



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: January 14, 2015

REPORT NO. HO 15-001

ATTENTION: Hearing Officer

SUBJECT: JA FINANCE PARK CUP AMENDMENT
PTS PROJECT NUMBER 372846

LOCATION: 4756 Mission Gorge Place

APPLICANT: Stacy Cannon

SUMMARY

Issue(s): Should the Hearing Officer approve the project to allow a building expansion for a total building area of approximately 26,416 square feet and a maximum increase in students and staff to a total of 250 and 25 respectively, at 4756 Mission Gorge Place in the RS-1-7 zone of the Navajo Community Plan?

Staff Recommendation(s) - **Approve** Conditional Use Permit No. 1312103.

Community Planning Group Recommendation - On September 15, 2014 the Navajo Community Planning Group voted 15:0:0 to support the proposal.

Environmental Review - The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. This project was determined to be categorically exempt from the California Environmental Quality Act on December 9, 2014 and the opportunity to appeal that determination ended December 23, 2014.

BACKGROUND

The site is located within the Navajo Community Plan (Plan) area and is designated by the Plan for Residential use (Attachment 1). The site is located at 4756 Mission Gorge Place in the RS-1-7 zone (Attachment 2). The site, approximately 3.4 acres, is within the Grantville Redevelopment District (Attachment 3). The existing building on the project site was constructed in 1986. The site is surrounded by other development. North and east of the site are residential uses, west are industrial uses and south of the site is a United States Postal office and a religious use (Attachment 4).

The prior owner was granted a Conditional Use Permit No. 18421 to construct improvements to the site for the purposes of a church (Attachment 5). Subsequent to construction of the improvements the property was sold to Junior Achievement of San Diego and Conditional Use Permit No. 263141 was granted by the Hearing Officer on April 5, 2006 by Resolution No. HO-06-094 allowing the site and building to be used as an educational facility (Attachment 6). The owner has an existing Shared Parking Agreement with the Mission Valley Church of the Nazarene to use eleven spaces on the church property (Attachment 7).

Junior Achievement of San Diego County is a nonprofit organization dedicated to “empowering young people through their economic success.” The current educational program is titled “Junior Achievement - Biz Town” and is an open floor plan of mock retail storefronts geared towards educating school aged children about the power of finances. The existing facility is approximately 25,997 square feet and contains 10,382 square feet of educational area and 15,615 square feet of business occupancy and accessory occupancy space to support the program operations. The facility currently serves up to 100 students per day with a maximum of 20 staff and volunteers. All students are transported to and from the facility by school bus, and all staff and all volunteers park within the provided onsite parking areas. Forty-nine off-street parking spaces are provided in addition to eleven parking spaces provided through a shared parking agreement with the neighboring church property. The Junior Achievement staff is comprised of twenty-two people, eleven of which are part time and outside education managers who spend the majority of their time in the field visiting schools and companies training volunteers. The hours of operation for these employees is Monday through Friday – from 8:30 am to 5:30 pm year round. The students who are educated at this facility arrive on a part time basis for five hours a day 145 days a year.

DISCUSSION

The JA Finance Park CUP Amendment project proposes physical improvement to the site that would remove an existing radius corner of the building to square off the corner and create additional interior space and rework the existing patio entry. The total square footage of the project after construction would be approximately 26,416 square feet, an increase of approximately 419 square feet from the current building. The proposed enclosure would be above grade and within the existing foundation/footprint of the building. The increase of the overall project area would be 419 square feet. Of the 26,416 square feet, approximately 10,382 square feet is existing educational space to remain, approximately 6,710 square feet of office space to remain and approximately 915 square feet of assembly space to remain. New educational space would be created by converting 8,124 square feet of office use to educational use. Additional office space would be created by adding 285 square feet. Additional improvements would include an approximately 3,000 square foot exterior deck with a new water feature, landscaping and seating areas.

Conclusion

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings (Attachment 8) to support the approval of

the proposed development and draft conditions of approval (Attachment 9). Staff is recommending the Hearing Officer approve the project as presented.

ALTERNATIVES

1. **Approve** Conditional Use Permit No. 1312103, **with modifications.**
2. **Deny** Conditional Use Permit No. 1312103, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



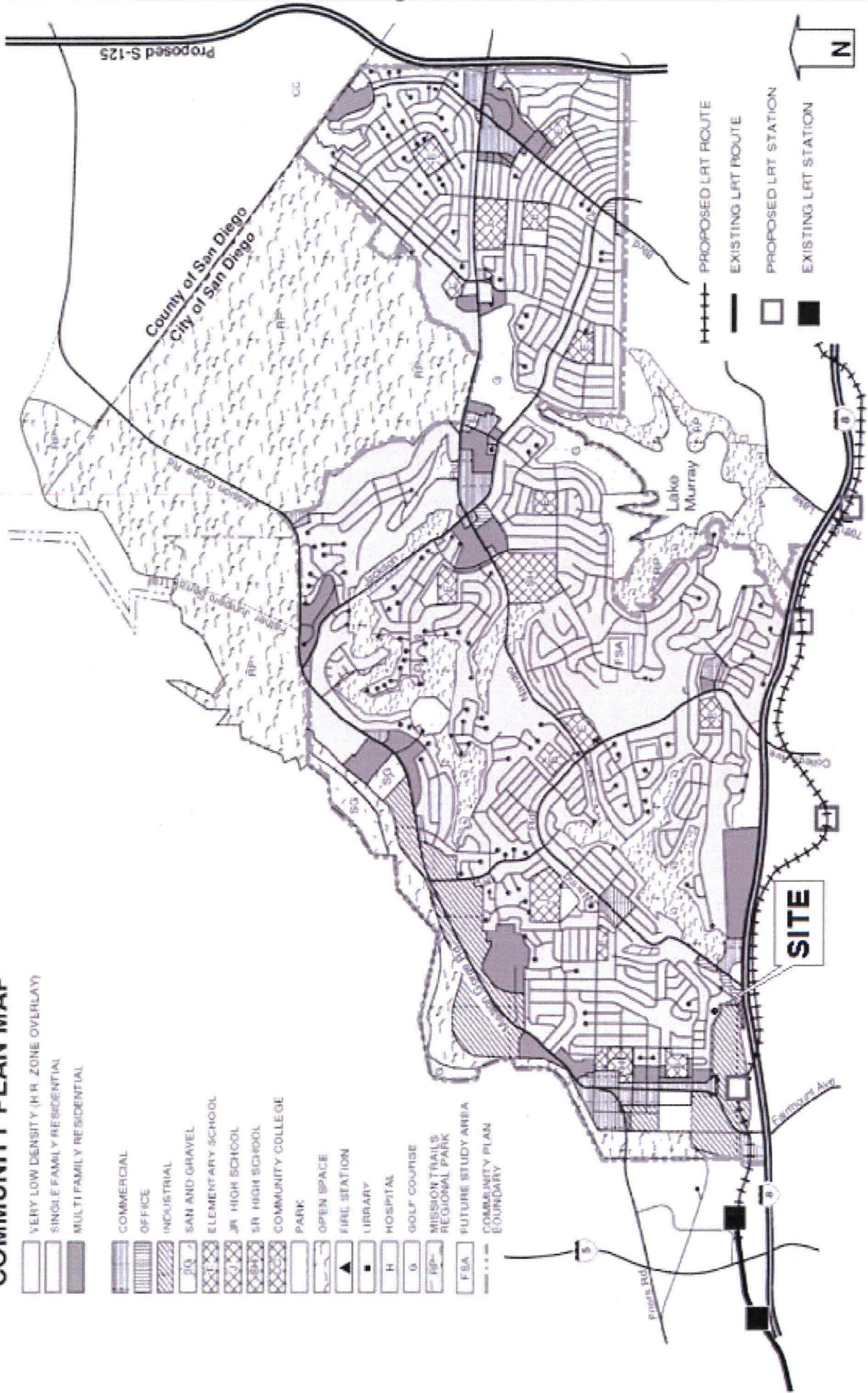
John S. Fisher
Development Project Manager
Development Services Department

Attachments:

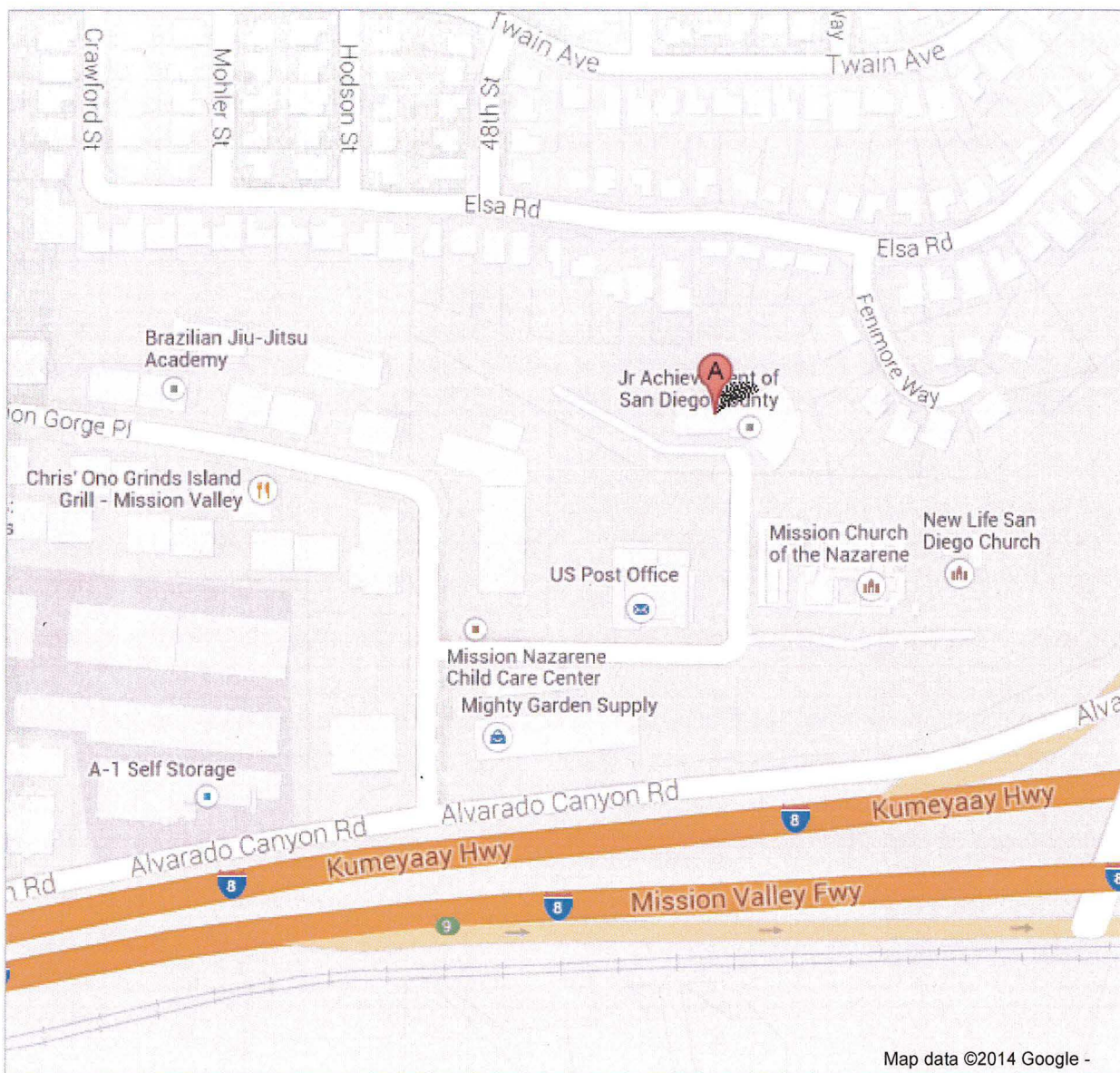
1. Community Plan Land Use Map
2. Project Location Map
3. Grantville Redevelopment District
4. Aerial Photograph
5. Conditional Use Permit No. 18421
6. Conditional Use Permit No. 263141
7. Draft Permit Resolution with Findings
8. Draft Permit with Conditions
9. Notice of Environmental Exemption
10. Project Plans
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement

COMMUNITY PLAN MAP

- VERY LOW DENSITY (H.R. ZONE OVERLAY)
- SINGLE FAMILY RESIDENTIAL
- MULTI FAMILY RESIDENTIAL
- COMMERCIAL
- OFFICE
- INDUSTRIAL
- SAN AND GRAVEL
- ELEMENTARY SCHOOL
- JR HIGH SCHOOL
- SR HIGH SCHOOL
- COMMUNITY COLLEGE
- PARK
- OPEN SPACE
- FIRE STATION
- LIBRARY
- HOSPITAL
- GOLF COURSE
- MISSION TRAILS REGIONAL PARK
- FSA
- COMMUNITY PLAN BOUNDARY



To see all the details that are visible on the screen, use the "Print" link next to the map.



El Niño V02.03.38 JSFISHER DSD

File View Map Window Help

Parcel Polygon Information - [461-252-0900]

Map Projects Contacts Pre PTS Permit History Parcel Condition Record Documents CE Cas

Description

- Roads
- Freeways
- Parcels
- Redevelopment Distr

GRANTVILLE REDEVELOPMENT PROJECT AB1290

Data View: Features Intersecting with Principal Parcel

| Feature Name | Feature Detail |
|---|--|
| GRANTVILLE REDEVELOPMENT PROJECT AB1290 | FUND: 504124 // AGENCY: City Redevelopment |

Ready

10:27 AM
11/26/2014

ATTACHMENT 4

To see all the details that are visible on the screen, use the "Print" link next to the map.



RETURN TO:

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84-385835

ATTACHMENT 5

ZONING ADMINISTRATION
(Mail Station 300)
City Operations Building
1222 First Avenue
San Diego, California 92137

RECORDED IN
OFFICIAL RECORDS
OF SAN DIEGO COUNTY, CA.

1984 OCT 11 AM 11: 54

VEPA L LYLE
COUNTY RECORDER

NO FEE

CITY OF SAN DIEGO - DECISION OF THE ZONING ADMINISTRATOR - CASE NO. 18421

CONDITIONAL USE PERMIT

The Zoning Administrator has APPROVED the request of SAN DIEGO YOUTH FOR CHRIST to use property for (1) church related office, counselling, and recreational facilities; (2) access to the property will be provided through the properties to the south over a nonrevocable easement; (3) height of building to be 54'-0" where maximum 30'-0" height is permitted; (4) retaining walls will be maximum of 18'-0" high where 10'-0" high only is permitted - Portions of Lot 5, Elsa Heights, Map No. 4069, located at 6040 Fenimore Way, Zone R-1-5/Hillside Review Overlay Zone, subject to the following conditions:

1. That the soils studies shall be reviewed and approved by Engineering and Development Department;
2. That the project shall comply with all requirements of the Fire Department and Building Inspection Department;
3. That a copy of the nonrevocable vehicular and pedestrian easement shall be submitted to Zoning Administration and recorded with the County Recorder;
4. That following review and approval of the Hillside Review Permit and Engineering and Development Department and Fire Department, that final plans shall be submitted to and reviewed by Zoning Administration prior to the issuance of any permits;
5. That this Conditional Use Permit shall be recorded within thirty (30) days of receipt of this resolution.

FINDING OF FACTS

a. The subject property is an unimproved 3.4 acre parcel which slopes in a southerly direction. It is visible from Interstate 8 and is south of Elsa Road, west of Fenimore Way and on the northeast of Mission Gorge Place. The subject property is located in the Hillside Review Overlay Zone. In July 1984, a Negative Declaration Report was reviewed on the subject property (84-0280).

A previous Conditional Use Permit was approved (C-17336) on the subject property to construct church related facilities. At that time EQD No. 81-07-25 was issued.

Fenimore Way is a 50'-0" right-of-way with a curb-to-property-line distance of 10'-0". A 14'-0" wide driveway leads to the subject property from Fenimore Way. The first 50'-0" is level with street grade on Fenimore Way. At this point the property drops down a steep canyon area to the proposed construction site.

Direct access to the subject property is infeasible from this location due to the steep slope. The property immediately to the south of the subject property is improved with the Church of Nazarene, consisting of a total of three building, two one-story and one two-story buildings.

Extensive grading has been done to prepare for the construction of the site. Properties fronting on Mission Gorge Place and adjacent to the west of the subject property are developed with a mixture of commercial, industrial, and manufacturing businesses.

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CUP-18421

The applicant is proposing to construct a church related office and training facilities. Access to the property will be provided through the properties to the south over a nonrevocable easement. The height of the building results in 54'-0" where a maximum height of 30'-0" is permitted. Approximately 795'-0" of retaining walls are proposed around the property adjacent to proposed parking, which will elevate to a maximum of 18'-0" where a maximum of 10'-0" high walls are permitted. Access to the site will be provided by a 30'-0" wide easement southerly across the church and the new distribution center site to the proposed east-west road which will connect with Mission Gorge Place, where direct access to a street or alley is required. Mission Gorge Place terminates in the temporary turn-around to the east. The improved portions of Mission Gorge Place are paved to a width of 64'-0" with a curb-to-property-line distance of 10'-0". The applicant is proposing landscaping around the perimeter of the building.

At the public hearing, opposition was expressed concerning the architecture and the desire to require soils studies. The height of the structure and noise, as well as handicapped access were also questioned. The Hearing Officer reviewed the location of this project and its separation in elevation from residential uses to the north and northeast. Soils studies were earlier prepared and will be reviewed by Building Inspection Department and/or Engineering and Development Department prior to issuance of permits. The Hearing Officer found that the proposed shared parking arrangement and divergent uses of the subject property and the Church of the Nazarene would provide adequate accommodations and would not represent an adverse impact upon the surrounding area. Similarly, in view of the information and testimony received at the hearing, the Hearing Officer found that the project as proposed would not, with conditions imposed, adversely affect the neighborhood, the General Plan or the Community Plan, and would not be detrimental to the health, safety and general welfare of persons residing or working in the area.

b. The proposed use will comply with all the relevant regulations in the Municipal Code.

This Conditional Use Permit is not a permit or license and any permits and licenses required by law must be obtained from the proper department. Furthermore, if any condition of this Grant is violated, or if the same be not complied with in every respect, then this Conditional Use Permit shall be subject to revocation; provided, however, that after being notified in writing by the City that a condition has been violated and that subject permit is null and void within ten (10) days, an appeal may be filed with the Board of Zoning Appeals to show cause why subject permit should be reinstated.

Failure to utilize such Conditional Use Permit within the thirty-six (36) month period will automatically void the same, in accordance with Municipal Code Section 101.0508. Except as provided in Section 101.0509, during the thirty-six (36) month period referred to in this Section, the property covered by a Conditional Use Permit granted by the Zoning Administrator shall not be used for any purpose other than that authorized by the permit.

The permission granted by this Conditional Use Permit shall become effective and final on the eleventh day after a decision is made; said appeal to be filed in Zoning Administration, Third Floor, City Operations Building, 1222 First Avenue. An appeal from any decision of the Zoning Administrator may be taken to the Board of Zoning Appeals by the applicant, any governmental body or agency, by any owner of real property located within the City or by any resident of the City. See Municipal Code Section 101.0504.

CITY PLANNING DEPARTMENT

Joseph T. Flynn
Joseph T. Flynn
Zoning Administrator

No. 3883835
4-04

JT JB:eg

CC: Bruce Oveson
P.O. Box 950
San Diego, CA 92112

Mrs. Richard Daly
5775 Eldergardens Street
San Diego, CA 92120

AUG 3 1984

RIGHT OF APPEAL, expires
10 DAYS
after the above date.

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CUP-18421

The applicant is proposing to construct a church related office and training facilities. Access to the property will be provided through the properties to the south over a nonrevocable easement. The height of the building results in 54'-0" where a maximum height of 30'-0" is permitted. Approximately 795'-0" of retaining walls are proposed around the property adjacent to proposed parking, which will elevate to a maximum of 18'-0" where a maximum of 10'-0" high walls are permitted. Access to the site will be provided by a 30'-0" wide easement southerly across the church and the new distribution center site to the proposed east-west road which will connect with Mission Gorge Place, where direct access to a street or alley is required. Mission Gorge Place terminates in the temporary turn-around to the east. The improved portions of Mission Gorge Place are paved to a width of 64'-0" with a curb-to-property-line distance of 10'-0". The applicant is proposing landscaping around the perimeter of the building.

At the public hearing, opposition was expressed concerning the architecture and the desire to require soils studies. The height of the structure and noise, as well as handicapped access were also questioned. The Hearing Officer reviewed the location of this project and its separation in elevation from residential uses to the north and northeast. Soils studies were earlier prepared and will be reviewed by Building Inspection Department and/or Engineering and Development Department prior to issuance of permits. The Hearing Officer found that the proposed shared parking arrangement and divergent uses of the subject property and the Church of the Nazarene would provide adequate accommodations and would not represent an adverse impact upon the surrounding area. Similarly, in view of the information and testimony received at the hearing, the Hearing Officer found that the project as proposed would not, with conditions imposed, adversely affect the neighborhood, the General Plan or the Community Plan, and would not be detrimental to the health, safety and general welfare of persons residing or working in the area.

b. The proposed use will comply with all the relevant regulations in the Municipal

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CAT. No. NN00737
TO 1945 CA (7-82)

PUBLIC AGENCY

STATE OF CALIFORNIA) ss.
COUNTY OF SAN DIEGO)

On October 10, 1984 before me, the undersigned, a Notary Public in and for said State, personally appeared JOSEPH T. FLYNN, personally known to me or proved to me on the basis of satisfactory evidence to be the person who executed the within instrument as the Zoning Administrator, of the City of San Diego, and acknowledged to me that such agent, executed the same.

WITNESS my hand and official seal.

Signature Essie Gurganious
Essie Gurganious



No 385835

04-

P.O. Box 950
San Diego, CA 92112

Mrs. Richard Daly
5775 Eldergardens Street
San Diego, CA 92120

AUG 3 1984

RIGHT OF APPEAL expires
10 DAYS
after the above date.

Applicant shall have agreed to each and every condition hereof by having this permit signed within thirty (30) days of the decision of the Zoning Administrator.

The undersigned Permittee by execution hereof agrees to each and every condition of this permit and promises to perform each and every obligation of Permittee hereunder.

SAN DIEGO YOUTH FOR CHRIST

BY: Edward C. Beach
Edward C. Beach, President
BY: Harold G. Ayer, Jr.
Harold G. Ayer, Jr. Secretary

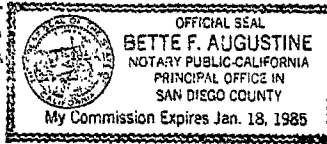
Form 3002—(Corporation) First American Title Company

STATE OF CALIFORNIA }
COUNTY OF San Diego } ss.

On October 8, 1984 before me, the undersigned, a Notary Public in and for said State, personally appeared EDWARD C. BEACH known to me to be the PRESIDENT, and HAROLD G. AYER, JR. known to me to be the SECRETARY of the corporation that executed the within instrument and known to me to be the persons who executed the within instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the within instrument pursuant to its by-laws or a resolution of its board of directors.

signed, a Notary

WITNESS my hand and official seal.



/ evidence to be
acknowledged that

Signature: Bette F. Augustine
BETTE F. AUGUSTINE

Name (Typed or Printed)

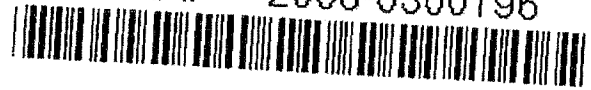
(This area for official notarial seal)

Notary Public in and for the County of
San Diego, State of California

CUP-eg

No 385835
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DOC # 2006-0300196



APR 28, 2006 1:37 PM

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SMITH, COUNTY RECORDER
FEES: 32.00
PAGES: 9



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RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

15702

WHEN RECORDED MAIL TO
PERMIT INTAKE
MAIL STATION 501

JOB ORDER NUMBER: 42-5222

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 263141
JUNIOR ACHIEVEMENT CUP AMENDMENT - PROJECT NO. 83600
AMENDMENT TO CONDITIONAL USE PERMIT NO.18421
HEARING OFFICER

This Conditional Use Permit No. 263141 is granted by the Hearing Officer of the City of San Diego to JUNIOR ACHIEVEMENT OF SAN DIEGO, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0305 and 141.0502. Amendment to Conditional Use Permit No.18421 to change the use of the property from church to educational facility (grades Kindergarten through Grade 12) on a 3.4 acre site located at 4756 Mission Gorge Place within the RS-1-7 zone and Navajo Community Planning area. The project site is legally described as all of Parcel 1 of Lot 5 in Elsa Heights, according to Map No. 4069 and Parcel 2 an easement and right-of-way for road, sewer, water, gas, power, and telephone lines, and appurtenances thereto over, under, along, and across those portions of the C.F.S. Tract, according to Map thereof No. 10221, within the City of San Diego, County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate an educational facility in an existing 23,000 square foot building, previously used as a church, described and conditioned by size, quantity, type, and location on the approved exhibits, dated April 5, 2006, on file in the Development Services Department.

The project or facility shall include:

- a. Amendment to Conditional Use Permit No. 18421 (recorded on October 11, 1984, document number 84-385835) to allow the change of use from a church to educational facility;
- b. Tenant improvements to existing 23,000 square foot building to create a 19,000 square foot educational facility and 4,000 square feet of accessory office space;
- c. Hours of Operation from Monday through Friday, from 8:30 AM to 5:30 PM;

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- d. A maximum of 100 students and 20 staff.
- e. Accessory improvements determined by the City Engineer/designee to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. Conditional Use Permit No. 18421 shall remain in effect for the existing 23,000 square foot building and existing on-site accessory structures/improvements.
2. Construction must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
3. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder
4. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Engineer/designee.
5. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
6. The utilization and continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

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8. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
9. Before issuance of any building permits, complete working drawings shall be submitted to the City Engineer/designee for approval. Plans shall be in substantial conformity to Exhibit "A," on file in the Development Services Department. No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.
11. In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

PLANNING/DESIGN REQUIREMENTS:

12. No fewer than 49 off-street parking spaces, including 2 disable-accessible spaces, shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A," on file in the Development Services Department. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Engineer/designee.
13. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.
14. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this

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Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

15. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this Permit.

16. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

17. All private outdoor lighting shall be shaded and adjusted to fall on the same premise where such lights are located and in accordance with the applicable regulations in the SDMC.

18. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

19. A sign program for exterior signs may be submitted prior to initiation of the use. If submitted and approved, the sign program shall regulate signs on this property. If no sign program is approved, all signs shall comply with requirements of the Municipal Code.

ENGINEERING REQUIREMENTS:

20. The applicant shall construct sidewalk transitions for the existing driveway, adjacent to Parcel 2 on Mission Gorge Place. All work shall be completed and accepted by the City Engineer, prior to building occupancy.

21. The applicant shall replace the cracked sidewalk panel, adjacent to the site on Fenimore Way. All work shall be completed and accepted by the City Engineer, prior to building occupancy.

22. Prior to the issuance of any construction permit, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction or specifications.

23. Prior to the issuance of any construction permit, the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City Storm Water Standards.

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TRANSPORTATION REQUIREMENTS:

24. The applicant shall restripe and maintain all faded parking spaces in accordance with San Diego Municipal Code Section 142.0560.
25. The maximum number of students enrolled shall not exceed 100 students.
26. The maximum number of staff and faculty shall not exceed 20 persons at one time.
27. The applicant shall maintain a minimum of 49 parking spaces, including 2 accessible spaces on-site. The required parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A," on file in the Development Services Department. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Engineer.
28. The applicant shall construct a 4 feet sidewalk with a 6-inch curb along the north side of the parking spaces, acceptable to the City Engineer.
29. The applicant shall provide adequate turn around space at the western end of the parking lot as shown on the approved Exhibit "A" on file in the Development Services Department, acceptable to the City Engineer.
30. Prior to the issuance of any building permit, the applicant shall provide and maintain a shared parking agreement for a minimum of six (6) parking spaces that can not be provided on-site, in accordance with Municipal Code Table 142-05F.

INFORMATION ONLY:

Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

APPROVED by the Hearing Officer of the City of San Diego, on April 5, 2006, pursuant to Hearing Officer Resolution No. HO-06-094.

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ALL-PURPOSE CERTIFICATE

CONDITIONAL USE PERMIT NO. 263141

Date of Approval: April 5, 2006

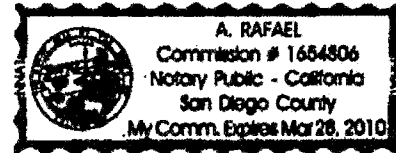
STATE OF CALIFORNIA
COUNTY OF SAN DIEGO

Anne B. Jarque
Anne B. Jarque, Development Project Manager.

On April 27, 2006, before me, A. Rafael
personally appeared Anne B. Jarque, Development Project Manager of the Development Services Department of the City of San Diego, personally known to me to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

Signature A. Rafael
(Name of Notary) A. RAFAEL



ALL-PURPOSE CERTIFICATE

OWNER(S)/PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED OWNER(S)/PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF OWNER(S)/PERMITTEE(S) THEREUNDER.

Signed Joanne Pastula Signed _____
(Typed Name) Joanne Pastula (Typed Name) _____

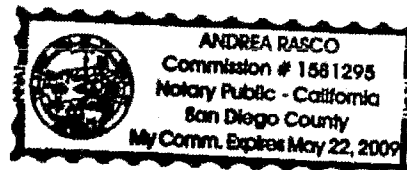
PRESIDENT/CEO of JUNIOR ACHIEVEMENT OF SAN DIEGO

STATE OF California
COUNTY OF San Diego

On April 10, 2006, before me, Andrea Rasco (Name of Notary Public) personally appeared Joanne Pastula (owner/permittee), personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Andrea Rasco
(Name of Notary)



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HEARING OFFICER RESOLUTION NO. HO-5308
CONDITIONAL USE PERMIT NO. 263141
JUNIOR ACHIEVEMENT CUP AMENDMENT – PROJECT NO. 83600

WHEREAS, JUNIOR ACHIEVEMENT OF SAN DIEGO, Owner/Permittee, filed an application with the City of San Diego to amend Conditional Use Permit No. 18421, approved August 3, 1984, to change the existing use of an existing 23,000 square foot building from church to educational facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 263141) on a portion of a 3.4 acres site; and

WHEREAS, the project site is located at 4756 Mission Gorge Place in the RS 1-7 zone (Residential) within the Navajo community planning area; and

WHEREAS, the project site is legally described all of Lot 5 in Elsa Heights according to Map No. 4069; and

WHEREAS, on April 5, 2006, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 263141, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 5, 2006:

FINDINGS:

Conditional Use Permit - Section 126.0305

1. **The proposed development will not adversely affect the applicable land use plan;**

The proposed development is to change the use within an existing 23,000 square foot building from a church to a school. The project site is designated for Residential use in the Navajo Community Plan and is zoned RS-1-7. The proposed project would comply with the requirements of the underlying RS 1-7 (Residential) zone which allows educational facilities as a separately regulated use with a Conditional Use Permit. A goal of the Navajo Community Plan is to "assure that educational facilities are constructed and maintained to serve the population of the community. The change in use of the property would provide students from San Diego County and within the Navajo community planning area a hands-on learning environment that would promote economic, social, and business skills related to a modern free enterprise society. The proposed change of use converting an existing church to an education facility is consistent with goals and objectives contained in the Navajo Community Plan.

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2. **The proposed development will not be detrimental to the public health, safety, and welfare;**

The proposed development is to change the use within an existing 23,000 square foot building from a church to a school. The proposed project to amend Conditional Use Permit No. 18421 would allow the change of use from a religious (church) facility to an educational facility. The applicant is not proposing any exterior modifications to the existing two-story, 23,000 square-foot building. The applicant would be required to obtain the necessary building permits for the interior remodeling to create classrooms and office space and shall comply with the current regulations for such tenant improvements. The educational facility (primarily teaching students basic economic skills by hands-on activities) will not create a use or improvement considered detrimental to the public health, safety, and welfare of the community because it replaces an existing institutional (religious) use with a similar passive institutional (educational) use.

3. **The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code;**

The proposed development is to change the use within an existing 23,000 square foot building from a church to a school. The Land Development Code (LDC) permits educational uses with a Conditional Use Permit in the RS-1-7 zone. The proposed Junior Achievement development would amend the previous CUP No. 18421 to change the use from church to educational facility. The applicant is not proposing any exterior modifications to the existing two-story, 23,000 square-foot building. The applicant would be required to obtain the necessary building permits for the interior remodeling to create classrooms and office space and shall comply with the current regulations for such tenant improvements. The project will maintain 49 parking spaces. Conditions of the permit will also limit the maximum number of students to 100 and the number of faculty/staff to 20 persons per day.

4. **The proposed use is appropriate at the proposed location.**

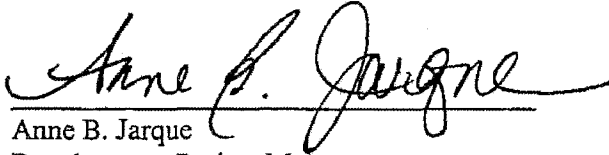
The proposed development is to change the use within an existing 23,000 square foot building from a church to a school. The subject property is a developed 3.4 acre parcel adjacent to single family residential property to the north, property with institutional uses (child care facility, church and post office) to the south and property developed with light industrial uses to the west. The facility is isolated from the single family residences by a steep slope that descends 100 feet from Fenimore Way. The building is additionally vertically separated from industrial areas to the west and south by approximately 20 feet. The proposed educational facility is complimentary to the adjacent institutional uses as well as easily accessible from major roads and freeways, including the Interstate-8 freeway and Mission Gorge Road. The facility's close proximity to the Grantville Trolley station also provides students access to mass transit.

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BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 263141, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Conditional Use Permit No. 263141, a copy of which is attached hereto and made a part hereof.



Anne B. Jarque
Development Project Manager
Development Services

Adopted on: April 5, 2006

Job Order No. 42-5222

cc: Legislative Recorder, Planning Department

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**HEARING OFFICER RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1312103
Amendment to Conditional Use Permit No. 263141 and Conditional Use Permit No. 18421
JA FINANCE PARK CUP AMENDMENT PROJECT NO. 372846**

WHEREAS, CAPSTONE PROGRAMS, LLC, a Delaware limited liability company, Owner/Permittee, filed an application with the City of San Diego for a permit to allow a building expansion for a total building area of approximately 26,416 square feet and a maximum increase in students and staff to a total of 250 and 25 respectively (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1312103), on portions of a 3.4 acre site;

WHEREAS, the project site is located at 4756 Mission Gorge Place in the RS-1-7 zone of the Navajo Community Plan;

WHEREAS, the project site is legally described as Lot 5 in Elsa Heights, according to Map thereof No. 4069, filed January 30, 1959;

WHEREAS, on V13 - DATE, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1312103, amendment to Conditional Use Permit No. 263141 and Conditional Use Permit No. 18421, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on [INSERT DATE], the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated V19 - DATE.

FINDINGS:

Findings for Conditional Use Permit – Section 126.0305

(a) The proposed development will not adversely affect the applicable land use plan. The JA Finance Park CUP Amendment project (Project) will allow a building expansion for a total building area of approximately 26,416 square feet and a maximum increase in students and staff to a total of 250 and 25 respectively. The Project proposes to increase the building floor area by 419 square feet, add 150 students for a total of 250 students, and add five staff for a total staff of twenty-five, and additional improvements will include an approximately 3,000 square foot exterior deck with a new water feature, landscaping, and seating areas.

The Project will not adversely affect the Navajo Community Plan which has a goal to assure that educational facilities are constructed and maintained to serve the population of the community. The additional physical improvements and increase in students and staff will contribute to realizing the goal of the community plan. The Project will contribute to the economic, social and business success of its students. Therefore, the Project will not adversely affect the Navajo Community Plan.

(b) The proposed development will not be detrimental to the public health, safety, and welfare. The JA Finance Park CUP Amendment project (Project) will allow a building expansion for a total building area of approximately 26,416 square feet and a maximum increase in students and staff to a total of 250 and 25 respectively. The Project proposes to increase the building floor area by 419 square feet, add 150 students for a total of 250 students, and add five staff for a total staff of twenty-five, and additional improvements will include an approximately 3,000 square foot exterior deck with a new water feature, landscaping, and seating areas.

The Project will not be detrimental to public health, safety and welfare because the permit controlling the development and continued use of the proposed Project for this site contains specific conditions addressing the Project's compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations, and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and the final construction will comply with all regulations, which will assure the continued health, safety and general welfare of persons residing or working in the area. Therefore, the Project will not be detrimental to the public health, safety, and welfare.

(c) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code. The JA Finance Park CUP Amendment project (Project) will allow a building expansion for a total building area of approximately 26,416 square feet and a maximum increase in students and staff to a total of 250 and 25 respectively. The Project proposes to increase the building floor area by 419 square feet, add 150 students for a total of 250 students, and add five staff for a total staff of twenty-five, and additional improvements will include an approximately 3,000 square foot exterior deck with a new water feature, landscaping and seating areas.

The site is zoned RS-1-7 for single family development. The proposed Project is consistent with all the development regulations of the RS-1-7 zone, as allowed with the approval of a conditional use permit. No deviations are required to approve the Project. Therefore, the proposed development will comply with the regulations of the Land Development Code.

(d) The proposed use is appropriate at the proposed location. The JA Finance Park CUP Amendment project (Project) will allow a building expansion for a total building area of approximately 26,416 square feet and a maximum increase in students and staff to a total of 250 and 25 respectively. The Project proposes to increase the building floor area by 419 square feet, add 150 students for a total of 250 students, and add five staff for a total staff of twenty-five, and additional improvements will include an approximately 3,000 square foot exterior deck with a new water feature, landscaping and seating areas.

The facility is isolated from the single family residences on the north and east by a steep slope that rises 100 feet from the site to Fenimore Way. The site is further separated from the industrial uses to the west and south by approximately twenty feet. The Project is complementary to the adjacent institutional uses as well as easily accessible from major roads and freeways, including Interstate 8 and Mission Gorge Road. The location of the Project is in close proximity to the Grantville Trolley station which provides students and staff access to public mass transit. A Water Quality Study, prepared by Michael Schweitzer RCE of SWS Engineering, dated 10/1/14, for the Project was reviewed by city engineering staff educated and licensed in civil engineering. Conclusion of staff's review is the Site Design BMPs and Source Control BMPs analysis is adequate and adheres to the City of San Diego Storm Water Standards. The proposed Project is exempt from CEQA pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Therefore, the proposed use is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1312103 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1312103, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: V27 - DATE OF APPROVAL

Job Order No. 24004751

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004751

CONDITIONAL USE PERMIT NO. 1312103

JA FINANCE PARK CUP AMENDMENT PROJECT NO. 372846

Amendment to Conditional Use Permit No. 263141 and Conditional Use Permit No. 18421

HEARING OFFICER

This Conditional Use Permit No. 1312103, amendment to Conditional Use Permit No. 263141 and Conditional Use Permit No. 18421, is granted by the Hearing Officer of the City of San Diego to CAPSTONE PROGRAMS, LLC, a Delaware limited liability company, Owner/Permittee, pursuant to San Diego Municipal Code section 126.0305. The 3.4 acre site is located at 4756 Mission Gorge Place in the RS-1-7 zone of the Navajo Community Plan. The project site is legally described as Lot 5 in Elsa Heights, according to Map thereof No. 4069, filed January 30, 1959.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow a building expansion for a total building area of approximately 26,416 square feet and a maximum increase in students and staff to a total of 250 and 25 respectively, at an existing educational facility on a 3.4 acre site located at described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date], on file in the Development Services Department.

The project shall include:

- a. A building expansion for a total building area of approximately 26,416 square feet and a maximum increase of students and staff to a total of 250 students and 25 staff at an existing educational facility;
- b. An approximately 3,000 square foot exterior deck, including new water feature, landscaping (planting, irrigation and landscape related improvements), and seating areas;

- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [ENTER DATE including the appeal time].
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. The project proposes to export fifty cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

15. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

16. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A." Construction plans shall show, label, and dimension a forty square foot area around each tree which is unencumbered by hardscape and utilities as set forth under San Diego Municipal Code section 142:0403(b)(5).

17. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other City-approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

18. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

19. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete Landscape Construction Documents showing the brush management zones on the property in substantial conformance with Exhibit "A" in accordance with the Landscape Standards, to the satisfaction of the Development Services Department.

PLANNING/DESIGN REQUIREMENTS:

20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
21. All signs associated with this development shall be consistent with sign criteria established by the San Diego Municipal Code Chapter 14, Article 2, Division 12.
22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
23. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.
24. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the Exhibit "A," including, but not limited to, elevations and cross sections or the maximum permitted building height of the underlying zone, whichever is lower.
25. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.
26. All fences and retaining walls shall comply with San Diego Municipal Code Section 142.0301.

TRANSPORTATION REQUIREMENTS:

27. A minimum of 54 off-street automobile parking spaces including 1 van accessible, 2 accessible, 6 carpool or zero emissions vehicles, and 6 motorcycle parking spaces, and 3 long term bicycle and 3 short term bicycle parking spaces shall be permanently maintained on the property within the approximate location shown on Sheet A1.2 including the shared parking agreement shown on Sheets A1.0B and A1.7.
28. Within five years from the date of approval of this permit, the existing parking lot shall be restriped as shown on Sheet A2.0 of the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
29. Prior to final inspection of any building permit, the Owner/Permittee shall provide a fully executed Shared Parking Agreement indicating eleven parking spaces at another property shall

be available for the exclusive use of the Owner/Permittee for recording at the County of San Diego Recorder's Office, satisfactory to the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on[**INSERT Approval Date**] by [Approved Resolution Number].

Permit Type/PTS Approval No.: CUP No. 1312103
Date of Approval:

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CAPSTONE PROGRAMS, LLC,
a Delaware limited liability company
Owner/Permittee

By _____
Joanne M. Pastula
President/Chief Executive Officer

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: 12/9/14

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

IO No. 24004751

PROJECT NAME/NUMBER: JA Finance Park/372846

COMMUNITY PLAN AREA: Navajo Community Plan Area

COUNCIL DISTRICT: 7

LOCATION: The project is located at 4756 Mission Gorge Place, San Diego California.

PROJECT DESCRIPTION: Amendment to Conditional Use Permit (CUP) No. 263141 for building improvements and an increase in students and staff at an existing educational facility on a 3.4 acre site. The upgrade to the existing building would consist of tenant improvements on the first level along with the installation of a deck and landscaping areas.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt pursuant to CEQA State Guidelines Sections 15301- Existing Facilities

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) which allows for interior and exterior alterations and minor editions to existing public or private structures. Since the project would increase the facility capacity from a maximum of 100 students to 250 students and staff levels from 23 to 25 without resulting in any impact to sensitive resources, including traffic impacts, the project qualifies to be categorical exempt and the exceptions listed in CEQA Section 15300.2 would not apply.

CITY PROJECT MANAGER: John Fisher

MAILING ADDRESS: 1222 First Avenue, MS 501
San Diego, CA 92101

PHONE NUMBER: (619) 446-5231

On 12/9/14 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Project Manager listed above.

Applications to appeal the CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice and therefore the appeal period would end on 12/23/14. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

USE SUMMARY - OTHER PROJECT DATA

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| PERMIT REQUIRED: | Amendment to Conditional Use Permit 263141. Change 1st floor Business Use to Educational Use. |
| PLANNED USE: | Minor modifications of exterior building within existing building footprint. Interior remodel of the existing 7,839 SF of existing accessory office space to educational use to include the addition of 570 sf of new office and educational space. |
| (E) Educational Space to remain: | 10,382 SF |
| (E) Office Space to remain: | 6,710 SF |
| (N) Additional Educational Space: | 8,124 SF |
| (N) Additional Office Space: | 285 SF |
| (E) Assembly Space: | 915 SF |
| Total Square Footage: | 26,416 SF |
| PLANNED OCCUPANCY: | Anticipated Staff: 25 Anticipated Number of Students Per Day: 250 K-9 Students Maximum Number of Students Allowed (per Table 1004.1.2., CBC 2013): 921 |
| Occupancy Load Factor: | |
| 18,406 SF (Classroom)/20: | 921 |
| 6,995 SF (Offices)/100: | 70 |
| 915 SF (Assembly)/15: | 61 |
| Total Maximum Occupancy: | 1,052 |
| HOURS OF OPERATION: | Monday thru Friday: 8:30 AM to 5:30 PM Open to Students: 9:30 AM to 2:00 PM |
| PARKING CALCULATION: | Existing Parking Spaces: 49 Number of Standard Spaces: 46 Number of Disabled Spaces: 3 Required Parking for K-9 Educational Facility: 2 spaces per classroom Total Number of (E) Visiting Classrooms: 14 Total Number of (N) Visiting Classrooms: 1 Total Number of Visiting Classrooms: 15 Total Parking Required for Visiting Classrooms: 30 Required Parking for Offices: 3.3/1000 SF Total Office Space SF: 6,995 SF Total Parking Required for Offices: 24 Total Number of Required Parking: 54 |

DEVELOPMENT SUMMARY (CONTINUED)

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| TYPE OF CONSTRUCTION: | Type V Construction. Concrete slab on grade with wood-frame structure on two-story portion of building. Auditorium is steel frame building. |
| ZONING: | RS-1-7 Zone / Navajo Community Plan Area/ Grantville Redevelopment Area Montgomery Field Airport Overlay Zone |
| GROSS SITE AREA: | 3.4 acres |
| FLOOR AREA: | 26,273 sf |
| FLOOR AREA RATIO: | 0.15 |
| EXISTING OCCUPANCY: | B - Occupancy (Office) E - Occupancy (Education) |
| YEAR CONSTRUCTED: | 1986 |
| GEOLOGICAL HAZARD: | Category 52 |
| TOTAL LANDSCAPE AREA: | 3,000 sf |
| EXISTING USE: | Junior Achievement of San Diego County – a nonprofit organization dedicated to "empowering young people through their economic success" – currently operates within the property located at 4756 Mission Gorge Place. The current educational program is titled "Junior Achievement – Biz Town" and is an open area of mock retail storefronts geared towards educating elementary school aged children about the power of finances. The existing facility is 25,673 sf and contains 10,382 sf of educational area and 15,615 sf of business occupancy and accessory occupancy space to support the program operations. The facility currently serves up to 100 students per day with a maximum of 20 staff and volunteers. All students are transported to and from the facility by school bus, and all staff and all volunteers park within the provided onsite parking areas. 49 off-street parking spaces are provided in addition to 11 parking spaces provided with a shared parking agreement with the neighboring church property. The Junior Achievement staff is comprised of 22 people, 11 of the 22 people are part time and outside education managers who spend the majority of their time in the field visiting schools and companies training volunteers. The hours of operation for these employees is Monday through Friday – from 8:30 am to 5:30 pm year round. The students who are educated at this facility arrive on a part time basis for 5 hours a day – 145 days out of the year. |
| PROPOSED USE: | Junior Achievement is looking to expand on their current operations and transform existing business occupancy space into new educational learning lab space. This proposed addition will be titled "Finance Park" and will be a finance educational program geared towards high school aged students. With this new educational program, there is going to be a slight increase in the number of staff members up to 25 staff members from the current 22 staff members, however not all staff members are on site each day. The number of students that will be taught at one time will be increased up to 250 students from the currently permitted 100 students. This increase assumes the addition of up to 4 high school classes, their teacher and up to 2 parent volunteers per classroom. The additional students, staff and volunteers would also all arrive by bus and follow the same drop off patterns currently utilized for Biz town now. Refer to plans for bus route and parking locations. (A1.5) Since all students, teachers and volunteers shall arrive by bus, no additional parking stalls are effectively required. However to meet municipal parking requirements we have allowed for 2 stalls per additional classroom (total 8 stalls). This parking shall be accommodated via a modified shared parking agreement with the adjacent Mission Valley Church of Nazarene (agreement attached). Refer to the plans for parking summary. No additional ADA stalls will be provided. The current policy is that Junior Achievement provides assistance to any student who requires it, to get from the bus to the building. This same policy will be in place for the additional use. |
| EXISTING CONDITIONAL USE PERMIT REGULATIONS: | 1. Conditional use permit #263141 (amendment to CUP # 18421) allows for a 23,000 sf building. Per the approved exhibit "A" plans for CUP #263141, the building overall square footage is incorrect on the CUP amendment. The approved building plans per exhibit "A" show the building as 25,997 sf. With the proposed enclosure of the corner of the building and west entry area, the proposed building square footage will be 26,416 sf. Note that the enclosure will be above grade and within the existing foundation/footprint of the building. This is an increase of the overall project area of 419 sf. 2. Conditional use permit #263141 (amendment to CUP # 18421). The total educational area for the project will be 18,506 sf – below the 19,000 sf of educational space allowed in the conditional use permit. 3. Conditional use permit #263141 (amendment to CUP # 18421) allows for a maximum of 100 students and 20 staff. With the modification of the ground level space from business occupancy to educational occupancy, the student and staff load will increase. The new space will allow a maximum occupancy of 921 for education and 81 under office. 4. Conditional use permit #263141 (amendment to CUP # 18421) requires 49 off street parking stalls including 2 accessible parking stalls. Also required is a minimum of 6 parking stalls to be maintained by an adjacent property with a shared parking agreement. The 49 off street parking stalls are maintained, and Junior Achievement has confirmed with the church that they will provide an additional 11 parking stalls per a shared parking agreement. All students are still bussed to the site per the previously approved CUP conditions. |

VICINITY MAP



DRAWING INDEX

| SHEET NUMBER | SHEET NAME |
|------------------|--|
| A1.0 | PROJECT INFORMATION |
| A1.0B | SHARED PARKING AGREEMENT |
| A1.1 | EXISTING SITE PLAN |
| A1.2 | PROPOSED SITE PLAN |
| A1.3 | EXISTING FLOOR PLAN - FIRST FLOOR |
| A1.4 | EXISTING FLOOR PLAN - SECOND FLOOR |
| A1.5 | PROPOSED FLOOR PLAN - FIRST FLOOR |
| A1.6 | ASSESSOR'S MAP |
| A1.7 | SHARED PARKING PLAN |
| A1.8 | PHOTOGRAPHIC SURVEY |
| A1.9 | PHOTOGRAPHIC SURVEY |
| A2.0 | PROPOSED FUTURE RE-STRIPING PLAN |
| L.101 | CONCEPT PLAN |
| L.103 | CONSTRUCTION LAYOUT & SPOT ELEVATIONS PLAN |
| L.108 | BRUSH MANAGEMENT PLAN |
| L.109 | SPECIFICATIONS |

DEVELOPMENT SUMMARY

SCOPE OF WORK:

Gensler is preparing this CUP Amendment package on behalf of Junior Achievement to amend the existing planning regulations to allow for the proposed tenant improvement and building modifications. The existing conditional use permit is no. 263141 (amendment to conditional use permit no. 18421). This project was previously submitted to the City of San Diego for an SCR (project #346412) back in October 2013 and it was suggested by staff at that time to submit this as an amendment addressing the additional student load to the building.

- Infill of existing radiused corner of the building to the "drip line", and infill of the existing patio entry. Total square footage of the project will be 26,416 sf - an increase of 419 sf from the currently permitted project.
- 8,024 sf tenant improvement on the first level, converting business occupancy into educational occupancy. Total educational occupancy area = 18,506 sf. Business/accessory occupancy will be 6,995 sf.
- Addition of a 3,000 sf exterior deck including new water feature, landscaped area, and seating areas. This addition of an exterior amenity does not impact the current parking circulation or count. This addition is an exterior improvement and is not enclosed - as such, it does not count towards the square footage of the project or count towards FAR.
- Note: Signage is not a part of scope of work. All signage will be provided under separate permit.**

REQUIRED DISCRETIONARY PERMIT: Amendment to Conditional Use Permit 263141


PROJECT TEAM:

| | |
|----------------------------|--|
| BUILDING OWNER: | Capstone Programs LLC Junior Achievement 4756 Mission Gorge Place, San Diego, CA 92120 619.682.5155 |
| LAND USE ANALYST: | Latham & Watkins Clif Williams 12670 High Bluff Drive, San Diego, CA 92130 clifton.williams@lw.com |
| ARCHITECT: | Gensler Stacy Cannon 225 Broadway, Suite 1600, San Diego, CA, 92101 619.557.2500 stacy_cannon@gensler.com |
| GENERAL CONTRACTOR: | Balfour Beatty Construction Brian Cahill 10620 Treana Street, San Diego, CA, 92131 brcahill@balfourbeatty.com |

ASSESSORS PARCEL NUMBER: 461-252-09


All that certain real property situated in the County of San Diego, State of California, described as follows:
PARCEL 1:
All of Lot 5 in Elsin Heights, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4069, filed in the Office of the County Recorder of San Diego County, January 30, 1959, EXCEPTING THEREFROM, that portion thereof described as follows:
Beginning at the most Easterly corner of Lot 5, Elsin Heights, which is also the Northeast corner of Lot 63, Allied Gardens Addition, according to Map thereof No. 3206,
Thence North 25° 23' 00" West, along the Southwesterly line of Fenimore Way, as shown on said Map No. 3206, 90.02 feet to the True Point of Beginning of the Parcel herein described;
Thence continuing North 23° 23' West 11.65 feet to a tangent 140.18 foot radius curve to the right;
Thence along said curve 48.02 feet through an angle of 19° 37' 31";
Thence South 73° 09' 34" West, 84.67 feet; thence South 19° 53' 00" East 85.65 feet;
Thence North 70° 07' 00" East, 62.15 feet to a tangent 20 foot radius curve to the left;
Thence along said curve, 33.34 feet through an angle of 93° 30' 00" to the True Point of Beginning.
ALSO EXCEPTING THEREFROM that portion thereof described as follows:
Beginning at the most Northerly corner of said Lot 5,
Thence along the Northwesterly line of said Lot, South 73° 09' 34" West 84.67 feet;
Thence South 19° 53' East 85.65 feet;
Thence North 70° 07' East 62.15 feet to the beginning of a tangent 20.00 foot radius curve, concave Northwesterly being the True Point of Beginning;
Thence retracing South 70° 07' West 62.15 feet;
Thence South 19° 53' East 20.00 feet, more or less, to a line which is parallel with and 55.00 feet Northwesterly at right angles from that course in the Southeastern boundary of said Lot 5 which is shown on said Map No. 4069 as bearing North 64° 37' East with a length of 154.38 feet.
Thence along said Parallel line North 64° 37' East to a point of tangency with a 20.00 foot radius curve, concave Westward and having a central angle of 90° which is also tangent to said Southwesterly of the Northeastern line of said Lot 5;
Thence Northerly along said curve 31.41 feet to said Northeastern line of Lot 5;
Thence along said Northeastern line, North 25° 23' West to a point of tangency with the 20.00 foot radius curve first above mentioned;
Thence Southwesterly along said curve 33.34 feet through an angle of 95° 30' to the True Point of Beginning.

PARCEL 2:
An easement and right of way for road, sewer, water, gas, power and telephone lines and appurtenances thereto over, under, along and across those portions of the C.F.S. Tract, according to Map thereof No. 10221, recorded in the Office of the County Recorder of San Diego County, September 29, 1981 as follows:
1. The Easterly 15 feet of Lot 1;
2. The Westerly 15 feet of the Northerly 343 feet of Lot 4;
3. The Southerly 17.5 feet of Lot 1, and
4. The Northerly 17.5 feet of Lot 2.



Junior Achievement - Finance Park
4756 Mission Gorge Place
San Diego, CA 92120

225 Broadway
Suite 1600
San Diego, CA 92101
Telephone 619.557.2500



| Issue | Date & Issue Description | By | Check |
|-------|---|----|-------|
| 1 | 05.12.14 - CUP AMENDMENT | | |
| 2 | 07.23.14 - CUP AMENDMENT RESUBMITTAL | | |
| 3 | 10.01.14 - CUP AMENDMENT RESUBMITTAL #2 | | |
| 4 | 11.12.14 - CUP AMENDMENT RESUBMITTAL #3 | | |

Project Name: JUNIOR ACHIEVEMENT - FITNESS PARK

Project Number: 55.7131.000

Description: PROJECT INFORMATION

Scale: A1.0

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4756 Mission Gorge Place
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| 4 | 11.12.14 - CUP AMENDMENT RESUBMITTAL #3 | | |

Seal/Signature

Project Name
JUNIOR ACHIEVEMENT - FITNESS PARK

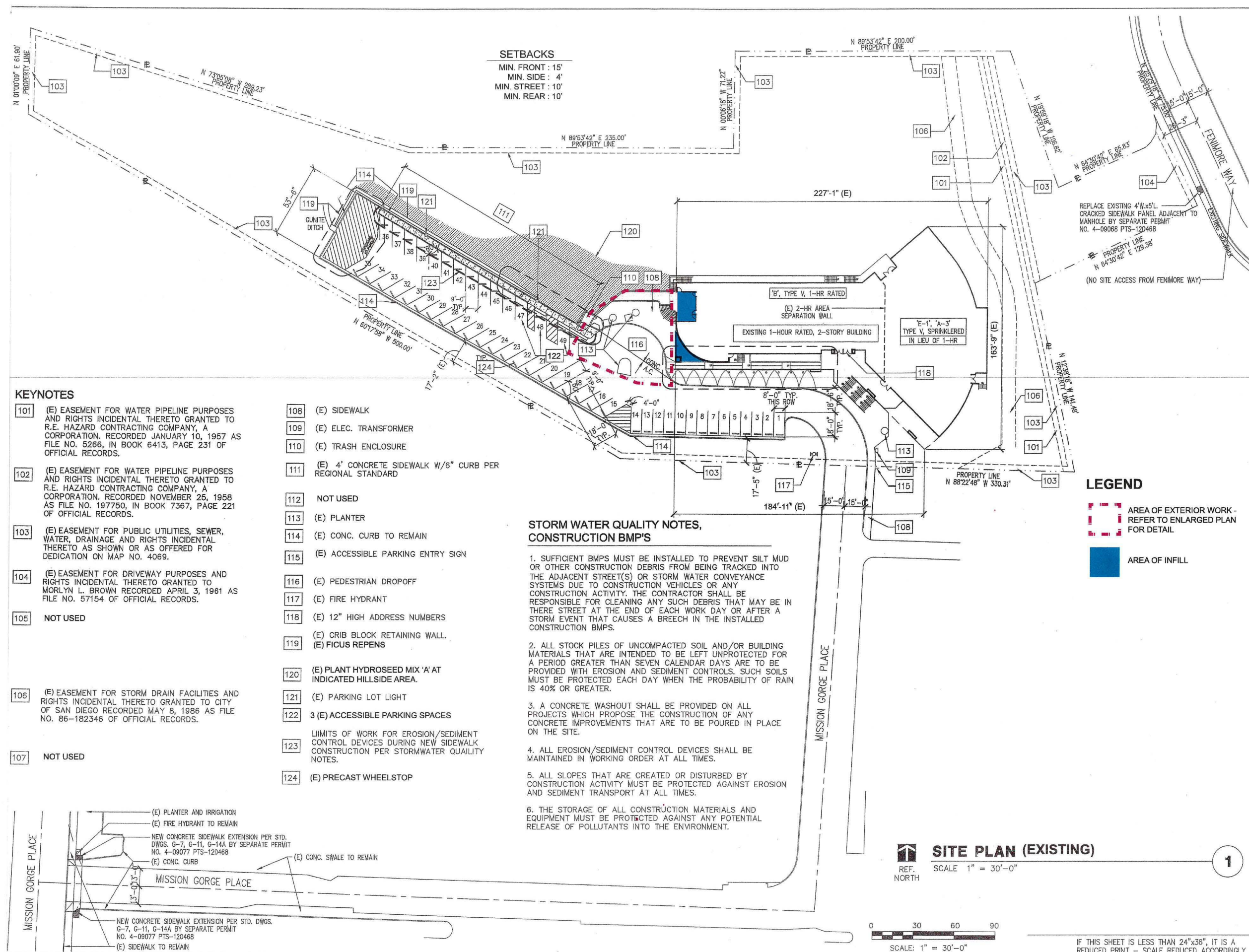
Project Number
55.7131.000

Description
EXISTING SITE PLAN

Scale

A1.1

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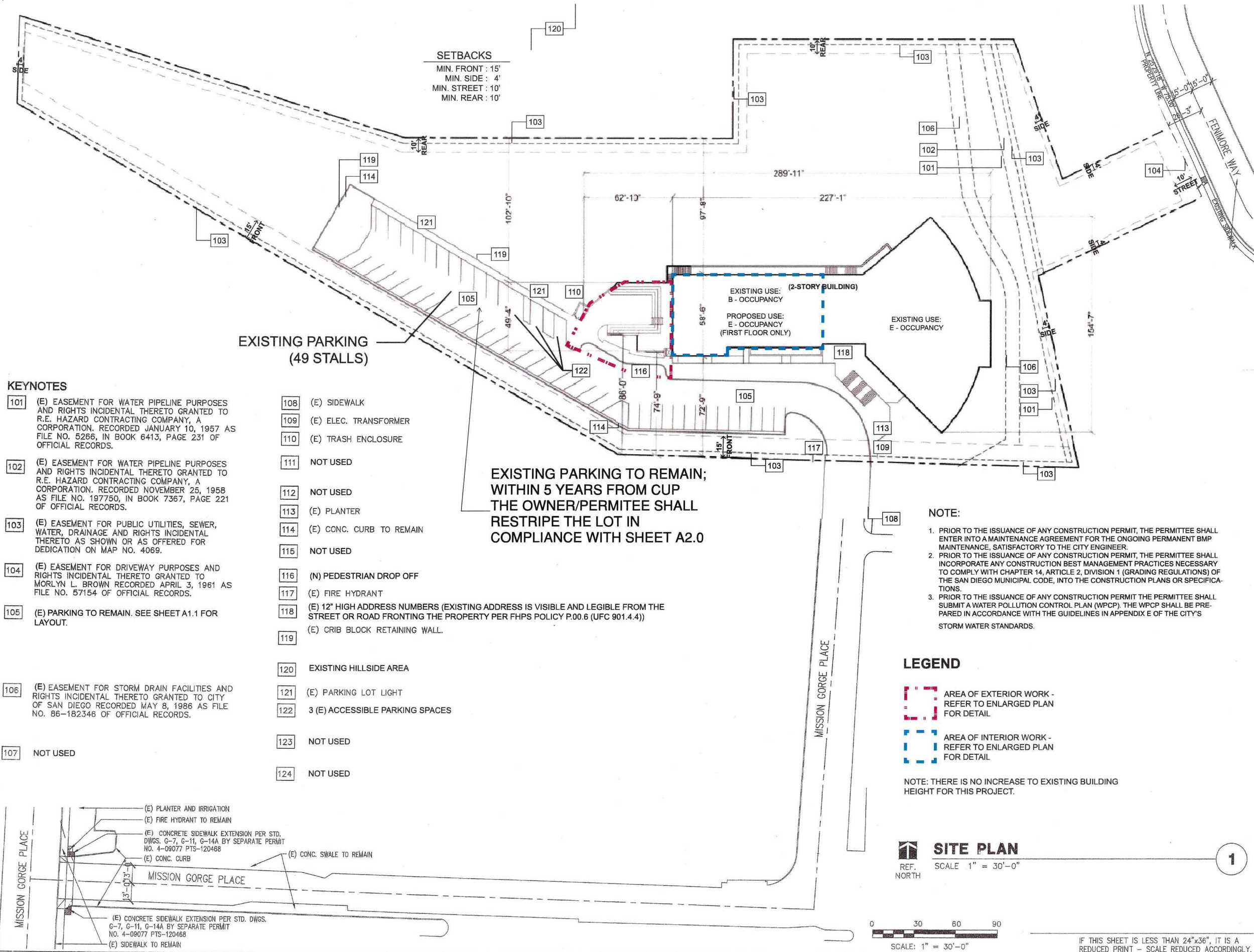


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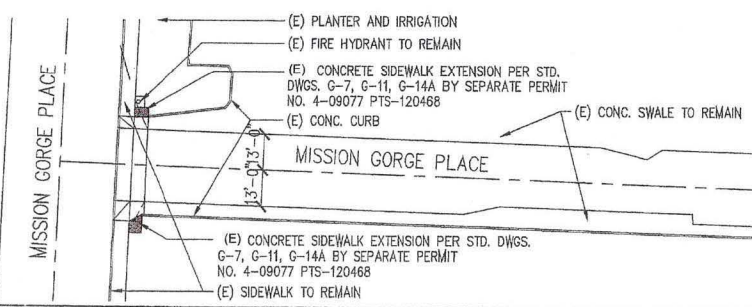
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| 4 | 11.12.14 - CUP AMENDMENT RESUBMITTAL #3 | | |



KEYNOTES

- 101 (E) EASEMENT FOR WATER PIPELINE PURPOSES AND RIGHTS INCIDENTAL THERETO GRANTED TO R.E. HAZARD CONTRACTING COMPANY, A CORPORATION. RECORDED JANUARY 10, 1957 AS FILE NO. 5266, IN BOOK 6413, PAGE 231 OF OFFICIAL RECORDS.
- 102 (E) EASEMENT FOR WATER PIPELINE PURPOSES AND RIGHTS INCIDENTAL THERETO GRANTED TO R.E. HAZARD CONTRACTING COMPANY, A CORPORATION. RECORDED NOVEMBER 25, 1958 AS FILE NO. 197750, IN BOOK 7367, PAGE 221 OF OFFICIAL RECORDS.
- 103 (E) EASEMENT FOR PUBLIC UTILITIES, SEWER, WATER, DRAINAGE AND RIGHTS INCIDENTAL THERETO AS SHOWN OR AS OFFERED FOR DEDICATION ON MAP NO. 4069.
- 104 (E) EASEMENT FOR DRIVEWAY PURPOSES AND RIGHTS INCIDENTAL THERETO GRANTED TO MORLYN L. BROWN RECORDED APRIL 3, 1961 AS FILE NO. 57154 OF OFFICIAL RECORDS.
- 105 (E) PARKING TO REMAIN. SEE SHEET A1.1 FOR LAYOUT.
- 106 (E) EASEMENT FOR STORM DRAIN FACILITIES AND RIGHTS INCIDENTAL THERETO GRANTED TO CITY OF SAN DIEGO RECORDED MAY 8, 1986 AS FILE NO. 86-182346 OF OFFICIAL RECORDS.
- 107 NOT USED
- 108 (E) SIDEWALK
- 109 (E) ELEC. TRANSFORMER
- 110 (E) TRASH ENCLOSURE
- 111 NOT USED
- 112 NOT USED
- 113 (E) PLANTER
- 114 (E) CONC. CURB TO REMAIN
- 115 NOT USED
- 116 (N) PEDESTRIAN DROP OFF
- 117 (E) FIRE HYDRANT
- 118 (E) 12" HIGH ADDRESS NUMBERS (EXISTING ADDRESS IS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P.00.6 (UFC 901.4.4))
- 119 (E) CRIB BLOCK RETAINING WALL.
- 120 EXISTING HILLSIDE AREA
- 121 (E) PARKING LOT LIGHT
- 122 3 (E) ACCESSIBLE PARKING SPACES
- 123 NOT USED
- 124 NOT USED



Project Name
JUNIOR ACHIEVEMENT - FITNESS PARK

Project Number
55.7131.000

Description
SITE PLAN

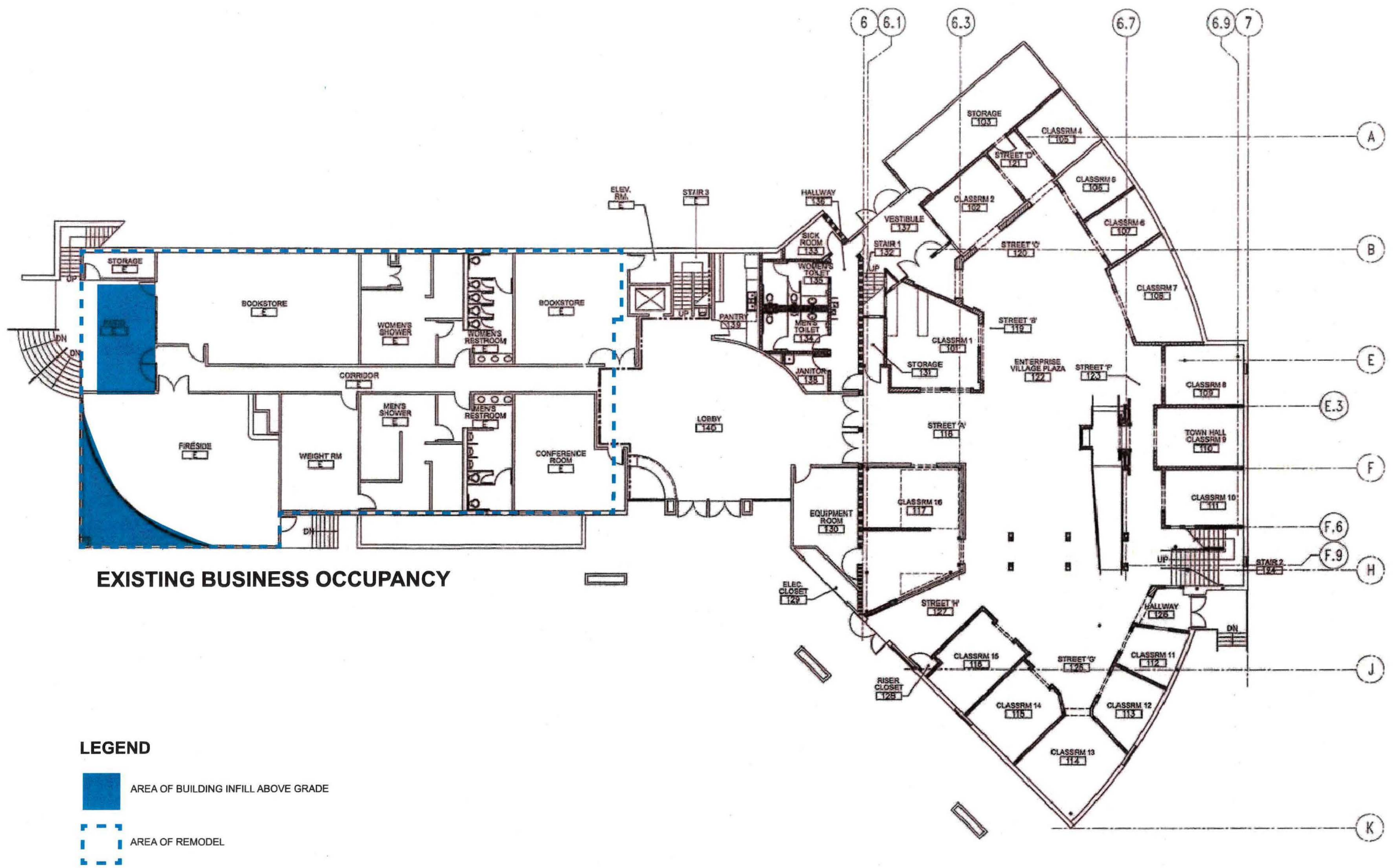
Scale

A1.2

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IF THIS SHEET IS LESS THAN 24"x36", IT IS A REDUCED PRINT - SCALE REDUCED ACCORDINGLY.

| Issue | Date & Issue Description | By | Check |
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| 1 | 05.12.14 - CUP AMENDMENT | | |
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| 3 | 10.01.14 - CUP AMENDMENT RESUBMITTAL #2 | | |
| 4 | 11.12.14 - CUP AMENDMENT RESUBMITTAL #3 | | |



EXISTING BUSINESS OCCUPANCY

LEGEND

- AREA OF BUILDING INFILL ABOVE GRADE
- AREA OF REMODEL

FIRST FLOOR PLAN (EXISTING)

Scale : 1" = 30'

SHEET GENERAL NOTES

1. CLASSROOMS ON PLANS ARE USED FOR EDUCATIONAL PURPOSES 5TH GRADE THROUGH THE 12TH GRADE FOR MORE THAN 12 HOURS PER WEEK OR FOUR HOURS IN ANY ONE DAY.

LEGEND

- (E) METAL STUD WALL
- EXISTING WOOD STUD WALL
- EXISTING 2-HOUR AREA OF SEPARATION WALL
- EXISTING 1-HOUR EXIT ENCLOSURE WALL

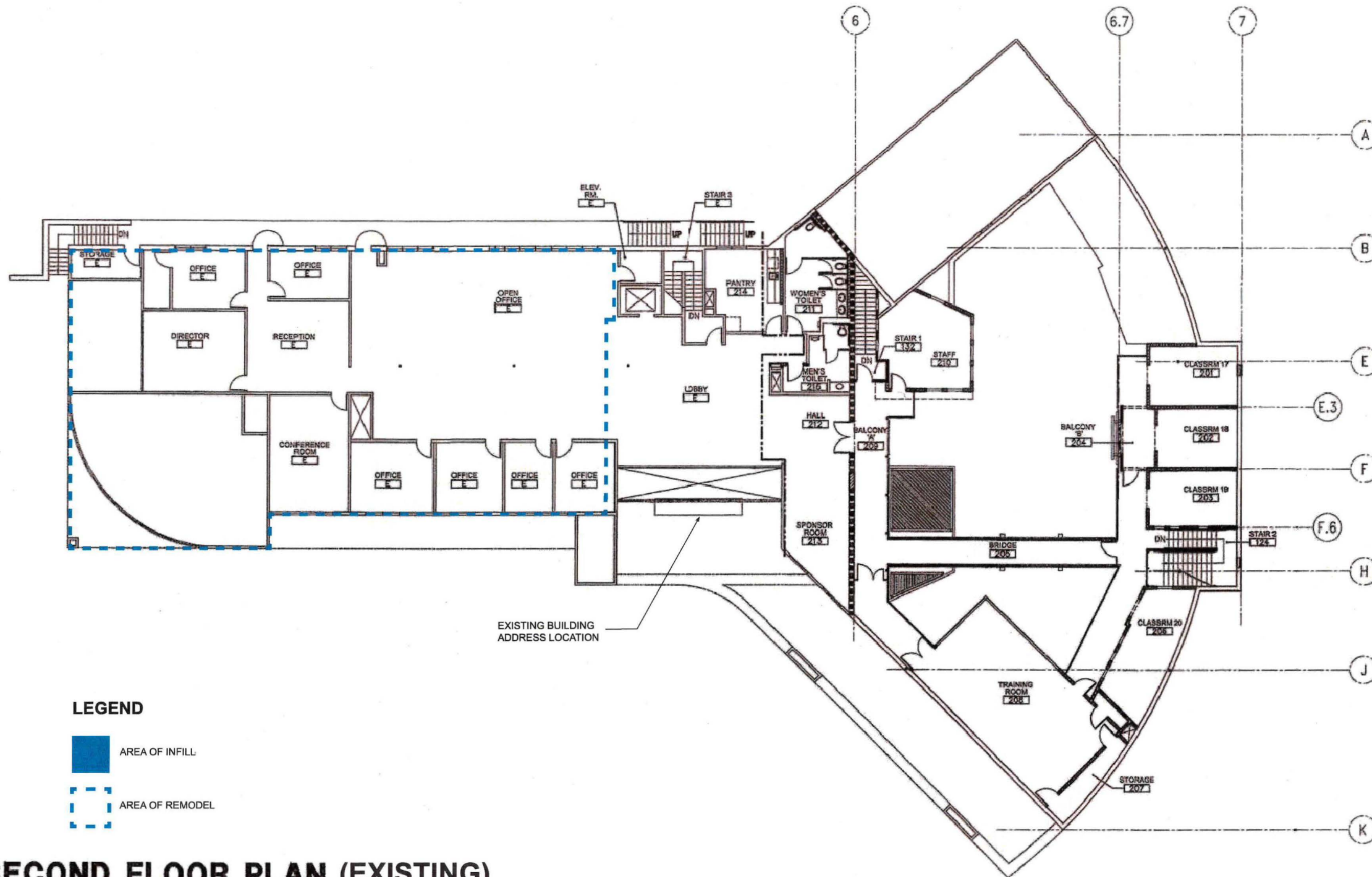
Project Name
 JUNIOR ACHIEVEMENT - FITNESS PARK

Project Number
 55.7131.000

Description
FIRST FLOOR PLAN - EXISTING

A1.3

| Issue | Date & Issue Description | By | Check |
|-------|---|----|-------|
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LEGEND

- AREA OF INFILL
- AREA OF REMODEL

SECOND FLOOR PLAN (EXISTING)

Scale : 1"= 30'

SHEET GENERAL NOTES

1. CLASSROOMS ON PLANS ARE USED FOR EDUCATIONAL PURPOSES 5TH GRADE THROUGH THE 12TH GRADE FOR MORE THAN 12 HOURS PER WEEK OR FOUR HOURS IN ANY ONE DAY.

LEGEND

- (E) METAL STUD WALL
- EXISTING WOOD STUD WALL
- EXISTING 2-HOUR AREA OF SEPARATION WALL
- EXISTING 1-HOUR EXIT ENCLOSURE WALL

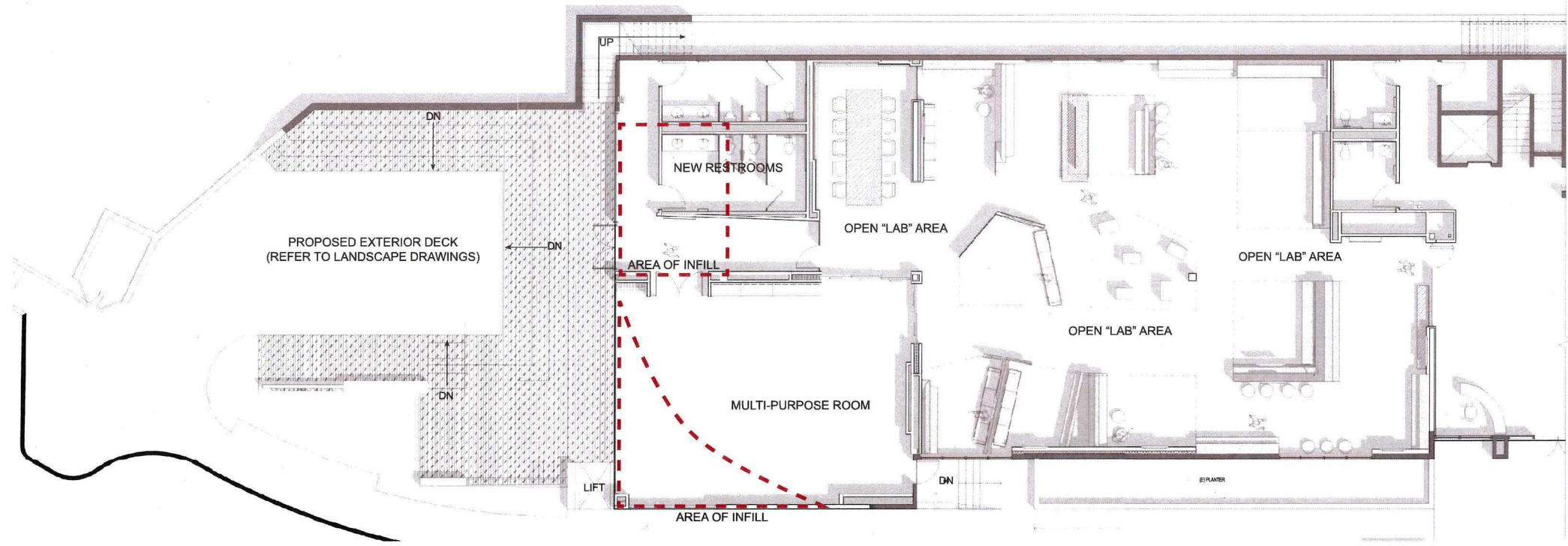
Project Name
 JUNIOR ACHIEVEMENT - FITNESS PARK

Project Number
 55.7131.000

Description
SECOND FLOOR PLAN - EXISTING

Scale

A1.4



**PROPOSED LEVEL 1 ENLARGED PLAN - EDUCATION OCCUPANCY
SCALE - 1/8" = 1'-0"**

EXISTING OFFICE/EDUCATION AREA - 4,998 SF
 --- AREA OF INFILL - 510 SF
PROPOSED OFFICE/EDUCATION AREA - 5,508 SF

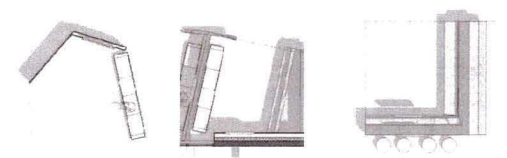
- NOTE:**
1. AREA OF INFILL TO BE ABOVE GRADE AND WITHIN THE (E) FOOT PRINT OF (E) FOUNDATION
 2. SCOPE OF WORK DOES NOT INCLUDE ANY EXTERIOR SIGNAGE.

LEGEND:

FURNITURE



CASEWORK WITH SEATING



PROPOSED RENDERING SHOWING INFILL CORNER



PROPOSED OPEN LEARNING "LAB" AREA



PROPOSED EXTERIOR TERRACE RENDERING



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 Suite 1600
 San Diego, CA 92101
 Telephone 619.557.2500

| Issue | Date & Issue Description | By | Check |
|-------|---|----|-------|
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Seal/Signature

Project Name
 JUNIOR ACHIEVEMENT - FITNESS PARK

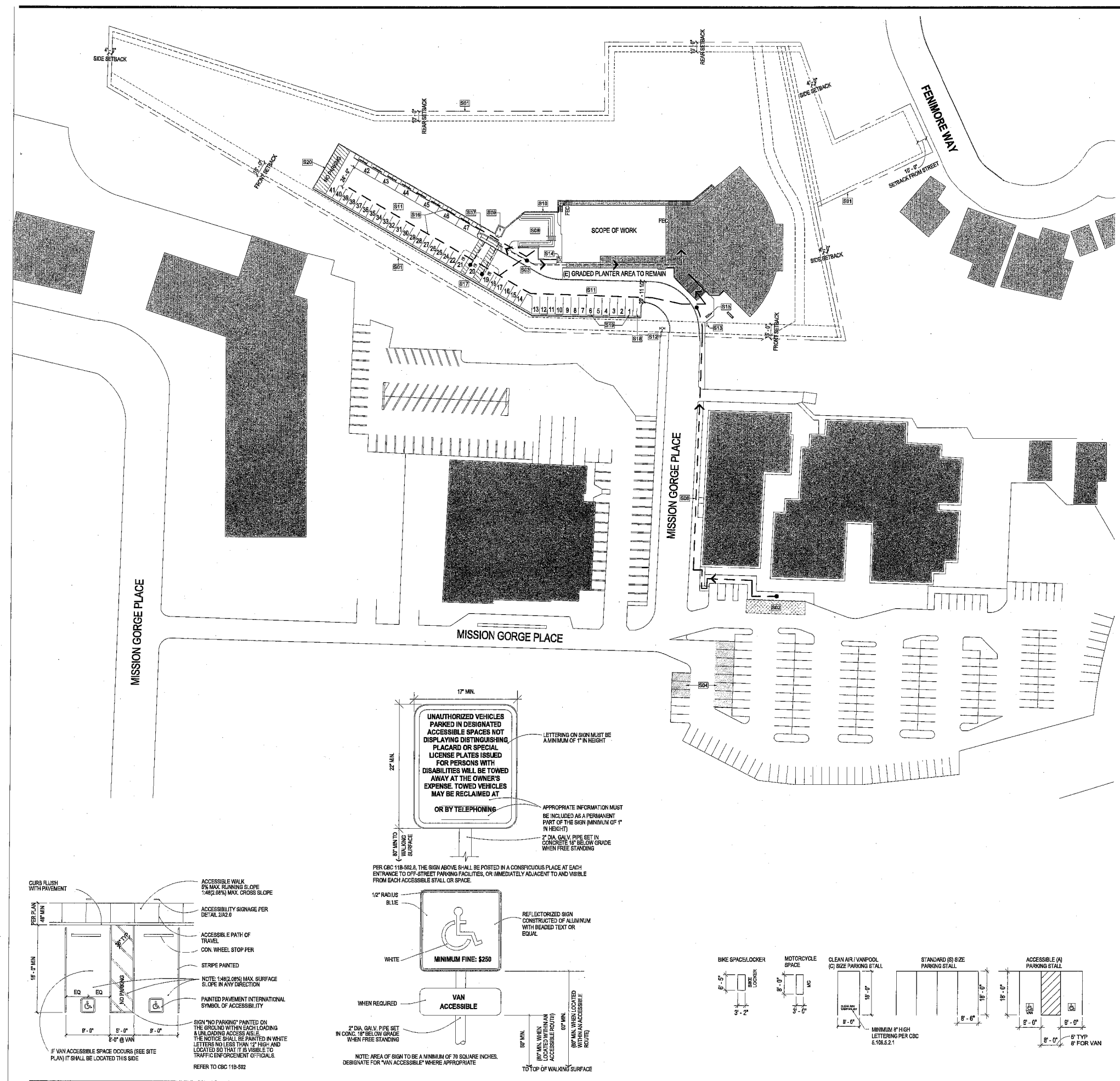
Project Number
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Description
FIRST FLOOR PLAN - PROPOSED


Scale

A1.5

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| KEYNOTES | |
|-----------|--|
| KEY VALUE | KEYNOTE TEXT |
| S01 | PROPERTY LINE. |
| S02 | (E) STUDENT BUS DROP-OFF ZONE. |
| S03 | (N) PASSENGER DROP-OFF ZONE. |
| S04 | (11) SHARED PARKING STALLS PER JA FINANCE PARK CUP AMENDMENT - PROJECT NO. 372846. |
| S05 | (E) ADA PARKING. |
| S06 | (E) ASSISTED ADA PATH OF TRAVEL FROM BUS DROP-OFF AND PUBLIC RIGHT OF WAY. |
| S07 | (E) ADA PATH OF TRAVEL TO BUILDING ENTRANCE. |
| S08 | (N) OPEN DECK. REFER TO LANDSCAPE DRAWINGS. |
| S09 | (E) TRASH ENCLOSURE TO REMAIN. |
| S10 | (E) RETAINING WALL TO REMAIN. |
| S11 | (N) SITE PARKING. 31 STALLS INCLUDING 3 ADA STALLS AS NOTED. |
| S12 | (E) FIRE HYDRANT LOCATION. |
| S13 | (E) TRANSFORMER LOCATION. |
| S14 | (N) LIFT PER LANDSCAPE DRAWINGS. |
| S15 | (N) BIKE RACK, 3 DESIGNATED SHORT-TERM SPACES. |
| S16 | (N) PEDESTRIAN PATH OF TRAVEL TO BUILDING ENTRANCE. |
| S17 | (E) ADA PARKING, SEE 1 & 3/A2.0 FOR DETAILS. |
| S18 | (N) 2 RESERVED MOTORCYCLE PARKING SPACES, SEE 1/A2.0 FOR DETAILS. |
| S19 | (N) 6 RESERVED CARPOOL/ZERO EMISSION VEHICLE PARKING SPACES. |
| S20 | (N) RESERVED TURNAROUND LOCATION. |


Junior Achievement®
 4756 Mission Gorge Place
 San Diego, CA 92120

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 Fax: 619.557.2520

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| 4 | 11.12.14 - CUP AMENDMENT RESUBMITTAL #3 | | |

Seal/Signature

Project Name
JA - FINANCE PARK

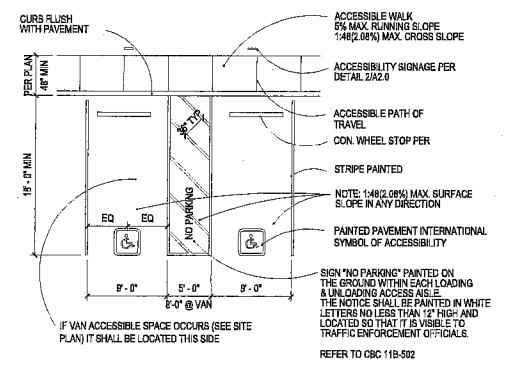
Project Number
557131.000

Description
PROPOSED FUTURE STRIPING PLAN

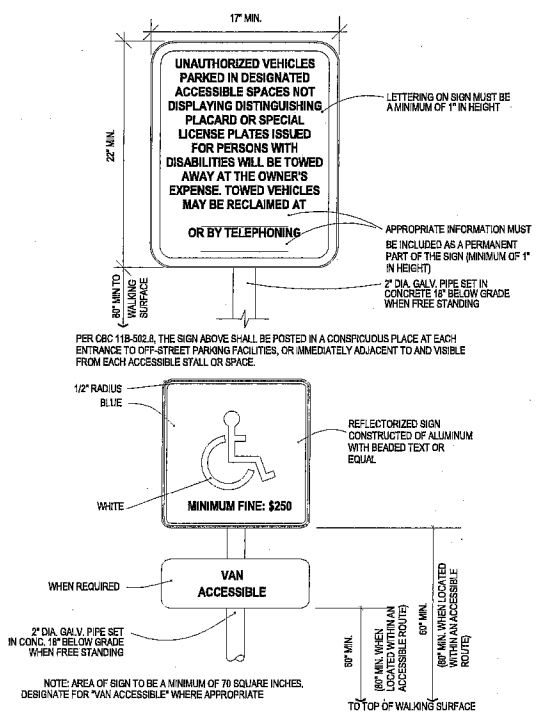
Scale
As Indicated

A2.0

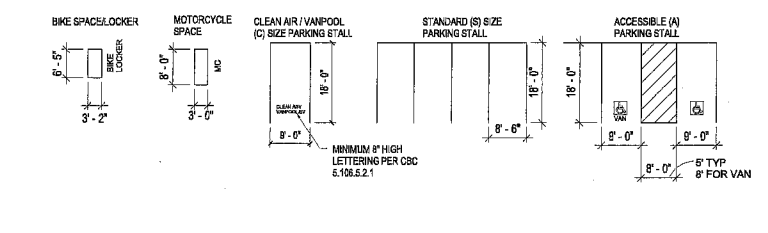
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ACCESSIBLE STALLS
SCALE: 1/8" = 1'-0"
3



ACCESSIBLE STALL SIGNAGE
SCALE: 3" = 1'-0"
2



TYPICAL STALL DIMENSIONS
SCALE: 1/16" = 1'-0"



4756 Mission Gorge Place
San Diego, CA 92120

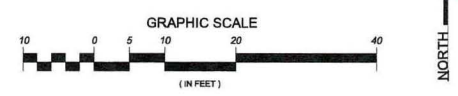
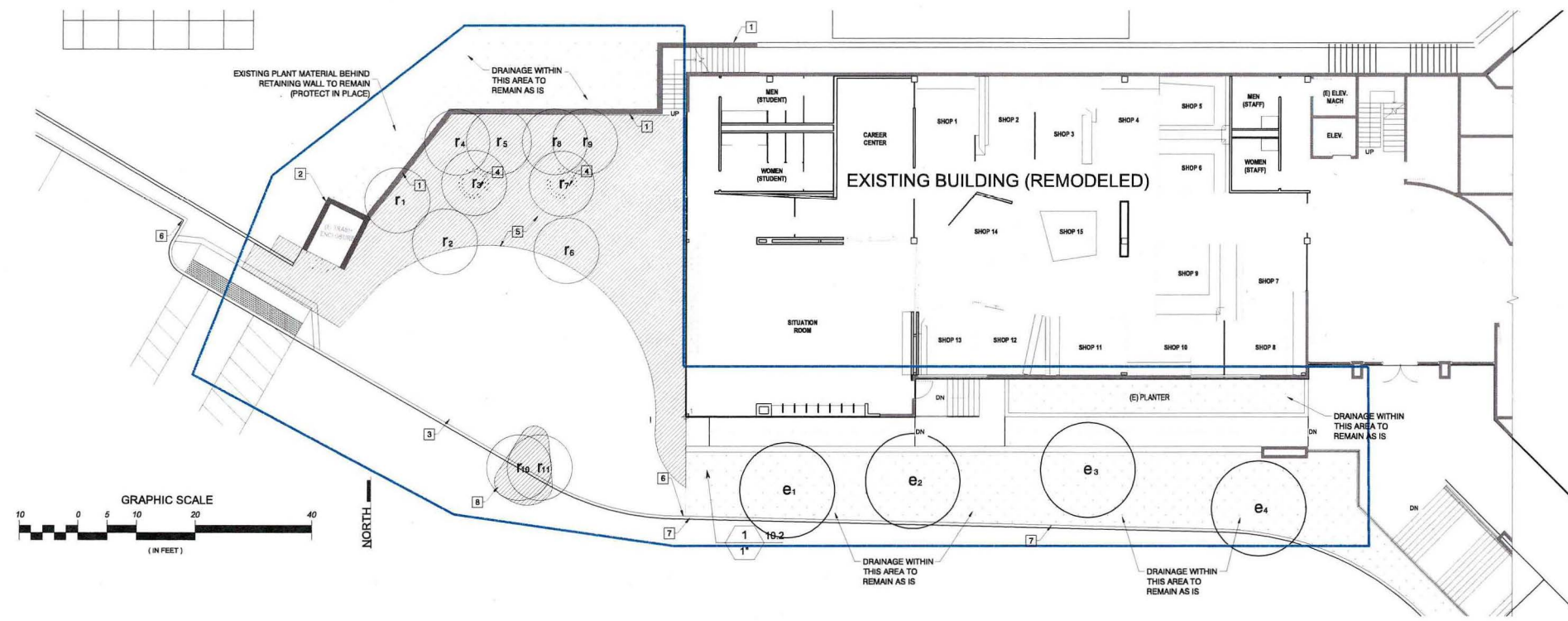
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Tel: 619.557.2500
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Gensler

mLaSD

Dr. Billough Landscape Architecture, Inc.

703 16th Street, Suite 100
San Diego, California 92101
Tel: (619) 296-3150 Fax: (619) 501-7725
www.mla-sd.com



LEGEND table with columns: SYM., DESCRIPTION, BOTANICAL NAME, COMMON NAME, CALIPER SIZE. Includes entries for existing queen palms (e1-e4).

LEGEND table with columns: SYM., DESCRIPTION, BOTANICAL NAME, COMMON NAME, CALIPER SIZE. Includes entries for queen palms to be removed (r1-r9).

LEGEND table with columns: SYM., DESCRIPTION, BOTANICAL NAME, COMMON NAME, CALIPER SIZE. Includes entries for queen palms to be removed (r10-r11).

DESIGN STATEMENT:
THE INTENTION OF THE LANDSCAPE DESIGN OF THIS CONDITIONAL USE PERMIT IS TO CREATE AN OUTDOOR PATIO DECK SPACE THAT HAS DIRECT ACCESS TO ADJACENT INDOOR SPACES...

EXISTING TREE MAINTENANCE NOTE
CARE SHALL BE USED DURING THE DEMOLITION AND CONSTRUCTION PROCESS TO ENSURE THAT EXISTING TREES TO REMAIN ARE PROPERLY MAINTAINED...

DISTURBED AREA NOTE
ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED...

MAINTENANCE RESPONSIBILITY
ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION...

UTILITY SCREENING
ALL WATER, SEWER, AND GAS UTILITIES SHALL BE EFFECTIVELY SCREENED WITH PLANT MATERIAL AT THE TIME OF PLANT INSTALLATION.

GENERAL NOTE
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE LANDSCAPE TECHNICAL MANUAL AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

DEMO LEGEND
1. EX. RETAINING WALL TO REMAIN
2. EX. TRASH ENCLOSURE TO REMAIN
3. PROPOSED NEW CONCRETE CURB
4. EX. RAISED PLANTERS TO BE REMOVED, CUT AND CAP IRRIGATION SYSTEM WITHIN AREA
5. EX. CONCRETE PATIO TO BE REMOVED
6. START NEW CURB HERE TO THE INTO EX CURB (#7). SEE SHEET L-102
7. EX. CURB TO REMAIN. PROTECT IN PLACE
8. EX. CURB AND LANDSCAPE TO BE REMOVED, CUT AND CAP IRRIGATION SYSTEM WITHIN AREA

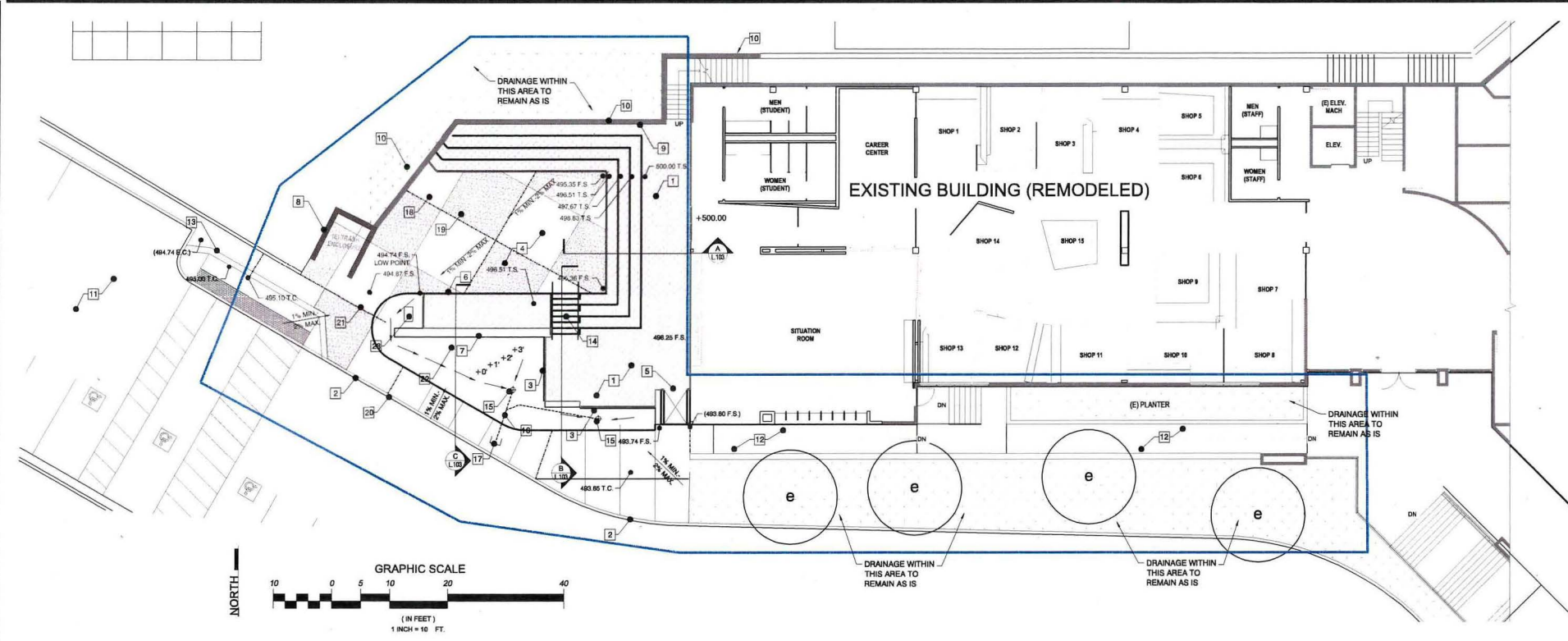
ADDITIONAL NOTES:
ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.

Table with columns: IMPROVEMENT, MINIMUM TREE SEPARATION DISTANCE, MINIMUM DISTANCE TO STREET. Lists requirements for trees, traffic signals, and utilities.

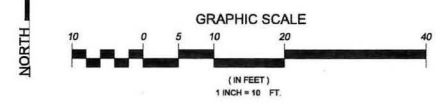
CONSTRUCTION NOTES
1. VISIT THE SITE PRIOR TO SUBMITTING BIDS.
2. SUBMIT A UNIT COST FOR IMPORT SOIL IN PLACE AND BE COMPLETELY AWARE OF THE AMOUNT OF SOIL NECESSARY TO REACH THE SATISFACTORY GROUND LEVEL.
3. VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.
4. REMOVE ALL DEMOLITION ITEMS FROM THE PROJECT SITE AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. DO NOT BURY RUBBISH OR DEBRIS ON SITE.
5. REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING, WALLS, ETC. AT NO ADDITIONAL COST TO THE OWNER.
6. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.
7. REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.
8. LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY OWNER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT.
9. COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER CURRENT RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
10. LOCATIONS OF N.J.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.
11. VERIFY ALL PAVING AND HARDSCAPE CONSTRUCTION DRAWINGS WITH SOIL ENGINEER'S REPORT WITH REGARD TO BASE PREPARATION AND FOOTING REQUIREMENTS. NOTIFY OWNER IMMEDIATELY IF SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE SOILS REPORT RECOMMENDATIONS, IF MORE STRINGENT THAN THE DRAWINGS, SHALL TAKE PRECEDENCE.
12. BE RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS FOR PROPER AND TIMELY PLACEMENT OF SLEEVING, PIPING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH LANDSCAPE ELEMENTS.
13. DO NOT SCALE DRAWINGS.
14. SEE CIVIL ENGINEER'S PLAN FOR PRECISE GRADING AND DRAINAGE INFORMATION.
15. PROVIDE A REPRESENTATIVE SAMPLE OF EACH PAINTED OR STAINED ELEMENT TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO APPLYING FINISH. REFER TO DETAILS AND SPECIFICATIONS FOR SPECIFIC SUBMITTAL REQUIREMENTS.
16. PROVIDE A 4" x 4" SAMPLE OF EACH PAVING TYPE IN LOCATION SPECIFIED BY OWNERS REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.
17. WHERE PAVING AND FINISH GRADE MEET, DEPRESS FINISH GRADE 1" IN TURF AREAS AND 1-1/2" IN GROUND COVER AREAS UNLESS OTHERWISE INDICATED.
18. DO NOT EXCEED 3:1 SLOPE IN TURF AREAS.
19. FOR PROJECT WALKS DO NOT EXCEED A SLOPE OF 20:1 (5% GRADIENT) UNLESS OTHERWISE INDICATED.
20. DO NOT EXCEED 2:1 SLOPE IN PLANTED AREAS.
21. HOLD FINISH GRADE A MINIMUM OF 8" BELOW FINISH FLOOR UNLESS OTHERWISE NOTED.
22. CONSTRUCT ALL CURVE TO CURVE AND CURVE TO TANGENT LINES TO BE NEAT, TRIM, SMOOTH AND UNIFORM.
23. CONSTRUCT ALL CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
24. PROVIDE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.

Issue table with columns: Issue, Date & Issue Description, By, Check. Lists revision history for CUP AMENDMENT.

Project Name, Project Number, Description, Scale, and Title block containing 'L.101'.



- LEGEND**
1. PROPOSED COMPOSITE WOOD DECK WITH BLEACHER STYLE SEATING
 2. PROPOSED NEW 6" CONCRETE CURB
 3. PROPOSED STUCCO WALL WITH RAILING
 4. PROPOSED CONCRETE PATIO
 5. PROPOSED ADA LIFT
 6. PROPOSED TERRACED STEPS FOR SEATING
 7. NEW WALL WITH BUILDING SIGNAGE
 8. EXISTING TRASH ENCLOSURE (TO REMAIN)
 9. PROPOSED MEDIA WALL
 10. EXISTING RETAINING WALL (TO REMAIN)
 11. EXISTING PARKING LOT (TO REMAIN)
 12. EXISTING BUILDING RAMP (TO REMAIN)
 13. PROPOSED CURB RAMP
 14. PROPOSED STEPS WITH STAINLESS STEEL HAND RAILS
 15. 6" DIA. PVC PLANTER DRAIN
 16. 6" DIA. SDR 35 DRAINLINE
 17. DRAIN THROUGH CONCRETE CURB TO PARKING LOT
 18. CONCRETE PAWING (NATURAL GRAY WITH MEDIUM ACID ETCH FINISH)
 19. CONCRETE PAWING (NATURAL GRAY WITH LIGHT ACID ETCH FINISH)
 20. SAWCUT CONTROL JOINT (TYP. SYM.)
 21. EXPANSION CONTROL JOINT (TYP. SYM.)
 22. EARTH BERM IN 1' INTERVALS
 23. FOUNTAIN PUMP LOCATION, IN A VAULT
- SYMBOL LEGEND**
- LIMIT OF EXTERIOR WORK
 - EXISTING QUEEN PALM TO REMAIN IN PLACE
 - DIRECTIONAL DRAINAGE ARROWS



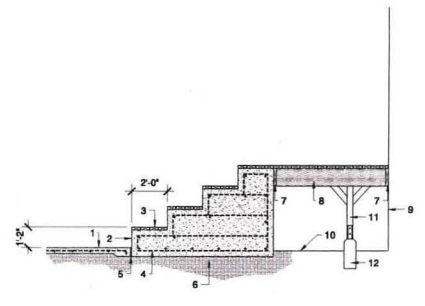
4756 Mission Gorge Place
San Diego, CA 92120

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

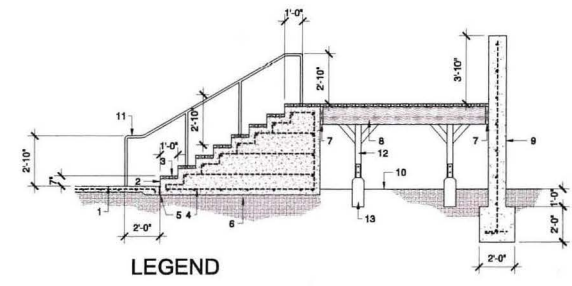
mLaSD
McCallough Landscape Architecture, Inc.

703 16th Street, Suite 100
San Diego, California 92101
tel (619) 296-3150 fax (619) 501-7725
www.mlassd.com



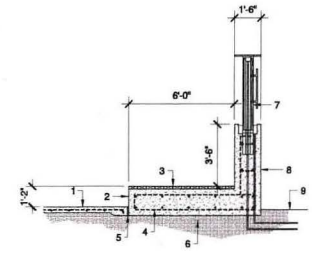
- LEGEND**
1. CONCRETE SURFACE (SEE PLAN)
 2. POURED CONCRETE, NATURAL GRAY, ALL EXPOSED FACES WITH ACID ETCH FINISH
 3. TREX 2" "SQUARE EDGE BOARD"
 4. STEEL REINFORCEMENT (SEE STRUCTURAL ENG.'S PLANS)
 5. EXPANSION JOINT
 6. 90% COMPACTED SUB-GRADE
 7. 2X12 PRESSURE TREATED LEDGER BOARD, CONTINUOUS
 8. 12X12 PRESSURE TREATED JOIST AT 12" O.C.
 9. EXISTING BUILDING WALL
 10. FINISHED GRADE
 11. 4x4 PRESSURE TREATED POST (SEE ATTACHED DETAIL)
 12. CONCRETE FOOTING (SEE ATTACHED DETAIL)

A | PATIO SECTION 1/4" = 1'-0"



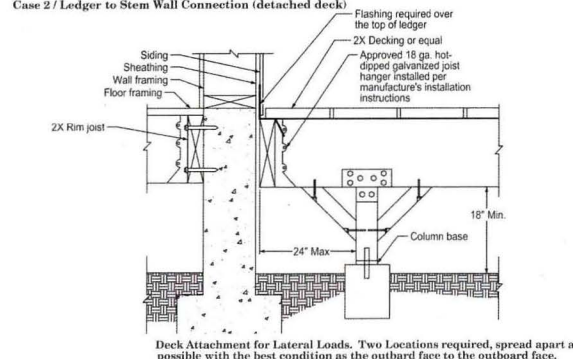
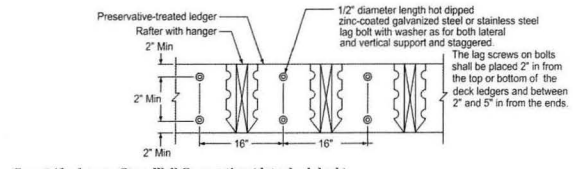
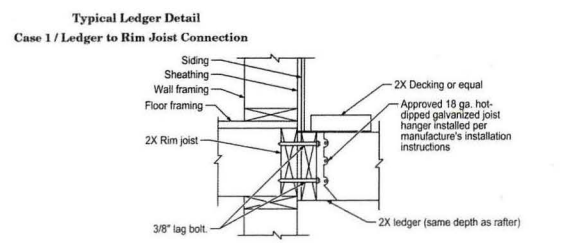
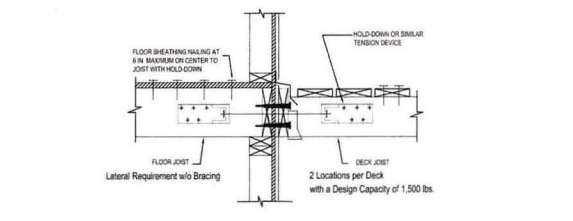
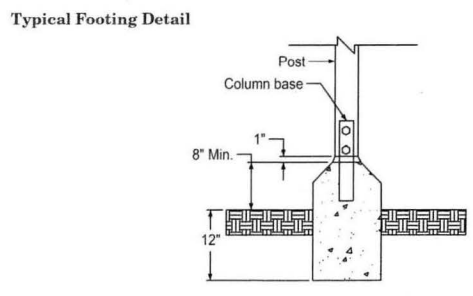
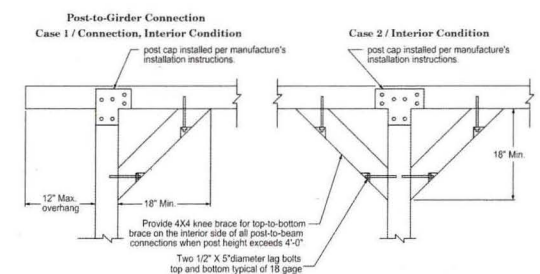
- LEGEND**
1. CONCRETE SURFACE (SEE PLAN)
 2. POURED CONCRETE, NATURAL GRAY, ALL EXPOSED FACES WITH ACID ETCH FINISH
 3. TREX 2" "SQUARE EDGE BOARD"
 4. STEEL REINFORCEMENT (SEE STRUCTURAL ENG.'S PLANS)
 5. EXPANSION JOINT
 6. 90% COMPACTED SUB-GRADE
 7. 2X12 PRESSURE TREATED LEDGER BOARD, CONTINUOUS
 8. 12X12 PRESSURE TREATED JOIST AT 12" O.C.
 9. CONCRETE WALL, NATURAL GRAY, ALL EXPOSED FACES WITH ACID ETCH FINISH
 10. FINISHED GRADE
 11. 1-1/2" WIDE X 1" THICK STAINLESS STEEL HANDRAIL
 12. 4x4 PRESSURE TREATED POST (SEE ATTACHED DETAIL)
 13. CONCRETE FOOTING (SEE ATTACHED DETAIL)

B | PATIO SECTION 1/4" = 1'-0"



- LEGEND**
1. CONCRETE SURFACE (SEE PLAN)
 2. POURED CONCRETE, NATURAL GRAY, ALL EXPOSED FACES WITH ACID ETCH FINISH
 3. TREX 2" "SQUARE EDGE BOARD"
 4. STEEL REINFORCEMENT (SEE STRUCTURAL ENG.'S PLANS)
 5. EXPANSION JOINT
 6. 90% COMPACTED SUB-GRADE
 7. WATER FEATURE
 8. CONCRETE WALL, NATURAL GRAY, ALL EXPOSED FACES WITH ACID ETCH FINISH
 9. FINISHED GRADE

C | PATIO SECTION 1/4" = 1'-0"



| Issue | Date & Issue Description | By | Check |
|-------|--|----|-------|
| 1 | 05.12.14 - CLIP AMENDMENT | | |
| 2 | 07.23.14 - CLIP AMENDMENT RESUBMITTAL | | |
| 3 | 10.01.14 - CLIP AMENDMENT RESUBMITTAL #2 | | |
| 4 | 11.12.14 - CLIP AMENDMENT RESUBMITTAL #3 | | |

Seal/Signature _____

Project Name
JA - FINANCE PARK

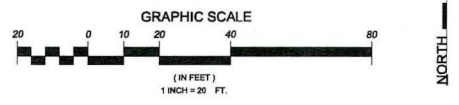
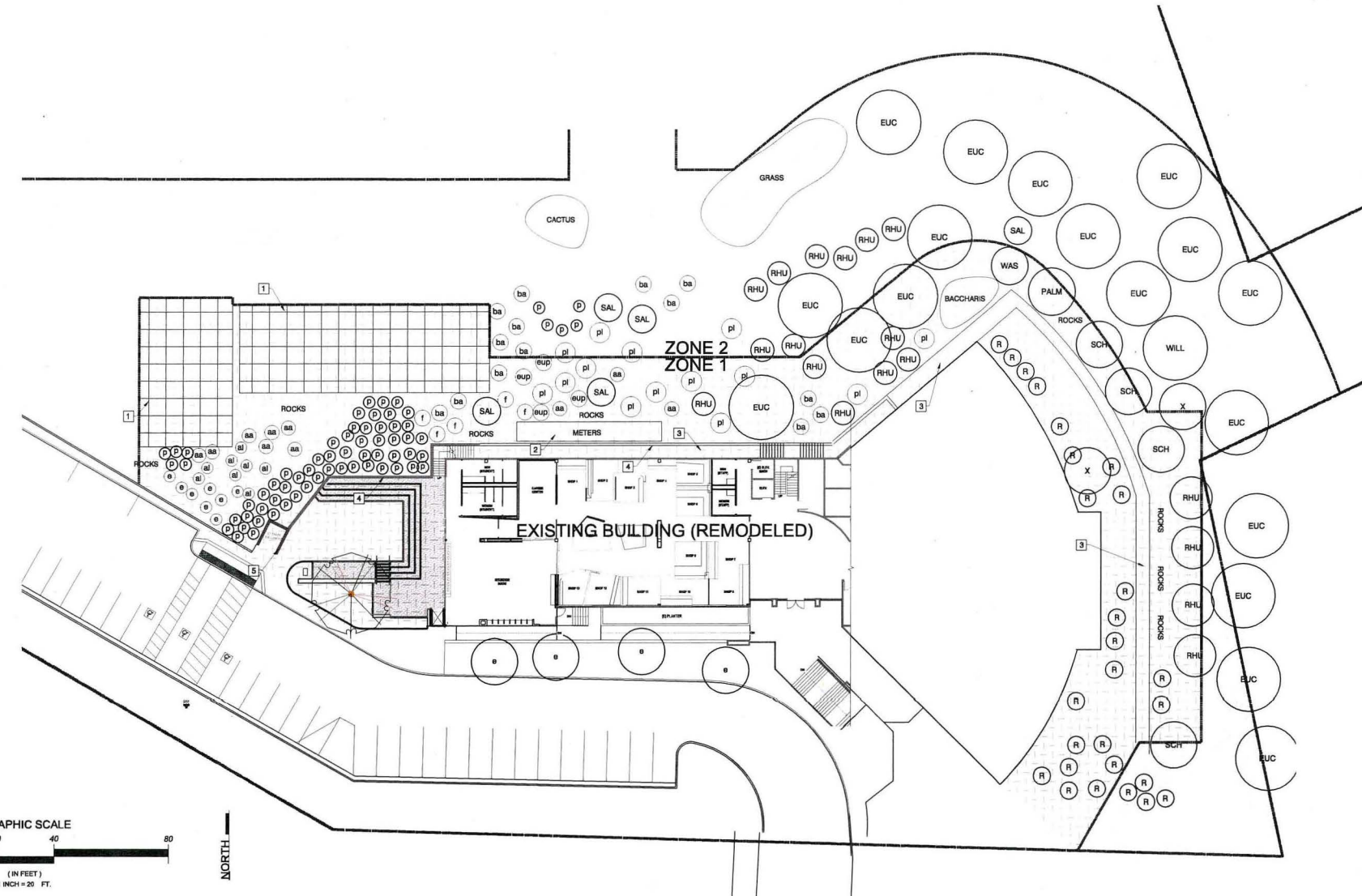
Project Number
21416

Description
CONSTRUCTION LAYOUT & SPOT ELEVATIONS PLAN

Scale
1" = 10'-0"

L.103

©2014 Gensler



BRUSH MANAGEMENT ZONES PLANTING LEGEND

ZONE 1 (35'): EXISTING PLANT MATERIAL AND IRRIGATION PROTECT IN PLACE. (SEE NOTES ON SHEETS L-109 TO L-111)
ZONE 2 (65'): EXISTING NATIVE OR NATURALIZED PLANT MATERIAL TO BE THINNED (SEE NOTES ON SHEETS L-109 TO L-111)

SYMBOL LEGEND

- 1 EXISTING SOLAR PANELS (TO REMAIN)
- 2 EXISTING ELECTRICAL METERS (TO REMAIN)
- 3 EXISTING CONCRETE SIDEWALK (TO REMAIN)
- 4 EXISTING MASONRY RETAINING WALL (TO REMAIN)
- 5 EXISTING MASONRY TRASH ENCLOSURE (TO REMAIN)

o EXISTING QUEEN PALM TO REMAIN IN PLACE

TREES
BOTANICAL NAME / COMMON NAME
SPECIMEN TREE / TBD
FIELD GROWN SPECIMEN TREE (25'-40' HT.) 72" BOX
SPECIES TO BE SELECTED BY LANDSCAPE ARCHITECT

EXISTING PLANT MATERIAL

| SYMBOL | BOTANICAL NAME | SYMBOL | BOTANICAL NAME |
|--------|-------------------------|--------|--------------------------|
| aa | AGAVE AMERICANA | R | RHAPHIOLEPIS INDICA |
| al | ALOE SPP. | RHU | RHUS INTEGRIFOLIA |
| ba | BACCHARIS SPP. | SAL | SALVIA |
| e | ECHEVERIA SPP. | SCH | SCHINUS TEREBENTHIFOLIUS |
| EUC | EUCALYPTUS | WAS | WASHINGTONIA ROBUSTA |
| eup | EUPHORBIA TIRUCALLI | WILL | SALIX |
| f | FOENICULUM VULGARE | X | DEAD TREE |
| HET | HETEROMELES ARBUTIFOLIA | | |
| p | PENISETUM SETACEUM | | |
| PALM | PHOENIX CANARIENSIS | | |

| Issue | Date & Issue Description | By | Check |
|-------|---|----|-------|
| 1 | 05.12.14 - CUP AMENDMENT | | |
| 2 | 07.23.14 - CUP AMENDMENT RESUBMITTAL | | |
| 3 | 10.01.14 - CUP AMENDMENT RESUBMITTAL #2 | | |
| 4 | 11.12.14 - CUP AMENDMENT RESUBMITTAL #3 | | |

Seal/Signature

Project Name
JA - FINANCE PARK

Project Number
21416

Description
BRUSH MANAGEMENT PLAN

Scale
1"=20'-0"

L.108



4756 Mission Gorge Place
San Diego, CA 92120

Gensler
225 Broadway
Suite 1600
San Diego CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

mLaSD
McBullough Landscape Architecture, Inc.
703 16th Street, Suite 100
San Diego, California 92101
tel (619)296-3150 fax (619) 501-7725
www.mlasd.com

- (g) Zone One Requirements
 - (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
 - (2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and nonhabitable gazebos that are located within brush management Zone One shall be of noncombustible construction.
 - (3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant.
 - (4) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
 - (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
 - (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
 - (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
 - (6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
 - (7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- (h) Zone Two Requirements
 - (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure, to the edge of undisturbed vegetation.
 - (2) No structures shall be constructed in Zone Two.
 - (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
 - (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
 - (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistant. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
 - (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistant native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
 - (C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.
 - (D) Where Zone Two is being revegetated as a requirement of Section 142.041 (1)(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.
 - (6) Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.
 - (7) Except as provided in Section 142.041(2)(i), where the required Zone One width shown in Table 142-041 cannot be provided on premises with existing structures, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.

| Issue | Date & Issue Description | By | Check |
|-------|---|----|-------|
| 1 | 05.12.14 - CUP AMENDMENT | | |
| 2 | 07.23.14 - CUP AMENDMENT RESUBMITTAL | | |
| 3 | 10.01.14 - CUP AMENDMENT RESUBMITTAL #2 | | |
| 4 | 11.12.14 - CUP AMENDMENT RESUBMITTAL #3 | | |

Seal/Signature

Project Name
JA - FINANCE PARK

Project Number
21416

Description
SPECIFICATIONS

Scale
1"=10'-0"

L.109

Fisher, John

From: navajoplanners@cox.net
Sent: Tuesday, September 23, 2014 10:32 AM
To: Fisher, John
Cc: mphillips@jasandiego.org
Subject: Navajo Planning Group Support for Junior Achievement CUP Amendment

John Fisher
Project Manager
City of San Diego
Development Services

Re: Navajo Planning Group Support for Junior Achievement CUP Amendment

Mr. Fisher,

On Monday, September 15, 2014 the Navajo Community Planning Group voted to support the Junior Achievement Park Conditional Use Permit Amendment, (Project Number 372846). The vote was unanimous (15-0).

Please contact me if you have any questions.

Matthew J. Adams
NCPI Chair



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 Junior Achievement of San Diego County Inc 572546
Project Address:
 4756 Mission Gorge Place San Diego CA 92120

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title:

Project No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? Corporate Identification No. Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): Capstone Programs LLC,a Delaware limited liability comp... [X] Owner [] Tenant/Lessee Street Address: 4756 Mission Gorge Place City/State/Zip: San Diego CA 92120 Phone No: (619) 682-5155 Fax No: 619 682-5159 Name of Corporate Officer/Partner (type or print): Joanne M. Pastula Title (type or print): President & CEO Signature : [Signature] Date: 5/13/14

Corporate/Partnership Name (type or print): [] Owner [] Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:

Corporate/Partnership Name (type or print): [] Owner [] Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:

Corporate/Partnership Name (type or print): [] Owner [] Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:

Corporate/Partnership Name (type or print): [] Owner [] Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:

Corporate/Partnership Name (type or print): [] Owner [] Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:

RECORDING REQUESTED BY
LandAmerica Commercial Services
WHEN RECORDED MAIL THIS DOCUMENT
AND TAX STATEMENTS TO:

Capstone Programs LLC
123 Camino de la Reina
San Diego, CA 92108

THE ORIGINAL OF THIS DOCUMENT
WAS RECORDED ON MAY 05, 2006
DOCUMENT NUMBER 2006-0319221
GREGORY J. SMITH, COUNTY RECORDER
SAN DIEGO COUNTY RECORDER'S OFFICE
TIME: 1:53 PM

APN: 461-252-09
Escrow No.: 461-252-09
Title Order No.: 03206052



Space above this line for Recorder's use

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX IS Not shown pursuant to Section 11932 of the California Revenue and Taxation Code, AND

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Mission Valley Church of the Nazarene, a California corporation

hereby GRANT(S) to

Capstone Programs LLC, a Delaware limited liability company

the following described real property in the City of San Diego County of San Diego, State of California:

See Exhibit A attached hereto and made a part hereof.

Commonly known as: 4756 Mission Gorge Place, San Diego, CA 92120

(Signatures continued on following page)

GRANT DEED FROM Mission Valley Church of the Nazarene ON PROPERTY COMMONLY KNOWN AS: 4756 Mission Gorge Place, San Diego, CA 92120

Dated: 4/14/06

Mission Valley Church of the Nazarene

[Handwritten signature]

By: Scott Peterson
Chairman of the Board

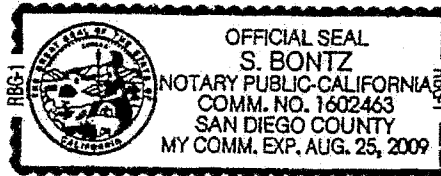
STATE OF CALIFORNIA
COUNTY OF San Diego } ss:

On April 14, 2006 before me, S. Bontz Notary Public,
personally appeared Scott Peterson

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature *S. Bontz*



FOR NOTARY SEAL OR STAMP

MAIL TAX STATEMENTS AS DIRECTED ABOVE

Exhibit A

All that certain real property situated in the County of San Diego, State of California, described as follows:

PARCEL 1:

All of Lot 5 in Elsa Heights, in the City of San Diego, County of San Diego, State of California, according to Map thereof No., 4069, filed in the Office of the County Recorder of San Diego County, January 30, 1959.

EXCEPTING THEREFROM, that portion thereof described as follows:

Beginning at the most Easterly corner of Lot 5, Elsa Heights, which is also the Northeast corner of Lot 63, Allied Gardens Addition, according to Map thereof No. 3206,

Thence North 25° 23' 00" West, along the Southwesterly line of Fenimore Way, as shown on said Map No. 3206, 90.02 feet to the True Point of Beginning of the Parcel herein described;

Thence continuing North 25°23' West 11.65 feet to a tangent 140.18 foot radius curve to the right;

Thence along said curve 48.02 feet through an angle of 19°37'31";

Thence South 73°09'34" West, 84.67 feet; thence South 19°53'00" East 85.65 feet;

Thence North 70°07'00" East, 62.15 feet to a tangent 20 foot radius curve to the left;

Thence along said curve, 33.34 feet through an angle of 95°30'00" to the True Point of Beginning.

ALSO EXCEPTING THEREFROM that portion thereof described as follows:

Beginning at the most Northerly corner of said Lot 5;

Thence along the Northwesterly line of said Lot, South 73°09'34" West 84.67 feet;

Thence South 19°53' East 85.65 feet;

Thence North 70°07' East 62.15 feet to the beginning of a tangent 20.00 foot radius curve, concave Northwesterly being the True Point of Beginning;

Thence retracing South 70°07' West 62.15 feet;

Thence South 19°53' East 20.00 feet, more or less, to a line which is parallel with and 55.00 feet Northwesterly at right angles from that course in the Southeasterly boundary of said Lot 5 which is shown on said Map No. 4069 as bearing North 64°37' East with a length of 154.38 feet;

Thence along said Parallel line North 64°37' East to a point of tangency with a 20.00 foot radius curve, concave Westerly and having a central angle of 90° which is also tangent to said Southwesterly of the Northeasterly line of said Lot 5;

Thence Northerly along said curve 31.41 feet to said Northeasterly line of Lot 5;

Thence along said Northeasterly line, North 25°23' West to a point of tangency with the 20.00 foot radius curve first above mentioned;

Thence Southwesterly along said curve 33.34 feet through an angle of 95°30' to the True Point of Beginning.

PARCEL 2:

An easement and right of way for road, sewer, water, gas, power and telephone lines and appurtenances thereto over, under, along and across those portions of the C.F.S. Tract, according to Map thereof No. 10221, recorded in the Office of the County Recorder of San Diego County, September 29, 1981 as follows:

1. The Easterly 15 feet of Lot 1;
2. The Westerly 15 feet of the Northerly 343 feet of Lot 4;

3. The Southerly 17.5 feet of L 2; and
4. The Northerly 17.5 feet of Lot 2.