



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: July 30, 2014

REPORT NO. HO 14-043

ATTENTION: Hearing Officer

SUBJECT: T-MOBILE – GOLDEN GATE MARKET
PTS PROJECT NUMBER: 289207

LOCATION: 3807 National Avenue

APPLICANT: Rocki Lam, Smartlink

SUMMARY

Issue(s): Should the Hearing Officer approve a Wireless Communication Facility (WCF) at 3807 National Avenue within the Southeastern San Diego Community Planning area?

Staff Recommendation- APPROVE Conditional Use Permit No. 1313268/Site Development Permit No. 1313270.

Community Planning Group Recommendation – On June 9, 2014, the Southeastern San Diego Planning Group voted 10-0-0 to recommend approval of the T-Mobile – Golden Gate Market project with conditions (Attachment 11).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 19, 2014 and the opportunity to appeal that determination ended June 3, 2014 (Attachment 10).

BACKGROUND

T-Mobile Golden Gate Market is an application for a Conditional Use Permit (CUP) and a Site Development Permit (SDP) for a WCF. The project is located in the Southeastern San Diego Community Planning area in the MF-1500 zone. The project is located on the Golden Gate Market at 3807 National Avenue (Attachments 1, 2, and 3).

T-Mobile currently has an existing WCF at this location, approved on September 12, 2000, which allowed four panel antennas in an extension to the existing sign tower and an associated equipment enclosure in the parking lot. The permit expired in 2010 and T-Mobile is seeking a new permit to continue operations. The project proposes to replace the three existing antennas and to provide

upgrades to the site consisting of restuccoing and painting the sign tower and equipment enclosure, adding trim detail and installing two Queen Palms in front of the market in the Public Right-of-Way (Attachments 9 and 14). These improvements will enhance the appearance of the WCF and the property as a whole and will help to achieve architectural harmony in the community.

WCFs are permitted on non-residentially used properties located in residential zones with a CUP, pursuant to Land Development Code (LDC) Section 141.0420(e)(1). An SDP is required for development in the Southeastern San Diego Planned Development for uses requiring a CUP pursuant to Section 1519.0202(a)(5).

DISCUSSION

The Southeastern San Diego Community Plan does not specifically address Wireless Communication Facilities; but it does contain Urban Design Objectives which recommend improving the visual and physical character of the community, as well as enhancing the community's visual image through streetscape improvements along major streets and within neighborhoods. The upgrades proposed with this project include new stucco and paint that will clean up and modernize the building, but also an Aztec design pattern that will trim the sign tower and architecturally integrate it into the existing market building. T-Mobile is also adding two street trees on National Avenue in front of the market, which will significantly improve views of the WCF as well as the market. Currently signage on the market is painted on the building and T-Mobile will be upgrading the signage to current standards (Attachment 9). All of these improvements will result in an aesthetically pleasing building that will be respectful of the neighborhood context.

As required by LDC section 141.0420(b)(1), T-Mobile submitted a Radio Frequency (RF) Electromagnetic Fields Exposure Report prepared by Dtech Communications, which concluded that the project will comply with the Federal Communication Commission's (FCC) RF Safety Guidelines with the addition of signage. A condition requiring RF safety signage is included in the permit.

COMMUNITY PLANNING GROUP

The Southeastern San Diego Planning Group included the following conditions in their recommendation for approval of the project. A response from staff follows each of the conditions.

1. Recommend that warning signs all be bilingual.

See Condition no. 31.

2. Need language in the CUP regarding what would happen if a tree falls on a car.

Not addressed in the permit.

3. Recommend Plum Natal bushes be planted in the parking lot to break up the massive wall on the east side. Juniper bush is also an option.

This portion of the project site does not directly relate to the WCF, therefore there were no improvements required. T-Mobile's equipment enclosure is located in the rear portion of this area of the property and minor landscape improvements, such as vine pockets were discussed during the project review. It was determined, however, that since the enclosure is at the back of the property, adding landscaping would have a minimal impact on improving the project site.

4. Need clarification as what kind of material is used on the siding and signage. It is a foam-based material for the Azteca pattern trim and is weather resistant.

The trim will be foam based and weather resistant.

5. All cycle issues must be cleared.

All issues have been resolved.

6. All Police Department recommendations must be implemented.

The Police Department does not review or comment on WCF projects.

7. Parking lots need landscaping.

Landscaping the parking lot cannot be directly related to the T-Mobile WCF, which consists of replacement antennas in the existing sign tower and associated equipment in the existing enclosure. Improvements are being proposed to the sign tower and enclosure and existing signage will be removed and replaced with updated signage in addition to new street trees along National Avenue in front of the market.

CONCLUSION

Based on the design and land use, the project complies with the WCF Regulations (LDC 141.0420). The project has received support from the community planning group, and draft findings have been made in the affirmative to approve the CUP /SDP (Attachment 6). Therefore, Staff recommends approval of CUP No. 1313268/SDP No. 1313270.

ALTERNATIVES

1. Approve CUP No. 1313268/SDP No. 1313270, with modifications.
2. Deny CUP No. 1313268/SDP No. 1313270, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,

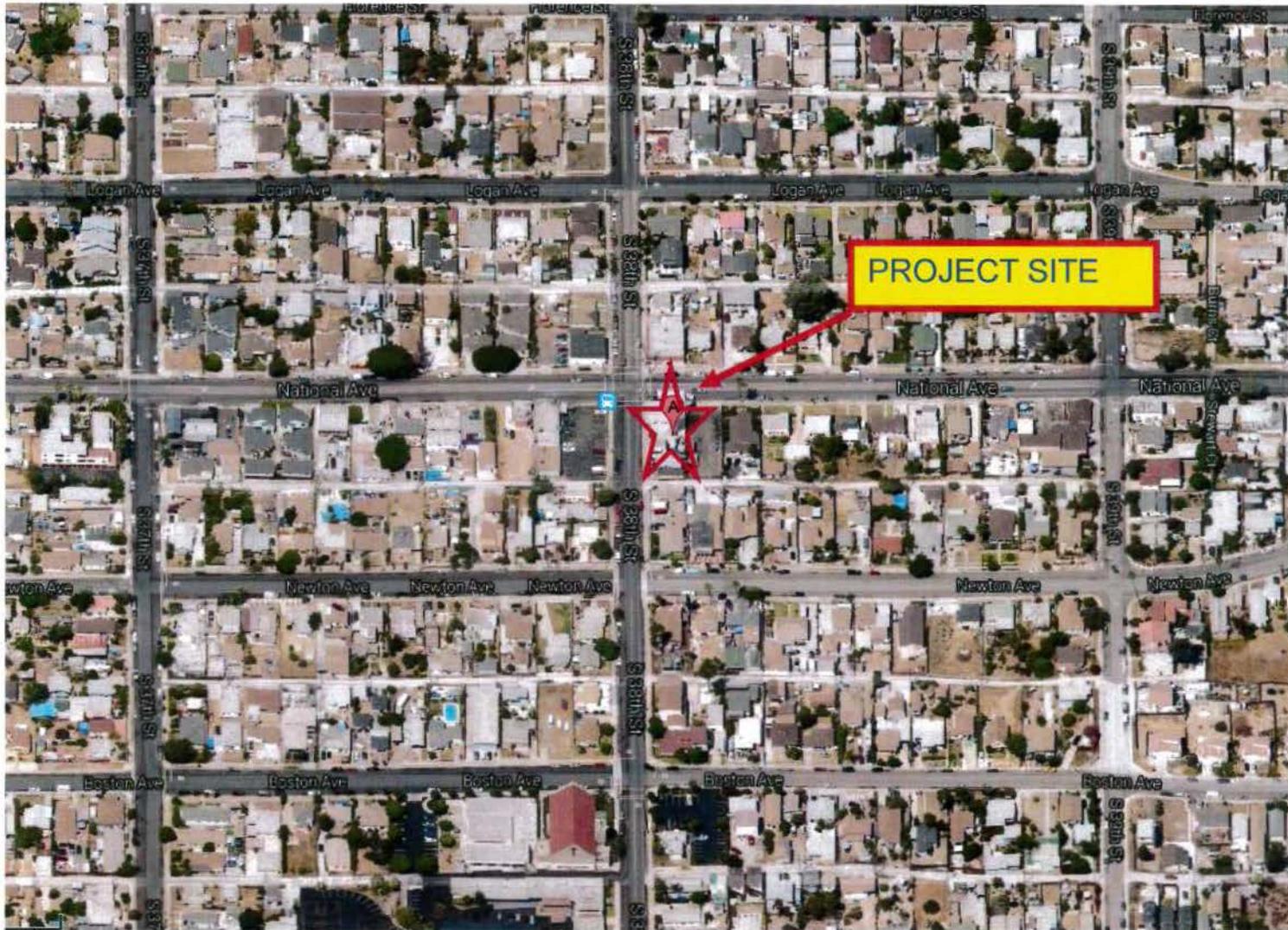


Karen Lynch, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Surrounding Photos
9. Photosimulations
10. Environmental Exemption
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Chronology
14. Project Plans

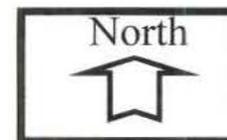
Rev 1/25/11 hmd



Aerial Photo

T-MOBILE – GOLDEN GATE MARKET PROJECT NUMBER 289207

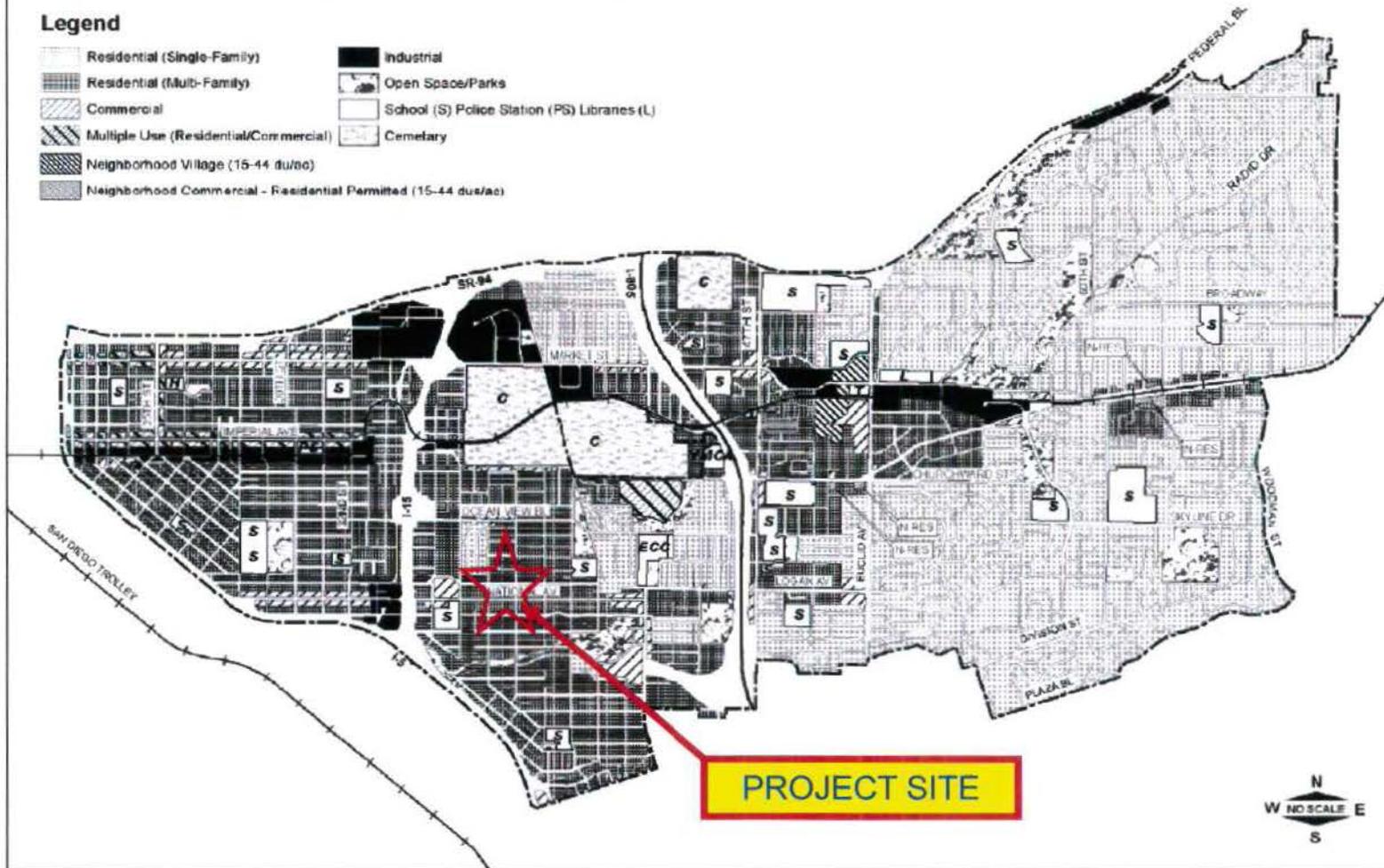
3807 NATIONAL AVENUE



SOUTHEASTERN SAN DIEGO COMMUNITY PLAN

Legend

- | | | | |
|--|---|--|--|
| | Residential (Single-Family) | | Industrial |
| | Residential (Multi-Family) | | Open Space/Parks |
| | Commercial | | School (S) Police Station (PS) Libraries (L) |
| | Multiple Use (Residential/Commercial) | | Cemetery |
| | Neighborhood Village (15-44 du/ac) | | |
| | Neighborhood Commercial - Residential Permitted (15-44 du/ac) | | |

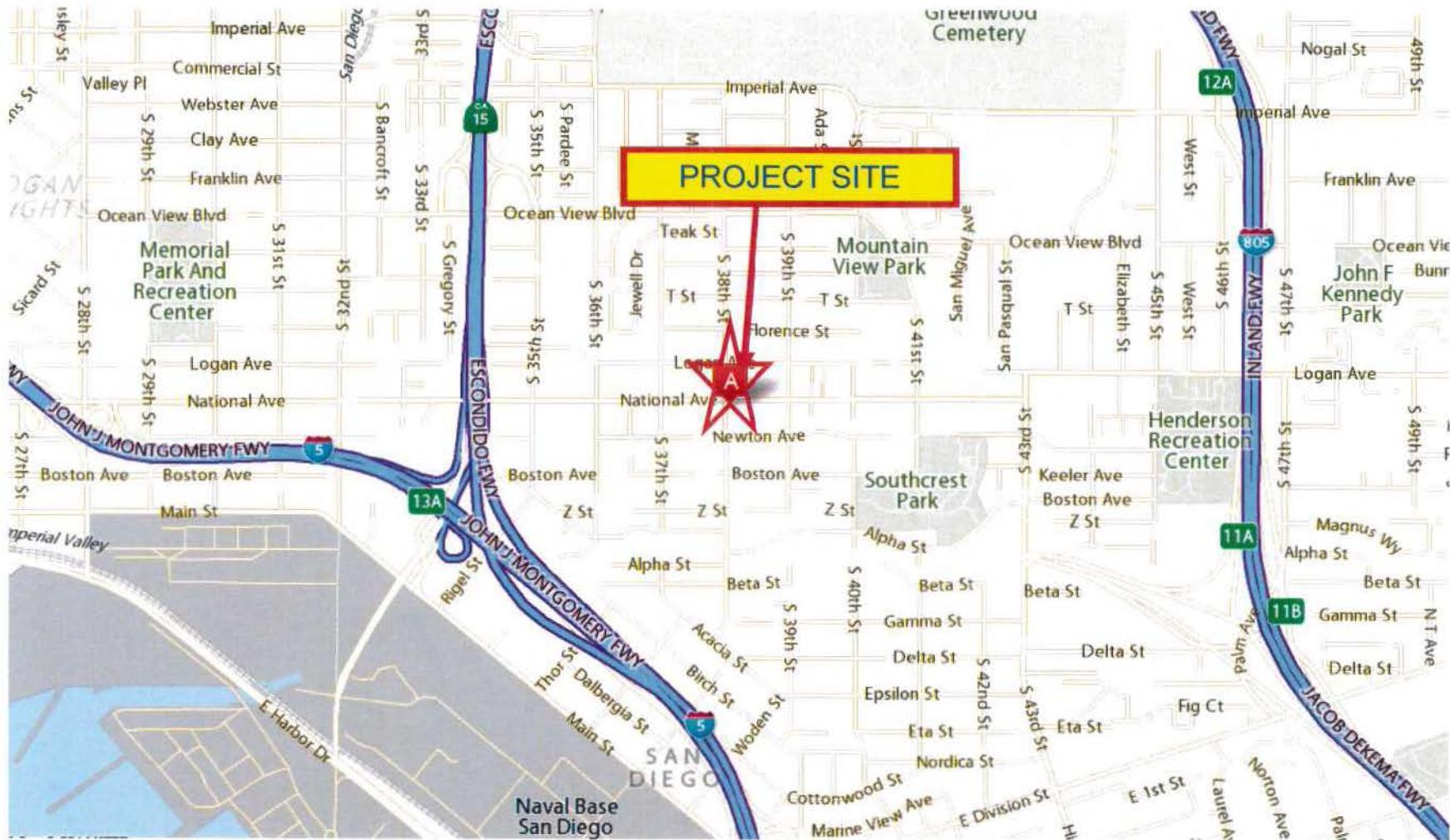


SOUTHEASTERN SAN DIEGO COMMUNITY PLAN MAP

T-MOBILE- GOLDEN GATE MARKET PROJECT NUMBER 289207

3807 NATIONAL AVENUE





Project Location Map

T-MOBILE- GOLDEN GATE MARKET PROJECT NUMBER 289207

3807 NATIONAL AVENUE



PROJECT DATA SHEET		
PROJECT NAME:	T-Mobile – Golden Gate Market	
PROJECT DESCRIPTION:	A wireless communication facility consisting of a total of 3 panel antennas in an existing sign tower. Associated equipment is located in an enclosure in the parking lot.	
COMMUNITY PLAN AREA:	Southeastern San Diego	
DISCRETIONARY ACTIONS:	Conditional Use Permit/Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential (Multi-Family)	
<u>ZONING INFORMATION:</u>		
ZONE: MF-1500		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential (Multi-Family); MF-1500.	Commercial
SOUTH:	Residential (Multi-Family); MF-1500.	Residential
EAST:	Residential (Multi-Family); MF-1500.	Residential
WEST:	Residential (Multi-Family); MF-1500.	Commercial
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On June 9, 2014, the Southeastern San Diego Planning Group voted 10-0-0 to recommend approval of the T-Mobile – Golden Gate Market with conditions..	

HEARING OFFICER
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1313268
SITE DEVELOPMENT PERMIT NO. 1313270
T-MOBILE – GOLDEN GATE MARKET
PROJECT NO. 289207

WHEREAS, Adele N. Fares Family Trust, Permittee, and T-Mobile West Corporation, Owner, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1313268/1313270;

WHEREAS, the project site is located at 3807 National Avenue in the MF-1500 zone of the Southeastern San Diego Community Planning area;

WHEREAS, the project site is legally described as The north 100 feet of Lots 21 and 22 in Block 423 of Helpbinstine's Addition, according to Map thereof No. 450, filed in the Office of the County Recorder of San Diego County, September 21, 1887;

WHEREAS, on July 30, 2014, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1313268/Site Development Permit No. 1313270 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on May 19, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated July 30, 2014.

FINDINGS:

Conditional Use Permit– Section §126.0305

1. The proposed *development* will not adversely affect the applicable *land use plan*;

The City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. In this case, the Wireless Communication Facility (WCF) is existing, approved in 2000, and consists of a

sign tower concealing three panel antennas with associated equipment in a 167-square foot enclosure located on the west side of the market. The permit expired in 2010 and T-Mobile is proposing to upgrade the antennas and continue operating the facility. The sign tower was increased in height by 5'-2" in 2000 to accommodate the T-Mobile antennas and the replacement antennas will fit within the allotted space. The exterior of the tower will be restuccoed and painted to match the market and trim will be added to the tower to match the Aztec pattern found on the west side of the building. The equipment shelter will also be restuccoed and painted to match the market. Two 10-foot brown trunk height Queen Palms will be added in the Public Right-of-Way on National Avenue in front of the market to help improve views of the wireless communication facility. The proposed design will result in a WCF that is aesthetically pleasing and respectful of the neighborhood context. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan. The proposed WCF does not adversely affect the applicable land use plan.

2. The proposed *development* will not be detrimental to the public health, safety, and welfare;

The project consists of three panel antennas concealed within an existing sign tower and an associated equipment shelter on the east side of the market. The project is located on Golden Gate Market at 3807 National Avenue and is located within the Southeastern San Diego Community Planning area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Fields Exposure Report, prepared by Dtech Communications was prepared analyzing the exposure levels on a worst case basis for the general population. The report concluded that the worst case exposure levels in publicly accessible areas are below the Federal Communication Commission's (FCC) general population Maximum Permissible Exposure limits. The report recommended that advisory signage be posted at access points to the antennas. The permit contains a condition for signage in conformance with CALOSHA requirement.

Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed *development* will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

WCFs are permitted in residential zones containing commercial uses with a CUP, Process 3. The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCFs "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." In this case, the antennas will be concealed within a sign tower designed as part of a small market. The associated equipment is located in a shelter on the east side of the building in the parking area. Upgrades to the sign tower including new stucco, paint and added trim, as well as new signs will enhance the tower and better integrate the project into the neighborhood character. The existing equipment shelter will also be restuccoed and painted to match the market and two Queen Palms will be installed in the Public Right-of-Way to improve views of the project site. The project complies with the MF-1500 development regulations as well as the WCF regulations. There are no deviations requested with this project, therefore, the T-Mobile Golden Gate Market will comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

WCFs are permitted on non-residential uses within residential zones with a CUP, Process 3. Sign permits were issued for the market in 1991 so the commercial use has been in this location for at least 23 years. The neighborhood is primarily residential; however, commercial uses are located at the intersection of National Avenue and 38th Street, where Golden Gate Market sits on the southeast corner. All of the commercial development is low scale in nature. At 35-feet in height, the sign tower for the Golden Gate Market is the highest element in the neighborhood, making it an appropriate location to conceal a WCF. Based on the compliance with the regulations and the proposed design, the proposed WCF use is appropriate at the proposed location.

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan;

The City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. In this case, the WCF is existing, approved in 2000, and consists of a sign tower concealing three panel antennas with associated equipment in a 167-square foot enclosure located on the west side of the market. The permit expired in 2010 and T-Mobile is proposing to upgrade the antennas and the market and continue operating the facility. The sign tower was increased in height by 5'-2" in 2000 to accommodate the T-Mobile antennas and the replacement antennas will fit within the allotted space. The exterior of the tower will be restuccoed and painted to match the market and trim will be added to the tower to match the Aztec pattern found on the west side of the building. The equipment shelter will also be restuccoed and painted to match the market. Two 10-foot brown trunk height Queen Palms will be added in the Public Right-of-Way on National Avenue in front of

the market to help improve views of the wireless communication facility. The proposed design will result in a WCF that is aesthetically pleasing and respectful of the neighborhood context. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan. The proposed WCF does not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of three panel antennas concealed within an existing sign tower and an associated equipment shelter on the east side of the market. The project is located on Golden Gate Market at 3807 National Avenue and is located within the Southeastern San Diego Community Planning area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Fields Exposure Report, prepared by Dtech Communications was prepared analyzing the exposure levels on a worst case basis for the general population. The report concluded that the worst case exposure levels in publicly accessible areas are below the Federal Communication Commission's (FCC) general population Maximum Permissible Exposure limits. The report recommended that advisory signage be posted at access points to the antennas. The permit contains a condition for signage in conformance with CALOSHA's requirements, therefore, the project will not be detrimental to the public health, safety and welfare..

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

WCFs are permitted in residential zones containing commercial uses with a CUP, Process 3. The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCFs "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." In this case, the antennas will be concealed within a sign tower designed as part of a small market. The associated equipment is located in a shelter on the east side of the building in the parking area. Upgrades to the sign tower including new stucco, paint and added trim, as well as new signs will enhance the tower and better integrate the project

into the neighborhood character. The existing equipment shelter will also be restuccoed and painted to match the market and two Queen Palms will be installed in the Public Right-of-Way to improve views of the project site. The project complies with the MF-1500 development regulations as well as the WCF regulations. There are no deviations requested with this project, therefore, the T-Mobile Golden Gate Market will comply with the regulations of the Land Development Code.

Southeaster San Diego Planned District – Section 1519.0202

1. The proposed use and project design meet the purpose and intent of the Southeastern San Diego Planned District Ordinance, comply with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council;

Although the Southeastern San Diego Community Plan does not specifically address Wireless Communication Facilities, it does contain Urban Design Objectives which recommend improving the visual and physical character of the community, as well as enhancing the community's visual image through streetscape improvements along major streets and within the neighborhoods. Additionally, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

In this case, the original project proposed to extend the existing sign tower by approximately five feet to accommodate T-Mobile's three antennas. The associated equipment was proposed in a 167-square foot enclosure located on the west side of the market. The permit expired in 2010 and T-Mobile is now proposing to upgrade the antennas and the market and continue operating the facility. The replacement antennas will fit within the area of the sign tower where the original antennas are currently located. The exterior of the entire tower will be restuccoed and painted to match the market and trim will be added to the tower to match the Aztec pattern found on the west side of the building. The equipment shelter will also be restuccoed and painted to match the market. Two 10-foot brown trunk height Queen Palms will be added in the Public Right-of-Way on National Avenue in front of the market to help improve views of the wireless communication facility. The proposed design will result in a WCF that is aesthetically pleasing and respectful of the neighborhood context. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

The proposed WCF complies with the purpose and intent of the Southeastern San Diego Planned Development Ordinance, (SDPDO), the recommendations of the Southeaster San Diego Community Plan, and the requirements of the City's General Plan. The proposed WCF will not adversely affect the General Plan or other applicable plans adopted by the City Council.

2. The proposed development shall be compatible with existing and planned land use on adjoining properties and shall not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community shall be achieved as far as practicable;

The proposed Wireless Communication Facility (WCF) is compatible with the existing commercial use. Council Policy 600-43 identifies preference categories based on locational criteria for WCFs. Locating WCFs on commercial properties is a higher preference than locating them on residential properties and the WCF regulations (LDC Section 141.0420) incentivizes these facilities to be located on non-residential properties by reducing the decision level process. In this case, the project site is zoned MF-1500, but a commercial use, Golden Gate Market, operates on site and has been since at least 1991. Residential uses exist to the south and east and commercial uses exist to the north and west. The Southeastern San Diego Community Plan designates this area for Multi-Family Residential. The market is existing and has operated for a number of years at this location, affording grocery services to the predominantly residential area. T-Mobile has operated at this location for the past 14 years and wishes to continue providing wireless services to the community without disrupting the neighborhood. The antennas will not be visible and will be concealed within the sign tower and the associated equipment is located on the east side of the building in the parking area. Both will be restuccoed and painted and design features will be added to match the existing Aztec design on the west building wall. Additionally, two Queen Palms will be added in front of the market to help improve views of the WCF. The upgrades to the property will improve the appearance of the building, achieving architectural harmony with the surrounding neighborhood and community. They will also be compatible with the existing land use and will not constitute a disruptive element to the neighborhood.

3. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity; and

The project consists of three panel antennas concealed within an existing sign tower and an associated equipment shelter on the east side of the market. The project is located on Golden Gate Market at 3807 National Avenue and is located within the Southeastern San Diego Community Planning area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Fields Exposure Report, prepared by Dtech Communications was prepared analyzing the exposure levels on a worst case basis for the general population. The report concluded that the worst case exposure levels in publicly accessible areas are below the Federal Communication Commission's (FCC) general population Maximum Permissible Exposure limits. The report recommended that advisory signage be posted at access points to the antennas. The permit contains a condition for signage in conformance with CALOSHA's requirements.

Because of the conditions applied to the project, it will not be detrimental to the health, safety or welfare of persons residing or working in the area and will not adversely affect other property in the vicinity.

4. The proposed use will comply with the relevant regulations of the Municipal Code.

WCFs are permitted in residential zones containing commercial uses with a CUP, Process 3. The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCFs "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." In this case, the antennas will be concealed within a sign tower designed as part of a small market. The associated equipment is located in a shelter on the east side of the building in the parking area. Upgrades to the sign tower including new stucco, paint and added trim, as well as new signs will enhance the tower and better integrate the project into the neighborhood character. The existing equipment shelter will also be restuccoed and painted to match the market and two Queen Palms will be installed in the Public Right-of-Way to improve views of the project site. The project complies with the MF-1500 development regulations as well as the WCF regulations. There are no deviations requested with this project, therefore, the T-Mobile Golden Gate Market will comply with the regulations of the Municipal Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, CUP No. 1313268/SDP No. 1313270 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 131268/1313270, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: July 30, 2014

Job Order No. 24003030

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003030

CONDITIONAL USE PERMIT/SITE DEVELOPMENT PERMIT
T-MOBILE – GOLDEN GATE MARKET
PROJECT NO. 289207
HEARING OFFICER

This Conditional Use Permit No.1313268/Site Development Permit No. 1313270 is granted by the Hearing Officer of the City of San Diego to Adele E. Fares, Owner, and T-Mobile West Corporation, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420, Chapter 12, Article 6, Divisions 3 and 5. The site is located at 3807 National Avenue in the MF-1500 zone of the Southeastern San Diego Community Planning area. The project site is legally described as: The north 100 feet of Lots 21 and 22 in Block 423 of Helpbingstine's Addition, according to Map thereof No. 450, filed in the Office of the County Recorder of San Diego County, September 21, 1887.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 30, 2014, on file in the Development Services Department.

The project shall include:

- a. A total of three panel antennas concealed within an existing 35-foot sign tower and an existing 167-square foot equipment enclosure located within the parking area;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. This sign tower is for the primary purpose of providing signage for the market, but may have the secondary purpose of accommodating Permittee's operations on the Premises.
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 14, 2017.
2. This Permit and corresponding use of this site shall expire on August 14, 2017. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. This Permit and corresponding use of this site shall expire on July 30, 2027. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
4. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
5. Under no circumstances, does approval of this permit authorize Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

- b. The Permit is recorded in the Office of the San Diego County Recorder.
7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
10. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
11. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
13. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
15. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
16. Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

17. Prior to issuance of any construction permits for the telecom facility and associated structures, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance to Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).
18. Prior to Final Inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.
19. All required landscape shall be maintained by the Owner in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees shall not be permitted.
20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

22. Prior to issuance of construction permits, the Permittee shall provide revised plans illustrating the signage details. All proposed signage must fit within the previously approved sign permits as illustrated on Exhibit A, dated July 30, 2014.
23. Prior to final inspection, all existing signage on the property not illustrated on the approved exhibits, shall be removed. This includes painted signs and paper or plastic signs on all portions of the property.
24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
25. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
26. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
27. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with the approved Exhibit "A."
28. No exposed cabling is allowed for this project.
29. The approved antenna dimensions are 50.9" x 12" x 6.5" as illustrated on the Exhibit "A" dated July 30, 2014. Replacement of the antennas may occur in the future, subject to the Owner/Permittee notifying the Development Services Department prior to the replacement of the antennas and subject to the provision of providing an updated Radio Frequency (RF) report demonstrating compliance with the Federal Communication Commission's regulations in accordance with SDMC Section 141.0420(b)(1)(A) to the satisfaction of the Development Services Department.
30. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
31. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
32. The Permittee shall place appropriate signage (in English and Spanish) on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

33. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 30, 2014 by Resolution
NO. _____.

Permit Type/PTS Approval No.: CUP No. 1313268/SDP No. 1313270

Date of Approval: July 30, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

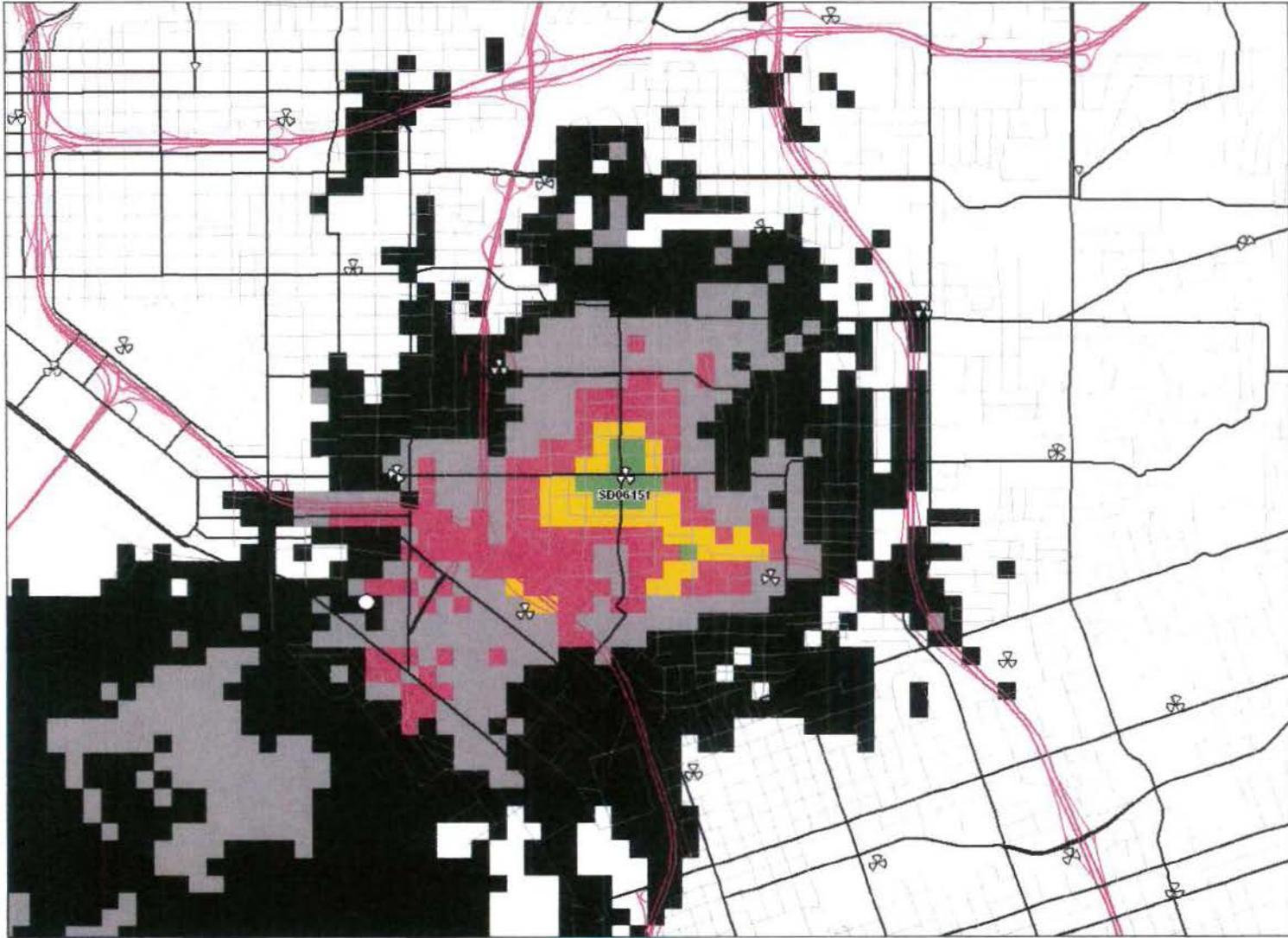
T-Mobile
Permittee

By _____
NAME:
TITLE:

Helen N. Fares Family Trust
Owner

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



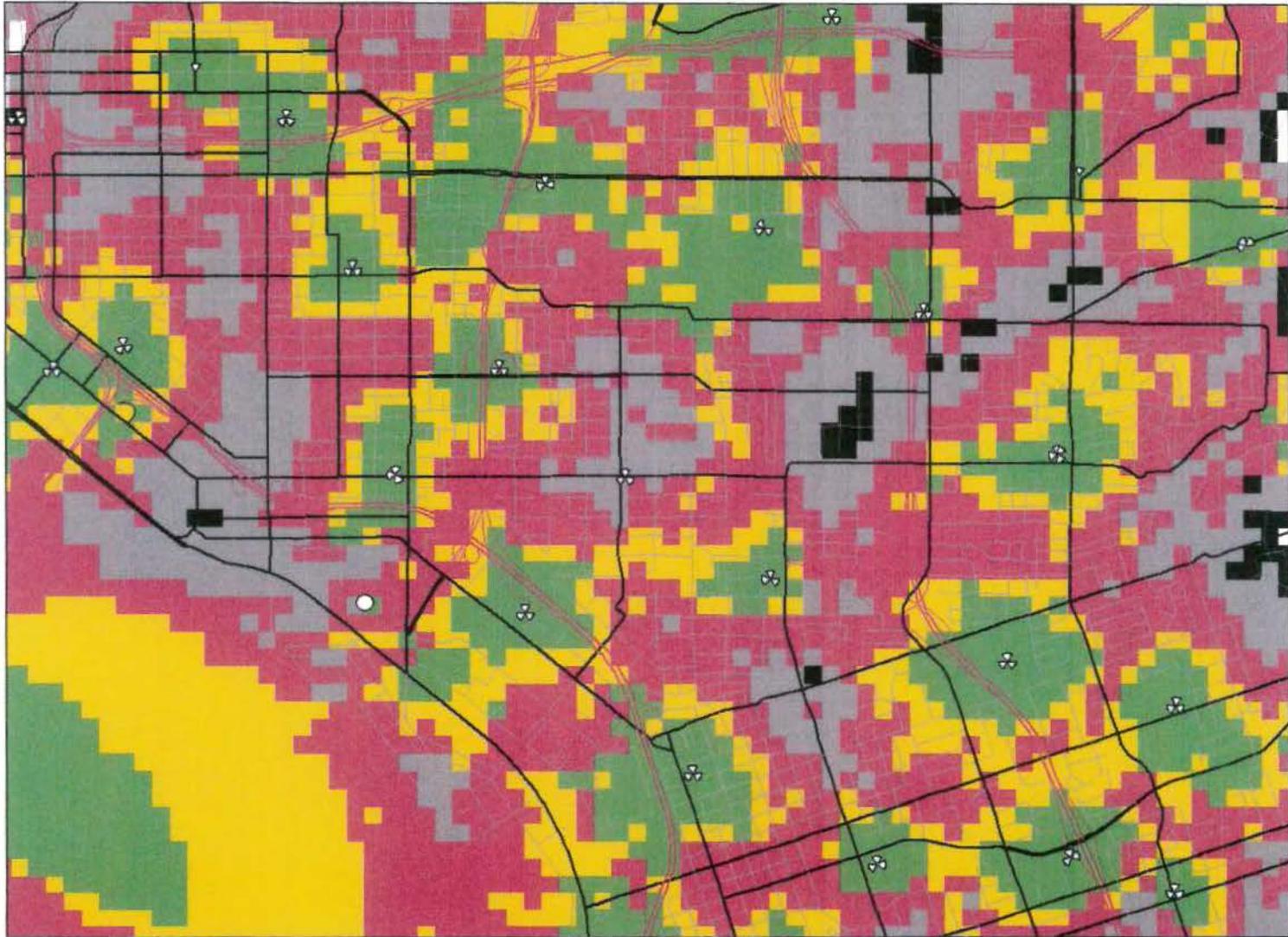
1

Legend: Coverage Level

- | | | |
|-------------------------|---------|-------------------|
| In Building Commercial | In Car | Poor to No Signal |
| In Building Residential | Outdoor | No Coverage |



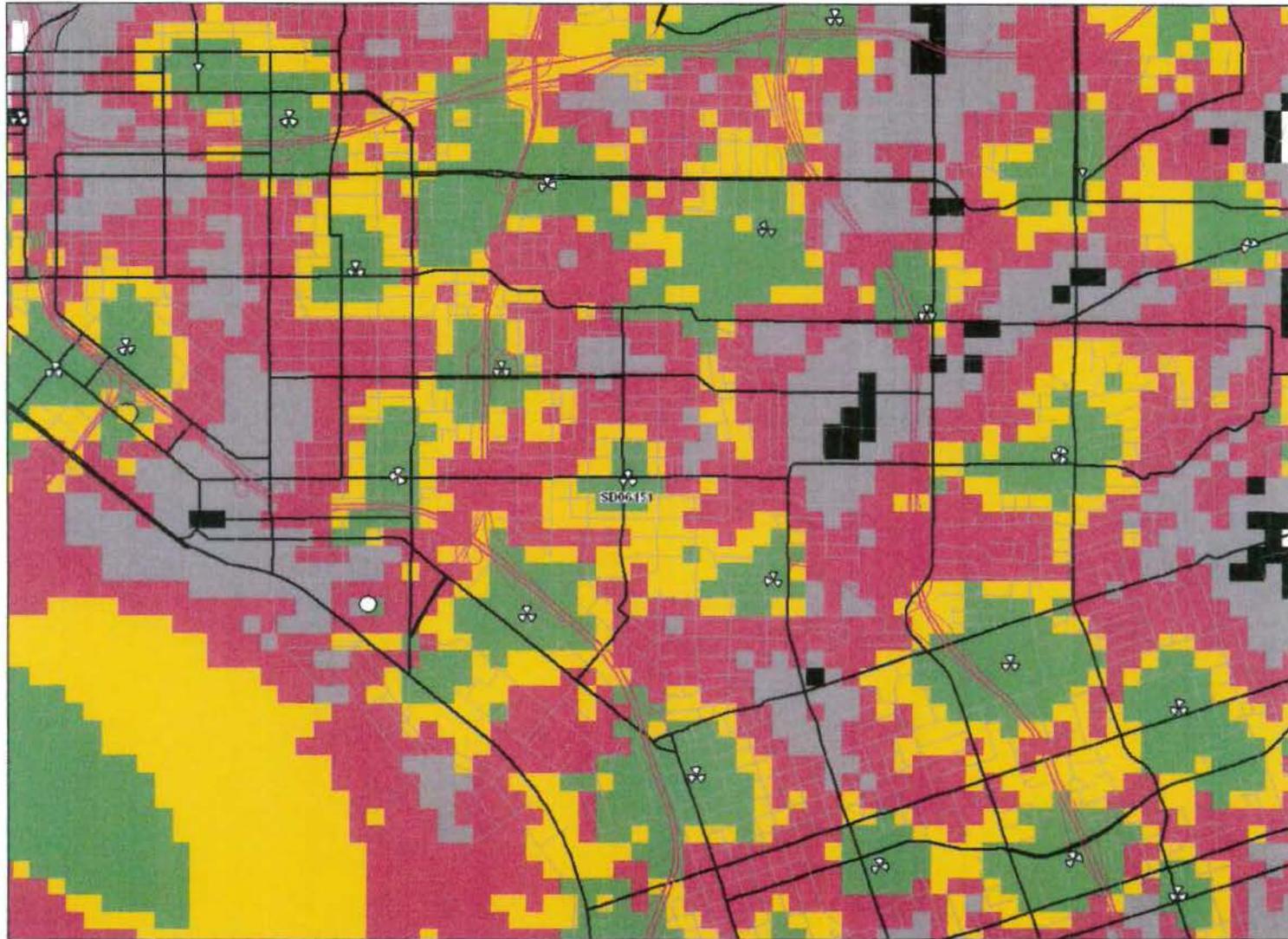
On Air neighbor sites coverage



2

- Legend: Coverage Level**
- In Building Commercial
 - In Building Residential
 - In Car
 - Outdoor
 - Poor to No Signal
 - No Coverage





3

Legend: Coverage Level

- | | | |
|-------------------------|---------|-------------------|
| In Building Commercial | In Car | Poor to No Signal |
| In Building Residential | Outdoor | No Coverage |



PHOTOGRAPHIC SURVEY

T-Mobile SD06151A, Golden Gate Market

• **View of the Subject Property**



(1) View of the subject property looking north



(2) View of the subject property looking west



(3) View of the subject property looking south



(4) View of the subject property looking east

• View from the Subject Property



(5) View from the subject property looking north



(6) View from the subject property looking east



(7) View from subject property looking south



(8) View from subject property looking west

SD06151A

GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113



FEBRUARY 27, 2014

VIEW #: 1

LOCATION



EXISTING



PROPOSED



T-MOBILE
10509 VISTA SORRENTO PKWY STE 206
SAN DIEGO, CA 92121

The illustration above is a representation of the proposed project based on information provided by the client. Actual construction may vary dependent on approved construction plans and therefore the A&E firm will not be held responsible for any post production design changes.



ZALZALI & ASSOCIATES, INC.
23675 BIRCHER DRIVE
LAKE FOREST, CA 92630
949.609.9559
949.606.7222 (FAX)

REV:

A

SD06151A

GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113



FEBRUARY 27, 2014

VIEW #: 2

LOCATION



EXISTING



PROPOSED



T-MOBILE
10509 VISTA SORRENTO PKWY STE 206
SAN DIEGO, CA 92121

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 **ZALZALI & ASSOCIATES, INC.**
23675 BIRCHER DRIVE
LAKE FOREST, CA 92630
949.609.9559
949.606.7222 (FAX)

REV:
A

SD06151A

GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113



FEBRUARY 27, 2014

VIEW #: 3

LOCATION



EXISTING



PROPOSED



The illustration above is a representation of the proposed project based on information provided by the client. Actual construction may vary dependent on approved construction plans and therefore the A&E firm will not be held responsible for any post production design changes.

T-MOBILE
10509 VISTA SORRENTO PKWY STE 206
SAN DIEGO, CA 92121

 **ZALZALI & ASSOCIATES, INC.**
23675 BIRTCHEER DRIVE
LAKE FOREST, CA 92630
949.609.9559
949.606.7222 (FAX)

REV:
A

SD06151A

GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113



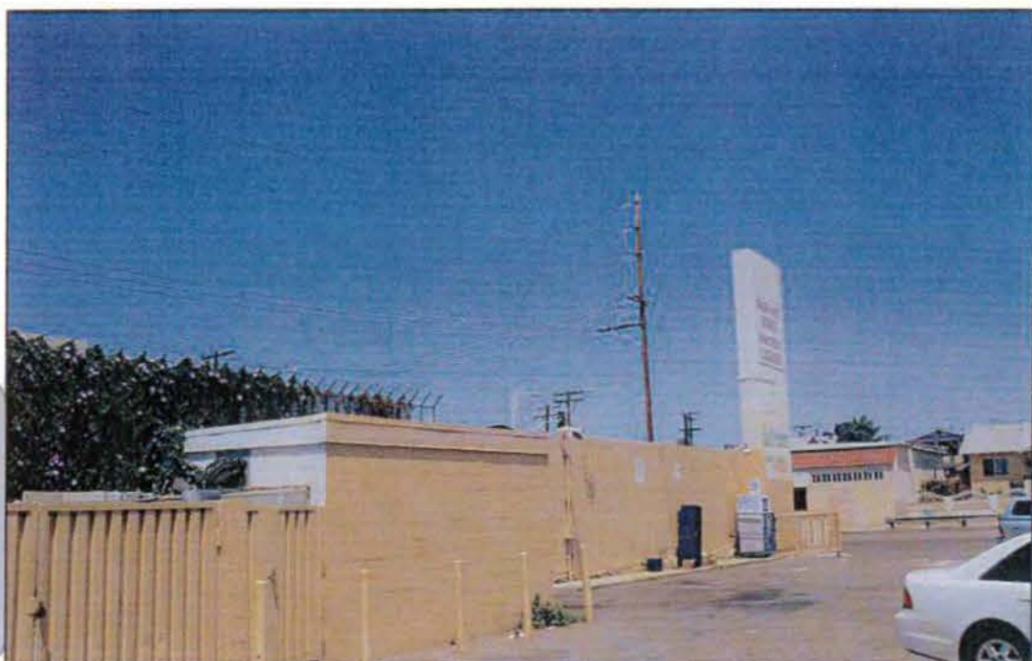
FEBRUARY 27, 2014

VIEW #: 4

LOCATION



EXISTING



PROPOSED



T-MOBILE
10509 VISTA SORRENTO PKWY STE 206
SAN DIEGO, CA 92121

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ZALZALI & ASSOCIATES, INC.
23675 BIRTCHER DRIVE
LAKE FOREST, CA 92630
949.609.9559
949.606.7222 (FAX)

REV:
A



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

**Community Planning
 Committee
 Distribution Form Part 2**

Project Name: T-Mobile - Golden Gate Market		Project Number: 289207	Distribution Date:
Project Scope/Location: SOUTHEASTERN SAN DIEGO, SOUTHEASTERN; CUP/SDP Process 3 for an existing wireless communication facility consisting of three panel antennas concealed within a 35' tall sign tower that is part of the Golden Gate Market located at 3807 National Avenue in the MF-1500 zone of the Southeastern San Diego Planned District. The associated equipment is located in a 167 sf enclosure adjacent to the market. CD- 8.			
Applicant Name: Lynnea Barrett, Mitchell J Architecture		Applicant Phone Number: 858-650-3130	
Project Manager: Karen Lynch-Ashcraft	Phone Number: (619) 446-5351	Fax Number: (619) 321-3200	E-mail Address: klynchash@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes 10	Members No 0	Members Abstain 0
<input checked="" type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes 10	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: Please statement attached.			
NAME: Maria Riveroll, EA		TITLE: Chair	
SIGNATURE:		DATE: 6/13/2014	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

STATEMENT OF CONDITIONS

Project No. 289207 T Mobile Golden Gate Market

Committee Concerns and Recommendations:

1. Recommend that warning signs all be bilingual.
2. Need language in the CUP what would happen if a tree falls on a car. (This type of tree is notorious for rotting in the middle of the trunk). City wanted Palm Trees.
3. Recommend Plum Natal bushes be planted in the parking lot to break up the massive wall on the east side. Juniper bush is also an option.
4. Need clarification as to what kind of material is used on the siding and signage. It is a foam-based material for the Azteca pattern trim and is weather resistant.
5. All Cycle Issues must be cleared.
6. All Police Department Recommendations must be implemented.
7. Parking lots need landscaping.

Motion to approve Project with the above conditions.

Veach/Pisaño

MSC 10-0-0

SD06151A

 City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Viewer Land Use Plan Amendment Other _____

Project Title _____ Project No. For City Use Only _____

T-Mobile Golden Gate Market

Project Address:

3807 National Ave., San Diego, CA 92113

Part I To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of individual (type or print):

Adelle E. Fares

Owner Tenant/Lessee Redevelopment Agency

Street Address:

435 Hilltop Dr.

City/State/Zip:

Chula Vista, CA 91910

Phone No:

(619) 271-2696

Signature:

Adelle E. Fares 6/18/12

Name of individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Project Chronology
T-Mobile – Golden Gate Market
PTS No. 289207

Date	Action	Description	City Review Time	Applicant Response
7/20/12	Submittal for Completeness Check			
8/16/12	Completeness Review Assessment		23 days	
8/31/12	First Full Submittal	Deemed Complete		19 days
1/29/13	First Assessment		4 months, 29 days	
4/3/13	Second Submittal			2 months, 5 days
6/14/13	Second Assessment		2 months, 11 days	
7/3/13	Third Submittal			29 days
8/16/13	Third Assessment		1 month, 13 days	
9/19/13	Fourth Submittal			3 months, 3 days
10/15/13	Fourth Assessment		26 days	
3/27/14	Fifth Submittal			5 months, 12 days
5/1/14	Issues Resolved		1 month, 4 days	
6/17/14	CPG Recommendation Received		1 month, 16 days	
7/30/14	Hearing Officer Hearing		1 month, 13 days	
TOTAL STAFF TIME**			11 months 16 days	
TOTAL APPLICANT TIME**				1 year, 8 days
TOTAL PROJECT RUNNING TIME**			2 years, 10 days	

**Based on 30 days equals to one month.



10509 VISTA SORRENTO PARKWAY
SUITE 206
SAN DIEGO, CA 92121



23675 BIRTCHE DRIVE
LAKE FOREST, CA 92630
PHONE: (949) 273-0996



ZALZALI & ASSOCIATES INC.
2070 BUSINESS CENTER DRIVE
SUITE 200
IRVINE, CA 92612

PROJECT NO: SD06151A
DRAWN BY: NC
CHECKED BY: DM/MZ

REV	DATE	DESCRIPTION
D	3/25/2014	100% ZD'S FOR ZAP
C	10/5/2013	REV. PER PLANNING
B	09/13/2013	100% ZD'S FOR REDLINE
A	06/27/2013	90% ZD'S FOR REDLINE

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SD06151A
GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113

SHEET TITLE
TITLE SHEET

SHEET NUMBER

T-1



SITE NUMBER: SD06151A
SITE NAME: GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113
COUNTY: SAN DIEGO

INSPECTIONS

THERE ARE NO PERIODIC/CONTINUOUS SPECIAL INSPECTIONS ASSOCIATED WITH THE SCOPE OF WORK CONTAINED IN THESE PLANS. ZALZALI SCOPE SHALL INCLUDE: ANTENNA REPLACEMENT WITHIN THE SIGN TOWER, AND REFINISHING THE EQUIPMENT ENCLOSURE AND SIGN TOWER TO MATCH THE EXISTING BUILDING FINISH AND ARCHITECTURAL THEME. THE SIGN PERMITTING AND UPGRADE(S) SHALL BE EXECUTED VIA SHOP DRAWINGS AND CITY APPROVED SIGN CONTRACTOR.

ENGINEERING

2013 CALIFORNIA BUILDING CODE
2012 INTERNATIONAL BUILDING CODE
2011 NATIONAL ELECTRIC CODE
TIA/EIA-222-G OR LATEST EDITION
LOCAL BUILDING/PLANNING CODE

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

THIS TELECOMMUNICATIONS FACILITY IS EXEMPT FROM ACCESSIBILITY COMPLIANCE PER PER CBC 11B-203.5 (T-24, PART 2, CHAPTER 11B, DIVISION 2, ARTICLE 203 - GEN. EXCEPTIONS)

SITE INFORMATION

PROPERTY OWNER: HELEN N. FARES FAMILY TRUST
ADDRESS: 4505 TAFT AVE. CONTACT: TONY FARES PHONE: (619) 271-2695

APPLICANT: T-MOBILE USA
ADDRESS: 10509 VISTA SORRENTO PKWY STE 206 SAN DIEGO, CA 92121

LATITUDE: 32° 41' 44.99" N (32.696631)
LONGITUDE: -117° 06' 44.08" W (117.12244)

LAT/LONG TYPE: NAD 83
GROUND ELEVATION: 85' AMSL
APN #: 550-221-01 #02
ZONING JURISDICTION: B
CURRENT ZONING: SESDPD-MF-1500
PROPOSED USE: UNMANNED TELECOMMUNICATIONS FACILITY
YEAR OF BUILDING: BUILT 1972

PROJECT TEAM

PROJECT MANAGER: T-MOBILE USA, 10509 VISTA SORRENTO PKWY STE 206, SAN DIEGO, CA 92121, CONTACT: KIRT BABCOCK, PHONE: (760) 214-2891, EMAIL: kirt.babcock@t-mobile.com

ENGINEER: ZALZALI & ASSOCIATES INC., 23675 BIRTCHE DRIVE LAKE FOREST, CA 92630, PHONE: (949) 273-0996, CONTACT: DEAN WALKER, PHONE: (714) 230-5714, EMAIL: dean.walker@zalzali.com

SITE ACQUISITION: SMARTLINK LLC, 18301 VON KARMAN AVE SUITE 910, IRVINE, CA 92612, CONTACT: ROCKI LAM, PHONE: (949) 387-1265, CELL: (601) 603-2052, EMAIL: rocki.lam@smartlinkllc.com

ZONING: SMARTLINK LLC, 18301 VON KARMAN AVE SUITE 910, IRVINE, CA 92612, CONTACT: ROCKI LAM, PHONE: (949) 387-1265, CELL: (601) 603-2052, EMAIL: rocki.lam@smartlinkllc.com

RF ENGINEER: T-MOBILE USA, 10509 VISTA SORRENTO PKWY STE 206, SAN DIEGO, CA 92121, CONTACT: PEDRO ABE, PHONE: (858) 366-3454, EMAIL: TBD

CONSTRUCTION MANAGER: TBD

VICINITY MAP



DRIVING DIRECTIONS

DIRECTIONS FROM T-MOBILE SAN DIEGO OFFICE:
HEAD SOUTHEAST ON VISTA SORRENTO PKWY TOWARD DIRECTOR PL., TAKE THE 1ST RIGHT ONTO SORRENTO VALLEY RD. TAKE THE RAMP ONTO I-805 S. TAKE EXIT 11B FOR 43RD ST. TURN RIGHT ONTO S 43RD ST. TURN LEFT ONTO NATIONAL AVE.
ARRIVE AT 3807 NATIONAL AVE, SAN DIEGO, CA 92113

ZONING DRAWING

IF USING 11'X17" PLOT, DRAWINGS WILL BE HALF SCALE

PROJECT DESCRIPTION

T-MOBILE WIRELESS PROPOSES TO REPLACE TEMPORARY WIRELESS PANEL ANTENNAS WITHIN AN EXISTING SIGN TOWER. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE (3) EXISTING T-MOBILE PANEL ANTENNAS
- INSTALL (3) NEW T-MOBILE PANEL ANTENNAS ON EXISTING ANTENNA MASTS
- ADD (2) LIVE QUEEN PALM TREES W/ U.G. IRRIGATION LINES (* BY DPLA)
- INSTALL (2) NEW FRP 'AZTECA' PATTERN FOAM BANDS ON EXISTING SIGN TOWER
- RE-STUCCO AND PAINT EXISTING SIGN TOWER AND EXISTING T-MOBILE EQUIPMENT ENCLOSURE TO MATCH BUILDING FINISH
- PAINT EQUIPMENT ENCLOSURE ACCESS DOOR AND ALL SERVICE AND CABLE ENTRIES TO MATCH BUILDING

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
A-1	SITE PLAN
A-2	EQUIPMENT AND ANTENNA LAYOUTS
A-3	ELEVATIONS
D-1	DETAILS
L-1*	LANDSCAPE PLAN
L-2*	PLANTING DETAILS AND NOTES
L-3*	IRRIGATION DETAILS AND NOTES

APPROVALS

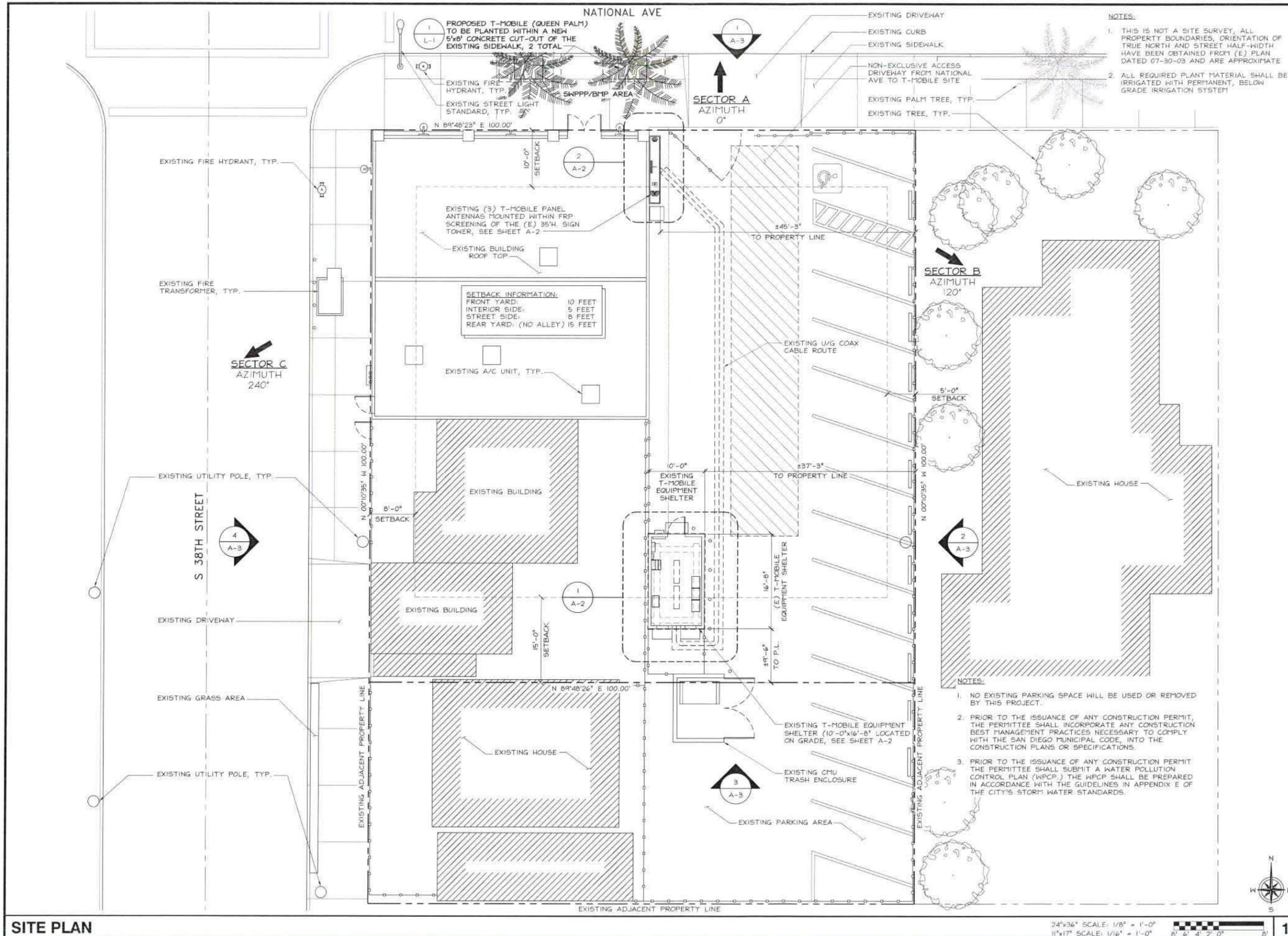
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

T-MOBILE RF ENGINEER: _____ DATE: _____
T-MOBILE OPERATIONS: _____ DATE: _____
SITE ACQUISITION: _____ DATE: _____
CONSTRUCTION MANAGER: _____ DATE: _____
PROPERTY OWNER: _____ DATE: _____
ZONING: _____ DATE: _____
PROJECT MANAGER: _____ DATE: _____

DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.





NOTES:

1. THIS IS NOT A SITE SURVEY, ALL PROPERTY BOUNDARIES, ORIENTATION OF TRUE NORTH AND STREET HALF-WIDTH HAVE BEEN OBTAINED FROM (E) PLAN DATED 07-30-03 AND ARE APPROXIMATE
2. ALL REQUIRED PLANT MATERIAL SHALL BE IRRIGATED WITH PERMANENT, BELOW GRADE IRRIGATION SYSTEM

T-Mobile
 10509 VISTA SORRENTO PARKWAY
 SUITE 206
 SAN DIEGO, CA 92121

smartlink
 23675 BIRTCHE DRIVE
 LAKE FOREST, CA 92630
 PHONE: (949) 273-0996

ZALZALI & ASSOCIATES INC.
 2070 BUSINESS CENTER DRIVE
 SUITE 200
 IRVINE, CA 92612

PROJECT NO:	SD06151A
DRAWN BY:	NC
CHECKED BY:	DW/WZ

REV	DATE	DESCRIPTION
0	3/25/2014	100% ID'S FOR ZAP
C	10/15/2013	REV. PER PLANNING
B	09/13/2013	100% ID'S FOR REDLINE
A	06/27/2013	90% ID'S FOR REDLINE

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SD06151A
 GOLDEN GATE MARKET
 3807 NATIONAL AVE
 SAN DIEGO, CA 92113

SHEET TITLE
 SITE PLAN

SHEET NUMBER
A-1

NOTES:

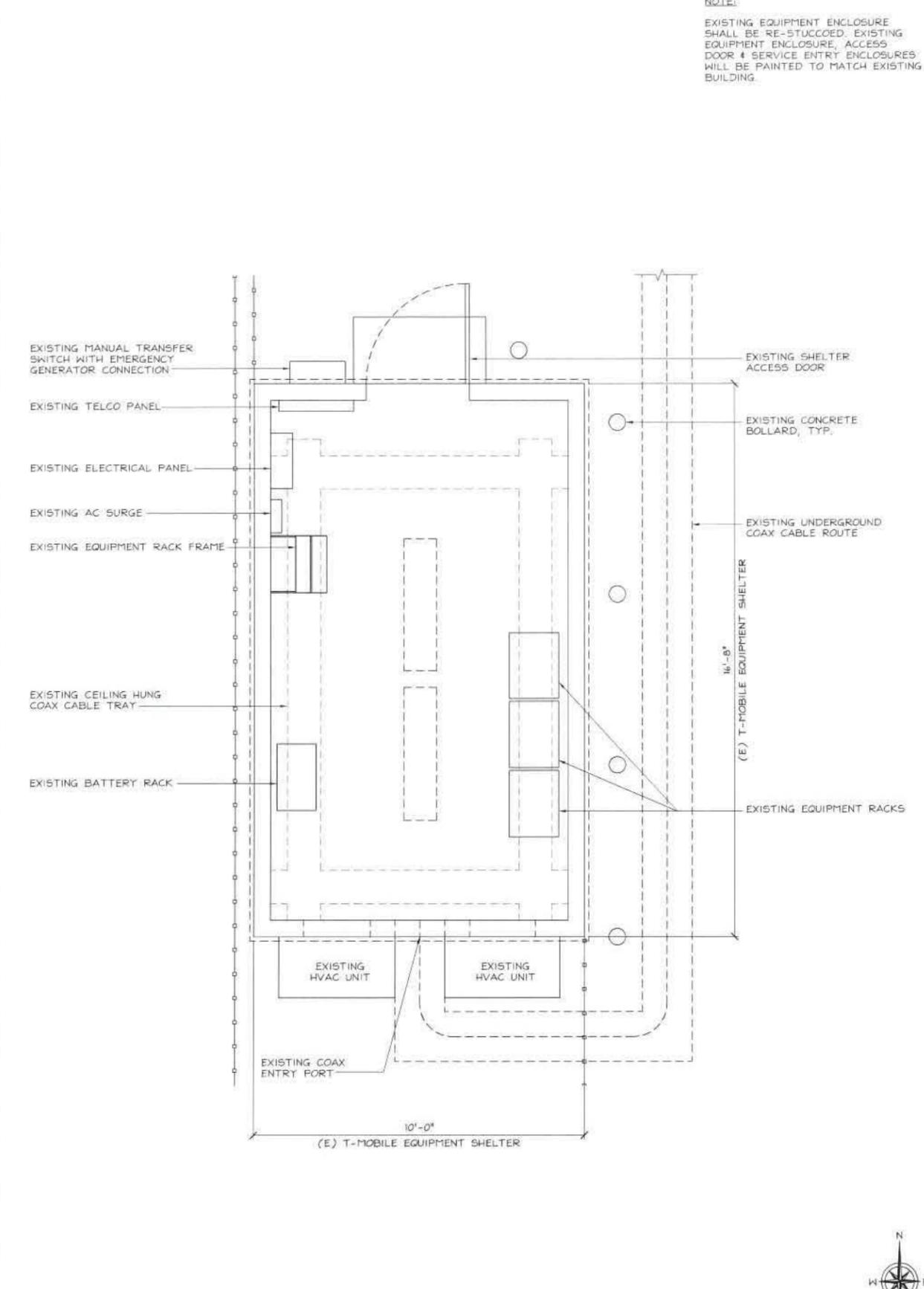
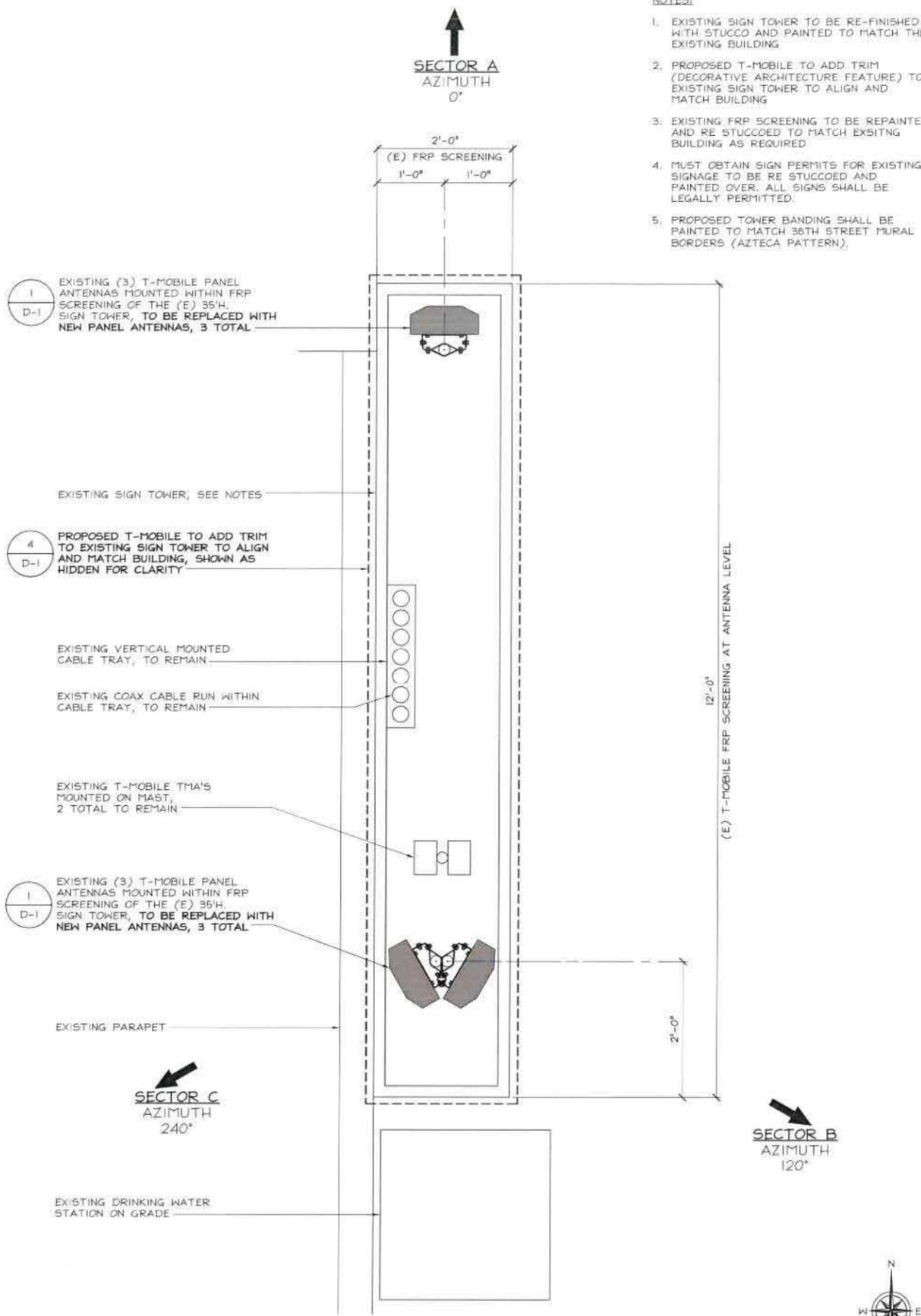
1. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP.) THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

NOTES:

1. EXISTING SIGN TOWER TO BE RE-FINISHED WITH STUCCO AND PAINTED TO MATCH THE EXISTING BUILDING
2. PROPOSED T-MOBILE TO ADD TRIM (DECORATIVE ARCHITECTURE FEATURE) TO EXISTING SIGN TOWER TO ALIGN AND MATCH BUILDING
3. EXISTING FRP SCREENING TO BE REPAINTED AND RE STUCCOED TO MATCH EXISTING BUILDING AS REQUIRED
4. MUST OBTAIN SIGN PERMITS FOR EXISTING SIGNAGE TO BE RE STUCCOED AND PAINTED OVER. ALL SIGNS SHALL BE LEGALLY PERMITTED.
5. PROPOSED TOWER BANDING SHALL BE PAINTED TO MATCH 36TH STREET MURAL BORDERS (AZTECA PATTERN).

NOTE:

EXISTING EQUIPMENT ENCLOSURE SHALL BE RE-STUCCOED. EXISTING EQUIPMENT ENCLOSURE, ACCESS DOOR & SERVICE ENTRY ENCLOSURES WILL BE PAINTED TO MATCH EXISTING BUILDING.



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ZALZALI & ASSOCIATES INC.
 2070 BUSINESS CENTER DRIVE
 SUITE 200
 IRVINE, CA 92612

PROJECT NO: SD06151A
 DRAWN BY: NC
 CHECKED BY: DW/WZ

REV	DATE	DESCRIPTION
0	3/25/2014	100% ZD'S FOR ZAP
C	10/15/2013	REV. PER PLANNING
B	09/13/2013	100% ZD'S FOR REDLINE
A	06/27/2013	90% ZD'S FOR REDLINE

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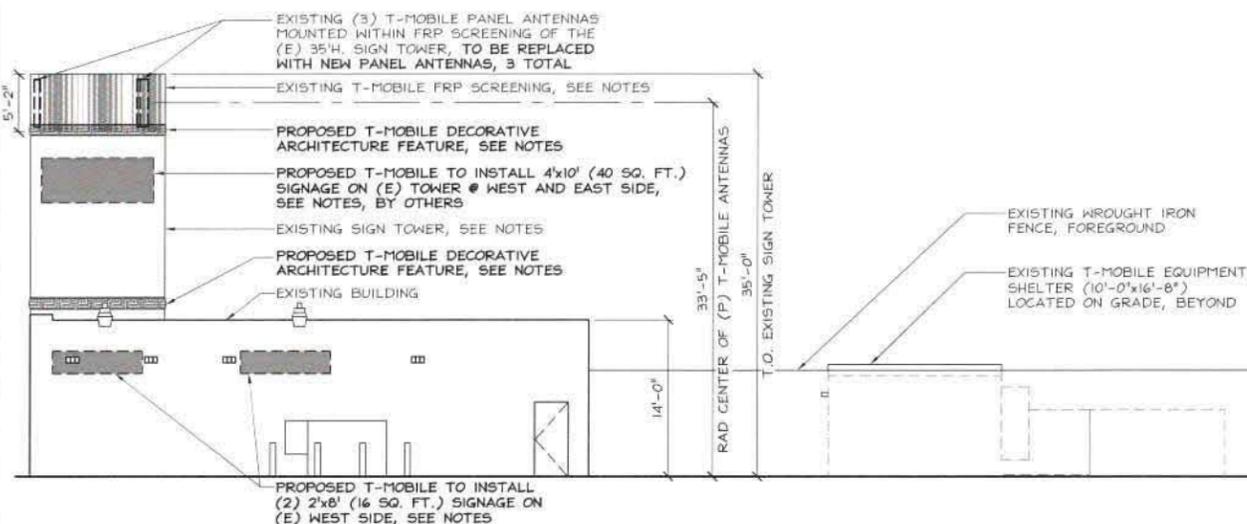
SD06151A
 GOLDEN GATE MARKET
 3807 NATIONAL AVE
 SAN DIEGO, CA 92113

SHEET TITLE
 EQUIPMENT AND
 ANTENNA LAYOUTS

SHEET NUMBER
A-2

NOTES:

- EXISTING SIGN TOWER AND T-MOBILE EQUIPMENT ENCLOSURE TO BE RE-STUCCOED AND PAINTED TO MATCH THE EXISTING BUILDING
- PROPOSED T-MOBILE TO ADD 'AZTECA' PATTERN ARCHITECTURAL TRIM TO EXISTING SIGN TOWER TO ALIGN AND MATCH BUILDING
- EXISTING FRP SCREENING TO BE RE TEXTURED AND FINISHED TO MATCH EXISTING BUILDING AS REQUIRED.
- ALL SIGNS SHALL BE LEGALLY PERMITTED.
- PROPOSED TOWER BANDING SHALL BE PAINTED TO MATCH 38TH STREET MURAL BORDERS (AZTEC PATTERN).

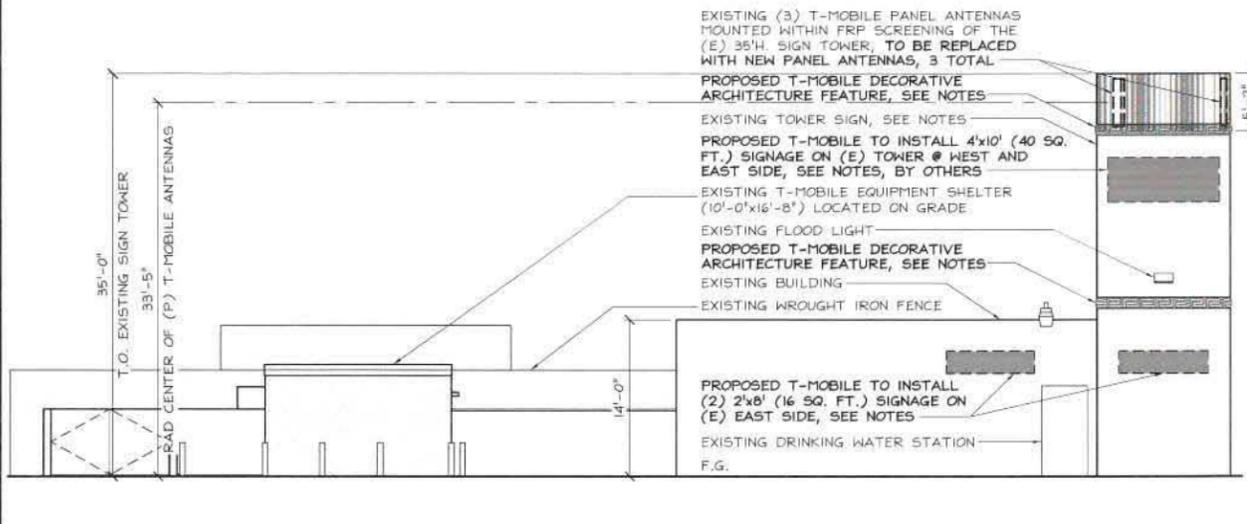


WEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6" 4' 2' 0" 8'

NOTES:

- EXISTING SIGN TOWER AND T-MOBILE EQUIPMENT ENCLOSURE TO BE RE-STUCCOED AND PAINTED TO MATCH THE EXISTING BUILDING
- PROPOSED T-MOBILE TO ADD 'AZTECA' PATTERN ARCHITECTURAL TRIM TO EXISTING SIGN TOWER TO ALIGN AND MATCH BUILDING
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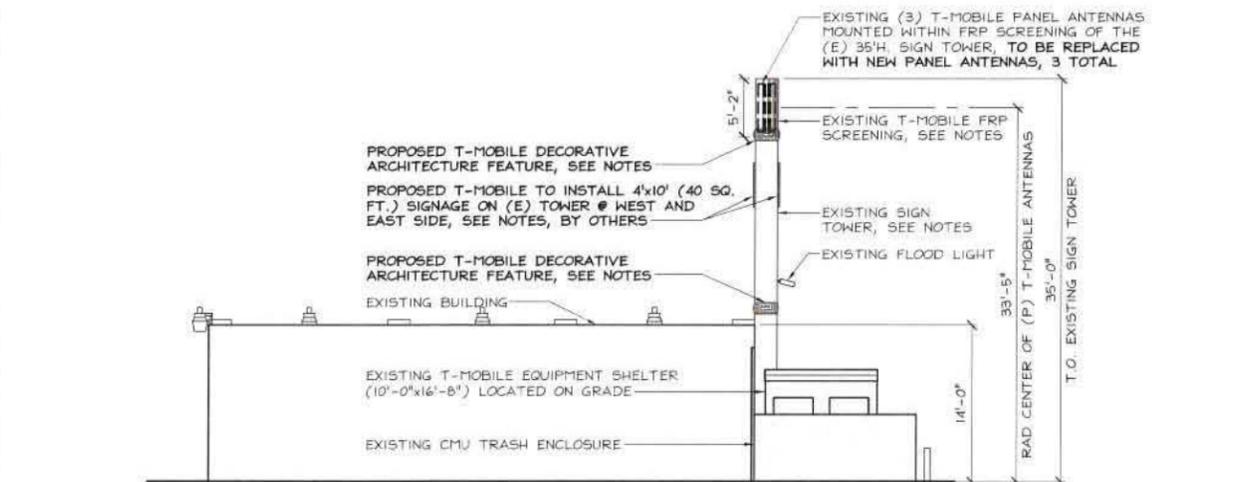


EAST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6" 4' 2' 0" 8'

NOTES:

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- PROPOSED T-MOBILE TO ADD 'AZTECA' PATTERN ARCHITECTURAL TRIM TO EXISTING SIGN TOWER TO ALIGN AND MATCH BUILDING
- EXISTING FRP SCREENING TO BE RE TEXTURED AND FINISHED TO MATCH EXISTING BUILDING AS REQUIRED.
- ALL SIGNS SHALL BE LEGALLY PERMITTED.
- PROPOSED TOWER BANDING SHALL BE PAINTED TO MATCH 38TH STREET MURAL BORDERS (AZTEC PATTERN).

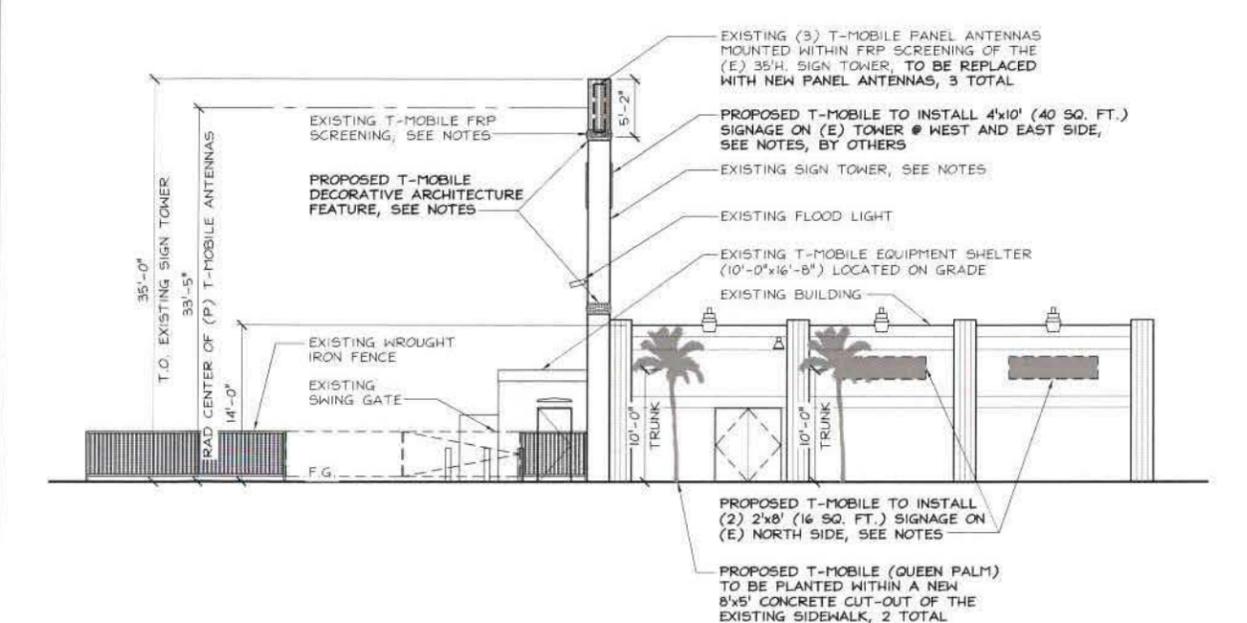


SOUTH ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6" 4' 2' 0" 8'

NOTES:

- EXISTING SIGN TOWER AND T-MOBILE EQUIPMENT ENCLOSURE TO BE RE-STUCCOED AND PAINTED TO MATCH THE EXISTING BUILDING
- PROPOSED T-MOBILE TO ADD 'AZTECA' PATTERN ARCHITECTURAL TRIM TO EXISTING SIGN TOWER TO ALIGN AND MATCH BUILDING
- EXISTING FRP SCREENING TO BE RE TEXTURED AND FINISHED TO MATCH EXISTING BUILDING AS REQUIRED.
- ALL SIGNS SHALL BE LEGALLY PERMITTED.
- PROPOSED TOWER BANDING SHALL BE PAINTED TO MATCH 38TH STREET MURAL BORDERS (AZTEC PATTERN).



NORTH ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6" 4' 2' 0" 8'

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IRVINE, CA 92612

PROJECT NO:	SD06151A
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CHECKED BY:	DW/WZ

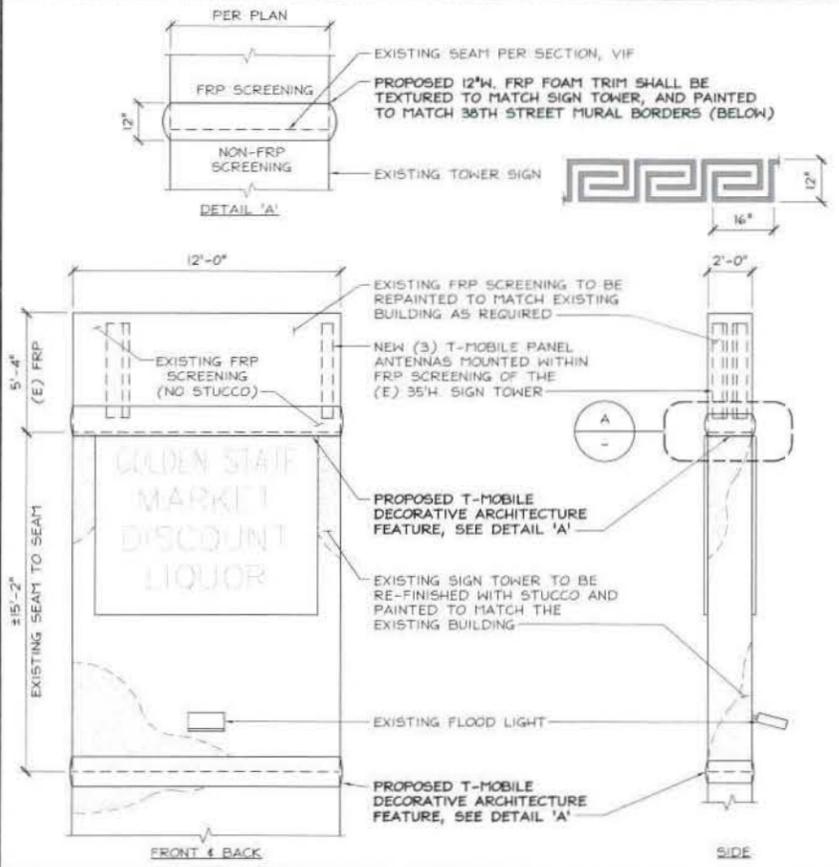
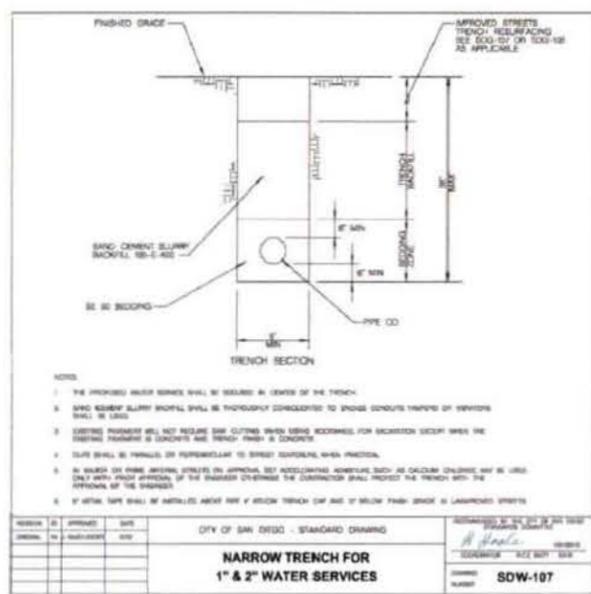
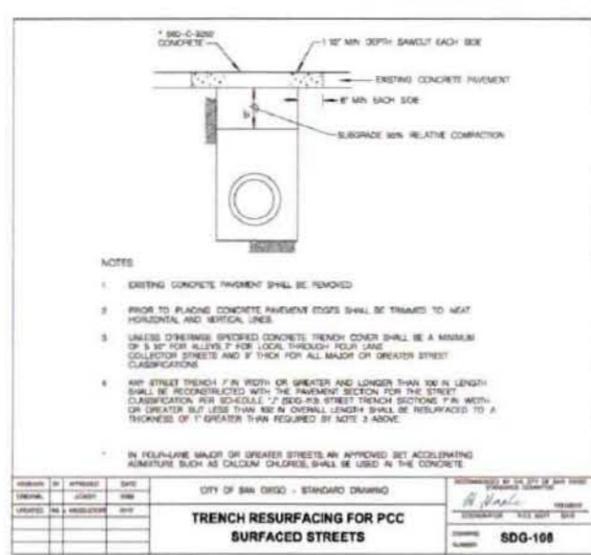
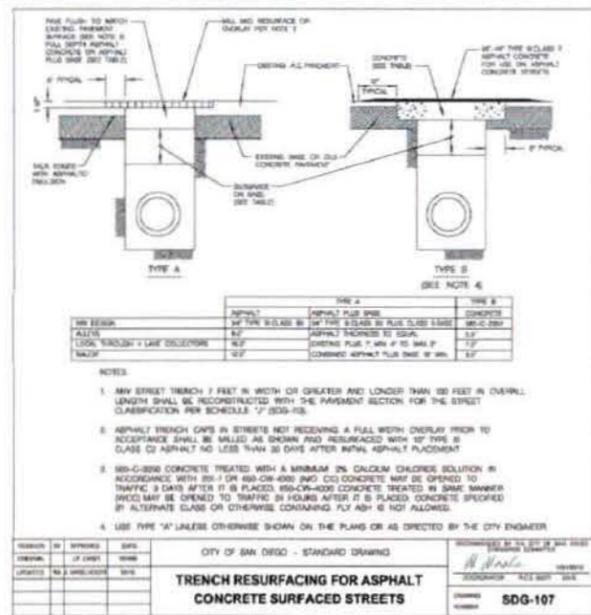
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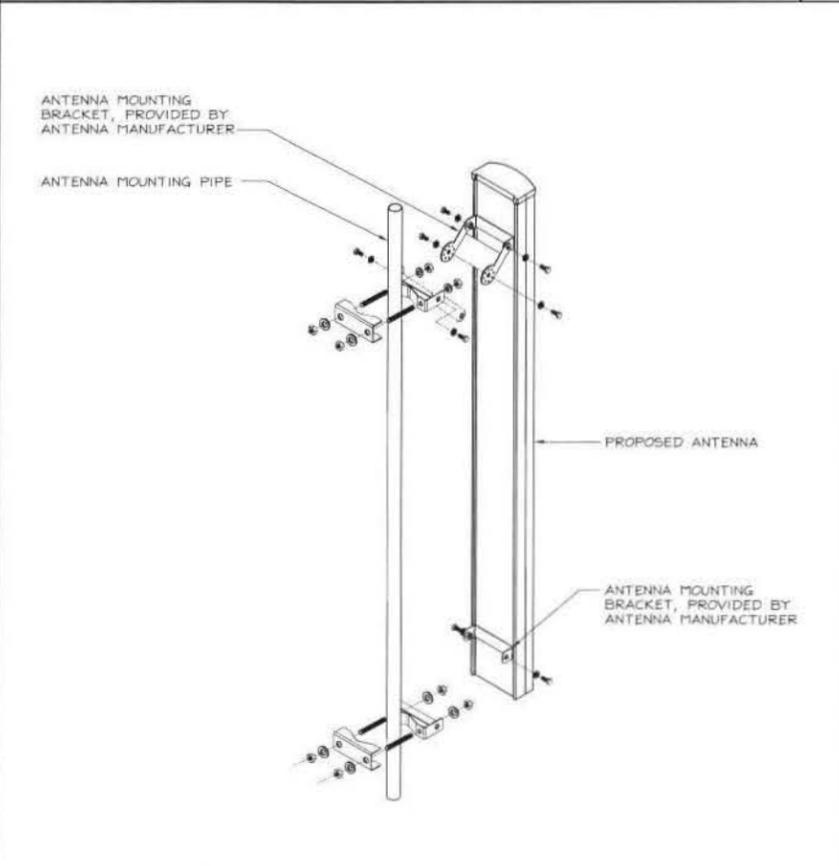
SD06151A
GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113

SHEET TITLE
ELEVATIONS

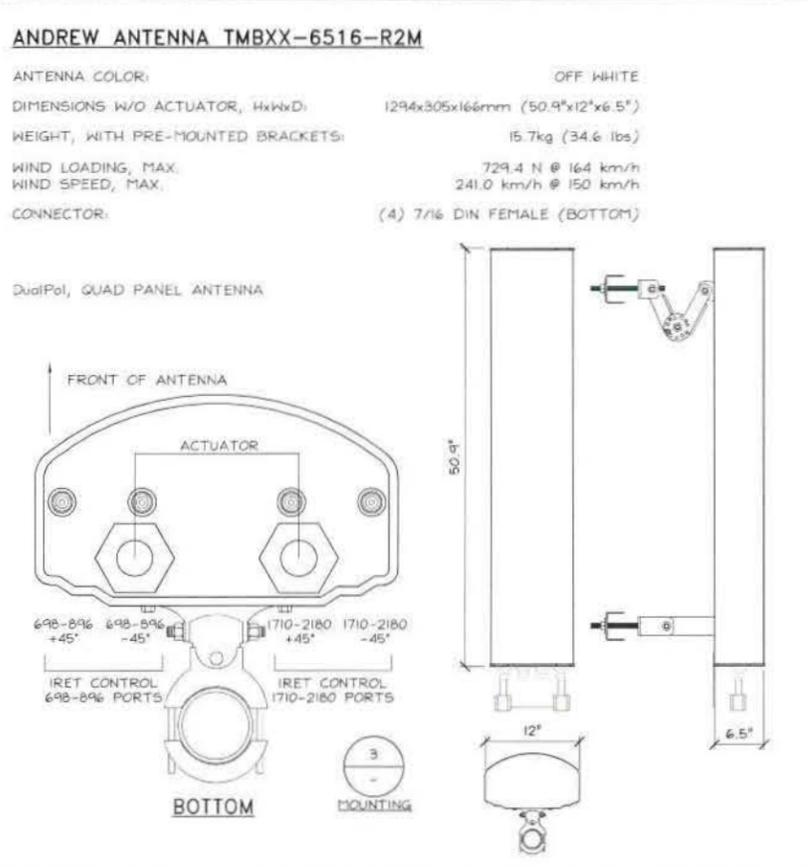
SHEET NUMBER
A-3



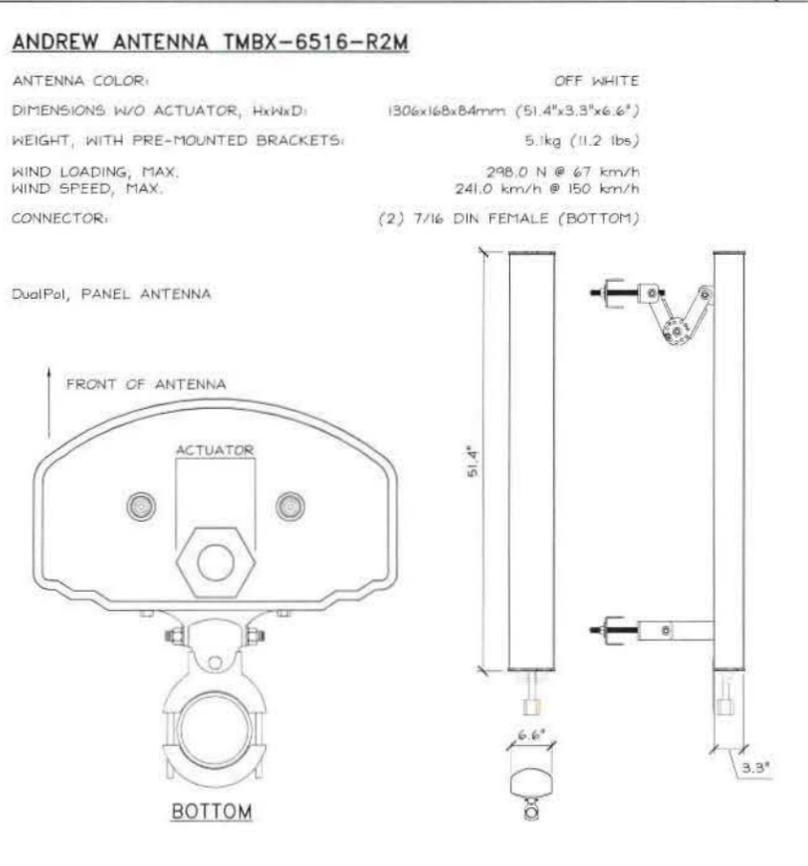
PROPOSED FRP TRIM DETAIL 24"x36" SCALE: NTS 11"x17" SCALE: NTS



ANTENNA MOUNTING DETAIL 24"x36" SCALE: NTS 11"x17" SCALE: NTS



PROPOSED ANTENNA SPECIFICATION 24"x36" SCALE: NTS 11"x17" SCALE: NTS



EXISTING ANTENNA SPECIFICATION 24"x36" SCALE: NTS 11"x17" SCALE: NTS

PROJECT NO:	SD06151A
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SD06151A
GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113

SHEET TITLE
DETAILS

SHEET NUMBER
D-1

IRRIGATION LINE TRENCH 24"x36" SCALE: NTS 11"x17" SCALE: NTS

ANTENNA MOUNTING DETAIL 24"x36" SCALE: NTS 11"x17" SCALE: NTS

EXISTING ANTENNA SPECIFICATION 24"x36" SCALE: NTS 11"x17" SCALE: NTS

PROPOSED ANTENNA SPECIFICATION 24"x36" SCALE: NTS 11"x17" SCALE: NTS

PLANTING LEGEND

SYMBOL	KEY	BOTANICAL / COMMON NAME	REMARKS	SIZE	QTY	DETAIL	FORM	FUNCTION	WATER FOOT / HEAD
	ARE ROM	ARECASTRUM ROMANOFFIANUM QUEEN PALM	PROTECT ROOT BARRIERS IF REQUIRED BY CITY	10' DIA	2	H	UPLIGHT	ACCENT/ TREE STREET TREE	40' x 20'

MODIFYING EXISTING SYSTEMS CITY NOTES

THIS PROJECT IS A MODIFICATION OF AN EXISTING SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE CONDITIONS AND EQUIPMENT RELATED TO THIS SYSTEM. THIS VERIFICATION SHALL INCLUDE, BUT IS NOT LIMITED TO, THE EXISTING PRESSURE AND FLOW AVAILABLE, THE MAINLINE SIZE AND LOCATION, THE EXISTENCE, LOCATION AND FUNCTION OF VALVES, MASTER VALVES, BACKFLOW AND CONTROLLER. CONTRACTOR SHALL NOTIFY THE O.A.R. (OWNER'S AUTHORIZED REPRESENTATIVE) IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THE FIELD VERIFICATION AND THE DRAWINGS.

WATER MUST BE PROVIDED TO ALL PLANT MATERIAL DURING AND AFTER CONSTRUCTION. THE TIMING AND AMOUNT OF WATER APPLIED SHALL MAINTAIN THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION.

THE CONTRACTOR SHALL CUT, CAP AND/OR DIVERT IRRIGATION LINES PRIOR TO ANY SITE DEMOLITION OR EXCAVATION IN ORDER TO PRESERVE WATERING TO THE REMAINING SITE AREAS DURING AND AFTER CONSTRUCTION.

THE CONTRACTOR SHALL ADD NEW HEADS TO MATCH THE EXISTING SYSTEM AND ADJUST/RELOCATE EXISTING SPRINKLER HEADS TO ACCOMMODATE THE PROPOSED INSTALLATION AND INSURE 100% COVERAGE OF THE EXISTING AND NEW PLANTINGS. NEW HEADS MAY BE ADDED IN ONE OF THE FOLLOWING WAYS:

- A. CONNECT TO AN EXISTING LATERAL LINE* PROVIDING SIMILAR WATERING REQUIREMENTS AS THE PLANT MATERIAL PROPOSED AND ADD NEW HEADS TO MATCH THE EXISTING HEADS, OR THE HEADS THAT HAVE BEEN REMOVED.
- B. CONNECT TO THE PRESSURE MAINLINE* OF THE EXISTING IRRIGATION SYSTEM AFTER THE EXISTING BACKFLOW DEVICE AND RUN A CONTROL WIRE FROM THE EXISTING CONTROLLER TO THE NEW VALVE(S). ONLY POSSIBLE IF THERE ARE AVAILABLE STATIONS ON THE EXISTING CONTROLLER OR THE CONTROLLER'S AVAILABLE STATIONS CAN BE INCREASED (UPGRADED).
- C. CONNECT TO THE EXISTING IRRIGATION WATER SOURCE* OR MAINLINE* AND PROVIDE A NEW BACKFLOW DEVICE AND AUTOMATIC CONTROLLER TO CONTROL THE VALVES.

*DO NOT EXCEED THE MAXIMUM GALLONS PER MINUTE AN EXISTING PIPE CAN PROVIDE (FLOW VELOCITY SHALL NOT BE GREATER THAN 5 FEET PER SECOND).

THE CONTRACTOR SHALL VERIFY IF THE EXISTING SYSTEM USES A MASTER VALVE - ANY NEW VALVES MUST BE CONNECTED BY WIRE TO THE MASTER VALVE AND CONTROLLER.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT/ MINIMUM DISTANCE TO STREET TREE:
 TRAFFIC SIGNALS (STOP SIGN)-20 FEET
 UNDERGROUND UTILITY LINES-5 FEET (10' FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES- 10 FEET
 DRIVEWAY (ENTRIES)-10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)-25 FEET

NOTE:
 ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS

NOTE:
 IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

NOTE: IRRIGATION TYPE
 THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED BUBBLER SYSTEM WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.

MAINTENANCE:
 *ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY PERMITTEE OR OWNER/PERMITTEE.

LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC R.O.W. SHALL BE MAINTAINED BY PERMITTEE OR OWNER/PERMITTEE.

THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.*

NOTE:
 A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER LDC 142.043(B)(5).

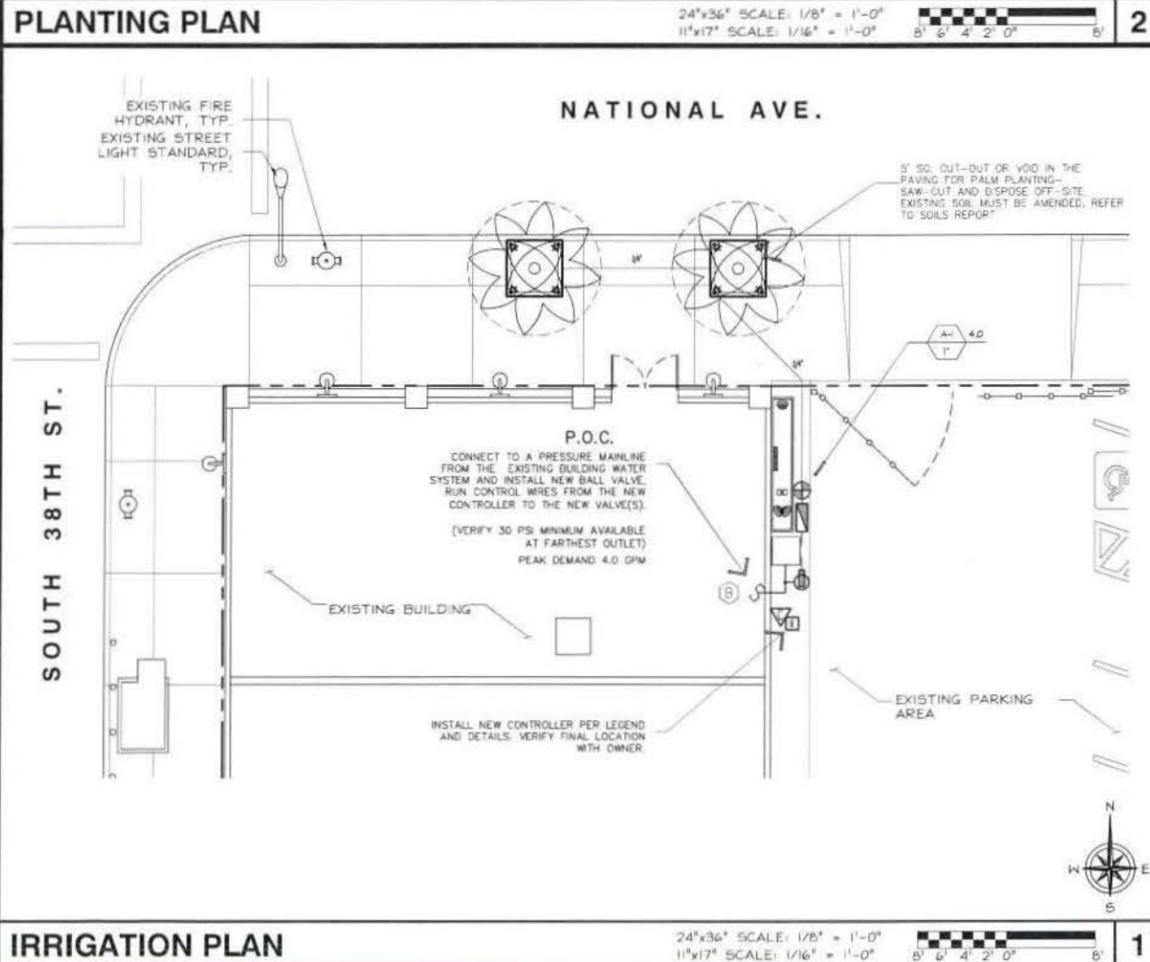
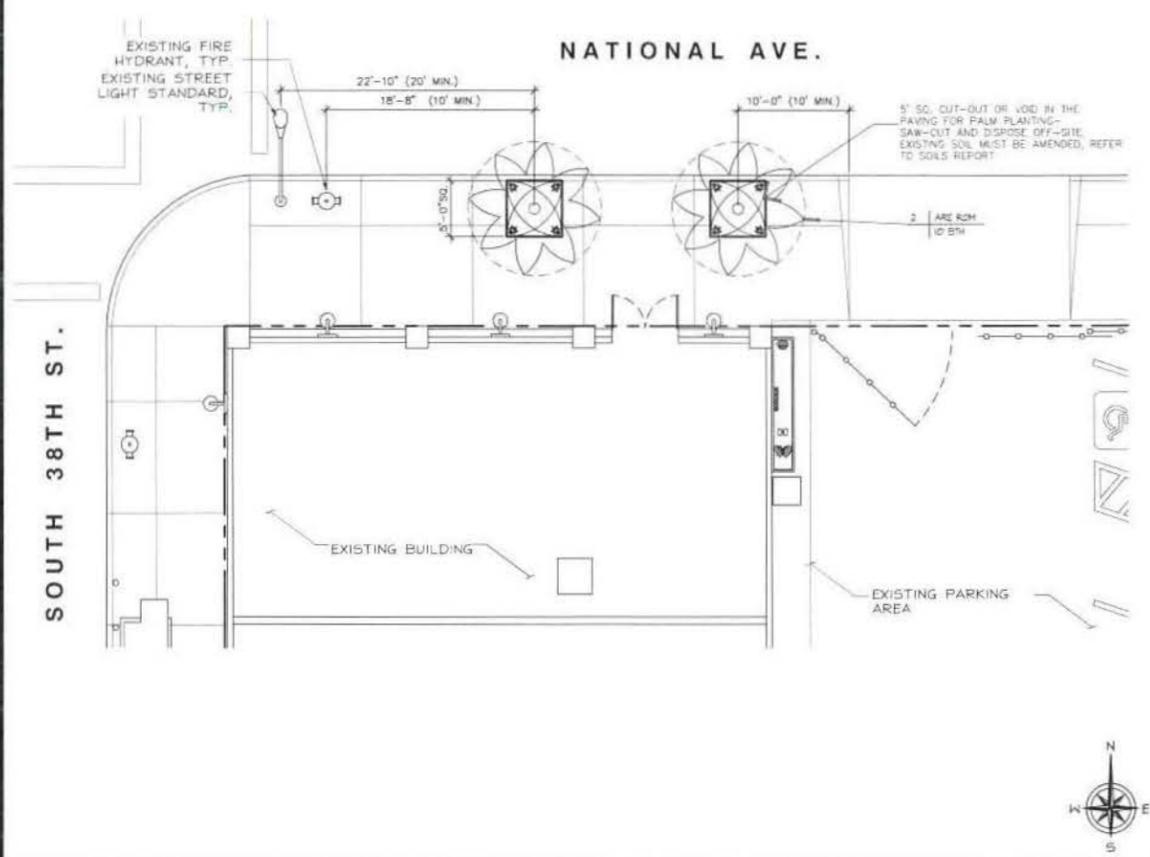
IRRIGATION LEGEND

SYMBOL	DESCRIPTION	REMARKS	DETAIL
	EXISTING WATER METER AND SERVICE LINE (VERIFY SIZES AND FUNCTION IN THE FIELD)		---
	FEBCO MODEL 760 BRASS PRESSURE TYPE BACKFLOW PREVENTER--12" ABOVE HIGHEST OUTLET. USE NEW BACKFLOW ONLY IF EXISTING SYSTEM HAS NONE. INSTALL BACKFLOW PREVENTER WITH "STRONGBOX" ENCLOSURE, PER MANUFACTURER.		C
	NIBCO T-580 SERIES BALL VALVE (LINE SIZE)		B
	NIBCO T580A BALL VALVE (LINE SIZE)		B
	MILKENS 750R W/6 STRAINER (LINE SIZE)		---
	MILKENS #500 PRESSURE REGULATOR (LINE SIZE)		---
	RAIN BIRD EFB-CP SERIES REMOTE CONTROL VALVE - INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX AT RIGHT ANGLES TO HANDSCAPE.		D
	LEIT AMBIENT LIGHT AUTOMATIC CONTROLLER (4-B STATION) IN OUTDOOR LOCKING BOX. INSTALL "HUNTER MINICLK" RAIN SWITCH AND "HROMETER WEM-B" MOISTURE SENSORS. INSTALL SENSORS PER MFG RECOMMENDATION.		A
	PVC WATER PIPE CL. 315 (MAINLINE 2" AND LARGER)		---
	PVC WATER PIPE SCH. 40 (MAINLINE 1-1/2" AND SMALLER)		---
	PVC WATER PIPE CL. 200 3/4"-1-1/2" (LATERALS)		---
	PVC PIPE/SLEEVE SCH. 40 - 2" MIN. DR2K DIA. OF PIPE OR WIRE BUNDLE, INSTALL UNDER ALL STREET OR DRIVE CROSSINGS.		---

SYMBOL	DESCRIPTION	DISCHARGE - GPM	PR. RADIUS	PRECIP. RATE	DETAIL
	5 SERIES STREAM BUBBLER SPRINKLER	50	30 - 5 FT.	1.83 in/hr	E
	RAIN BIRD #1808-50-B 5" POP-UP SPRAY	50	30 - 5 FT.	1.83 in/hr	E

ANTI-DRAIN CHECK VALVES SHALL BE INSTALLED AT ANY WATER OUTLET SUFFERING LOW HEAD DRAINAGE-- HUNTER HCV 50W-50F

PLANTING PLAN



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DMLA
Landscape Architecture

1812 Alvarado Street, Suite 100, San Diego, CA 92106
 (619) 594-1111
 www.dmla.com

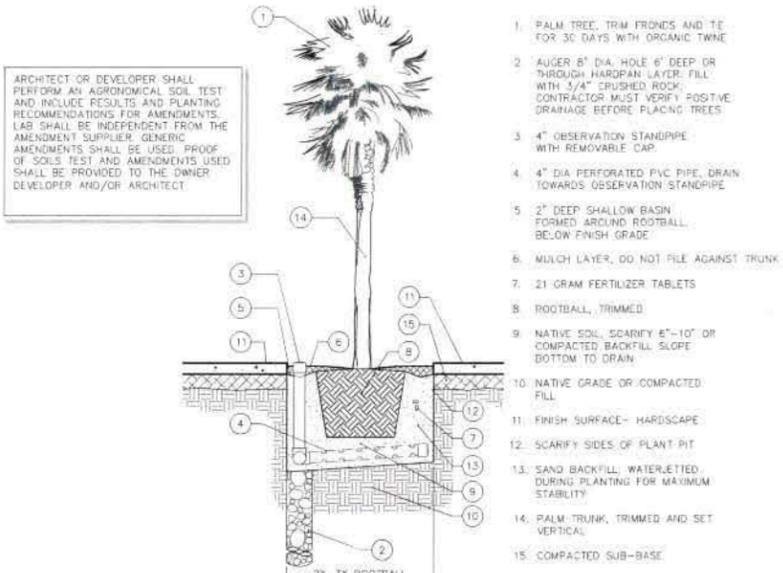
PROFESSIONAL LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA
 JULY 9, 2015
 3-18-14

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SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L-1



(H) PALM TREE PLANTING

1. PALM TREE, TRIM FRONDS AND LE FOR 30 DAYS WITH ORGANIC TWINE
2. AUGER 8" DIA. HOLE 6" DEEP OR THROUGH HARDPAN LAYER. FILL WITH 1/4" CRUSHED ROCK. CONTRACTOR MUST VERIFY POSITIVE DRAINAGE BEFORE PLACING TREES
3. 4" OBSERVATION STANDPIPE WITH REMOVABLE CAP
4. 4" DIA PERFORATED PVC PIPE, DRAIN TOWARDS OBSERVATION STANDPIPE
5. 2" DEEP SHALLOW BASIN FORMED AROUND ROOTBALL, BELOW FINISH GRADE
6. MULCH LAYER, DO NOT FILE AGAINST TRUNK
7. 21 GRAM FERTILIZER TABLETS
8. ROOTBALL, TRIMMED
9. NATIVE SOIL, SCARIFY 6"-10" OR COMPACTED BACKFILL, SLOPE BOTTOM TO DRAIN
10. NATIVE GRADE OR COMPACTED FILL
11. FINISH SURFACE- HARDSCAPE
12. SCARIFY SIDES OF PLANT PIT
13. SAND BACKFILL, WATER-LETTED, DURING PLANTING FOR MAXIMUM STABILITY
14. PALM TRUNK, TRIMMED AND SET VERTICAL
15. COMPACTED SUB-BASE

PLANTING SPECS.

I. GENERAL

THESE DRAWINGS ARE DIAGRAMMATIC, SHOWING INTENDED LOCATIONS AND RELATIONSHIPS OF PLANTING ELEVATIONS, FINAL SITE CONDITIONS, ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT. THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TESTED AND INSPECTED PRIOR TO PLANTING. ANY SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR O.A.R. PRIOR TO PURCHASE AND INSTALLATION.

II. PLANT MATERIAL/QUALITY ASSURANCE

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.). THE CONTRACTOR SHALL SUBMIT A LIST OF AVAILABILITY FOR ALL BOXED TREES THIRTY (30) DAYS BEFORE SCHEDULED PLANTING FOR APPROVAL AT THE NURSERY BY THE O.A.R.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING PLANT MATERIAL, FREE OF PESTS OR DISEASES AND NORMAL IN FORM FOR THE SPECIES AND DESIGN CALLED FOR IN THE PLANS. ONLY AS MANY PLANTS AS CAN BE PLANTED AND WATERED THAT SAME DAY SHALL BE DISTRIBUTED IN A PLANTING AREA. THE CONTRACTOR SHALL NOT INSTALL PLANT MATERIAL THAT IS WILTED OR HAS A DAMAGED ROOT BALL.

CONTRACTOR SHALL NOT INSTALL TREES WITHIN TEN (10) FEET OF ROTORS/ IMPACT HEADS OR WITHIN THREE (3) FEET OF STREAM/ SPRAY HEADS.

ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, SIZE AND TEXTURAL DENSITY.

SOIL AMENDMENT AND BACKFILL MIX AS DESCRIBED HEREIN ARE FOR BIDDING PURPOSES ONLY. SPECIFIC AMENDMENTS AND FERTILIZER WILL BE SELECTED AND SPECIFIED AFTER ROUGH GRADING IS COMPLETE AND SOIL SAMPLES CAN BE TESTED. AMENDMENT AND FERTILIZER AMOUNT AND TYPE SHALL BE AS RECOMMENDED IN THE AGRONOMIC SOIL'S REPORT.

III. WEED ABATEMENT

WEED ABATEMENT SHALL BEGIN AFTER ROUGH GRADING. CONTRACTOR TO IRRIGATE PLANTING AREA FOR THREE (3) WEEKS OR UNTIL SUFFICIENT WEED SEEDS HAVE GERMINATED, AFTER WHICH A CONTACT HERBICIDE IS SPRAYED BY A LICENSED PEST CONTROL APPLICATOR. IRRIGATION IS STOPPED FOR FORTY-EIGHT (48) HOURS. THE DEAD WEEDS ARE THEN REMOVED AND AFTER SUCH TIME AS NECESSARY FOR THE HERBICIDE TO DISSIPATE, PLANTING MAY BEGIN.

IV. SOIL PREPARATION

NO SOIL PREPARATION SHALL BE DONE UNTIL ROUGH GRADING HAS BEEN APPROVED BY THE O.A.R.

GROSS RIP ALL PLANTING AREAS TO DEPTH OF TWELVE (12) INCHES AND UNIFORMLY BLEND THE FOLLOWING AMENDMENTS INTO THE TOP SIX (6) INCHES AS PART OF THE FINISH GRADING WORK:

- PER THOUSAND (1,000) SQUARE FEET:
- TWO HUNDRED (200) POUNDS "GRO-POWER PLUS"
- SIX (6) CUBIC YARDS NITROGEN STABILIZED ORGANIC AMENDMENT
- TWO HUNDRED (200) POUNDS AGRICULTURAL GYPSUM

V. FINISHED GRADING

AFTER ROUGH GRADING, WEED ABATEMENT AND SOIL PREPARATION ALL PLANTING AREAS SHALL BE SMOOTHLY GRADED. THE GRADE SHALL BE UNIFORM AND SMOOTH WITH NO ABRUPT CHANGE OF SURFACE.

GRADING SHALL PROVIDE FOR NATURAL RUNOFF WITHOUT LOW SPOTS. FLOW LINES SHALL BE ACCURATELY SET BY INSTRUMENT AT TWO (2) PERCENT MINIMUM SLOPE. CONTRACTOR SHALL REMOVE FROM PLANTING AREAS ALL DEBRIS, WEEDS AND ROCK LARGER THAN ONE (1) INCH IN DIAMETER FROM THE TOP SIX (6) INCHES OF SOIL AND DISPOSED OF OFF-SITE.

VI. INSTALLATION

THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TREES INSTALLED AND A COVERAGE TEST COMPLETED PRIOR TO ANY CONTAINER OR GROUND COVER MATERIAL INSTALLATION.

EXCAVATION FOR PLANTING SHALL INCLUDE THE STOCKPILING OF TOPSOIL FROM WITHIN AREAS TO BE EXCAVATED FOR TRENCHES, TREE HOLES, PLANT PITS AND BEDS. ALL EXCAVATED PLANTING HOLES SHALL HAVE VERTICAL, SCARIFIED SIDES, TWICE (2X) THE SIZE OF THE DIAMETER AND SIX (6) INCHES MINIMUM DEEPER THAN THE ROOTBALL.

EXCESS SOIL GENERATED FROM THE EXCAVATIONS AND NOT USED AS BACKFILL OR IN ESTABLISHING FINAL GRADES SHALL BE REMOVED FROM THE SITE.

INSPECT ROOTBALL AND GENTLY LOOSEN OR UNTANGLE MATTED ROOTS, DO NOT CRACK ROOTBALL. REPLACE ANY PLANTS WITH ROOTS CIRCLING THE ROOTBALL.

THE CROWN AREA OF TREES AND SHRUBS SHALL BE 2" HIGHER AFTER SETTLING, THAN ADJACENT FINISH GRADE.

THE APPROVED BACKFILL FOR PLANT PITS SHALL CONSIST OF THE FOLLOWING MIX: PLANT PITS SHALL BE FILLED TO THE REQUIRED GRADE AND THOROUGHLY SETTLED BY WATER APPLICATION AND TAMPING.

- PER CUBIC YARD OF MIX, UNIFORMLY BLENDED:
- SIX (6) PARTS BY VOLUME ON-SITE SOIL OR NON SALINE, NON SODIC, LOW BODON CONTENT SANDY TEXTURED TOP SOIL
- FOUR (4) PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT
- TWENTY (20) POUNDS "GRO-POWER PLUS"
- TWENTY (20) POUNDS AGRICULTURAL GYPSUM

BACKFILL PIT HALF-WAY THEN PLACE "GRO-POWER" SEVEN (7) GRAM OR "AGRFORM" TWENTY ONE (21) GRAM SLOW RELEASE PLANTING TABLETS SPREAD EVENLY AROUND ROOTBALL. THE NUMBER OF TABLETS PER PLANT SHALL BE PER THE MANUFACTURER.

PROVIDE A DEPRESSED WATER BASIN AS WIDE AS THE ROOT BALL FOR EACH PLANT. WATER AGAIN THOROUGHLY.

UNTIE VINES AND REMOVE ALL STAKES AND TRELLISES THEN SECURELY FASTEN AND TRAIN AGAINST WHATEVER STRUCTURE NEXT TO WHICH THEY ARE PLANTED. TREES MUST BE STAKED AND/OR GUYED AT THE TIME OF PLANTING.

LAY SOD WITHIN TWO (2) DAYS OF DELIVERY AND DO NOT STORE IN HOT SUN. SET IN A STAGGERED PATTERN ON PRE-IRRIGATED MOIST GROUND AND SET FIRMLY AGAINST OTHER SOD PIECES. WATER THOROUGHLY AFTER PLANTING.

UNLESS NOTED OTHERWISE, CONTRACTOR SHALL PLANT GROUND COVERS IN STRAIGHT ROWS, EVENLY SPACED IN A TRIANGULAR PATTERN AT THE INTERVALS LISTED IN THE DRAWINGS. AFTER ALL PLANTING IS COMPLETED, TOP DRESS ALL LANDSCAPED AREAS, EXCLUDING TURF, WITH A 2" LAYER OF SINGLE GRIND SHREDDED BARK MULCH. THIS LAYER IS IN ADDITION TO SOIL AMENDMENT MATERIALS.

UNLESS DIRECTED OTHERWISE BY THE O.A.R., PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES AND SUCKER GROWTH.

IX. GUARANTEE

CONTRACTOR SHALL PROVIDE A NINETY (90) DAY GUARANTEE FOR ALL PLANTS EXCLUDING TREES WHICH SHALL BE GUARANTEED FOR ONE (1) FULL YEAR. DURING THE GUARANTEE PERIOD THE CONTRACTOR SHALL REPLACE IN A TIMELY MANNER ANY PLANTS THAT ARE UNHEALTHY, MISSING OR DEAD. THIS GUARANTEE SHALL NOT INCLUDE DAMAGE TO GROUND COVER FROM EXCESSIVE RAIN RUN-OFF AND EXTREME WINDS. SUCH "NATURAL" DAMAGE SHALL BE REPAIRED FOR TIME AND MATERIALS.

X. MAINTENANCE

CONTRACTOR SHALL INCLUDE IN THEIR BID FOR A 90 DAY MAINTENANCE PERIOD AFTER FINAL LANDSCAPE ACCEPTANCE BY THE OWNER. THIS MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, KEEPING ALL AREAS WEED FREE, WATERED, PEST AND DISEASE FREE AND ANY OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS PLANT GROWTH AND APPEARANCE.

GENERAL NOTES

- A. THE LANDSCAPE ARCHITECT WILL INTERPRET THE MEANING OF ANY PART OF THE PLANS AND SPECIFICATIONS ABOVE WHICH ANY MISUNDERSTANDING MAY ARISE, AND HIS DECISION WILL BE FINAL.
- B. THE CONTRACTOR SHALL OBTAIN CLARIFICATION TO QUESTIONS RELATIVE TO THE DRAWING BEFORE SUBMITTING A BID.
- C. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.
- D. THE CONTRACTOR SHALL CARRY NECESSARY CALIFORNIA STATE CONTRACTORS LICENSE OR CERTIFICATE FOR TYPE OF WORK LISTED, SUCH AS C-27.
- E. THE CONTRACTOR SHALL CARRY ALL NECESSARY COMPENSATION AND LIABILITY INSURANCE TO COVER HIS WORKMEN AND WORK TO FULLY PROTECT THE OWNER FROM ANY POSSIBLE SUIT OR LITIGATION.
- F. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.
- G. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND LICENSES AND ASSURE THAT ALL WORK TO BE PERFORMED MEETS OR EXCEEDS ALL APPLICABLE CODES AND ORDINANCES OF PRIVATE OR GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- H. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK AT NO EXPENSE TO THE OWNER. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, UNDER ROADWAYS, DRIVES AND PARKING, ETC.
- I. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, OF BRANDS AND TYPES SHOWN AND DESCRIBED IN THESE DRAWINGS.
- J. THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING ALL EQUIPMENT AND MATERIALS. ALL MATERIALS AND EQUIPMENT THAT IS DAMAGED WILL BE DISCARDED, EVEN IF INSTALLED, AND SHALL BE REPAIRED OR REPLACED AT THE DISCRETION OF THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) AT NO EXPENSE TO THE OWNER.
- K. THE CONTRACTOR SHALL PROTECT ALL PLANTING AREAS FROM EXCESSIVE COMPACTION WHEN TRUCKING MATERIALS AND EQUIPMENT TO AND WITHIN THE SITE.
- L. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO MATERIALS ONCE DELIVERED TO JOB SITE.
- M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS: ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
- N. ALL PROGRESS INSPECTIONS SHALL BE COMPLETED BEFORE SUCCEEDING WORK IS STARTED. ANY WORK COVERED UP BEFORE REQUIRED INSPECTIONS ARE COMPLETED WILL BE EXPOSED FOR REVIEW AT THE CONTRACTOR'S EXPENSE.
- O. CLEAN-UP SHALL BE DONE AS EACH PORTION OF THE WORK PROGRESSES. REFUSE AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE. ALL WALKS AND PAVING SHALL BE BROOMED AND ANY DAMAGE OCCURRING TO THE WORK OF OTHERS SHALL BE REPAIRED TO ORIGINAL CONDITION.
- P. REFER TO THE SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.
- Q. THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.
- R. UNLESS NOTED OTHERWISE ALL STRUCTURAL IMPROVEMENTS SHALL BE INSTALLED PRIOR TO IRRIGATION AND PLANTING OPERATIONS.
- S. IN THE CASE WHERE EXTRA WORK OR CHANGES WILL RESULT IN ANY INCREASED COSTS OVER THE CONTRACT FEE, THE CONTRACTOR SHALL FIRST RECEIVE THE OWNER'S EXPRESSED WRITTEN APPROVAL FOR SUCH ADDITIONAL FUNDS PRIOR TO PURCHASING MATERIALS OR DOING THE WORK/CHANGES.

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ZALZALI & ASSOCIATES INC.
2070 BUSINESS CENTER DRIVE
SUITE 200
IRVINE, CA 92612

PROJECT NO:	SD06151A
DRAWN BY:	NC
CHECKED BY:	DW/WZ

REV	DATE	DESCRIPTION
0	3/25/2014	100% 2D'S FOR ZAP
C	10/15/2013	REV. PER PLANNING
B	09/13/2013	100% 2D'S FOR REDLINE
A	06/27/2013	90% 2D'S FOR REDLINE

DMLA
Landscape Architecture
4800 ALVARADO BLVD., SUITE 200, SAN DIEGO, CA 92121
REGISTERED LANDSCAPE ARCHITECT
ERIC M. WERTSCHLAGER
JULY 2005
12-12-11
STATE OF CALIFORNIA

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

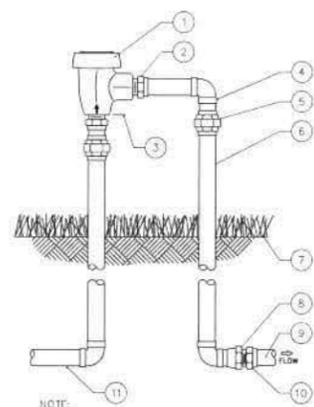
SD06151A
GOLDEN GATE MARKET
3807 NATIONAL AVE
SAN DIEGO, CA 92113

SHEET TITLE
PLANTING DETAILS
AND NOTES

SHEET NUMBER
L-2

CONTINUED

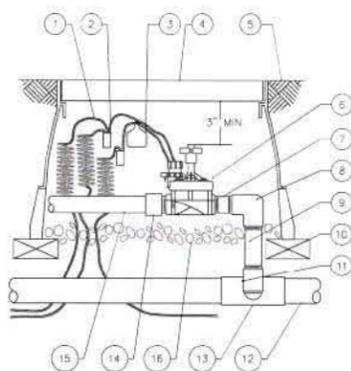
IRRIGATION SPECS.



1. FEED
2. COPPER MALE ADAPTER (1 OF 2)
3. UN. OF 1/2-INCH ABOVE HIGHEST POINT OF DISCHARGE
4. COPPER 90° ELL (1 OF 3)
5. COPPER UNION (1 OF 2)
6. COPPER PIPE (TYPICAL)
7. FINISH GRADE
8. COPPER FEMALE ADAPTER
9. IRRIGATION MAINLINE PIPE
10. PVC MALE ADAPTER
11. PIPE FROM REMOTE CONTROL VALVE

NOTE:
1. INSTALL BACKFLOW PREVENTION AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

C ATMOSPHERIC VACUUM BREAKER



1. 30-INCH LINEAR LENGTH OF WIRE, COILED
2. WATER PROOF CONNECTION (1 OF 2)
3. ID TAG
4. VALVE BOX WITH COVER, 12-INCH SIZE
5. FINISH GRADE/TOP OF MULCH
6. REMOTE CONTROL VALVE
7. PVC SCH 80 NIPPLE (CLOSE)
8. PVC SCH 40 ELL
9. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
10. BRICK (1 OF 4)
11. SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
12. PVC MAINLINE PIPE
13. PVC SCH 40 TEE OR ELL
14. PVC SCH 40 MALE ADAPTER
15. PVC LATERAL PIPE
16. 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

D REMOTE CONTROL VALVE

VIII. SUBMITTALS

UPON COMPLETION THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. THESE AS-BUILTS SHALL SHOW THE LOCATIONS OF ALL POINTS OF CONNECTION, VALVES, CROSSINGS, QUICK COUPLERS AND OTHER MAINLINE COMPONENTS DIMENSIONED ACCURATELY FROM TWO (2) PERMANENT SITE OBJECTS. IN ADDITION THE CONTRACTOR SHALL SUPPLY TWO (2) CONTROLLER CHARTS SHOWING EACH VALVE'S COVERAGE AREA COLOR CODED TO THE CORRESPONDING CONTROLLER STATION.

THE CONTRACTOR MUST ALSO FURNISH TWO (2) SETS EACH OF THE FOLLOWING: ANY SPECIAL VALVE OR SPRINKLER ADJUSTMENT TOOLS, KEYS FOR THE CONTROLLER ENCLOSURES, QUICK COUPLER KEYS AND ANY OPERATION MANUALS FOR THE EQUIPMENT INSTALLED.

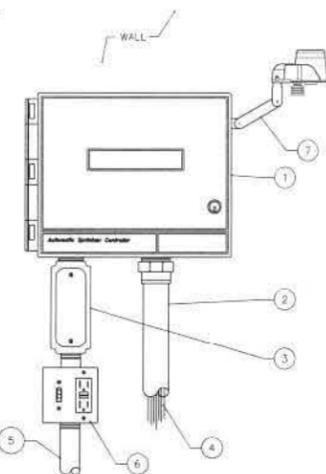
IX. GUARANTEE

THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.

X. MAINTENANCE

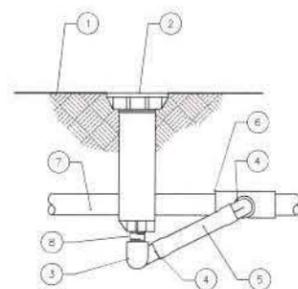
A QUALIFIED SUPERVISOR SHALL BE RESPONSIBLE FOR OPERATING THE IRRIGATIONS SYSTEMS, ADJUSTING THE CONTROLLERS AND OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM. CHART ALL CONTROLLER PROGRAMS, RECORDING DATE, TIME, LENGTH OF WATERING FOR EACH STATION, RESET CONTROLLER AT LEAST MONTHLY TO ACCOUNT FOR SEASONAL VARIATIONS.

INSPECT AND ADJUST THE ENTIRE IRRIGATION SYSTEM WEEKLY DURING APRIL THRU OCTOBER AND BI-WEEKLY FOR THE REST OF THE YEAR. CHECK FOR LEAKS, WET AND DRY SPOTS, USE A MOISTURE SENSING DEVICE TO EVALUATE ACTUAL SOIL MOISTURE. OBSERVE NOZZLES FOR PROPER PATTERN AND PRESSURE.



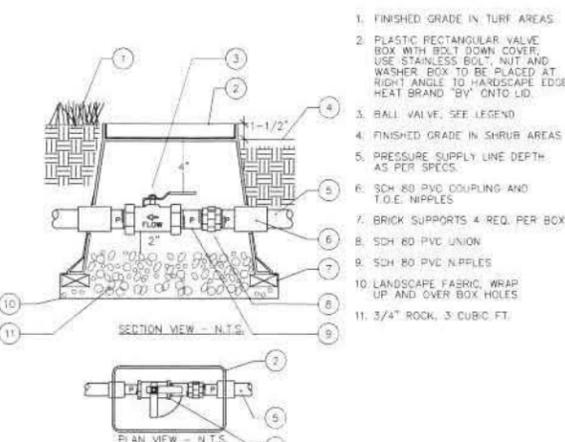
1. CONTROLLER: INDOOR/ OUTDOOR WALL MOUNT IN LOCKING WEATHER-PROOF CABINET
2. 1.5-INCH PVC SCH 40 CONDUIT AND FITTINGS
3. JUNCTION BOX
4. WIRE TO REMOTE CONTROL VALVES
5. 1-INCH PVC SCH 40 CONDUIT TO POWER SUPPLY
6. POWER SUPPLY AND RECEPTACLE
7. RAIN SENSOR, MOUNT TO CABINET, MAY BE MOUNTED REMOTELY, REFER TO MFG. SPECS.

A WALL MOUNT CONTROLLER



1. FINISH GRADE/TOP OF MULCH
2. POP-UP SPRAY SPRINKLER
3. PVC SCH 40 ELL
4. MARLEX STREET ELL
5. PRE-ASSEMBLED SWING JOINT WITH TWO POLY ELLS (THREAD X INSERT) AND 6" OF POLY TUBING SIZE PER SPRINKLER INLET
6. PVC SCH 40 TEE OR ELL
7. PVC LATERAL PIPE
8. SCH 80 RISER, LENGTH AS REQ. FOR SWING ASSEMBLY TO REMAIN NEAR HORIZONTAL SIZE PER SPRINKLER INLET

E POP-UP WITH SPRAY OR BUBBLER



1. FINISHED GRADE IN TURF AREAS
2. PLASTIC RECTANGULAR VALVE BOX WITH BOX DOWN COVER, USE STAINLESS BOLT, NUT AND WASHER. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE. HEAT BRAND "BY" ONTO LID.
3. BALL VALVE, SEE LEGEND
4. FINISHED GRADE IN SHRUB AREAS
5. PRESSURE SUPPLY LINE DEPTH, AS PER SPECS.
6. SCH 80 PVC COUPLING AND T.O.E. NIPPLES
7. BRICK SUPPORTS 4 REQ. PER BOX
8. SCH 80 PVC UNION
9. SCH 80 PVC NIPPLES
10. LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES
11. 3/4" ROCK, 3 CUBIC FT.

NOTE:
BOX TO BE INSTALLED AS TO ALLOW FOR PROPER OPERATION OF BALL VALVE. INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE, INSTALL VALVE OFF-CENTER IN BOX. INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAIN LINE DEPTH.

B ISOLATION VALVE

I. GENERAL CONDITIONS

THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING WATER PRESSURE (P.S.I.) AND AVAILABLE FLOW (G.P.M.) PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL PRESSURE AND FLOW AVAILABLE WITH THOSE SHOWN IN THESE DRAWINGS.

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE.

DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREAS SIZE AND LAYOUT THAT WERE NOT CONSIDERED IN THE ORIGINAL DESIGN. NOTIFY THE O.A.R. OF SUCH OBSTRUCTIONS AND DIFFERENCES IMMEDIATELY.

IN THE EVENT THAT THE NOTIFICATIONS REQUIRED BY THESE NOTES ARE NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REVISION NECESSARY.

II. QUALITY ASSURANCE AND REQUIREMENTS

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.

ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

III. MATERIALS/ INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORSEEN OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING.

THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

FINAL LOCATION OF THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE APPROVED BY THE O.A.R. PRIOR TO INSTALLATION.

THE 120 VOLT ELECTRICAL CONNECTION FOR THE CONTROLLER SHALL BE FURNISHED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE ROUTE OF THE ELECTRICAL SERVICE TO THE APPROVED CONTROLLER LOCATION WITH THE GENERAL CONTRACTOR. THE SERVICE TO THE CONTROLLER JUNCTION BOX SHALL BE INSTALLED BY A LICENSED ELECTRICIAN. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS TO THE AUTOMATIC CONTROLLERS FROM THE PROVIDED JUNCTION BOX.

ALL WIRES FROM THE CONTROLLER TO THE AUTOMATIC VALVES SHALL BE COPPER, DIRECT BURIAL, MINIMUM #14 GAUGE. INSTALL IN THE SAME TRENCH AS THE MAINLINE WHERE POSSIBLE. COMMON WIRE TO BE WHITE IN COLOR. CONTROL WIRES TO BE A DIFFERENT COLOR FOR EACH CONTROLLER USED. BUNDLE AND TAPE WIRES A MINIMUM OF TEN (10) FEET ON CENTER.

THE CONTRACTOR SHALL RUN THREE (3) SPARE WIRES AND ONE (1) COMMON WIRE FROM THE CONTROLLER TO EACH END OF THE MAIN LINE FOR FUTURE USE. EXTEND THE WIRES AN EXTRA TEN (10) FEET, MAKE A COIL AND PLACE IN A RECTANGULAR PULL BOX. LABEL THE LID "SW". ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. SIZE WIRE SLEEVES SO THAT WIRES ARE NOT BOUND IN PIPE. MINIMUM COVERAGE FOR SLEEVES SHALL BE TWENTY FOUR (24) INCHES FOR SLEEVED LATERAL LINES, THIRTY (30) INCHES FOR 120 VOLT WIRING IN CONDUIT AND THIRTY SIX (36) INCHES FOR SLEEVED MAINLINE AND/OR CONTROL WIRING.

ALL LATERAL LINE PIPING UNDER PAVEMENT NOT SLEEVED, SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO PAVING.

DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM. TRENCH MUST BE FREE OF ROCKS, DEBRIS OR ANY SHARP OBJECTS. SNAKE PLASTIC PIPE IN TRENCH. MINIMUM COVERAGE FOR MAINLINE SIZES 1-1/2" AND SMALLER IS EIGHTEEN (18) INCHES, FOR SIZES 2" AND LARGER COVERAGE IS TWENTY FOUR (24) INCHES, FOR LATERAL LINES TWELVE (12) INCHES. 120 VOLT WIRING IN CONDUIT THIRTY (30) INCHES AND LOW VOLTAGE CONTROL WIRE TWELVE (12) INCHES. MINIMUM ON THE SAME DEPTH AS THE MAINLINE. DO NOT INSTALL ANY PIPE OR WIRING DIRECTLY OVER ANOTHER.

BALL VALVES, GATE VALVES, REMOTE CONTROL VALVES (EXCEPT FOR ANTI-SIPHON TYPE) AND QUICK COUPLERS SHALL BE INSTALLED IN BELOW GRADE LOCKABLE "BOXES" MANUFACTURED BY AMETEK OR CARSON. USE ROUND BOXES FOR GATE VALVE, BALL VALVES AND QUICK COUPLERS AND RECTANGULAR BOXES FOR REMOTE CONTROL VALVES. VALVE BOX LIDS SHALL BE GREEN COLOR, LABELED "BY", "GV", "QV" OR "REV" WITH CONTROLLER STATION NUMBER.

SET VALVE BOXES ONE (1) INCH ABOVE FINISH GRADE. SET VALVES AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND THE VALVE. INSTALL IRRIGATION EQUIPMENT SO THE VALVE BOXES FIT WITHOUT CUTTING THE WALLS OF THE VALVE BOXES. CUT VALVE BOXES SHALL BE REPLACED AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS, UNLESS DIRECTED OTHERWISE BY THE O.A.R.

ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE.

INSTALL ALL SPRINKLERS ON RISERS TWELVE (12) INCHES AWAY FROM WALLS AND STRUCTURES.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE (1) INCH ABOVE FINISH GRADE.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH ADJACENT PAVING.

AFTER RECEIVING NOTIFICATION BY THE O.A.R., THE CONTRACTOR, WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE QUARTER (1/4) INCH ABOVE FINISH GRADE.

INSTALL ANTI DRAIN VALVES TO ELIMINATE LOW HEAD DRAINAGE. ANTI DRAIN VALVE (ADV) UNITS MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION, CONTRACTOR SHALL VERIFY WITH ON SITE GRADES IF THERE IS AN ELEVATION DIFFERENCE OF TWO (2) FEET OR MORE BETWEEN THE HIGHEST AND LOWEST SPRINKLER HEAD ON A SYSTEM. INSTALL THE ADV WHERE NECESSARY.

ALL SOLVENT WELD PVC PRESSURE LINES AND FITTINGS MUST RECEIVE PRIMER BEFORE SOLVENT WELDING.

V. ADJUSTING AND TESTING THE SYSTEM

AFTER PIPELINE ASSEMBLY THE CONTRACTOR SHALL THOROUGHLY FLUSH THE SYSTEM WITH OPEN ENDS ALL CAPPED PRESSURE TEST FOR FOUR (4) HOURS AT 150 P.S.I.

AFTER COVERAGE AND PRESSURE TESTING THE CONTRACTOR SHALL INSTALL ALL TERMINAL FIXTURES AND PERFORM A COVERAGE TEST.

THE CONTRACTOR SHALL ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVERSPRAY. THIS SHALL INCLUDE THE USE OF VARIABLE ARC NOZZLES (VAN) AND PRESSURE COMPENSATING SOLENOIDS (PCS). THE SELECTION OF THE BEST DEGREE OF ARC TO FIT THE SITE AND THROTTLING OF THE FLOW CONTROL AT EACH VALVE TO FIND THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

THE ENTIRE SYSTEM SHALL BE IN FULL AUTOMATIC OPERATION FOR ONE SEVEN (7) DAYS PRIOR TO ANY PLANTING.



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PROJECT NO: SD06151A

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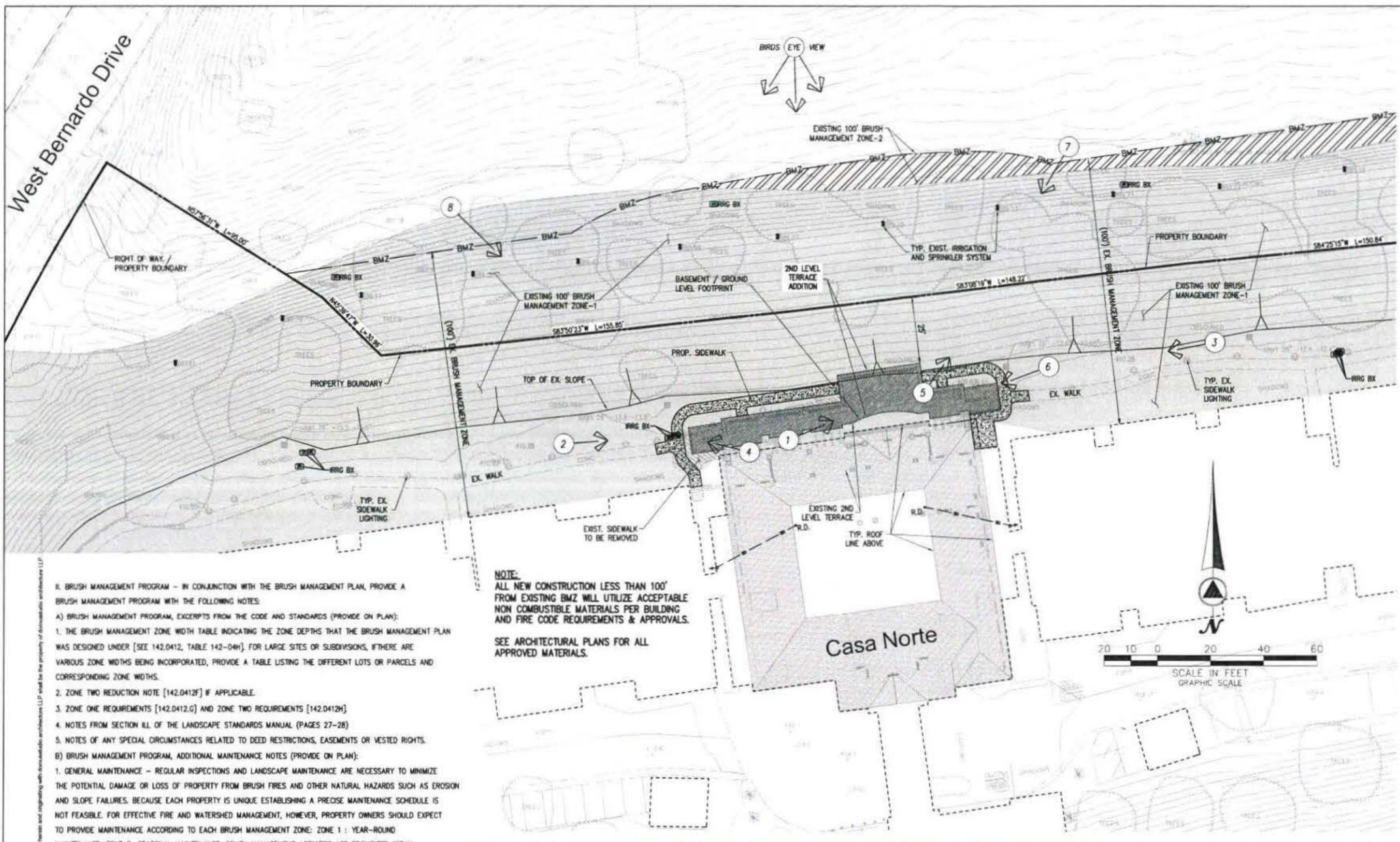
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SAN DIEGO, CA 92113

SHEET TITLE
IRRIGATION DETAILS
AND NOTES

SHEET NUMBER

L-3



NOTE:
ALL NEW CONSTRUCTION LESS THAN 100'
FROM EXISTING BMZ WILL UTILIZE ACCEPTABLE
NON COMBUSTIBLE MATERIALS PER BUILDING
AND FIRE CODE REQUIREMENTS & APPROVALS.
SEE ARCHITECTURAL PLANS FOR ALL
APPROVED MATERIALS.

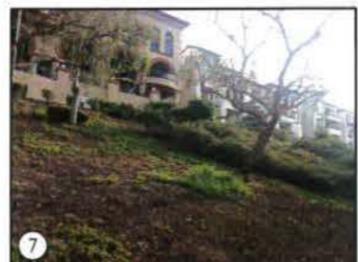
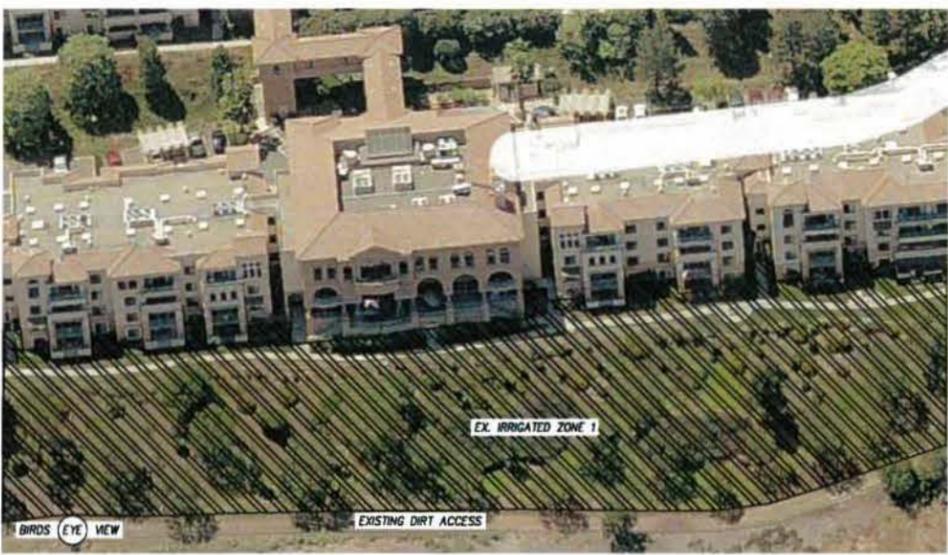
II. BRUSH MANAGEMENT PROGRAM - IN CONJUNCTION WITH THE BRUSH MANAGEMENT PLAN, PROVIDE A BRUSH MANAGEMENT PROGRAM WITH THE FOLLOWING NOTES:

A) BRUSH MANAGEMENT PROGRAM, EXCERPTS FROM THE CODE AND STANDARDS (PROVIDE ON PLAN):

1. THE BRUSH MANAGEMENT ZONE WIDTH TABLE INDICATING THE ZONE DEPTHS THAT THE BRUSH MANAGEMENT PLAN WAS DESIGNED UNDER [SEE 142.0412, TABLE 142-04H] FOR LARGE SITES OR SUBDIVISIONS, IF THERE ARE VARIOUS ZONE WIDTHS BEING INCORPORATED, PROVIDE A TABLE LISTING THE DIFFERENT LOTS OR PARCELS AND CORRESPONDING ZONE WIDTHS.
2. ZONE TWO REDUCTION NOTE [142.0412F] IF APPLICABLE.
3. ZONE ONE REQUIREMENTS [142.0412G] AND ZONE TWO REQUIREMENTS [142.0412H]
4. NOTES FROM SECTION III. OF THE LANDSCAPE STANDARDS MANUAL (PAGES 27-28)
5. NOTES OF ANY SPECIAL CIRCUMSTANCES RELATED TO DEED RESTRICTIONS, EASEMENTS OR VESTED RIGHTS.

B) BRUSH MANAGEMENT PROGRAM, ADDITIONAL MAINTENANCE NOTES (PROVIDE ON PLAN):

1. GENERAL MAINTENANCE - REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE ARE NECESSARY TO MINIMIZE THE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES AND OTHER NATURAL HAZARDS SUCH AS EROSION AND SLOPE FAILURES. BECAUSE EACH PROPERTY IS UNIQUE ESTABLISHING A PRECISE MAINTENANCE SCHEDULE IS NOT FEASIBLE. FOR EFFECTIVE FIRE AND WATERSHED MANAGEMENT, HOWEVER, PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE: ZONE 1 : YEAR-ROUND MAINTENANCE, ZONE 2: SEASONAL MAINTENANCE. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY MANAGER THAT THE THINNING WOULD BE CONSISTENT WITH CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.
2. BRUSH MANAGEMENT ZONE 1 - THIS IS THE MOST CRITICAL AREA FOR FIRE AND WATERSHED SAFETY. ALL ORNAMENTAL PLANTINGS SHOULD BE KEPT WELL WATERED AND ANY IRRIGATION RUN-OFF SHOULD DRAIN TOWARD THE STREET. RAIN GUTTERS AND DRAINAGE PIPES SHOULD BE CLEANED REGULARLY AND ALL LEAVES REMOVED FROM THE ROOF BEFORE THE FIRE SEASON BEGINS. ALL PLANTING, PARTICULARLY NON-IRRIGATED NATIVES AND LARGE TREES SHOULD BE REGULARLY PRUNED TO ELIMINATE DEAD FUEL, TO REDUCE EXCESSIVE FUEL AND TO PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.
3. BRUSH MANAGEMENT ZONE 2 - SEASONAL MAINTENANCE IN THIS ZONE SHOULD INCLUDE REMOVAL OF DEAD WOODY PLANTS, ERADICATION OF WEEDY SPECIES AND PERIODIC PRUNING AND THINNING OF TREES AND SHRUBS. REMOVAL OF WEEDS SHOULD NOT BE DONE WITH HAND TOOLS SUCH AS HOES, AS THIS DISTURBS VALUABLE SOIL. THE USE OF WEED TRIMMERS OR OTHER TOOLS WHICH RETAIN SHORT STUBBLE THAT PROTECTS THE SOIL IS RECOMMENDED. NATIVE SHRUBS SHOULD BE PRUNED IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS SHOULD TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE LIVE AND DEAD FUEL. ON SLOPES ALL DRAINAGE DEVICES MUST BE KEPT CLEAR. RE-INSPECT AFTER EACH MAJOR STORM SINCE MINOR SOIL SLIPS CAN BLOCK DRAINS. VARIOUS GROUNDCOVERS SHOULD BE PERIODICALLY SHEARED AND THATCH REMOVED. DISEASED AND DEAD WOOD SHOULD BE PRUNED FROM TREES. FERTILIZING TREES AND SHRUBS IS NOT TYPICALLY RECOMMENDED AS THIS MAY STIMULATE EXCESSIVE GROWTH.
4. LONG-TERM MAINTENANCE RESPONSIBILITY - ALL LANDSCAPING / BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONE(S) AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF [PLEASE SPECIFY, E.G. OWNER, H.O.A.]. THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.



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CDLC Norte Dining Room & Terrace
BRUSH MANAGEMENT PLAN
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