



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: January 22, 2014 REPORT NO. HO 14-001
ATTENTION: Hearing Officer
SUBJECT: **MORSE RESIDENCE PROJECT NO. 323667**
LOCATION: 5550 Calumet Avenue
APPLICANT: Samantha Tosti, Martin Architecture

SUMMARY

Issue: Should the Hearing Officer approve a Site Development Permit and Coastal Development Permit to allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet at 5550 Calumet Avenue?

Staff Recommendation – **Approve** Site Development Permit No. 1130780 and Coastal Development Permit No. 1131955.

Community Planning Group Recommendation – The La Jolla Community Planning Association voted 12:1:1 on November 7, 2013, to recommend approval of the project.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301. Section 15301 allows additions to existing structures that would not result in more than a fifty percent increase of the floor area of the structure before the addition. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore this exemption is applicable to the proposed project. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 16, 2013 and the opportunity to appeal that determination ended January 7, 2014.

BACKGROUND

The La Jolla Community Plan Land Use map designates the site for Low Density Residential use at a density range of 5-9 dwelling units per acre (Attachment 1). The site is located at 5550 Calumet Avenue in the urbanized Bird Rock neighborhood in the La Jolla community (Attachment 2). The site is zoned RS-1-7 for single family residential development. The site is currently developed with a single family structure constructed in 1952 (Attachment 3).

The owners submitted an application to the Development Services Department for a Preliminary Review, PTS# 266243, to determine early on if the existing structure has the potential to be historically significant. As part of the preliminary review undertaken in PTS#266243, the applicant submitted a Historic Resource Research Report prepared by Scott A Moomjian, dated January 2012. The report concluded the house located at 5550 Calumet Avenue is not eligible for designation under any Historic Resources Board Criteria due to a lack of integrity resulting from substantial prior alteration of the house, including: construction of a dining room addition and integral fence along the front elevation that resulted in modification of the roof pitch, installation of a masonry wall at the front with windows, door grilles and chimney; and expansion of the eave across the garage. These alterations significantly altered the original appearance of the home. Therefore, staff concurred with the conclusion of the report that the building is not eligible for designation under any Historic Resources Board Criteria.

DISCUSSION

The Morse Residence project proposes an addition to the first floor and a new second-story for a total gross floor area of approximately 2,935 square feet (Attachment 4). The project site was previously developed as a result of construction of the existing home and associated improvements on the property. All proposed development will occur on the previously developed portions of the site. New structural foundations would observe a forty-foot bluff edge setback from the coastal bluff edge. No natural slopes, sensitive coastal or marine resources or other environmentally sensitive areas would be adversely affected by the proposed project (Attachment 5).

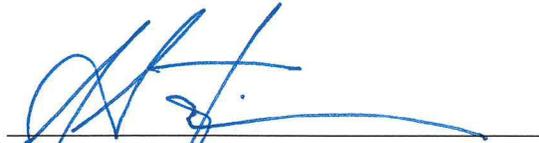
Conclusion

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the proposed Site Development Permit and Coastal Development Permit (Attachment 5). The draft Site Development Permit No. 1130780 and Coastal Development Permit No. 1131955 is provided as Attachment 6. Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. **Approve** Site Development Permit No. 1130780 and Coastal Development Permit No. 1131955, **with modifications**.
2. **Deny** Site Development Permit No. 1130780 and Coastal Development Permit No. 1131955, **if the findings required to approve the project cannot be affirmed**.

Respectfully submitted,



John S. Fisher
Development Project Manager
Development Services Department

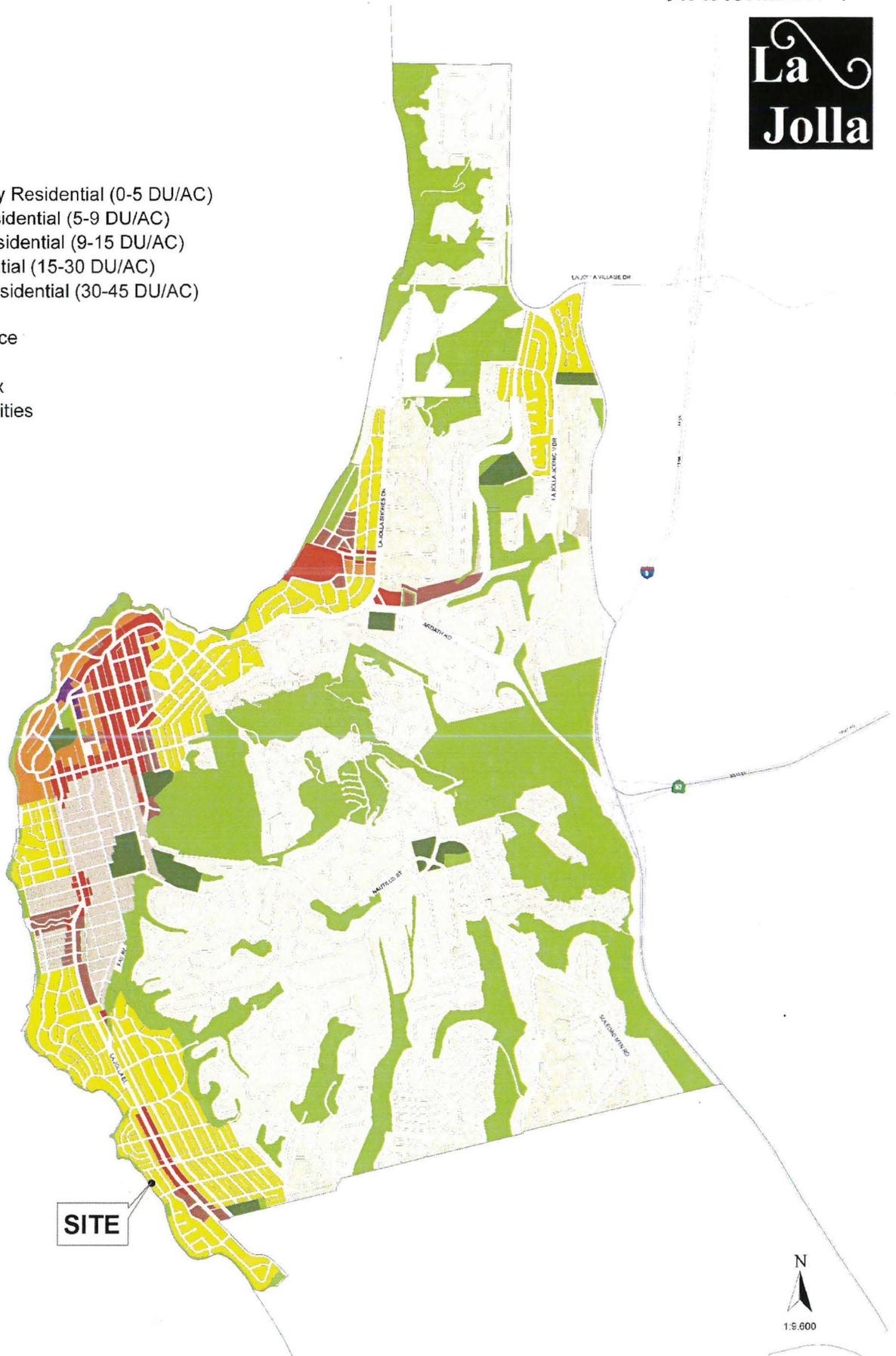
Attachments:

1. Community Plan Land Use Map
2. Project Location Map
3. Aerial Photograph & Street view
4. Project Plans
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Data Sheet
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement



Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial
- Parks, Open Space
- Schools
- Cultural Complex
- Community Facilities

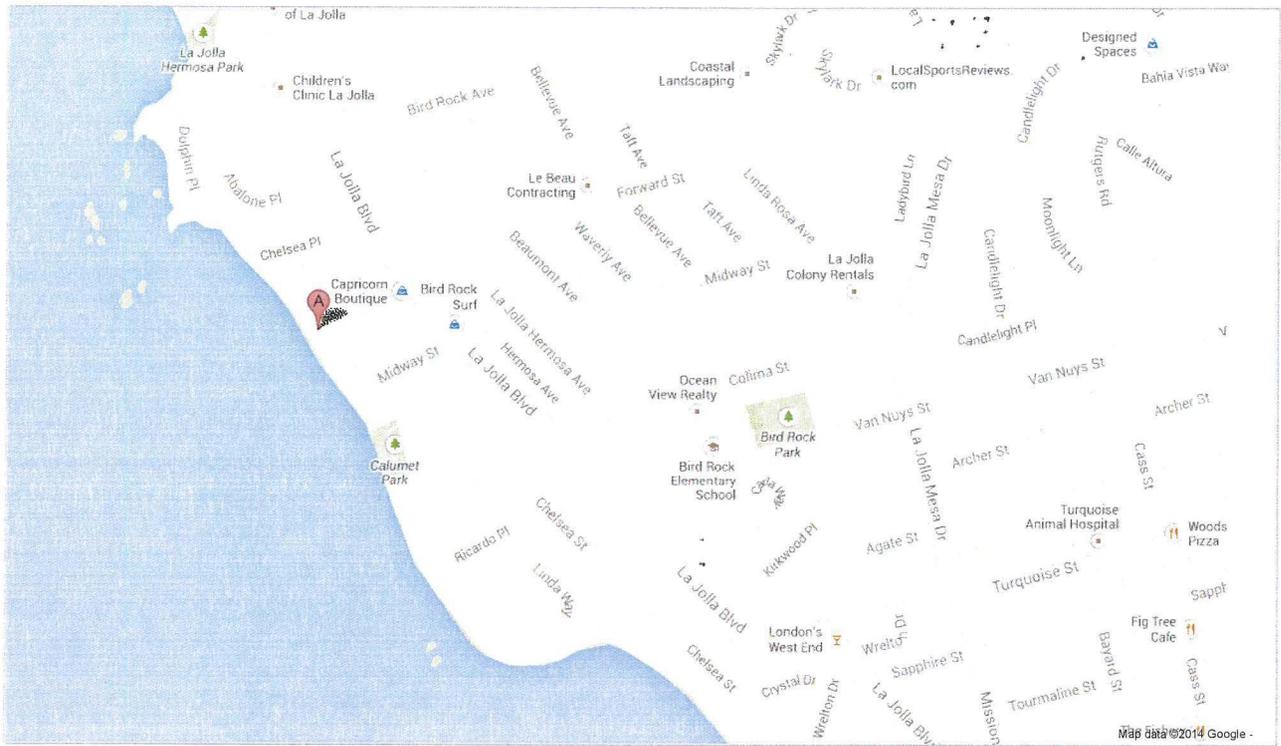


Community Land Use Map





To see all the details that are visible on the screen, use the "Print" link next to the map.





To see all the details that are visible on the screen, use the "Print" link next to the map.

SITE



Imagery ©2014 Google, Map data ©2014 Google



PROJECT TEAM:

ARCHITECT: MARTIN ARCHITECTURE
TIM MARTIN AIA
2333 STATE STREET STE 100
CARLSBAD, CA 92008
760.729.3470

CIVIL ENGINEER/
SURVEYOR: CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVE. SUITE J
SAN DIEGO, CA 92126
858.271.9901

GEO-TECHNICAL ENGINEER: GEOTECHNICAL EXPLORATION INC
7420 TRADE STREET
SAN DIEGO, CA 92121
858.549.7222

COASTAL ENGINEER: GEOSOILS, INC.
DAVID W. SKELLY, MS
5741 PALMER WAY
CARLSBAD, CA 92008
760.438.3155

LANDSCAPE ARCHITECT: TODD FRY LANDSCAPE ARCHITECT, ASIA
7920 PRINCESS STREET
LA JOLLA, CA 92037
858.459.8005

PROJECT DATA

SITE ADDRESS: 5550 CALUMET AVENUE
LA JOLLA, CA 92037

APN: 357-521-06

LOT AREA: 5,017 SF (.12 ACRE)

LEGAL DESC: LOT 36 OF CLIFFSIDE, IN THE CITY OF SAN DIEGO,
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

OWNER: ROBERT & KAREN MORSE

BASE ZONE: RS-1-7

OVERLAY ZONES: COASTAL: COASTAL HEIGHT LIMIT; FIRST PUBLIC ROADWAY; APPEALABLE AREA
PARKING IMPACT: RESIDENTIAL TANDEM PARKING; TRANSIT AREA
ESL- SENSITIVE COASTAL BLUFFS: SENSITIVE BIOLOGICAL; SENSITIVE COASTAL

OCCUPANCY: R3

CONSTRUCTION TYPE: VB

PARKING: NO. OF SPACES REQUIRED: 2 PROVIDED: 2

BUILDING HEIGHT: 27'-6" (30' MAX)

EASEMENTS & ENCUMBRANCES: NONE

HEIGHT LIMIT: SITE IS LOCATED WEST OF I-5, THE HIGHEST POINT OF THE
ROOF, EQUIPMENT, ANY PIPE VENT, ANTENNA OR ANY OTHER
PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE, AS
MEASURED PER PROP D OF THE SDMCMA

BCS STOPS: THERE ARE NO EXISTING OR PROPOSED BUS/TRANSIT
STATIONS OR STOPS

FIRE DEPT. REQ'MENT:
• PROVIDE BUILDING ADDRESS NUMBERS VISIBLE & LEGIBLE
FROM STREET PER FHPS POLICY P-00-6 (UFC 901.4.4)
• SEE VICINITY MAP FOR HYDRANT LOCATIONS
• 12, 47 & 53



SCOPE OF WORK

- RENOVATIONS & SECOND STORY ADDITION TO EXISTING 1 STORY 2,010 SF SINGLE FAMILY RESIDENCE;
EXPANDING EXISTING GARAGE TO PROVIDE 2 CAR PARKING
- REMOVAL OF MIDDLE DECK; REMOVAL OF VERTICAL ACCESS STAIRS TO BEACH
- NEW STORM DRAINAGE SYSTEM W/ ALL SURFACE RUNOFF ABOVE BLUFF COLLECTED & CONVEYED TO STREET

PREVIOUSLY CONFORMING CONDITIONS

- EXISTING STRUCTURE EXTENDS BEYOND 40' BLUFF EDGE SETBACK
- EXISTING SEAWALL & GUNITED BLUFF FACE
- EXISTING WOOD FRAMED DECKS (3) W/IN 5' BLUFF EDGE SETBACK
- EXISTING CHAIN LINK FENCE @ REAR PROPERTY LINE

REQUIRED DISCRETIONARY PERMIT APPROVAL

- COASTAL DEVELOPMENT PERMIT
SITE DEVELOPMENT PLAN

SHEET INDEX

- 1 SITE PLAN
- 2 (C2) GRADING & DRAINAGE PLAN
- 3 SITE SECTIONS
- 4 SURVEY
- 5 BLUFF EDGE PLOT PLAN
- 6 DEMO PLAN
- 7 MAIN LEVEL PLAN
- 8 UPPER LEVEL PLAN
- 9 ELEVATIONS
- 10 ELEVATIONS/SECTIONS
- 11 SECTIONS
- 12 ROOF/BUILDING HEIGHT PLAN
- 13 CONCEPTUAL FRAMING PLANS
- 14 (L1) LANDSCAPE PLANS

NOTE: NO ACCESS GATE SHALL SWING
OPEN INTO THE CALUMET AVE
RIGHT OF WAY

APPLICABLE CODES

2010 CALIFORNIA RESIDENTIAL CODE (CRC)
2010 CALIFORNIA MECHANICAL CODE (CMC)
2010 CALIFORNIA PLUMBING CODE (CPC)
2010 CALIFORNIA ELECTRICAL CODE (CEC)
2010 CALIFORNIA FIRE CODE (CFC)
2008 BUILDING ENERGY EFFICIENCY STANDARDS
CITY OF SAN DIEGO LAND DEVELOPMENT CODE (LDC)
CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

PERMIT HISTORY

| | | |
|----------------------------|------|---|
| ORIGINAL HOUSE CONSTRUCTED | 1952 | |
| WOOD DECK | 1966 | |
| PATIO & FENCING | 1967 | |
| RIP RAP & CLIFF PROTECTION | 1973 | |
| ADDITION @ COURTYARD | 1977 | |
| PRELIMINARY REVIEW #266243 | 2012 | (HISTORIC-NOT ELIGIBLE) |
| PRELIMINARY REVIEW #308330 | 2013 | PLANNING - CONFIRM SETBACKS & EXIST GFA |

GROSS FLOOR AREA SUMMARY

| | |
|-------------------------------|--|
| EXISTING MAIN LEVEL HABITABLE | 1,325 SF |
| EXISTING MAIN LEVEL GARAGE | 340 SF |
| EXISTING COVERED LOGGIA | 345 SF |
| EXISTING MAIN LEVEL GROSS | 2,010 SF (CONFIRMED BY PRELIM. REVIEW #308330) |

LOT AREA 5,019 SF
MAX ALLOWABLE GFA 5,019 x .59 = 2,961 SF

ANALYSIS OF 50% MAX ADD'N CRITERIA (PER LT COMMUNITY PLAN)
MAX ADDITION = 2,010 SF x 50% = 1,005 SF
2,010 SF + 1,005 SF = 3,015 SF > 2,961 SF
MAX ALLOWABLE GFA = 2,961 SF (TABLE 131-047 GOVERNS)

PROPOSED BUILDING AREAS

| | |
|----------------------------|----------|
| MAIN LEVEL HABITABLE | 1,460 SF |
| UPPER LEVEL HABITABLE | 1,015 SF |
| TOTAL HABITABLE | 2,475 SF |
| GARAGE | 435 SF |
| COVERED LANAI (UNDER HAB.) | 25 SF |

TOTAL PROPOSED GROSS FLOOR AREA 2,935 SF (2,961 SF ALLOWED)

PROPOSED F.A.R. = 2,935 / 5,019 = .58

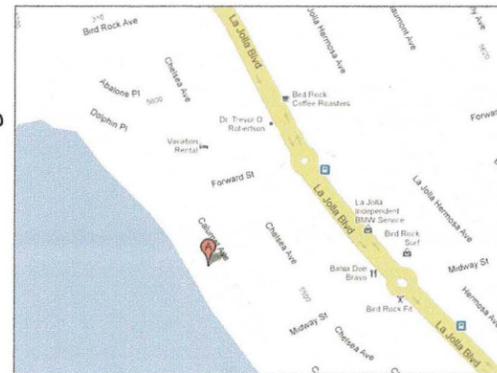
SENSITIVE COASTAL BLUFFS

BLUFF FRONTING THIS PROPERTY IS PROTECTED BY AN EXISTING SEAWALL & BLUFF PROTECTION SYSTEM. PER SDMC SECTION 143.0143, THE 40' BLUFF SETBACK CANNOT BE REDUCED. PROPOSED NEW CONSTRUCTION IS ENTIRELY SUPPORTED BEHIND THIS 40' BLUFF SETBACK (SEE SHEET 13).

ALL EXISTING ACCESSORY STRUCTURES WITHIN 5' OF THE BLUFF EDGE & DEEMED TO BE NOT NECESSARY FOR THE STABILITY OF THE BLUFF ARE PROPOSED TO BE REMOVED.

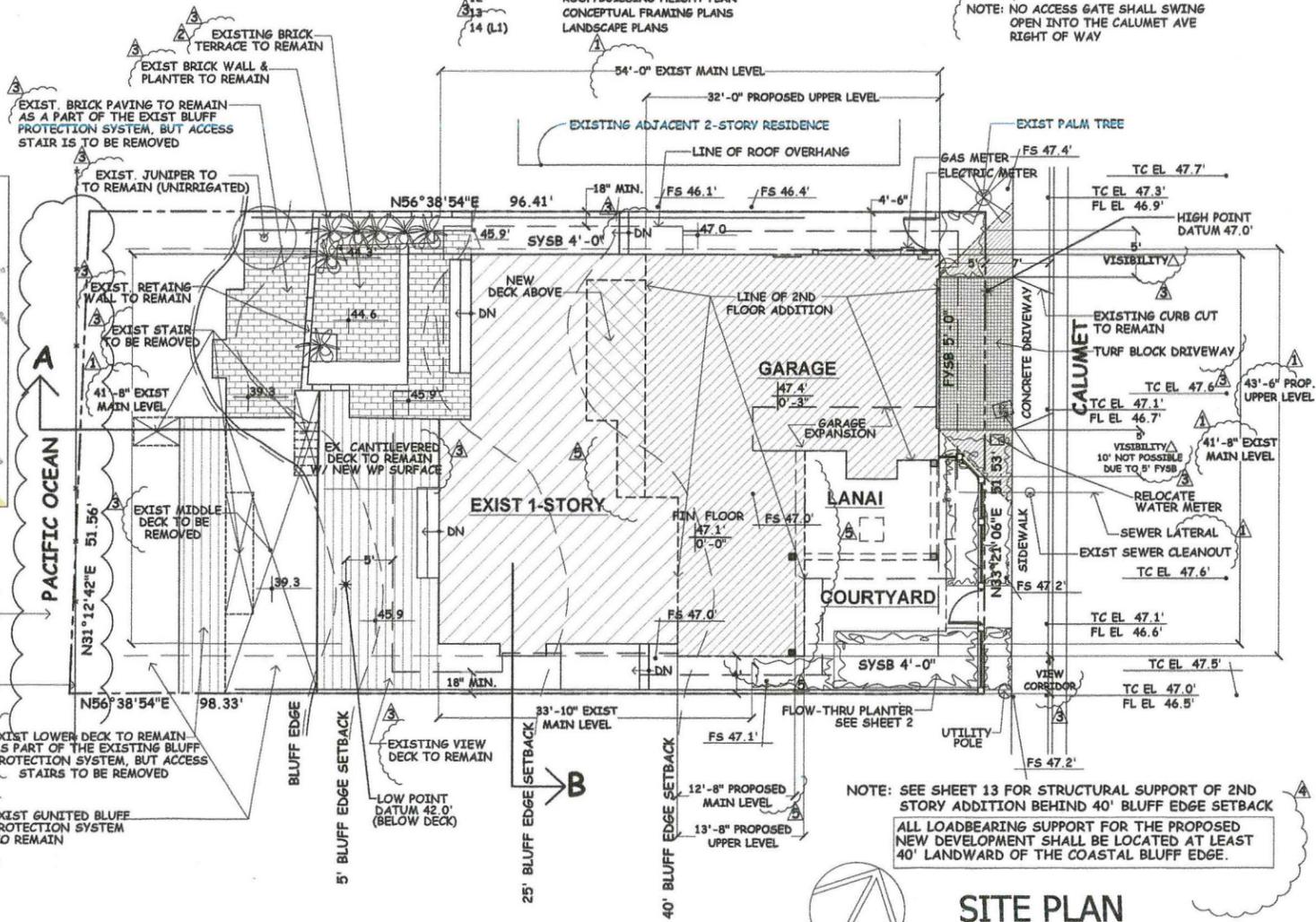
A COVENANT OF EASEMENT FOR ESL REGULATIONS IS REQUIRED TO PRESERVE THE COASTAL BLUFF.

VICINITY MAP:



LEGEND

- EXISTING 1-STORY
- SECOND FLOOR ADDITION
- SECOND LEVEL DECK



SITE PLAN

1/8"=1'-0"

NOTE: SEE SHEET 13 FOR STRUCTURAL SUPPORT OF 2ND
STORY ADDITION BEHIND 40' BLUFF EDGE SETBACK
ALL LOADBEARING SUPPORT FOR THE PROPOSED
NEW DEVELOPMENT SHALL BE LOCATED AT LEAST
40' LANDWARD OF THE COASTAL BLUFF EDGE.



MORSE RESIDENCE
5550 CALUMET, LA JOLLA CA

MARTIN ARCHITECTURE

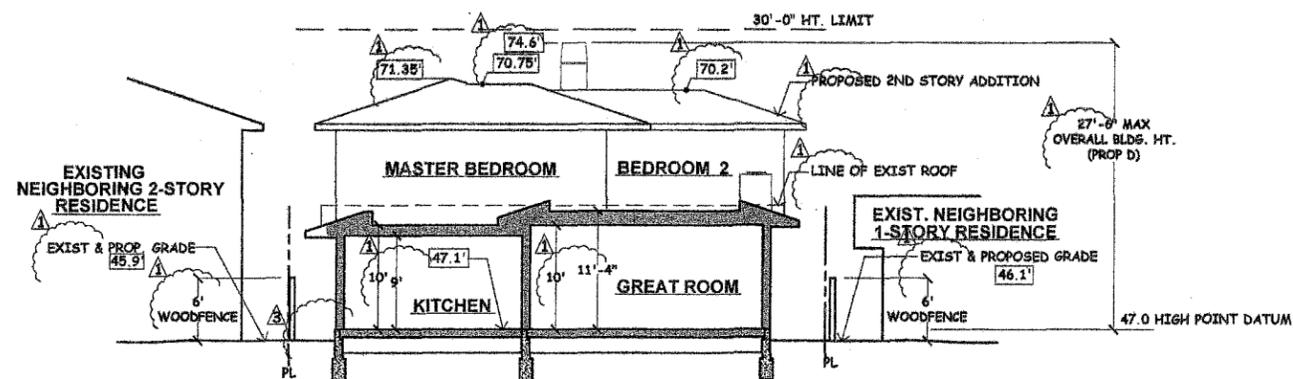
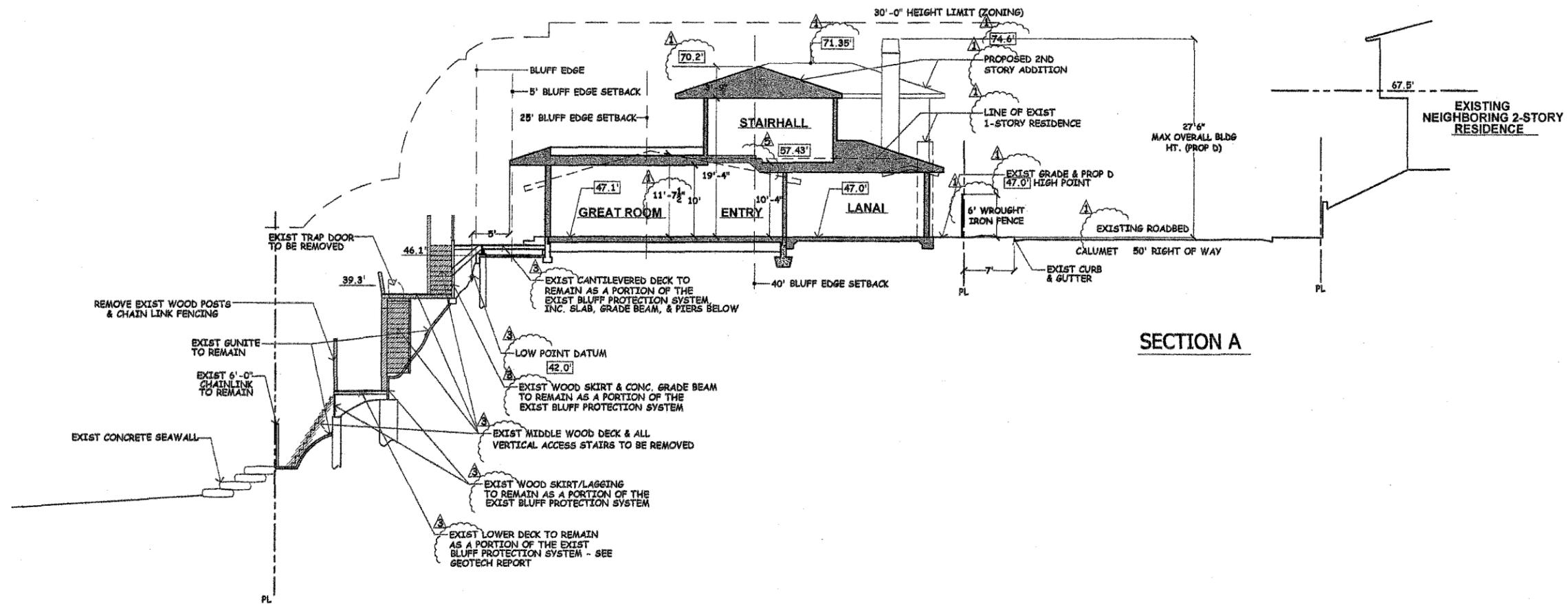
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 888-349-3474 (C)
tim@martinarchitecture.com

CP 5.2.13
5.20.13
9.10.13
01.03.14

SHEET NO.

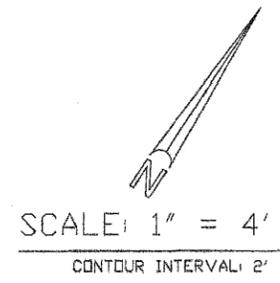
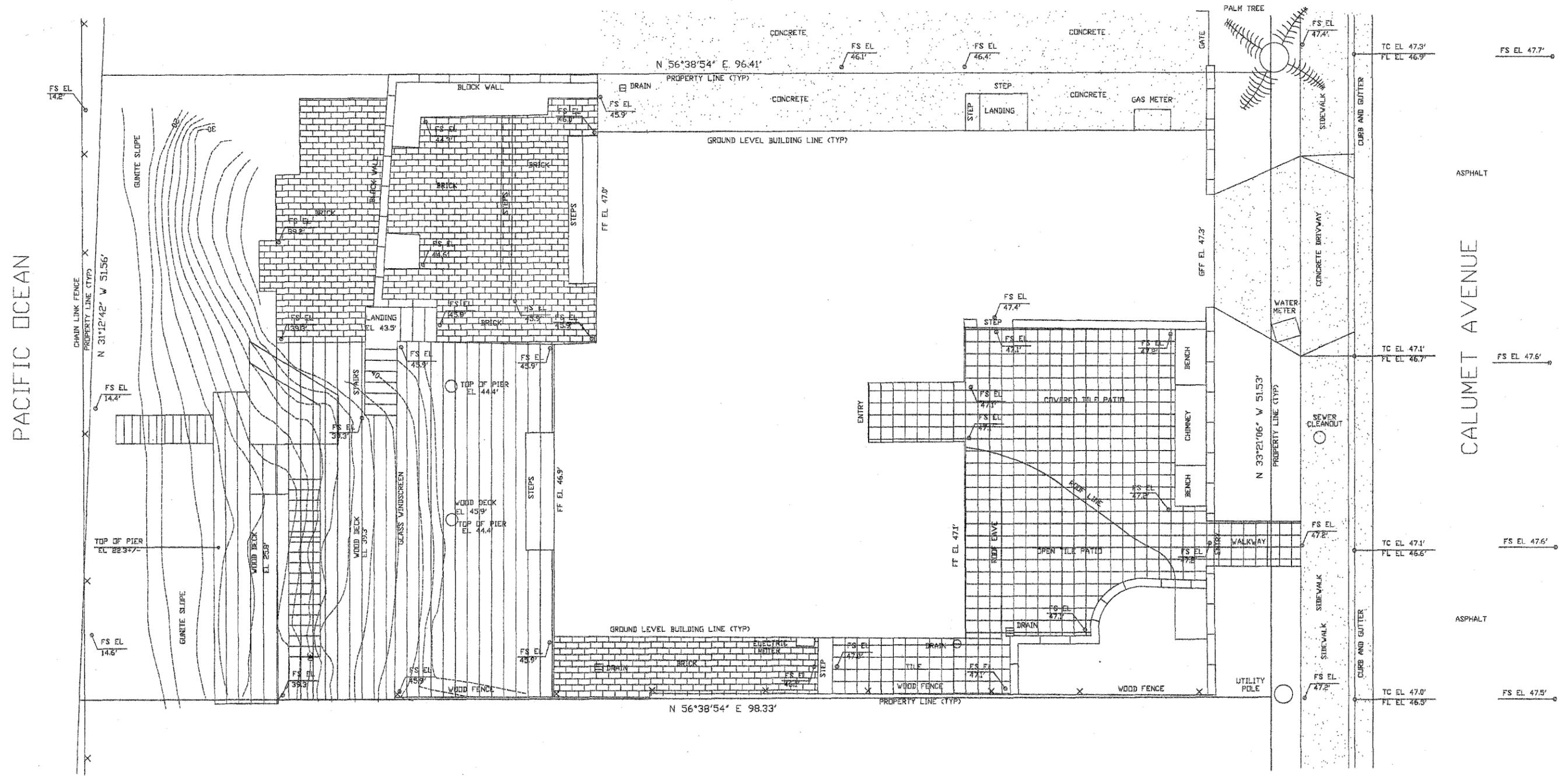
3

OF 14



SITE SECTIONS

1/8" = 1'-0"



LEGAL DESCRIPTION

LOT 36 OF CLIFFSIDE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2799, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 11, 1951.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK BRASS PLUG LOCATED AT THE SOUTHWESTERLY CORNER OF CALUMET AVENUE AND FORWARD STREET. ELEVATION = 40.81' MEAN SEA LEVEL (N.G.V.D. 1929).

ABBREVIATIONS

| | |
|-----|---------------------|
| EL | ELEVATION |
| FF | FINISH FLOOR |
| FL | FLOW LINE |
| FG | FINISH GRADE |
| FS | FINISH SURFACE |
| GFF | GARAGE FINISH FLOOR |
| TC | TOP OF CURB |
| TYP | TYPICAL |

NOTES

- EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. TITLE REPORT NOT PROVIDED.
- THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
- THE ADDRESS FOR THE SUBJECT PROPERTY IS 5550 CALUMET AVENUE, LA JOLLA, CA 92037.
- THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 357-821-06.
- THE AREA OF THE SUBJECT PROPERTY IS 0.12 ACRES.

CE & S CHRISTENSEN ENGINEERING & SURVEYING
 CIVIL ENGINEERS LAND SURVEYORS PLANNERS
 7888 SILVERTON AVENUE, SUITE 'J', SAN DIEGO, CALIFORNIA 92126
 TELEPHONE: (658)271-9901 FAX: (658)271-8912

PATRICK F. CHRISTENSEN, P.L.S. 7208 Date 02-21-13



Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7888 SILVERTON AVENUE, SUITE 'J'
 SAN DIEGO, CA 92126
 PHONE (658)271-9901 FAX (658)271-8912

Project Address:
 5550 CALUMET AVENUE
 LA JOLLA, CA 92037

Project Name:
 MORSE RESIDENCE

Sheet Title:
 TOPOGRAPHIC MAP

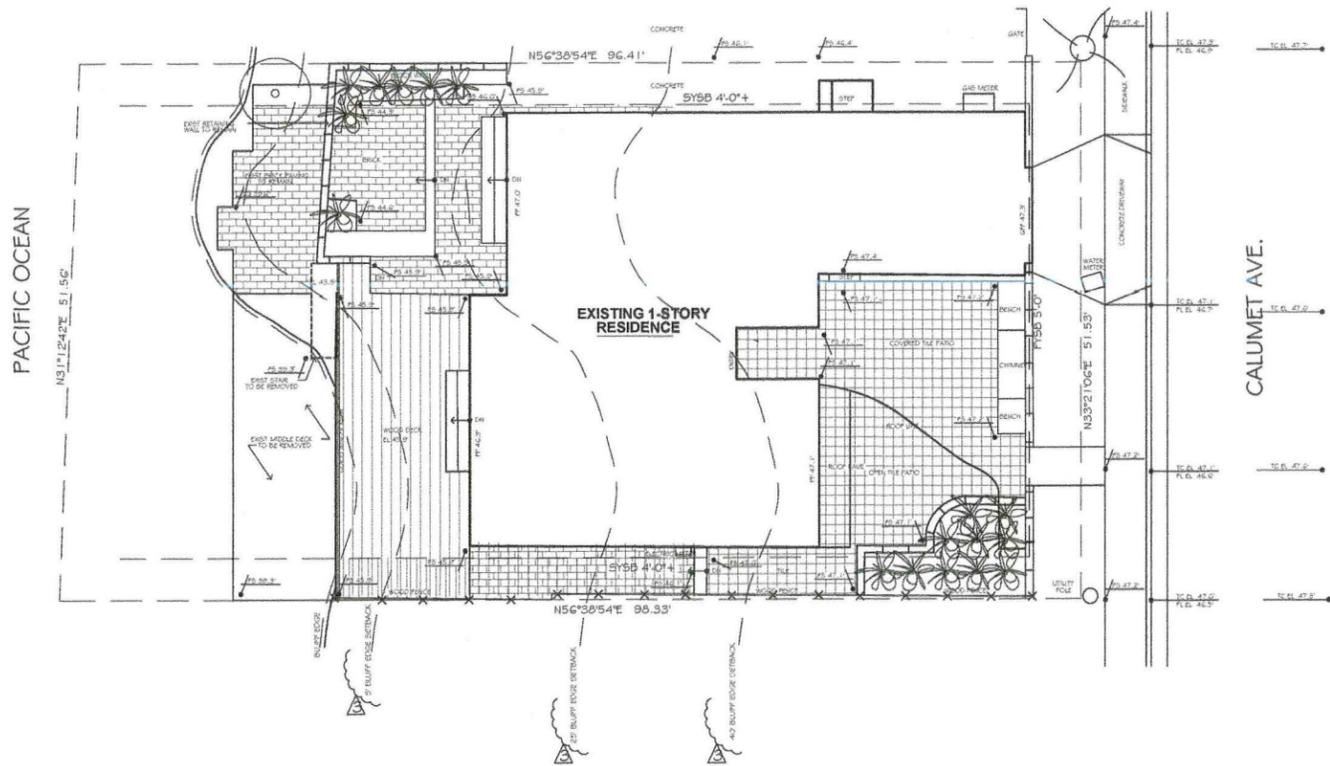
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 8-15-13 ADDED BLUFF TOPD
- Revision 1: 4-4-13 CHANGED SCALE

Original Date: FEBRUARY 21, 2013

Sheet 4 of 14

DEP# _____

MORSE RESIDENCE
5550 CALUMET, LA JOLLA CA



NORTH

BLUFF EDGE PLOT PLAN

1/8" = 1'-0"

CDP 5.2.13
9.10.13

SHEET NO.

5

OF 14

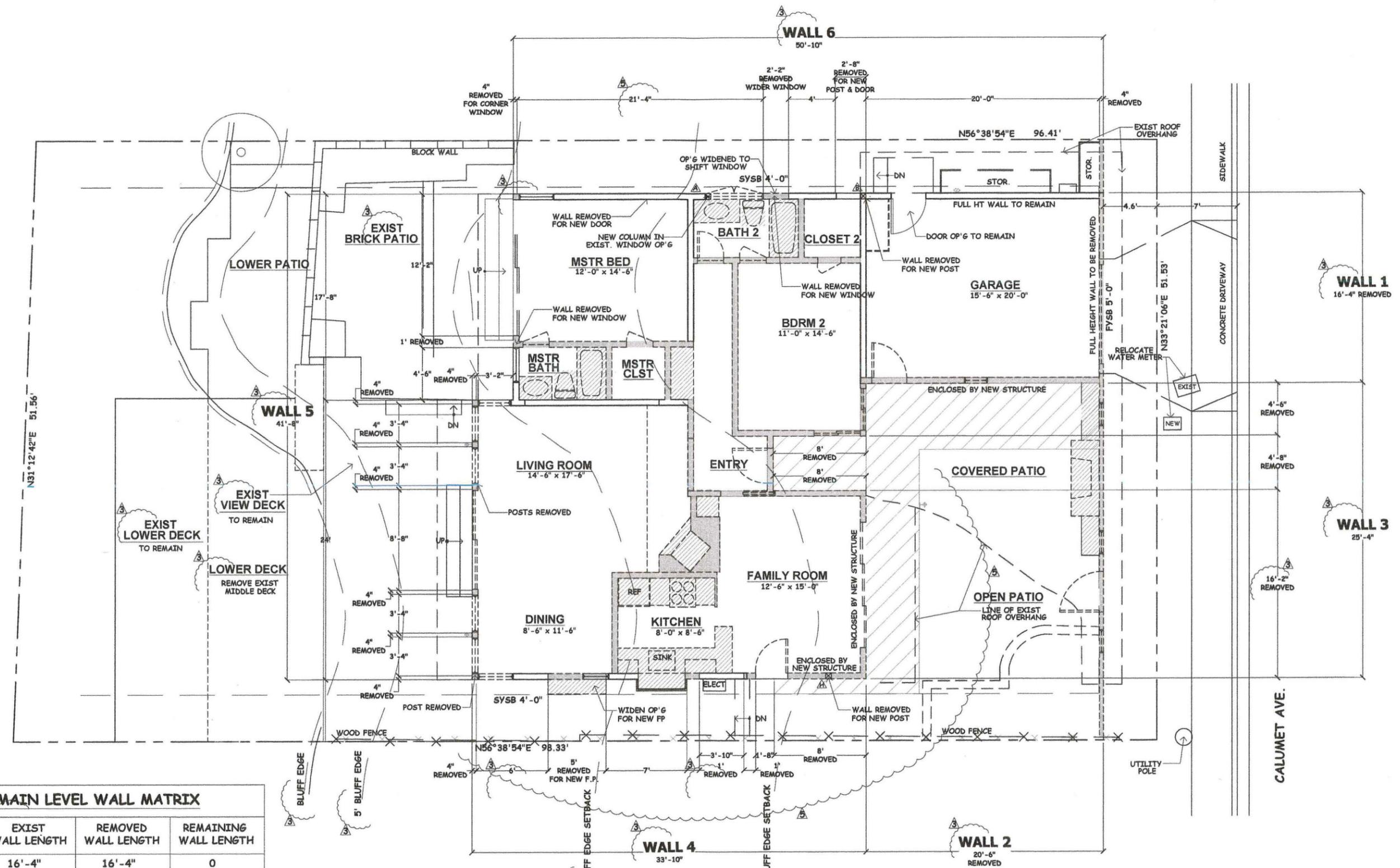


MORSE RESIDENCE
5550 CALUMET, LA JOLLA CA

MARTIN M ARCHITECTURE
Tim Martin A.I.A.

2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

CDP 5.2.13
5.20.13
9.10.13
01.03.14



| MAIN LEVEL WALL MATRIX | | | |
|------------------------|-------------------|---------------------|-----------------------|
| WALL NUMBER | EXIST WALL LENGTH | REMOVED WALL LENGTH | REMAINING WALL LENGTH |
| 1 | 16'-4" | 16'-4" | 0 |
| 2 | 20'-6" | 20'-6" | 0 |
| 3 | 41'-4" | 41'-4" | 0 |
| 4 | 33'-10" | 15'-4" | 18'-6" |
| 5 | 45'-2" | 3'-8" | 41'-6" |
| 6 | 50'-10" | 5'-6" | 45'-4" |
| TOTAL | 208'-0" | 102'-8" | 105'-4" |

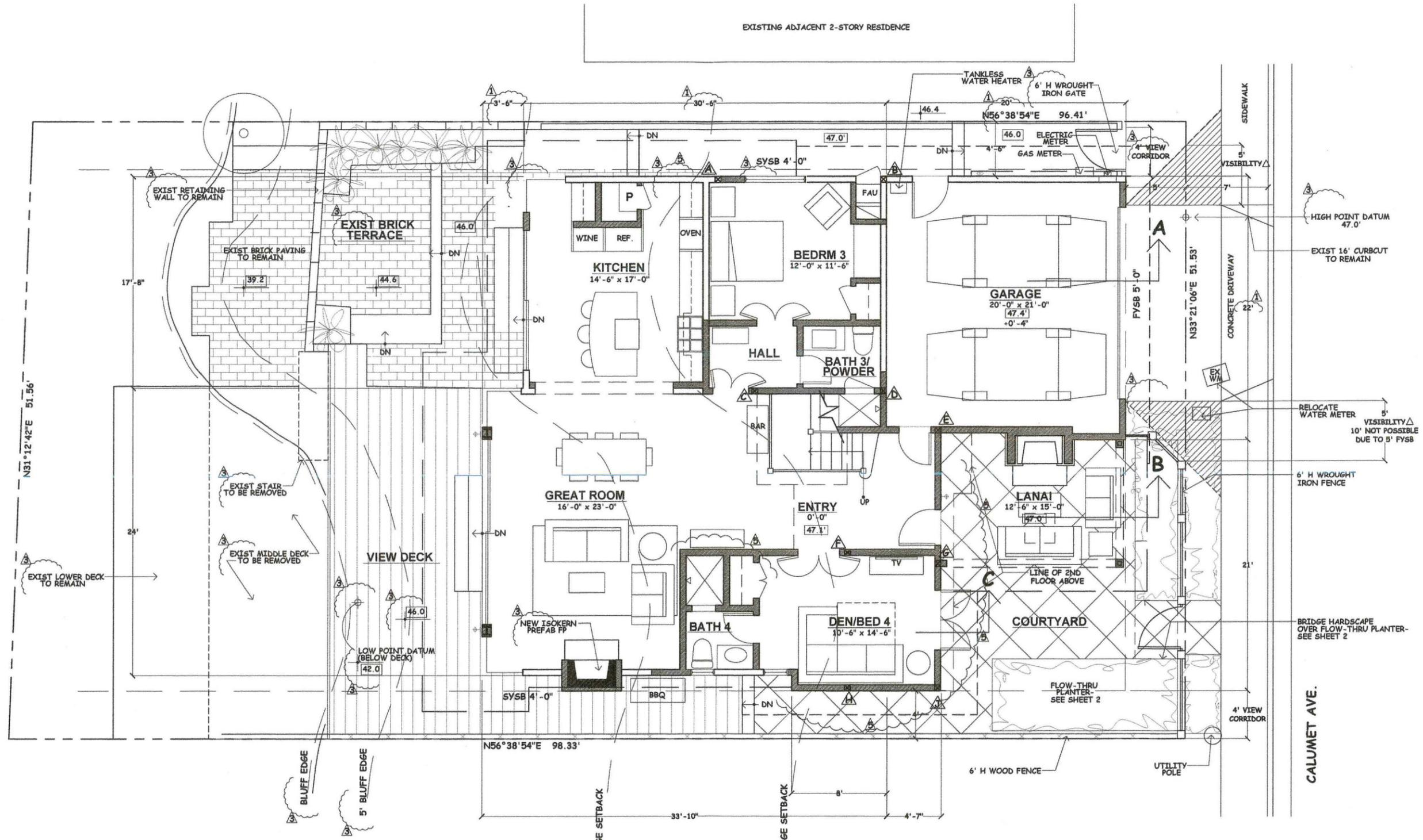
49% OF ORIGINAL WALL LENGTH TO REMAIN

- DEMOLITION SYMBOL**
- NO CHANGE TO EXISTING EXTERIOR WALL
 - WALL REMOVAL PER DEFINITION OF CITY OF SAN DIEGO
 - EXISTING FIXTURES TO BE REMOVED
 - NEW COLUMN - SEE SHEET 13



DEMO PLAN

1/4" = 1'-0"



PROPOSED BUILDING AREAS

| | |
|----------------------------|----------|
| MAIN LEVEL HABITABLE | 1,460 SF |
| UPPER LEVEL HABITABLE | 1,015 SF |
| TOTAL HABITABLE | 2,475 SF |
| GARAGE | 435 SF |
| COVERED LANAI (UNDER HAB.) | 25 SF |

TOTAL PROPOSED GROSS FLOOR AREA 2,935 SF (2,961 SF ALLOWED)

PROPOSED F.A.R. = 2,935 / 5,019 = .58

LEGEND

- EXIST WALLS
- NEW PARTITION
- NEW COLUMN - SEE SHEET 13

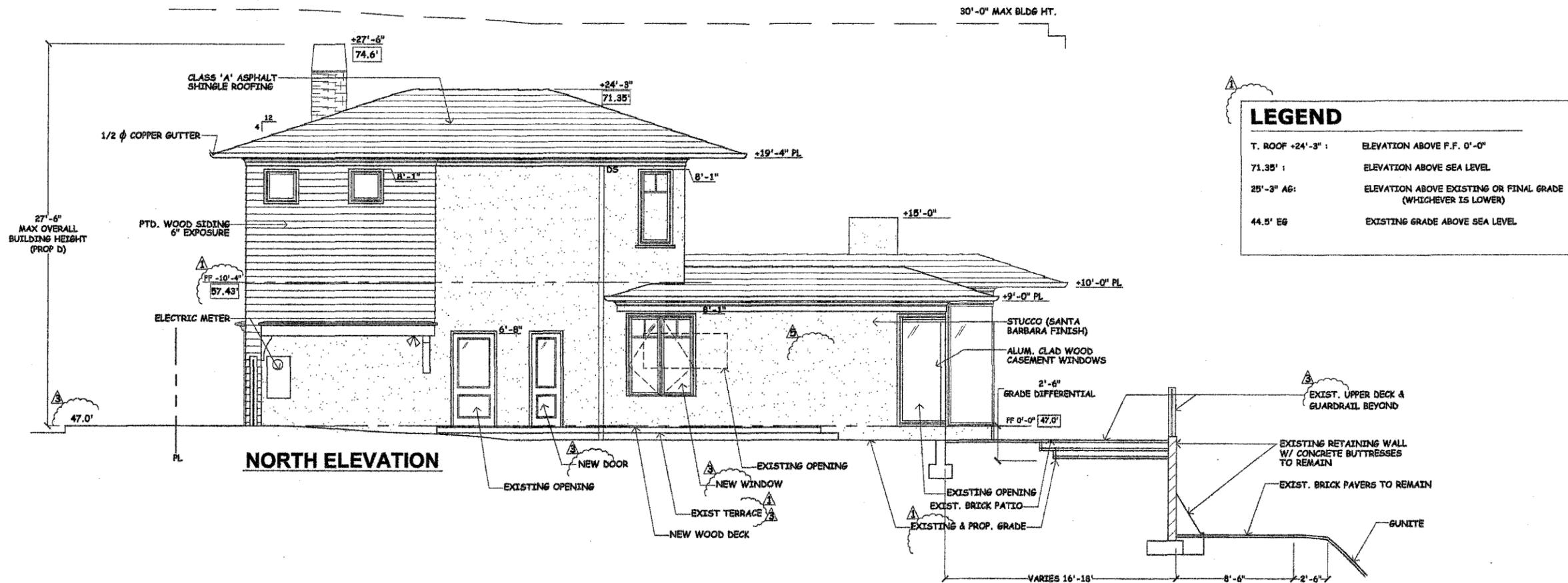
NOTE: SEE SHEET 13 FOR STRUCTURAL SUPPORT OF 2ND STORY ADDITION BEHIND 40' BLUFF EDGE SETBACK

MAIN LEVEL PLAN

1/4" = 1'-0"

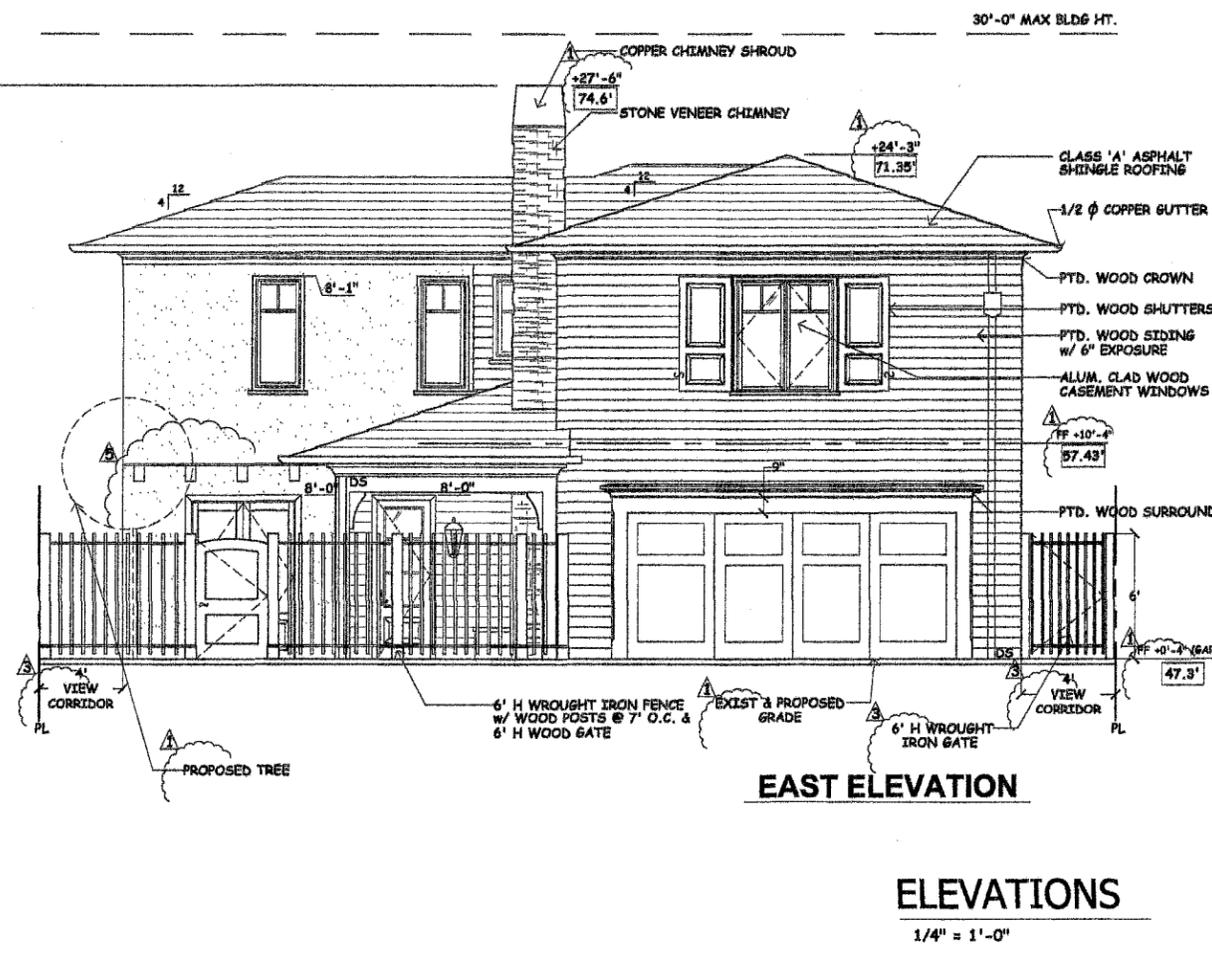
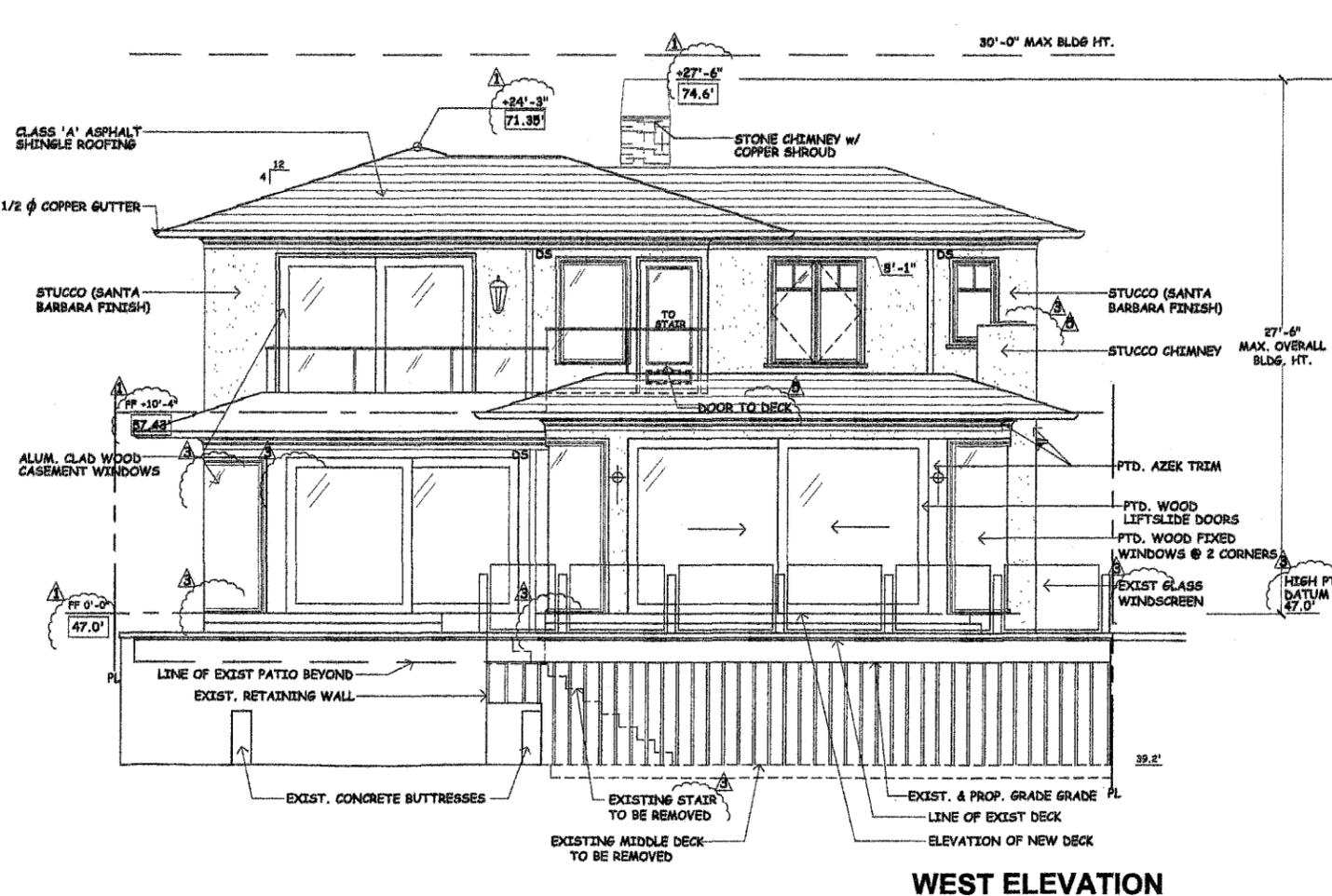


NORTH

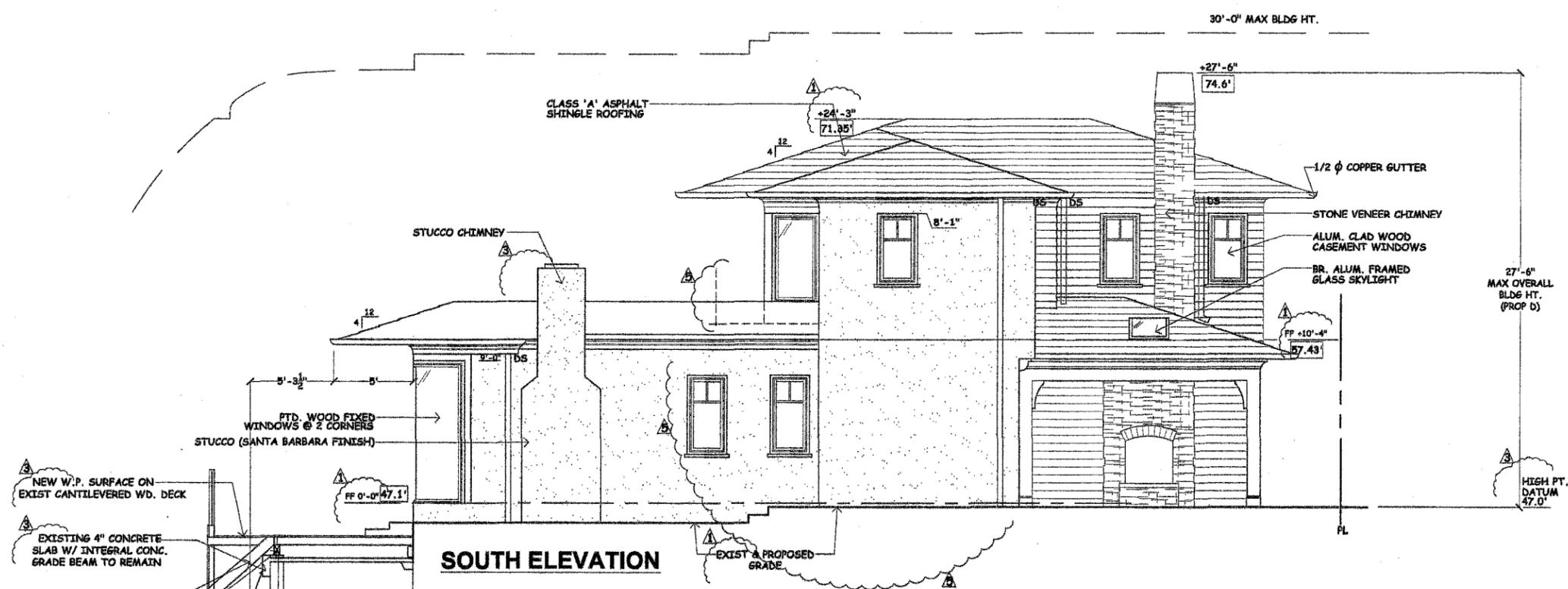


LEGEND

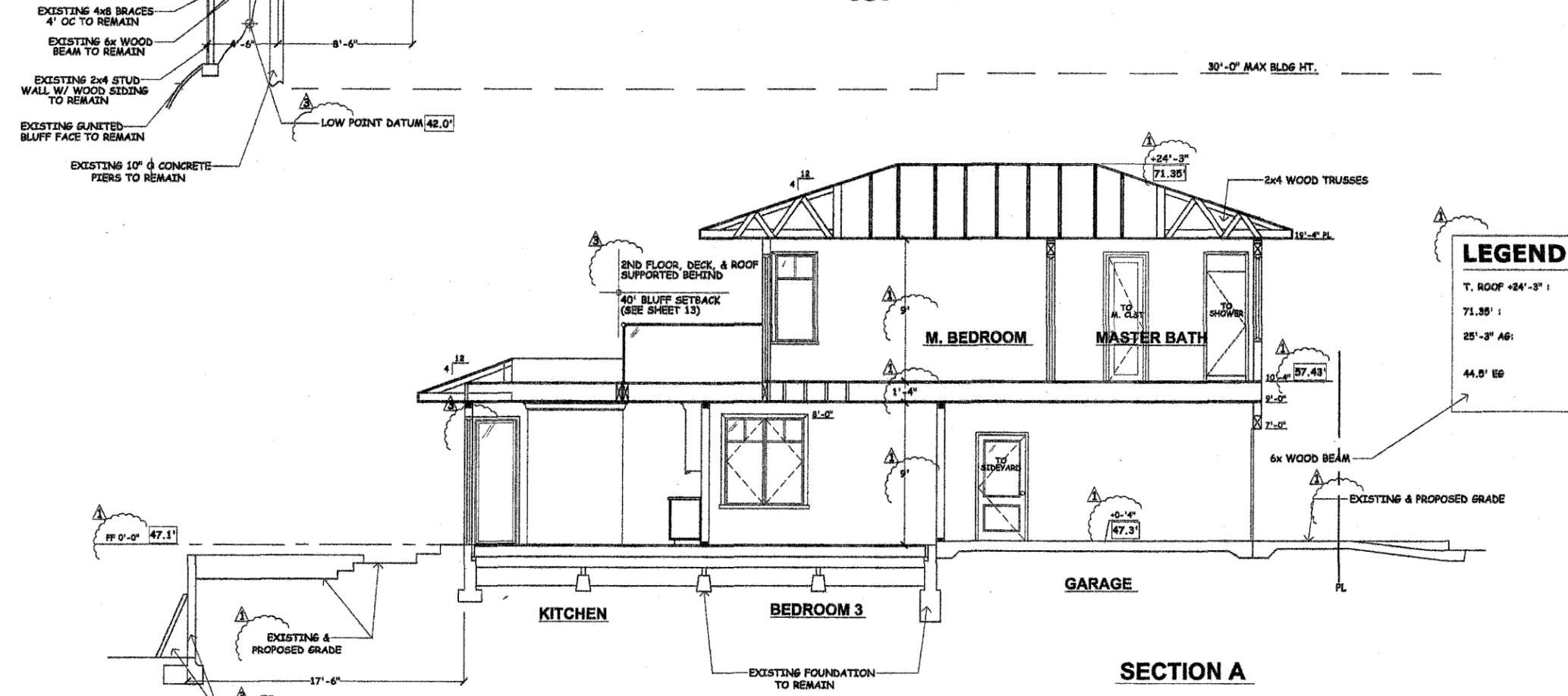
| | |
|-----------------|--|
| T. ROOF +24'-3" | ELEVATION ABOVE F.F. 0'-0" |
| 71.35' | ELEVATION ABOVE SEA LEVEL |
| 25'-3" AG: | ELEVATION ABOVE EXISTING OR FINAL GRADE (WHICHEVER IS LOWER) |
| 44.5' EG | EXISTING GRADE ABOVE SEA LEVEL |



ELEVATIONS
1/4" = 1'-0"



SOUTH ELEVATION

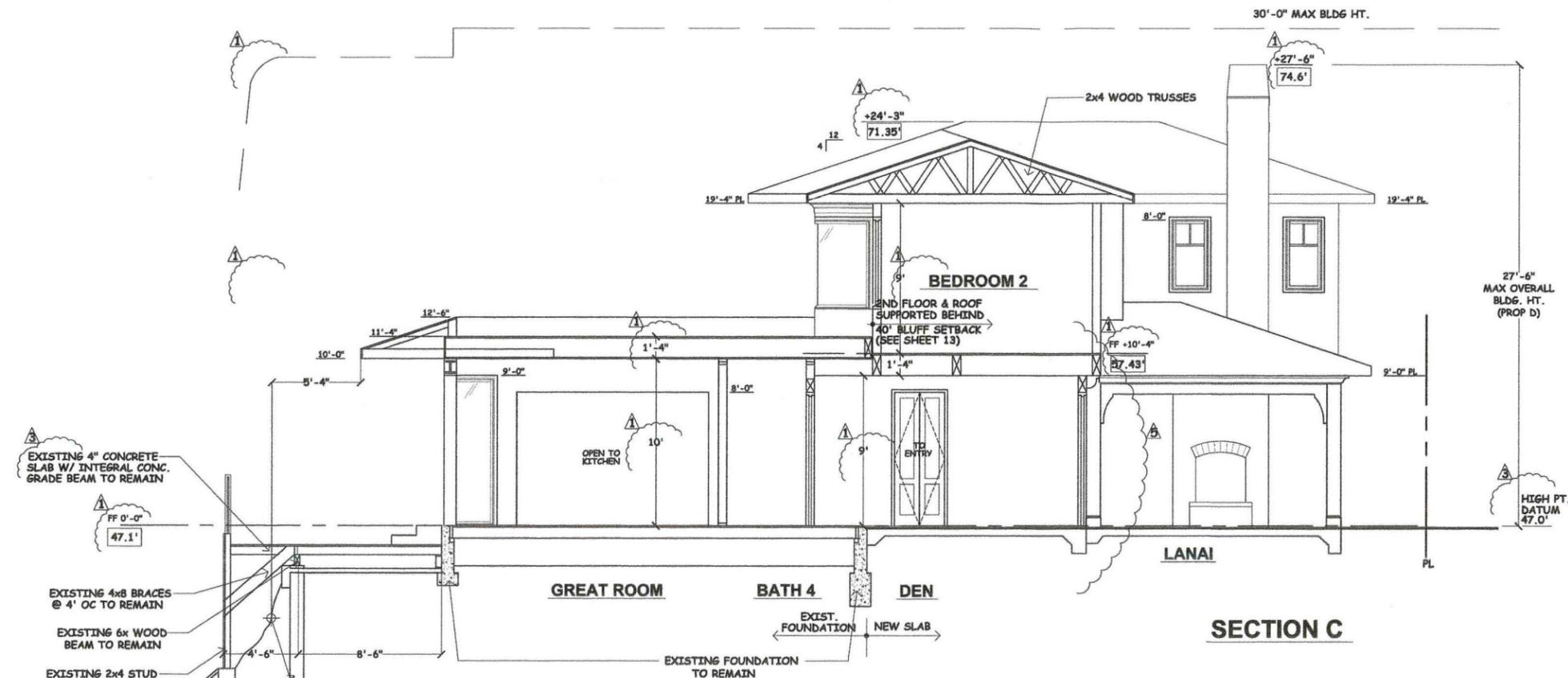


SECTION A

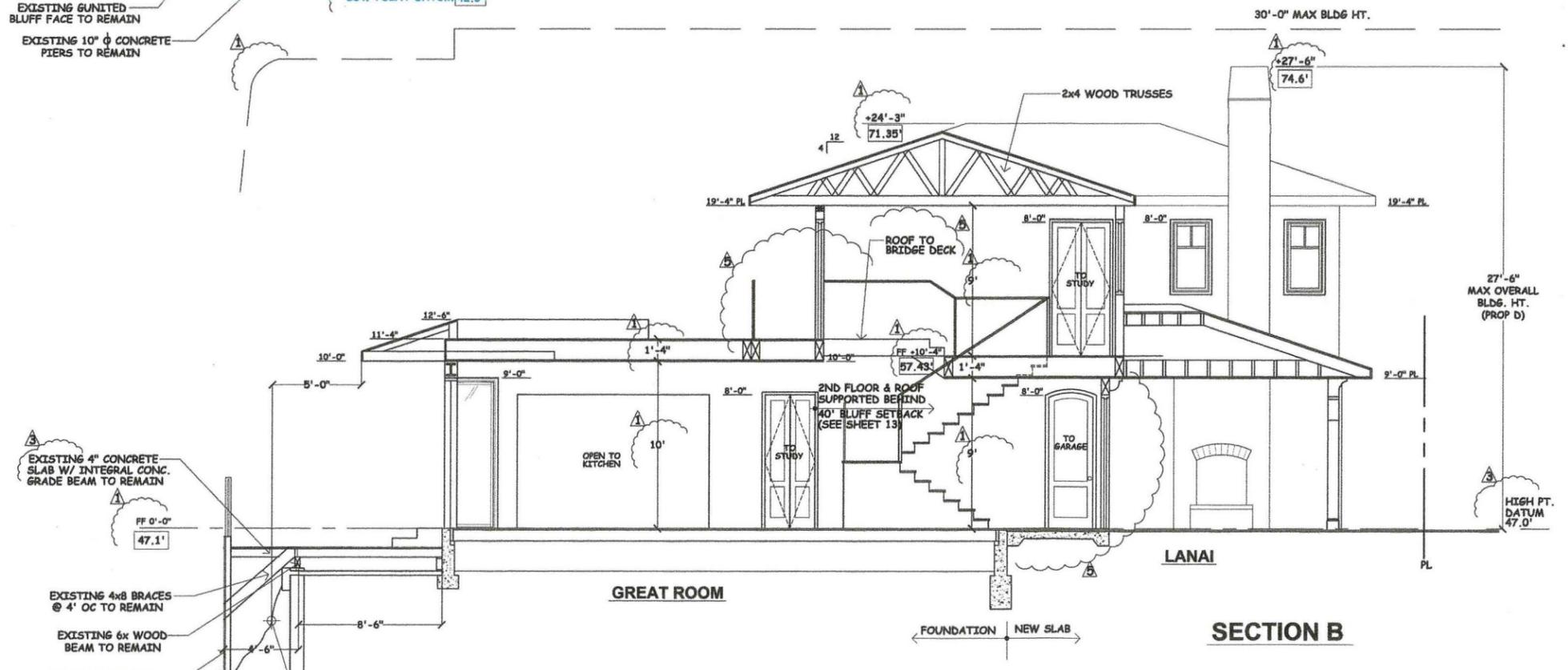
| LEGEND | |
|-----------------|--|
| T. ROOF +24'-3" | ELEVATION ABOVE F.F. 0'-0" |
| 71.35' | ELEVATION ABOVE SEA LEVEL |
| 25'-3" AG | ELEVATION ABOVE EXISTING OR FINAL GRADE (WHICHEVER IS LOWER) |
| 44.5' EG | EXISTING GRADE ABOVE SEA LEVEL |

ELEVATIONS/SECTIONS

1/4" = 1'-0"



SECTION C



SECTION B

LEGEND

| | |
|-----------------|--|
| T. ROOF +24'-3" | ELEVATION ABOVE F.F. 0'-0" |
| 71.35' | ELEVATION ABOVE SEA LEVEL |
| 25'-3" A6: | ELEVATION ABOVE EXISTING OR FINAL GRADE (WHICHEVER IS LOWER) |
| 44.5' E6 | EXISTING GRADE ABOVE SEA LEVEL |

SECTIONS
1/4" = 1'-0"



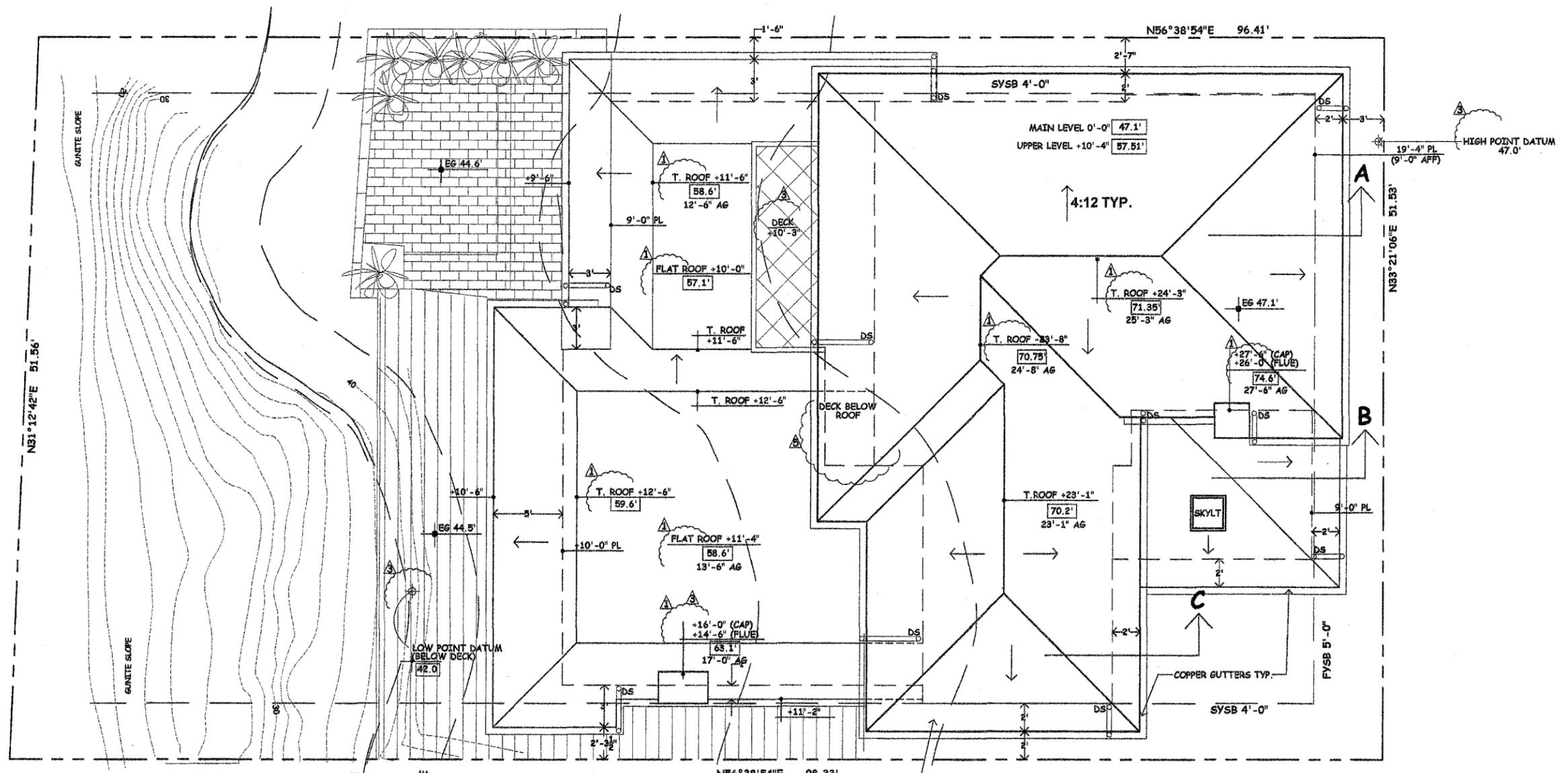
MORSE RESIDENCE
5550 CALUMET, LA JOLLA CA

MARTIN M ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

4.11.13
▲ 5.20.13
▲ 9.10.13
▲ 01.03.14

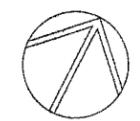
SHEET NO.
12

EXISTING ADJACENT 2-STORY RESIDENCE



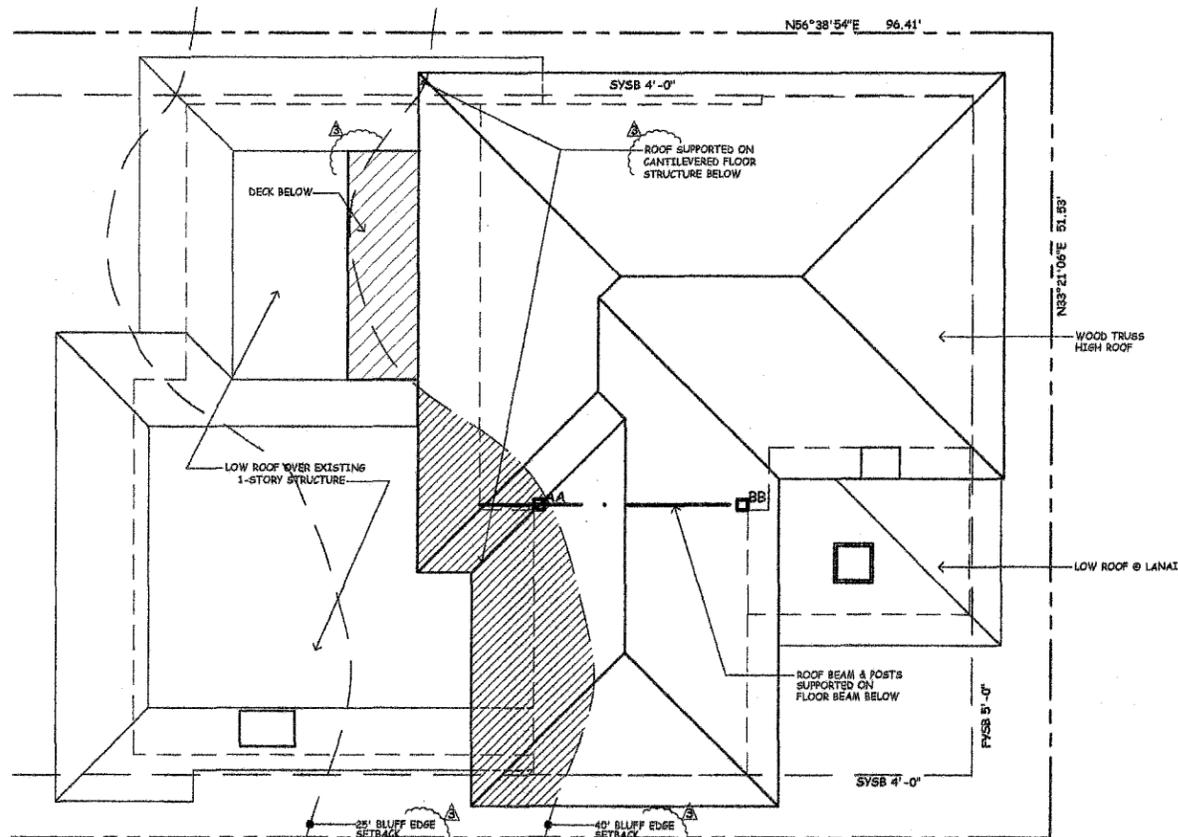
NOTE: SEE SHEET 13 FOR STRUCTURAL SUPPORT OF 2ND STORY ADDITION BEHIND BLUFF EDGE SETBACK

| LEGEND | |
|-----------------|--|
| T. ROOF +24'-3" | ELEVATION ABOVE F.F. 0'-0" |
| 71.35' | ELEVATION ABOVE SEA LEVEL |
| 25'-3" AG | ELEVATION ABOVE EXISTING OR FINAL GRADE (WHICHEVER IS LOWER) |
| 44.5' EG | EXISTING GRADE ABOVE SEA LEVEL |



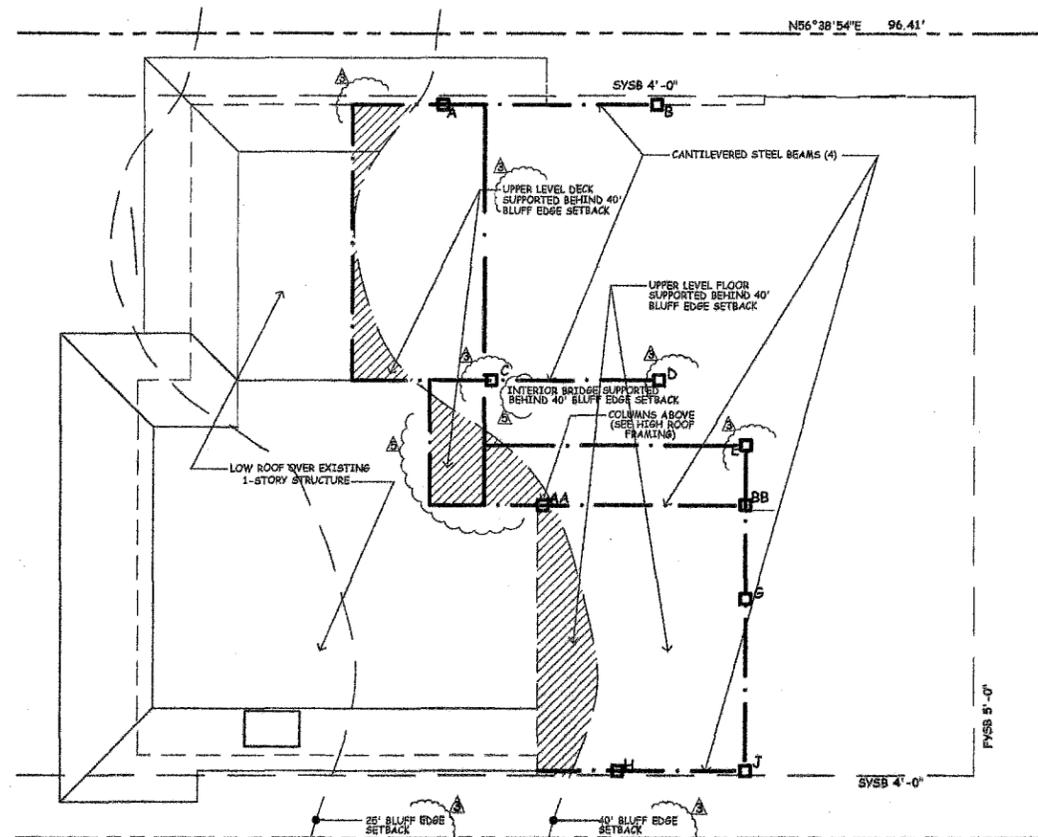
NORTH

ROOF PLAN/BLDG HT.
1/4" = 1'-0"



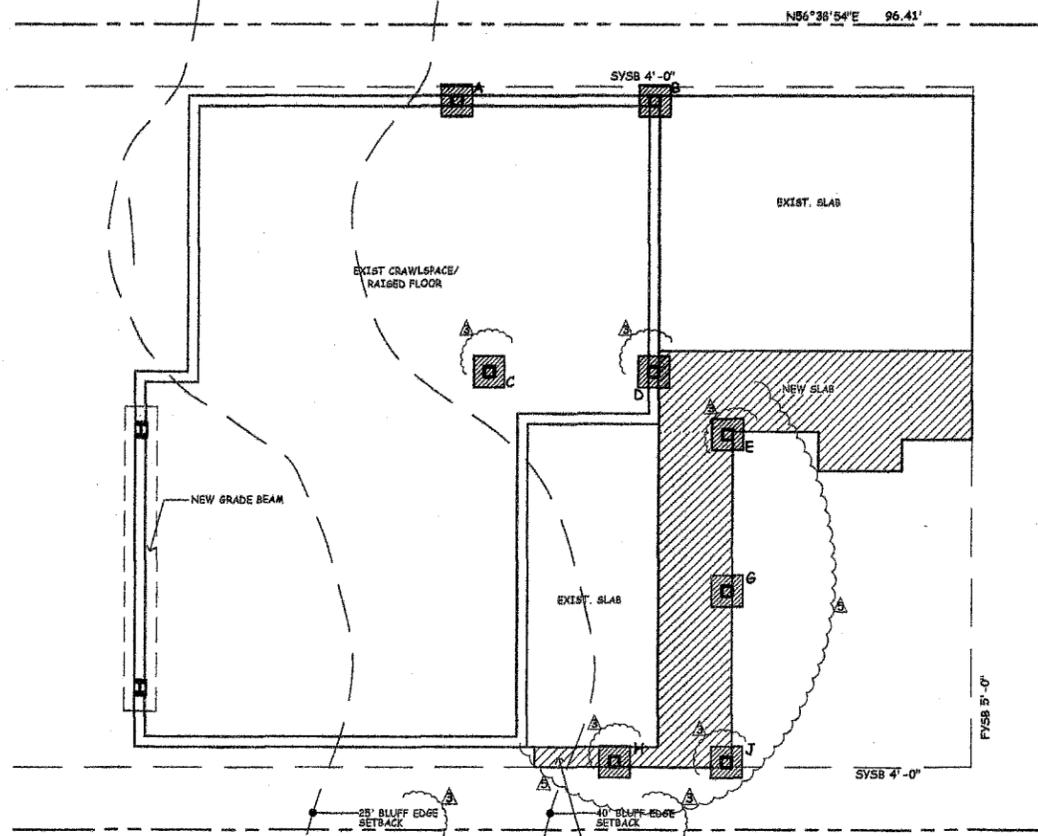
HIGH ROOF FRAMING DIAGRAM

3/16" = 1'-0"



UPPER LEVEL FRAMING DIAGRAM

3/16" = 1'-0"



FOUNDATION/LOWER FLOOR FRAMING DIAGRAM

3/16" = 1'-0"

ALL LOADBEARING SUPPORT FOR THE PROPOSED NEW DEVELOPMENT SHALL BE LOCATED AT LEAST 40' LANDWARD OF THE COASTAL BLUFF EDGE.

NOTE: ALL CONSTRUCTION SUPPORTED BEHIND 40' BLUFF EDGE SETBACK.



NORTH

CONCEPTUAL FRAMING PLANS

3/16" = 1'-0"

LANDSCAPE DESIGN STATEMENT:

Goal:

Provide a landscape that enhances the residential quality of Calumet, while specifying low-water and sea-tolerant plants. Using plants to soften the street-side façade, our goal was to bring living plant material to the development.

Objectives:

1. Consistent with the La Jolla PDO, low-water plants are specified.
2. Use plants that thrive in first exposure sea coast conditions.
3. Select plants that relate to human scale and enhance the experience of pedestrians and occupants.
4. Street tree to be consistent with La Jolla Street Tree recommendations for Zone 1.

LANDSCAPE & MAINTENANCE NOTES:

1. The long term maintenance of the project shall be the responsibility of the owner. The landscape areas shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
2. All landscape and irrigation required by this permit shall conform to the City of San Diego's Landscape Requirements Section 142.0400, the Land Development Manual Landscape Standards, and all other landscape related city and regional standards.
3. All canopy trees shall be provided a minimum root zone of 40 s.f. in area.

IRRIGATION SYSTEM NOTES:

1. All planting areas will be irrigated according to plant type and environmental exposure. Planting areas will receive complete water coverage by means of an automatically controlled, electronically operated, underground piped sprinkler system. Irrigation mainline piping shall be plastic (type 1220) schedule 40 or class 315 and class 200 or class 315 lateral lines. Lines will be installed at 18" deep for pressure lines and 12" deep for lateral lines.
2. Drip irrigation and low-emitting spray irrigation heads to be used.

ROOT BARRIER NOTES:

1. Root barrier type to be "Biobarrier" by Reemay Inc. (800) 284-2780.
2. Root barriers are not to be wrapped around root ball of tree.
3. Non-biodegradable root barriers shall be installed around all new street trees. Root barriers may be eliminated where the combination of tree species, soil type, soil area, and drainage conditions can be shown to afford equivalent protection against tree root damage to public improvements (LDC 142.0403).

LANDSCAPE CALCULATIONS

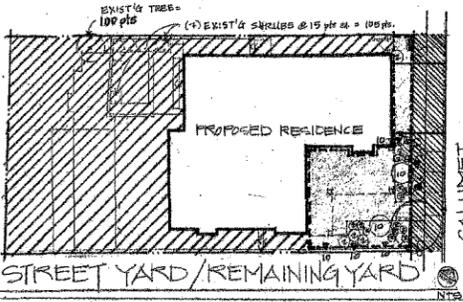
| | Required: | Provided/Claimed: |
|---|--------------------------------------|-------------------|
| Street Yard: | | |
| Total Area: | | 748 s.f. |
| Planting Area: | 373 s.f. (50% of total area) | 354 s.f. |
| Excess Points Applied to Reduce Square Footage Requirements per SDCMC: 142.0405 (a) (3) | 93 max. can be used (25%) | 19 s.f. |
| Plant Points: | 37 points (0.09 per total s.f.) | 104 points |
| Points Achieved through Trees: | 19 points (1/2 required points) | 20 points |
| Remaining Yard: | | |
| Total Area: | | 2488.5 s.f. |
| Planting Area: | 40 s.f. (1/60 s.f. per tree) | 92 s.f. |
| Plant Points: | 60 points | 205 points |
| Points Achieved through Trees: | 75 points (1/2 required points) | 100 points |
| Vehicular Use Area Within Street Yard: | | |
| Total Area: | | 105 s.f. |
| Planting Area (under 6000 s.f.): | 40 s.f. per tree | 20 s.f. |
| Plant Points: | 1 point (0.00 vehicular use area) | 18 points |
| Vehicular Use Area Outside Street Yard: | | |
| Total Area: | | 100 s.f. |
| Planting Area: | 5 s.f. | 40 s.f. |
| Plant Points: | 5 points | 12 points |
| Street Trees in Public Right-of-Way: | | |
| Length of street Frontage: | | 52 feet |
| Street Trees: | 1 (1 per every 30 feet) | 1 |

MINIMUM TREE SEPARATION DISTANCE

| IMPROVEMENT: | MINIMUM DISTANCE TO STREET TREE: |
|--|----------------------------------|
| Traffic Signal, Stop Sign | 20 feet |
| Underground Utility Lines | 5 feet |
| Above Ground Utility Structure (Transformers, hydrants, utility poles, etc.) | 10 feet |
| Driveways | 10 feet |
| Intersections | 25 feet |

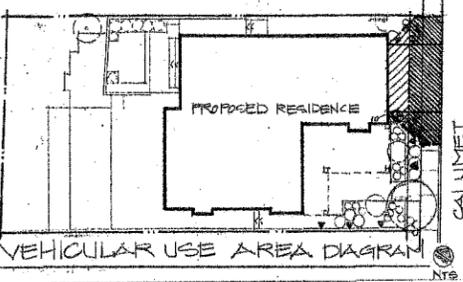
PLANT LEGEND

| SYMBOL | % SIZE | BOTANICAL NAME/COMMON NAME | FORM/FUNCTION | SIZE AT MATURITY |
|----------------------------|---------------|---|--------------------|-------------------------------------|
| TREES & PALMS | | | | |
| ○ | 100% 24" box | SUCH AS: METROSIDEROS EXCELSUS | STREET TREE | N.Z. CHRISTMAS TREE 20' h. x 20' w. |
| ○ | 100% 15 gal. | SUCH AS: DRACAENA MARGINATA | SMALL PATIO TREE | 12' h. x 8' w. |
| ○ | alt. | ALO E FEROX | NCN | MADAGASCAR TREE |
| ○ | 100% 5 gal. | SUCH AS: EUPHORBIA TIRUCALLI 'STICKS ON FIRE' | ACCENT SHRUB | 3' x 3' |
| ○ | 33% 5 gal. | ALO E PETRICOLA | SMALL ACCENT SHRUB | 2' x 2' |
| ○ | 33% 5 gal. | AGAVE 'BLUE BOY' | STONE ALOE | NCN |
| ○ | 33% 5 gal. | ALO E STRIATA | CORAL ALOE | NCN |
| ○ | 100% 5 gal. | SUCH AS: CRASSULA SPP. | LOW MASSING SHRUB | 3' h. x 3' w. |
| ○ | 100% 15 gal. | SUCH AS: MACFADYENA UNGUIS-CATI (ESPALIER: TRAIN ON WALL/FENCE) | JADE PLANT | JADE PLANT |
| ○ | 100% 1 gal. | SUCH AS: DYMONDIA MARGARETAE | TRELLIS VINE | CAT'S CLAW VINE 6' h. x 6' w. |
| GROUND COVER | | | | |
| ■ | 100% 1 gal. | SUCH AS: DYMONDIA MARGARETAE | GROUND COVER | SILVER CARPET 2' h. x 6' w. |
| EXISTING VEGETATION | | | | |
| ○ | 100% EXISTING | JUNIPERUS TORULOSA | TORULOSA JUNIPER | 10' h. x 8' w. 4" caliper |
| ○ | 100% EXISTING | CRASSULA SPP. | JADE PLANT | 30" h. x 30" w. |



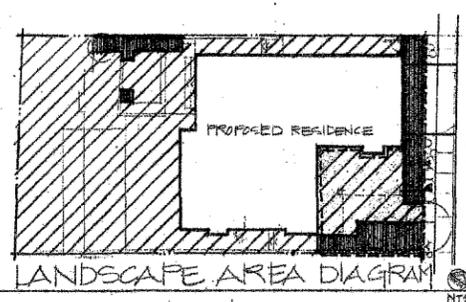
STREET YARD AND REMAINING YARD DIAGRAM

- STREET YARD (748 s.f.)
- REMAINING YARD (2488.5 s.f.)
- RIGHT-OF-WAY (R.O.W.)



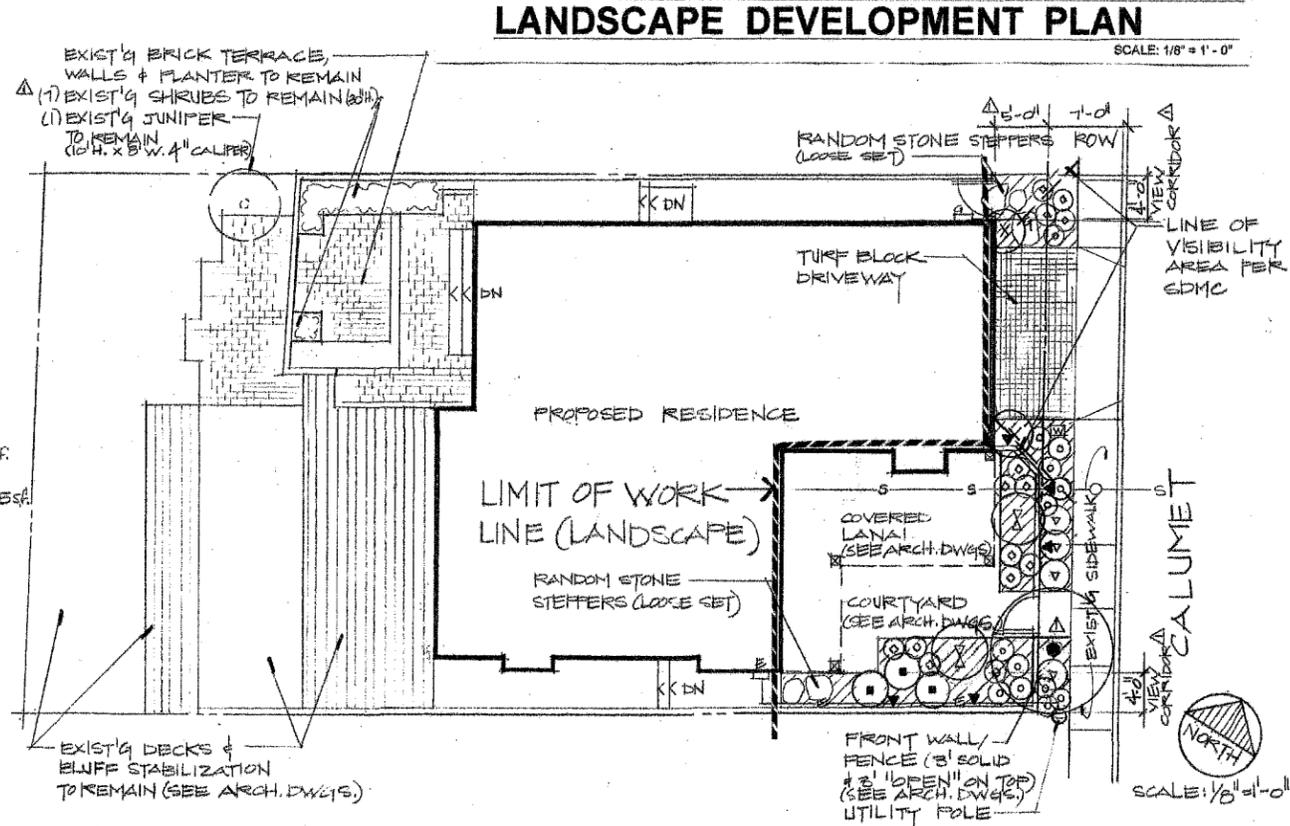
VEHICULAR USE AREA DIAGRAM

- VEHICULAR USE AREA: OUTSIDE STREET YARD (100 s.f.)
- VEHICULAR USE AREA: WITHIN STREET YARD (105 s.f.)



LANDSCAPE AREA DIAGRAM

- LEGEND:**
- LANDSCAPE AREA PROVIDED: NON-VEGETATED
 - LANDSCAPE AREA PROVIDED: VEGETATED
 - STREET YARD: VEGETATED = 354 s.f. NON-VEG. = 392 s.f. (748 s.f.)
 - REMAINING YARD: VEGETATED = 92 s.f. NON-VEG. = 2394.5 s.f. (2488.5 s.f.)



LANDSCAPE DEVELOPMENT PLAN

SCALE: 1/8" = 1'-0"

MORSE RESIDENCE
5550 CALUMET
LA JOLLA, CA 92037

Written permission on these drawings...
All ideas, designs, arrangements and...
TODD FRY LANDSCAPE ARCHITECT A.S.L.A.
Calif. Lic. # 1370
Hawaii Lic. # 88878

Sheet No. L-1

TODD FRY LANDSCAPE ARCHITECT A.S.L.A.
Calif. Lic. # 1370
Hawaii Lic. # 88878
920 Princess St.
La Jolla, CA 92037

HEARING OFFICER RESOLUTION NO. HO-XX-CCC
SITE DEVELOPMENT PERMIT NO. 1130780 and
COASTAL DEVELOPMENT PERMIT NO. 1131955
MORSE RESIDENCE PROJECT NO. 323667

WHEREAS, Robert J. Morse and Karen B. Morse, Owner/Permittee, filed an application with the City of San Diego for a permit to remodel an existing single family residence to allow an addition to the first floor and a new second-story for a total gross floor area of approximately 2,935 square feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1130780 and 1131955), on portions of a 0.12 acre site;

WHEREAS, the project site is located at 5550 Calumet Avenue in the RS-1-7 zone in the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 36 of Cliffside, according to Map thereof No. 2799, filed July 11, 1951;

WHEREAS, on January 22, 2014, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1130955 and Coastal Development Permit No. 1131955 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 16, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated January 22, 2014.

FINDINGS:

Site Development Permit - Section 126.0504

1. **The proposed development will not adversely affect the applicable land use plan.** The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The La Jolla Community Plan (Plan) identifies the site for residential development. The Project is consistent with the designated use identified in the Plan. Further the Project will be consistent with the single family character of the existing neighborhood as perceived from the public right-of-way. The design of the home will be compatible with the appearance of the existing neighborhood and incorporate façade articulation and architectural details that will improve the aesthetic appeal of the structure when viewed from the street and from along the coast. The proposed home will not adversely affect any visitor-serving or recreational facility. No coastal scenic resources, recreational or visitor-serving facilities were identified on the project site. Therefore, no adverse impacts to such resources would occur as a result of project implementation. The project has been evaluated for

compliance with the adopted land use plan and determined to be consistent with the Plan. Through the review of the proposed project, the Project was determined by city staff to be consistent with the Plan's land use designation, the Plan's design guidelines and the development regulations of the RS-1-7 Zone. For these reasons, the Project will not adversely affect the La Jolla Community Plan. For additional information, also refer to Coastal Development Permit (CDP) Findings, Site Development Permit (SDP) Findings 2 and 3 and Supplemental Findings 1 through 6.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. All Building, Fire, Plumbing, Electrical, Mechanical Code and City regulations governing the construction and continued operation of the development apply to this site to prevent adverse affects to those persons or other properties in the vicinity. Conditions of approval require compliance with several operational constraints, development controls and the review of all construction plans by professional staff to determine the proposed construction will comply with all regulations. Inspection of the proposed construction will assure construction will be implemented in accordance with the approved plans and the final construction will comply with all regulations and will assure the continued health, safety and general welfare of persons residing or working in the area. For additional information, also refer to CDP Findings, SDP 1 above and 3 below, and Supplemental Findings 1 through 6.

3. The proposed development will comply with the applicable regulations of the Land Development Code. The Morse Residence (Project) will remodel an existing single family residence to allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The Project neither requests nor requires the approval of any deviation or variance to allow the development of the Project as proposed. The front yard setback required for this property is determined by Map thereof No. 2799 filed July 11, 1951 and is established as five feet from the property line parallel to the public right-of-way. The Project is consistent with the established setback. The Project complies with all the development regulations of the RS-1-7 Zone and Environmentally Sensitive Lands Regulations which apply to this site. With the adoption of the permit conditions, the proposed addition and remodel of the single family structure will be in conformance with all relevant regulations including floor area ratio, setbacks, height, parking and all other relevant regulations. Conceptual plans submitted by the applicant have been reviewed by City staff and determined by City staff to be in compliance with all development regulations relevant to the site. No deviations or variance is required to approve the Project. Therefore, the proposed Project will comply with the applicable regulations of the Land Development Code. For additional information, also refer to CDP Findings, SDP Findings 1 and 2 above and Supplemental Findings Findings 1 through 6.

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The project site is located between the first public roadway and the Pacific Ocean. The project site contains environmentally sensitive lands in the form of a sensitive coastal bluff. The applicant's geotechnical consultant submitted reports, Report of Geotechnical Investigation and Coastal Bluff Edge Evaluation, Morse Residential Project, 5550 Calumet Avenue, La Jolla, California, prepared by Geotechnical Exploration, Inc., dated April 22, 2013 (their project no. 11-10104), Update to Report of Geotechnical Investigation, Morse Residential Project, 5550 Calumet Avenue, La Jolla, California, prepared by Geotechnical Exploration, Inc., dated September 3, 2013 (their project no. 11-10104) and Shore/Bluff Protection and Bluff Improvement Inspection, and Wave Runup Discussion, 5550 Calumet Avenue, La Jolla, San Diego County, CA, prepared by GeoSoils, Inc., dated September 9, 2013 (their project no. S6590). The conclusions of these reports has been confirmed by city staff review and indicates the coastal bluff has a factor of safety greater than of 1.5, a recession rate of 0.1 foot per year and will be adequately stable throughout the 75-year life of the proposed development. The geotechnical reports for the proposed Morse Residence were reviewed and approved by a professional geologist employed by City of San Diego in the Development Services Department.

The Revised Drainage Study, dated September 10, 2013, prepared by Antony Christensen, Registered Civil Engineer, of Christensen Engineering, for the proposed Morse Residence was reviewed and approved by professional engineering staff. The project meets the Basic Objectives and Basic Policy on drainage design required by the City of San Diego Drainage Manual. The project manages increases in runoff discharge rates and durations that are likely to cause increased erosion, silt pollution generation or other impacts to beneficial uses and stream habitat due to increased erosive force. The applicant's consultant submitted a Water Quality Study, dated May 06, 2013, prepared by Antony Christensen, RCE of Christensen Engineering for the proposed Morse Residence was reviewed and approved by professional engineering staff. The Site Design Best Management Practices (BMPs) and Source Control BMPs analysis is adequate and adheres to the City of San Diego Storm Water Standards. The Water Quality Study was reviewed and approved by a professional engineer employed by City of San Diego in the Development Services Department.

No grading of the site is required to accommodate the proposed development. No sensitive coastal resources or environmentally sensitive areas will be disturbed by the proposed project.

No adjacent public parks or public recreational areas adjacent to and immediately surrounding the subject site would be adversely affected because the proposed development will occur on private property. No impacts to these resources would occur as a result of the development. The project as designed and conditioned will ensure the sensitive coastal bluff will not be adversely impacted.

Technical reports submitted by the applicant's consultants have demonstrated the site is physically suitable for the design and siting of the proposed development and the development will not result in a disturbance to environmentally sensitive lands. For additional information, also refer to CDP and SDP Findings and Supplemental Findings 2 through 6 below.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The Project will utilize existing foundations to the greatest extent possible and will not grade the site except wherever necessary to excavate for new foundations. The existing home is located on a relatively flat building pad with an air-placed concrete covered steep coastal bluff on the western part of the property that leads to a shoreline erosion control device and the rocky shoreline below. The site is located partially in Geologic Hazard Category 53, level or sloping terrain with unfavorable geologic structure, low to moderate risk, and partially in Geologic Hazard Category 47, coastal bluffs, generally stable with favorable geologic structure with minor or no erosion, according to the City of San Diego Maps.

The project site contains environmentally sensitive lands in the form of sensitive coastal bluffs. Currently, the bluff is protected with air-placed concrete and other shoreline protective devices that are permitted and were built between 1966 and 1973. Some of these features, specifically decks and stairs, do not serve as shoreline protection and the project proposes removal of those features pursuant to the recommendation of the La Jolla Community Plan, page 51, Section D. Further, conditions of approval included in Site Development Permit No. 1130955 and Coastal Development Permit No. 1131955 requires the removal of specific non-essential features currently west of the bluff edge provided that such removal will not result in damage to the coastal bluff, or otherwise adversely affect the functionality of the existing shoreline erosion control. Additionally the air-placed concrete will be colored to more naturally match the adjacent bluffs.

The proposed new structural foundations will observe a forty foot bluff edge setback as required by the regulations and recommended by the geologic investigation report. As such, the Project as designed and conditioned will ensure the sensitive coastal bluff will not be adversely impacted by the proposed development. In addition, all drainage will be directed away from the coastal bluff in order to reduce, control or mitigate erosion of, and other impacts from runoff to the coastal bluff and shoreline below as shown on the approved plans.

The project site has been previously graded as a result of construction of the existing structure and associated improvements on the property. No further grading of the site is necessary to implement the proposed additions and remodel.

The Project site is not located within the FW (Floodway) or FPF (Floodplain Fringe) zones and will not result in undue risk from flooding. The existing drainage system designed for the Project is consistent with requirements of the City Engineer and will minimize risks associated with runoff and erosion by directing all runoff into a drainage system and to the public right-of-way and away from the coastal bluff. The Project site does not contain and is not located adjacent to any natural vegetation which would pose a risk from wildfire and will not result in undue risk from fire hazards. The proposed Project will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards. For additional information refer to CDP and SDP Findings, and Supplemental Findings 1 above and 3 through 6 below.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. All new construction will occur on areas of the site which have been previously developed and will not

impact the adjacent coastal bluff face. No development will occur on the adjacent coastal bluff face. Therefore, the proposed development will be sited, designed and constructed to prevent adverse impacts on any adjacent environmentally sensitive lands. No adverse impacts on adjacent environmentally sensitive lands, including coastal bluffs, will occur as a result of the Project. For additional information refer to CDP and SDP Findings, and Supplemental Findings 1 through 2 above and 4 through 6 below.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The Project site is not within the Multi-Habitat Planning Area of the Multiple Species Conservation Program Subarea Plan and will have no effect upon the Multiple Species Conservation Program Subarea Plan. In this way the Project will be consistent with the City of San Diego's Multiple Species Conservation Program Subarea Plan. For additional information refer to CDP and SDP Findings, and Supplemental Findings 1 through 3 above and 5 through 6 below.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. All runoff from the site which occurs as a result of storm events, precipitation or any other rain producing events will be collected into a drain system and directed to the gutter or storm water system in the public right-of-way. No runoff from the site which occurs as a result of storm events, precipitation or any other rain producing events will be allowed down the face of the coastal bluff. In that all runoff from the site which occurs as a result of storm events, precipitation or any other rain producing events will be directed to a storm drain system, the Project will not contribute to the erosion of public beaches or adversely impact the local shoreline sand supply. For additional information refer to CDP and SDP Findings, and Supplemental Findings 1-4 above and 6 below.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The proposed project is exempt from the California Environmental Quality Act and no mitigation is required.

Coastal Development Permit - Section 126.0708

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The Project will be developed entirely within the private property and will not encroach upon any existing physical access way legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan as there is no existing physical access way legally used by the public or any proposed public access ways located on the private property.

There are no existing physical accessways to the shoreline across the Project site. The La Jolla Community Plan does not identify any proposed public accessway across the site. As such, the proposed

coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan.

There are no designated public views within the existing side yards. The project is designed and sited so as not to block or obstruct any view along the side yard setbacks. The side yard is required to be four feet wide and the property owner will be required to record two four-foot wide View Corridor Easements, as shown on Exhibit "A," in accordance with SDMC section 132.0403 along the southerly and northerly side property lines. The combined new views created through the private property will be eight feet in width. All fencing, landscaping, and other improvements in the view corridors will be restricted by recording the easement to assure the preservation of the public views towards the ocean. The Project will adhere to community goals, not to intrude into any of the identified public view corridors, in that no identified public view corridors are identified in the La Jolla Community Plan across the site. The Project will result in more viewing opportunities than what exists presently. The new views provided by the project in the north and south side yards will provide public views to the ocean beyond and prevent a walling off or other adverse effect to the community. The Project will not obstruct coastal or scenic views from any public vantage point. There will not be any increase in building footprint of the existing structure that will, from a public vantage point, result in public views blockage to and along the ocean. The ridge height of the second story addition will be twenty-four feet six inches high, which is below the maximum permitted height of thirty feet. Therefore, it has been concluded that implementation of the Project will not adversely obstruct public views to, or along the ocean or other scenic resources.

As such, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Development Program Land Use Plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan. For additional information refer to Findings 2-4 below and SDP Findings above.

2. The proposed coastal development will not adversely affect environmentally sensitive lands. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The proposed additions are not located on the portion of the property containing the sensitive coastal bluff. The Project site is located in urbanized area of the La Jolla Community Plan. The developed site does not contain sensitive biological resources. The site is not within or adjacent to the City's Multi-Habitat Planning Area. The proposed project site contains a sensitive coastal bluff which is an environmentally sensitive landform. The Project is designed in such a way so as to have no adverse effect upon the bluff and therefore the proposed project will not adversely affect environmentally sensitive lands. The project will comply with the relevant sensitive coastal regulations. All development will be confined to areas of the site which have been already disturbed by the previous development and use of the site and all load-bearing support for the proposed new development will be located forty-feet landward of the coastal bluff edge. The project as designed and conditioned will ensure the sensitive coastal bluff will not be adversely impacted by the proposed development. The new residence will conform with all applicable provisions of the Municipal Code and certified Local Coastal Program. No deviations or variances are requested or required to approve the Project. Therefore, the proposed development will not adversely affect environmentally sensitive lands. For additional information, refer to Findings 2, 3, 4 and 5 above.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The project is located in an area identified in the La Jolla Community Plan as Low Density Residential designated for residential uses at a range of 5-9 dwelling units per acre. The proposed residence would be consistent with the land use and would conform to all the requirements of the RS-1-7 zone, the La Jolla Community Plan and Local Coastal Program Land Use Plan. The proposed project will be consistent with the goals identified by the La Jolla Community Plan and Local Coastal Program Land Use Plan for residential development. The proposed structure is designed to achieve a harmonious visual relationship between the bulk and scale of the existing and the adjacent structures. The proposed project would be consistent with the recommended land use, design guidelines, and development standards in effect for the subject property per the adopted La Jolla Community Plan, the Environmentally Sensitive Lands regulations, the City's certified Local Coastal Program, and the City of San Diego's Progress Guide and General Plan, which recommend the subject property be developed with single-family residential development in accordance with development regulations of the existing RS-1-7 zone. The proposed project will comply with all applicable provisions of the Municipal Code and certified Local Coastal Program and deviations or variances are not requested. Therefore, the proposed development is in conformity with the City's certified Local Coastal Program Land Use Plan and any other applicable adopted plans and programs in effect for this site. For additional information, refer to Finding 1 through 2 above and 4 below, and SDP Findings above.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act. The Morse Residence (Project) will allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet. The proposed development will have no impact on the public's ability to access coastal areas open to the public and will have no impact upon the public recreation policies of Chapter 3 of the California Coastal Act. The western most portion of the property is a very high nearly vertical coastal bluff without any improved access from the top of the bluff to the shoreline and ocean below. The La Jolla Community Plan identifies access to the shoreline from other locations in the neighborhood and not across the subject property. No coastal access is identified by the La Jolla Community Plan from this site. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act. For additional information, refer to CDP Finding 1 through 3 above.

BE IT FURTHER RESOLVED that, the Hearing Office hereby acknowledges the CEQA Exemption and based on the testimony at the hearing and the various reports, studies and correspondence in the public record, and based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1130780 and Coastal Development Permit No. 1131955 is hereby GRANTED by the Hearing

Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1130780 and 1131955, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: January 22, 2014

Job Order No. 24003769

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003769

SITE DEVELOPMENT PERMIT NO. 1130780 and
COASTAL DEVELOPMENT PERMIT NO. 1131955
MORSE RESIDENCE PROJECT NO. 323667
HEARING OFFICER

This Site Development Permit No. 1130780 and Coastal Development Permit No. 1131955 is granted by the Hearing Officer of the City of San Diego to Robert J. Morse and Karen B. Morse, Husband and Wife as Community Property with right of Survivorship, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 and 126.0708. The 0.12-acre site is located at 5550 Calumet Avenue in the RS-1-7 Zone of the La Jolla Community Plan area. The project site is legally described as Lot 36 of Cliffside, according to Map thereof No. 2799, filed July 11, 1951.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to remodel an existing single family residence to allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date], on file in the Development Services Department.

The project shall include:

- a. Remodel an existing single family residence to allow an addition to the first floor and a new second-story floor for a total gross floor area of approximately 2,935 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [ENTER DATE including the appeal time].
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard

Specifications for Public Works Construction (the “Green Book”), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying the pad elevation based on USGS datum is consistent with the approved Exhibit “A”, satisfactory to the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the existing driveway will be reconstructed with a twelve-foot wide current City Standard SDG-162 Concrete Driveway for Confined Right-of-Way adjacent to the site on Calumet Avenue, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

Prior to the issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report that specifically addresses the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services. All load-bearing support for the proposed new development shall be located at least 40-feet landward from the coastal bluff edge.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of any construction or Building or Grading Permit, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall conform to the approved Exhibit “A.” Construction plans shall provide and identify a forty square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

20. Prior to Final Inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

22. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

23. If any required landscape, including existing or new plantings, hardscape, landscape features, or other landscape improvements, indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within thirty days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

24. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

25. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

26. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Coastal Bluffs, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

27. Prior to the issuance of any construction permits, the Owner/Permittee shall record two four-foot wide View Corridor Easements, as shown on Exhibit "A," in accordance with SDMC section 132.0403.

28. Prior to the issuance of any construction permits, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement for Sensitive Coastal Bluffs in accordance with SDMC section 143.0143, in a form and content acceptable to the Director of the Development Services Department, or designated representative, which shall

provide: (a) that the Owner/Permittee understands that new accessory structures or landscape features customary and incidental to residential uses are prohibited within 5 feet of the Coastal Bluff Edge or on the face of the Bluff, as illustrated on approved plan Exhibit "A;" (b) that the Owner/Permittee understands that the site may be subject to extraordinary hazard from coastal bluff erosion, and the Owner/Permittee assumes all liability from such hazards; and (c) the Owner/Permittee unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify, and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

30. Proposed at grade accessory structures and landscape features customary and incidental to residential uses shall not be closer than five feet to the coastal bluff edge, in accordance with the requirements of the Land Development Code.

31. Open fencing and landscaping may be permitted within the visual corridor, provided such improvements do not significantly obstruct public views of the ocean. Landscape within this visual corridor shall be planted and maintained not exceed three feet in height in order to preserve public views.

32. All private improvements located westerly of the top of the bluff that are shown to be removed on the approved Exhibit "A" shall be done without damaging the coastal bluff. It shall be the responsibility of the Owner/Permittee to properly remove and dispose of any and all debris resulting from such removal.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on **[INSERT Approval Date]** and **[Approved Resolution Number]**.

DRAFT

Permit Type/PTS Approval No.: SDP No. 1130780 and SDP No. 1131955
Date of Approval:

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Karen B. Morse
Owner/Permittee

By _____
Karen B. Morse
Owner

Robert J. Morse
Owner/Permittee

By _____
Robert J. Morse
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT NO.: 323667

PROJECT TITLE: Morse Residence CDP/SDP

PROJECT LOCATION-SPECIFIC: 5550 Calumet Avenue, La Jolla, CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: COASTAL DEVELOPMENT PERMIT (CDP) and SITE DEVELOPMENT PERMIT (SDP) to remodel an existing 2,010 square-foot, one-story single family residence, construct a 925 square-foot first and second story addition, and reconstruct an existing wood deck on a 0.12-acre site. The project is located within the RS-1-7 zone, Coastal Overlay zone (Appealable), Coastal Height and Sensitive Coastal Overlay, Environmentally Sensitive Lands – Sensitive Coastal Bluffs, Parking Impact Overlay, Residential Tandem Parking Overlay, Geologic Hazard Categories 12, 47 and 53, Transit Area Overlay and First Public Roadway within the La Jolla Community Plan area; in Council District 1.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Robert Morse, 59 26th St. NW, Atlanta, GA 30309. (703) 981-8961.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL
 DECLARED EMERGENCY
 EMERGENCY PROJECT
 CATEGORICAL EXEMPTION: SECTION 15301: EXISTING FACILITIES

REASONS WHY PROJECT IS EXEMPT: The project has been determined to be exempt from CEQA pursuant to Section 15301 of CEQA Guidelines. Section 15301 allows additions to existing structures that would not result in more than a 50 percent increase of the floor area of the structure before the addition. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore this exemption is applicable to the proposed project.

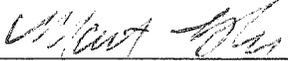
LEAD AGENCY CONTACT PERSON: M. Blake

TELEPHONE: (619) 446-5375

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



 SIGNATURE/SENIOR PLANNER

JANUARY 8, 2014
 DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

PROJECT DATA SHEET

| | | |
|--|--|---------------------------|
| PROJECT NAME: | Morse Residence | |
| PROJECT DESCRIPTION: | Renovation and addition to single family structure. | |
| COMMUNITY PLAN AREA: | La Jolla | |
| DISCRETIONARY ACTIONS: | Site Development Permit & Coastal Development Permit | |
| COMMUNITY PLAN LAND USE DESIGNATION: | Low Density Residential | |
| <u>ZONING INFORMATION:</u> | | |
| <p style="text-align: center;">ZONE: RS-1-7</p> <p style="text-align: center;">HEIGHT LIMIT: 30 foot maximum height limit.</p> <p style="text-align: center;">LOT SIZE: 5,000 square-foot minimum lot size.</p> <p style="text-align: center;">FLOOR AREA RATIO: 0.59</p> <p style="text-align: center;">FRONT SETBACK: Established setback of 5 feet per Map No. 2799.</p> <p style="text-align: center;">SIDE SETBACK: 4 feet.</p> <p style="text-align: center;">STREETSIDE SETBACK: NA</p> <p style="text-align: center;">REAR SETBACK: 13 feet.</p> <p style="text-align: center;">PARKING: 2 parking spaces required.</p> | | |
| <u>ADJACENT PROPERTIES:</u> | LAND USE DESIGNATION & ZONE | EXISTING LAND USE |
| NORTH: | Low Density Residential/ RS-1-7 | Single family residential |
| SOUTH: | Low Density Residential/ RS-1-7 | Single family residential |
| EAST: | Low Density Residential/ RS-1-7 | Single family residential |
| WEST: | Pacific Ocean | |
| DEVIATIONS OR VARIANCES REQUESTED: | None proposed. | |
| COMMUNITY PLANNING GROUP RECOMMENDATION: | The La Jolla Community Planning Association voted 12:1:1 on November 7, 2013, to recommend approval of the project | |



P.O. BOX 889
• LA JOLLA •
CALIFORNIA 92038

LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 7 November 2013

Attention: John Fisher, PM
City of San Diego

Project: Morse Residence
5550 Calmet Ave.
PN: 323667

Motion: To accept the recommendations of the DPR Committee:
Findings can be made to recommend a Coastal
Development Permit and Site Development Permit to
construct an addition at the first and second stories, and
reconstruct existing wood deck 6-0-1

Vote: 12-1-1

A handwritten signature in black ink, appearing to read "Tony Crisafi".

12 November 2013

Submitted by: Tony Crisafi, President
La Jolla CPA

Date



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title **Project No. For City Use Only**
 morse residence 323667

Project Address:
 5550 CAIUMET, La Jolla CA

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Robert J. Morse
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 3344 Peachtree Rd #3501
 City/State/Zip: Atlanta GA 30326
 Phone No: 703 981 8961 Fax No:
 Signature: [Signature] Date: 4/7/13

Name of Individual (type or print):
 Karen B Morse
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 3344 Peachtree Rd #3501
 City/State/Zip: Atlanta GA 30326
 Phone No: 703 615 4750 Fax No:
 Signature: [Signature] Date: 4/7/13

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date: