



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: March 12, 2014 REPORT NO. HO-14-012

ATTENTION: Hearing Officer

SUBJECT: CALLE DE LA GARZA
PTS PROJECT NUMBER: 333421

LOCATION: 8347 La Jolla Shores Drive

APPLICANT/
OWNERS: Rebecca Marquez, Golba Architecture
Steven E. Cairncross, Trustee of the Steven and Lori Cairncross Trust
dated November 9, 1999; Sean P. Morgan and Kimberly S. Morgan,
(Attachment 10)

SUMMARY

Issue(s): Should the Hearing Officer approve a Site Development Permit and Coastal Development Permit to demolish existing improvements and construct a new two-story, single family residence with improvements located at 8347 La Jolla Shores Drive in the La Jolla Community Plan area?

Staff Recommendations -

1. CERTIFY Mitigated Negative Declaration (MND) No. 333421 and ADOPT Mitigation, Monitoring Reporting Program (MMRP); and
2. APPROVE Site Development Permit No. 1167639 and Coastal Development Permit No. 1167638

Community Planning Group Recommendation – On January 8, 2014, the La Jolla Community Planning Association voted 15-0-1 to recommend approval of the project with no conditions (Attachment 9).

On November 19, 2013, the La Jolla Shores Advisory Board voted 5-0 to recommend approval of the project with no conditions.

Environmental Review: Mitigated Negative Declaration No. 333421 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been

prepared for the project and will be implemented which will reduce any potential impacts identified in the environmental review process, to a level below significance.

BACKGROUND

The 10,000 square foot project site is currently developed with an existing single family residence, detached garage and guest house that were built in 1945. The property is located at 8347 La Jolla Shores Drive on the east side of La Jolla Shores Drive between Calle Del Oro and Calle de la Garza, within the La Jolla Community Plan, which designates the site for very low density residential at a rate of 0-5 dwelling units per acre, and the proposed development is consistent with this designation. The site is located in the SF Zone of the La Jolla Shores Planned District Ordinance (LJSPDO) area, which allows for single family development. The site is also located in the 30-foot maximum Coastal Height Limitation Overlay Zone, the non-appealable area of the Coastal Overlay Zone, the Beach Impact Area Parking Overlay Zone and the Residential Tandem Parking Overlay Zone (Attachments 1-3). The site is bordered by existing single family development on all sides.

A Coastal Development Permit is required for the proposed demolition of the existing structures and construction of the new residence with improvements and a Site Development Permit is required for new construction within the La Jolla Shores Planned District.

DISCUSSION

A Coastal Development Permit (CDP) and Site Development Permit (SDP) are required to demolish existing site improvements and construct a two-story, 5,250 square foot, single family residence with attached three car garage, a 495 square foot roof deck, associated hardscape and landscape areas located on a 10,000 square foot site. The site is east of the Pacific Ocean, on the flat portion of La Jolla Shores, between Calle Del Oro and Calle de la Garza.

The proposed single-family residence would consist of the following on the first floor: a family room, dining room, living room, a flex room, kitchen, pantry, laundry room, one bedroom and two bathrooms, with a covered patio area off of the family room. The second floor consists of four bedrooms, a play room, utility/storage room, 5 bathrooms and two exterior decks. The roof deck would be accessed from the stair well that starts on the second floor of the residence.

The proposed project would be consistent with the bulk and scale of the surrounding residential community. The two-story residence would have a height not greater than 30' -0" as defined, which would comply with the Coastal Height Limitation Overlay Zone's maximum allowable height of 30 feet. Landscaping would conform to the La Jolla Shores Planned District minimum percentage and the City's Landscape Technical Manual.

The structure is a traditional design with pitched hipped-roof elements with a maximum overall height of 25' -2" to the railings for the roof deck. As designed the project complies with the 30-foot Coastal Height Limit Overlay Zone and LJSPDO requirements. The proposed lot coverage of 37% complies with the 60% maximum allowed (Attachments 5-6).

The City of San Diego conducted an Initial Study which determined that the proposed project could have a significant environmental effect in the following area: Historical Resources - Archaeology. Subsequent revisions in the project proposal created the specific mitigation identified in Section V of the Mitigated Negative Declaration (MND). The project as revised now avoids or mitigates the potentially significant environmental effects previously identified (Attachment 7).

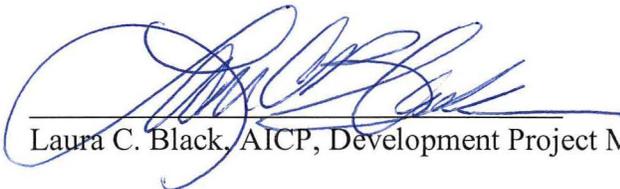
CONCLUSION

Staff has reviewed the application for the Site Development Permit and Coastal Development Permit and determined the project is consistent with the LJS PDO, the applicable Coastal Development Regulations and the City of San Diego Land Development Code. Staff recommends that the Hearing Officer certify the MND, adopt the MMRP and approve the requested permits.

ALTERNATIVES

1. Approve Site Development Permit No. 1167639 and Coastal Development Permit No. 1167638, with modifications.
2. Deny Site Development Permit No. 1167639 and Coastal Development Permit No. 1167638, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Laura C. Black, AICP, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Draft Environmental Resolution with MMRP
8. Project Site Plans
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Chronology
12. Notice of Hearing



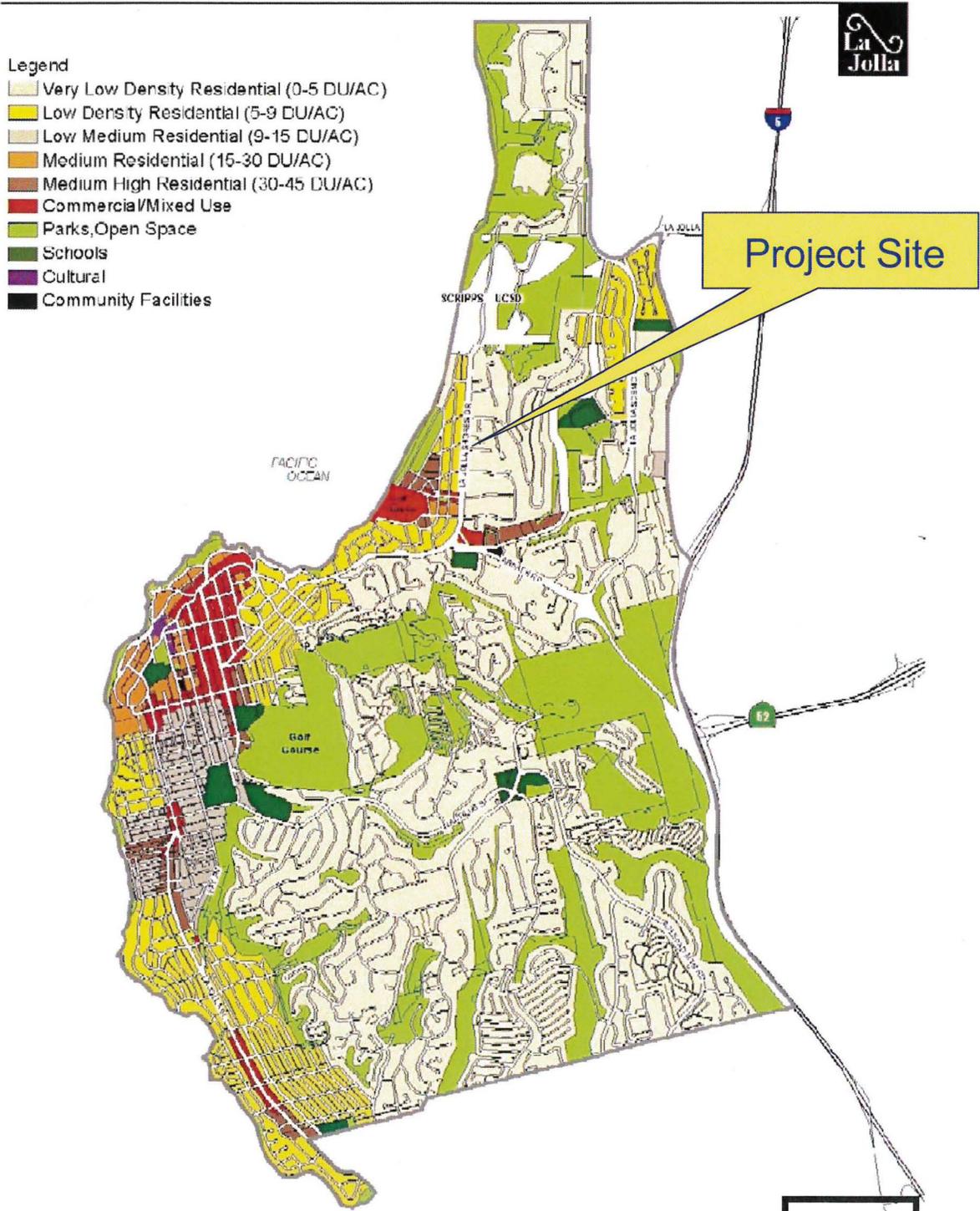
Project Site



Aerial Photo

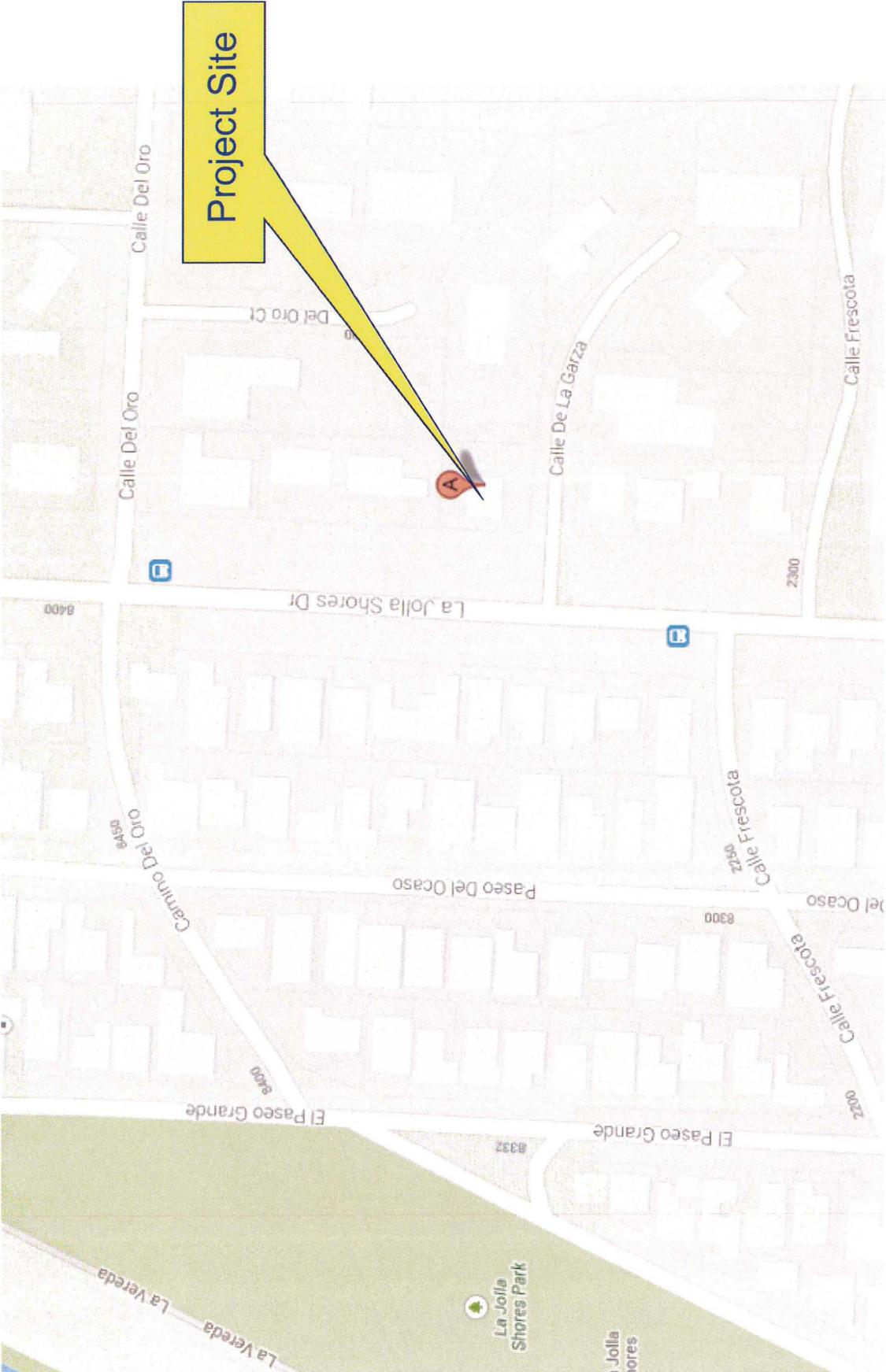
CALLE DE LA GARZA - 8347 La Jolla Shores Drive
PROJECT NO. 333421





Land Use Map

CALLE DE LA GARZA– 8347 La Jolla Shores Drive
PROJECT NO. 333421



Project Location Map

CALLE DE LA GARZA – 8347 La Jolla Shores Drive
PROJECT NO. 333421



PROJECT DATA SHEET

PROJECT NAME:	Calle de la Garza	
PROJECT DESCRIPTION:	Demolition of an existing single family residence, detached garage and guest house and the construction of a two-story 5,250 square foot, single family residence with attached 3-car garage and 495 square foot roof deck.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Site Development Permit and Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential (Allows residential development of 0-5 dwelling units per acre).	
<u>ZONING INFORMATION:</u>		
<p style="text-align: center;">ZONE: SF-LJSPDO: (A single family residential zone located in the La Jolla Shores Planned District)</p> <p style="text-align: center;">HEIGHT LIMIT: 30-Foot maximum height limit / proposed 25'-2" max height</p> <p style="text-align: center;">LOT SIZE: Average in Area</p> <p style="text-align: center;">FLOOR AREA RATIO: NA – Lot Coverage 0.60 max / proposed 0.37</p> <p style="text-align: center;">FRONT SETBACK: 25 feet proposed</p> <p style="text-align: center;">SIDE SETBACK: 16 feet proposed</p> <p style="text-align: center;">STREETSIDE SETBACK: 79 feet proposed</p> <p style="text-align: center;">REAR SETBACK: 5 feet proposed</p> <p style="text-align: center;">PARKING: 2 parking spaces required / 3 parking spaces provided</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Density Residential; SF-LJSPDO.	Single Family Residence
SOUTH:	Low Density Residential; SF-LJSPDO.	Single Family Residence
EAST:	Low Density Residential; SF-LJSPDO.	Single Family Residence
WEST:	Low Density Residential; SF-LJSPDO.	Single Family Residence
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On January 8, 2014, the La Jolla Community Planning Association voted 15-0-1 to recommend approval of the project with no conditions.	

HEARING OFFICER RESOLUTION NO. HO-XXXX
SITE DEVELOPMENT PERMIT NO. 1167639
COASTAL DEVELOPMENT PERMIT NO. 1167638
CALLE DE LA GARZA, PROJECT NO. 333421 MMRP

WHEREAS, Steven E. Cairncross, Trustee of the Steven and Lori Cairncross Trust dated November 9, 1999, Sean P. Morgan and Kimberly S. Morgan, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish the existing single family residence, detached garage and guest house and construct a two-story, single family residence, with three car garage, roof deck, swimming pool and spa (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1167639 and 1167638), on portions of a 10,000 square-foot site;

WHEREAS, the project site is located at 8347 La Jolla Shores Drive within the Single Family (SF) Zone of the La Jolla Shores Planned District (LJSPD), Coastal Overlay Zone (Non-Appealable 2 Area), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone, the La Jolla Community Plan and Local Coastal Program Area;

WHEREAS, the project site is legally described as all that portion of Lot 1297 of the Pueblo Lands of San Diego, according to Miscellaneous Map No. 36;

WHEREAS, on March 12, 2014, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1167639 and Coastal Development Permit No. 1167638 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 12, 2014.

FINDINGS:

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan;

The project site is designated very low density residential at 0-5 dwelling units per acre (du/acre) in the La Jolla Community Plan and Local Coastal Program. The project proposes 1 dwelling unit on a 10,000 square-foot lot for a density of 4.35 du/acre. The project is therefore consistent with the recommended land use and density of the La Jolla Community Plan. The La Jolla Community Plan and the La Jolla Shores Planned District Ordinance contain policies and regulations related to design and community character. The general theme of the policies and regulations are unity with variety. The proposed design, form, and siting of the proposed development, compliment the surrounding neighborhood and are consistent with the goals and policies of the La Jolla Community Plan and the La Jolla Shores Planned District Ordinance theme of 'unity with variety'. Therefore, the proposed project will not adversely affect the La Jolla Community Plan Area.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The proposed project will connect all necessary sewer and water facilities to serve the occupants of the development. The project will incorporate construction Best Management Practices (BMP) necessary to comply with Chapter 14 Article 2, Division 1 of the San Diego Municipal Code. The project will prepare and implement a Water Pollution Control Plan in accordance with the guidelines in Appendix E of the City's Storm Water Standards. The project will enter into a Maintenance Agreement for ongoing permanent BMP maintenance. The project will comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-0009-DWQ and Amended by Order No. 2010-0014-DWQ and the Municipal Storm Water Permit, Order No. R9-2007-0001 (NPDES General Permit No. CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated with Construction Activity. All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code requirements will be met with the proposed project. Therefore, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed project complies with the relevant regulations of the Land Development Code. Conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and incorporated into Site Development Permit No. 1167639 and Coastal Development Permit No. 1167638. The proposed project conforms to the overall policies and regulations of the City of San Diego and represents a desirable project for the site and the La Jolla community.

Coastal Development Permit - Section 126.0708

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The proposed project is located at 8347 La Jolla Shores Drive, approximately 1,000 feet from the Pacific Ocean, within an urbanized and fully developed residential neighborhood in the La Jolla Community Plan, the La Jolla Shores Planned District Ordinance and the Local Coastal Program. The site is not located on the ocean and does not include any existing physical access way or proposed access way to the coast. The project site is not located within any identified view corridor, public vantage point or physical access route in the La Jolla Community Plan. Additionally, no see-through or public views to the ocean exist through the site. Therefore, proposed project would not encroach upon any existing physical accessway and would not impact the La Jolla Community Plan or Local Coastal Program.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The proposed project is located at 8347 La Jolla Shores Drive within an urbanized and fully developed residential neighborhood in the La Jolla Community Plan, the La Jolla Shores Planned District Ordinance and the Local Coastal Program. The existing developed site is relatively flat with an overall grade differential of approximately 3.0 feet. The site is surrounded by development and there is no environmentally sensitive lands mapped on the project site, nor on the adjacent properties; therefore, the proposed project would not have an adverse affect on environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed project is located at 8347 La Jolla Shores Drive within an urbanized and fully developed residential neighborhood in the La Jolla Community Plan, the La Jolla Shores Planned District Ordinance and the Local Coastal Program. The proposed development is consistent with the La Jolla Community Plan's recommended "Very Low Density Residential" designation with the very low density residential development at 0-5 dwelling units per acre. The proposed development results in a density of 4.35 dwelling units per acre. Therefore, the proposed residential project conforms to the identified land use in the La Jolla Community Plan and the Local Coastal Program, and the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The proposed project is located at 8347 La Jolla Shores Drive within an urbanized and fully developed residential neighborhood in the La Jolla Community Plan, the La Jolla Shores Planned District Ordinance and the Local Coastal Program. The project is not located between the nearest public road and the sea or shoreline.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1167639 and Coastal Development Permit No. 1167638 are hereby GRANTED by the Hearing Officer to the referenced Owners/Permittees, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1167639 and 1167638 a copy of which is attached hereto and made a part hereof.

Laura C. Black, AICP
Development Project Manager
Development Services

Adopted on: March 12, 2014
Internal Order No. 24003979

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003979

SITE DEVELOPMENT PERMIT No. 1167639
COASTAL DEVELOPMENT PERMIT No. 1167638
CALLE DE LA GARZA - PROJECT NO. 333421 [MMRP]
Hearing Officer

This Site Development Permit No. 1167639 and Coastal Development Permit No. 1167638 is granted by the Hearing Officer of the City of San Diego to Steven E. Cairncross, Trustee of the Steven and Lori Cairncross Trust dated November 9, 1999, Sean P. Morgan and Kimberly S. Morgan, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 and 126.0708. The 10,000 square foot site is located at 8347 La Jolla Shores Drive in within the Single Family (SF) Zone of the La Jolla Shores Planned District (LJSPD), Coastal Overlay Zone (Non-Appealable 2 Area), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone, the La Jolla Community Plan and Local Coastal Program Area. The project site is legally described as: All that portion of Lot 1297 of the Pueblo Lands of San Diego, according to Miscellaneous Map No. 36.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees to demolish the existing single family residence, detached garage and guest house and construct a two-story, single family residence, with three car garage, roof deck, swimming pool and spa, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 12, 2014, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing single family residence, detached garage and guest house;
- b. Construction of a two-story, 5,250 square foot, single family residence with attached three car garage, and 495 square foot roof deck,
- b. Landscaping (planting, irrigation and landscape related improvements);

- c. Off-street parking;
- d. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 26, 2017.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owners/Permittees sign and return the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owners/Permittees and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owners/Permittees for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owners/Permittees shall secure all necessary building permits. The Owners/Permittees is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owners/Permittees of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owners/Permittees shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owners/Permittees shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owners/Permittees of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owners/Permittees shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owners/Permittees shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owners/Permittees regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owners/Permittees shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 333421, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
13. The Owners/Permittees shall comply with the MMRP as specified in Mitigated Negative Declaration No. 333421, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historical Resources - Archaeology

ENGINEERING REQUIREMENTS:

14. The project proposes to export 62 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
16. Prior to foundation inspection, the Owners/Permittees shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owners/Permittees shall reduce the height of the private encroaching landscaping hedge in the La Jolla Shores and Calle De La Garza Right-of-Way to an overall height of 48 inches except at the visibility areas of the street corner and driveway locations where the hedge shall be lowered to a height of 36 inches, to the satisfaction of the City Engineer.
18. Prior to the issuance of any building permits, the Owners/Permittees shall obtain an Encroachment Maintenance Removal Agreement (EMRA) from the City Engineer for the private landscaping hedge in the La Jolla Shores and Calle De La Garza Right-of-Way. Overall height of hedge shall be maintained to a height of 48 inches except at the visibility areas of the street corner and driveway where the hedge shall be maintained to a height of 36 inches.

19. Prior to the issuance of any building permits, the Owners/Permittees shall remove the brick paving and assure, by permit and bond, to construct a current City Standard concrete sidewalk, adjacent to the site on La Jolla Shores Drive, to the satisfaction of the City Engineer.
20. Prior to the issuance of any building permits, the Owners/Permittees shall remove the existing private asphalt driveway within the La Jolla Shores Right-of-Way, to the satisfaction of the City Engineer.
21. Prior to the issuance of any building permits, the Owners/Permittees shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on La Jolla Shores Drive, to the satisfaction of the City Engineer.
22. Prior to the issuance of any building permits, the Owners/Permittees shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on Calle de la Garza, to the satisfaction of the City Engineer.
23. Prior to the issuance of any building permits, the Owners/Permittees shall assure, by permit and bond, the construction of a current City Standard 12 feet wide concrete driveway, adjacent to the site on Calle de la Garza, to the satisfaction of the City Engineer.
24. Prior to the issuance of any construction permit, the Owners/Permittees shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
25. Prior to the issuance of any construction permit, the Owners/Permittees shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
26. Prior to the issuance of any construction permit, the Owners/Permittees shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

27. The Owners/Permittees shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owners/Permittees.

29. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 12, 2014, and Resolution No. HO-XXXX.

Coastal Development Permit No. 1167638
Site Development Permit No. 1167639
Date of Approval: March 12, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Laura C. Black, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

Coastal Development Permit No. 1167638
Site Development Permit No. 1167639
Date of Approval: March 12, 2014

The undersigned Owners/Permittees, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owners/Permittees hereunder.

Steven E. Cairncross
Owner/Permittee

By _____
Trustee, Steven and Lori Cairncross Trust

By _____
Sean P. Morgan
Owner/Permittee

By _____
Kimberly S. Morgan
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER HO-XXXX
MITIGATED NEGATIVE DECLARATION NO. 333421
CALLE DE LA GARZA
PROJECT NO. 333421 [MMRP]
Adopted on March 12, 2014

WHEREAS, on August 26, 2013, Steven E. Cairncross, Trustee of the Steven and Lori Cairncross Trust dated November 9, 1999, Sean P. Morgan and Kimberly S. Morgan, Owners/Permittees, submitted an application to Development Services Department for a Coastal Development Permit and Site Development Permit for the Calle De La Garza (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on March 12, 2014; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigation Negative Declaration No. 333421 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will

have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Laura C. Black, AICP,
Development Project Manager

ATTACHMENT: Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

**MITIGATION MONITORING AND REPORTING PROGRAM
COASTAL DEVELOPMENT PERMIT NO. 1167638
SITE DEVELOPMENT PERMIT NO. 1167639
CALLE DE LA GARZA PROJECT NO. 333421**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 333421 shall be made conditions of Coastal Development Permit No. 1167638 and Site Development Permit No. 1167639 as may be further described below.

A. GENERAL REQUIREMENTS – PART I**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:
<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II**Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also

include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: *Qualified Archaeologist, Native American Monitor*

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the RE at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) Number 282104 and /or Environmental Document Number 282104, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc)

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

Not Applicable

4. MONITORING EXHIBITS: All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS: The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist

<i><u>Issue Area</u></i>	<i><u>Document submittal</u></i>	<i><u>Assoc Inspection/Approvals/Notes</u></i>
General	Consultant Qualification Letters	Prior to Pre-construction Meeting
General	Consultant Const. Monitoring Exhibits	Prior to or at the Pre-Construction meeting
Archaeology	Archaeology Reports	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**HISTORICAL RESOURCES (ARCHAEOLOGY)****I. Prior to Permit Issuance****A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction**A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American

Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
 4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in

the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.

2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

- C. If Human Remains **ARE** determined to be Native American
1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. **Night and/or Weekend Work**

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVr and submit to MMC via fax by 8AM of the next business day.

- b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
 - C. All other procedures described above shall apply, as appropriate.

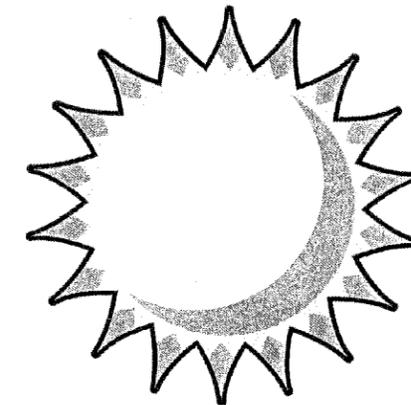
VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
 - 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 - 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 - 3. The cost for curation is the responsibility of the property owner.

- C. Curation of artifacts: Accession Agreement and Acceptance Verification
 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
 1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

CALLE DE LA GARZA



COASTAL DEVELOPMENT PERMIT SITE DEVELOPMENT PERMIT RE-SUBMITTAL SET

Prepared By:
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92104
phone: (619) 231-9905
fax: (658) 750-8471
contact: Tim Golba

Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 10/24/13
Revision 1: 08/26/13

Project Address:
8347 La Jolla Shores Dr.
La Jolla, CA 92037

Original Date: 01/26/13

Project Name:
Calle De La Garza

Sheet | Of 12

Sheet Title:
COVER SHEET

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave., #100 San Diego, California 92109
Phone: (619) 231-9905 Fax: (658) 750-3471

CALLE DE LA GARZA
8347 LA JOLLA SHORES DR.
LA JOLLA, CALIFORNIA 92037



GENERAL PLAN DEVELOPMENT GOALS

THE PROPOSED INFILL DEVELOPMENT PROJECT AT 8347 LA JOLLA SHORES DRIVE RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN.

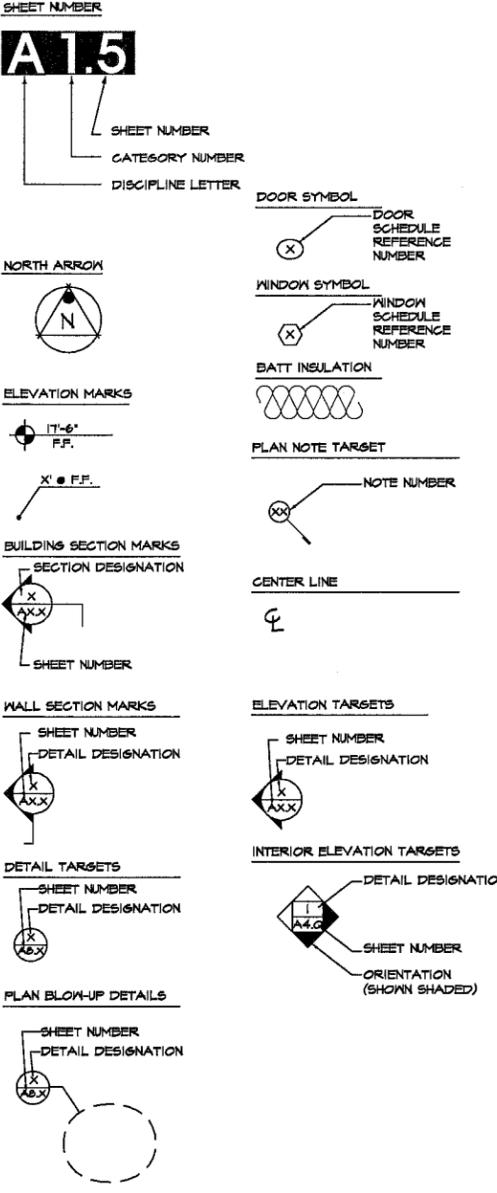
IN EFFORT TO REACH THESE GOALS THE PROJECT WILL EMPLOY THE FOLLOWING:

- SOLAR PHOTO VOLTIC SYSTEM FOR GENERATING POWER ON SITE.
- HIGH EFFICACY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE
- ENERGY STAR APPLIANCES
- DUAL PANE LOW-E GLAZING ON ALL WINDOWS
- USE OF LOW VOC PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS AND OTHER FINISHES WHERE FEASIBLE.
- USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE
- NATURAL COOLING/VENTILATION WITH OPERABLE WINDOWS
- WATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE
- USE OF PERMEABLE PAVING WHERE FEASIBLE.
- USE OF RAIN SENSOR SHUT OFF DEVICES
- HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT.

ABBREVIATIONS

ACOUS. ACOUSTICAL	ADJ. ADJUSTABLE	AT FINISHED FLOOR	AGG. AGGREGATE	ALUM. ALUMINUM	ALT. ALTERNATE	AP ACCESS PANEL	APPROX. APPROXIMATE	ARCH. ARCHITECTURAL	ASPH. ASPHALT	ASST. ASSISTANT	AUTO. AUTOMATIC	BD. BOARD	BLDS. BUILDING	BOT. BOTTOM	B.U.R. BUILT UP ROOFING	CAB. CABINET	CIRC. CIRCULATION	C.L. CENTER LINE	CLR. CLEAR	C.P. CEMENT PLASTER	CLO. CLOSET	C.M.U. CONCRETE MASONRY UNIT	COL. COLUMN	CONC. CONCRETE	CONF. CONFERENCE	CONN. CONNECTION	CONSTR. CONSTRUCTION	CONT. CONTINUOUS	CONTR. CONTRACTOR	COORD. COORDINATE	CORR. CORRIDOR	CPT. CARPET	C.J. CONTROL JOINT	C.T. CERAMIC TILE	CTR. CENTER	C.W. COLD WATER	DBL. DOUBLE	DEMO. DEMOLITION	DEPT. DEPARTMENT	DIA. DIAMETER	DIAG. DIAGONAL	DIFF. DIFFUSER	DIM. DIMENSION	DIV. DIVISION	DN. DOWN	D.P. DAMPROOFING	DR. DOOR	DTL. DETAIL	E. EAST	EA. EACH	EL. ELEVATION	ELAS. ELASTOMERIC	ELEC. ELECTRICAL	ELEV. ELEVATOR	EMER. EMERGENCY	ENCL. ENCLOSURE	ENGR. ENGINEER	ENT. ENTRANCE	E.J. EXPANSION JOINT	E. PNL. ELECTRICAL PANEL	EQ. EQUAL	EQUIP. EQUIPMENT	E.W.C. ELECTRIC WATER COOLER	EXH. EXHAUST	EXST. EXISTING	EXP. EXPANSION	EXT. EXTERIOR	F.D. FLOOR DRAIN	FDN. FOUNDATION	F.E. FIRE EXTINGUISHER	F.F. FINISH FLOOR	F.H.G. FIRE HOSE CABINET	FIN. FINISH	FL. FLOOR	FLEX. FLEXIBLE	FLOUR. FLUORESCENT	FT. FOOT	FRUN. FURNITURE	FURR. FURRING	FUT. FUTURE	GA. GAUSE	GALV. GALVANIZED	GEN. GENERAL	GL. GLASS	GRD. GRADE	GR. GRADE	GYP. BD. GYPSUM BOARD	H.C. HARD CORE	H.D.M. HARDWARE	H.M. HOLLOW METAL	HORZ. HORIZONTAL	HR. HOUR	HT. HEIGHT	HTG. HEATING	H.V.A.C. HEATING VENTILATION	HXL. HOT WATER	IN. INCHES	INCAND. INCANDESCENT	INCL. INCLUDED	INSUL. INSULATED	INT. INTERIOR	INTERM. INTERMEDIATE	JAN. JANITOR	JT. JOINT	KIT. KITCHEN	LAM. LAMINATE	LAUN. LAUNDRY	LAV. LAVATORY	LB(S) POUNDS	L.F. LINEAR FOOT	L.T. LIGHT	MACH. MACHINE	MAINT. MAINTENANCE	MAS. MASONRY	MATL. MATERIAL	MAX. MAXIMUM	MECH. MECHANICAL	MEM. MEMORANE	MEZZ. MEZZANINE	MFR. MANUFACTURER	MIN. MINIMUM	MISC. MISCELLANEOUS	M.O. MASONRY OPENING	MOV. MOVABLE	MTD. MOUNTED	MTL. METAL	MILL. MILLION	N. NORTH	N.I.C. NOT IN CONTRACT	NO. NUMBER	NOM. NOMINAL	N.T.S. NOT TO SCALE	OA. OVERALL	O.C. ON CENTER	O.D. OUTSIDE DIAMETER	O.P.D. OVERFLOW DRAIN	OFF. OFFICE	OH. OVERHEAD	OPNS. OPENING	OPP. OPPOSITE	PAV. PAVING	P.C. PRE-CAST	PL. PLATE	PLAM. PLASTIC LAMINATE	PLAS. PLASTER	PLBS. PLUMBING	PLYND. PLYWOOD	PNT. PAINT	PNL. PANEL	POL. POLISHED	PROP. PROPERTY	P.S.F. POUNDS PER SQUARE FOOT	P.S.I. POUNDS PER SQUARE INCH	PTD. PAINTED	PTN. PARTITION	PT. POINT	QTY. QUANTITY	R. RUBBER	RECEP. RECEPTION	REINF. REINFORCING	R.O.M. RIGHT OF WAY	RAD. RADIUS	R.B. RUBBER BASE	R.C.P. REFLECTED CEILING PLAN	R.D. ROOF DRAIN	REC. RECESSED	REF. REFERENCE	REFR. REFRIGERATOR	REINF. REINFORCED	REQD. REQUIRED	RESL. RESULTANT	REV. REVISION	RF. ROOFING	R.M. ROOM	R.O. ROUGH OPENING	S. SOUTH	SAN. SANITARY	SCHED. SCHEDULE	SECT. SECTION	SECUR. SECURITY	S.F. SQUARE FOOT	SHR. SHOWER	SHT. SHEET	SIM. SIMILAR	SL. SLOPE	S.P. STANDPIPE	SPEC. SPECIFICATION	SPKR. SPEAKER	SQ. SQUARE	S.S.T. STAINLESS STEEL	STA. STATION	STD. STANDARD	STL. STEEL	STOR. STORAGE	STRUC. STRUCTURAL	SUSP. SUSPENDED	SYM. SYMMETRICAL	T. TREAD	T.O. TOP OF	T.#B. TOP AND BOTTOM	T.#S. TONGUE AND GROOVE	TEL. TELEPHONE	TEMP. TEMPERED	TER. TERRAZZO	THK. THICK	TOLT. TOLLET	TOPO. TOPOGRAPHY	T.V. TELEVISION	TYP. TYPICAL	UNEXC. UNEXCAVATED	UNF. UNFINISHED	UNO. UNLESS OTHERWISE NOTED	UTL. UTILITY	VAC. VACUUM	V.C.T. VINYL COMPOSITION TILE	VENT. VENTILATION	VERT. VERTICAL	VEST. VESTIBULE	V.I.F. VERIFY IN FIELD	VOL. VOLUME	V.T. VINYL TILE	W. WEST	W.C. WATER CLOSET	WD. MOOD	WF. WIDE FLANGE	WH. WATER HEATER	WIN. WINDOW	WM. WIRE MESH	W.P. WATERPROOFING	WT. WATER	W.W.F. WELDED WIRE MESH	YD. YARD
-------------------	-----------------	-------------------	----------------	----------------	----------------	-----------------	---------------------	---------------------	---------------	-----------------	-----------------	-----------	----------------	-------------	-------------------------	--------------	-------------------	------------------	------------	---------------------	-------------	------------------------------	-------------	----------------	------------------	------------------	----------------------	------------------	-------------------	-------------------	----------------	-------------	--------------------	-------------------	-------------	-----------------	-------------	------------------	------------------	---------------	----------------	----------------	----------------	---------------	----------	------------------	----------	-------------	---------	----------	---------------	-------------------	------------------	----------------	-----------------	-----------------	----------------	---------------	----------------------	--------------------------	-----------	------------------	------------------------------	--------------	----------------	----------------	---------------	------------------	-----------------	------------------------	-------------------	--------------------------	-------------	-----------	----------------	--------------------	----------	-----------------	---------------	-------------	-----------	------------------	--------------	-----------	------------	-----------	-----------------------	----------------	-----------------	-------------------	------------------	----------	------------	--------------	------------------------------	----------------	------------	----------------------	----------------	------------------	---------------	----------------------	--------------	-----------	--------------	---------------	---------------	---------------	--------------	------------------	------------	---------------	--------------------	--------------	----------------	--------------	------------------	---------------	-----------------	-------------------	--------------	---------------------	----------------------	--------------	--------------	------------	---------------	----------	------------------------	------------	--------------	---------------------	-------------	----------------	-----------------------	-----------------------	-------------	--------------	---------------	---------------	-------------	---------------	-----------	------------------------	---------------	----------------	----------------	------------	------------	---------------	----------------	-------------------------------	-------------------------------	--------------	----------------	-----------	---------------	-----------	------------------	--------------------	---------------------	-------------	------------------	-------------------------------	-----------------	---------------	----------------	--------------------	-------------------	----------------	-----------------	---------------	-------------	-----------	--------------------	----------	---------------	-----------------	---------------	-----------------	------------------	-------------	------------	--------------	-----------	----------------	---------------------	---------------	------------	------------------------	--------------	---------------	------------	---------------	-------------------	-----------------	------------------	----------	-------------	----------------------	-------------------------	----------------	----------------	---------------	------------	--------------	------------------	-----------------	--------------	--------------------	-----------------	-----------------------------	--------------	-------------	-------------------------------	-------------------	----------------	-----------------	------------------------	-------------	-----------------	---------	-------------------	----------	-----------------	------------------	-------------	---------------	--------------------	-----------	-------------------------	----------

SYMBOLS



PROJECT DATA

ASSESSORS PARCEL NUMBER: 946-180-04-00

SCOPE OF WORK: DEMOLITION OF EXISTING 1811 S.F. SINGLE FAMILY RESIDENCE, 420 S.F. 2-CAR GARAGE AND A 612 S.F. GUEST HOUSE. CONSTRUCT NEW 5250 S.F. 2-STORY SINGLE-FAMILY RESIDENCE WITH ATTACHED 740 S.F. GARAGE AND A 445 S.F. ROOF DECK.

SITE ADDRESS: 8347 LA JOLLA SHORES DR. LA JOLLA, CA 92057

LEGAL DESCRIPTION: ALL THAT PORTION OF LOT 12917 OF THE PUEBLO LANDS OF SAN DIEGO, MISCELLANEOUS MAP NO. 96.

LOT ZONING: LUSPD-SF

REQUIRED PERMITS: COASTAL DEVELOPMENT PERMIT SITE DEVELOPMENT PERMIT

OVERLAYS: COASTAL HEIGHT LIMIT, LA JOLLA COMMUNITY PLAN, LOCAL COASTAL PROGRAM AREA, COASTAL OVERLAY ZONE (NON-APPEALABLE 2 AREA), PARKING IMPACT OVERLAY ZONE (BEACH IMPACT AREA), RESIDENTIAL TANDEM PARKING OVERLAY ZONE

GOVERNING CODES: 2010 C.B.C.

OCCUPANCY: R-3

EXISTING LOT USE: SINGLE-FAMILY RESIDENCE

PROPOSED LOT USE: SINGLE-FAMILY RESIDENCE

EXISTING SOIL CONDITION: PREVIOUSLY GRADED AND DISTURBED

GEOLOGIC HAZARD CATEGORY: ZONE S2

REQUIRED SOIL: REQUIRED: 50% PROPOSED: 50.55%

BUILDING DATA

CONSTRUCTION TYPE: VB

NUMBER OF STORIES: 2

LOT SIZE: 10,000 S.F.

ALLOWABLE F.A.R.: GOVERNED (PER LUSPD-SF ZONING)

F.A.R. LIVING SPACE: 0.54

PROPOSED S.F. (SEE BELOW): 5,990 S.F.

ALLOWABLE BUILDING HEIGHT: 50'-0"

PROPOSED BUILDING HEIGHT: 25'-2"

ALLOWABLE LOT COVERAGE: 6%

PROPOSED LOT COVERAGE: 51%

F.A.R. TOTAL PROJECT: 0.54

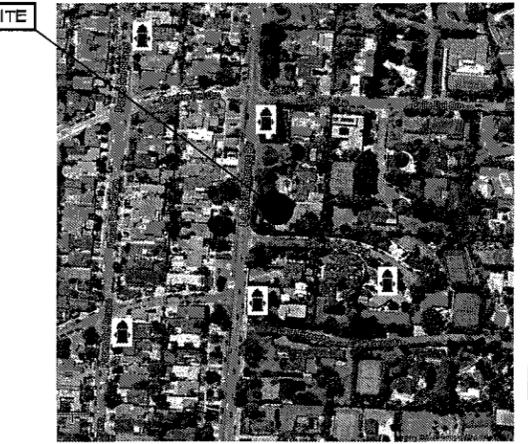
SQUARE FOOTAGE ANALYSIS

1ST FLOOR	= 2,790 S.F.
2ND FLOOR	= 2,460 S.F.
TOTAL SQUARE FOOTAGE	= 5,250 S.F.

GARAGE	= 740 S.F.
TOTAL	= 5,990 S.F.

2ND FLOOR DECKS	= 824 S.F.
ROOF DECK	= 445 S.F.

HYDRANT MAP



SHEET INDEX

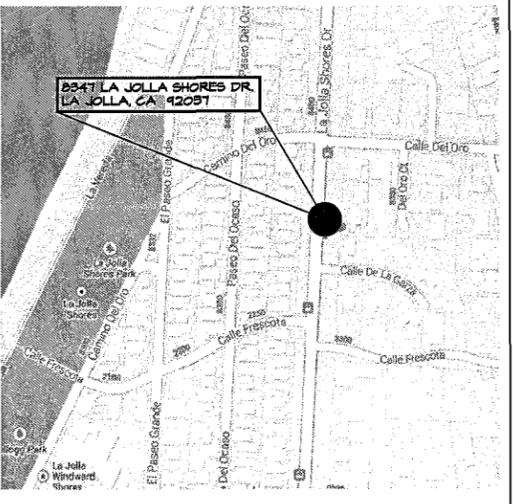
TLO COVER SHEET
 TLI LEGEND AND BUILDING DATA

CIVIL
 C1 TOPOGRAPHIC SURVEY

ARCHITECTURAL
 A0.0 SITE PLAN
 A1.0 FIRST FLOOR PLAN
 A1.1 SECOND FLOOR PLAN
 A1.2 ROOF PLAN
 A2.0 EXTERIOR ELEVATIONS
 A2.1 EXTERIOR ELEVATIONS
 A3.0 BUILDING SECTIONS

LANDSCAPE
 L1.0 LANDSCAPE DEVELOPMENT PLAN
 L1.1 LANDSCAPE DEVELOPMENT PLANTING PLAN

VICINITY MAP



PROJECT TEAM

OWNER: STEVE CAIRNCROSS
 P: 619-251-4405

ARCHITECT: GOLBA ARCHITECTURE
 CONTACT: REBECCA MARGUEZ
 1940 GARNET AVENUE
 SUITE 100
 SAN DIEGO, CA 92104
 P: 619-251-4405
 F: 655-150-3471

SURVEYOR: SAN DIEGO LAND SURVEYING AND ENGINEERING, INC.
 CONTACT: ROBERT BATEMAN
 9665 CHESAPEAKE DRIVE, SUITE 445
 SAN DIEGO, CA 92128
 P: 858-565-8562

LANDSCAPE ARCHITECT: NERI LANDSCAPE ARCHITECTURE
 928 HORNBLAND STREET, SUITE #9
 SAN DIEGO, CA 92104
 TEL: (858) 214-3222
 CONTACT: JIM NERI

Prepared By: Golba Architecture
 1940 Garnet Ave., Suite 100
 San Diego, CA 92104
 phone: (619) 251-4405
 fax: (858) 750-3471
 contact: Tim Golba

Revision 7:
 Revision 6:
 Revision 5:
 Revision 4:
 Revision 3:
 Revision 2: 10/24/13
 Revision 1: 08/26/13

Project Addresses: Original Date: 07/26/13
 8347 La Jolla Shores Dr.
 La Jolla, CA 92057

Project Name: Sheet 2 Of 12
 Calle De La Garza

LEGEND & BUILDING DATA

GOLBA ARCHITECTURE
 Architecture ■ Space Planning ■ Interior Design
 1940 Garnet Ave., #100 San Diego California 92109
 Phone: (619) 231-9905 Fax: (858) 750-3471

CALLE DE LA GARZA
 8347 LA JOLLA SHORES DR.
 LA JOLLA, CALIFORNIA 92057

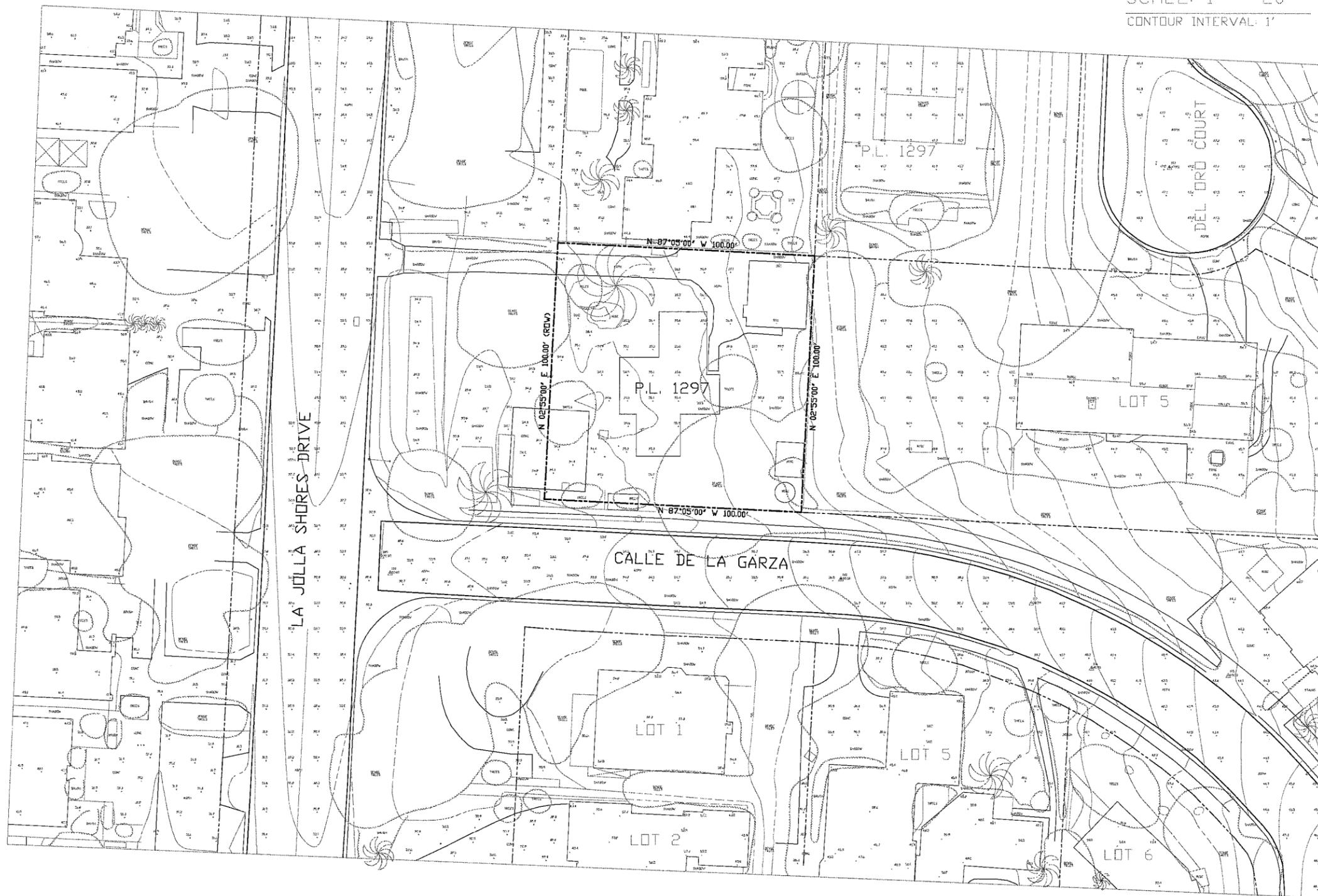


TOPOGRAPHIC MAP



SCALE: 1" = 20'

CONTOUR INTERVAL: 1'



LEGAL DESCRIPTION

ALL THAT PORTION OF LOT 1297 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921, AND IS KNOWN AS MISCELLANEOUS MAP NO. 36, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF CALLE FRESCOTA, FORMERLY KNOWN AS CAMINO DEL SOL, WITH THE EASTERLY LINE OF LA JOLLA SHORES UNIT NO. 1, AS SHOWN ON MAP THEREOF NO. 1913, RECORDS OF SAN DIEGO COUNTY, SAID EASTERLY LINE OF SAID SUBDIVISION BEING ALSO THE WESTERLY LINE OF SAID LA JOLLA SHORES DRIVE, FORMERLY TORREY PINES ROAD; THENCE AT RIGHT ANGLES TO SAID WESTERLY LINE OF SAID LA JOLLA SHORES DRIVE, SOUTH 87° FEET TO A POINT IN THE EASTERLY LINE OF SAID DRIVE; THENCE NORTH 2° ALONG SAID EASTERLY LINE A DISTANCE OF 225 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 2° DISTANCE OF 100 FEET; THENCE AT RIGHT ANGLES SOUTH 87° FEET; THENCE SOUTH 2° A DISTANCE OF 100 FEET TO THE TRUE POINT OF BEGINNING.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK BRASS PLUG LOCATED IN THE TOP OF CURB AT THE SOUTHEAST CORNER OF CALLE DEL ORD AND DEL ORD COURT. ELEVATION = 48.01' MEAN SEA LEVEL (M.G.V.D. 1929).

NOTES

- EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. TITLE REPORT NOT PROVIDED.
- THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
- THE ADDRESS FOR THE SUBJECT PROPERTY IS 8347 LA JOLLA SHORES DRIVE, LA JOLLA, CA 92037.
- THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 346-180-04.
- THE AREA OF THE SUBJECT PROPERTY IS 0.23 ACRES.

ABBREVIATIONS

C&C	CONCRETE
EL	ELEVATION
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FINISH SURFACE
ROW	RIGHT OF WAY
TY	TYPICAL



PATRICK F. CHRISTENSEN, P.L.S. 7208 07-10-13
 Date

Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7888 SILVERTON AVENUE, SUITE 'J'
 SAN DIEGO, CA 92126
 PHONE (858)271-9901 FAX (858)271-8912

Project Address:
 8347 LA JOLLA SHORES DRIVE
 LA JOLLA, CA 92037

- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2:
- Revision 1:

Project Name:
 8347 LA JOLLA SHORES DRIVE

Original Date: JULY 10, 2013

Sheet Title:
 TOPOGRAPHIC MAP

Sheet 3 OF 12

DEP# _____

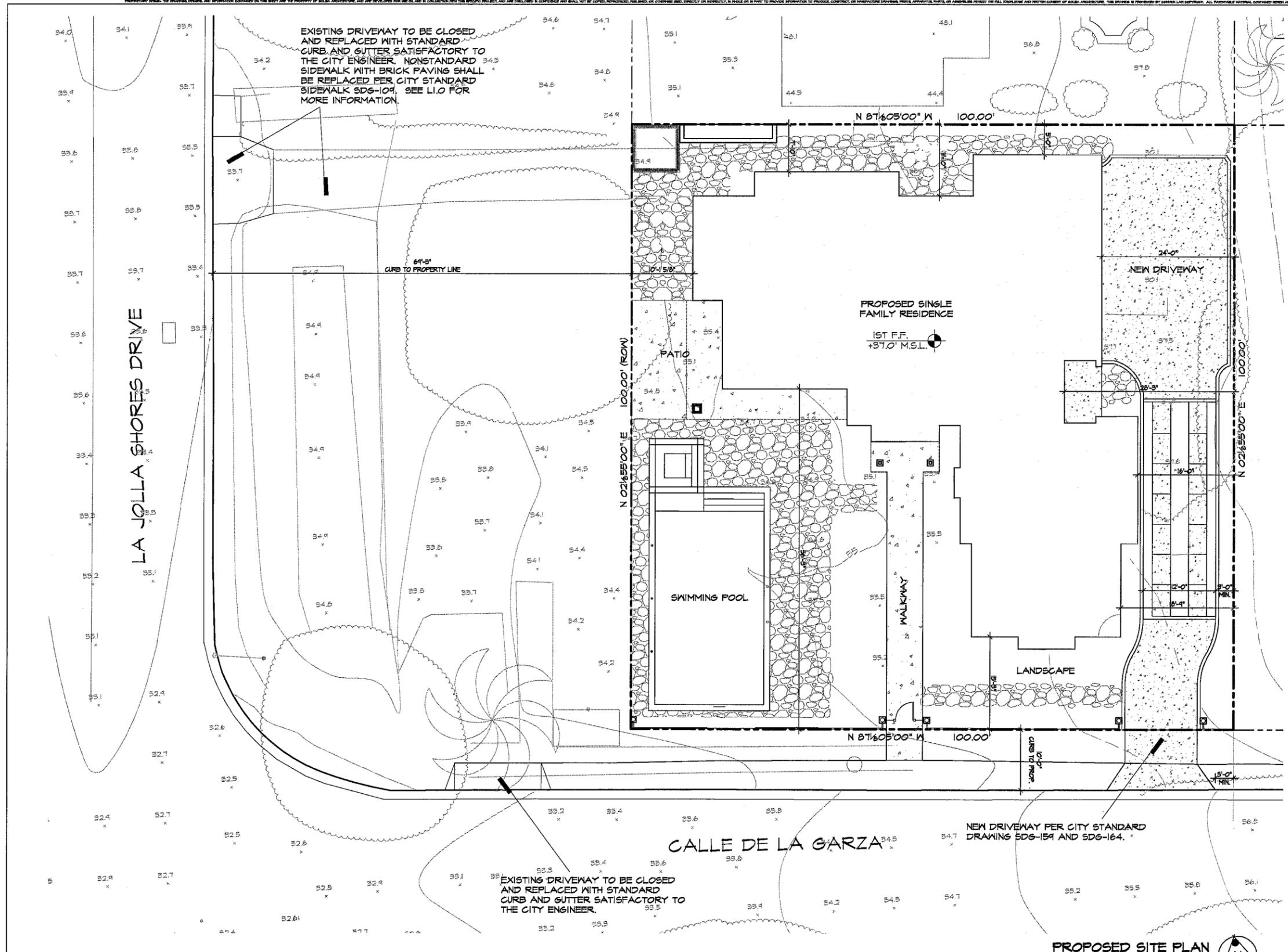
GOLBA ARCHITECTURE
 Architecture ■ Space Planning ■ Interior Design
 1940 Garnet Ave. #100 San Diego California 92109
 Phone: (619) 231-9905 Fax: (858) 750-3471

CALLE DE LA GARZA
 2310 CALLE DE LA GARZA
 LA JOLLA, CALIFORNIA 92037



507
 THE
A00

DATE: 08-26-13



EXISTING DRIVEWAY TO BE CLOSED AND REPLACED WITH STANDARD CURB AND GUTTER SATISFACTORY TO THE CITY ENGINEER. NONSTANDARD SIDEWALK WITH BRICK PAVING SHALL BE REPLACED PER CITY STANDARD SIDEWALK SDG-104. SEE L.I.O FOR MORE INFORMATION.

64'-5" CURB TO PROPERTY LINE

PROPOSED SINGLE FAMILY RESIDENCE
 1ST F.F.
 +37.0' M.S.L.

SWIMMING POOL

CALLE DE LA GARZA

NEW DRIVEWAY PER CITY STANDARD DRAWING SDG-159 AND SDG-164.

EXISTING DRIVEWAY TO BE CLOSED AND REPLACED WITH STANDARD CURB AND GUTTER SATISFACTORY TO THE CITY ENGINEER.

PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

BENCHMARK
 CITY OF SAN DIEGO BENCHMARK BRASS PLUS LOCATED IN THE TOP OF CURB AT THE SOUTHEAST CORNER OF CALLE DEL ORO AND DEL ORO COURT. ELEVATION = 48.01' MEAN SEA LEVEL (N.S.V.D. 1929).

SOIL DISTURBANCE:
 CUT: 78 YARDS
 FILL: 16 YARDS
 82 CUBIC YARDS EXPORT
 MAX. CUT DEPTH: 4.8'
 MAX. FILL: 1.0'

HISTORICAL RESOURCES NOTE:
 APPLICANT AGREES TO IMPLEMENT THE MITIGATION MEASURES RELATED TO HISTORICAL RESOURCES (ARCHAEOLOGY). THE SITE SHALL BE MONITORED DURING GROUND-DISTURBING ACTIVITIES.

BUILDING ADDRESS:
 PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6

SITE PLAN NOTES:
 [Symbol] PROPOSED NEW RESIDENCE
 [Symbol] EXISTING RESIDENCE
 - - - - - PROPERTY LINE
 - - - - - SETBACK

Prepared By:
 Golba Architecture
 1940 Garnet Ave., Suite 100
 San Diego, CA 92109
 phone: (619) 231-9905
 fax: (858) 750-3471
 contact: Tim Golba

Revision 1: 08/26/13
Revision 2: 10/24/13
Revision 3:
Revision 4:
Revision 5:
Revision 6:
Revision 7:

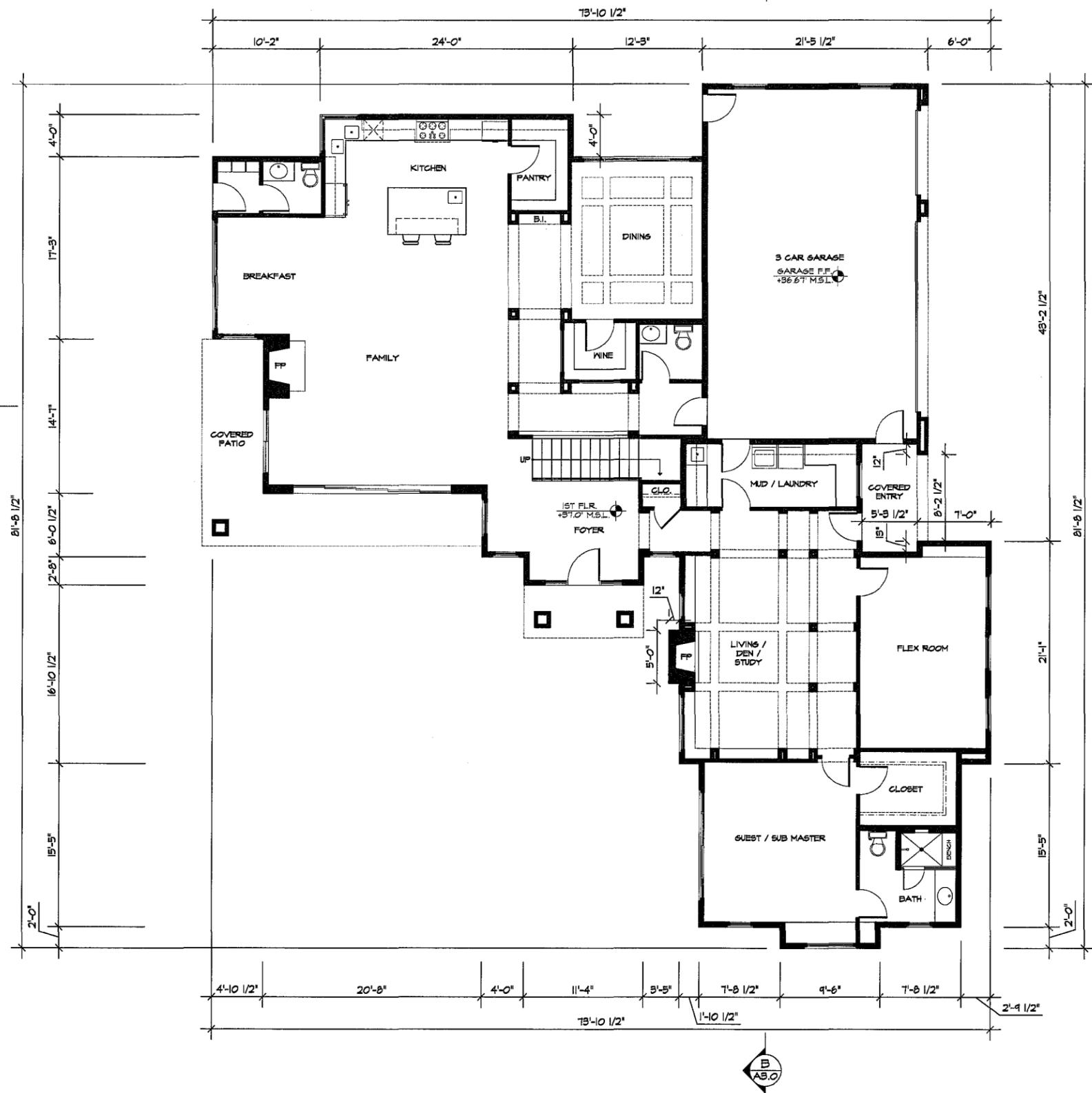
Project Addresses:
 2347 La Jolla Shores Dr.
 La Jolla, CA 92037

Original Date: 07/26/13

Project Name:
 Calle De La Garza

Sheet 4 of 12

Sheet Title:
SITE PLAN



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

Prepared By:
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92104
phone: (619) 231-9905
fax: (658) 750-3471
contact: Tim Golba

Revision 1:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 10/24/13
Revision 1: 08/26/13

Project Addresses:
8347 La Jolla Shores Dr.
La Jolla, CA 92037

Original Date: 07/26/13

Project Name:
Calle De La Garza

Sheet 5 Of 12

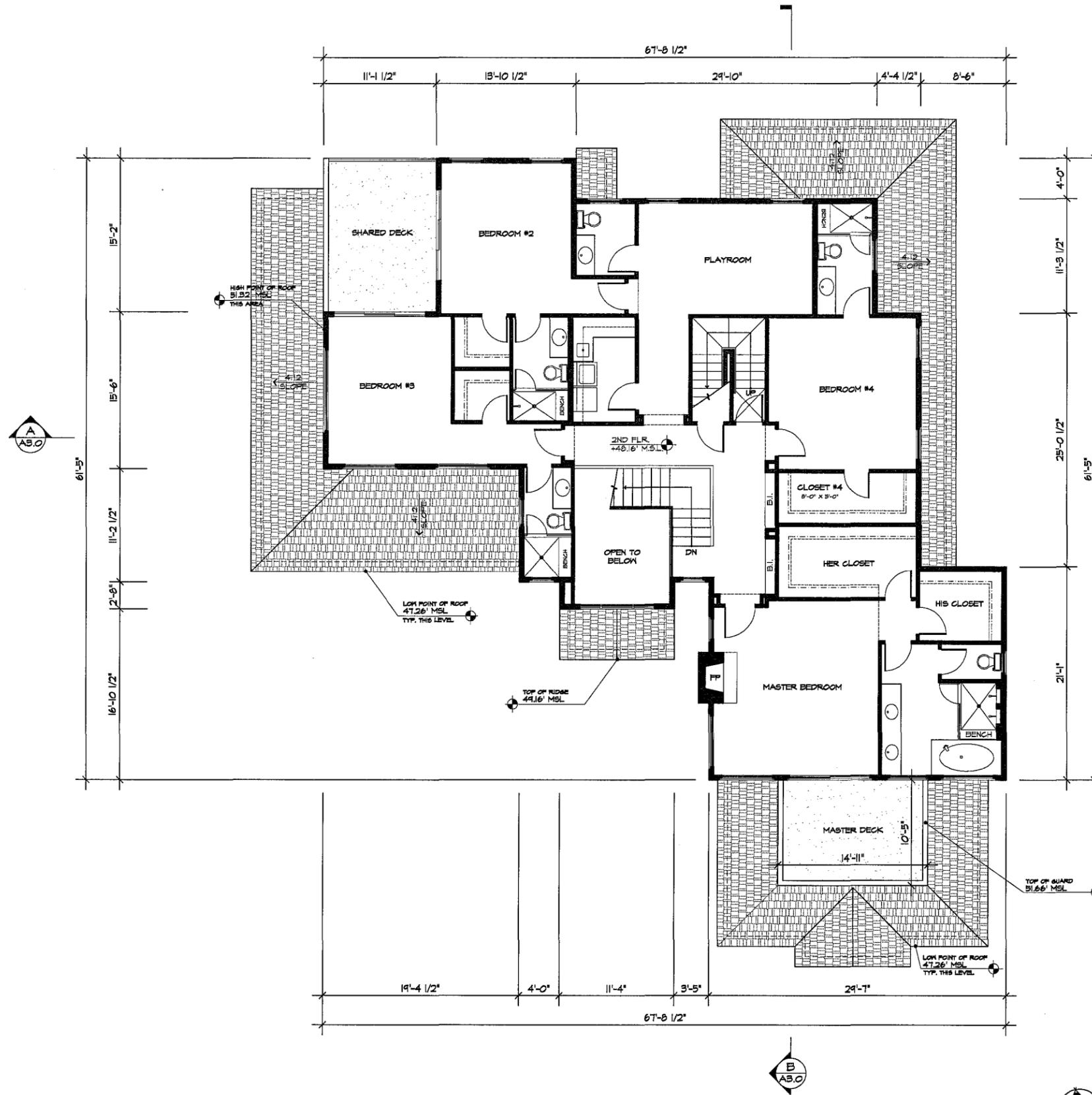
Sheet Title:
FIRST FLOOR PLAN

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave., #100 San Diego California 92104
Phone: (619) 231-9905 Fax: (658) 750-3471

CALLE DE LA GARZA
8347 LA JOLLA SHORES DR.
LA JOLLA, CALIFORNIA 92037



A 1.0



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

Prepared By:
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
phone: (619) 231-9905
fax: (658) 750-3471
contact: Tim Golba

Revision 1: 07/26/13
Revision 2: 10/24/13
Revision 3: 08/26/13
Revision 4:
Revision 5:
Revision 6:
Revision 7:

Project Addresses:
8347 La Jolla Shores Dr.
La Jolla, CA 92037

Original Date: 07/26/13

Project Name:
Calle De La Garza

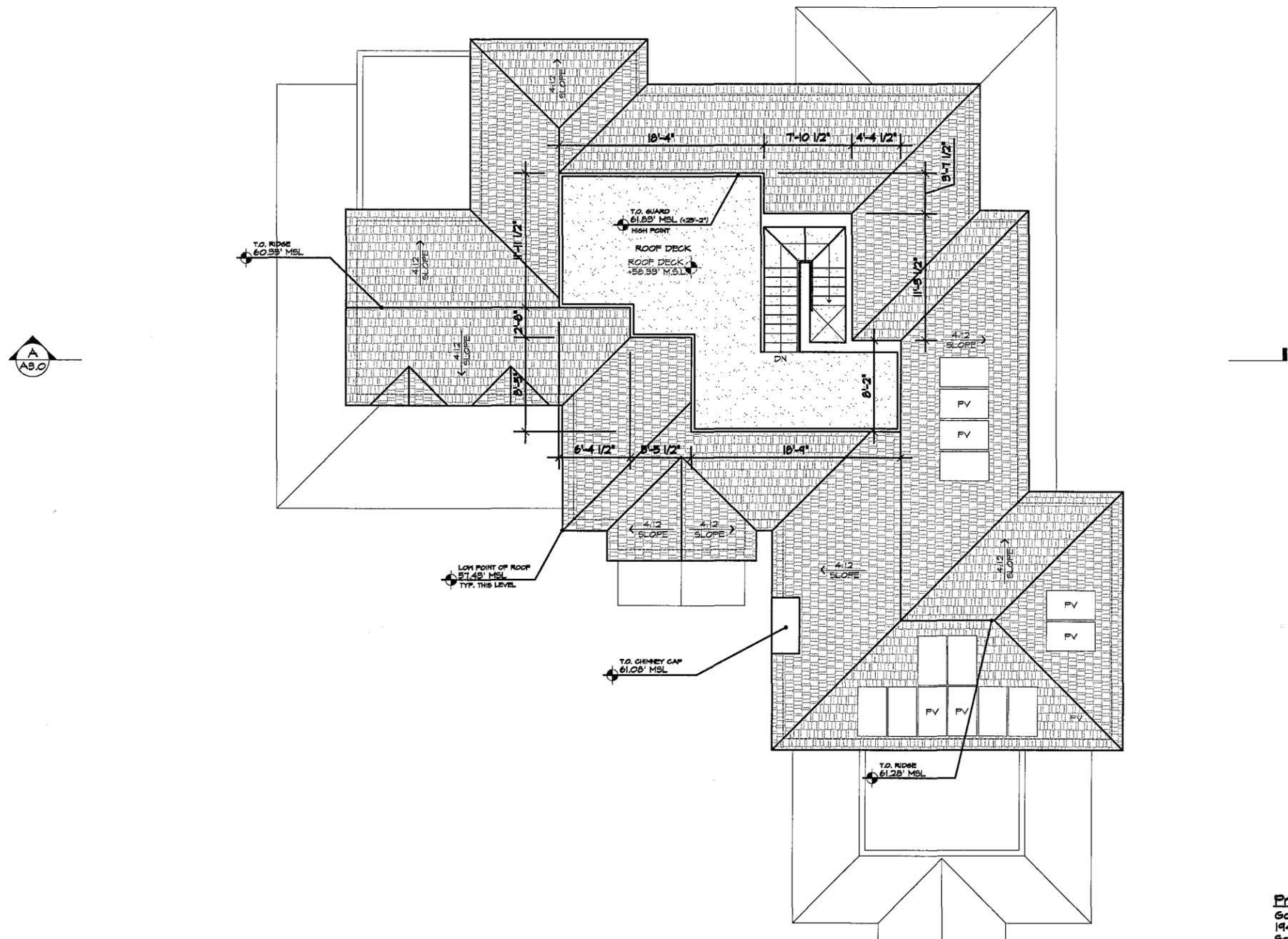
Sheet 6 of 11

Sheet Title:
SECOND FLOOR PLAN

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego, California 92109
Phone: (619) 231-9905 Fax: (658) 750-3471

CALLE DE LA GARZA
8347 LA JOLLA SHORES DR.
LA JOLLA, CALIFORNIA 92037





ROOF PLAN
SCALE: 3/16" = 1'-0"



Prepared By:
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
phone: (619) 231-9905
fax: (858) 750-3471
contact: Tim Golba

Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 10/24/13
Revision 1: 08/26/13

Project Address:
8847 La Jolla Shores Dr.
La Jolla, CA 92037

Original Date: 07/26/13

Project Name:
Calle De La Garza

Sheet 7 of 12

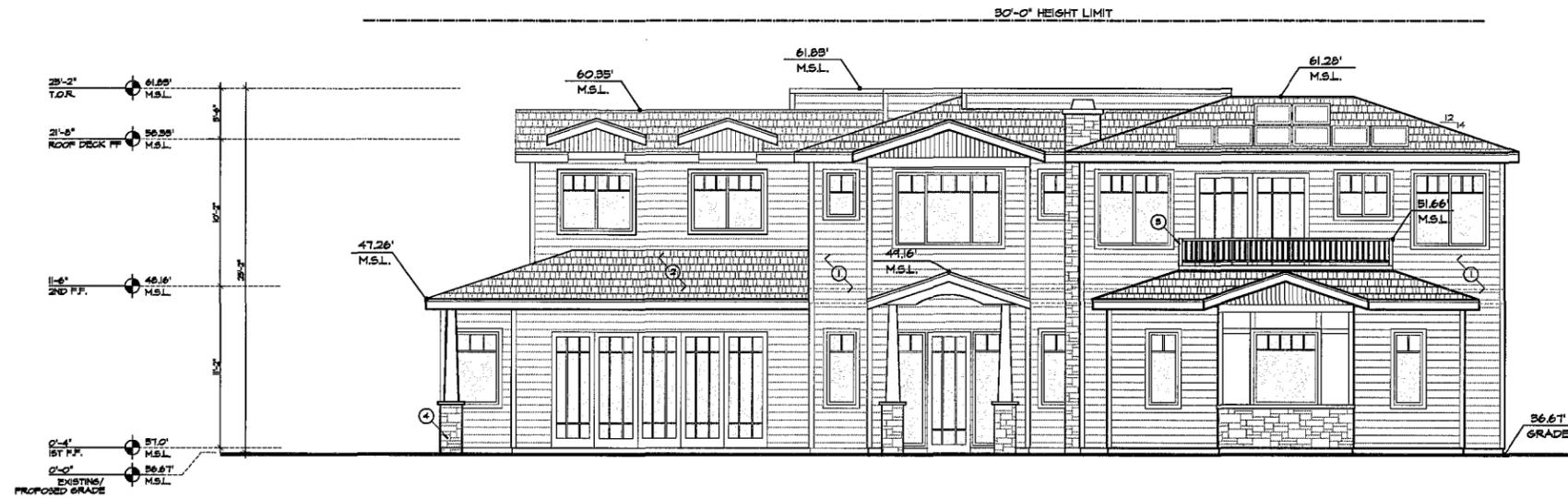
Sheet Title:
ROOF PLAN

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

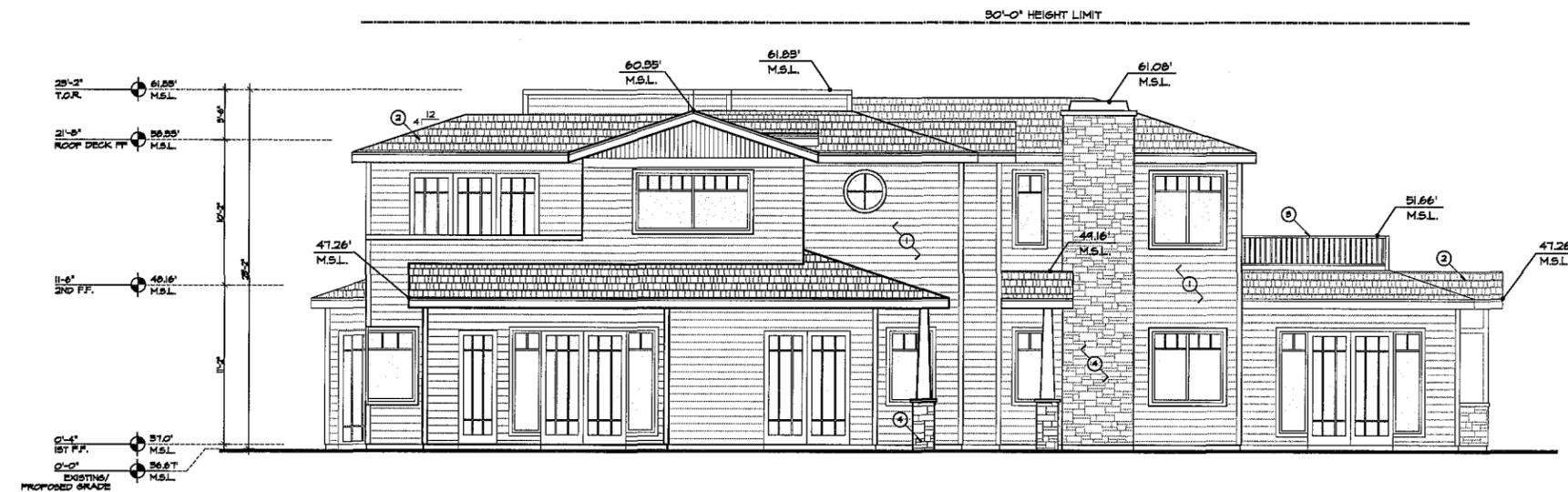
CALLE DE LA GARZA
2310 CALLE DE LA GARZA
LA JOLLA, CALIFORNIA 92037



A 12



SOUTH ELEVATION
SCALE: 3/16"=1'-0"



WEST ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION NOTES:

PLEASE REFERENCE THE FULL COLOR RENDERING ON SHEET T1.0 FOR MORE INFORMATION

- ① HARDIE SIDING, COLOR: LIGHT GREY
- ② SHINGLE ROOF, COLOR: DARK GREY
- ③ WOOD GUARD RAILS, COLOR: WHITE
- ④ ELDORADO STONE: RUSTIC LEDGE OR SIMILAR PER OWNER

Prepared By:
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92104
phone: (619) 231-9905
fax: (619) 750-3471
contact: Tim Golba

Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 10/24/13
Revision 1: 08/26/13

Project Address:
8847 La Jolla Shores Dr.
La Jolla, CA 92037

Original Date: 07/26/13

Project Name:
Calle De La Garza

Sheet 8 Of 12

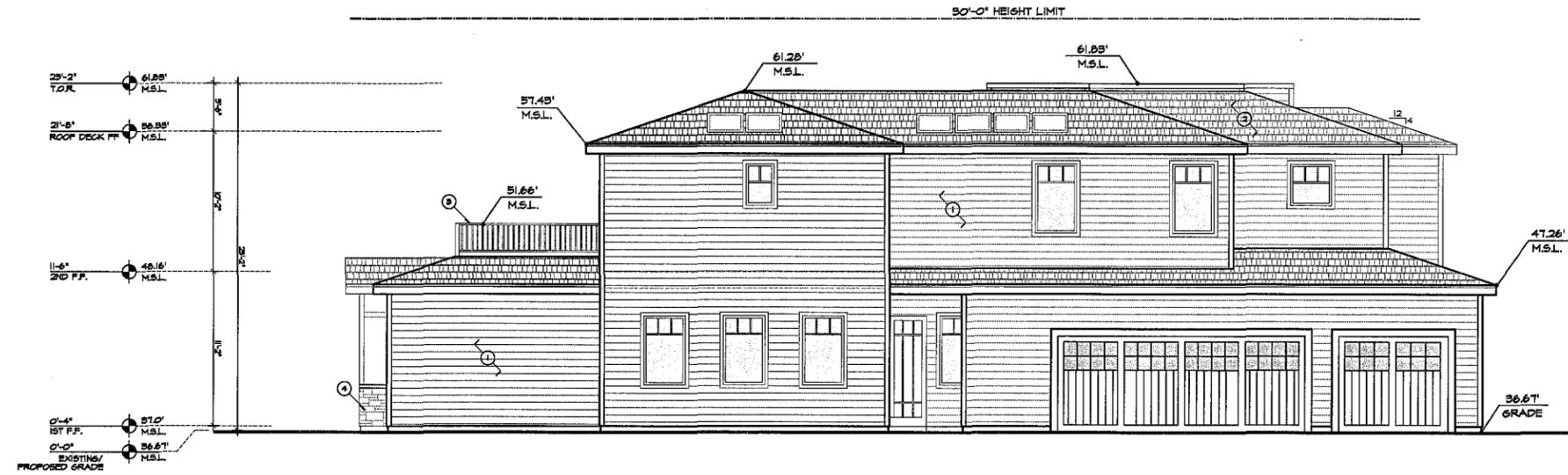
Sheet Title:
ELEVATIONS

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave., #100 San Diego, California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

CALLE DE LA GARZA
2310 CALLE DE LA GARZA
LA JOLLA, CALIFORNIA 92037

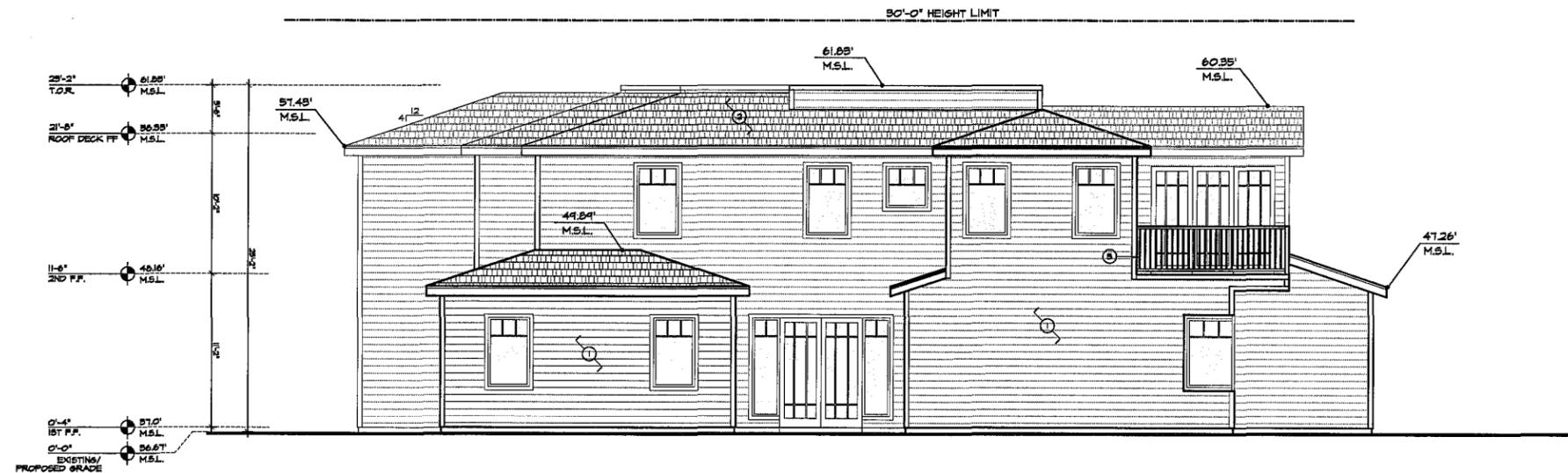


A 2.0



EAST ELEVATION

SCALE: 3/16"=1'-0"



NORTH ELEVATION

SCALE: 3/16"=1'-0"

ELEVATION NOTES:

PLEASE REFERENCE THE FULL COLOR RENDERING ON SHEET T1.0 FOR MORE INFORMATION

- ① HARDIE SIDING, COLOR: LIGHT GREY
- ② SHINGLE ROOF, COLOR: DARK GREY
- ③ WOOD GUARD RAILS, COLOR: WHITE
- ④ ELDORADO STONE, RUSTIC LEDGE OR SIMILAR PER OWNER

Prepared By:
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
phone: (619) 231-9905
fax: (658) 750-3471
contact: Tim Golba

Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 10/24/13
Revision 1: 08/26/13

Project Address:
8847 La Jolla Shores Dr.
La Jolla, CA 92037

Original Date: 07/26/13

Project Name:
Calle De La Garza

Sheet 9 of 12

Sheet Title:
ELEVATIONS

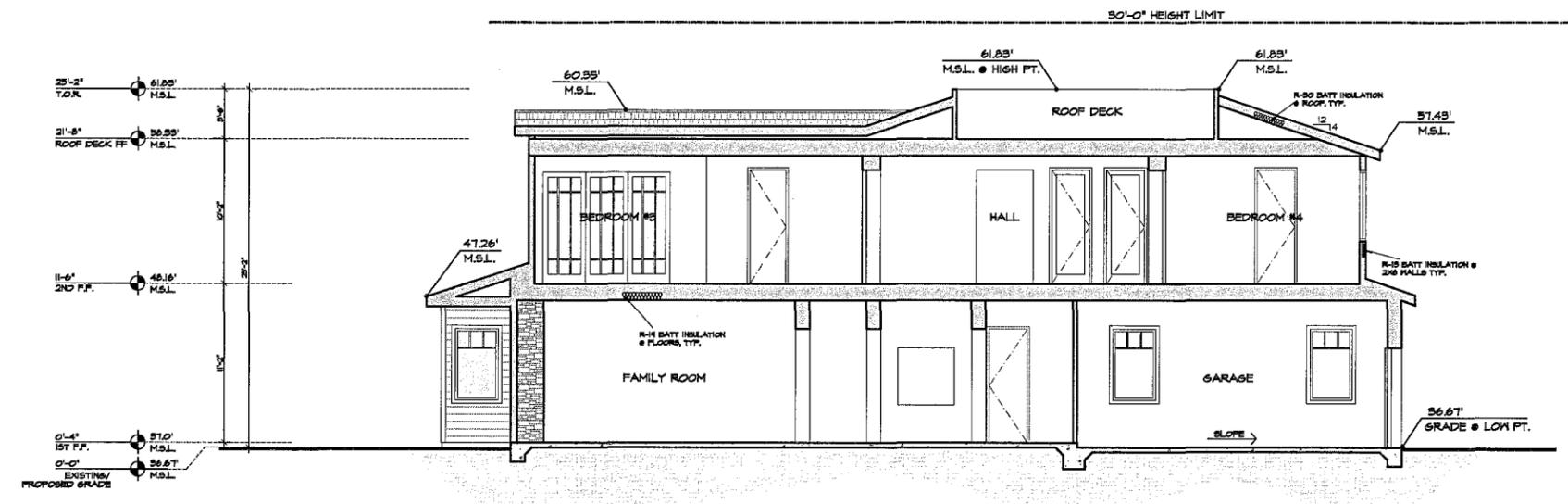
GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

CALLE DE LA GARZA
2310 CALLE DE LA GARZA
LA JOLLA, CALIFORNIA 92037

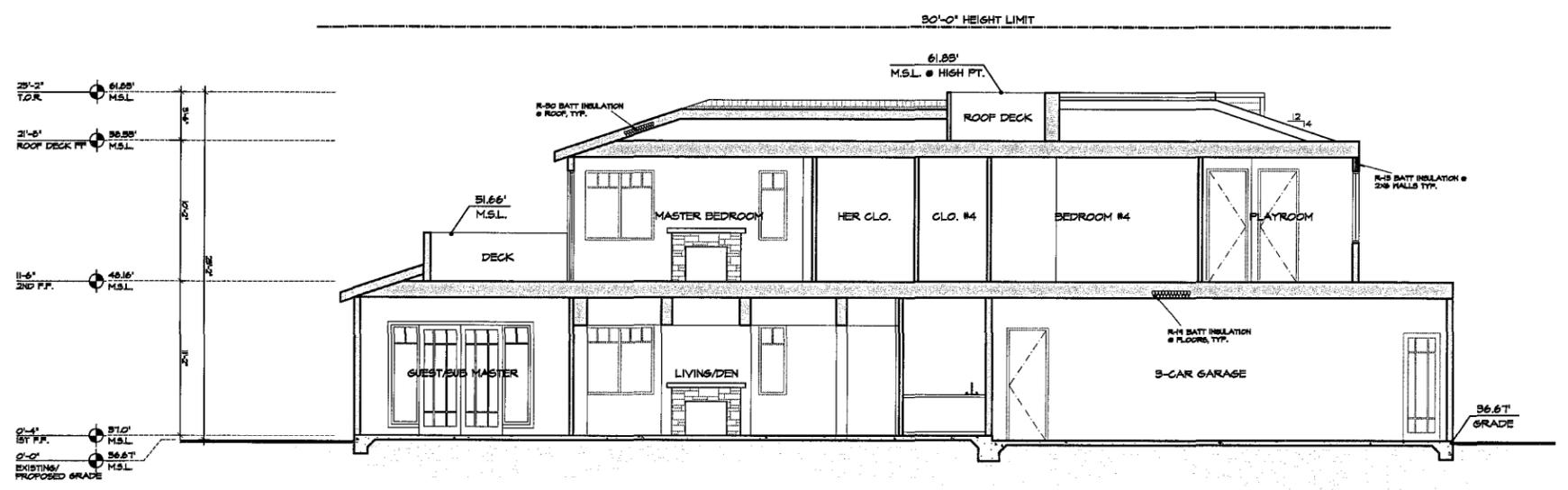


A21

PROFESSIONAL DESIGN, DRAWING, CONSULTING AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, INC. AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT, AND ARE NOT TO BE REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PROVIDE, CONTRACT, OR MANUFACTURE DRAWINGS, PRINTS, APPROPRIATE PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE, INC. THE DRAWING IS PROTECTED BY COPYRIGHT LAW. ALL INFORMATION CONTAINED HEREIN AND INFORMATION WITHIN GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE, INC. AND NO PART SHALL BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF GOLBA ARCHITECTURE, INC.



SECTION A
SCALE: 3/16"=1'-0"



SECTION B
SCALE: 3/16"=1'-0"

Prepared By:
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
Phone: (619) 231-9905
Fax: (858) 750-3471
Contact: Tim Golba

Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 10/24/13
Revision 1: 08/26/13

Project Address:
8347 La Jolla Shores Dr.
La Jolla, CA 92037

Original Date: 07/26/13

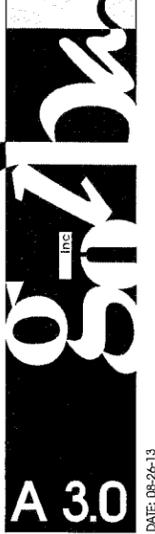
Project Name:
Calle De La Garza

Sheet 10 OF 12

Sheet Title:
SECTIONS

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave., #100 San Diego, California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

CALLE DE LA GARZA
8347 LA JOLLA SHORES DR.
LA JOLLA, CALIFORNIA 92037



GENERAL NOTES:

1. THE LANDSCAPE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
2. BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
3. GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS AND LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
4. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
5. ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS TO BE PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
6. ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET. ALL PROPOSED STREET TREE PALMS SHALL HAVE A MINIMUM OF 10' BROWN TRUNK HEIGHT (BTH).
7. PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
8. PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
9. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND MAINTENANCE PERIOD. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
12. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE LA JOLLA SHORES PLANNED DISTRICT STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.

13. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
14. ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL, AS SHOWN ON THE APPROVED EXHIBIT "A", LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
15. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
16. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
17. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PRIVATE LANDSCAPING HEDGE IN THE LA JOLLA SHORES AND CALLE DE LA GARZA RIGHT-OF-WAY. OVERALL HEIGHT OF HEDGE SHALL BE MAINTAINED TO A HEIGHT OF 48" EXCEPT AT THE VISIBILITY AREAS OF THE STREET CORNER AND DRIVEWAY WHERE THE HEDGE SHALL BE MAINTAINED TO A HEIGHT OF 36".

IRRIGATION NOTE:

1. ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAIL URE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
2. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
3. EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY A HOMEOWNER-FUNDED AND MAINTAINED, DEEP-WATERING, LOW-VOLUME BUBBLER.

MINIMUM STREET TREE SEPARATION:

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET
SEWER LINES	10 FEET

DRAINAGE NOTES:

1. THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
2. ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
3. ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

LA JOLLA SHORES PDO NOTES:

1. IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
2. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
3. ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

LANDSCAPE CONCEPT STATEMENT

A TRADITIONAL LANDSCAPE OF CLASSIC BEAUTY IS CONCEPTUALIZED FOR THIS SINGLE-FAMILY, CAPE COD STYLE RESIDENCE WITHIN THE CONTEXT OF THE CHARACTER OF THIS BEACH NEIGHBORHOOD. THE VIEW FROM LA JOLLA SHORES DRIVE WILL REMAIN THE SAME AS SEEN TODAY WITH AN EVERGREEN HEDGE CONTAINING MATURE ITALIAN STONE PINES AND AN EXISTING CANARY ISLAND DATE PALMS WITHIN THE CITY'S RIGHT-OF-WAY. THE MAIN DRIVEWAY HARDSCAPE WILL BE REDUCED BY THE INTRODUCTION OF A "HOLLYWOOD" PLANTING STRIP, PRESENTING A VERDANT VIEW FROM CALLE DE LA GARZA. A ROSE ARBOR WILL FRAME THE ENTRY WALKWAY AND SEPARATE THE GUEST PATIO FROM THE ACTIVE POOL DECK PLAY LAWN. BALL FINIALS AND BRICK WALLS PROVIDE TRADITIONAL TOUCHES AND GARDENS OF MEADOW GRASSES AND CAMELLIAS CREATE SUBTLE SPACES AROUND THE HOME. TAKEN AS A WHOLE THE LANDSCAPE WILL PROVIDE A SETTING FOR THE ARCHITECTURAL STYLE, COMPATIBLE WITH THE SURROUNDING NEIGHBORHOOD AND IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE, THE LA JOLLA COMMUNITY PLAN, AND THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE. ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THE OWNER.

LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS:

SINGLE DWELLING UNIT LANDSCAPE REQUIREMENTS:
LA JOLLA SHORES PLANNED DISTRICT ORDINANCE
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LDC 1510.0304(H).

TOTAL PARCEL AREA:	10,000 S.F.
PLANTING AREA REQUIRED:	3,000 S.F. (30%)
PLANTING AREA PROVIDED:	3,009 S.F. (30.09%)
EXCESS AREA PROVIDED:	9 S.F.

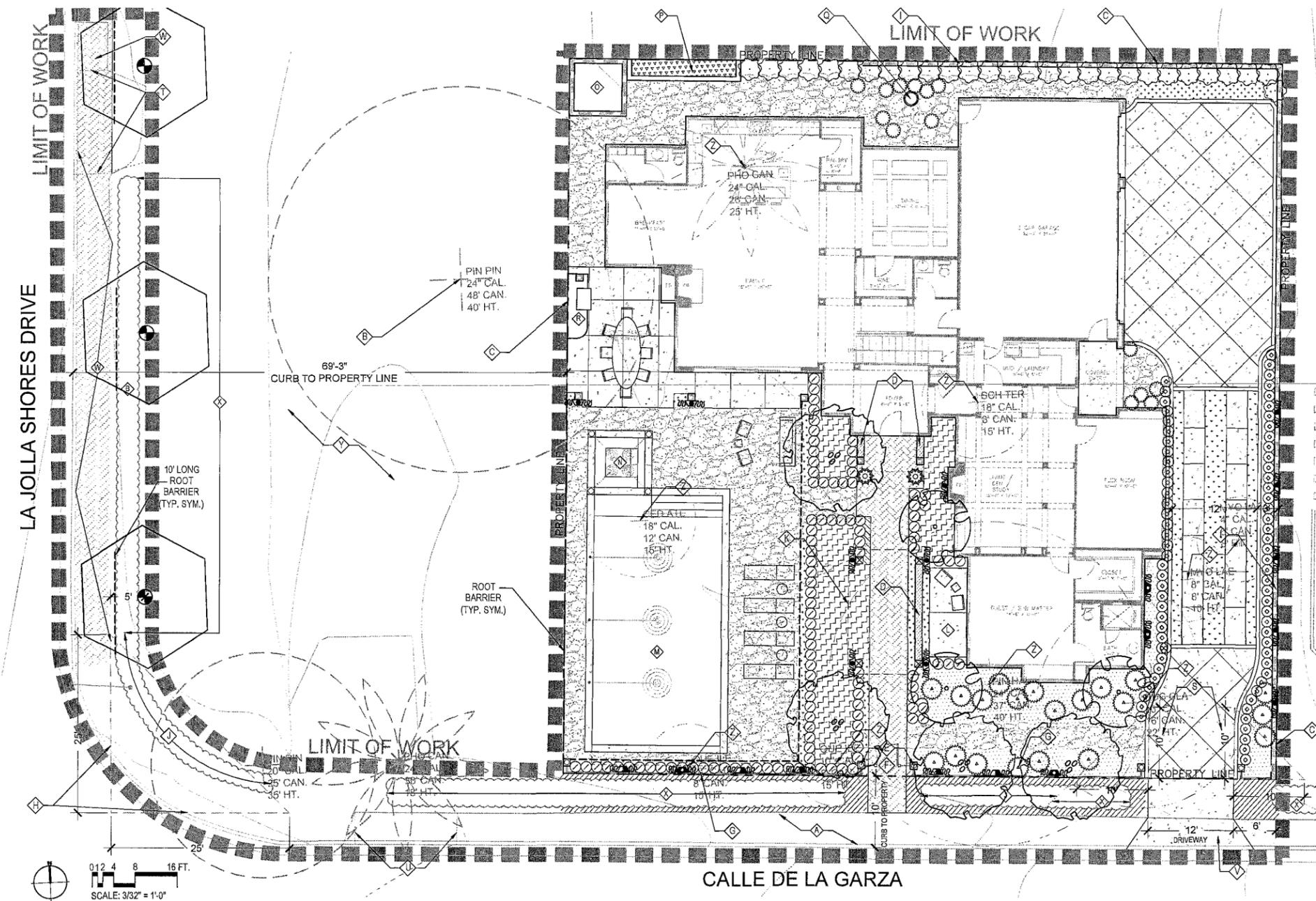
HARDSCAPE LEGEND

PROPOSED HARDSCAPE MATERIAL LEGEND:

	HARDSCAPE PAVING 'A' 1,742 SF Non-porous paving such as: "Stamped Concrete" "Integral Color Concrete" "Integral Color Concrete with Exposed Aggregate Finish" "Uncolored Concrete with Enhanced Finish"		HARDSCAPE PAVING 'C' 1,493 SF Porous paving such as: "Flagstone" "Concrete Pavers"
	HARDSCAPE PAVING 'B' 310 SF Non-porous paving such as: "Brick Pavers" "Concrete Pavers" "Cul Stone" "Flagstone"		

LANDSCAPE KEY NOTES:

- EXISTING PAVING IN RIGHT-OF-WAY TO REMAIN
- EXISTING VEGETATION TO REMAIN
- PROPERTY LINE, TYPICAL SYMBOL
- DECORATIVE WALL WITH CAP (TO MATCH ARCHITECTURE)
- 3' HIGH SOLID FENCE, 3' OPEN, PILASTERS WITH DECORATIVE FINIALS
- 3' HIGH SOLID GATE, 3' OPEN
- OPEN PANEL IN FENCE, OCCURS AT CLIMBING VINES
- 25' VISIBILITY AREA AT THE CORNER OF LA JOLLA SHORES DRIVE & CALLE DE LA GARZA. NO OBSTRUCTION IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT
- MODULAR RETAINING WALL, 3' HIGH MAX.
- TRIM EXISTING VEGETATION WITHIN 25' VISIBILITY AREAS TO 36 INCH HEIGHT
- OVERHEAD TRELLIS WITH VINES
- SEMI-PRIVATE PATIO
- POOL WITH BAJA SHELF, WATER FEATURE, AND AUTOMATIC COVER
- SPA WITH WATER FEATURE AND MANUAL COVER
- POOL EQUIPMENT VAULT, FLUSH WITH GRADE
- RAISED VEGETABLE GARDEN
- BIRDBATH OR WATER FEATURE
- OUTDOOR COUNTER WITH BUILT-IN BARBECUE GRILL
- 10' VISIBILITY AREAS - NO OBSTRUCTION, INCLUDING LANDSCAPING OR WALLS, IN THE VISIBILITY AREAS SHALL EXCEED 3 FEET IN HEIGHT. (FENCE AND PILASTERS NOT TO EXCEED 3' IN THIS LOCATION.)
- EXISTING DRIVEWAY TO BE CLOSED AND REPLACED WITH STANDARD CURB & GUTTER SATISFACTORY TO THE CITY ENGINEER.
- EXISTING DRIVEWAY TO BE CLOSED AND REPLACED WITH STANDARD CURB AND GUTTER SATISFACTORY TO THE CITY ENGINEER.
- NEW DRIVEWAY PER CITY STANDARD DRAWINGS SDG-169 (CONTIGUOUS SIDEWALK), AND SDG-164.
- NON-STANDARD SIDEWALK WITH BRICK PAVING SHALL BE REPLACED PER CITY STANDARD SIDEWALK SDG-109
- TRIM EXISTING HEDGE OUTSIDE 25' VISIBILITY AREA TO 48 INCH HEIGHT
- EXISTING DAMAGED BERMUDA GRASS LAWN TO REMAIN
- EXISTING TREES TO BE REMOVED



ALL PLANS, DESIGNS AND DETAILS SHOWN ON THIS DRAWING ARE THE PROPERTY OF NERI LANDSCAPE ARCHITECTURE AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT WRITTEN CONSENT FROM NERI LANDSCAPE ARCHITECTURE

Project No. - GAR101
Drawn - JS
Checked - JRN
N L A
NERI LANDSCAPE ARCHITECTURE
222 HOWLAND STREET, SUITE #3
LA JOLLA, CA 92037
Tel: 858.724.3333 • Fax: 858.724.3333
www.neri-la.com



LANDSCAPE PLANS FOR
Calle de la Garza
8347 La Jolla Shores Dr.
La Jolla, California 92037

CITY REVIEW SUBMITTAL

9 JAN 2014

LANDSCAPE DEVELOPMENT PLAN

L1.0

SHEET 11 OF 12

PLANTING LEGEND:

EXISTING PLANT MATERIAL LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	XXX XXX = Symbol CAL. = Trunk Diameter CAN. = Canopy Diameter HT. = Height
PIN PIN	<i>Pinus pinea</i>	"Italian Stone Pine"	
PHO CAN	<i>Phoenix canariensis</i>	"Canary Island Date Palm"	

SYMBOL	BOTANICAL NAME	COMMON NAME	XXX XXX = Symbol CAL. = Trunk Diameter CAN. = Canopy Diameter HT. = Height
PIN PIN	<i>Pinus halepensis</i>	"Aleppo Pine"	
PHO CAN	<i>Phoenix canariensis</i>	"Canary Island Date Palm"	
EUC CLA	<i>Eucalyptus cladocalyx</i>	"Sugar Gum"	
MYO LAE	<i>Myoporum laetum</i>	"Ngalo"	
QUE ILE	<i>Quercus ilex</i>	"Holly Oak"	
CED ATL	<i>Cedrus atlantica</i>	"Atlas Cedar"	
SCH TER	<i>Schinus terebinthifolius</i>	"Brazilian Pepper"	

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

STREET TREES	QTY / % / SIZE
Medium scale tree - 25' tall x 25' wide, such as: <i>Jacaranda mimosifolia</i> <i>Cassia leptophylla</i> <i>Tabebuia avellanedae</i>	3 / 100% / 24" BOX "Jacaranda" "Gold Medallion Tree" "Trumpet Tree"

EVERGREEN SHADE TREES	QTY / % / SIZE
Medium scale tree - 30' tall x 15' wide, such as: <i>Arbutus Marina</i> <i>Magnolia grandiflora</i> "Little Gem" <i>Laurus nobilis</i>	4 / 100% / 24" BOX "Strawberry Tree" "Little Gem Magnolia" "Bay Laurel"

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

ACCENT TREES	QTY / % / SIZE
Small scale tree - 20' tall x 10' wide, such as: <i>Cercis canadensis</i> "Forest Pansy" <i>Cercis canadensis</i> <i>Olea europaea</i> "Little Olive" <i>Pyrus calleryana</i> "Bradford"	3 / 100% / 24" BOX "Eastern Redbud" "Eastern Redbud" "Olive Tree" "Bradford Pear"

EVERGREEN SCREENING HEDGE	QTY / % / SIZE
Medium small scale shrub - 3' tall x 3' wide, such as: <i>Buxus microphylla japonica</i> <i>Carissa macrocarpa</i> "Boxwood Beauty" <i>Ligustrum japonicum</i> <i>Photinia x fraseri</i>	108 / 100% / 5 GALLON "Japanese Boxwood" "Compact Natal Plum" "Japanese Privet" "Photinia"

EVERGREEN FLOWERING SHRUBS	QTY / % / SIZE
Medium scale shrub - 8' tall x 8' wide, such as: <i>Abutilon pictum</i> <i>Camellia sasanqua</i> <i>Rosa floribunda</i> "Iceberg" <i>Leptospermum scoparium</i>	28 / 100% / 15 GAL "Flowering Maple" "Camellia" "White Shrub Rose" "New Zealand Tea Tree"

EVERGREEN ACCENT PERENNIALS	QTY / % / SIZE
Medium scale perennials - 3' tall x 3' wide, such as: <i>Phormium "Bronze Baby"</i> <i>Acanthus mollis</i> <i>Miscanthus transmarionensis</i>	20 / 100% / 5 GAL "New Zealand Flax" "Bear's Breech" "Evergreen Miscanthus"

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

EVERGREEN PERENNIAL BORDER	QTY / % / SIZE
Medium scale perennials - 2' tall x 2' wide, such as: <i>Agapanthus "Peter Pan"</i> <i>Dianella caerulea</i> Casa Blue <i>Phormium "Jack Spratt"</i>	76 / 100% / 1 GAL "Dwarf Lily of the Nile" "Blue Flax Lily" "New Zealand Flax"

EVERGREEN PERENNIALS FOR SHADE	QTY / % / SIZE
Medium scale perennials - 2' tall x 2' wide, such as: <i>Heuchera "Santa Ana Cardinal"</i> <i>Hosta fortunei</i> "Hyacinthina" <i>Philodendron "Xanadu"</i>	14 / 100% / 1 GAL "Coral Bells" "Plantain Lily" "Cut-Leaf Philodendron"

CONTAINER PLANTS (SUN LOCATIONS)	QTY / % / SIZE
Sun plants - such as: <i>Kalanchoe</i> spp. <i>Pelargonium peltatum</i> <i>Phormium "Jack Spratt"</i> <i>Agave attenuata</i> <i>Euphorbia tirucalli</i> "Sticks of Fire" <i>Echeveria</i> spp. <i>Zamia furfuracea</i>	2 / 100% / 1 gallon "Kalanchoe" "Ivy Geranium" "New Zealand Flax" "Foxtail Agave" "Pencilbush" "Echeveria" "Caroboard Palm"

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

EVERGREEN VINES	QTY / % / SIZE
Climbing vines - such as: <i>Ficus repens</i> <i>Hedera helix</i> <i>Parthenocissus tricuspidata</i>	12 / 100% / 1 gallon "Creeping Fig" "English Ivy" "Boston Ivy"

EVERGREEN ACCENT VINES (SHADE)	QTY / % / SIZE
Climbing vines - such as: <i>Clematis armandii</i> <i>Camellia sasanqua</i> <i>Dignonia crepocolata</i>	4 / 100% / 1 gallon "Evergreen Clematis" "Camellia" "Crossvine"

EVERGREEN ACCENT VINES (SUN)	QTY / % / SIZE
Climbing vines - such as: <i>Pandorea pandorana</i> <i>Millettia reticulata</i> <i>Rosa "Joseph's Coat"</i>	7 / 100% / 1 gallon "Wonga Wonga Vine" "Evergreen Wisteria" "Joseph's Coat Rose"

EVERGREEN GROUNDCOVER	QTY / % / SIZE
Low growing groundcover - 2' tall and spreading, such as: <i>Buxus microphylla japonica</i> <i>Carissa macrocarpa</i> "Boxwood Beauty" <i>Coprosma x kiritii</i>	193 S.F. / 100% / 1 gallon "Japanese Boxwood" "Compact Natal Plum" "Coprosma"

FLOWERING ACCENT SHRUBS	QTY / % / SIZE
Flowering groundcover - 2' tall x 4' wide, such as: <i>Rosa floribunda</i> "Iceberg" <i>Ceanothus "Yankee Point"</i> <i>Lantana camara</i> "New Gold"	332 S.F. / 100% / 1 gallon "Iceberg Rose" "Carmel Ceanothus" "Lantana"

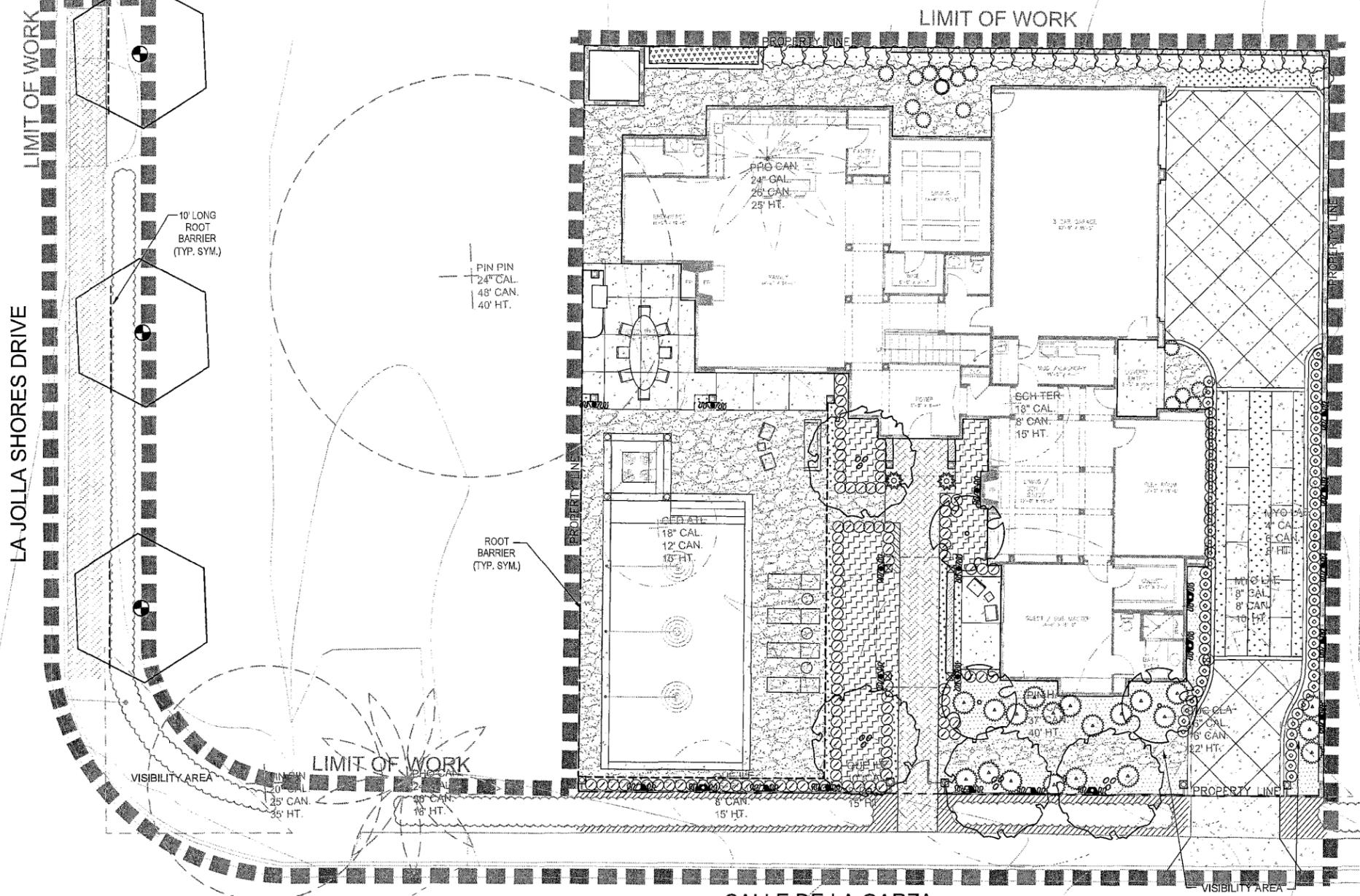
FLOWERING ACCENT BORDER	QTY / % / SIZE
Medium scale perennials - 2' tall x 2' wide, such as: <i>Agapanthus "Peter Pan"</i> <i>Ameria maritima</i> <i>Hemerocallis</i> spp. <i>Phormium "Jack Spratt"</i> <i>Soleirolia soleirolia</i>	392 S.F. / 100% / 1 GAL "Dwarf Lily of the Nile" "Common Thrill" "Daylily" "New Zealand Flax" "Baby's Tears"

EVERGREEN GROUNDCOVER	QTY / % / SIZE
Low growing groundcover - 12" tall and spreading, such as: <i>Festuca blend - "No Mow"</i> <i>Carissa macrocarpa "Prostrata"</i> <i>Rosmarinus officinalis "Prostratus"</i> <i>Vinca minor</i>	281 S.F. / 100% / FLATS "No Mow Festuca" "Natal Plum" "Creeping Rosemary" "Dwarf Periwinkle"

VEGETABLE GARDEN	QTY / % / SIZE
As selected by Owner	34 S.F.

TURF	QTY / % / SIZE
Low growing turf grass - 2' tall and spreading, such as: <i>Carex pansa</i> <i>Cynodon dactylon</i> "Tifgreen" <i>Paspalum vaginatum</i>	1,468 S.F. / 100% / PLUGS "California Meadow Sedge" "Bermuda Grass" "Seashore Paspalum"

TURF	QTY / % / SIZE
<i>Cynodon dactylon</i> "Tifgreen"	213 S.F. / 100% / SOD "Bermuda Grass"



ALL PLANS, DESIGN AND IDEAS SHOWN ON THIS DRAWING ARE THE PROPERTY OF NERI LANDSCAPE ARCHITECTURE AND SHALL NOT BE USED, DISCLOSED OR REPRODUCED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN CONSENT FROM NERI LANDSCAPE ARCHITECTURE

Project No. - GAR201
Drawn - JS
Checked - JPN
LANDSCAPE ARCHITECTURE
5041 NORWOOD STREET, SUITE #13
LA JOLLA, CALIFORNIA 92037
WWW.NERILA.COM



LANDSCAPE PLANS FOR
Calle de la Garza
8347 La Jolla Shores Dr.
La Jolla, California 92037

CITY REVIEW
SUBMITTAL
9 JAN 2014

LANDSCAPE
DEVELOPMENT
PLANTING PLAN



P.O. BOX 889
• LA JOLLA •
CALIFORNIA 92038

LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 8 January 2014

Attention: Laura Black, PM
City of San Diego

Project: Calle De La Garza
8347 La Jolla Shores Drive
PN: 333421

Motion: To accept the recommendation of the PRC Committee:
that findings can be made for a Site Development Permit
and a Coastal Development Permit for Project Number
333421. 8-0-0

Vote: 15-0-1

A handwritten signature in blue ink, appearing to read "Tony Crisafi".

20 January 2014

Submitted by: Tony Crisafi, President
La Jolla CPA

Date



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: **CALLE DE LA GARZA** Project No. For City Use Only: **333 421**

Project Address:
8347 LA JOLLA SHORES DR.
LA JOLLA, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): **Steve Cavimcross**
 Owner Tenant/Lessee Redevelopment Agency
4444 MISSION BLVD.
 Street Address: **SAN DIEGO, CA 92109**
 City/State/Zip: **(858) 490-4139**
 Phone No: _____ Fax No: _____
 Signature: *[Signature]* Date: **7/25/13**

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 CALLE DE LA GARZA

Project Address:
 8347 LAJOLLA SHORES DR.

LA JOLLA, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 SEAN MORGAN
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 5034 Windsor Dr
 City/State/Zip:
 San Diego CA 92127
 Phone No: 858-349-1959 Fax No:
 Signature: Date: 7.25-13

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

DEVELOPMENT SERVICES
Project Chronology
Calle de la Garza – Project No. 333421

Date	Action	Description	City Review Time (Working Days)	Applicant Response (Working Days)
08/26/2013	First Submittal	Project Deemed Complete		
09/20/2013	First Assessment Letter		18 days	
10/24/2013	Second Submittal			24 days
11/06/2013	Second Assessment Letter		9 days	
11/27/2013	Third Submittal			14 days
12/11/2013	Third Assessment Letter		9 days	
01/10/2014	Fourth Submittal			16 days
01/22/2014	Fourth Review Completed/ Reviews Complete		7 days	
11/06/2013	Environmental Determination –Mitigated Negative Declaration (MND)			
12/13/2013	Environmental Determination – Draft Mitigated Negative Declaration (public review starts)			
01/29/2014	Environmental Determination – Final Mitigated Negative Declaration		5 days	
03/12/2014	Hearing Officer - Public Hearing		29 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	57 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		54 days
TOTAL PROJECT RUNNING TIME			111 days	



THE CITY OF SAN DIEGO

Attachment 12

DATE OF NOTICE: February 26, 2014

NOTICE OF PUBLIC HEARING HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING:	March 12, 2014
TIME OF HEARING:	8:30 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	Site Development Permit (SDP) and Coastal Development Permit (CDP), Mitigated Negative Declaration - PROCESS THREE
PROJECT NO:	<u>333421</u>
PROJECT NAME:	<u>CALLE DE LA GARZA</u>
APPLICANT:	Rebecca Marquez, Golba Architecture
COMMUNITY PLAN AREA:	La Jolla
COUNCIL DISTRICT:	District One
CITY PROJECT MANAGER:	Laura C. Black, Development Project Manager
PHONE NUMBER/E-MAIL:	619.236.6327 / lblack@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a Site Development Permit and Coastal Development permit for the demolition of the existing single family residence, detached garage and guest house and construction of a two-story, 5,250 square foot, single family residence with attached three car garage, and 495 square foot roof deck on a 10,000 square foot site located at 8347 La Jolla Shores Drive in within the Single Family (SF) Zone of the La Jolla Shores Planned District (LJSPD), Coastal Overlay Zone (Non-Appealable 2 Area), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone, the La Jolla Community Plan and Local Coastal Program Area.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 working days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at

1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

The final decision by the City of San Diego is not appealable to the California Coastal Commission. If you want to receive a Notice of Final Action, you must submit a written request to the City Project Manager listed above.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003979