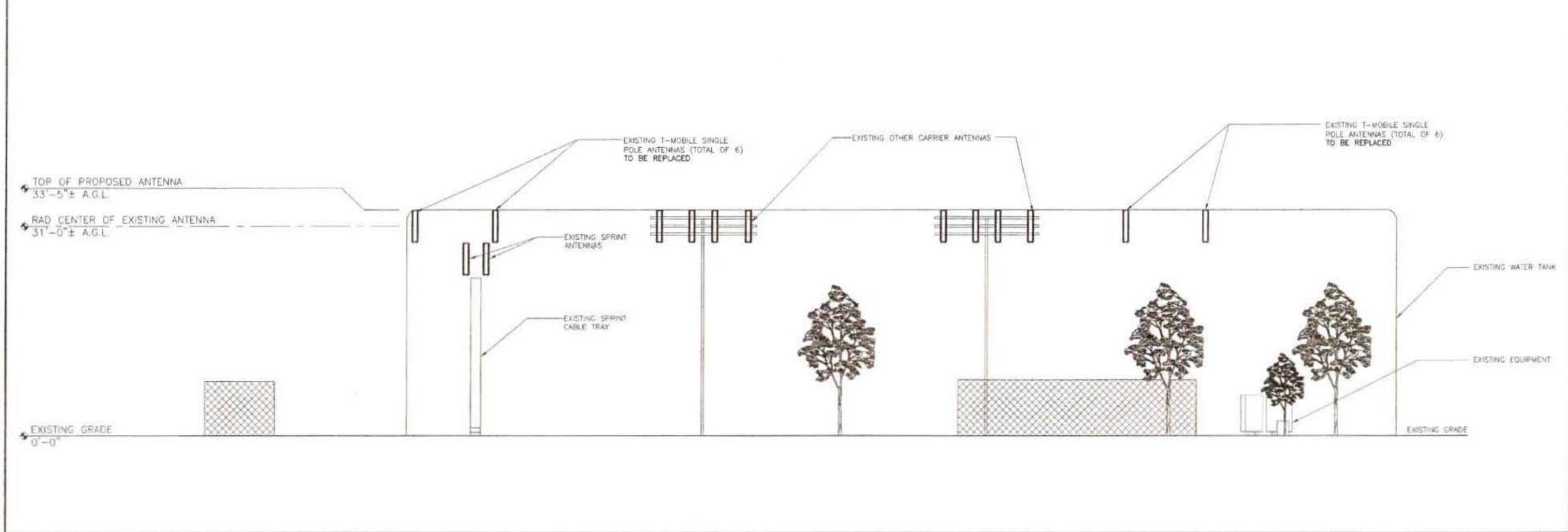
REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
A	07/24/12	PERMIT DRAWINGS	LB
B	08/02/12	PERMIT DRAWINGS	CBK
C	07/10/12	PERMIT DRAWINGS	NL
D	07/17/12	PERMIT DRAWINGS	NL
E	02/13/13	PERMIT DRAWINGS	WJR
F	02/25/13	PERMIT DRAWINGS	SV
G	04/18/13	PLAN CHECK COMMENTS	TR

SHEET TITLE
EXISTING & PROPOSED
SOUTH ELEVATION

SHEET NUMBER
A-3



24"x36" SCALE: 1/8" = 1'-0"
 11"x17" SCALE: 1/16" = 1'-0"
 PROPOSED SOUTH ELEVATION 2



24"x36" SCALE: 1/8" = 1'-0"
 11"x17" SCALE: 1/16" = 1'-0"
 EXISTING SOUTH ELEVATION 1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



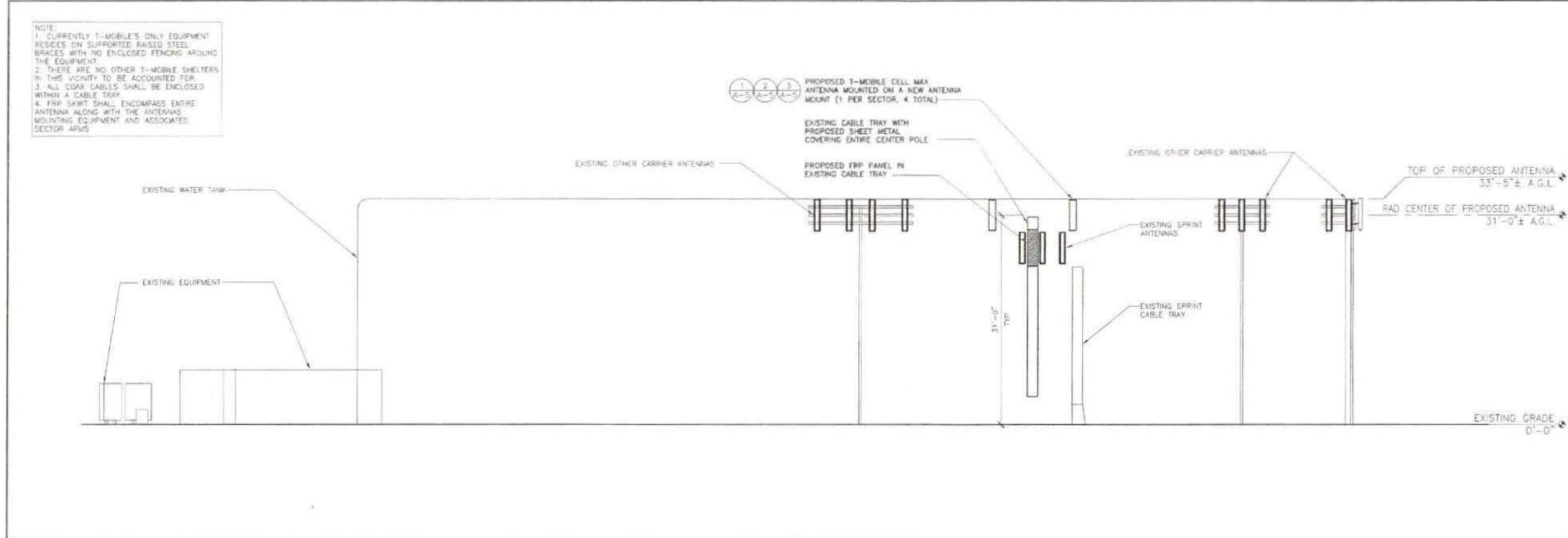
SPRING CANYON
 SD06219
 12226 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

REVISIONS				
NO.	DATE	DESCRIPTION	INITIAL	
A	01/24/10	PERMIT DRAWINGS	LS	
B	02/02/10	PERMIT DRAWINGS	CEK	
C	01/15/10	PERMIT DRAWINGS	NE	
D	01/12/10	PERMIT DRAWINGS	NE	
E	02/11/10	PERMIT DRAWINGS	WJR	
F	2/25/10	PERMIT DRAWINGS	SV	
G	4/16/13	PLAN CHECK COMMENTS	FR	

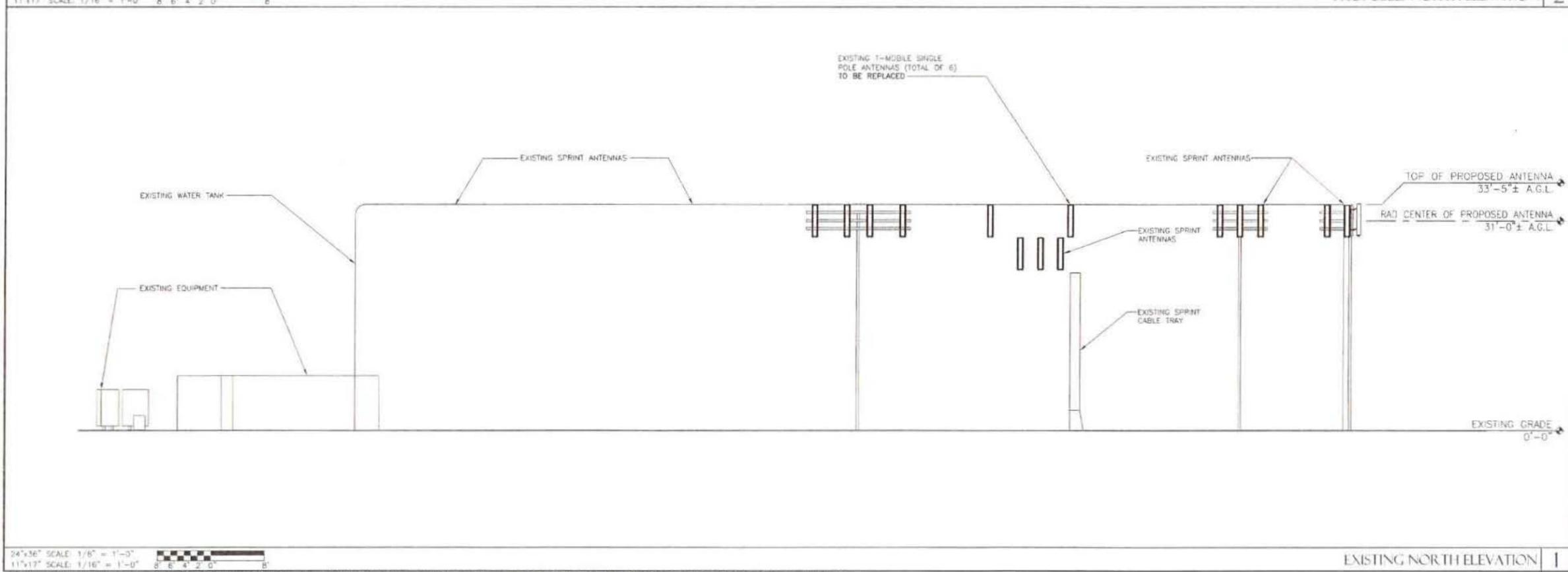
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
EXISTING & PROPOSED
NORTH ELEVATION

SHEET NUMBER
A-4

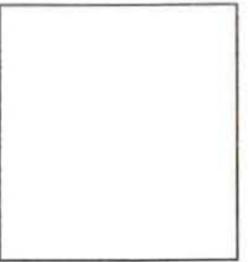


PROPOSED NORTH ELEVATION | 2



EXISTING NORTH ELEVATION | 1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



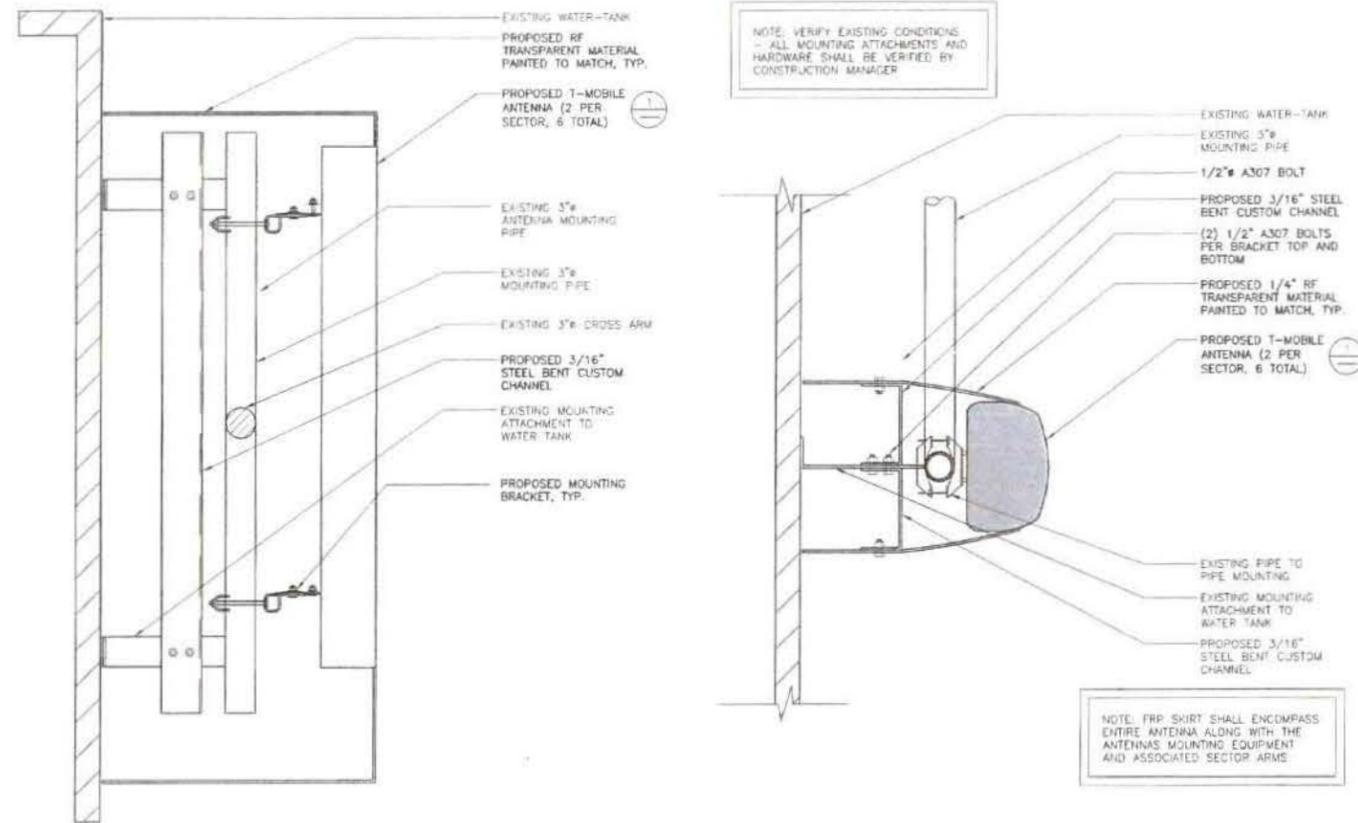
SPRING CANYON
SD06219
 12226 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

REVISIONS				
NO.	DATE	DESCRIPTION	INITIALS	
A	07/27/10	PERMIT DRAWINGS	LB	
B	08/31/10	PERMIT DRAWINGS	CEK	
C	09/15/10	PERMIT DRAWINGS	NL	
D	09/17/10	PERMIT DRAWINGS	NL	
E	09/17/10	PERMIT DRAWINGS	NJR	
F	11/25/10	PERMIT DRAWINGS	SV	
G	1/18/11	PLAN CHECK COMMENTS	FR	

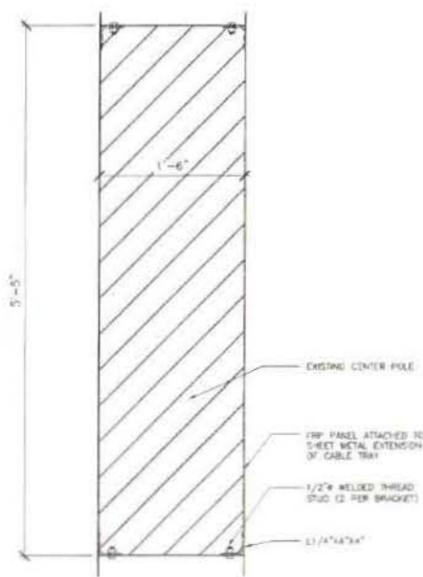
NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

SHEET TITLE
CONSTRUCTION DETAILS

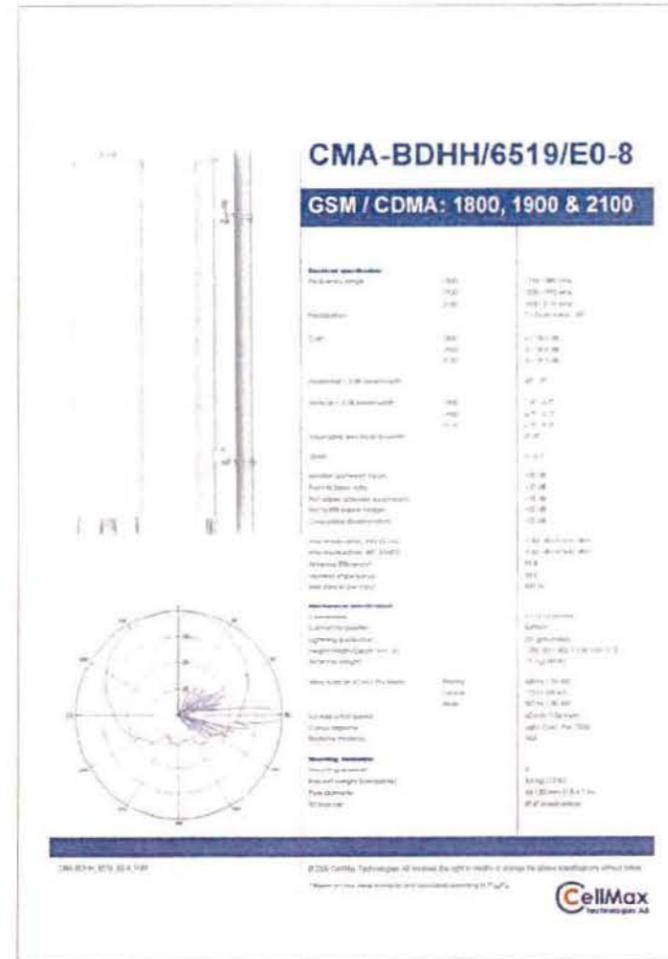
SHEET NUMBER
A-5



FRP CONCEALMENT SKIRT DETAIL
 24" x 36" SCALE: 1/4" = 1'-0"
 11" x 17" SCALE: 3/4" = 1'-0" **3**



FRP PANEL ATTACHMENT DETAIL
 24" x 36" SCALE: 1/4" = 1'-0"
 11" x 17" SCALE: 3/4" = 1'-0" **2**



ANTENNA SPECIFICATIONS
 24" x 36" SCALE: 1/4" = 1'-0"
 11" x 17" SCALE: 3/4" = 1'-0" **1**

KEY NOTES

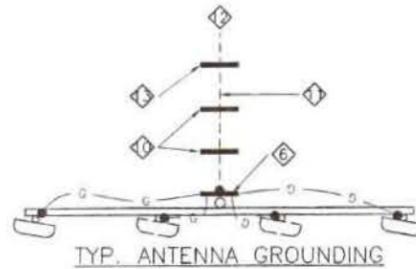
- 1. PROPOSED T-MOBILE EQUIPMENT CABINETS (P. CURRENT & FUTURE)
- 2. (N) GROUND RING AWG #2 INSULATED COPPER GROUND WIRE BURIED 30" BELOW GRADE
- 3. TELCO BOX
- 4. PPO CABINET
- 5. GPS ANTENNA (TYP. OF 2)
- 6. ANTENNA GROUND BUS BAR @ EACH SCOTCH
- 7. EQUIPMENT PAD
- 8. GROUND ROD
- 9. EMERGENCY GENERATOR RECEPTACLE
- 10. ANTENNA GROUND BUS BAR AT BOTTOM OF (N) POLE
- 11. AWG 2 INSULATED COPPER GROUND WIRE TO ANTENNA GROUND BUS BAR AT LEASE AREA (FOLLOW COAX ROUTING)
- 12. MASTER GROUND BUS @ EQUIPMENT
- 13. ANTENNA GROUND BUS BAR IN LEASE AREA

LEGEND

- MECHANICAL CONNECTION
- EXOTHERMIC WELD (GADWELD/THERMOWELD) CONNECTION
- ⊗ 5/8" x 10'-0" COPPER OR COPPER CLAD STEEL GROUND ROD AT 10'-0" D.C. (MAX)
- C— #2 AWG INSULATED COPPER WIRE (UNLESS OTHERWISE SPECIFIED)
- S.O.H. S.O.H. SECONDARY OVER-HEAD

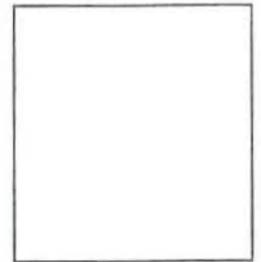
GENERAL NOTES:

1. PLAN DRAWINGS SHOWN HEREIN ARE DIAGRAMMATIC AND DOES NOT NECESSARILY DEPICT THE EXACT EQUIPMENT QUANTITIES, LOCATION, LAYOUT AND CONFIGURATION. REFER TO ARCHITECTURAL PLANS FOR EXACT EQUIPMENT LOCATION, LAYOUT AND CONFIGURATION.
2. PLAN DRAWINGS SHOWN HEREIN DOES NOT NECESSARILY DEPICT ELECTRICAL REQUIREMENTS OF INDIVIDUAL EQUIPMENT AND DEVICES SUCH AS THE EQUIPMENT GROUNDING REQUIREMENTS, POWER REQUIREMENTS AND TELCO RACEWAY REQUIREMENTS.
3. REFER TO ARCHITECTURAL PLANS FOR THE LOCATION OF POWER AND TELCO POINT OF CONNECTIONS, THE DISTANCE OF THE RUN AND THE SUGGESTED CONDUIT ROUTING. FIELD VERIFY EXISTING CONDITIONS SPECIFICALLY FOR CONDUIT ROUTING PRIOR TO BID.



1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS USING MANUFACTURER'S PRACTICES. ALL UNDERGROUND WATER PIPES, METAL CONDUITS AND GROUNDS THAT ARE A PART OF THIS SYSTEM SHALL BE BONDED TOGETHER.
3. ALL GROUND CONNECTIONS SHALL BE #2 AWG U.N.O. ALL WIRES SHALL BE COPPER THIN/THIN. ALL GROUND WIRE SHALL BE SOLID TIN COATED OR STRANDED GREEN INSULATED WIRE.
4. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE, 5 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE T-MOBILE REPRESENTATIVE.
5. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
6. BARE GROUNDING CONDUCTOR SHALL BE HARD DRAWN TINNED COPPER SIZES AS NOTED ON PLAN.
7. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 12" BELOW GRADE/FROST-LINE IN TRENCH, U.N.O., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.
8. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
9. ALL SUPPORT STRUCTURES, CABLE CHANNEL WAYS OR WIRE GUIDES SHALL BE BONDED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS "NGB" (OR DIRECTLY TO GROUND-RING).
10. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - a. BURNDY, HY-GRADE U.L. LISTED CONNECTORS FOR INDOOR USE OR AS APPROVED BY T-MOBILE PROJECT MANAGER
 - b. GADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 - c. TWO (2) HOLE TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS (BUS BAR CONNECTIONS).
11. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DEMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES).
12. PRIOR TO ANY LUG-BUSSBAR CONNECTIONS, THE BUSSBAR SHALL BE CLEANED BY USE OF "SCOTCH-BRITE" OR PLAIN STEEL WOOL AS TO REMOVE ALL SURFACE OXIDATION AND CONTAMINANTS. A COATING OF "WD-OX-ID" SHALL BE APPLIED TO THE CONNECTION SURFACES.
13. ALL CONNECTION HARDWARE SHALL BE TYPE 316 SS (NOT ATTRACTED TO MAGNETS).
14. THE GROUND RING SHALL BE INSTALLED 24" MINIMUM BEYOND ANY BUILDING DRP LINE.
15. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL EXISTING AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, GROUND RING IF SERVICE IS WITHIN THE RADIO EQUIPMENT LOCATION, BUILDING STEEL IF APPLICABLE, COLD WATER CONNECTIONS MUST BE MADE ON THE STREET SIDE OF MAIN SHUT-OFF VALVE.

GROUNDING NOTES 3



SPRING CANYON
SD06219
 12226 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

REVISIONS			
NO.	DATE	DESCRIPTION	INITIALS
A	07/24/12	PERMIT DRAWINGS	LB
B	08/02/12	PERMIT DRAWINGS	CBR
C	01/11/13	PERMIT DRAWINGS	NL
D	01/17/13	PERMIT DRAWINGS	NL
E	02/14/13	PERMIT DRAWINGS	BJR
F	02/25/13	PERMIT DRAWINGS	SV
G	07/18/13	PLAN CHECK COMMENTS	TR

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
GROUNDING LAYOUT,
SCHEMATIC, & NOTES

SHEET NUMBER
E-1

GROUNDING LAYOUT 2

NOT USED 1

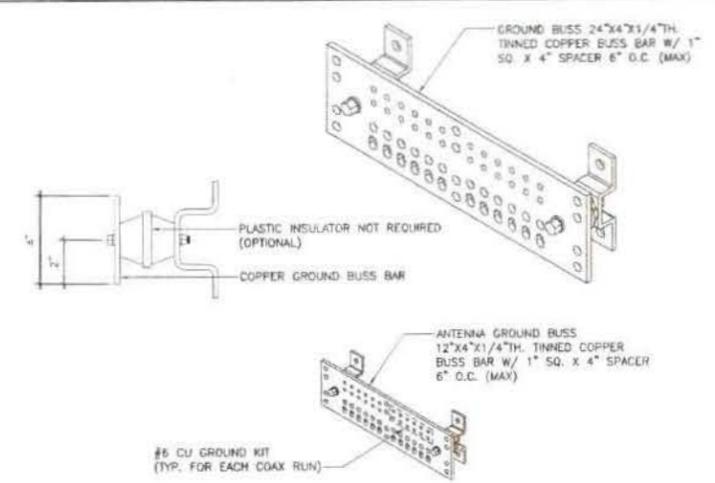


SPRING CANYON
SD06219
 12226 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

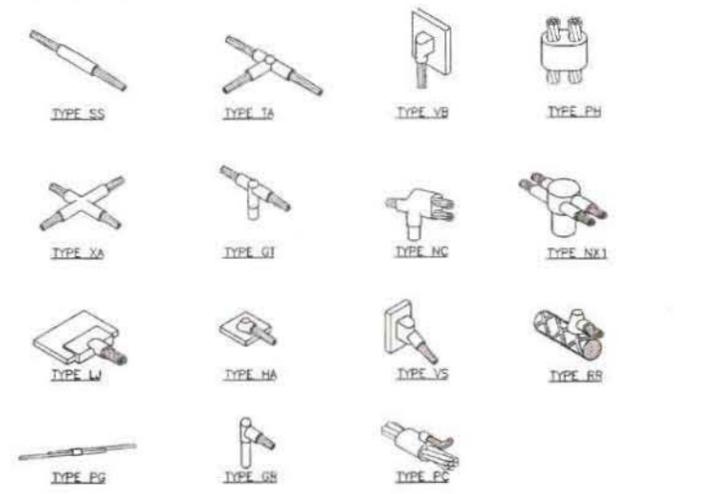
REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
A	8/24/10	PERMIT DRAWINGS	LB
B	9/8/10	PERMIT DRAWINGS	CBW
C	9/15/10	PERMIT DRAWINGS	HL
D	9/17/10	PERMIT DRAWINGS	HL
E	9/21/10	PERMIT DRAWINGS	WJP
F	2/25/11	PERMIT DRAWINGS	SV
G	4/18/11	PLAN CHECK COMMENTS	FK

SHEET TITLE
GROUNDING DETAILS

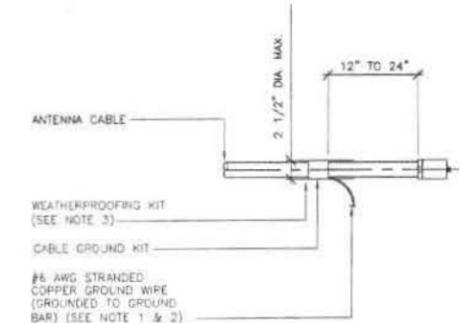
SHEET NUMBER
E-2



GROUND BAR
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

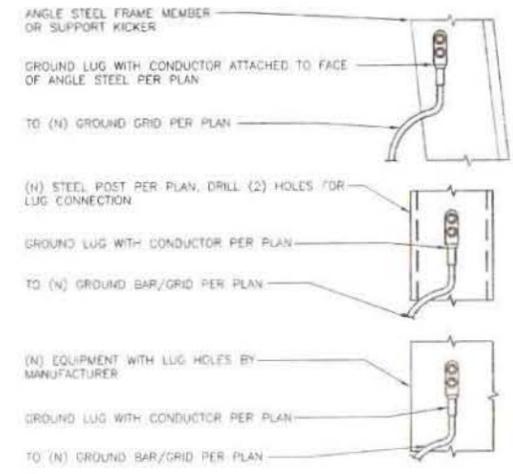
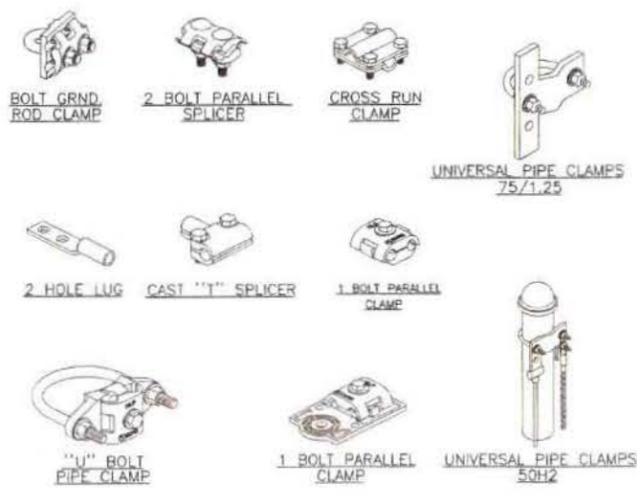


CADWELD CONNECTIONS
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE



- NOTES:**
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
 - GROUNING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER
 - WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

COAX GROUND KIT
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE



COMPRESSION (MECHANICAL) CONNECTIONS
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE