



THE CITY OF SAN DIEGO

**REPORT TO THE HEARING OFFICER**

HEARING DATE: December 18, 2013                      REPORT NO. HO 13-104  
ATTENTION: Hearing Officer  
SUBJECT: 4 @ LAMONT – PROJECT NUMBER: 319096  
LOCATION: 3945 -3947 Lamont Street  
APPLICANT: Justin Tjamla on behalf of Peter A. Zarcades Separate Property Trust

SUMMARY

Issue(s): Should the Hearing Officer approve a Coastal Development Permit and Tentative Map to demolish two residences and construct four condominiums within the Pacific Beach Community Planning area?

Staff Recommendation - **APPROVE** an application for a Coastal Development Permit No. 1124624 and Tentative Map No. 1142688.

Community Planning Group Recommendation - On August 28, 2013, the Pacific Beach Community Planning Group voted 16-0-1 to recommend approval of the project with no conditions.

Environmental Review - On November 7, 2013, the City of San Diego conducted an analysis of this project and determined the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant CEQA Guideline Sections 15301(i)(1), Existing Facilities Demolition and 15303 New Construction. The opportunity to appeal that determination ended on November 21, 2013.

BACKGROUND

The project proposes a Coastal Development Permit and Tentative Parcel Map to construct four residential condominiums and waive the requirement to underground existing overhead utilities. The project is located at 3945-47 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan. The property is designated multi-family residential with a maximum density range of 29 dwelling units per acre. This would allow for four units to be built on this 5,950 square-foot lot. The site currently contains two detached single family residences and a detached garage. Surrounding this site are single story and multi-story multi-family and single

family dwelling units. Crown Point Park is located approximately an eighth of a mile to the south and approximately one mile to the north is retail shopping.

A Coastal Development Permit is required for the proposed development of four condominiums in accordance with San Diego Municipal Code section 126.0702. A Tentative Parcel Map is required in accordance with San Diego Municipal Code (SDMC) section 144.0210 for the creation of four condominiums.

## DISCUSSION

The project proposes the demolition of two single family units and a detached garage for the construction four, two-bedroom residential condominiums. The proposed project design meets all requirements of the Land Development Code including setbacks, floor area ratio, landscaping, parking, and height. The proposed project will be three stories to include a total of 6,020 square feet of habitable area. The project will include a total of nine parking spaces within first level garages. All parking will be accessed from the alley. The entire site will be landscaped with a mixture of trees, shrubs, and ground cover.

### Project Related Issues

#### *Undergrounding Waiver Request*

San Diego Municipal Code Section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined the undergrounding waiver request qualifies under the guidelines SDMC section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than 600 feet in length) and the conversion would not represent a logical extension to an underground facility.

The applicant will be required to underground all existing service. The applicant would also be required to underground any new service run to any new or proposed structures within the subdivision.

The neighborhood currently contains power poles and overhead utilities lines within the alley. The utility lines to these poles extend to other properties located north and south. As indicated above, all utilities serving this property will be required to be undergrounded. The waiver is being requested for the requirement to underground offsite adjacent utilities serving the surrounding properties. The City's Undergrounding Master Plan designates the site within Block 2BB1, and the date for undergrounding has been established for the year 2067 (Attachment 11).

#### Street Light Requirement:

On June 19, 2013, the Hearing Officer approved a similar project next door located at 3953-3959 Lamont Street for the demolition of two existing residences and the construction of a 4-unit

condominium development above a garage (Attachment 12). For your information, staff conditioned the project to provide a street light within the public right-of-way along Lamont Street. During public testimony, the applicant requested that the Hearing Officer waive that requirement. The Hearing Officer agreed with the applicant and waived the requirement noting that it would be cost prohibitive given the size of the proposed development. This current project requires the same condition (Reference Attachment 8, condition 12 of the Tentative Map). The Land Development Code and current policy do not provide staff with regulations or guidelines to allow this requirement to be waived.

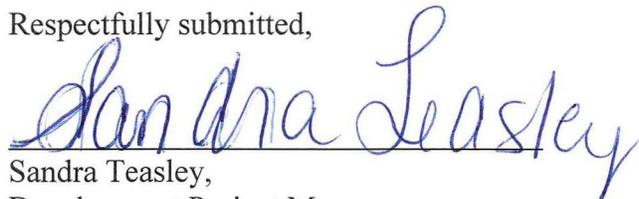
Conclusion:

Staff has reviewed the proposed project and has found it is consistent with the development standards in effect for the site and with the adopted Pacific Beach Community Plan, Local Coastal Program Land Use Plan, and the City of San Diego Progress Guide and General Plan. Staff recommends approval of the project.

ALTERNATIVES:

1. **Approve** Coastal Development Permit No. 1124624 and Tentative Parcel Map No. 1142688, with modifications.
2. **Deny** Coastal Development Permit No. 1124624 and Tentative Parcel Map No. 1142688, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Sandra Teasley,  
Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Draft Tentative Map Resolution with Findings
8. Draft Tentative Map Conditions
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement

11. Utility Undergrounding Schedule
12. CDP/TM Project No. 304111 - Recorded/Approved Documents (Distributed to Hearing Officer; available upon request)
13. Notice of Exemption
14. Project Plans



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## Aerial Photograph

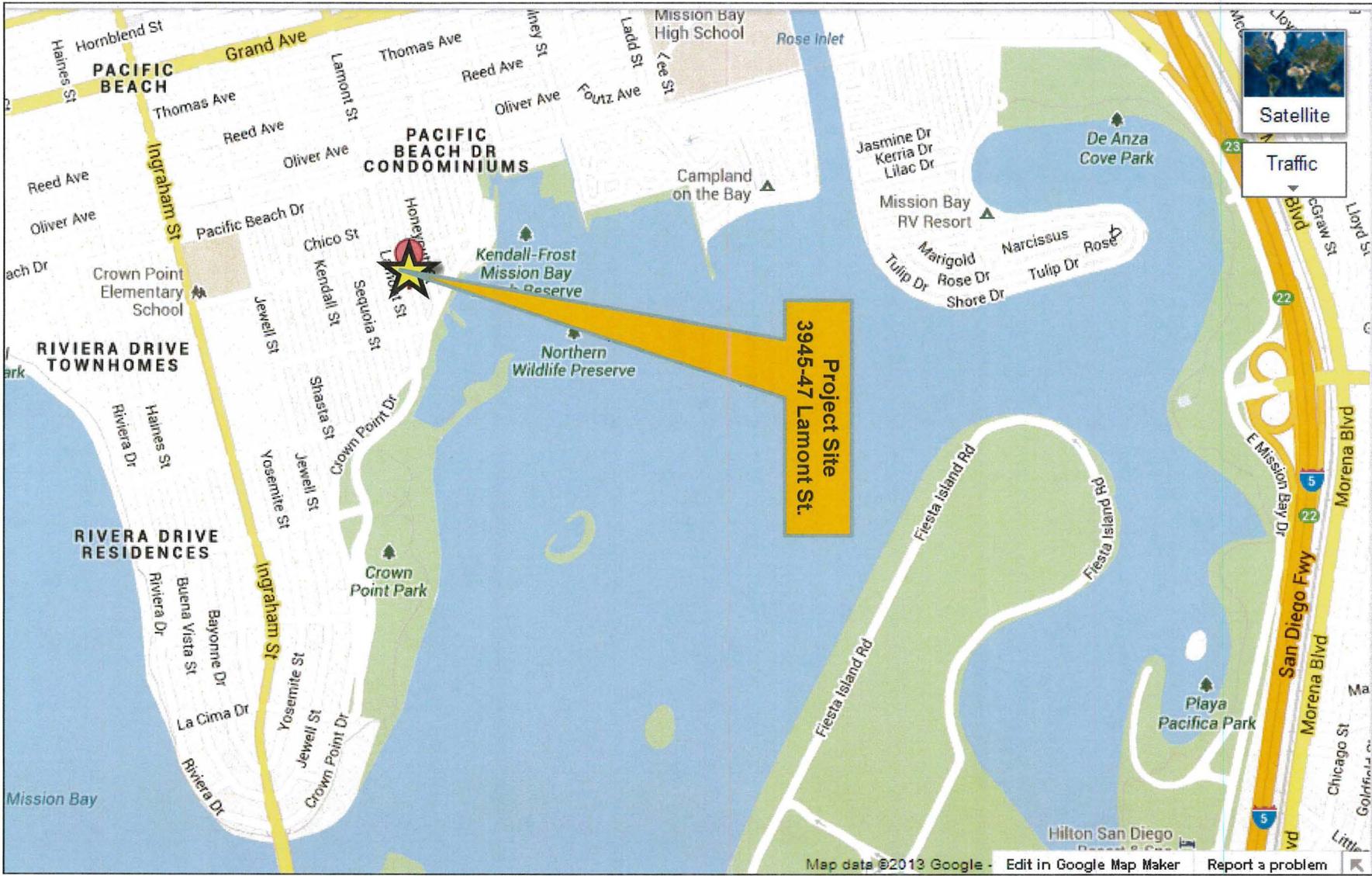
Lamont Street Townhomes- Project No. 319096  
3945-3947 Lamont St



Project Site  
3945-47 Lamont St.

Attachment 1  
Aerial Photograph of Site





# Location Map

Lamont Street Townhomes- Project No. 319096  
 3945-3947 Lamont Street



Attachment 3  
 Project Location Map

## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	4 @ Lamont	
<b>PROJECT DESCRIPTION:</b>	The project proposes the demolition of two single family homes and the construction four, two-bedroom condominiums above a parking garage.	
<b>COMMUNITY PLAN AREA:</b>	Pacific Beach	
<b>DISCRETIONARY ACTIONS:</b>	Tentative Parcel Map/Coastal Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Multi-Unit Residential	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE: RM-2-5 Zone</b>		
<b>HEIGHT LIMIT: 30 feet</b>		
<b>LOT SIZE: 5,950 square feet</b>		
<b>FLOOR AREA RATIO: 1.35</b>		
<b>FRONT SETBACK: 15/20 feet</b>		
<b>SIDE SETBACK: 4 feet</b>		
<b>STREETSIDE SETBACK: NA</b>		
<b>REAR SETBACK: 15 feet from centerline of alley</b>		
<b>PARKING: 8 spaces required</b>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Multi-Family, RM-2-5	Mixed Multi-Family and Single Family dwellings
<b>SOUTH:</b>	Multi-Family, RM-2-5	Mixed Multi-Family and Single Family dwellings
<b>EAST:</b>	Multi-Family, RM-1-1	Mixed Multi-Family and Single Family dwellings
<b>WEST:</b>	Multi-Family, RM-1-1	Mixed Multi-Family and Single Family dwellings
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On August 28, 2013, the Pacific Beach Planning Group voted 16-0-1 to recommend approval of the project.	

HEARING OFFICER  
RESOLUTION NO. HO-XXXX  
COASTAL DEVELOPMENT PERMIT NO. 1124624  
**4 @ LAMONT- PROJECT NO. 319096**

WHEREAS, PETER A. ZARCADES SEPARATE PROPERTY TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to construct four residential condominiums (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1124624), on portions of a 0.137-acre site;

WHEREAS, the project site is located at 3945-3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan;

WHEREAS, the project site is legally described as Lots 13 and 14 in Block 4 of Venice Park, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 991, filed in the office of the County Recorder of San Diego County, May 24, 1906;

WHEREAS, on December 18, 2013, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1124624 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on November 7, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Sections 15301 and 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, December 18, 2013.

FINDINGS:

**Coastal Development Permit - Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums located at 3945-37 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The property is located approximately 1/8 mile from Mission Bay. The property is not located on or adjacent to an existing or proposed physical access way identified in the Local Coastal Program Land Use Plan. The Pacific Beach Community Plan does not identify a public view corridor on or adjacent to the site.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums located at 3945-37 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The project is proposed for a site that is located in a built, urban environment, and does not contain environmentally sensitive lands. The site is not located adjacent to any sensitive resources, and not within, or adjacent to, the Multi-Habitat Planning Area (MHPA). The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(i)(1), Existing Facilities Demolition and 15303, New Construction. As the project is not located within or adjacent to, any sensitive resources areas, the proposed coastal development will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums located at 3945-37 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The proposed project is consistent with the residential land use designations of the Pacific Beach Community Plan by continuing to maintain a density range of 14-29 dwelling units per acre. This density occurs primarily along Sail Bay, Grand Avenue, Hornblend Street and Lamont Street, and is characterized by four-unit condominiums.

The plan recommends that new multi-family residential developments conform to area-specific streetscape recommendations for landscape, lighting, sidewalk treatment and signage and be implemented through the citywide landscape ordinance. Additionally, the plan recommends that residential neighborhoods be enhanced by establishing and maintaining street tree patterns and promoting general maintenance and improvement of residential properties.

The proposed residential condominiums would meet the goals of the Pacific Beach Community Plan/Local Coastal Program by providing the appropriate residential density and implementing the community plan's street tree pattern. There are two existing fan palms adjacent to the site along the Lamont Street public right-of-way that will remain in place with the new development. These fan palms are the recommended street tree for Lamont Street pursuant to the Pacific Beach Community Plan Appendix D. Additionally, the project is required to install a street light adjacent to the site which is consistent with Pacific Beach Community Plan regarding lighting standards.

The proposed development will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not

limited to height, setbacks, landscape, and, floor area ratio. Therefore, the proposed development is in conformity with the Pacific Beach Community Plan and Local Coastal Program and complies with the regulations of the certified Implementation Program.

4. **For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums located at 3945-37 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The site is not located between the sea or shoreline of any body of water and first public road.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Coastal Development Permit No. 1124624 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1124624, a copy of which is attached hereto and made a part hereof.

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Sandra Teasley  
Development Project Manager  
Development Services

Adopted on: December 18, 2013

Job Order No. 24003679

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003679

COASTAL DEVELOPMENT PERMIT NO.1124624  
**4 @ LAMONT - PROJECT NO. 319096**  
HEARING OFFICER

This Coastal Development Permit No. 1124624 is granted by the Hearing Officer of the City of San Diego to PETER A. ZARCADES SEPARATE PROPERTY TRUST, Owner, and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0502. The 0.137-acre site is located at 3945-3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan. The project site is legally described as Lots 13 and 14 in Block 4 of Venice Park, Map thereof No. 991;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for demolition of two single family dwellings with detached garage and construction of four two-bedroom condominiums described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 18, 2013, on file in the Development Services Department.

The project shall include:

- a. Demolition of two single family homes and the construction of four, two-bedroom condominiums above garage totaling 6,020 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning

regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by -----.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. This Coastal Development Permit No. 1124624 is subject to the terms and conditions of Tentative Map No. 1142688.

**AFFORDABLE HOUSING REQUIREMENTS:**

12. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate and improve an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.

14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of the existing driveway with City standard curb, gutter and sidewalk, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
18. Prior to the issuance of any building permits, the Owner/Permittee shall submit an building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying the pad elevation based on USGS datum is consistent with Exhibit "A", satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

19. Prior to issuance of any construction or engineering permits, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall conform to the approved Exhibit 'A' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide and identify a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.
20. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.
21. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.
23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed

during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**TRANSPORTATION REQUIREMENTS:**

24. No fewer than 9 off-street parking spaces shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A." Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

**PLANNING/DESIGN REQUIREMENTS:**

25. The Owner/Permittee shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.

26. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

27. A topographical survey conforming to the provisions of the Municipal/Land Development Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the Permittee.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

28. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service outside of any driveway, and the removal of all existing unused services, within the right-of-way adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

29. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

30. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities, if required shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

31. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, if required in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 18, 2013.

Permit Type/PTS Approval No.: CDP NO. 1124624  
Date of Approval: December 18, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Sandra Teasley  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By \_\_\_\_\_  
PETER A. ZARCADES SEPARATE TRUST

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER RESOLUTION NUMBER R-\_\_\_\_\_

TENTATIVE PARCEL MAP NO. 1142688, 4 @ LAMONT  
PROJECT NO. 319096.

WHEREAS, PETER A. ZARCADES SEPARATE TRUST, Subdivider, and COFFEY ENGINEERING, INC. JOHN S COFFEY, Engineer, submitted an application to the City of San Diego for a tentative parcel map (Map No. 1142688) to construct four residential condominiums, and to waive the requirement to underground existing offsite overhead utilities. The project site is located 3945- 3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan. The property is legally described as Lots 13 and 14 in Block 4 of Venice Park, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 991, filed in the office of the County Recorder of San Diego County, May 24, 1906; and

WHEREAS, the Map proposes the Subdivision of a 0.137-acre site into four residential condominiums; and

WHEREAS, on November 7, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Sections 15301 and 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act section 66491(a) and San Diego Municipal Code sections 144.0220(a) and 144.0220(b); and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 1351 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is four; and

WHEREAS, the request to waive the requirement to underground existing offsite overhead utilities qualifies under the guidelines of guidelines SDMC section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than 600 feet in length) and the conversion would not represent a logical extension to an underground facility; and

WHEREAS, on December 18, 2013, the Hearing Officer of the City of San Diego considered Tentative Parcel Map No. 1142688, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0440, 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Parcel Map No. 1142688:

**1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Act § 66473.5, 66474(a), and 66474(b)).**

The project proposes to demolish two single family homes with detached garage and replace them with four, two-bedroom condominiums located at 3945-3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The proposed project is consistent with the residential land use designations of the Pacific Beach Community Plan by continuing to maintain a density range of 14-29 dwelling units per acre. This

density occurs primarily along Sail Bay, Grand Avenue, Hornblend Street and Lamont Street, and is characterized by four-plexes or four-unit condominiums.

The plan recommends that new multi-family residential developments conform to area-specific streetscape recommendations for landscape, lighting, sidewalk treatment and signage and be implemented through the citywide landscape ordinance. Additionally the plan recommends that residential neighborhoods be enhanced by establishing and maintaining street tree patterns and promoting general maintenance and improvement of residential properties.

The proposed residential condominiums would meet the goals of the Pacific Beach Community Plan/Local Coastal Program by providing the appropriate residential density and implementing the community plan's street tree pattern. There are two existing fan palms adjacent to the site along the Lamont Street public right-of-way that will remain in place with the new development. These fan palms are the recommended street tree for Lamont Street pursuant to the Pacific Beach Community Pan Appendix D. Additionally, the project is required to install a street light adjacent to the site which is consistent with Pacific Beach Community Plan regarding lighting standards.

The proposed development will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, landscape, and, floor area ratio. Therefore, the proposed subdivision and its design or improvement is consistent with the policies, goals, and objectives of the applicable land use plan.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.**

The project proposes to demolish two single family homes with detached garage and replace them with four, two-bedroom condominiums located at 3945-3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The project is consistent with the development regulations of the RM-2-5 zone. The proposed project meets all land development requirements of the Land Development Code, including setbacks, floor area ratio, landscaping, parking, storm water runoff, architectural design, and height. City staff has determined the undergrounding waiver request qualifies under the guidelines SDMC section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than 600 feet in length) and the conversion would not represent a logical extension to an underground facility. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code.

**3. The site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).**

The project proposes to demolish two single family homes with detached garage and replace them with four, two-bedroom condominiums located at 3945-3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The project site is flat and has been previously graded. The site has frontage on Lamont Street with alley access at the rear. Surrounding the site are one and two-story single family and multi-family developments. The RM-2-5 zone allows one dwelling unit for every 1,500 square feet of site area. The existing site is 5,950 square feet which will accommodate four dwelling units. The Pacific Beach Community Plan designates the site as residential allowing up to 29 dwelling units per acre. The addition of four units for the site is within the community plan's density range. Therefore, the site is physically suitable for the type and density of the development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).**

The project proposes to demolish two single family homes with detached garage and replace them with four, two-bedroom condominiums located at 3945-3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

Minor land modifications are proposed with this Tentative Parcel Map to include the closure of an existing curb cut adjacent to the site. The Tentative Parcel Map was reviewed by the City of San Diego for conformance to the Land Development Regulations, Californian Building Code, and Land Use Policies. The Tentative Parcel Map included a review for compliance for storm water runoff requirements during and after construction. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 and 15303 of the State CEQA Guidelines. The project is located within an urbanized and built out environment where there are no watercourses on or adjacent to the site. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

**5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).**

The project proposes to demolish two single family homes with detached garage and replace them with four, two-bedroom condominiums located at 3945-3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The project has been reviewed and determined to be in compliance with the Municipal Code and Subdivision Map Act. The Tentative Parcel Map and associated development permit includes conditions and corresponding exhibits of approvals including undergrounding new utilities, storm water and construction water runoff, adequate parking, public improvements, and paying applicable taxes in order to achieve compliance with the regulations of the San Diego Municipal Code. The proposed project is exempt from the California Environmental Quality Act (CEQA)

pursuant to Sections 15301 and 15303 of the State CEQA Guidelines. Therefore the project will not be detrimental to the public health, safety, and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).**

The project proposes to demolish two single family homes with detached garage and replace them with four, two-bedroom condominiums located at 3945- 3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The proposed subdivision does not contain or propose any new easements for the development. Lamont Street fronts the property to the west and an existing alley runs north and south adjacent to the site, neither is required to be vacated as a result of this Tentative Parcel Map. The subdivision proposes public improvements. The public improvements include the closure of an existing curb cut along Lamont Street adjacent to subject site and replacing it with a City standard curb, gutter and sidewalk satisfactory to the City Engineer. Therefore, the design of the subdivision and proposed improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).**

The project proposes to demolish two single family homes with detached garage and replace them with four, two-bedroom condominiums located at 3945- 3947 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan..

The potential and opportunity to implement sustainable building techniques during building permit review that utilize photovoltaic systems (solar panels) to generate a certain percentage of the project's energy needs exists. The project site is located on Lamont Street which runs north and south which will allow for maximum solar orientation for future solar hearing. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (San Diego Municipal Code § 125.0440(h) and Subdivision Map Act § 66412.3).**

The project proposes to demolish two single family homes with detached garage and replace them with four, two-bedroom condominiums on a 0.14-acre site located at 3945-47 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The site contains currently contains two dwelling units. The decision maker has reviewed the administrative record including the project plans, environmental documentation and public

testimony to determine the effects of the proposed subdivision on the housing needs of the region. The decision maker has determined that the provision of four residential units and the associated increase in the need for public services and the available fiscal and environmental resources are balanced by adequate public transit in the immediate area, the proximity of shopping, and essential services and recreation in the nearby developed urban area. The Crown Point Community Park is located approximately an eighth of a mile to the south and retail shopping exists approximately four blocks north of the site. Therefore, the housing needs of the region are balanced against the needs for public services and the available fiscal and environmental resources.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Parcel Map No. 1142688, hereby granted to , PETER A. ZARCADES SEPARATE PROPERTY TRUST subject to the attached conditions which are made a part of this resolution by this reference.

By

\_\_\_\_\_  
Sandra Teasley  
Development Project Manager  
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24003679

HEARING OFFICER  
CONDITIONS FOR TENTATIVE PARCEL MAP NO. 1142688  
4 @ LAMONT - PROJECT NO. 319096  
ADOPTED BY RESOLUTION NO. R-\_\_\_\_\_ ON \_\_\_\_\_

**GENERAL**

1. This Tentative Parcel Map will expire January 3, 2017.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6. pursuant to Section 8801 through 8819 of the California Public Resources Code.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

Project No. 319096  
TM No. 1142688

**MAPPING**

6. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
7. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
8. The Tentative Parcel Map shall:
  - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
  - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of Third Order accuracy or better. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.
9. Prior to the Tentative Parcel Map expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.

**ENGINEERING**

10. Compliance with all conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
11. The Tentative Map shall comply with the conditions of the Coastal Development Permit No. 1124624.
12. The Subdivider shall assure by permit and bond the installation of a City standard street light, adjacent to the project site on Lamont Street.

Project No. 319096  
TM No. 1142688

13. Water and Sewer Requirements: The Subdivider shall install appropriate private back flow prevention devices on all existing and proposed water services (domestic, irrigation, and fire) adjacent to the project site in a manner satisfactory to the Water Department Director.
14. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
15. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
16. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
17. Conformance with the “General Conditions for Tentative Subdivision Maps,” filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

**INFORMATION:**

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

Project No. 319096  
TM No. 1142688

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.
- This development may be subject to payment of School Impact Fees at the time of issuance of building permits, as provided by Education Code Section 17620, in accordance with procedures established by the Director of Building Inspection.

Internal Order No. 24003679



[www.pbplanning.org](http://www.pbplanning.org)

# Pacific Beach Planning Group

Minutes – August 28, 2013

**1. 6:30pm meeting called to order**, quorum established. Attendees: Curtis Patterson, Hilary Lowe, Eve Anderson, Michael Beltran, Scott Chipman, Kathy Combs, Deborah Conca, Larry Emlaw, Paul Falcone, Don Gross, Imelda McClendon, Ryan Murphy, Chris Olson, Billy Ramirez, John Shannon, John Skober, Baylor Triplett, and Joe Wilding.

**Members not present:** Brian Curry, Tricia Fox

**2. Current Agenda – Modification & Approval:**

Modifications: none

Chris Olson made a motion to approve the agenda. Larry Emlaw seconded,  
**motion passed 12-0-0.**

**3. July 24, 2013 Minutes - Modifications and Approval:**

Modifications: none

Chris Olson made a motion to approve July minutes as amended. Larry Emlaw seconded,  
**motion passed 11-0-1.**

**4. Special Election – Larry Emlaw (Action Item)**

Larry Emlaw made a motion to seat Kathy Combs on the board. Joe Wilding seconded,  
**motion passed 11-2-1.**

**5. Chair's Remarks**

Introductions from the Board

Introductions from the Public

**6. Non-Agenda Public Comments** (Note: 2 minutes maximum per speaker)

Sara Berns: Heart of PB restaurant walk, BeachFest with 5k run, Bike Share Program

Eve Anderson: CNN Money article - San Diego is the #8 best big city described as "party city growing up"

Larry Emlaw: Holes in attendance sheets, missing some public sign-in sheets

Don Gross: Riviera Drive Started, Guardrail at crash site

Scott Chipman: Mission Bay High School flooding problems

**7. Government Office Report: (Informational Item)**

City Council District 2-Ian Clappett spoke about the Mayor's Resignation. Special election for mayor will be held on Nov. 19, run off will be held 49 days later if there is not 51% majority in the vote. Low police hiring rates, need for more incentives, hiring and retention. OBO going before Coastal Commission in October – will be implemented citywide after January 1<sup>st</sup>. Kevin Faulconer is considering running for Mayor.

**8. Commercial and Residential Projects - Curtis Patterson (1 Action Item)**

Project Name – 4 @ Lamont (City Project Number [PTS# 319096](#))

CDP and Map Waiver to waive the requirements of a Tentative Map to demolish two single family residences and construct a new 6,424 square foot, two-story over garage building with four residential condominiums on a 0.137-acre lot located at 3945 Lamont Street. RM-2-5 Zone, Coastal, Coastal Height, and Parking Impact Overlay Zones with in the Pacific Beach Community Plan.

Baylor Triplett made a motion to approve the project as presented. John Skober seconded, **motion passed 16-0-1.**

**9. Traffic & Parking Subcommittee – Paul Falcone (2 Action Items)**

Don Gross made a motion to approve a 2 way stop at the corner of Crown Point Drive and PB Drive. Paul Falcone seconded, **motion passed 12-4-1.**

Paul Falcone made a motion to approve a letter of appreciation for the work done on PB Drive and Riviera. Don Gross seconded, **motion passed 18-0-0.**

Sara Berns spoke about the design of the new bike racks to be purchased by Discover PB.

Scott Chipman & Don Gross spoke about to upgrades and solutions to drainage ditch around Mission Bay High School where flooding occurs.

**10. Capital Improvement Projects (CIP) Subcommittee – Imelda McClendon**

One application has been received to remove grasscrete on Oceanfront Walk between Garnet and Felspar.

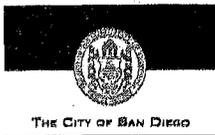
Board will vote on projects at the Sept. 25 meeting.  
2<sup>nd</sup> public subcommittee meeting to be on announced

Other possible project ideas include:

- Improvements to medians and shrubbery entering PB Drive
- PB Welcome Sign
- Resubmitting PB Parks project for improvements on Mission Blvd.
- West on Grand Blvd. extending turn lane 3-4 cars
- One-way from Ingraham west on Garnet
- Repairing sidewalks
- Increase street lighting
- Lighted crosswalks
- Pedestrian traffic lights

**11. Code Compliance Subcommittee – Joe Wilding**

- 8ft PROW has been violated
- Banners in PROW
- Oliver & Strandway blocked by vehicles parked in PROW
- Discover PB should have a list of everyone who has a permit for PROW encroachments



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

Project Title \_\_\_\_\_ Project No. For City Use Only 319 096

Project Address:  
3945 Lamont St. San Diego, CA 92109

**Part I - To be completed when property is held by individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): Peter A. Zarcades Trustee  
 Owner  Tenant/Lessee  Redevelopment Agency

Street Address: 9171 Towne Centre Drive Suite #335  
 City/State/Zip: San Diego, CA 92122  
 Phone No: 858-546-0037 Fax No: 4-2-2013  
 Signature: [Signature] Date: 4-2-2013

Name of Individual (type or print): QBSA Tailored Properties, Inc, Justin Tjorne  
 Owner  Tenant/Lessee  Redevelopment Agency

Street Address: 3545 Camino Del Rio South #A  
 City/State/Zip: San Diego CA 92108  
 Phone No: 619-847-8600 Fax No: \_\_\_\_\_  
 Signature: [Signature] Date: 4-4-13

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Peter A. Zarcades, Trustee, under the Peter A. Zarcades Separate Property Trust dated October 29, 1980, as may be amended from time to time



THE CITY OF SAN DIEGO Home Contact the City

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### Utilities Undergrounding Mapping Application

Layers Legend Council Priorities Find Location Refresh Map Help

Map center: 32° 47' 33.7" N, 117° 13' 58.3" W

**Project Site**  
3945-47 Lamont

#### Identify Results

**Council Districts**  
Council District: 2  
Member Name: Kevin Faulconer  
Office Phone: (619) 236-6622  
AREA\_: 1907095848.84

**Utilities Undergrounding**

**Projects**  
Project Name: Project Block 2BB1  
Year Allocated: 2062  
Project Start: May 31, 2067  
Project End: May 31, 2069  
Contact Person: UNDERGROUND UTIL  
Phone #: (619) 533-3841  
Email: undergrounding@sa  
Website: www.sandiego.gov/  
Council District: 2  
Phase: unallocated

NOTICE OF EXEMPTION

(Check one or both)

TO:  RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 319096 PROJECT TITLE: 4 @ Lamont

PROJECT LOCATION-SPECIFIC: 3945-3947 Lamont, San Diego, CA 92107 (Lots 12 through 15 of Block 4, Venice Park, Map 991)

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT Coastal Development Permit and Tentative Parcel Map to waive the requirements of a Tentative Map to demolish two single dwelling units and construct a 6,424 square foot, two-story, over garage building with four residential condominiums on a 0.137-acre located at 3945 Lamont Street. The site is in the RM-2-5 Zone, Coast (non-appealable area 2), Coastal Height and Parking Impact Overlay Zone, Pacific Beach Community Planning area of Council District 2 of the City of San Diego.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Justin Tjalma
Tailored Properties Inc.
3545 Camino Del Rio South
San Diego, CA, 92108
619-847-8600

EXEMPT STATUS: (CHECK ONE)

- ( ) MINISTERIAL (SEC. 21080(b)(1); 15268);
( ) DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
( ) EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
( X ) CATEGORICAL EXEMPTION: This project is exempt pursuant to the California Environmental Quality Act Section 15301 (l)(1), Existing Facilities Demolition and 15303 New Construction.
( ) STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The project is located in an area known to contain archaeological resources. Qualified City staff conducted a California Historic Resources Information System (CHRIS) search and concluded that historical resources are not located on site and that the project would not have the potential to impact archeological resources. The existing structures were evaluated by the City of San Diego's Historical Resources Board staff for eligibility for historic designation and determined that the structures did not meet the designation criteria as a significant resources. No additional environmental resources would be impacted. Therefore the project is exempt pursuant to CEQA Sections 15301 (l)(1), Existing Facilities Demolition and 15303 - New Construction - and where the exceptions listed in CEQA section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: Majas

TELEPHONE: (619) 446-5394

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
( ) YES ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

[Handwritten Signature]

11/7/2013
DATE

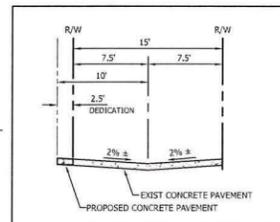
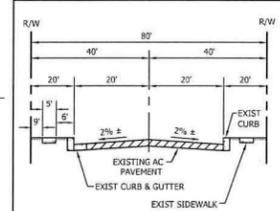
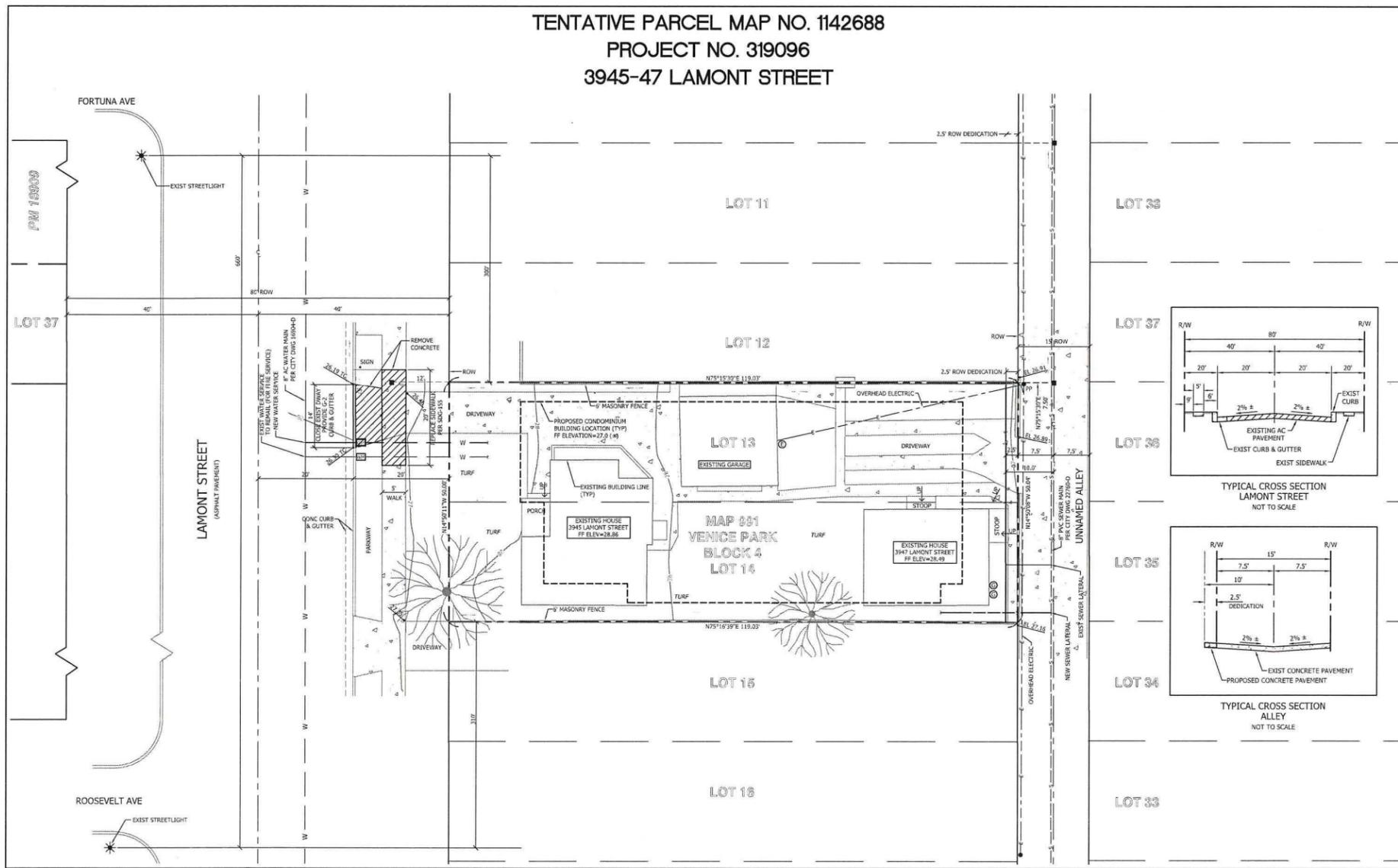
SIGNATURE/TITLE

CHECK ONE:

- (X) SIGNED BY LEAD AGENCY
( ) SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

TENTATIVE PARCEL MAP NO. 1142688  
PROJECT NO. 319096  
3945-47 LAMONT STREET



**CITY OF SAN DIEGO DEVELOPMENT SUMMARY**

**SUMMARY OF REQUEST**  
TENTATIVE PARCEL MAP (FOR CONDOMINIUM PURPOSES)  
TOTAL NUMBER OF EXISTING LOTS = 2  
TOTAL NUMBER OF PROPOSED LOTS = 1

**SITE ADDRESS**  
3945/47 LAMONT STREET, SAN DIEGO, CA 92109  
BETWEEN FORTUNA AVE AND ROOSEVELT AVE

**SITE AREA**  
5,950 SF / 0.137 ACRES

**GROSS FLOOR AREA**  
6,021 SF

**EXISTING AND PROPOSED ZONING**  
BASE ZONE: RM-2-S  
COMMUNITY PLAN: PACIFIC BEACH COMMUNITY PLAN

**OVERLAY ZONES**  
COASTAL (CITY), COASTAL HEIGHT LIMIT, BEACH PARKING IMPACT, TANDEM PARKING

**GEOLOGIC HAZARD CATEGORY: S2**

**BUILDING SETBACKS**  
FRONT: 15'  
SIDE: 4'  
REAR: 7.5'

**OFF-STREET PARKING SPACE REQUIREMENTS**  
PARKING REQUIRED: 4 UNITS @ 2BR EACH (4 x 2.25) = 9 SPACES  
PARKING PROVIDED: 9 SPACES

**DEVELOPMENT NOTES**  
THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS 4.

**MONUMENTATION NOTES**  
ALL PROPERTY CORNERS WILL BE SET AND A LOT CONSOLIDATION AND SUBDIVISION PARCEL MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP.

**REFERENCE DRAWINGS**  
MAP 991 (VENICE PARK)  
CORNER RECORD 32486

**NOTES**

1. THE MAINTENANCE OF THE PRIVATE WATER AND SEWER FACILITIES SERVING THIS PROJECT SHALL BE GOVERNED BY PRIVATE COVENANTS, CONDITIONS, AND RESTRICTIONS.
2. EXISTING DRAINAGE PATTERNS SURFACE FLOW TO LAMONT STREET AND CONCRETE ALLEY
3. THE SUBDIVIDER SHALL INSTALL APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES ON ALL EXISTING AND PROPOSED WATER SERVICES (DOMESTIC, IRRIGATION, AND FIRE) ADJACENT TO THE PROJECT SITE IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.
4. THERE ARE NO KNOWN EASEMENTS ON THIS SITE.
5. THE PROJECT IS TO BE CONSTRUCTED/NEW CONSTRUCTION.

**PROJECT DATA**  
NUMBER OF RESIDENTIAL UNITS: 4  
TOTAL FLOOR AREA OF RESIDENTIAL UNITS: 6,424 SF  
NUMBER OF STORIES: 3  
NUMBER OF BUILDINGS: 1  
EXISTING USE: MULTI-FAMILY RESIDENTIAL  
PROPOSED USE: MULTI-FAMILY RESIDENTIAL  
EXISTING ZONING: RM-2-S  
YEAR OF CONSTRUCTION: NEW CONSTRUCTION

**PROJECT SOILS CONDITION**  
EXISTING DEVELOPED SITE, GEOLOGIC CATEGORY S2

**PROJECT PERMITS REQUIRED**  
TENTATIVE PARCEL MAP  
LOT CONSOLIDATION PARCEL MAP FOR CONDOMINIUM PURPOSES  
COASTAL PERMIT (CITY)

**PROJECT ADDRESS**  
3945/47 LAMONT STREET, SAN DIEGO, CA 92109

**PROJECT OWNER**  
PETER A. ZARCADES PROPERTY TRUST  
9171 TOWN CENTER DRIVE, SUITE 335, SAN DIEGO, CA 92122

PETER A. ZARCADES, TRUSTEE      DATE

**LEGAL DESCRIPTION**  
LOTS 13 AND 14 IN BLOCK 4 OF VENICE PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 991, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 24, 1995.

**SOURCE OF TOPOGRAPHY**  
FIELD SURVEY BY METROPOLITAN MAPPING, MARCH 9, 2013

**BASIS OF ELEVATIONS**  
CITY OF SAN DIEGO BENCHMARK      DESCRIPTION: BRASS PLUG (NNBP)  
TOP OF CURB, NORTHWEST CORNER LAMONT STREET & CROWN POINT DRIVE  
ELEVATION: 24.49 FEET      DATUM: NGVD 29

**BASIS OF BEARINGS**  
THE EASTERLY ROW OF LAMONT STREET AS SHOWN ON CORNER RECORD NO. 32486  
I.E., N49°51'11"W

**COORDINATES**  
NAD 27: 228-1697      CCS 83: 1868-6257

**ASSESSOR'S PARCEL NUMBERS**  
APH 424-594-17

**PROJECT NAME**  
4 @ LAMONT

**SHEET TITLE**  
TENTATIVE PARCEL MAP NO. 1142688

PTS NO. 319096      I.O. NO. 24003679      SHEET 1 OF 1

10' 5' 0' 10' 20'  
SCALE IN FEET  
1"=10'

PREPARED BY:  
METROPOLITAN MAPPING  
2421 INDA STREET  
SAN DIEGO, CA 92101  
TEL: 619-564-0091  
FAX: 619-335-1830  
email: metromap.sd@gmail.com

VERNON V. FRANCK, PLS 7927      DATE

VICINITY MAP (NO SCALE)

**EXISTING FRANCHISE UTILITY TABLE**

(TYPE)	(STATUS)
ELECTRIC	OVERHEAD
TELEPHONE	OVERHEAD
CABLE TELEVISION	OVERHEAD

**LEGEND**

--- PROPERTY LINE	--- SURFACE FLOW
- - - RIGHT OF WAY	WATER METER
--- LOT LINE	METER (G= GAS / E= ELECT)
--- SEWER LINE	STREET SIGN
--- WATER LINE	TREE
--- OVERHEAD ELECTRIC LINE	100.0 SPOT ELEVATION
--- BOUNDARY DATA	EXISTING SURFACE GRADE CONTOUR
--- FOUND BOUNDARY MONUMENT	--- LABEL ORIENTATION INDICATES POSITIVE SLOPE
--- LEAD & DISC 'LS 3168'	
--- PER CORNER RECORD 32486	
--- EDGE OF CONCRETE	
--- CONCRETE SURFACE	
--- CONCRETE BLOCK WALL	

**ABBREVIATIONS**

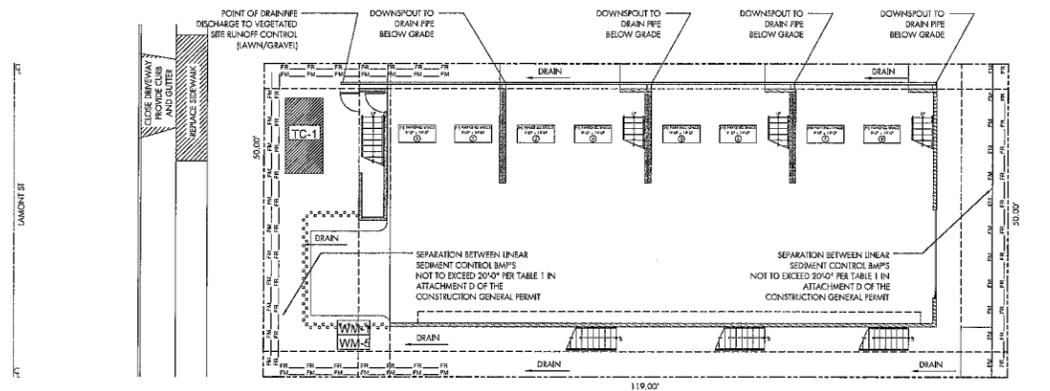
ASPH . . . ASPHALT	HL . . . HEIGHT
BLDG . . . BUILDING	PP . . . UTILITY POLE
CHU . . . CONCRETE MASONRY UNIT	R/W . . . RIGHT OF WAY
CD . . . CLEANOUT (SEWER)	SS . . . SANITARY SEWER
CONC . . . CONCRETE	TC . . . TOP OF CURB
DWAY . . . DRIVEWAY	TW . . . TOP OF WALL
EL . . . ELEVATION	TYP . . . TYPICAL
FF . . . FINISHED FLOOR	WM . . . WATER METER
FL . . . FLOWLINE	

DATE: MAY 6, 2013

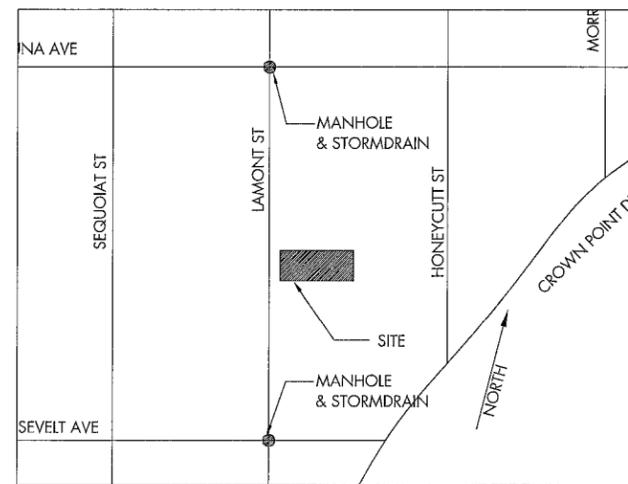
NO.	DESCRIPTION	BY	DATE
1	REVISIONS		
1	CYCLE ISSUES	VF	07-16-2013
2			
3			
4			
5			







**STORMWATER & BMPS**  
SCALE 1"=10'-0"



**300' RADIUS MAP**  
SCALE 1" = 100'-0"

**STORM DRAINS**  
1. THERE ARE NO STORM DRAINS LOCATED WITHIN 50'-0" OF THE PROPERTY

**BMP LEGEND**

WM-1	MATERIAL DELIVERY AND STORAGE
WM-4	SPILL PREVENTION AND CONTROL
WM-5	SOLID WASTE MANAGEMENT
WM-8	CONCRETE WASTE MANAGEMENT
SC-5	FIBER ROLLS
TC-1	STABILIZED CONSTRUCTION ENTRANCE - GRAVEL
SS-3	FIBER MATRIX

**WATER/SEWER ACCOUNT INFORMATION**  
NAKSHAB DEVELOPMENT DESIGN  
2900 4TH AVE #100  
SAN DIEGO, CA 92103

**BEST MANAGEMENT PRACTICES**  
PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.  
PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

LICENSE:

REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITTAL

PROJECT/CLIENT:

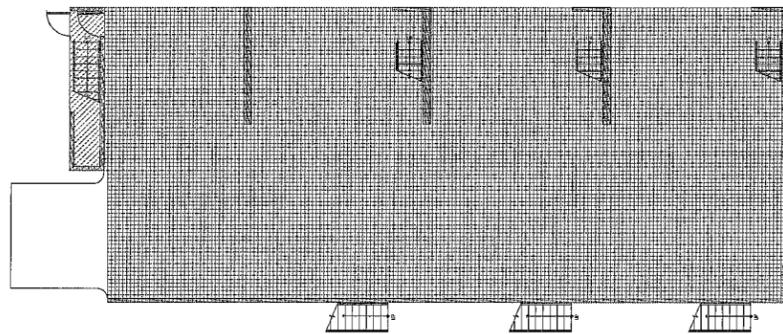
3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109  
**4 @ LAMONT**

SHEET TITLE:  
**STORMWATER & BMPS**

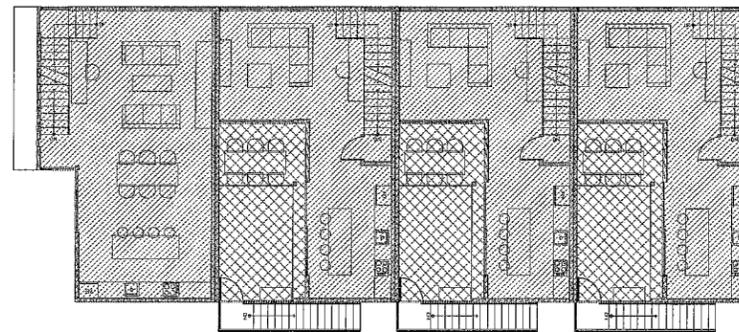
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NDD13-005

DATE:  
10.16.13

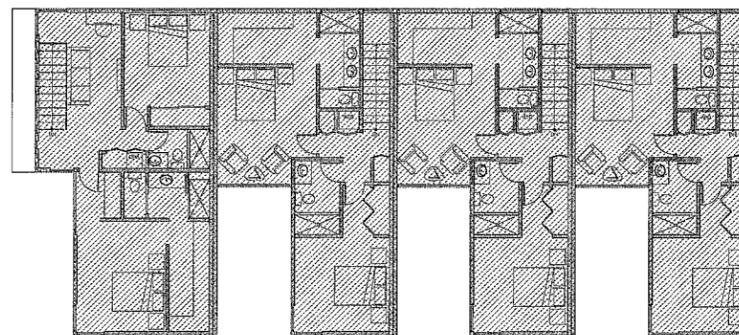
SHEET NO.:  
**A0.1**



GROUND LEVEL  
SCALE 1/8"=1'-0"



SECOND LEVEL  
SCALE 1/8"=1'-0"



THIRD LEVEL  
SCALE 1/8"=1'-0"



**NAKSHAB**  
DEVELOPMENT, DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITTAL

PROJECT/CLIENT:

3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109  
**4 @ LAMONT**

SHEET TITLE:

FLOOR AREAS

PROJECT NO.:

ND013005

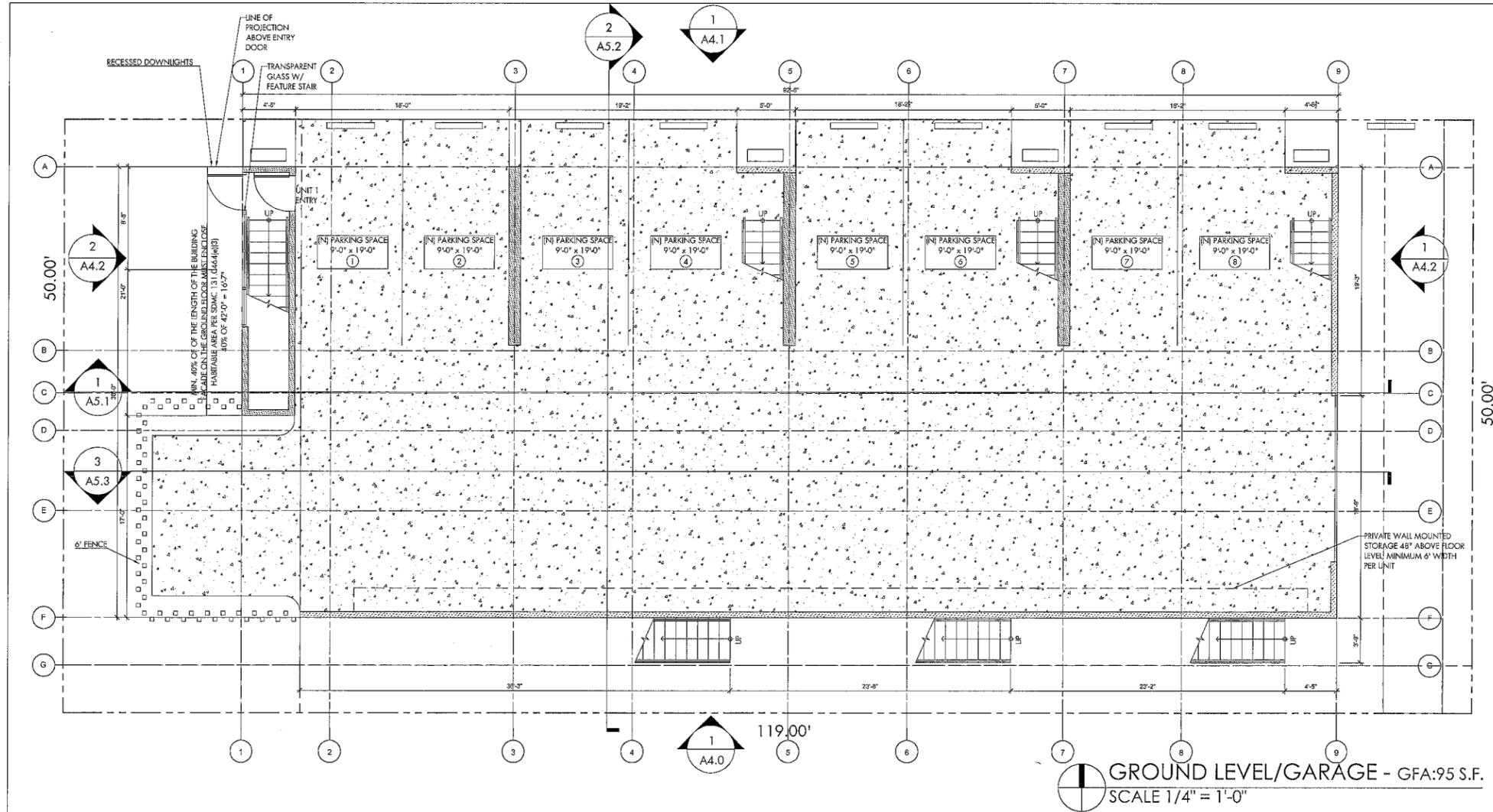
DATE:

10.16.13

SHEET NO.:

**A0.2**

LEGEND	FLOOR AREAS						OCCUPANCY AREAS				
	LEVEL 1:	AREA	LEVEL 2:	AREA	LEVEL 3:	AREA	LEVEL 1:	LEVEL 2:	LEVEL 3:	TOTALS	
HABITABLE SPACE - INCLUDED IN FAR	LIVABLE:	95 SF	DECK:	762 SF	LIVABLE:	3258 SF	U:	3336 SF	R2:	2667 SF	TOTAL ACTUAL F.A.R.: 9356 SF CALCULATED F.A.R. MINUS ENCLOSED PARKING: 6020 SF PER SDMC 113.0234 (4)(2)
ENCLOSED PARKING - EXCLUDED FROM FAR	PARKING:	3336 SF	LIVABLE:	2667 SF			R2:	95 SF	TOTAL:	2667 SF	
DECK - EXCLUDED FROM FAR	TOTAL AREA:	3431 SF	TOTAL AREA:	3429 SF	TOTAL AREA:	3258 SF	TOTAL:	3431 SF	TOTAL:	3258 SF	



GROUND LEVEL/GARAGE - GFA:95 S.F.  
SCALE 1/4" = 1'-0"

**NAKSHAB**  
DEVELOPMENT . DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P:619.253.7257  
F:619.253.7833  
WWW.NDDINC.NET

LICENSE:

REGISTERED PROFESSIONAL ENGINEER  
NAKSHAB NAKHSHAB  
44563  
Exp. 3-31-14  
CIVIL  
STATE OF CALIFORNIA

REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITTAL

PROJECT/CLIENT:

3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109

**4 @ LAMONT**

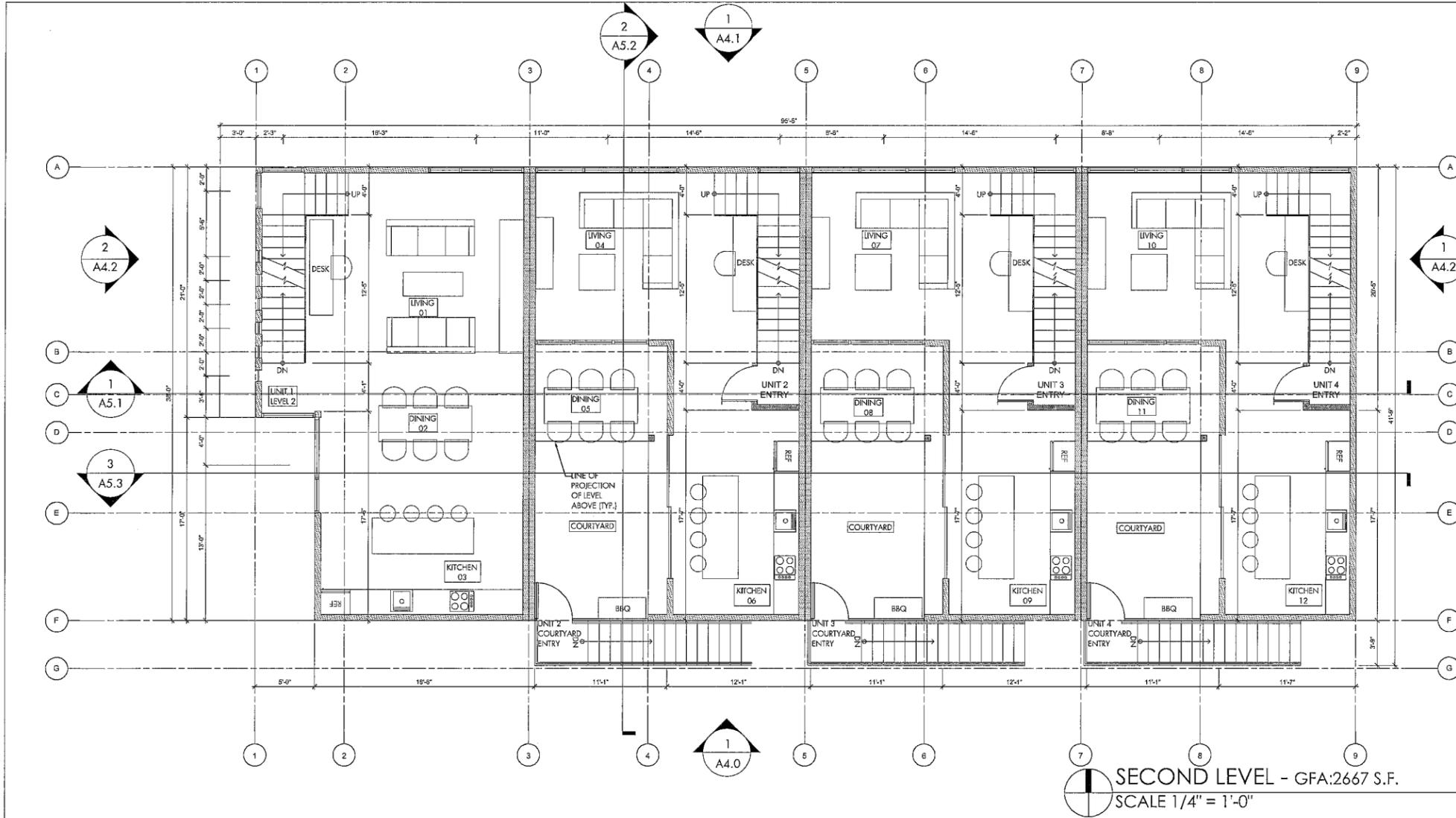
SHEET TITLE:  
**GROUND LEVEL/GARAGE PLAN**

PROJECT NO.:  
ND013-005

DATE:  
10.16.13

SHEET NO.:

**A2.0**



SECOND LEVEL - GFA:2667 S.F.  
SCALE 1/4" = 1'-0"



**NAKSHAB**  
DEVELOPMENT . DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN

2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET

---

LICENSE:



REGISTERED PROFESSIONAL ENGINEER  
NAKSHAB  
44553  
Exp. 3-31-14  
CIVIL  
STATE OF CALIFORNIA

---

REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITAL

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PROJECT/CLIENT:

3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109

**4 @ LAMONT**

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SHEET TITLE:

**SECOND LEVEL  
PLAN**

---

PROJECT NO.:

NDD13405

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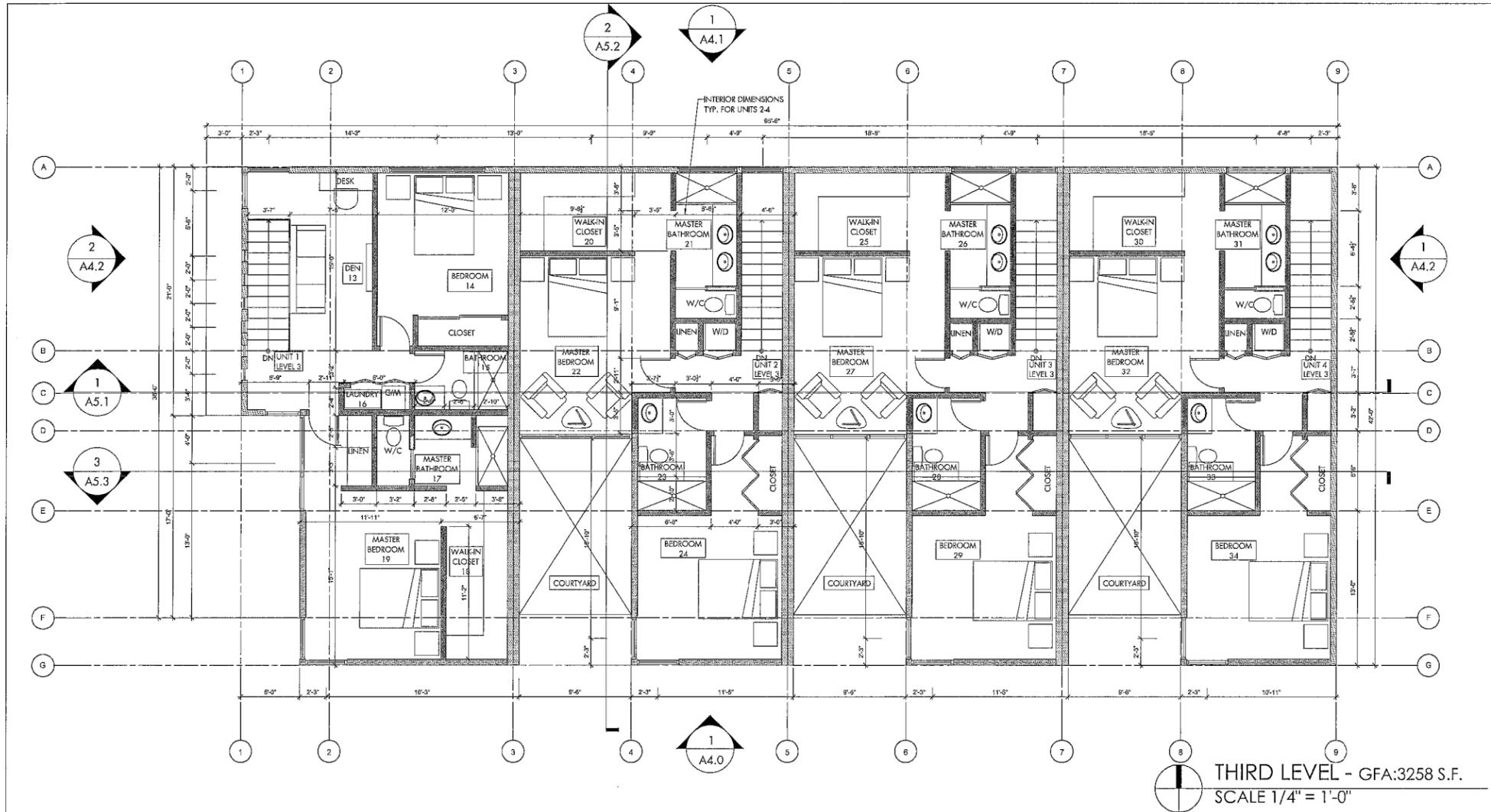
DATE:

10.16.13

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SHEET NO.:

**A2.1**



**NAKSHAB**  
DEVELOPMENT . DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET

LICENSE:

REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITAL

PROJECT/CLIENT:

3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109

**4 @ LAMONT**

SHEET TITLE:

THIRD LEVEL  
PLAN

PROJECT NO.:

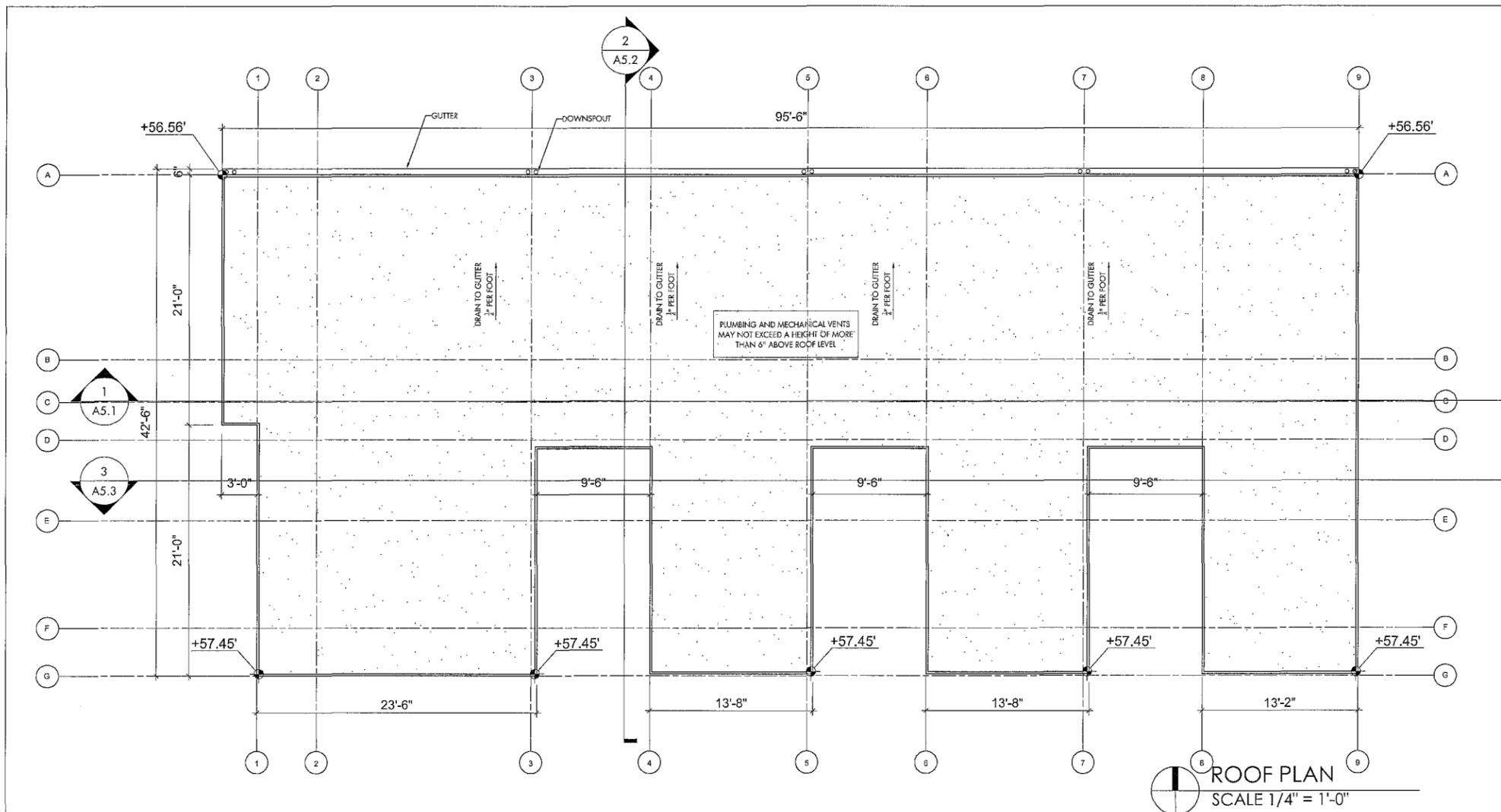
NDD13-005

DATE:

10.16.13

SHEET NO.:

**A2.2**



**ROOF PLAN**  
SCALE 1/4" = 1'-0"

**ROOF PLAN GENERAL NOTES**

1. PLATE HEIGHT ELEVATIONS TO BE LOWERED AT NORTH SIDE OF BUILDING IN ORDER TO PROVIDE FOR DRAINAGE SLOPE AT ROOF.

**ROOF PLAN LEGEND**

 (N) BUILT UP CLASS 'A' ROOF  
ICC ESR #1274

**NAKSHAB**  
DEVELOPMENT . DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2500 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P:619.255.7257  
F:619.255.7833  
WWW.NAKSHAB.COM



REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITAL

PROJECT/CLIENT:  
  
3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109  
**4 @ LAMONT**

SHEET TITLE:

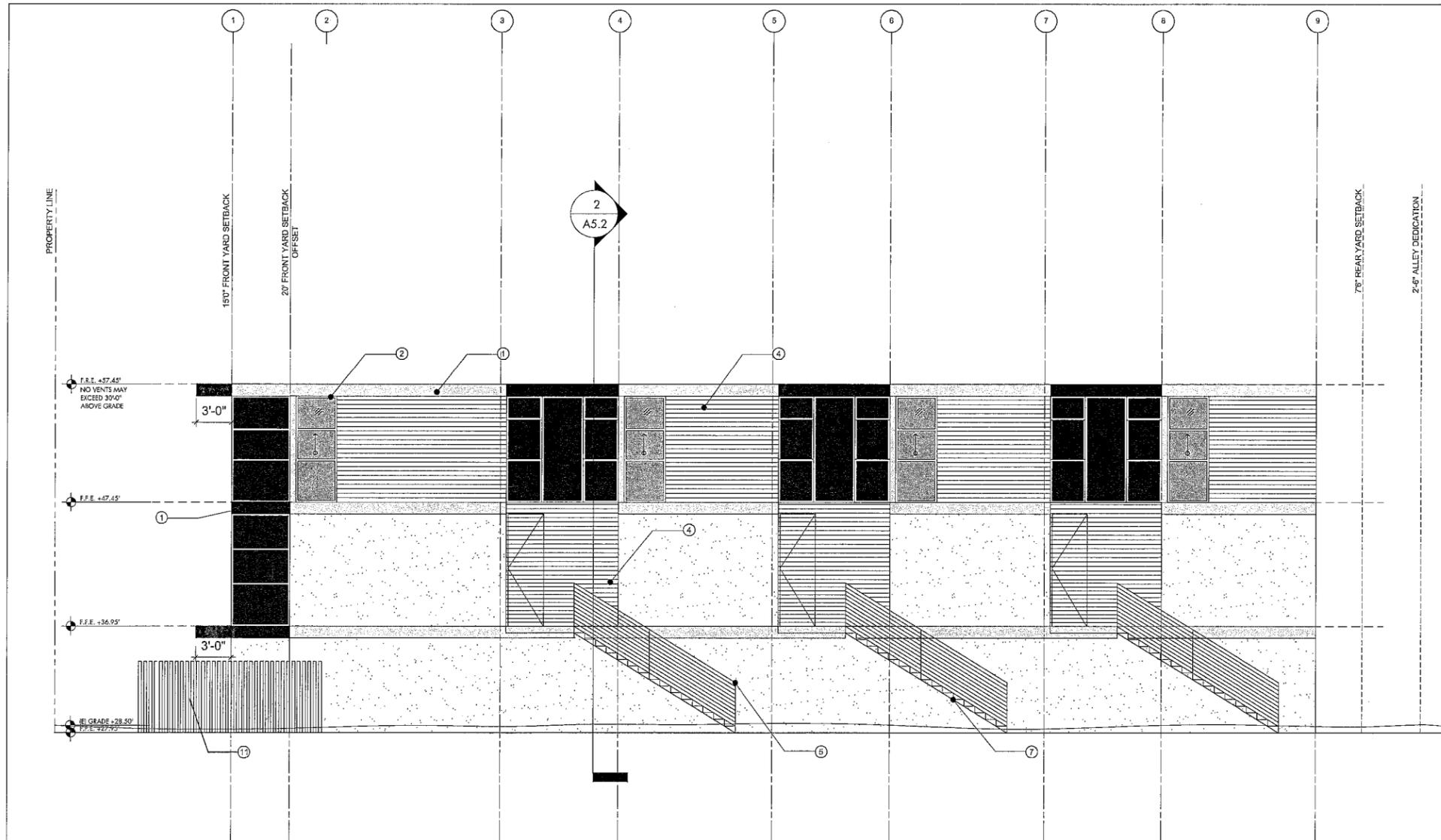
**ROOF PLAN**

PROJECT NO.: NDD13-005

DATE: 10.16.13

SHEET NO.:

**A2.3**



**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"

**EXTERIOR ELEVATION KEYNOTES**

- ① BLACK PAINTED FASCIA
- ② BRONZE ANODIZED ALUM. FRAMES
- ③ STUCCO TBD
- ④ 1X8 WOOD SIDING
- ⑤ METAL GUARDRAIL
- ⑥ METAL GARAGE DOOR
- ⑦ CONCRETE STAIRS
- ⑧ MINIMUM 40% OF BUILDING FACIAGE AT GROUND FLOOR ENCLOSES HABITABLE AREA (OPEN STAIR FEATURE W/ TRANSPARENT GLASS)
- ⑨ LANDSCAPING TO MAINTAIN 6'0" HEIGHT MINIMUM
- ⑩ RECESSED DOWNLIGHTS
- ⑪ 4" FENCE per SDMC §142.031(D)(2)(C)

**EXTERIOR ELEVATION FINISH LEGEND**

- WHITE STUCCO
- 1X8 WOOD SIDING
- BLACK STUCCO

**NAKSHAB**  
DEVELOPMENT . DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN

2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P: 619.255.7257  
F: 619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITTAL

PROJECT/CLIENT:

3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109  
**4 @ LAMONT**

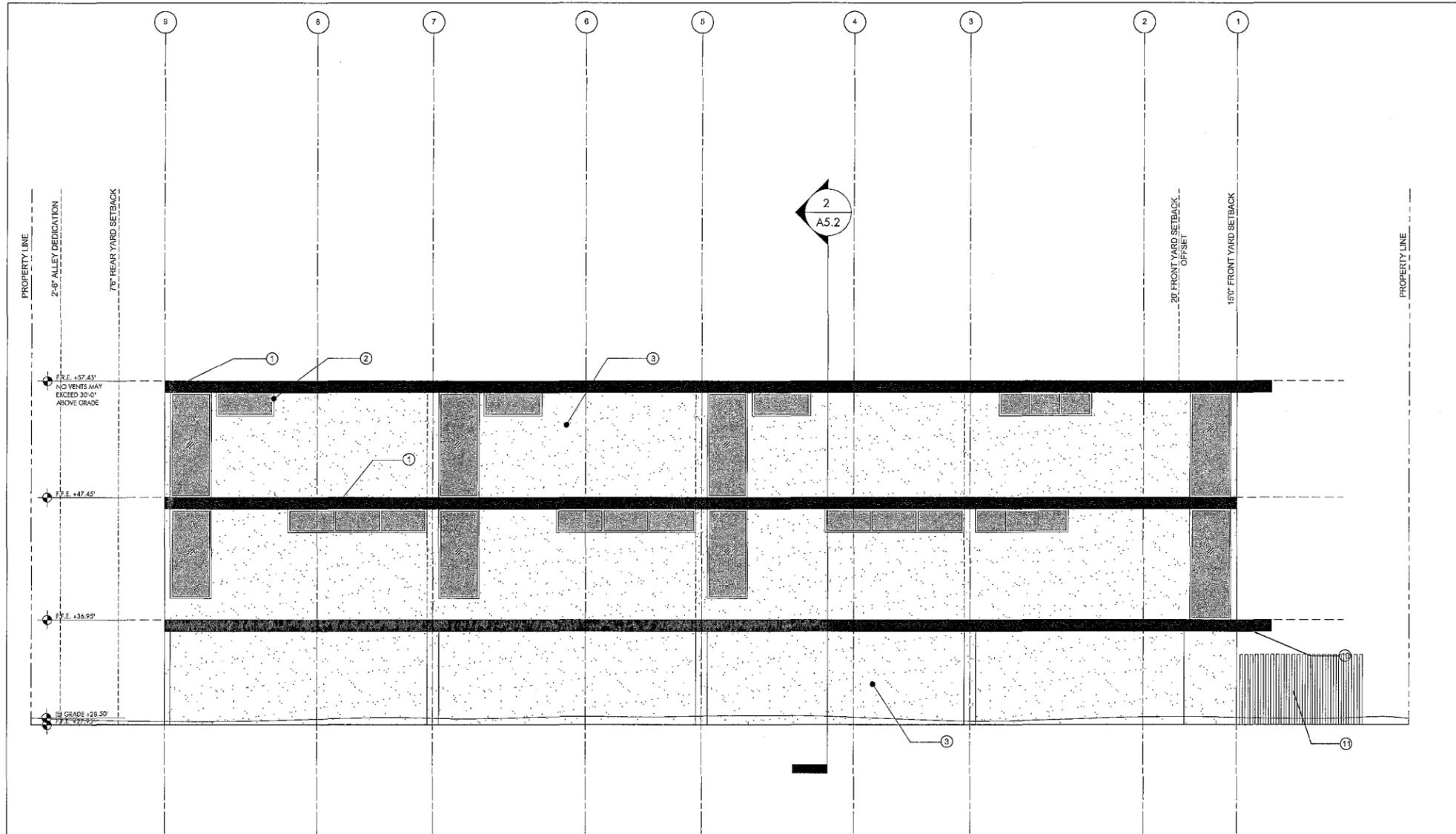
SHEET TITLE:  
**SOUTH ELEVATION**

PROJECT NO.:  
ND013-005

DATE:  
10.16.13

SHEET NO.:

A4.0



NORTH ELEVATION  
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES	EXTERIOR ELEVATION FINISH LEGEND
<ul style="list-style-type: none"> <li>① BLACK PAINTED FASCIA</li> <li>② BRONZE ANODIZED ALUM. FRAMES</li> <li>③ STUCCO TPO</li> <li>④ 1X8 WOOD SIDING</li> <li>⑤ METAL GUARDRAIL</li> <li>⑥ METAL GARAGE DOOR</li> <li>⑦ CONCRETE STAIRS</li> <li>⑧ MINIMUM 40% OF BUILDING FACADE AT GROUND FLOOR ENCLOSERS HABITABLE AREA (OPEN STAIR FEATURE W/ TRANSPARENT GLASS)</li> <li>⑨ LANDSCAPING TO MAINTAIN 6'-0" HEIGHT MINIMUM</li> <li>⑩ RECESSED DOWNLIGHTS</li> <li>⑪ # FENCE per SDCMC §142.0310a2RG</li> </ul>	<ul style="list-style-type: none"> <li> WHITE STUCCO</li> <li> 1X8 WOOD SIDING</li> <li> BLACK STUCCO</li> </ul>

  
**NAKSHAB**  
 DEVELOPMENT . DESIGN  
 ARCHITECTURE  
 ENGINEERING  
 BUILD  
 GREEN  
 2900 4TH AVE SUITE 100  
 SAN DIEGO, CA 92103  
 P: 619.255.7257  
 F: 619.255.7833  
 WWW.NAKSHAB.NET

LICENSE:

  
 REG. PROFESSIONAL ENGINEER  
 SUSAN NAKHSHAB  
 44583  
 Exp. 3-31-14  
 CIVIL  
 STATE OF CALIFORNIA

REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITTAL

PROJECT/CLIENT:

3945-3947 LAMONT STREET  
 SAN DIEGO, CA 92109  
**4 @ LAMONT**

SHEET TITLE:

**NORTH ELEVATION**

PROJECT NO.:

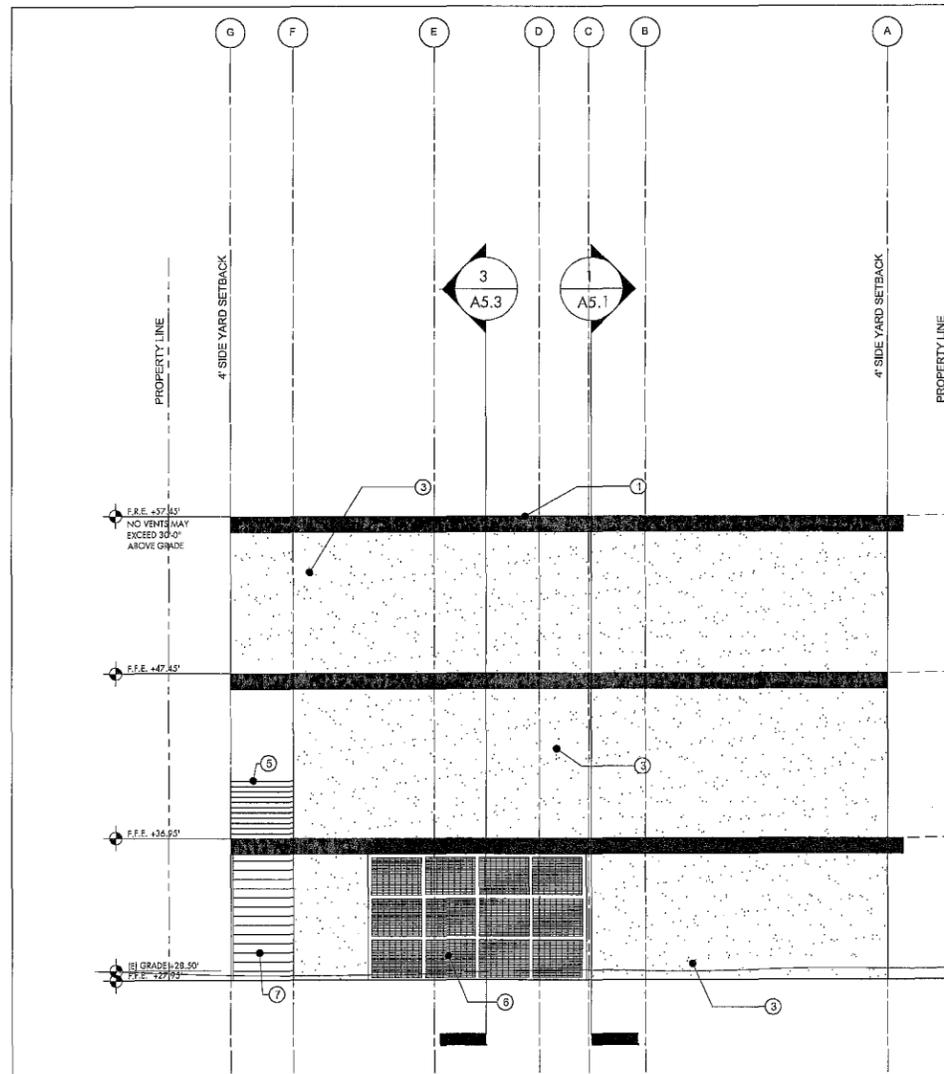
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DATE:

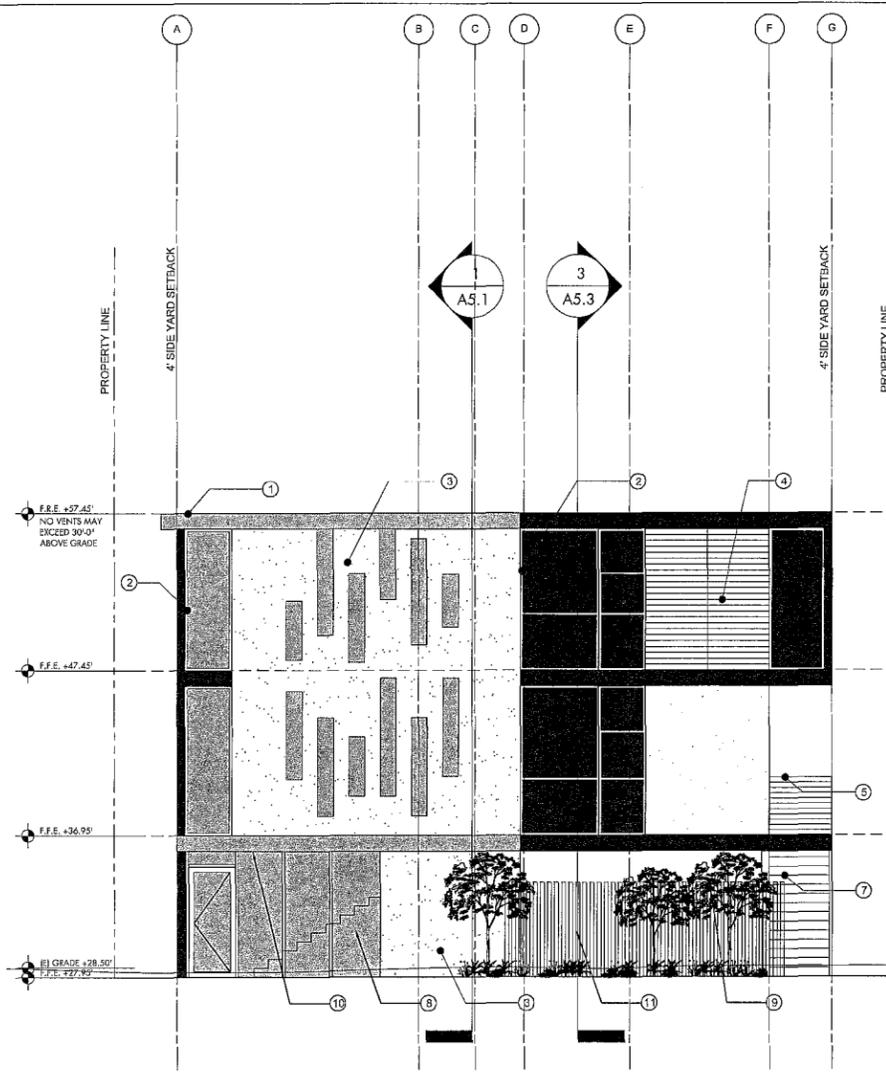
10.16.13

SHEET NO.:

**A4.1**



EAST ELEVATION  
SCALE 1/4" = 1'-0"



WEST ELEVATION  
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES	EXTERIOR ELEVATION FINISH LEGEND
1) BLACK PAINTED FASCIA	WHITE STUCCO
2) BRONZE ANODIZED ALUM. FRAMES	1X8 WOOD SIDING
3) STUCCO TSD	BLACK STUCCO
4) 1X8 WOOD SIDING	
5) METAL GUARDRAIL	
6) METAL GARAGE DOOR	
7) CONCRETE STAIRS	
8) MINIMUM 40% OF BUILDING FACADE AT GROUND FLOOR ENCLOSES HABITABLE AREA (OPEN STAIR FEATURE W/ TRANSPARENT GLASS)	
9) LANDSCAPING TO MAINTAIN 6'0" HEIGHT MINIMUM	
10) RECESSED DOWNLIGHTS	
11) 6' FENCE per SDMC §142.031(c)(2)(C)	

**NAKSHAB**  
DEVELOPMENT . DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN

2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P: 619.233.7257  
F: 619.233.7833  
WWW.NDDINC.NET

---

LICENSE:

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REVISIONS:	ITEM	DATE	DESCRIPTION
	1	07.17.13	RESUBMITTAL

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PROJECT/CLIENT:

3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109  
**4 @ LAMONT**

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SHEET TITLE:

**EAST & WEST  
ELEVATIONS**

---

PROJECT NO.: NDD13-005

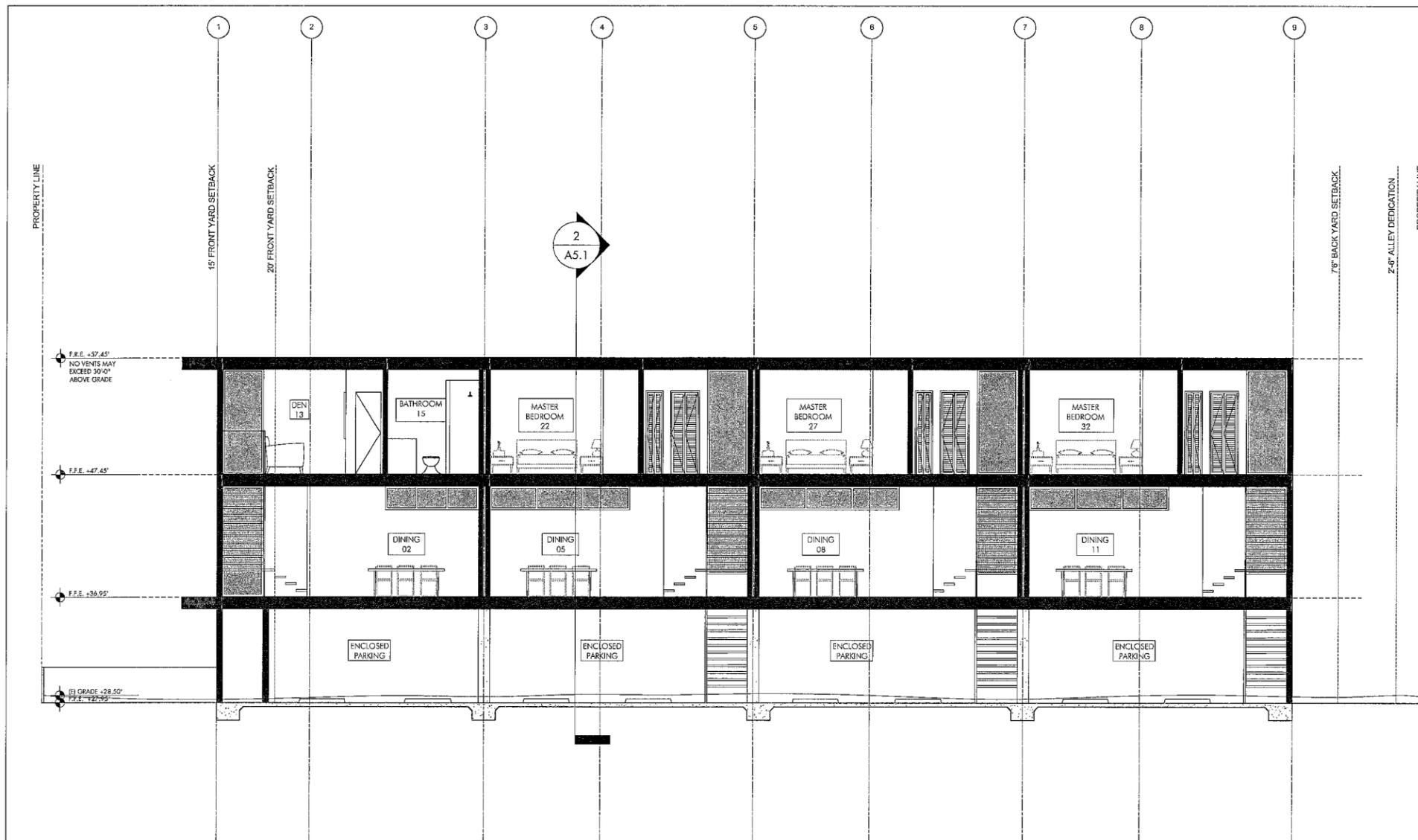
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DATE: 10.16.13

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SHEET NO.:

**A4.2**



SECTION 1  
SCALE 1/4" = 1'-0"



**NAKSHAB**  
DEVELOPMENT . DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P: 619.255.7257  
F: 619.255.7833  
WWW.NDORNC.NET

---

LICENSE:



REGISTERED PROFESSIONAL ENGINEER  
44563  
Exp. 3-31-14  
CIVIL  
STATE OF CALIFORNIA

---

REVISIONS:	DATE	DESCRIPTION
1	07.17.13	RESUBMITTAL

---

PROJECT/CLIENT:

3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109  
**4 @ LAMONT**

---

SHEET TITLE:

**SECTION 1**

---

PROJECT NO.:

NDD13405

---

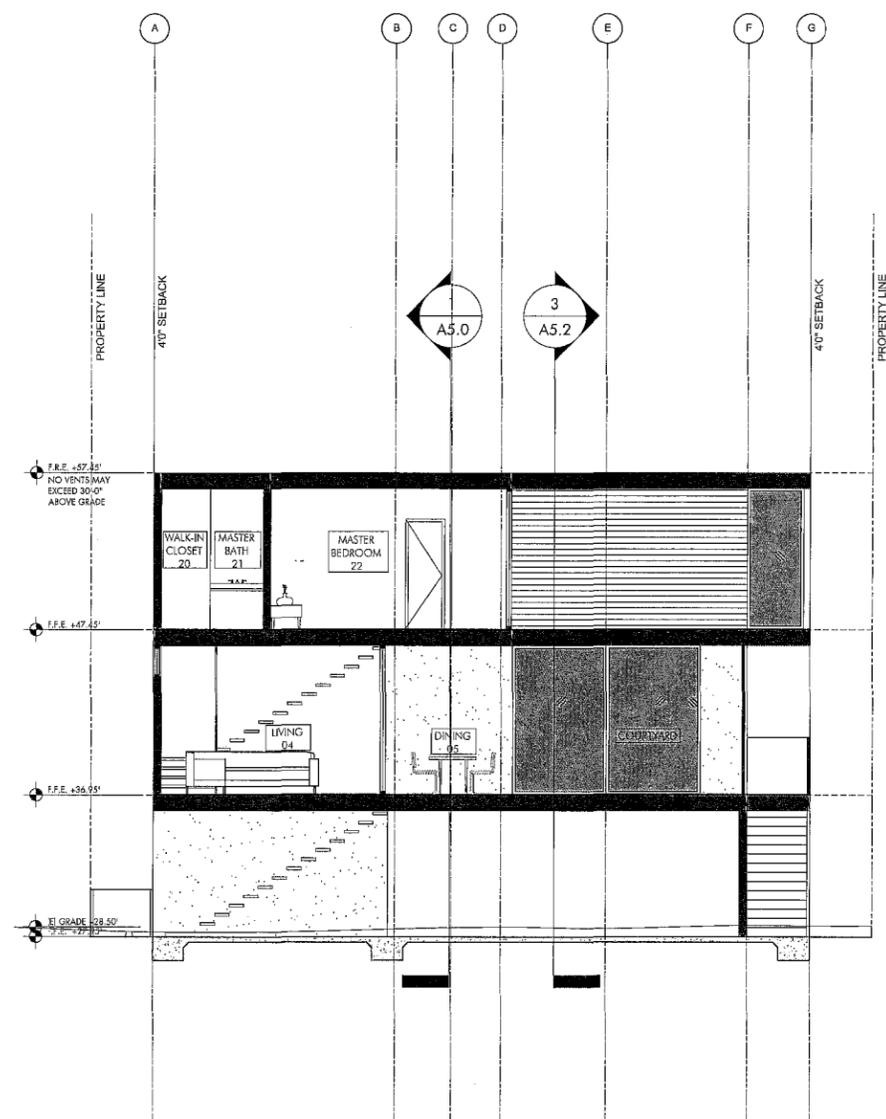
DATE:

10.16.13

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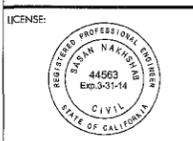
SHEET NO.:

**A5.0**



SECTION 2  
SCALE 1/4" = 1'-0"

**NAKSHAB**  
DEVELOPMENT . DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:

ITEM	DATE	DESCRIPTION
1	07.17.13	RESUBMITTAL

PROJECT/CLIENT:  
  
3945-3947 LAMONT STREET  
SAN DIEGO, CA 92109  
**4 @ LAMONT**

SHEET TITLE:

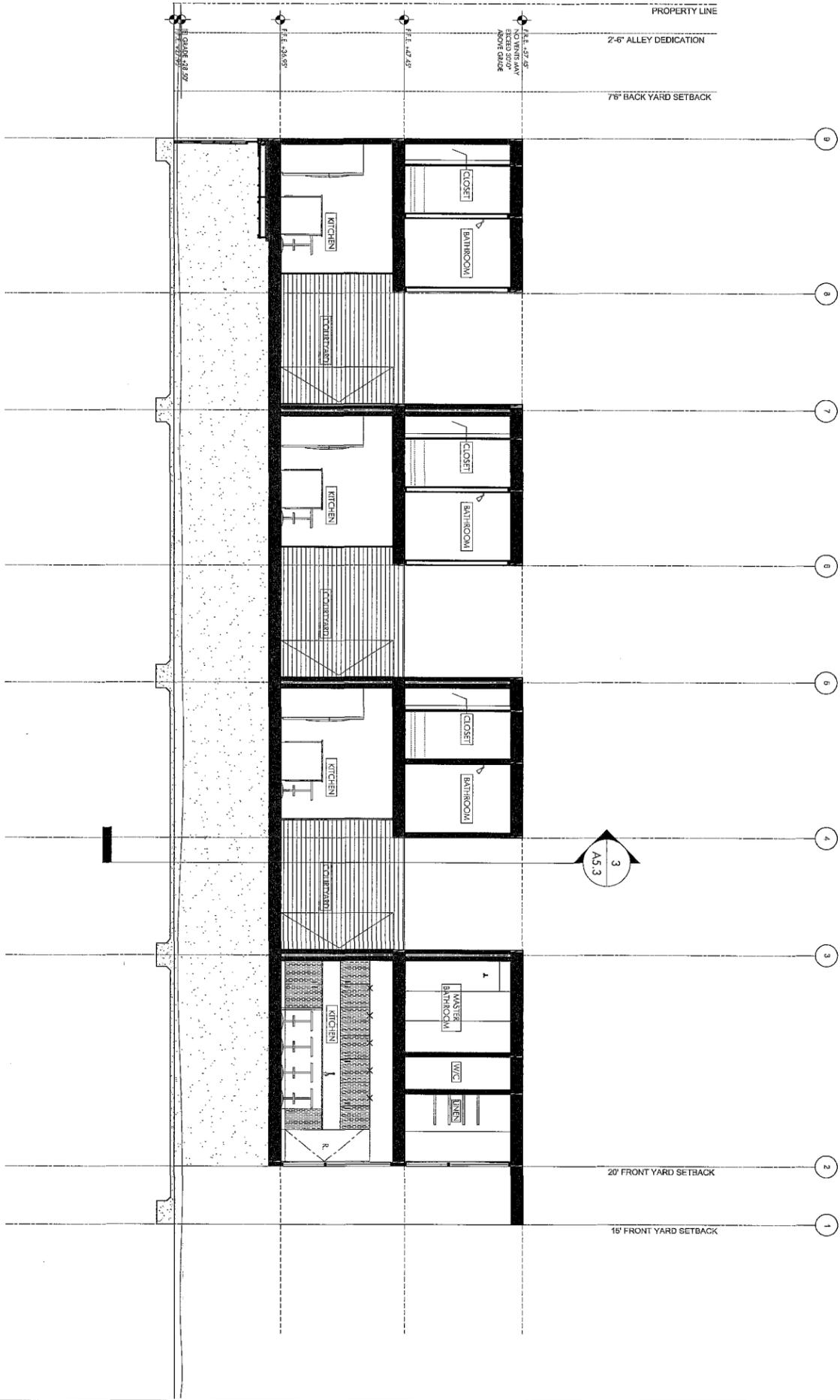
SECTION 2

PROJECT NO.: NDD13-005

DATE: 10.16.13

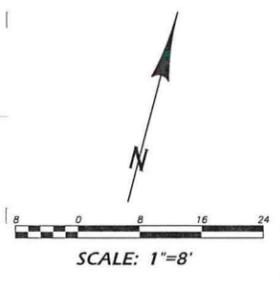
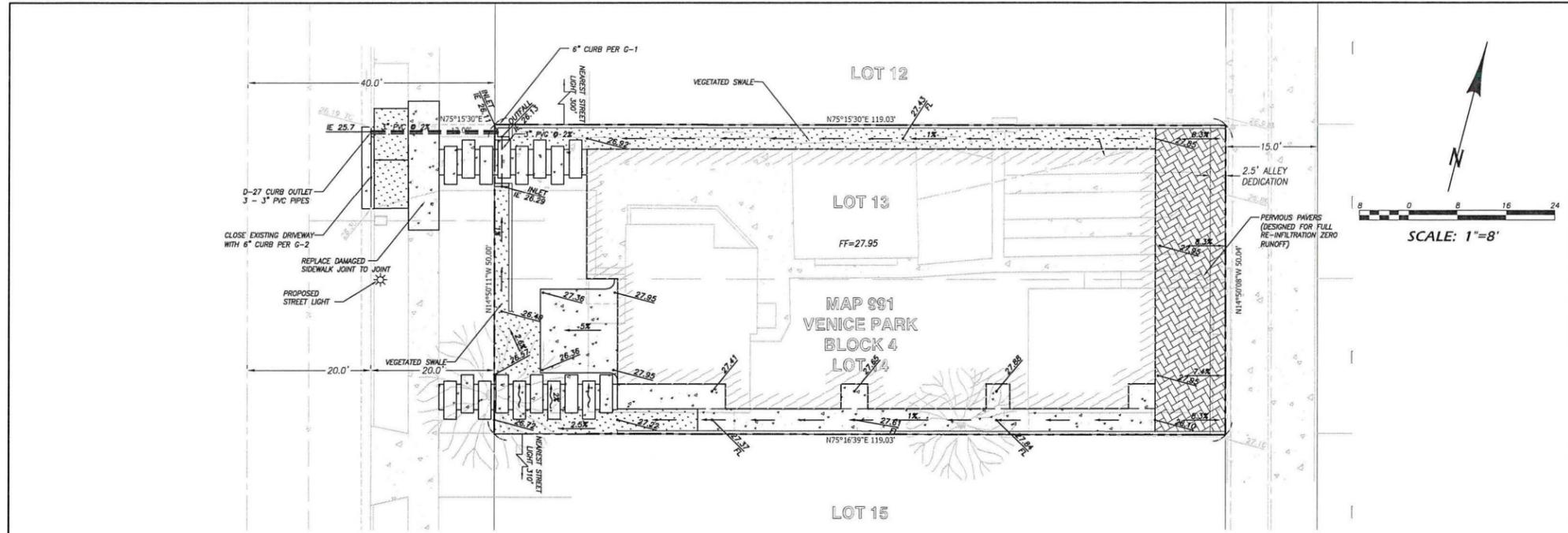
SHEET NO.:

**A5.1**



SECTION 3  
SCALE 1/4" = 1'-0"

<p><b>NAKSHAB</b> DEVELOPMENT, DESIGN ARCHITECTURE ENGINEERING</p> <p>BLVD GREEN 2900 AHT AVE SUITE 100 SAN DIEGO, CA 92103 TEL: 619.255.2793 WWW.NAKSHAB.NET</p>	<p>REGISTERED PROFESSIONAL ENGINEER STATE OF CALIFORNIA 44693 NAKSHAB EMRSHIHA</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>ITEM</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>07.17.13</td> <td>RESUBMITTAL</td> </tr> </tbody> </table>	ITEM	DATE	DESCRIPTION	1	07.17.13	RESUBMITTAL	<p>PROJECT/CLIENT:</p> <p>3945-3947 LAMONT STREET SAN DIEGO, CA 92109</p> <p><b>4 @ LAMONT</b></p>
	ITEM	DATE	DESCRIPTION						
1	07.17.13	RESUBMITTAL							
<p>SHEET TITLE:</p> <p>SECTION 3</p> <p>PROJECT NO.: NBD13305</p> <p>DATE: 10.16.13</p> <p>SHEET NO.:</p>	<p><b>A5.2</b></p>								



**LEGEND**

DESCRIPTION	STD. DWG.	SYMBOL
RIGHT-OF-WAY LINE		R/W
ROW CENTERLINE		C
EXISTING SPOT ELEVATION		100.00
PROPOSED SPOT ELEVATION		100.00
CMU RETAINING WALL (PVT)	C-1	[Symbol]
BUILDING FOOTPRINT		[Symbol]
P.C.C. SIDEWALK	G-7	[Symbol]
LANDSCAPE		[Symbol]
PERVIOUS PAVERS		[Symbol]
PROPOSED P.C.C. CURB	G-2	[Symbol]
DRAINAGE SWALE OR DIRECTION OF FLOW		[Symbol]

**EXISTING IMPROVEMENTS**

ITEM	SYMBOL
EXIST. WATER	[Symbol]
EXIST. SEWER	[Symbol]
EXIST. CURB & GUTTER, SIDEWALK AND DRIVEWAY	[Symbol]

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
FG	FINISH GRADE
(E)	EXISTING
HP	HIGH POINT
IE	INVERT ELEVATION
PA	PLANTER AREA
BRW	(AT GRADE) BOTTOM OF RETAINING WALL
TRW	(GRADE AT) TOP OF RETAINING WALL
DS	DOWNSPOUT

**UTILITY NOTE**

1. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

**TOPOGRAPHY NOTE**

WE PREPARED THIS GRADING PLAN WITH THE BENEFIT OF A TOPOGRAPHY AND/OR A RECORD DRAWINGS PROVIDED BY THE OWNER, ANOTHER SURVEYOR, AND/OR A GOVERNMENT AGENCY. THEREFORE, WE WILL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION CONFLICTS, DELAYS, OR ADDITIONAL COSTS INCURRED AS A RESULT OF INACCURATE TOPOGRAPHIC INFORMATION. FURTHERMORE, THE PLOTTING OF EXISTING UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE. EXACT LOCATION, DEPTH, SIZE, OR TYPE OF LINES AND FACILITIES CAN ONLY BE DETERMINED BY FIELD EXPLORATION (I.E. POTHOLING, EXCAVATION) PRIOR TO CONSTRUCTION. WE WILL NOT BE HELD RESPONSIBLE FOR COSTS INCURRED IN THE EVENT THAT EXISTING UTILITIES WERE NOT OF THE LOCATION, DEPTH, SIZE, OR TYPE INDICATED.

**LEGAL DESCRIPTION**

LOT 13 AND 14 IN BLOCK 4 OF VENICE PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 991, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 24, 1906  
 APN: 424-504-17

**NOTES**

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

**BENCHMARK**

BRASS PLUG (NWP) TOP OF CURB, NW CORNER LAMONT STREET & CROWN POINT DRIVE. ELEVATION 24.49 MSL.

**GRADING TABULATIONS**

TOTAL AMOUNT OF SITE TO BE GRADED:	0.137 ACRES	% OF TOTAL SITE:	100%
AMOUNT OF CUT:	0 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	0 FEET
AMOUNT OF FILL:	95 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	1 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	1 FEET	SLOPE RATIO:	N/A
MAXIMUM HEIGHT OF CUT SLOPE(S):	0 FEET	SLOPE RATIO:	N/A
AMOUNT OF IMPORT SOIL:	95 CUBIC YARDS	MAXIMUM HEIGHT:	N/A FEET
RETAINING/ CRIB WALLS:	LENGTH 0 FEET		

**COFFEY ENGINEERING, INC.**  
 15000 SERRA LOMA BLVD., SUITE 102, SAN DIEGO, CA 92131 PH: (619) 581-0111 FAX: (619) 581-0179



**Lamont Street Condos**  
 3945 LAMONT STREET  
 San Diego, Ca. 92109

DRAWN BY:	MK
CHECKED BY:	MK
ORIGINAL:	09/11/2013
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
CONCEPTUAL GRADING PLAN	
SCALE:	1" = 10'
<b>C-1</b>	
SHEET	1 OF 1 SHEETS



