



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: September 17, 2014 REPORT NO. HO-14-055

ATTENTION: Hearing Officer

SUBJECT: **RAGEN RESIDENCE**
PTS PROJECT NUMBER - 357715.
PROCESS 3.

LOCATION: 7956 Paseo del Ocaso

APPLICANT: Mr. and Mrs. Michael and Anna Ragen, Owner (ATTACHMENT 11) /
Lindsay King, Architect

SUMMARY

Requested Action - Should the Hearing Officer approve the demolition of an existing residence and construction of a new, two-story, single family residence within the La Jolla Community Plan area?

Staff Recommendation –

1. CERTIFY Mitigated Negative Declaration, Project No. 357715, and Adopt the Mitigation Monitoring and Reporting Program (MMRP); and
2. APPROVE Coastal Development Permit No. 1265971 and Site Development Permit No. 1265972.

Community Planning Group Recommendation – The La Jolla Community Planning Association voted 16-0-1 to recommend approval of the project at their meeting of June 5, 2014, with no conditions (ATTACHMENT 10).

Other Recommendations – The La Jolla Shores Advisory Board voted 4-0-1 to recommend approval of the project at their meeting of May 20, 2014.

Environmental Review – A Mitigated Negative Declaration (Project No. 357715) has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines and a Mitigation, Monitoring and Reporting Program (MMRP) would be implemented to reduce the potential impacts to Cultural Resources (Archaeology) to a level below significance.

BACKGROUND

The project site is currently developed with an existing single family residence and is located within a well established La Jolla Shores residential neighborhood. The project site is located at 7956 Paseo del Ocaso (ATTACHMENTS 1 -3), within the SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone and within the La Jolla Community Planning Area. The existing home was built in 1987 and is less than 45 years old, and is not considered to be a historical resource according to City of San Diego Historical Resource Guidelines. The proposed demolition, construction and grading constitutes, by definition, Coastal Development, which pursuant to the Land Development Code (Section 126.0702) requires a Coastal Development Permit. A Site Development Permit is required, by the Land Development Code (Section 1510.0201), for the proposed development within the La Jolla Shores Planned District.

DISCUSSION

The project proposes to demolish the existing residence and construct a new, two-story, 3,268 square-feet, single family residence with an attached two car garage located on a 5,415 square-foot property. The proposed new residence will be placed generally in the same location as the existing home. The project site has been fully disturbed and is on a fairly flat lot overall. The project site located along Paseo del Ocaso (a public street) is not located on or adjacent to an identified public views, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan – Figure 9 (Identified Public Vantage Points) and Appendix G (Coastal Access Subarea Maps). The project does not propose any deviations or variances to the development regulations. The applicant submitted a neighborhood survey which demonstrated that this proposed project was in general conformity with the building setbacks and building massing with existing development within the vicinity. This overall design was found to be in conformance with the La Jolla Shores Planned District Ordinance, La Jolla Community Plan and Local Coastal Land Use Plan.

The proposed building elevations indicate the use of white fiber cement board siding with reclaimed brick chimney for the exterior walls, with white wood framed windows, white wood fascia with natural slate roof tiles. The proposed re-grading of the site would consist of 178 cubic yards of fill to raise the building pad approximately 2 feet with minor excavation for the footings. The project is designed to comply with the 30 foot height limit with the height of the new structure being at 29 feet 11 inches high.

The proposed structure meets the development setbacks and height limit required by the underlying zone. Vehicular access to the property will be provided from an existing public street

at the front of the property from Paseo del Ocaso. The proposed project design includes an attached garage with a minimum of two off street parking spaces with a maximum 12 foot wide driveway curb cut to meet the requirements of the Parking Impact Overlay Zone. The existing character and pedestrian design of the streetscape adjacent to the project will remain residential.

CONCLUSION

Staff has reviewed the request for the Coastal Development Permit and Site Development Permit for the proposed demolition of the existing residence, construction of a single family residence and found the project to be in conformance with all the applicable sections of the San Diego Municipal Code regulating coastal development in this area, the La Jolla Community Plan and Local Coastal Land Use Plan and the La Jolla Shores Planned District Ordinance. Staff believes the required findings can be supported and recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Certify Mitigated Negative Declaration, Project No. 357715, Adopt the Mitigation Monitoring and Reporting Program (MMRP), and Approve Coastal Development Permit No. 1265971 and Site Development Permit No. 1265972, with modifications.
2. Deny Coastal Development Permit No. 1265971 and Site Development Permit No. 1265972, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,


Glenn Gargas,
Development Project Manager

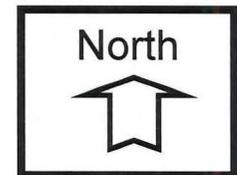
Attachments:

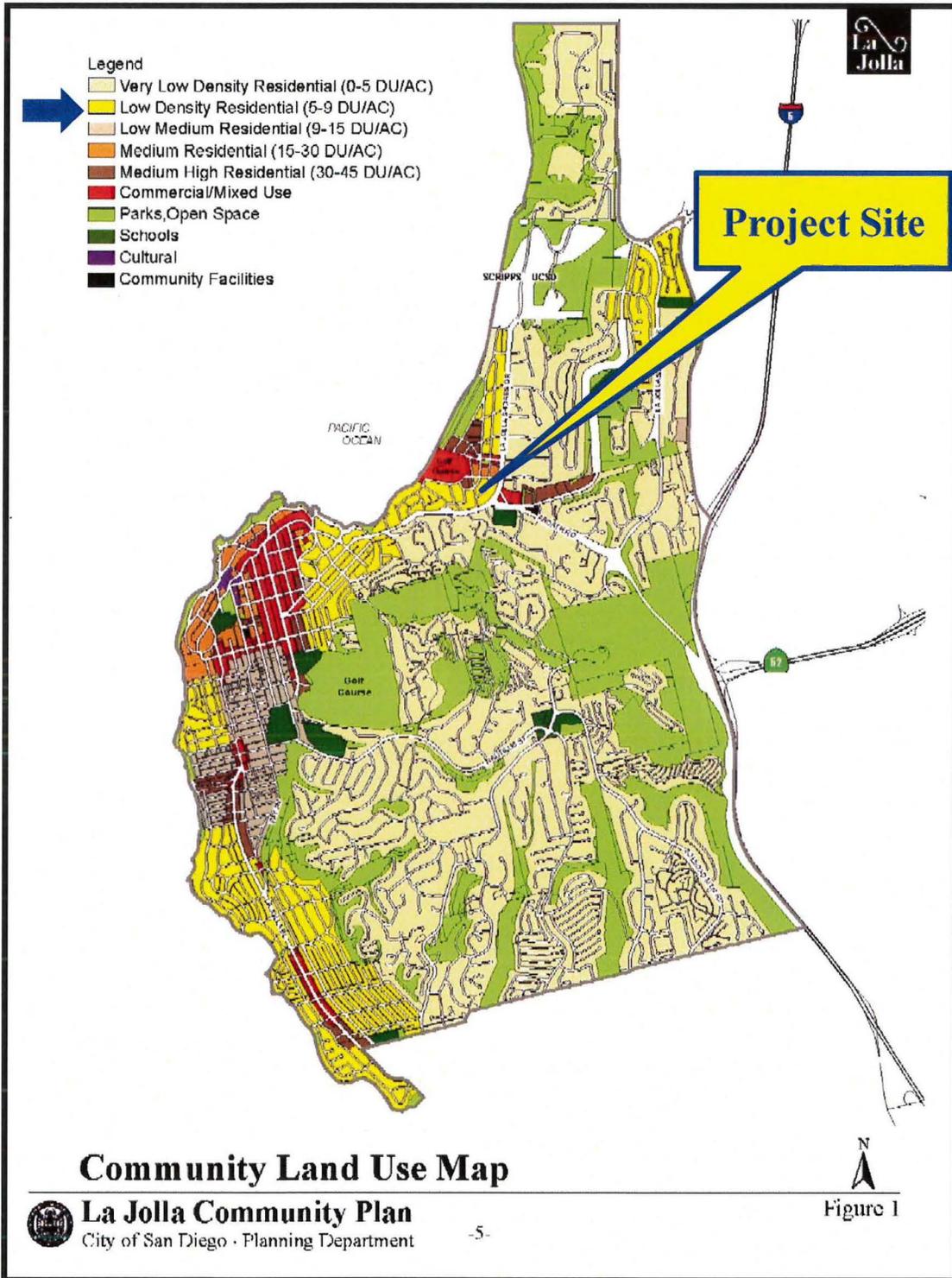
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft CDP&SDP Resolution with Findings
6. Draft CDP&SDP with Conditions
7. Draft Environmental Resolution with MMRP
8. Project Site Plan
9. Project Plans
10. Copy of Community Group Recommendation
11. Ownership Disclosure Statement
12. Copy of the Public Notice



Aerial Photo

RAGEN RESIDENCE 7956 PASEO DEL OCASO
PROJECT NO. 357715





Land Use Map

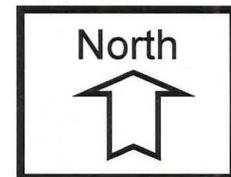
RAGEN RESIDENCE – 7956 PASEO DEL OCASO
PROJECT NO. 357715 La Jolla





Project Location Map

RAGEN RESIDENCE – 7956 PASEO DEL OCASO
PROJECT NO. 357715



PROJECT DATA SHEET

PROJECT NAME:	Ragen Residence – Project No. 357715	
PROJECT DESCRIPTION:	Coastal Development Permit and Site Development Permit to demo an existing residence and construct an approximate 3,268 square foot single family residence on a 5,415 square foot property.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit & Site Development Permit.	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Density Residential (5-9 DUs per acre)	
<u>ZONING INFORMATION:</u> ZONE: SF Zone of the La Jolla Shores Planned District HEIGHT LIMIT: 30-Foot maximum height limit. LOT SIZE: Approx. 6,000 square-foot minimum lot size – existing lot 5,415 sq. ft. FLOOR AREA RATIO: NA (PDO – none) (0.60 as reference only) FRONT SETBACK: 15 feet SIDE SETBACK: 4 feet STREETSIDE SETBACK: NA. REAR SETBACK: 15 feet PARKING: 2 parking spaces required.		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Density Residential; SF Zone of La Jolla PDO.	Single Family Residence
SOUTH:	Low Density Residential; SF Zone of La Jolla PDO.	Single Family Residence
EAST:	Low Density Residential; SF Zone of La Jolla PDO.	Single Family Residence

ATTACHMENT 4

WEST:	Low Density Residential; SF Zone of La Jolla PDO.	Single Family Residence
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On June 5, 2014, the La Jolla Community Planning Association voted (16-0-1) to recommend approval of this project. The recommendation did not include any conditions.	

HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 1265971 AND
SITE DEVELOPMENT PERMIT NO. 1265972
RAGEN RESIDENCE - PROJECT NO. 357715 (MMRP)

WHEREAS, Michael T. Ragen and Anna N. Ragen, Trustees of The Ragen Family Trust, dated March 26, 1942 and amended and restated on December 26, 1994, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a residence and construct a two-story, single family residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1265971 and 1265972), on portions of a 0.12-acre property;

WHEREAS, the project site is located at 7956 Paseo Del Ocaso, in the SF Zone of the La Jolla Shores Planned District, Coastal (non-appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone and within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 13, Block 5, La Jolla Shores Unit No. 1, Map No. 1913;

WHEREAS, on September 17, 2014, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1265971 and Site Development Permit No. 1265972 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 17, 2014.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 5,415 square foot project site is currently developed with an existing single family residence. The development proposes to demolish the existing residence and construct a two-story single family residence in approximately the same location on the lot as the existing residence. The project site is located approximately one half mile from the coastline. The proposed development is for a two-story, approximate 3,268 square-foot, single family residence and is contained within the existing legal lot area, which will not encroach upon any existing or proposed physical access to the coast. The project site located along Paseo del Ocaso (a public street) is not located on or adjacent to an identified public views, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan – Figure 9 (Identified Public Vantage Points) and Appendix G (Coastal Access Subarea Maps). The project site is situated along Paseo Del Ocaso, within a developed single family residential neighborhood. The proposed new single family residence meets the development setbacks and height limit required by the underlying zone and the

proposed development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the La Jolla Community Plan and Local Coastal Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The 5,415 square foot project sites is currently developed with a single family residence, is previously graded and a fully developed property. The surrounding properties are also fully developed properties. Due to the previous disturbance of this site and surrounding properties, no visible or mapped sign of any form of environmentally sensitive resource, this proposed project was determined not to be subject to the Environmentally Sensitive Lands Regulations. The environmental review determined that this project may have a significant environmental effect on Cultural Resources (Archeology). A Mitigated Negative Declaration No. 357715 was prepared in accordance with the California Environmental Quality Act (CEQA). The project includes mitigation measures for potential impacts to Paleontological Resources, to reduce the potential impacts to below a level of significance. Thus, with the implementation of the Mitigation Monitoring and Reporting Program the proposed project would not adversely affect environmentally sensitive lands. The project proposes re-grading to approximately 61 percent of the site, consisting of 178 cubic yards of fill to raise the building pad approximately two feet, with the home placement primarily within the area of the existing residence and will not result or propose any adverse affect to Environmentally Sensitive Lands. Therefore, this project site is not subject to the Environmentally Sensitive Lands Regulations. Thus the proposed project will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed development to demolish an existing single family residence and construction of a new single family residence is located on a site which has a Low Density Single Family Residential land use designation. The environmental review determined that this project may have a significant environmental effect on Paleontological Resources. A Mitigated Negative Declaration No. 357715 was prepared in accordance with the California Environmental Quality Act (CEQA). The project includes mitigation measures for potential impacts to Cultural Resources (Archeology), to reduce the potential impacts to below a level of significance. The project design was also determined to be in compliance with all of the applicable development regulations, primarily those of the SF Zone of the La Jolla Shores Planned District and Coastal Overlay Zone. The project site is not located adjacent to any identified public view as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. The applicant submitted a neighborhood survey which demonstrated that this proposed project was in general conformity with the building setbacks and building massing with existing development within the vicinity. This overall project design was found to be in conformance with the La Jolla Shores Planned District Ordinance, La Jolla Community Plan and Local Coastal Land Use Plan. Due to these factors the proposed single family residence was found to be in compliance with the City of San Diego's adopted La Jolla Community Plan and the certified Local Coastal Program Land Use Plan.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 5,415 square foot site, currently developed with an existing residence, is located within a well developed residential neighborhood approximately one half mile from the coastline. The project site is not located between the first public road and the sea or coastline. The project site is designated for Low Density Residential Development by the La Jolla Community Plan and Local Coastal Land Use Plan. Development of the project will be fully within the legal lot/private property. There is no identified public access and public recreation area on or adjacent to the project site and these stated resources will not be impaired by the re-development of this site. The proposed single family residential project is designed to take access off the existing public street, with adequate off street parking and a maximum width driveway curb cut of 12 feet to preserve available on-street parking spaces. The existing character and pedestrian design of the streets and public walkways will be improved or remain unaltered.

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan;

The proposed demolition of a single family residence and construction of a two-story, single family residence with an attached garage to total approximately 3,268 square-feet of gross floor area will not adversely affect the La Jolla Community Plan, because the proposed development has been found consistent with the plan's Low Density Residential land use designation, the development regulations of the SF Zone of the La Jolla Shores Planned District Ordinance, allowed density, and design recommendations. The project site is not located adjacent to any public view as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. This overall design was found to bring the project into compliance with the La Jolla Community Plan and Local Coastal Land Use Plan. Due to these factors the proposed single family residential re-development of the site was determined that it will not adversely affect the City of San Diego adopted La Jolla Community Plan and the certified Local Coastal Program Land Use Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The proposed demolition of a single family residences and construction of a two-story, single family residence with an attached garage for a total of approximately 3,268 square-feet of gross floor area on an 5,415 square-foot property has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District Ordinance. The environmental review determined that this project may have a significant environmental effect on Cultural Resources (Archeology). A Mitigated Negative Declaration No. 357715 was prepared in accordance with the California Environmental Quality Act (CEQA). The project includes mitigation measures for potential impacts to Cultural Resources (Archeology), to reduce the potential impacts to below a level of significance. The Mitigated Negative Declaration included an analysis of the project's potential impact on public health and safety, and no significant issues relating to that were found. The construction of a new single family residence with an attached garage would therefore not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed demolition of a single family residence and construction of a two-story, single family residence with an attached garage, to total approximately 3,268 square-feet of gross floor area, will comply with the development regulations of the SF Zone of the La Jolla Shores Planned District Ordinance and the Local Coastal Program for the La Jolla Community Plan area. The project does not propose any deviations to any of the applicable development regulations. The proposed development does not negatively impact any public views as identified by the La Jolla Community Plan and Local Coastal Land Use Plan. Due to these factors the proposed single family residential re-development of the site was found to be in compliance with all of applicable development regulations, specifically those of the SF Zone of the La Jolla Shores Planned District Ordinance and the Coastal Overlay Zone.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer Coastal Development Permit No. 1265971 and Site Development Permit No. 1265972 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1265971 and 1265972 a copy of which is attached hereto and made a part hereof.

Glenn R. Gargas, AICP
Development Project Manager
Development Services

Adopted on: September 17, 2014

Job Order No. 24004410

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004410

COASTAL DEVELOPMENT PERMIT NO. 1265971 AND
SITE DEVELOPMENT PERMIT NO. 1265972
RAGEN RESIDENCE - PROJECT NO. 357715 (MMRP)
HEARING OFFICER

This Coastal Development Permit No. 1265971 and Site Development Permit No. 1265972 is granted by the Hearing Officer of the City of San Diego to Michael T. Ragen and Anna N. Ragen, Trustees of Ragen Family Trust dated March 26, 1942 and amended and restated on December 26, 1994, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0707. The 5,415 square foot site is located at 7956 Paseo Del Ocaso, in the SF Zone of the La Jolla Shores Planned District, Coastal (non-appealable), Coastal Height Limitation, Coastal and Beach Parking Impact, Residential Tandem Parking, and Transit Area Overlay Zones and within the La Jolla Community Plan area. The project site is legally described as: Lot 13, Block 5, La Jolla Shores Unit No. 1, Map No. 1913.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing, one story, residence and construct a new, two-story, single family residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 17, 2014, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing one story single family residence and construction of a 3,268 square foot, two-story single family residence with an attached two car garage on a 5,415 square foot. property;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Wall, fences and retaining walls; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 1, 2017.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No.357715, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, No.357715, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: **Cultural Resources (Archaeology)**

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for the brick pavers and pressurized sidewalk underdrain located within Paseo Del Ocaso right-of-way, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporated any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into construction plans or specifications.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

18. Prior to the issuance of any foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

20. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards

to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. The planting plan shall show the required landscaped area of no less than 30% per the La Jolla Shores PDO, LDC 1510.0304(h).

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

23. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 17, 2014, by Resolution No. _____.

RESOLUTION NUMBER R- _____

ADOPTED ON SEPTEMBER 17, 2014
RAGEN RESIDENCE – PROJECT NO. 357715

WHEREAS, on March 6, 2014, Michael and Ann Ragen submitted an application to the Development Services Department for a Coastal Development Permit and Site Development Permit to demolish an existing single family residence located at 7956 Paseo Del Ocaso, and construct a new 3,268 square-foot, two-story single family residence with attached 2-car garage, new landscaping, hardscape, and site walls and fences. The site is not included on any Government Code listing of hazardous waste sites. (the Ragen Residence project); and

WHEREAS, the matter was set for public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on September 17, 2014; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigation Negative Declaration No. 357715 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Glenn Gargas, Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

COASTAL DEVELOPMENT PERMIT NO.1265971 AND
SITE DEVELOPMENT PERMIT NO. 1265972
RAGEN RESIDENCE - PROJECT NO. 357715

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 357715 shall be made conditions of Coastal Development Permit No. 1265971 and Site Development Permit No.1265972 as may be further described below.

MITIGATION, MONITORING AND REPORTING PROGRAM: To ensure that site development would avoid significant environmental impacts, a Mitigation, Monitoring, and Reporting Program (MMRP) is required. Compliance with the mitigation measures shall be the responsibility of the applicant. The mitigation measures are described below.

A. GENERAL REQUIREMENTS – PART I**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:
<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required

mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

- 1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

Qualified Archaeologist

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
 - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**
- 2. MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) 282667, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc)

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

- 3. OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall

include copies of permits, letters of resolution or other documentation issued by the responsible agency.

Not Applicable

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist

<i>Issue Area</i>	<i>Document submittal</i>	<i>Assoc Inspection/Approvals/ Notes</i>
General	Consultant Qualification Letters	Prior to Pre-construction Meeting
General Meeting	Consultant Const. Monitoring Exhibits	Prior to or at the Pre-Construction Meeting
Archaeology	Archaeology Reports	Archaeology/Historic site observation
Bond Release	Request for Bond Release letter	Final MMRP Inspections prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

CULTURAL RESOURCES (ARCHAEOLOGY)

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and

Native American monitoring have been noted on the applicable construction documents through the plan check process.

- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
 - 3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 - 3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.
- B. PI Shall Attend Precon Meetings
 - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 - 2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

- b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.

3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.

2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains **ARE** determined to be Native American
1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for

internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVr and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.

- b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
- 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 - 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 - 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
- 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 - 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
- 1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

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RAGEN
RESIDENCE

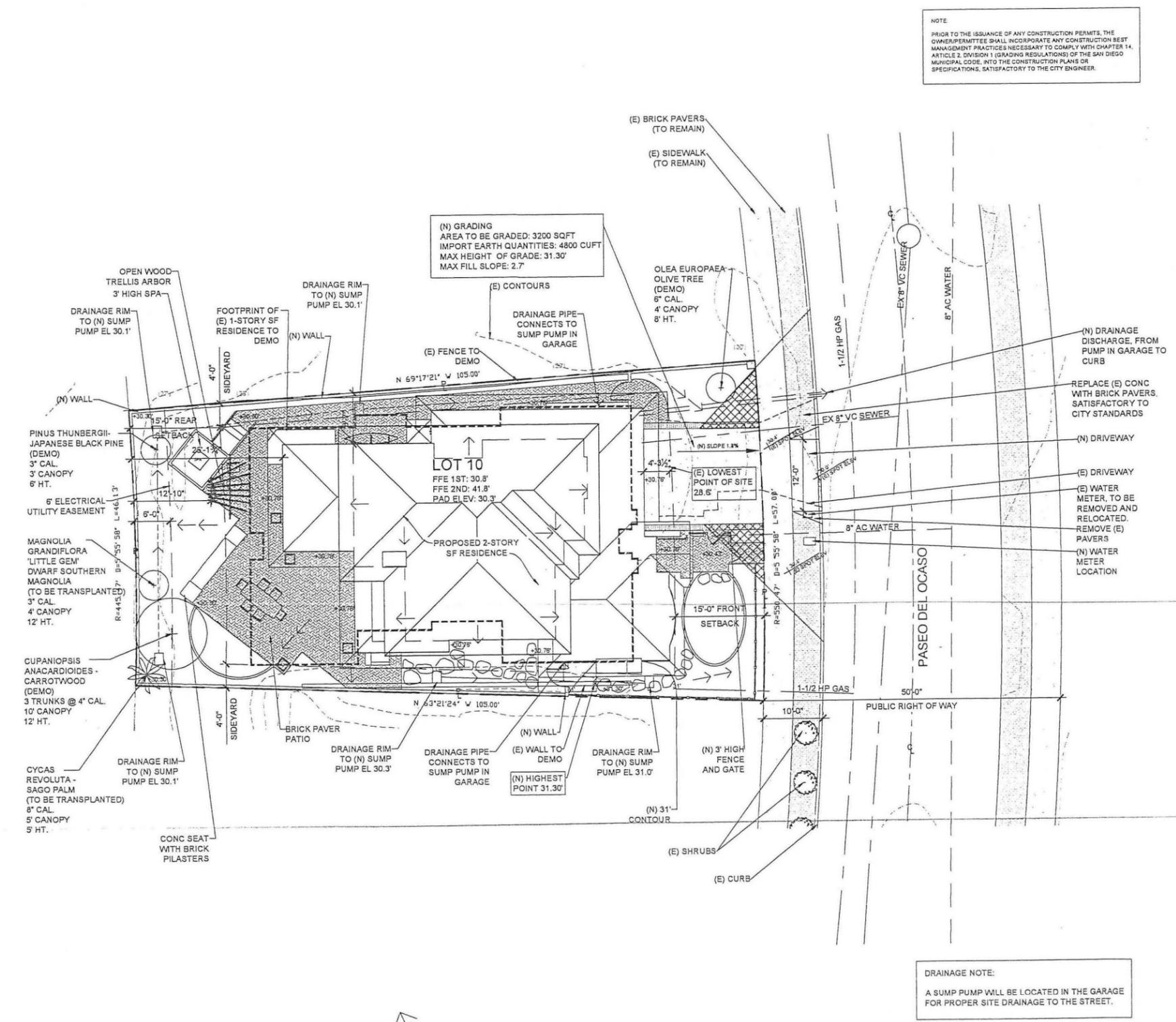
7956 Paseo Del Ocaso
La Jolla, California 92037

Date	July 7, 2014
Project No.	
Design/ Drawing	JLA/PFB
Sheet	
Scale	

Site Development
Plan

1.1

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NOTE
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 11, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS, SATISFACTORY TO THE CITY ENGINEER.

LEGEND

	EXISTING FOOTPRINT, TO BE DEMOLISHED
	PROPOSED BUILDING FOOTPRINT
	SITE VISIBILITY TRIANGLE, 10' X 10'
	INDICATES DIRECTION OF SITE DRAINAGE
	SITE DRAINAGE CONNECTION
	GAS
	SEWER
	WATER
	EXISTING CONTOUR
	NEW CONTOUR
	NEW SPOT ELEVATION

ADDRESS

PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-00-6 (UFC 301.4.4)

HEIGHT LIMIT CALCULATION

LOWEST POINT OF EXISTING GRADE WITHIN 5' OF BUILDING FOOTPRINT	= 28.8 MSL
MAXIMUM HEIGHT LIMIT IN PROPOSITION 'D' ZONE	= 30.0'
HEIGHT LIMIT CALCULATION	= 58.8 MSL
HIGHEST PROPOSED PROJECTION	= 58.52 MSL
HEIGHT LIMIT > HEIGHT PROPOSED	

SPECIAL NOTE:
THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET. HIGHEST POINT ON THE ROOF EQUIPMENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

DEVELOPMENT SUMMARY INFO

PROJECT NAME:	RAGEN RESIDENCE
PROJECT ADDRESS:	7956 PASEO DEL OCASO LA JOLLA, CA 92037
APN:	346-503-10-00
OWNER:	RAGEN FAMILY TRUST
ARCHITECT:	ALCORN & BENTON ARCH 7757 GIRARD AVE LA JOLLA, CA 92037 858.459.0805 (p) 858.459.1350 (f) paul@alcornbenton.com
CDP DATE:	March 19, 2014
Resubmittal:	May 1, 2014
SHEET:	07 OF 16

DRAINAGE NOTE:
A SUMP PUMP WILL BE LOCATED IN THE GARAGE FOR PROPER SITE DRAINAGE TO THE STREET.

1 SITE DEVELOPMENT PLAN
1/8" = 1' - 0"

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RAGEN
RESIDENCE

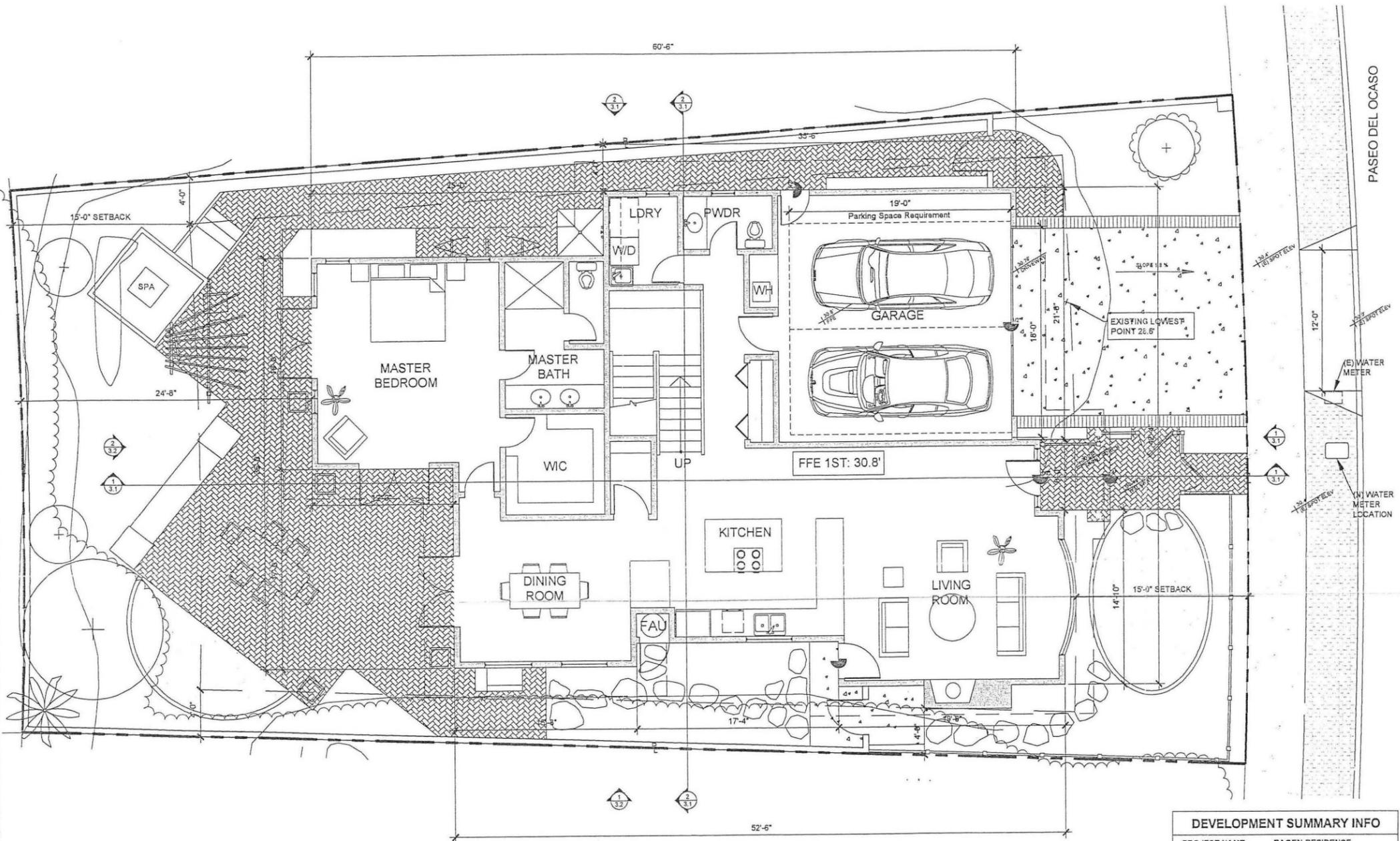
7956 Paseo Del Ocaso
La Jolla, California 92037

Date: July 7, 2014
Project No.:
Design / Drawing: JLA/PFB
Sheet:
Scale:

Proposed
First Floor Plan

2.1

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1 Proposed First Floor Plan
1/4" = 1' - 0"

DEVELOPMENT SUMMARY INFO	
PROJECT NAME:	RAGEN RESIDENCE
PROJECT ADDRESS:	7956 PASEO DEL OCASO LA JOLLA, CA 92037
APN:	348-503-10-00
OWNER:	RAGEN FAMILY TRUST
ARCHITECT:	ALCORN & BENTON ARCH 7757 GIRARD AVE LA JOLLA, CA 92037 858.459.0805 (p) 858.459.1350 (f) paul@alcornbenton.com
CDP DATE:	March 19, 2014
Resubmittal:	May 1, 2014
SHEET:	10 OF 16

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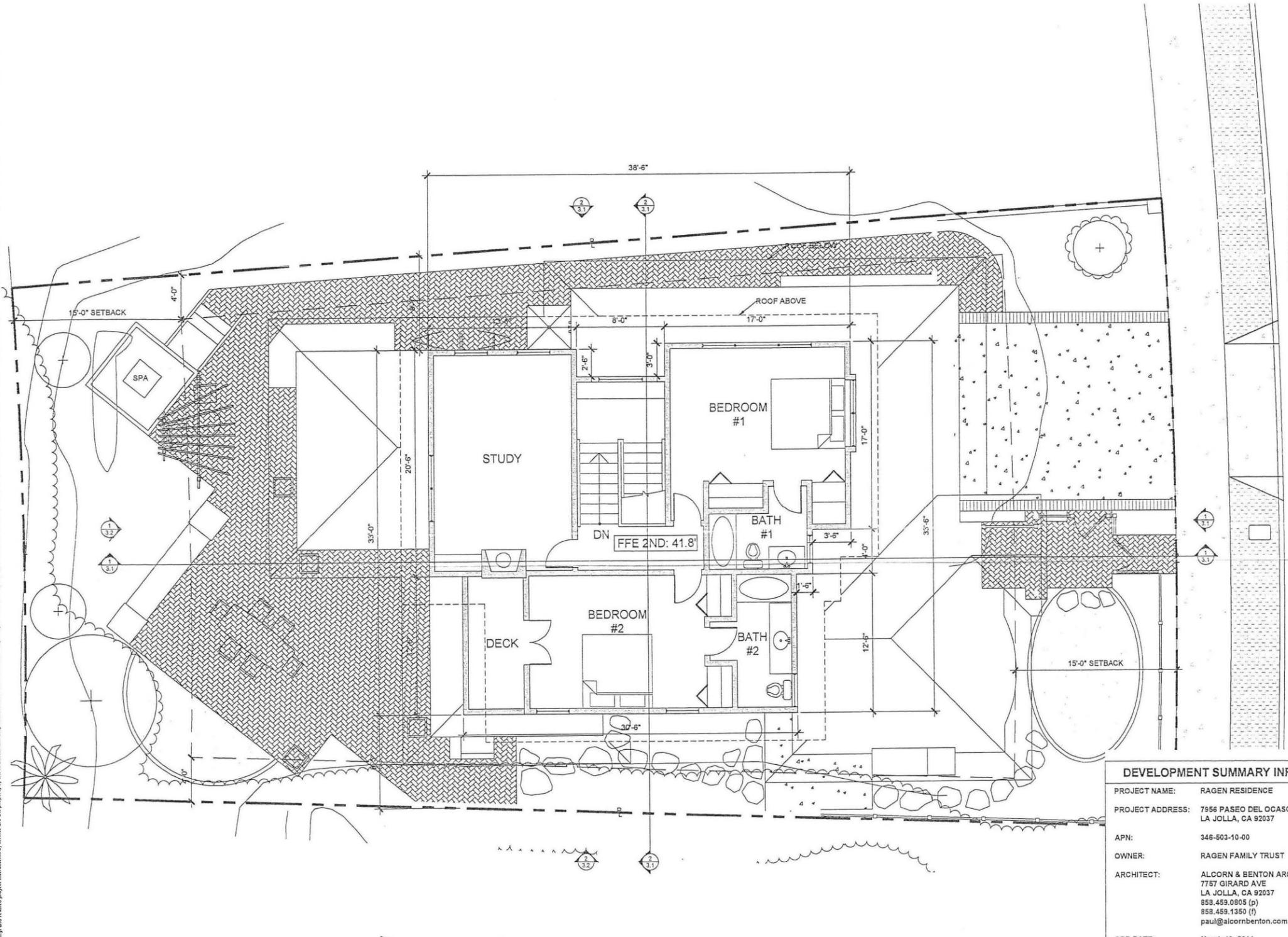
7956 Paseo Del Ocaso
La Jolla, California 92037

Date: July 7, 2014
Project No.:
Design/ Drawing: JLA/PFB
Sheet:
Scale:

Proposed Second
Floor Plan

2.2

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1 Proposed Second Floor Plan
1/8" = 1' - 0"

DEVELOPMENT SUMMARY INFO	
PROJECT NAME:	RAGEN RESIDENCE
PROJECT ADDRESS:	7956 PASEO DEL OCASO LA JOLLA, CA 92037
APN:	346-503-10-00
OWNER:	RAGEN FAMILY TRUST
ARCHITECT:	ALCORN & BENTON ARCH 7757 GIRARD AVE LA JOLLA, CA 92037 858.459.0805 (p) 858.459.1350 (f) paul@alcornbenton.com
ODP DATE:	March 19, 2014
Resubmittal:	May 1, 2014
SHEET:	11 OF 16

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RAGEN
RESIDENCE

7956 Paseo Del Ocaso
La Jolla, California 92037

Date: July 7, 2014
Project No.:
Design/ Drawing: JLA/PFB
Sheet:
Scale:

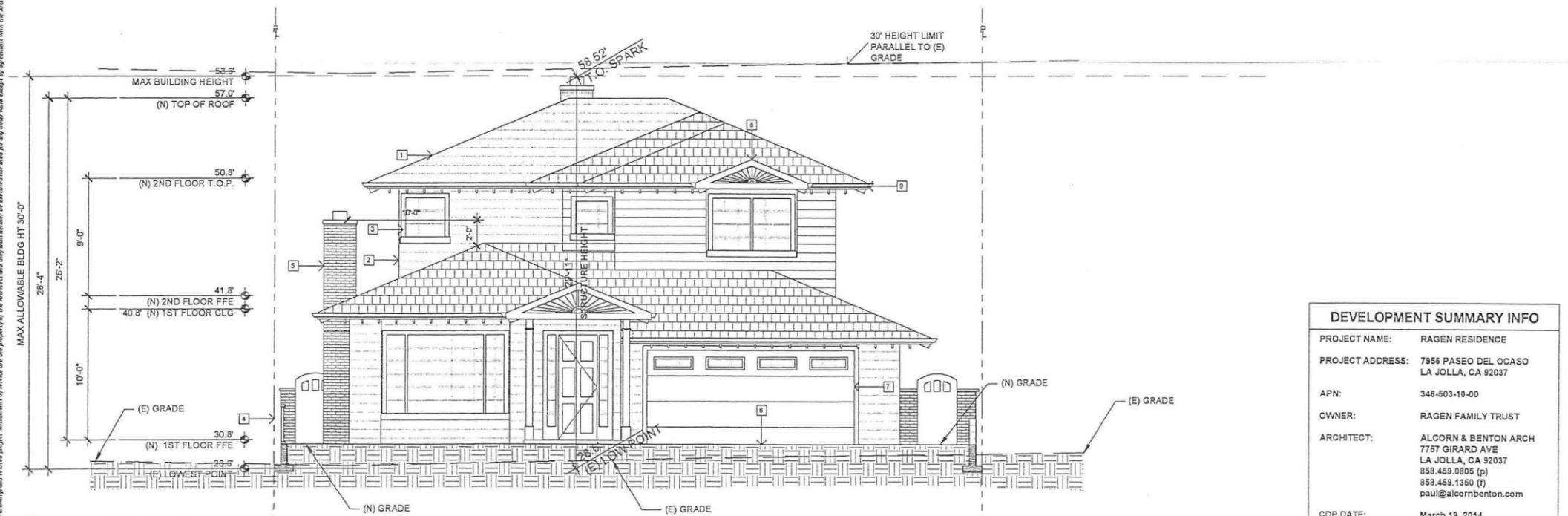
Proposed
Elevations

3.1

LEGEND	
1	NATURAL SLATE ROOF TILES
2	FIBER CEMENT BOARD SIDING, WHITE
3	DUAL PANE INSULATED LOW-E GLASS WINDOWS, WITH WOOD FRAMES PAINTED WHITE
4	BRICK SITE WALLS
5	RECLAIMED BRICK CHIMNEY AND FIREPLACE
6	PERMEABLE DRIVEWAY
7	GARAGE DOOR-INSULATED METAL, WHITE
8	WOOD DETAILS PAINTED WHITE- FASCIA, SILLS, EXPOSED RAFTERS, ETC
9	GUTTER AND DOWNSPOUTS, COPPER



2 Proposed North Elevation
1/4" = 1' - 0"



1 Proposed East Elevation
1/4" = 1' - 0"

DEVELOPMENT SUMMARY INFO	
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CDP DATE:	March 19, 2014
Resubmittal:	May 1, 2014
SHEET:	13 OF 16

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RAGEN
RESIDENCE

7956 Paseo Del Ocaso
La Jolla, California 92037

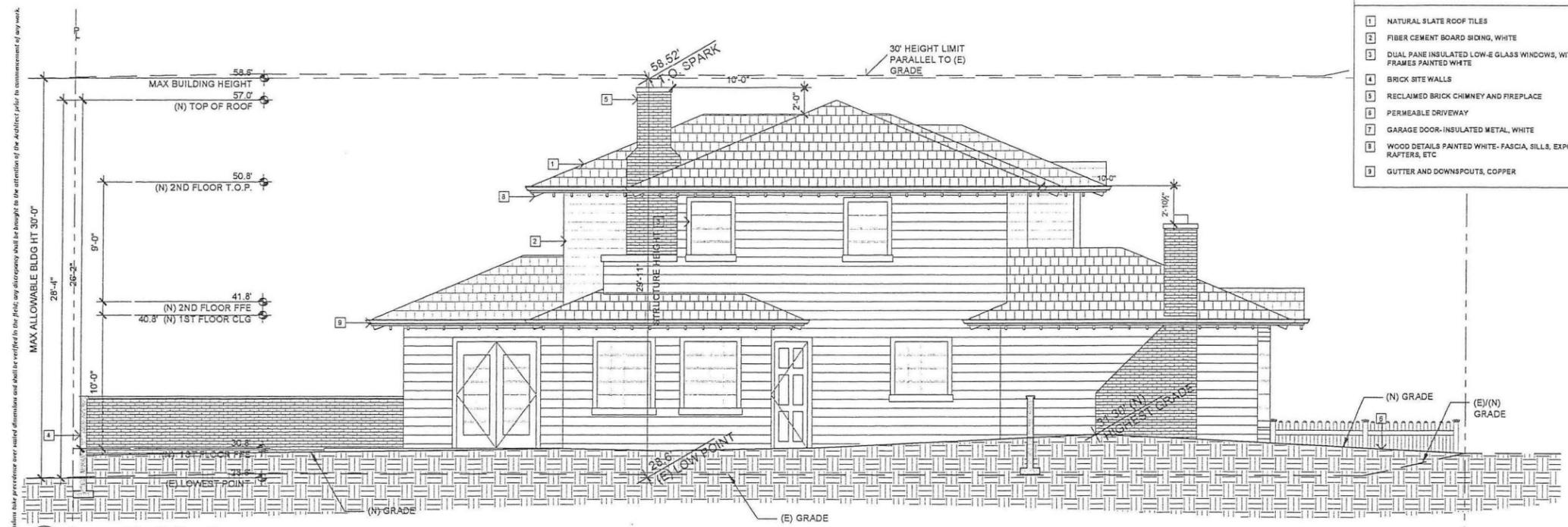
Date	July 7, 2014
Project No.	
Design/ Drawing	JLA/PFB
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Scale	

Proposed Elevations

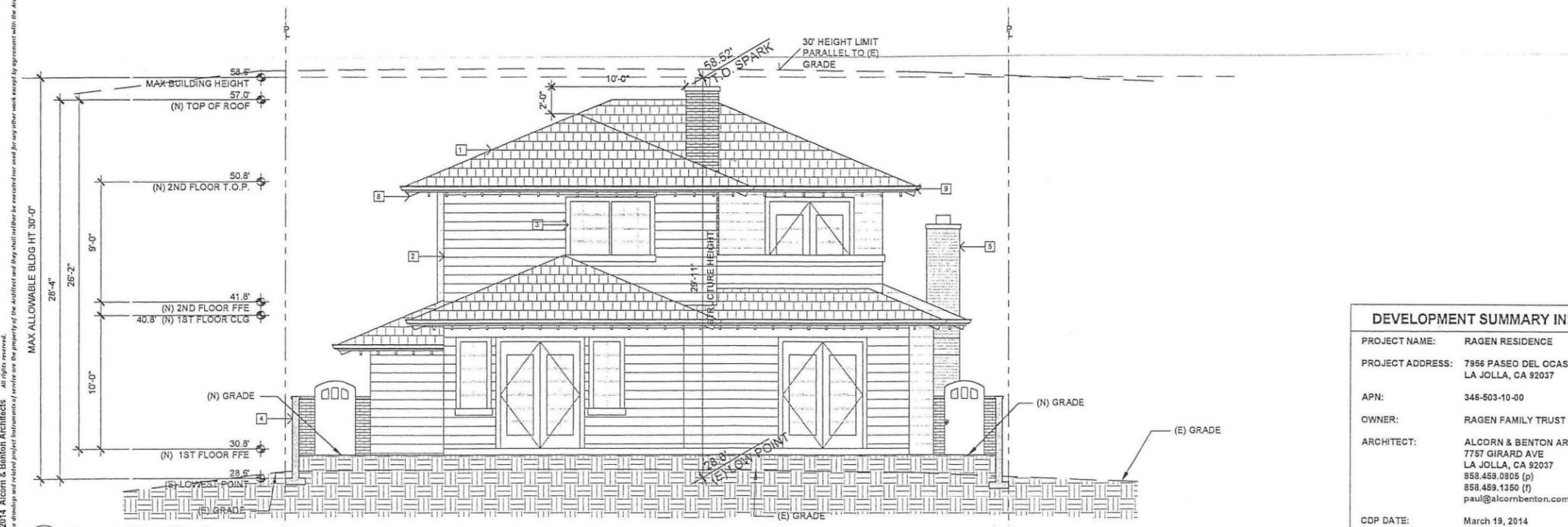
3.2

LEGEND

1	NATURAL SLATE ROOF TILES
2	FIBER CEMENT BOARD SIDING, WHITE
3	DUAL PANE INSULATED LOW-E GLASS WINDOWS, WITH WOOD FRAMES PAINTED WHITE
4	BRICK SITE WALLS
5	RECLAIMED BRICK CHIMNEY AND FIREPLACE
6	PERMEABLE DRIVEWAY
7	GARAGE DOOR- INSULATED METAL, WHITE
8	WOOD DETAILS PAINTED WHITE- FASCIA, SILLS, EXPOSED RAFTERS, ETC
9	GUTTER AND DOWNSPOUTS, COPPER



1 Proposed South Elevation
1/4" = 1' - 0"



2 Proposed West Elevation
1/4" = 1' - 0"

DEVELOPMENT SUMMARY INFO

PROJECT NAME:	RAGEN RESIDENCE
PROJECT ADDRESS:	7956 PASEO DEL OCASO LA JOLLA, CA 92037
APN:	346-503-10-00
OWNER:	RAGEN FAMILY TRUST
ARCHITECT:	ALCORN & BENTON ARCH 7757 GIRARD AVE LA JOLLA, CA 92037 858.459.0805 (p) 858.459.1350 (f) paul@alcornbenton.com
CDP DATE:	March 19, 2014
Resubmittal:	May 1, 2014
SHEET:	14 OF 16

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RAGEN
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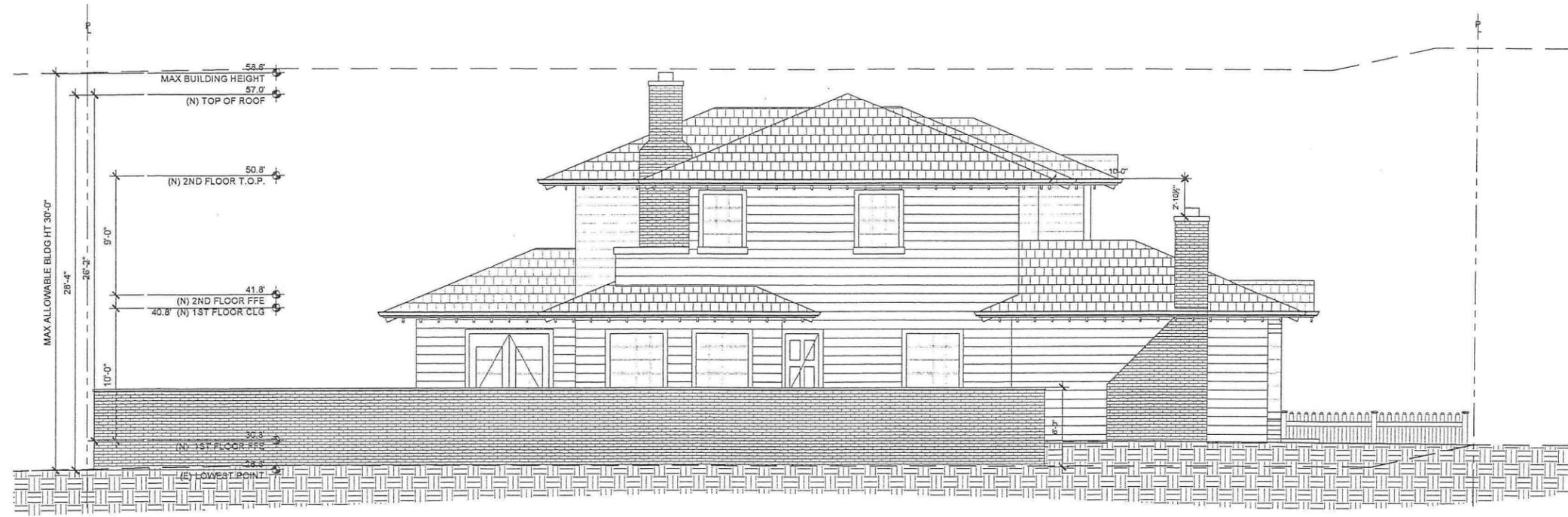
Date: July 7, 2014
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Scale:

Proposed
Elevations

3.3

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1 Proposed South Elevation- with Site Walls
1/4" = 1' - 0"



2 Proposed North Elevation- with Site Walls
1/4" = 1' - 0"

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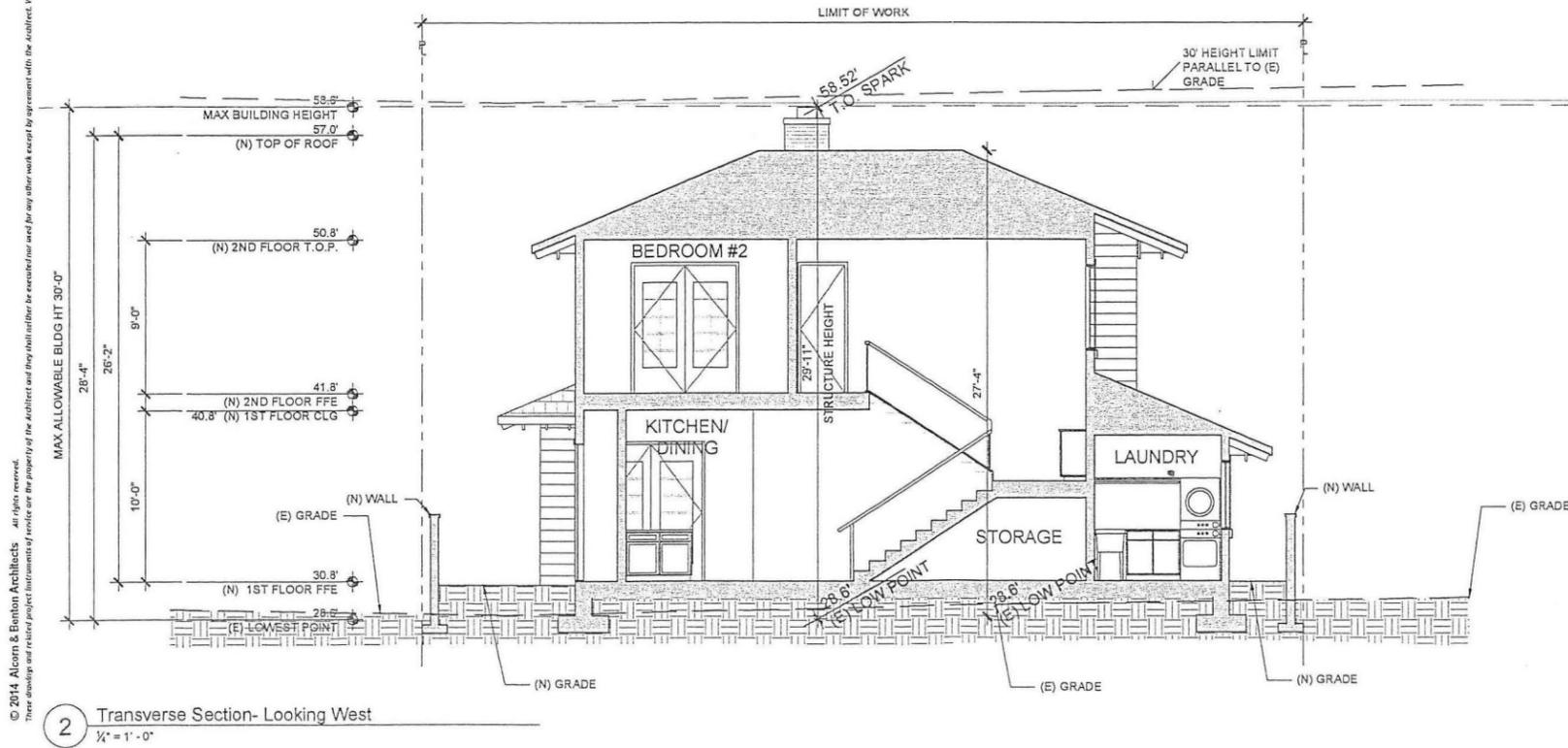
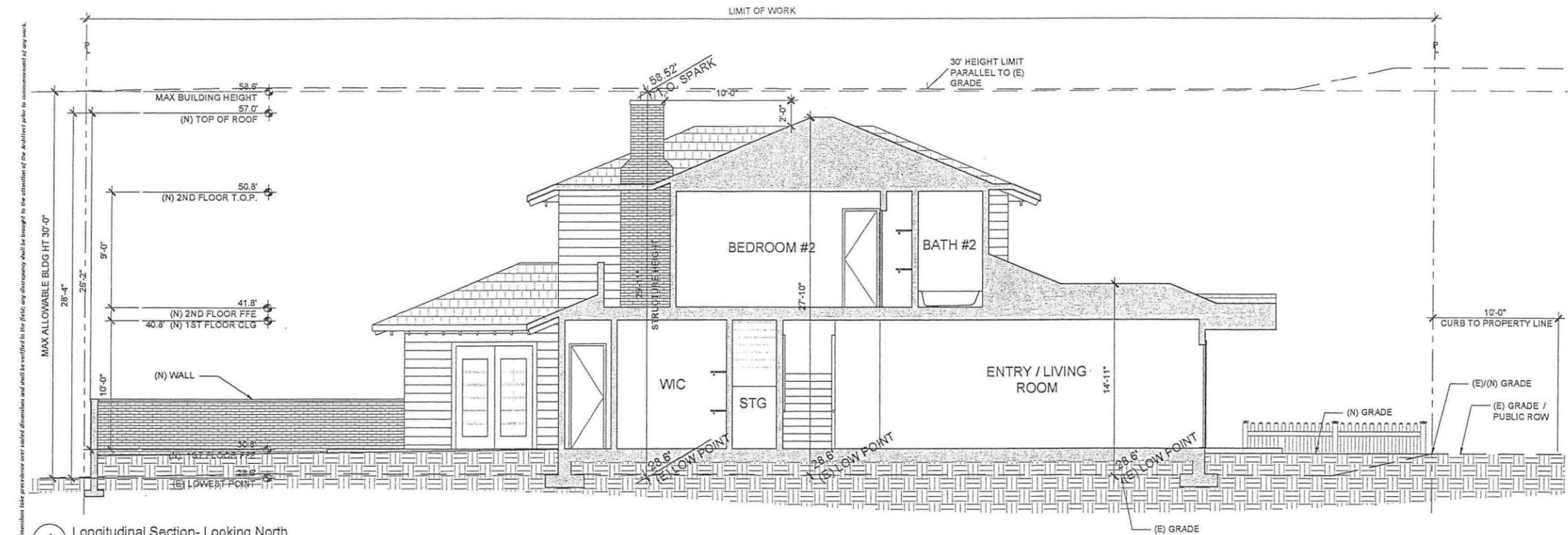
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RESIDENCE

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La Jolla, California 92037

Date: July 7, 2014
Project No.:
Design / Drawing: JLA/PFB
Sheet:
Scale:

Proposed
Sections

4.1



DEVELOPMENT SUMMARY INFO	
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GENERAL NOTES:

1. THE LANDSCAPE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
2. BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
3. GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS AND LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
4. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
5. ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS TO BE PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
6. ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET. ALL PROPOSED STREET TREE PALMS SHALL HAVE A MINIMUM OF 10' BROWN TRUNK HEIGHT (BTH).
7. PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
8. PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
9. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND MAINTENANCE PERIOD. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
12. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE LA JOLLA SHORES PLANNED DISTRICT STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
13. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
14. ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL, AS SHOWN ON THE APPROVED EXHIBIT "A", LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
15. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
16. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.

IRRIGATION NOTE:

1. ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
2. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.

DRAINAGE NOTES:

1. THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
2. ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
3. ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO A STORM DRAINAGE SYSTEM FLOWING TO A SUMP PUMP DISCHARGING TO THE STREET. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORM WATER CONVEYANCE SYSTEM.

MINIMUM STREET TREE SEPARATION:

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET
SEWER LINES	10 FEET

LA JOLLA SHORES PDO NOTES:

1. IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
2. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
3. ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS:

SINGLE DWELLING UNIT LANDSCAPE REQUIREMENTS:
LA JOLLA SHORES PLANNED DISTRICT ORDINANCE
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (LDC 1510.0304(H)).

TOTAL PARCEL AREA: 5,508 S.F.
PLANTING AREA REQUIRED: 1,653 S.F. (30%)

PLANTING AREA PROVIDED: 1784 S.F. (32.3%)
EXCESS AREA PROVIDED: 131 S.F.

THE LANDSCAPED AREA SHALL BE NO LESS THAN THIRTY PERCENT (30%) OF THE TOTAL PARCEL AREA IN ACCORDANCE WITH THE STANDARDS OF SDMC 103.0304 (M)(1)

LANDSCAPE CONCEPT STATEMENT

A TRADITIONAL LANDSCAPE OF CLASSIC BEAUTY IS VISUALIZED FOR THIS SINGLE-FAMILY RESIDENCE TO FIT WITHIN THE CONTEXT THIS BEACH NEIGHBORHOOD CHARACTER. THE MAIN DRIVEWAY HARDSCAPE WILL BE ACCENTED BY BRICK BANDS, ENRICHING THE VIEW FROM PASEO DEL OCASO. A ROSE GARDEN AT THE END OF AN ELLIPTICAL LAWN, CONTAINED BY A LOW PICKET FENCE WILL BLEND THE STREET YARD WITH THE SURROUNDING HOMES. TRADITIONAL PLANTINGS OF HYDRANGEAS, AZALEAS, AND CAMELLIAS ACCENTED BY PALMS AND CITRUS WILL PROVIDE A GARDEN RETREAT AND CREATE SUBTLE SPACES AROUND THE REAR PATIO. A VINE ARBOR WILL SCREEN CASUAL VIEW OF THE RAISED SPA FROM THE HOME. TAKEN AS A WHOLE THE LANDSCAPE WILL PROVIDE A SETTING FOR THE ARCHITECTURAL STYLE, COMPATIBLE WITH THE SURROUNDING NEIGHBORHOOD AND IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE, THE LA JOLLA COMMUNITY PLAN, AND THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE. ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THE OWNER.

LANDSCAPE KEY NOTES:

- ◆ EXISTING PAVING IN RIGHT-OF-WAY TO REMAIN
- ◆ 3" HIGH PICKET FENCE
- ◆ 3" HIGH PICKET GATE
- ◆ 6" HIGH SIDE YARD GATE
- ◆ 6" HIGH SOLID PERIMETER MASONRY FENCE
- ◆ BRICK MOW CURB
- ◆ PATIO COVER WITH VINES
- ◆ 3" HIGH RAISED SPA WITH STEPS
- ◆ BARBEQUE
- ◆ CONCRETE SEAT WITH BRICK PILASTERS
- ◆ FOOT WASH
- ◆ STORAGE RACK
- ◆ 10' VISIBILITY TRIANGLES - NO OBSTRUCTION INCLUDING LANDSCAPING OR WALLS IN THE VISIBILITY AREAS SHALL EXCEED 3 FEET IN HEIGHT (FENCE & GATE NOT TO EXCEED 3' IN THIS LOCATION)
- ◆ 2" HIGH SOLID MASONRY FENCE
- ◆ 18" SQ. X 2" HIGH MASONRY PILASTER

HARDSCAPE LEGEND:

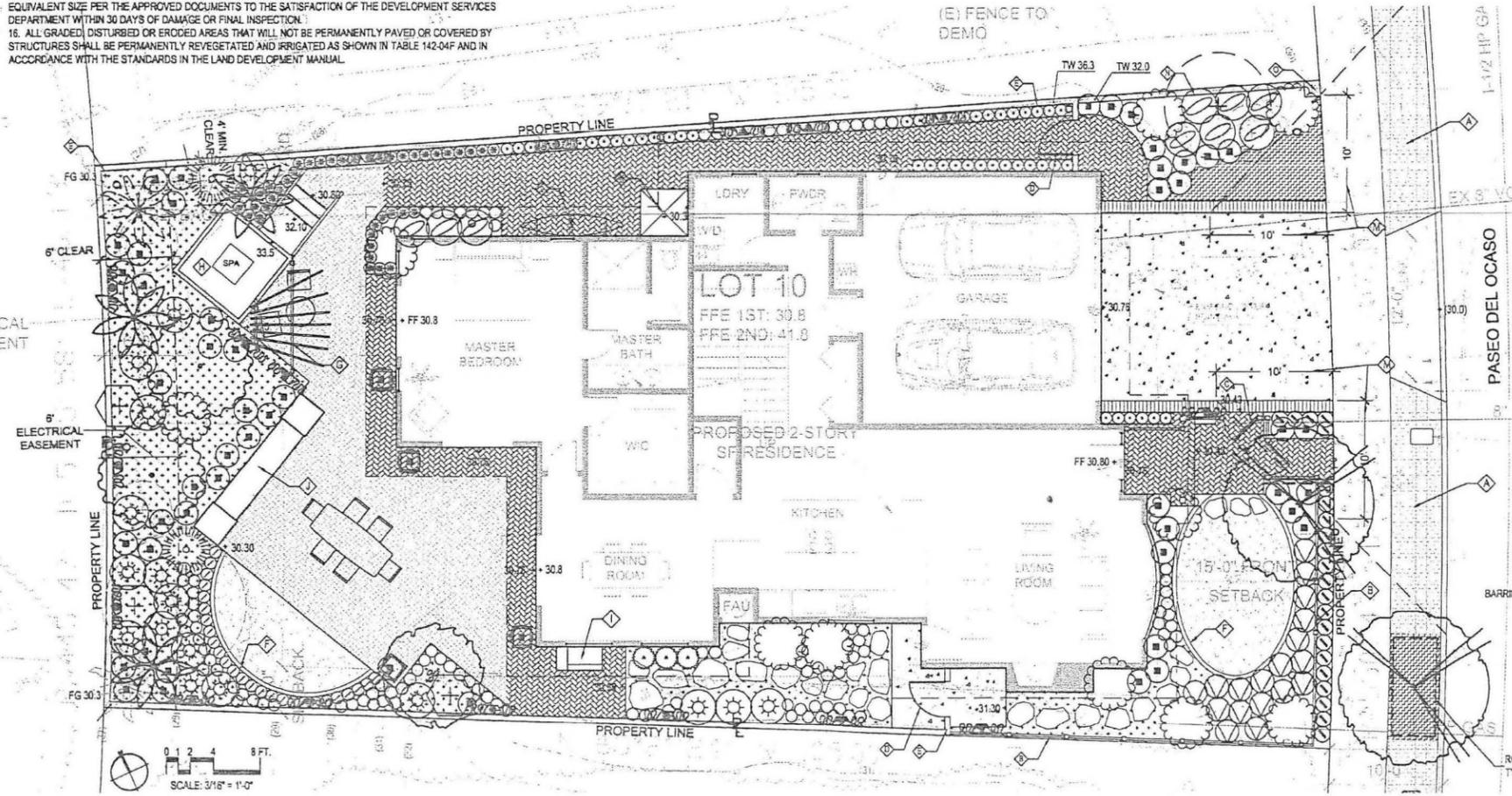
- PROPOSED HARDSCAPE MATERIAL LEGEND:**
- HARDSCAPE PAVING 'A' 380 SF
Non-porous paving such as:
Integrally Colored Concrete and Brick Edging
Uncolored Concrete with Enhanced Finish and Brick Edging
 - HARDSCAPE PAVING 'B' 500 SF
Unattached unit pavers such as:
Brick Pavers
Interlocking Concrete Pavers
Pervious Concrete Pavers
 - HARDSCAPE PAVING 'C' 588 SF
Non-porous pavers such as:
Brick Pavers on Concrete Base
Concrete Pavers on Concrete Base
Stone Pavers on Concrete Base
 - HARDSCAPE PAVING 'C' 78 SF
Porous paving such as:
Unattached Flagstone Step Stones
Unattached Concrete Step Stones
Unattached Brick Step Stones
 - ARTIFICIAL TURF 204 SF

DEVELOPMENT SUMMARY INFO

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LA JOLLA, CA 92037

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ARCHITECT: ALCORN & BENTON ARCH
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PLANTING LEGEND:

TRANSPLANTED PLANT MATERIAL LEGEND:		QTY / % / SIZE
	EXISTING TREES	1 / 100% / EXISTING
	Existing trees to be transplanted	
	Magnolia 'Little Gem'	3' Caliper, 12' Ht., 4' canopy
	EXISTING CYCAD	1 / 100% / EXISTING
	Existing cycad to be transplanted	
	Cycas revoluta	8' Caliper, 5' Ht., 5' canopy
PROPOSED PLANT MATERIAL LEGEND:		QTY / % / SIZE
	PALM TREE	3 / 100% / 10' BTH
	Medium scale tree - 15' tall x 30' wide, such as:	
	Archontophoenix cunninghamiana	'King Palm'
	EVERGREEN SHADE TREE	1 / 100% / 24" BOX
	Medium scale tree - 20' tall x 20' wide, such as:	
	Micheia champaca 'Alba'	'Champaca'
	STREET/ ACCENT TREE	2 / 100% / 24" BOX
	Medium scale tree - 30' tall x 30' wide, such as:	
	Tabebuia avelanedae	'Pink Trumpet Tree'
	FRUIT TREES	2 / 100% / 24" BOX
	Medium scale tree - 10' tall x 12' wide, such as:	
	Citrus aurantiifolia 'Bears'	'Bears Lime'
	Citrus limon 'Dwarf Improved Meyer'	'Improved Meyer Lemon'

PROPOSED PLANT MATERIAL LEGEND:		QTY / % / SIZE
	EVERGREEN PERENNIAL BORDER	41 / 100% / 1 gallon
	Small scale shrub - 2' tall x 2' wide, such as:	
	Liriope 'Gigantea'	'Giant Lilyturf'
	EVERGREEN PERENNIAL BORDER	108 / 100% / 1 gallon
	Small scale shrub - 2' tall x 2' wide, such as:	
	Liriope muscari 'Variegata'	'Variegated Lilyturf'
	EVERGREEN PERENNIALS FOR SHADE	47 / 100% / 1 gallon
	Small scale shrub - 2' tall x 2' wide, such as:	
	Civina minima	'Civina'
	EVERGREEN ACCENT PERENNIALS	25 / 100% / 1 gallon
	Small scale shrub - 2' tall x 2' wide, such as:	
	Bergenia crassifolia	'Winter Blooming Bergenia'
	EVERGREEN SCREENING HEDGE	22 / 100% / 1 gallon
	Medium scale shrub - 3' tall x 3' wide, such as:	
	Teucrium chamaedrys	'Bush Germander'
	FLOWERING SHRUBS/ CONTAINER SHRUBS	54 / 100% / 5 gallon
	Medium scale shrub - 3' tall x 3' wide, such as:	
	Azalea 'Duc De Rohan'	'Duc De Rohan Azalea'
	FLOWERING ACCENT SHRUBS	18 / 100% / 5 gallon
	Medium small scale shrub - 4' tall x 3' wide, such as:	
	Rosa 'Iceberg'	'White Shrub Rose'
	Rosa 'Joseph's Coat'	'Joseph's Coat Climbing Rose'
	EVERGREEN SCREENING HEDGE	3 / 100% / 5 gallon
	Medium screen shrub - 4' tall x 4' wide, such as:	
	Rosmarinus officinalis	'Rosemary'
	EVERGREEN FLOWERING SHRUBS	9 / 100% / 5 gallon
	Large scale shrub - 10' tall x 8' wide, such as:	
	Camellia sasanqua 'Jean May'	'Jean May Camellia'
	EVERGREEN FLOWERING SHRUBS	17 / 100% / 5 gallon
	Large scale shrub - 8' tall x 8' wide, such as:	
	Camellia sasanqua 'Tanya'	'Tanya Camellia'

PROPOSED PLANT MATERIAL LEGEND:		QTY / % / SIZE
	LARGE FLOWERING SHRUBS	10 / 100% / 5 gallon
	Large flowering accent shrub - 4' tall x 8' wide, such as:	
	Hydrangea macrophylla 'All Summer Beauty'	'All Summer Beauty Hydrangea'
	LARGE ACCENT GRASS	2 / 100% / 5 gallon
	Large scale shrub - 3' tall x 3' wide, such as:	
	Miscanthus transmonienensis	'Evergreen Miscanthus'
	EVERGREEN LARGE SHRUB	3 / 100% / 5 gallon
	Large screen hedge - 3' tall x 8' wide, such as:	
	Zamia furfuracea	'Cardboard Palm'
	ACCENT VINES (SHADE LOCATIONS)	9 / 100% / 1 gallon
	Climbing vines - such as:	
	Parthenocissus tricuspidata	'Boston Ivy'
	EVERGREEN ACCENT VINES (SUN LOCATIONS)	5 / 100% / 1 gallon
	Climbing vines - such as:	
	Clematis armandii	'Evergreen Clematis'
	EVERGREEN ACCENT VINES	3 / 100% / 1 gallon
	Climbing vines - such as:	
	Jasminum polyanthum	'Pink Jasmine'
	Trachelospermum jasminoides	'Star Jasmine'
	EVERGREEN GROUNDCOVER	588 S.F. / 100% / FLATS
	Low growing groundcover - 8' tall and spreading, such as:	
	Fragaria chiloensis	'Beach Strawberry'
	EVERGREEN GROUNDCOVER	85 S.F. / 100% / 1 gallon
	Flowering groundcover - 2' tall x 10' wide, such as:	
	Trachelospermum jasminoides	'Star Jasmine'

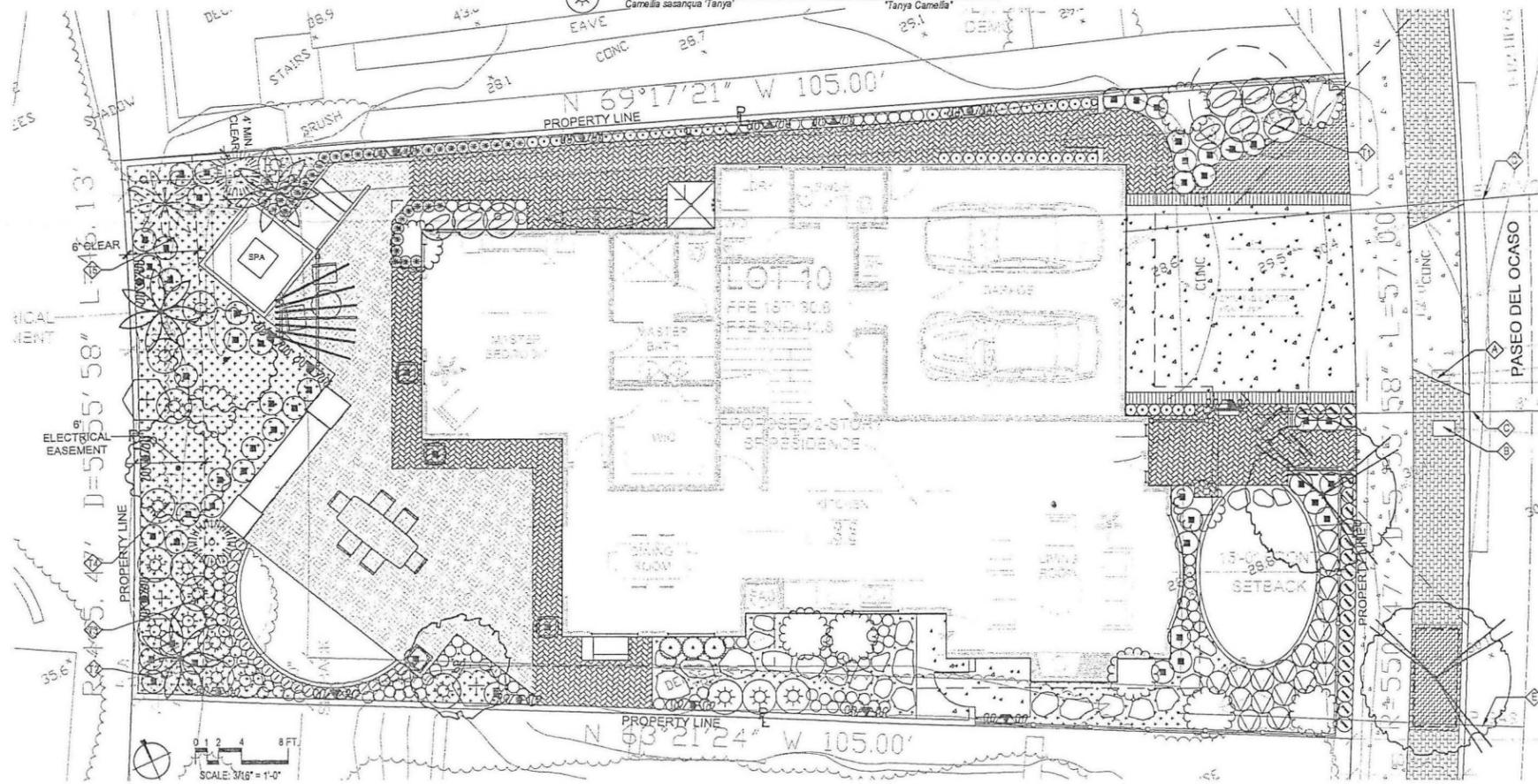
UTILITY KEY NOTES:

- EXISTING WATER METER LOCATION
- NEW WATER METER LOCATION
- EXISTING WATER LINE TO REMAIN
- EXISTING SEWER LINE TO REMAIN
- EXISTING GAS LINE TO REMAIN

EXISTING TREES:

- OLEA EUROPAEA - OLIVE TREE TO DEMO 6" CAL., 4' CANOPY, 8' HT.
- CYCAS REVOLUTA - SAGO PALM (TRANSPLANTED) 8" CAL., 5' CANOPY, 5' HT.
- CUPANOPSIS ANACARDIODES - CARROTWOOD TO DEMO 3 TRUNKS @ 4" CAL., 10' CANOPY, 12 HT.
- MAGNOLIA GRANDIFLORA 'LITTLE GEM' - DWARF SOUTHERN MAGNOLIA (TRANSPLANTED) 3" CAL., 4' CANOPY, 12 HT.
- PINUS THUNBERGII - JAPANESE BLACK PINE TO DEMO 3" CAL., 3' CANOPY, 6' HT.

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RAGEN
RESIDENCE

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La Jolla, California 92037

Date	March 19 2014
Project No.	
Design/ Drawing	JN/ OH
Sheet	
Scale	
Preliminary Bid	February 10, 2014

Landscape
Development
Planting Plan

1.3





La Jolla Community Planning Association

Regular Meetings: 1st Thursdays | La Jolla Recreation Center, 615 Prospect Street

Contact Us

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Web: <http://www.LaJollaCPA.org>

Voicemail: 858.456.7900

Email: info@LaJollaCPA.org

President: Joe LaCava

Vice President: Bob Steck

2nd Vice President: Patrick Ahern

Secretary: Helen Boyden

Treasurer: Nancy Manno

Final Minutes

Regular Meeting | Thursday, 5 June 2014

Trustees Present: Patrick Ahern, Cynthia Bond, Helen Boyden, Bob Collins, Dan Courtney, Janie Emerson, Gail Forbes, Joe LaCava, Nancy Manno, Robert Mapes, Phil Merten, Alex Outwater, Jim Ragsdale, Bob Steck, Ray Weiss, Rob Whittemore, Frances O'Neill Zimmerman

1.0 Welcome and Call to Order: Joe LaCava, President, 6:06 PM

2.0 Adopt the Agenda

Approved Motion: To adopt the posted agenda (Collins, Manno: 10-1-1)

In favor: Boyden, Collins, Emerson, Manno, Mapes, Merten, Outwater, Ragsdale, Steck, Weiss

Opposed: Zimmerman

Abstain: LaCava, Chair

3.0 Meeting Minutes Review and Approval: 1 May 2014

Approved Motion: To accept the Minutes of May 1, 2014 as posted and distributed. (Manno, Merten: 9-1-2)

In favor: Boyden, Collins, Emerson, Manno, Mapes, Merten, Outwater, Ragsdale, Steck

Opposed: Zimmerman,

Abstain: LaCava (Chair), Weiss (Absent)

4.0 Elected Officials Report – Information Only

4.1 Council District 1 – Council President Pro Tem Sherri Lightner

Rep: **Justin Garver**, 619-236-6611, JGarver@sandiego.gov

He announced the “Meet the Mayor” with Mayor Faulconer and Police Chief Shelley Zimmerman –see 9.7 below. The Torrey Pines Road Corridor update will be presented at T&T at its June 26th meeting.

Construction on the Children’s Pool Lifeguard Tower is on hold due to nesting birds. The LJ Cove tower is on track for completion by December 2014. The LJ Fireworks Foundation is trying to work out logistics for July 4.

4.2 Mayor’s Office – Mayor Kevin Faulconer

Rep: **Francis Barraza**, 619-533-6397, FBarraza@sandiego.gov was not present

4.3 39th Senate District – State Senator Marty Block

Rep: **Allison Don**, 619-645-3133, Allison.don@sen.ca.gov

She stated that it was the time in the legislative calendar that bills filed in either the State Senate or Assembly had to pass the originating house or be dropped. Senator Block filed thirteen bills. Mention was made of SB 850 creating a pilot program to allow community colleges to grant bachelor degrees; SB 939 on human trafficking; SB 1382 to increase oversight of non-medical Residential Care Facilities for the Elderly.

10.3 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html>

No action taken at last Tuesday's meeting. **Member Dan Allen** is stepping down as Chair.

11.0 Consent Agenda – Ratify or Reconsider Committee Action

The Consent Agenda allows the Trustees to ratify actions of our joint committees and boards in a single vote with no presentation or debate. The public may comment on consent items.

- Anyone may request consent item be pulled for reconsideration/full discussion.
- Items "pulled" from Consent Agenda automatically trailed to next LJCPA mtg.
- See minutes from each committee for full details on each project & deliberations.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4pm
DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4pm
PRC – LJ Shores Permit Review Committee, Interim Chair Phil Merten, 4th Tues, 4pm
T&T – Traffic & Transportation Board, Chair Todd Lesser, 4th Thurs, 4pm.

No action items from PDO Committee

11.1 Miller Residence CDP

DPR Motion: That the findings can be made for a Coastal Development Permit to allow the construction of a new two-story, 9,876 square foot single-family dwelling unit, 973 square foot habitable accessory structure, a 1,699 square foot garage and associated improvements on a 1.0 acre site at 1540 La Jolla Rancho Road. 5-0-1.

11.2 Neptune Place Map Waiver

DPR Motion: The findings can be made for a Map Waiver to convert 18 residences under or nearly under construction (building permit pending) into condos on a 0.511 acre property at 6767 Neptune Place. 5-0-1.

11.3 La Jolla Music Society Summerfest

T&T Motion: Approve street closure 8am to midnight on July 30th. 9-0.

11.4 Amendment to Eddy V's Valet Parking Permit –Trustee Courtney agreed not to pull after learning that it would be re-presented to T&T.

T&T Motion: Deny request to amend their permit to also have valet parking to include Saturday & Sundays between 10:30 am to 11:30 pm. 7-0-2.

11.5 Ragen Residence, 7956 Paseo Del Ocaso

LJSPRC Motion: Findings can be made for Coastal Development Permit and a Site Development Permit for the Ragen residence, 7956 Paseo del Ocaso, Project No. 357715, as depicted on marked up drawings on May 27, 2014, to reflect 6' high perimeter fences. The notations were made on plan sheet numbers: 0.0 and 1.3. 4-0-1.

11.6 Wu Residence, 7615 Hillside Drive --Pulled by Member Myrna Naegle as she feels it is incompatible with the neighborhood.

LJSPRC Motion: Findings can be made for a Coastal Development Permit and a Site Development Permit to demolish the existing structure and construct a 7,345 sq ft house at 7615 Hillside Drive, Project No. 361774, based on plans presented today, dated March 15, 2014. 3-1-1.

Item 11.6 Wu Residence pulled from the Consent Calendar by Myrna Naegle to be heard in a full hearing July 3, 20014

There were no recommendations from the PDO Committee this month

Approved Motion: To accept the recommendations of the DPR Committee that for: 11.1 Miller Residence CDP: the findings can be made for a Coastal Development Permit to allow the construction of a new two-story, 9,876 square foot single-family dwelling unit, 973 square foot habitable accessory structure, a 1,699 square foot garage and associated improvements on a 1.0 acre site at 1540 La Jolla Rancho Road. 5-0-1; and for 11.2 Neptune Place Map Waiver: the findings can be made for a Map Waiver to convert 18 residences under or nearly under construction (building permit pending) into condos on a 0.511 acre property at 6767 Neptune Place. 5-0-1; to accept the recommendations of the T&T Committee for: 11.3 La Jolla Music Society Summerfest to approve street closure 8am to midnight on July 30th. 9-04 and for: 11.4 Amendment to Eddy V's Valet Parking Permit to deny request to amend



LA JOLLA SHORES PLANNED DISTRICT

Applicant: Lindsay King obo
Ragen Residence
7956 Paseo del Ocaso

Item: PTS 359707 #1
Date: 5/20/2014

To: Planning Director
From: La Jolla Shores Planned District Advisory Board
Subject: Proposal Within La Jolla Shores Planned District

The La Jolla Shores Planned District Advisory Board has reviewed the applicant for:

Demolish 1-story, raise grade, build 3,268 SF
2-story home, Home is fairly bulky (FAR 0.61)
but reduces the footprint on the lot, and appears
to comply with the PDD

located _____

and recommends:

- A. Approval because of conformity to criteria and design standards adopted by the City Council
- B. Denial because of nonconformity to criteria and design standards adopted by the City Council. (Reasons for nonconformity on reverse side.)
- C. Approval subject to the following modifications to ensure conformity to criteria and design standards adopted by the City Council.

- D. Denial because of lack of four affirmative votes.

Approving Item: 4

Board Signatures

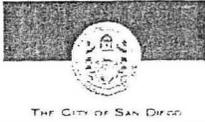
(One Abstention.)
Disapproving Item: _____

Jane Potter
[Signature]
Dan Haese

[Empty Signature Box]

Absentees:

Chairman



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Ragen Residence Project No. For City Use Only: _____

Project Address:
7956 Paseo Del Ocaso, La Jolla, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
Michael Ragen
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
7956 Paseo Del Ocaso
 City/State/Zip:
La Jolla
 Phone No: _____ Fax No: _____
805-377-0012
 Signature: *M. Ragen* Date: 12/27/13

Name of Individual (type or print):
Ann Ragen
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
7956 Paseo Del Ocaso
 City/State/Zip:
La Jolla
 Phone No: _____ Fax No: _____
(805-377-0012)
 Signature: *Ann Ragen* Date: 12/27/13

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____



THE CITY OF SAN DIEGO

DATE OF NOTICE: September 3, 2014

NOTICE OF PUBLIC HEARING HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING:	September 17, 2014
TIME OF HEARING:	8:30 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT/METEGATED NEGATIVE DECLARATION/ PROCESS 3
PROJECT NO:	357715
PROJECT NAME:	<u>RAGEN RESIDENCE</u>
APPLICANT:	Lindsay King
COMMUNITY PLAN AREA:	La Jolla
COUNCIL DISTRICT:	District One
CITY PROJECT MANAGER:	Glenn Gargas, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5142 / ggargas@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a **Coastal Development Permit and Site Development Permit (due to location within La Jolla Shores Planned District) to demolish an existing one story single family residence and construction of a 3,268 sq. ft, two-story single family residence with an attached two car garage on a 5,415 sq. ft. property. The project site is located at 7956 Paseo Del Ocaso, in the SF Zone of the La Jolla Shores Planned District, Coastal (non-appealable), Coastal Height Limitation, Coastal and Beach Parking Impact, Residential Tandem Parking, and Transit Area Overlay Zones within the La Jolla Community Plan area. This application was filed on March 6, 2014.**

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 working days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at

www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

ATTACHMENT 12

The decision made by the Planning Commission is the final decision by the City.

The certification of an Environmental Impact Report, adoption of a Mitigated Negative Declaration or Negative Declaration may be appealed to the City Council after all other appeal rights have been exhausted. All such appeals must be filed by 5:00 PM within ten (10) business days from the date of the Planning Commission's certification/adoption of the environmental document. Please do not e-mail appeals as they will not be accepted. The proper forms are available from the City Clerk's Office, located on the second floor of the City Administration Building, 202 C Street, San Diego, CA 92101.

The final decision by the City of San Diego is not appealable to the California Coastal Commission. If you want to receive a Notice of Final Action, you must submit a written request to the City Project Manager listed above.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at

(619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004410.