



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: February 25, 2015 REPORT NO. HO-15-010

ATTENTION: HEARING OFFICER

SUBJECT: SCHWAB VARIANCE; PROJECT NO. 385058
PROCESS 3

LOCATION: 2285 Pine Street

OWNER/
APPLICANT: Richard and Kim Schwab

SUMMARY

Requested Action: Should the Hearing Officer approve the reconstruction of a front porch and carport within the side yard setback for an existing single-family dwelling unit on a 0.156 acre site located at 2285 Pine Street in the Uptown Community Plan Area?

Staff Recommendation: **APPROVE** Variance No. 1350283.

Community Planning Group Recommendation: On December 2, 2014, the Uptown Planners voted 14-0-1 to recommend approval of the project (Attachment 12).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA). The project proposes the reconstruction of a front porch and carport within the side yard setback for an existing single-family dwelling unit. The environmental exemption determination for this project was made on December 24, 2014, and the opportunity to appeal that determination ended January 9, 2015 (Attachment 13). This project is not pending an appeal of the environmental determination.

BACKGROUND

The project site is located at 2285 Pine Street (Attachment 1), east of Trias Street (Attachment 2). The property is in the RS-1-7 Zone (Attachment 3) within the Fort Stockton Historic District (Attachment 4) and the Uptown Community Plan (Attachment 5). The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The Uptown Community Plan (UCP) designates the proposed project site for Low Density Residential land use at 5-10 dwelling units per acre (DU/AC). The project site, occupying 0.156

acres, could accommodate one dwelling unit based on the underlying zone and 1-2 dwelling units based on the community plan. Properties surrounding the project site contain single-family residential development and are zoned RS-1-7 and the land use designation is Low Density Residential land use at 5-10 DU/AC.

The project site is an interior lot with frontage on Pine Street with alley access that has been previously graded and developed with an existing single-family dwelling unit and a detached two-car garage with a second story companion unit. The existing single-family dwelling unit was built in 1914, which included a covered front porch and a carport with a 0 foot setback from the southern property line (Attachment 6-Historical Photo). Building Permit No. A28233 was issued on May 12, 1960, to remove the covered front porch and carport, and to construct an addition in the area of the former front porch (Attachment 7-Current Condition Photo). On February 19, 2003, Conditional Use Permit No. 8540 was approved for the construction of a 528 square foot companion unit above a new 504 square foot two-car garage, located in the rear of the property along the alley. Building Permit No. C-304276-03 for the companion unit and garage was finalized on February 5, 2004.

DISCUSSION

Project Description:

The project proposes the removal of the 1960 addition to the front of the existing single-family dwelling unit and reconstruct a 260 square foot porch and a 287 square foot carport within the four foot side yard setback (proposed 0 foot setback) to the original 1914 Craftsman design, and minor interior remodel. City staff conducted a historical review of the building and determined that the property is a non-contributor resource to the Fort Stockton Line Historical District. However, the proposed interior remodel and reconstruction of the porch and carport have been determined to be in compliance with the U.S. Secretary of the Interior's Standards. In addition, the carport has been designed with a 1-hour fire rated walls/columns and roof assembly in conformance with the California Building Standards Code for a carport and for the portion of the structure within three feet of the property line.

Development of the proposed project requires the approval of a Process Three Variance (VAR) for development with a proposed 0 foot side yard setback, where the zone requires a minimum four foot side yard setback.

Historical:

The Fort Stockton Line Historical District (the "District") was adopted on July 16, 2007, and is historically significant as a historical district for its development and layout as an early twentieth-century "streetcar suburb" using Progressive-Era planning philosophies, and for its architecture. The period of significance for the District is 1910 to 1939, the time period between the planning of the development and its build-out. The District is significant under Historical Resources Board (HRB) Criterion A, as it exemplifies or reflects special elements of the City's and the Mission Hills neighborhood's historical, cultural, landscaping and architectural development. The District is also significant under HRB Criterion C, as it embodies distinctive characteristics of certain

styles, types and period of construction, namely Craftsman and Prairie-style, and Spanish and Mission Revival architectural styles during San Diego's development of Streetcar Suburbs during the early 20th Century. The contributing resources are historically significant under HRB Criterion F as a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value and which represent architectural periods or styles in the history and development of the City.

Variance:

Subdivision Map No. 1383 for the entire block was recorded on October 8, 1911, and the project site is an interior lot identified as Lot O. The existing single-family dwelling unit was built in 1914, which included the covered front porch and carport with a 0 foot setback from the southern property line. The first zoning ordinance that applied to the premise was adopted on October 20, 1930, pursuant to Ordinance No. 12990, which the property was designated R-1 (a single family residential zone). Development regulations on a parcel of land prior to the adoption of the City zoning ordinances were regulated by the building construction codes and accessory structures were permitted to be constructed with a 0 foot setback from the side and rear property lines. In 1960, a previous owner obtained a building permit to remove the covered front porch and carport, and constructed an addition in the area of the former front porch, which altered the architectural style of the front façade.

The project site is currently zoned RS-1-7, which requires a four foot side yard setback. The conditions are such that the strict application of the minimum side yard setback would deprive the applicant the ability to restore the original structural features of the 1914 Craftsman designed single-family dwelling unit that reflects special elements of the City's and the Mission Hills neighborhood's historical architectural development. The variance granted by the City is the minimum variance to allow for the reconstruction of the carport and preservation of this potential historical premise. In addition, the proposed construction would be in harmony with the general purpose and intent of the regulations since the carport is open greater the 80 percent on all sides and has been designed with a 1-hour fire rated walls/columns and roof assembly in conformance with the California Building Standards Code for a carport and for the portion of the structure within three feet of the property line.

Furthermore, the Urban Design Element of the Uptown Community Plan (Page 76) and the Conservation, Cultural and Heritage Resources Element on the Uptown Community Plan (Page 171) both talk about preserving the architectural character and improving the appearance of historic neighborhoods. Therefore, the granting of the variance to allow for the reconstruction of the carport will not adversely affect the applicable land use plan.

Though the property is currently a non-contributor resource to the District, upon the reconstruction of the front porch and carport to the original 1914 Craftsman design would allow the premises to qualify to be designated as a contributing resource to the District and the owner would be able to apply for the change of designation. Staff has reviewed the special conditions applying to the premises, the original 1914 design, and the proposed reconstruction and has determined that variance is appropriate at this location.

CONCLUSION

With the approval of the requested variance, the proposed project would restore a potential historical resource that meets all applicable regulations and policy documents, and staff finds the project consistent with the U.S. Secretary of the Interior's Standards, recommended land use, design guidelines, and development standards in effect for this site per the adopted Uptown Community Plan, Land Development Code, and the General Plan.

ALTERNATIVES

1. **APPROVE** Variance No. 1350283, **with modifications.**
2. **DENY** Variance No. 1350283, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



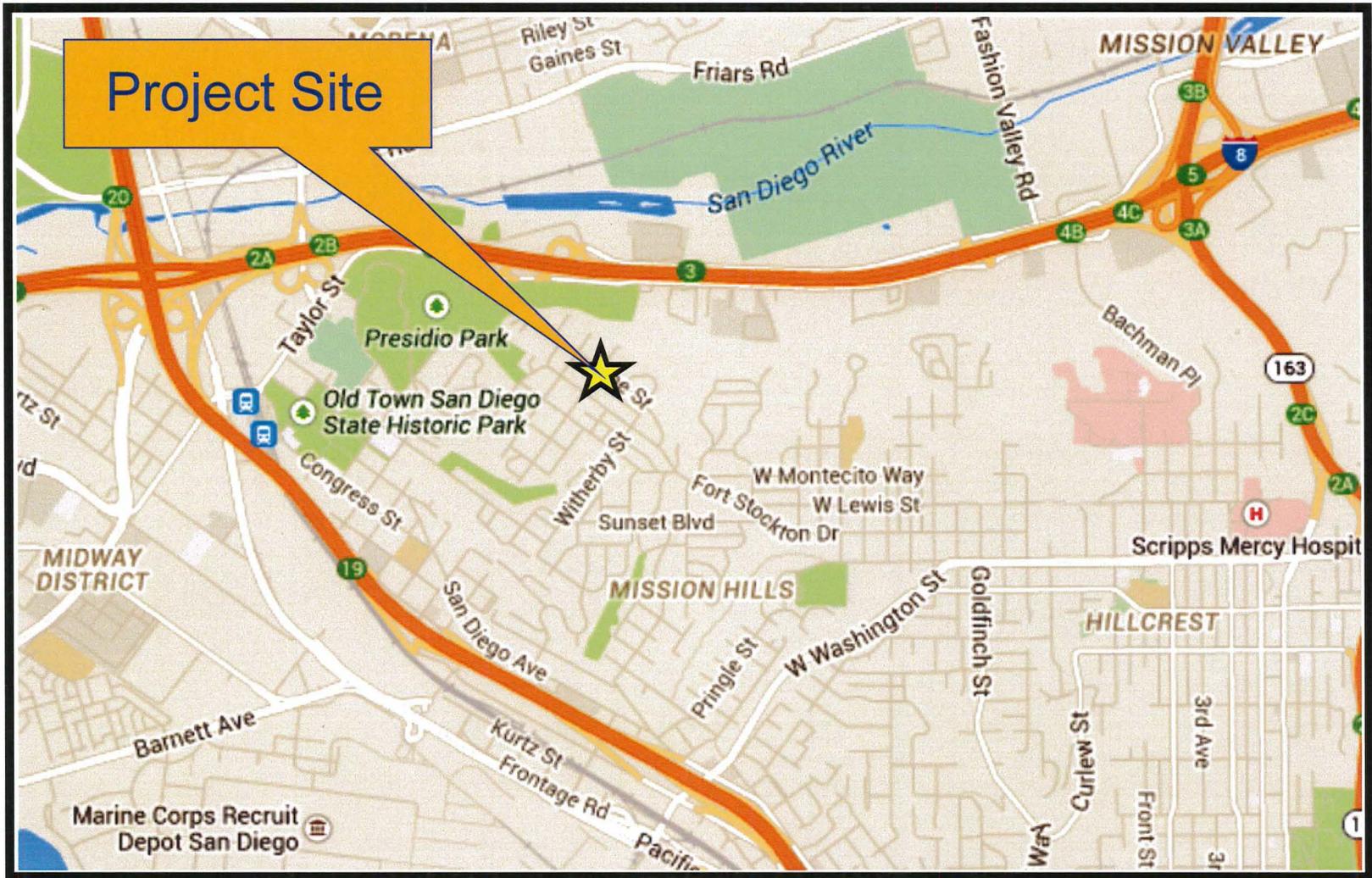
Jeffrey A. Peterson
Development Project Manager
Development Services Department

PETERSON/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Fort Stockton Historic District Map
5. Community Plan Land Use Map
6. Historical Photo
7. Current Condition Photo
8. Project Data Sheet
9. Project Plans
10. Draft VAR Permit with Conditions
11. Draft VAR Resolution with Findings
12. Uptown Planners Recommendation
13. Environmental Exemption
14. Ownership Disclosure Statement
15. Project Chronology
16. Copy of Public Notice (forwarded to HO)
17. Copy of Project Plans (full size-forwarded to HO)

Internal Order No. 24005021



Project Site



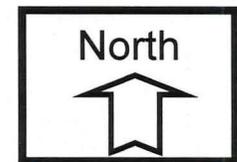
Location Map

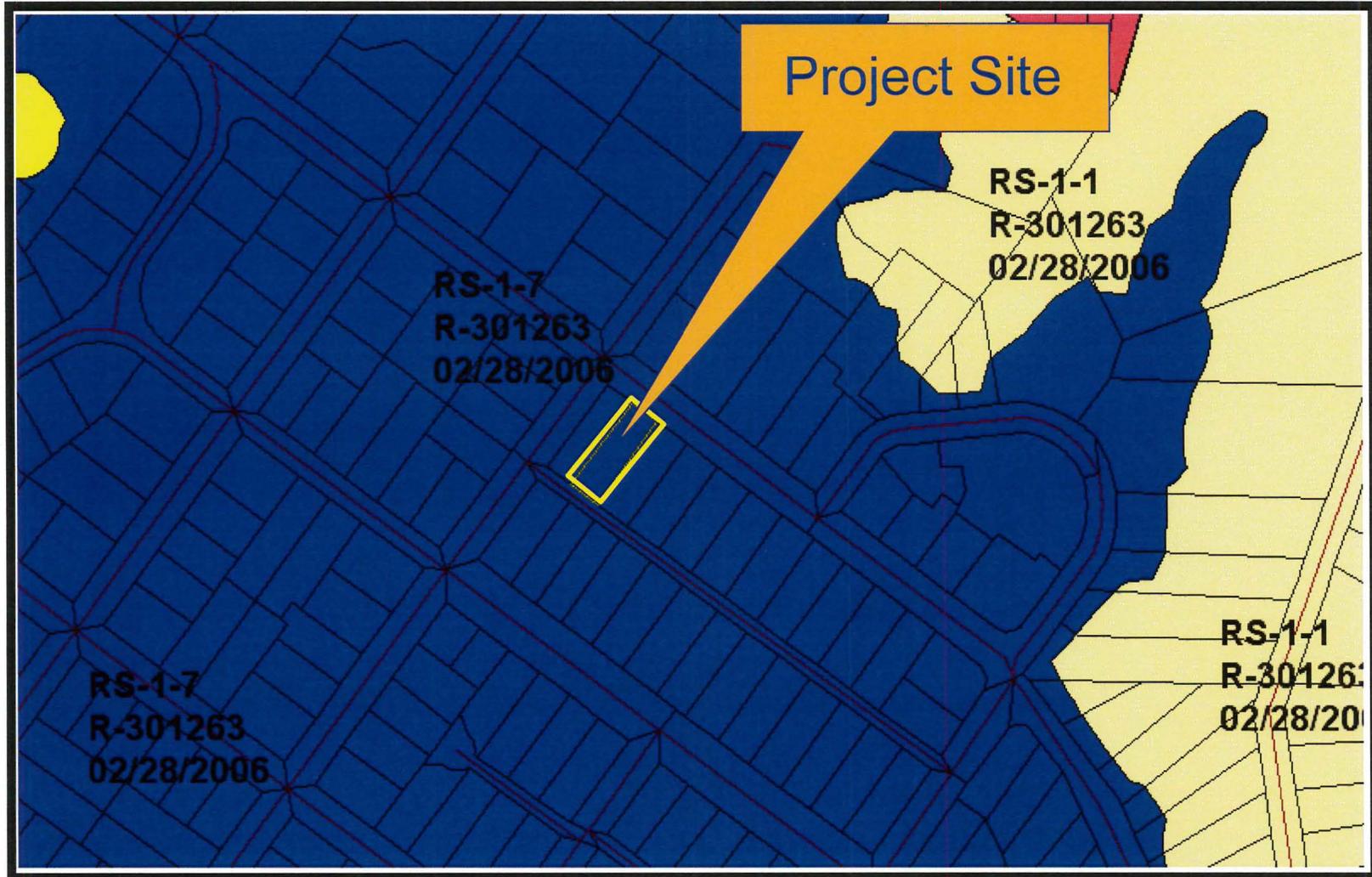
Schwab Variance - Project No. 385058
2285 Pine Street





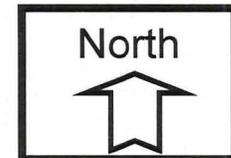
Aerial Photograph
Schwab Variance - Project No. 385058
2285 Pine Street

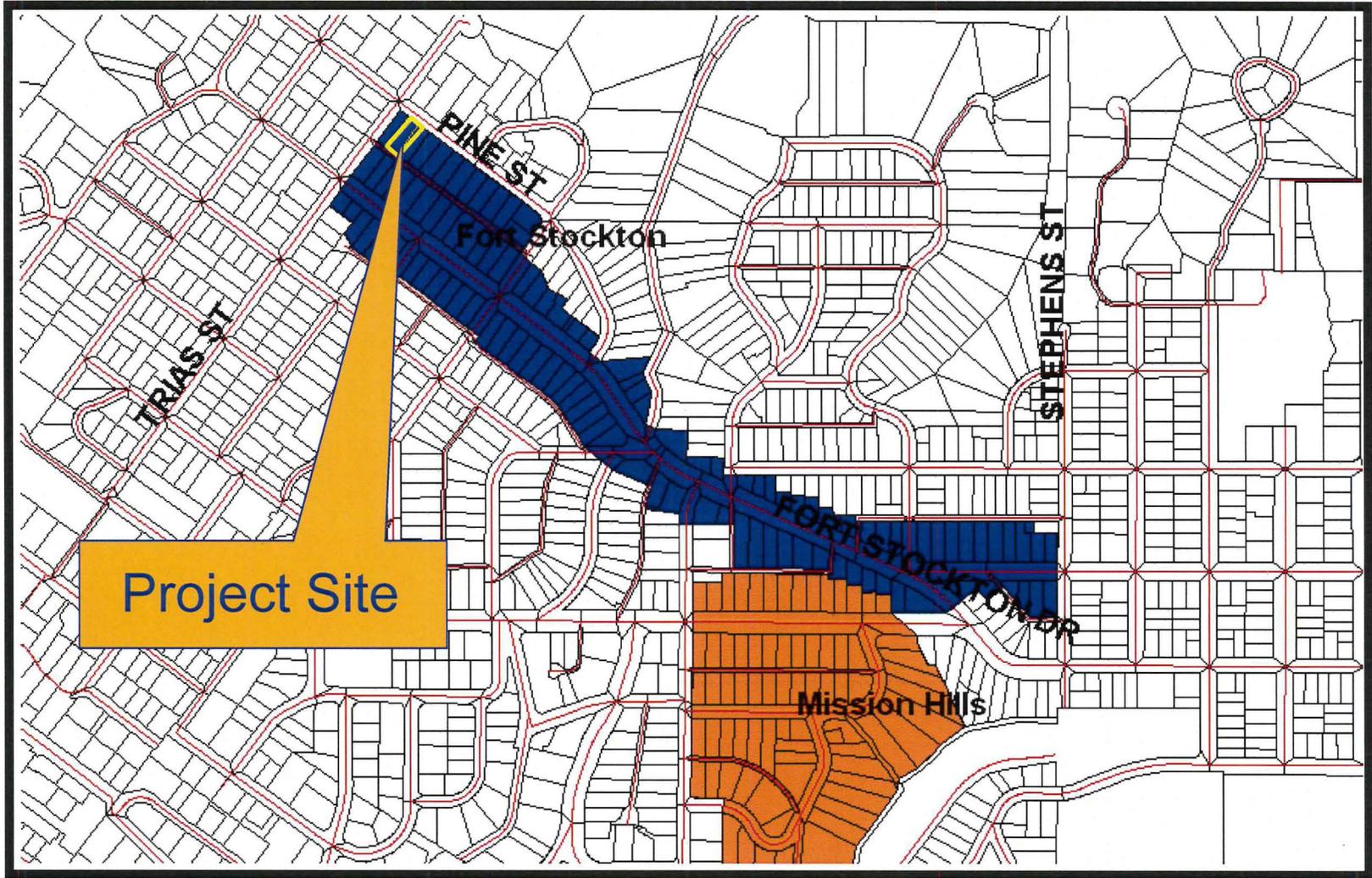




Zoning Map (RS-1-7 Zone)

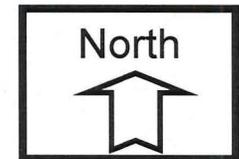
Schwab Variance - Project No. 385058
 2285 Pine Street

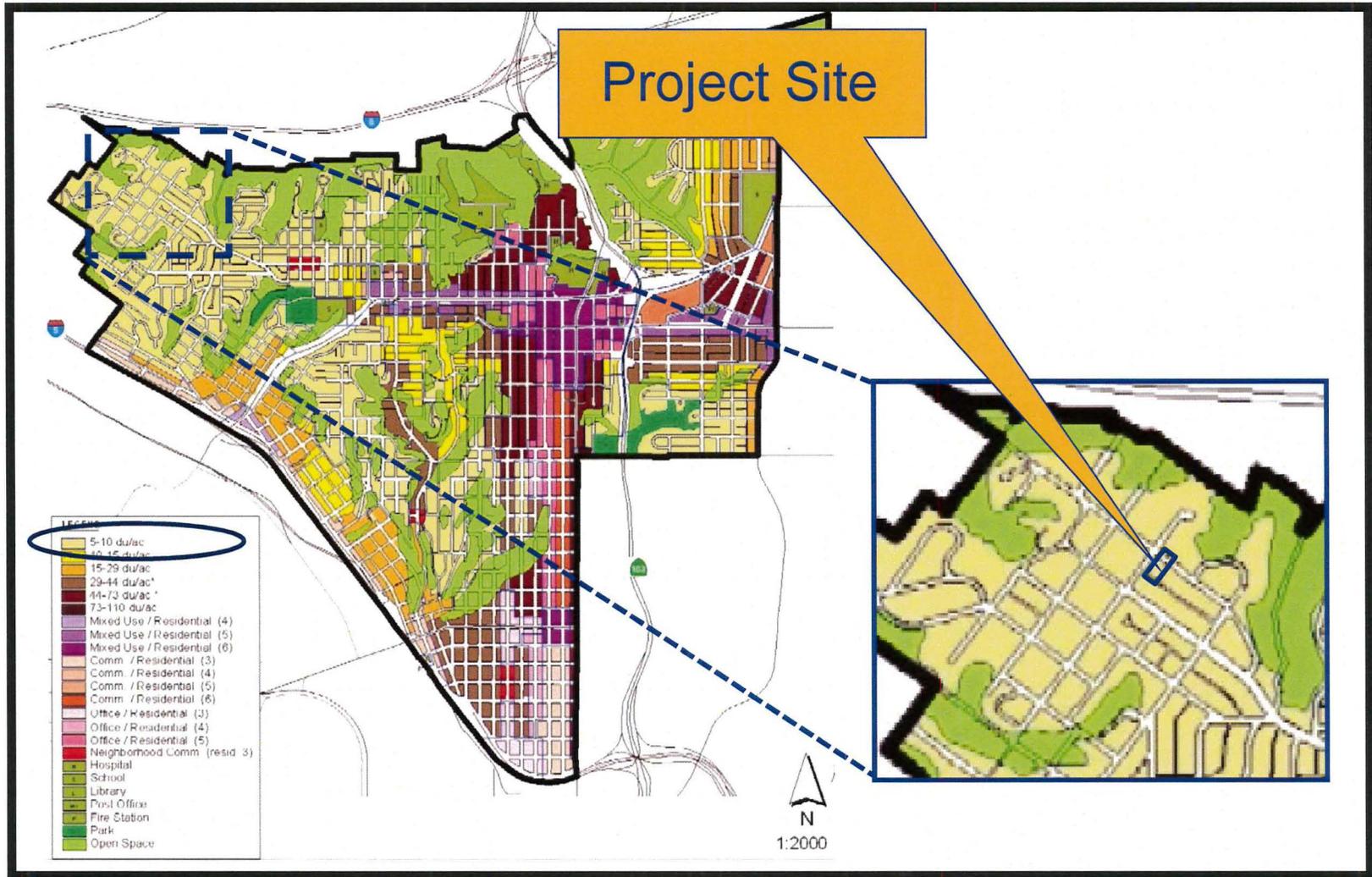




Fort Stockton Historic District Map

Schwab Variance - Project No. 385058
2285 Pine Street





Community Plan Land Use Map

Schwab Variance - Project No. 385058

2285 Pine Street





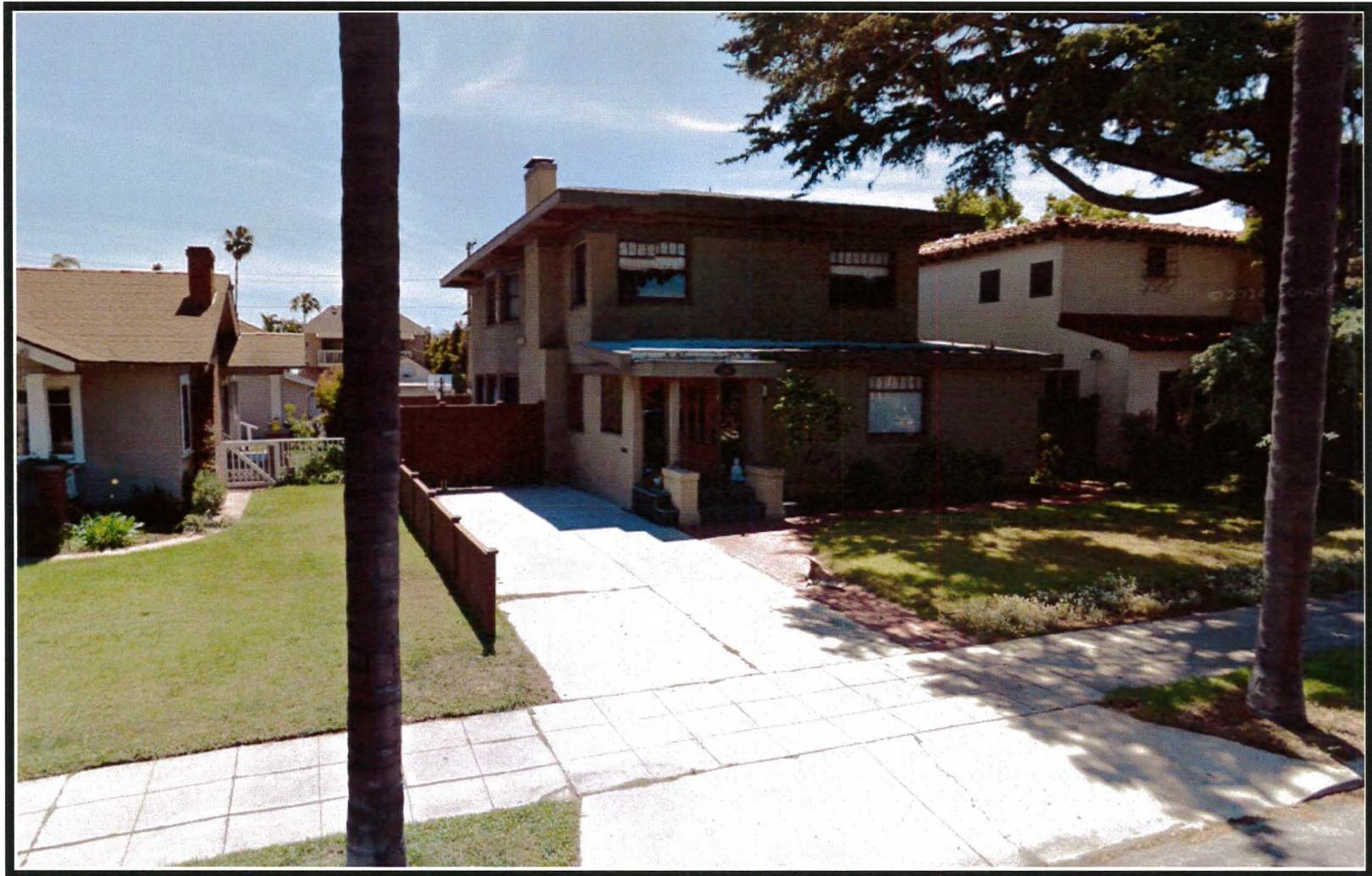
2285 PINE ST.,
SAN DIEGO - CA
EAST
ELEVATION
PHOTO B



Historical Photograph (Year 1930)

Schwab Variance - Project No. 385058
2285 Pine Street





Current Photograph (Year 2015)

Schwab Variance - Project No. 385058

2285 Pine Street



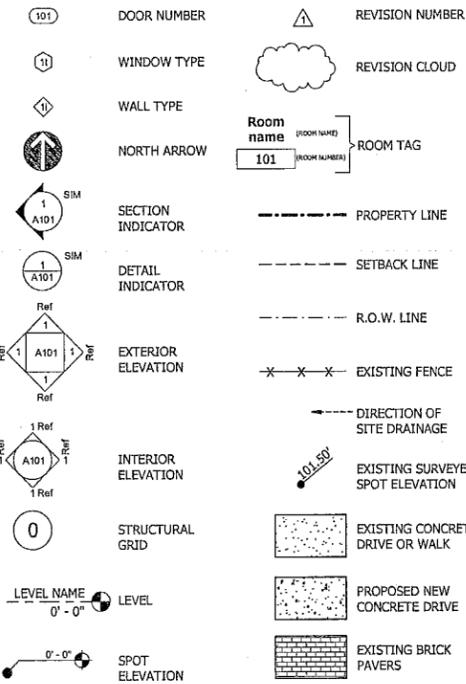
PROJECT DATA SHEET

PROJECT NAME:	Schwab Variance - Project No. 385058	
PROJECT DESCRIPTION:	The project proposes the removal of the 1960 addition to the front of the existing single-family dwelling unit and reconstruct a 260 square foot porch and a 287 square foot carport within the four foot side yard setback (proposed 0 foot setback) to the original 1914 Craftsman design, and minor interior remodels.	
COMMUNITY PLAN AREA:	Uptown	
DISCRETIONARY ACTIONS:	Variance	
COMMUNITY PLAN LAND USE DESIGNATION:	Low-Residential 5-10 DU/AC	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-7 HEIGHT LIMIT: 24/30 feet LOT SIZE: 5,000 FLOOR AREA RATIO: 0.58 (based on lot size) LOT COVERAGE: NA FRONT SETBACK: 15 feet SIDE SETBACK: 4 feet STREETSIDE SETBACK: NA REAR SETBACK: 13 feet PARKING: 2		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low-Residential 5-10 DU/AC; RS-1-7	Single Family Residential
SOUTH:	Low-Residential 5-10 DU/AC; RS-1-7	Single Family Residential
EAST:	Low-Residential 5-10 DU/AC; RS-1-7	Single Family Residential
WEST:	Low-Residential 5-10 DU/AC; RS-1-7	Single Family Residential
DEVIATIONS OR VARIANCES REQUESTED:	Variance for development with a proposed 0 foot side yard setback, where the zone requires a minimum four foot side yard setback.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On December 2, 2014, the Uptown Planners voted 14-0-1 to recommend approval of the project.	

ABBREVIATIONS

AB ANCHOR BOLT	AC AGGREGATE BASE COURSE	AD ACCESS DOOR / AREA DRAIN	ADD ADDENDUM OR ADDITION	ADJ ADJACENT / ADJUSTABLE	AEF ABOVE EXISTING FINISHED FLOOR	ALT ALTERNATE	ALUM ALUMINUM	ANOD ANODIZED	ARCH ARCHITECTURAL	ASPH ASPHALT	AT ADJUSTICAL TILE	AV AUDIO VISUAL	BD BOARD	BFC BELOW FINISH CEILING	BLDG BUILDING	BLK(G) BLOCKING	BM BEAM	B.M. BENCH MARK	B.O. BOTTOM OF	BOC BOTTOM OF CONCRETE	BTW BETWEEN	BRG BEARING	BLR BUILT-UP ROOFING	CHU CONCRETE BLOCK	CHU CERAMIC TILE	CHAN CHANNEL	CI CAST IRON	CP CAST IN PLACE	CJ CONTROL JOINT	CL CENTERLINE	CLG CLEAN OUT	COORD COORDINATE	CORR CORRIDOR	CLOS CLOSET	CLR CLEAR	CMP CORRUGATED METAL PIPE	CMU CONCRETE MASONRY UNIT	COL COLUMN	CONC CONCRETE	CONN CONNECTION	CONST CONSTRUCTION	CONT CONTINUOUS / PRESSURE TREATED	CONTR CONTRACTOR	CPT/C CARPET	CS COUNTERSUNK	CT CERAMIC TILE	CTR CENTER	DBL DOUBLE	DET DETAIL	DF DRINKING FOUNTAIN	DIA DIAMETER	DIAG DIAGONAL	DIFF DIFFUSER	DIM DIMENSION	DH DEAD LOAD	DN DOWN	DWP DAMP PROOFING	DR DOOR	DS DOWN SPOUT	DTL DETAIL	DWG DRAWING	DWR DRAWER	(E) EXISTING	EA EACH	EB EXPANSION BOLT	EC EXPOSED CONSTRUCTION	EJ EXPANSION JOINT	EL ELEVATION	ELEC ELECTRICAL	ELEV ELEVATOR	EMER EMERGENCY	ENC ENCLOSURE	EP ELECTRICAL PANEL	EQ EQUAL	EQUI EQUIPMENT	EXP EXPANSION	EXT EXISTING	EXT EXTERIOR	FA FRESH AIR	FB FLAT BAR	FD FLOOR DRAIN	FM FOUNDATION	FEC FIRE EXTINGUISHER CABINET	FF FINISH FLOOR	FG FINISH GRADE	FHC FIRE HOSE CABINET	FIN FINISHED	FLR FLOORING	FLUC FLUORESCENT	FO FINISHED OPENING / FACE OF	FOC FACE OF CONCRETE	FOM FACE OF MASONRY	FWW FACE OF WALL	FP FIREPROOF	FS FLOOR SINK	FT FOOT/FEET	FTG FOOTING	FURR FURRING	FVC FIRE VALVE CABINET	GA GAUGE	GALV GALVANIZED	GB GYPSUM BOARD	GC GENERAL CONTRACTOR	GI GALVANIZED IRON	GL GLASS / GLAZING	GLB GL-LAM BEAM	GR GRADE	GYP GYPSUM	GYPB GYPSUM WALLBOARD	HB HOSE BIB	HC HOLLOW CORE	H CONC HARDENED CONCRETE	HCP HANDICAPPED	HDR HEADER	HDWD HARDWOOD	HDWR HARDWARE	HML HOLLOW METAL	HORIZ HORIZONTAL	HR HOUR	HT HEIGHT	HTG HEATING	HVAC HEATING, VENTILATION, AIR CONDITIONING	HW HOT WATER	HWH HOT WATER HEATER	HZ HORIZONTAL	ID INSIDE DIAMETER	IN INCH	INCL INCLINED	INSUL INSULATION/INSULATING	INT INTERIOR	INV INVERT	JAN JANITOR	JST JOIST	JT JOINT	KT KITCHEN	KJ KEYS JOINT	KO KNOCKOUT	LAM LAMINATE(D)	LAV LAVATORY	LH LEFT HAND	LL LIVE LOAD	LLH LONG LEGS HORIZONTAL	LLV LONG LEGS VERTICAL	LP LOW POINT	LWC LIGHTWEIGHT CONCRETE	MAS MASONRY	MATL MATERIAL	MAX MAXIMUM	MECH MECHANICAL	MEHS MECHANICAL	MFR MANUFACTURER	MH MAN HOLE	MIN MINIMUM	MIS MISCELLANEOUS	MO MASONRY OPENING	MTD MOUNTED	MTL METAL	N NORTH	NA NOT APPLICABLE	NIC NOT IN CONTRACT	NOM NOMINAL	N-COM NON-COMBUSTIBLE	NTS NOT TO SCALE	OC ON CENTER	OD OVERFLOW DRAIN / OUTSIDE DIAMETER	OFI OWNER FURNISHED OWNER INSTALLED	OFI OWNER FURNISHED CONTRACTOR INSTALLED	OH OPPOSITE HAND	OPNG OPENING	OPP OPPOSITE	OVHD OVERHEAD	PART PARTITION	PARTB PARTITION BOARD	PC PRECAST CONCRETE	PD PLASTER DRAIN	PEXP PERPENDICULAR	PIP POURED IN PLACE	PL PLATE	PLAM PLASTIC LAMINATE	PLAS PLASTER	PLAST PLASTIC	PLYWD PLYWOOD	PNL PANEL	PAIR PAIR	PSF POUNDS PER SQUARE FOOT	PSI POUNDS PER SQUARE INCH	PT POST TENSIONED / PRESSURE TREATED	PTS POST TENSIONING SLAB	PVC POLYVINYL CHLORIDE	QT QUARRY TILE	R RISER/RADIUS	RA RETURN AIR	RB RUBBER BASE	KCP REFLECTED CEILING PLAN	RD ROOF DRAIN	RE REFER / REFERENCE	REFL REFLECTED / REFLECTIVE	REIN REINFORCING	REQD REQUIRED	RESIL RESILIENT	RET RETAINING	REV REVISION / REVISED	RF RAISED FLOOR	RFG ROOFING	RM ROOM	RO ROUGH OPENING	ROW RIGHT OF WAY	R T DPL RECESSED TRASH DISPOSAL	R TOW D RECESSED TOWEL DISPENSER	SAC SUSPENDED ACoustICAL CEILING	SAT SUSPENDED ACoustICAL TILE	SB SPLASH BLOCK	SC SOLID CORE	SCHED SCHEDULE	S CONC SEALED CONCRETE	SD STORM DRAIN	SECT SECTION	SQ SQUARE FEET	SHT SHEET	SIM SIMILAR	SND SANITARY NAPKIN DISPENSER	SNDPL SANITARY NAPKIN DISPOSAL	SPEC SPECIFICATIONS	SQ SQUARE	SS STAINLESS STEEL	S/S SERVICE SINK	STAGG STAGGERED	STD STANDARD	STL STEEL	STRUC STRUCTURAL	SUSP SUSPENDED	SYM SYMMETRICAL	SYST SYSTEM	T TREAD	TB8 TOP AND BOTTOM	TB9 TONGUE AND GROOVE	TBD TO BE DETERMINED	TD TRASH DISPOSAL	TEL TELEPHONE	TEMP TEMPERED	THK THICK	TI TENANT IMPROVEMENT	TJ TOOLED JOINT	TLT TOILET	TN TOE NAILED	TOC TOP OF CONCRETE	TOM TOP OF MASONRY	TOS TOP OF STEEL	TOW TOP OF WALL	TWD TOWEL DISPENSER	TWL TOWEL DISPOSAL	TRANS TRANSFORMER/TRANSVERSE	TYP TYPICAL	UNIFORM BUILDING CODE	UL UNDERWRITER'S LABORATORY	UNO UNLESS NOTED OTHERWISE	UTIL UTILITY	VAPOR BARRIER	VCT VINYL COMPOSITION TILE	VENT VENTILATION	VERT VERTICAL	VERIFY IN FIELD	VR VAPOR RETARDER	VT VERTICAL	VERIFY IN FIELD	VAPOR RETARDER	VERT VERTICAL	VENT THROUGH ROOF	VWC VINYL WALL COVERING	WITH WITHOUT	WC WATER CLOSET	WOOD WOOD	WOW WINDOW	WH WATER HEATER	WI WALL FABRIC	WATERPROOFING	WPK WEAKENED PLANE JOINT	WR WATER RESISTANT	WT WEIGHT	WVF WEADED WIRE FABRIC	WVM WEADED WIRE MESH
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SYMBOLS LEGEND



CITY OF S.D. GENERAL NOTES

- "NOTICE TO THE APPLICANT / OWNER'S AGENT / ARCHITECT OR ENGINEER OF RECORD: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES."
- "NOTICE TO THE CONTRACTOR / BUILDER / INSTALLER SUB-CONTRACTOR / OWNER-BUILDER: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING, AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES."

BUILDING CODE DATA

TYPE OF CONSTRUCTION:	TYPE V-B	SPRINKLERED:	NO
OCCUPANCY CLASSIFICATION:	R-3		
NUMBER OF STORIES:	2		
BUILDING HEIGHT:	22'-6"		
GOVERNING CODES:			
CALIFORNIA BUILDING CODE	2013 EDITION		
CALIFORNIA RESIDENTIAL CODE	2013 EDITION		
CALIFORNIA ELECTRICAL CODE	2013 EDITION		
CALIFORNIA ENERGY CODE	2013 EDITION		
CALIFORNIA FIRE CODE	2013 EDITION		
CALIFORNIA MECHANICAL CODE	2013 EDITION		
CALIFORNIA PLUMBING CODE	2013 EDITION		
CALIFORNIA HISTORIC BLDG. CODE	2013 EDITION		
CALIFORNIA EXISTING BLDG. CODE	2013 EDITION		
CALIFORNIA GREEN BLDG. STANDARD	2013 EDITION		
SAN DIEGO LAND DEVELOPMENT CODE	2000+		

GENERAL PROJECT NOTES

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CPC ARTICLE 87(UFC/CPC SEC. 8701).
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (UFC/CPC SEC. 901.1.4, FPPS POLICY P-90-6).
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION (CAL. CODE REGS., TIT. 19, SEC. 3.08, 3.21, UFC/CPC SEC. 2501.5.)
- ALL REQUIRED APPROVALS MUST BE OBTAINED FROM THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THE BUILDING IS OCCUPIED.
- PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS, AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THIS EQUIPMENT IS INSTALLED.
- PROPOSITION "D" HEIGHT LIMIT AREA.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO BUILDING ELEVATION SHEETS FOR BUILDING HEIGHT DOCUMENTATION.
- THERE ARE NO EXISTING BUS STOPS IN THE DIRECT VICINITY OF THIS ADDRESS.

OVERLAY ZONES

- STRUCTURAL OBSERVATION
- AIRPORT INFLUENCE AREA: SAN DIEGO INTERNATIONAL AIRPORT
- (CUPD) FACILITY-DEFICIENT NEIGHBORHOODS
- CLAIREMONT MESA HEIGHT LIMIT
- COASTAL HEIGHT LIMIT
- COASTAL:
 - CITY
 - STATE
- COMMUNITY PLAN IMPLEMENTATION:
 - A
 - B
- FIRE BRUSH ZONES 300 FOOT BUFFER
- FIRE HAZARD SEVERITY ZONE
- FIRST PUBLIC ROAD-WAY
- MISSION TRAILS DESIGN DIST.
- MOBILE HOME PARK
- PARKING IMPACT
- PRIME INDUSTRIAL LAND
- RESIDENTIAL TANDEM PARKING
- SENSITIVE COASTAL
- TRANSIT AREA
- URBAN VILLAGE
- NO OVERLAY ZONES

ENVIRONMENTALLY SENSITIVE LANDS

- CHECK IF PROPOSED SITE IS ON OR ADJACENT TO ...
- SENSITIVE BIOLOGICAL RESOURCES
 - COASTAL BEACHES
 - SENSITIVE COASTAL BLUFFS
 - 100 YEAR FLOODPLAIN

SCOPE OF WORK

PROPOSED DEVELOPMENT REGULATION VARIANCE TO RECONSTRUCT A PREVIOUSLY DOCUMENTED, CHARACTER-DEFINING CARPORT AND FRONT PORCH. THE ORIGINAL CARPORT WAS PREVIOUSLY REMOVED AND THE FRONT PORCH FILLED IN. DISCRETIONARY PERMIT PROCESS- VARIANCE

VARIANCE FINDINGS

- PER CITY OF SAN DIEGO MUNICIPAL CODE, SECT. 126.0805, FINDINGS FOR VARIANCE APPROVAL:
- SPECIAL CIRCUMSTANCES OR CONDITIONS APPLYING TO THE PREMISES FOR WHICH THE VARIANCE IS SOUGHT IS THAT THE OWNERS ARE PROPOSING TO RECONSTRUCT A PREVIOUSLY DOCUMENTED, CHARACTER-DEFINING CARPORT THAT WAS ORIGINALLY CONSTRUCTED IN 1911 DIRECTLY ADJACENT TO THE PROPERTY LINE, WITHIN THE, NOW, CURRENT REQUIRED SIDEYARD SETBACK.
 - THE CIRCUMSTANCES OR CONDITIONS ARE SUCH THAT THE STRICT APPLICATION OF THE REGULATIONS OF THE LAND DEVELOPMENT CODE FOR SIDEYARD SETBACK WOULD DEPRIVE THE OWNER OF RECONSTRUCTING A NEW CARPORT AS ORIGINALLY CONSTRUCTED.
 - THE GRANTING OF THE VARIANCE WILL BE IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE REGULATIONS AND WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY OR WELFARE. RECONSTRUCTION OF THE CARPORT WOULD DEEM THE HOUSE ELIGIBLE FOR HISTORIC DESIGNATION, WHICH WOULD ADD TO THE FABRIC AND CHARACTER OF THE SURROUNDING NEIGHBORHOOD.
 - THE GRANTING OF THE VARIANCE WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN. THE VARIANCE DOES NOT PROPOSE ANY ZONING DESIGNATION CHANGE, OR ANY OTHER DEVIATION TO THE OVERLYING ZONING CODE. THE PROPOSED ADDITION DOES NOT CONTAIN ANY HABITABLE AREA AND WOULD RECONSTRUCT AN ORIGINALLY PERMITTED ATTRIBUTE OF THE HOUSE.

SQUARE FOOTAGE

BUILDING AREA	EXISTING	ADDED	TOTAL
FIRST FLOOR	1,599	-303	1,296
SECOND FLOOR	1,339	0	1,339
GUEST HOUSE	528	0	528
GARAGE	528	0	528
TOTAL BUILDING			3,691

FRONT PORCH	260	260
CARPORT	287	287
AREA OF REMODEL	547	

PROJECT DIRECTORY

OWNER
RICHARD & KIM SCHWAB
2855 PINE STREET
SAN DIEGO, CA 92103

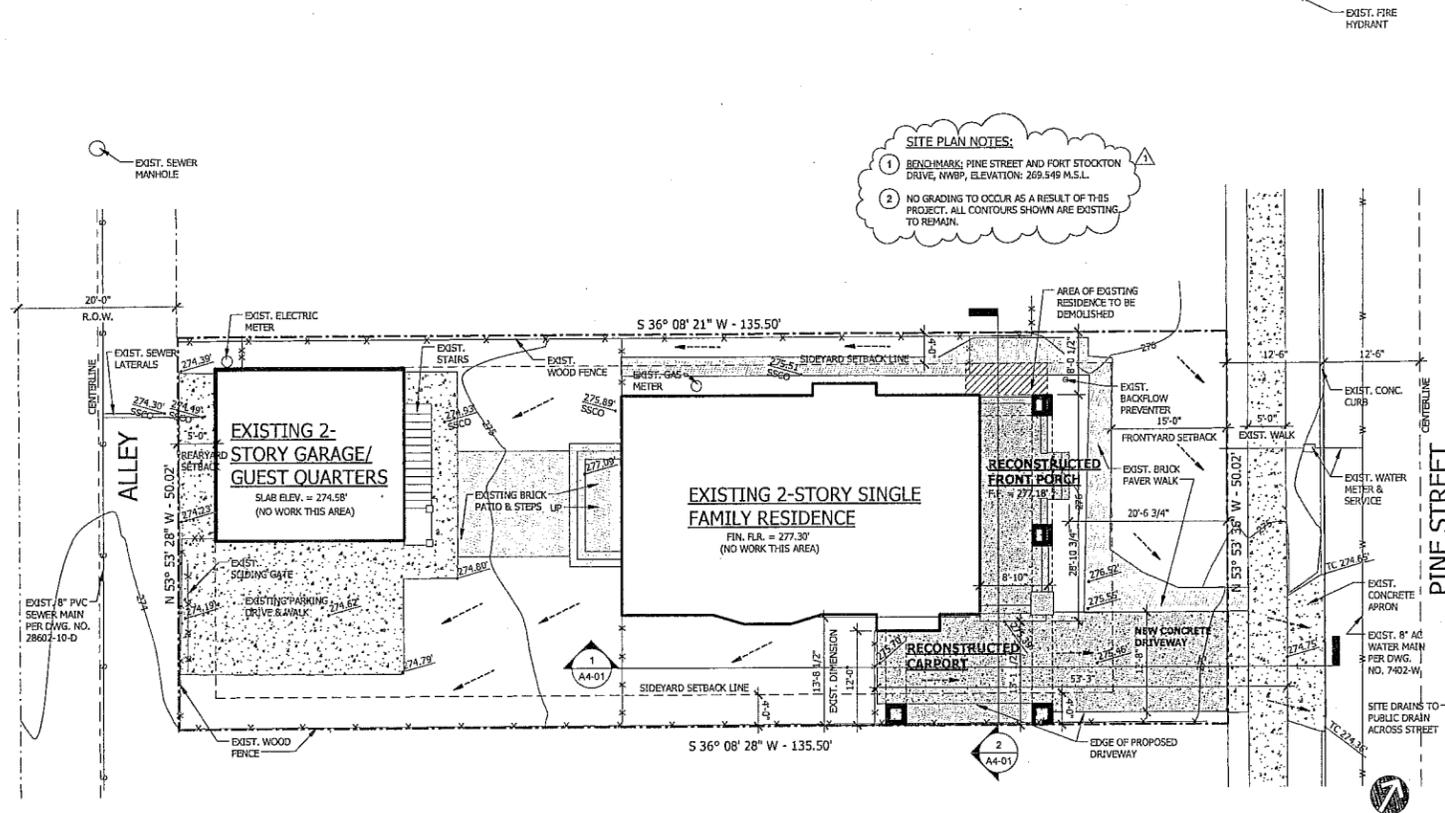
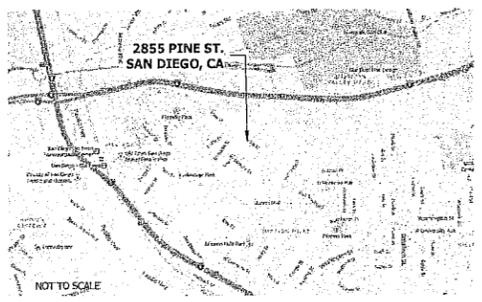
ARCHITECT
IS ARCHITECTURE
IONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD
LA JOLLA, CA 92037
V: 858.456.8555
E: sandra@isarchitecture.com
ATTN: SANDRA ESCOBEDO

CONTRACTOR
TBD

SURVEYOR
METROPOLITAN MAPPING, INC.
3568 30th STREET, STE. E
SAN DIEGO, CA 92104
V: 619.564.6091
E: metromap.sd@gmail.com
ATTN: VERNON FRANCK

STRUCTURAL ENGINEER
SIMPLY STRONG ENGINEERING
7710 HAZARD CENTER DR., E-101
SAN DIEGO, CA 92108
V: 858.344.4534
E: evar@simplystrongeng.com
ATTN: EVAN COLES

VICINITY MAP



PROJECT DATA

PROJECT NAME: SCHWAB RESIDENCE
PROJECT ADDRESS: 2285 PINE STREET
SAN DIEGO, CA 92103

HISTORIC DISTRICT: YES, FORT STOCKTON
DATE BUILT: 1911
BASE ZONE: RS-1-7
COMMUNITY PLAN: UPTOWN
GEOLOGICAL HAZARDS: 52
EARTHQUAKE BUFFER: NO
FLOOD FEMA: NO
MAP NUMBER: 1288A3
BLOCK NUMBER: 157
LOT NUMBER: "O"
A.P.N.: 443-25-15-00
EXISTING & PROPOSED USE: RESIDENTIAL
EXISTING OR PROPOSED EASEMENTS: NONE

LEGAL DESCRIPTION

LOT "O" OF MISSION HILLS NO. 3, TRACT 1383, CITY OF SAN DIEGO

FLOOR AREA ANALYSIS

LOT SIZE:	6,800 SQ. FT.
F.A.R.:	.58
ALLOWABLE SQ. FOOTAGE:	3,948 SQ. FT.
GROSS FLOOR AREA:	3,691 SQ. FT.

DRAWING SHEET INDEX

- A0-01 TITLE SHEET/ SITE PLAN
 - A1-01 TOPOGRAPHIC SURVEY
 - A2-01 EXISTING/ DEMOLITION FIRST FLOOR PLAN
 - A2-02 EXISTING/ DEMOLITION SECOND FLOOR PLAN
 - A2-03 PROPOSED FIRST FLOOR PLAN
 - A2-04 PROPOSED SECOND FLOOR PLAN
 - A3-01 EXISTING EXTERIOR ELEVATIONS
 - A3-02 PROPOSED EXTERIOR ELEVATIONS
 - A4-01 BUILDING SITE SECTIONS
 - A4-02 BUILDING SECTIONS
 - A7-01 ARCHITECTURAL DETAILS
 - A7-02 ARCHITECTURAL DETAILS
- Grand total: 12

IS ARCHITECTURE
IONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V: 858.456.8555 F: 858.456.8566
www.isarchitecture.com



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RICHARD & KIM SCHWAB
ZONING VARIANCE
2285 PINE STREET
SAN DIEGO, CA 92103

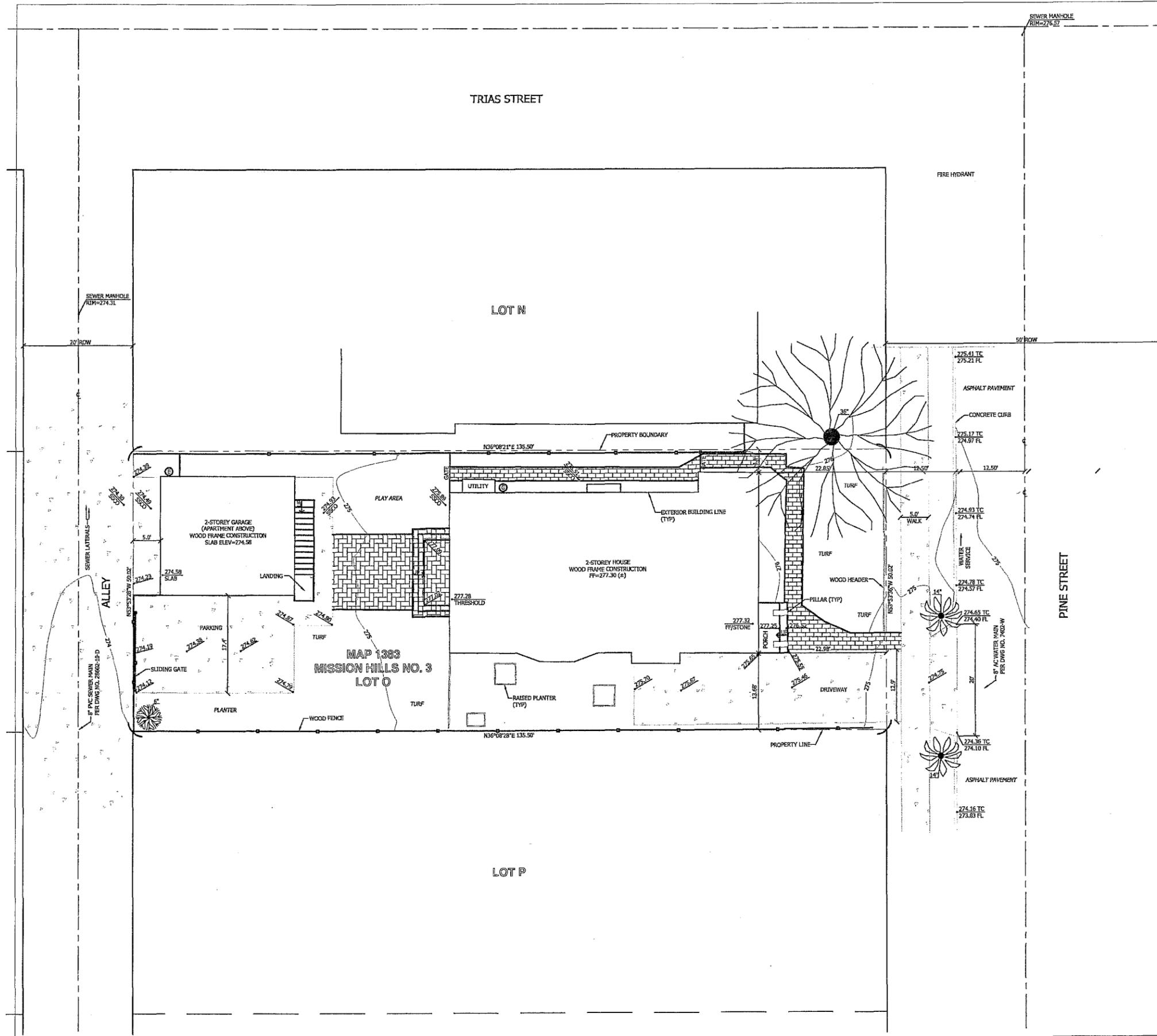
REVISIONS

NO.	NAME	DATE
1	Variance Comments	11-20-14

PROJECT NUMBER: 2014-08
PROJ. MNGR. SAE
DRAWN SAE
ISSUE DATE: 09-18-14

TITLE SHEET/ SITE PLAN

A0-01



PROPERTY LEGAL DESCRIPTION
 LOT O, MAP 1383 (MISSION HILLS NO. 3)
ASSESSORS PARCEL NUMBER
 443-230-15
BASIS OF ELEVATIONS
 CITY OF SAN DIEGO BENCHMARK
 MONUMENT DESCRIPTION: BRASS PLUG
 LOCATION: TOP OF CURB, NORTHWEST CORNER
 WITHERBY STREET & HICKORY STREET
 DATUM: NGVD 29 (MSL)
 ELEVATION: 257.15 FEET

NOTE
 THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OR EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE LOCATION OF THE PROPERTY BOUNDARY SHOWN HEREON IS BASED ON RECORD INFORMATION INCLUDING SURVEY MAPS, PLANS, NOTES AND TITLE DOCUMENTS RELATING TO THE BOUNDARY AND/OR EASEMENT LINES DEPICTED HEREON TO SHOW THE APPROXIMATE LOCATION OF THESE LINES RELATIVE TO TOPOGRAPHIC FEATURES.

LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES AND/OR FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

LEGEND

	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	EDGE OF CONCRETE
	CONCRETE CURB
	CMU WALL
	CONCRETE SURFACE
	BRICK PAVERS
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
	BOUNDARY LINE DATA
	SPOT ELEVATION
	GAS METER
	ELECTRIC METER
	TREES

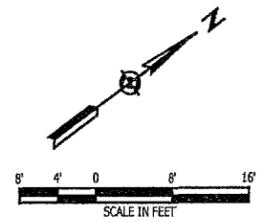
ABBREVIATIONS

FF..... FINISHED FLOOR	SSCQ..... SEWER CLEANOUT
FL..... FLOWLINE	TC..... TOP OF CURB
ROW..... RIGHT OF WAY	TYP..... TYPICAL
SS..... SANITARY SEWER	WM..... WATER METER

REVISION: 11/17/14
 ADD WATER & SEWER MAINS
 MAP DATE: 06/26/14
 SURVEY DATE: 06/18/14
 SCALE: 1/8"=1'-0"
 DRAWN BY: VF
 JOB No:

PROFESSIONAL LAND SURVEYOR
 EXPIRES 12-31-2015
 No. 7927
 STATE OF CALIFORNIA

METROPOLITAN MAPPING
 3712 30TH STREET
 SAN DIEGO, CA 92104
 (619) 564-6091
 metromap.sd@gmail.com



IS ARCHITECTURE
 JONE R. STIEGLER, FAIA
 5649 LA JOLLA BLVD. LA JOLLA, CA 92037
 V. 858-456-8555 F. 858-456-8566
 www.isarchitecture.com



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RICHARD & KIM SCHWAB
 ZONING VARIANCE
 2285 PINE STREET
 SAN DIEGO, CA 92103

REVISIONS

NO.	NAME	DATE
1	Variance Comments	11-20-14

PROJECT NUMBER
 2014.08

PROJ. MNGR. Checker	DRAWN Author
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ISSUE DATE
 09-18-14

TOPOGRAPHIC SURVEY

A1-01

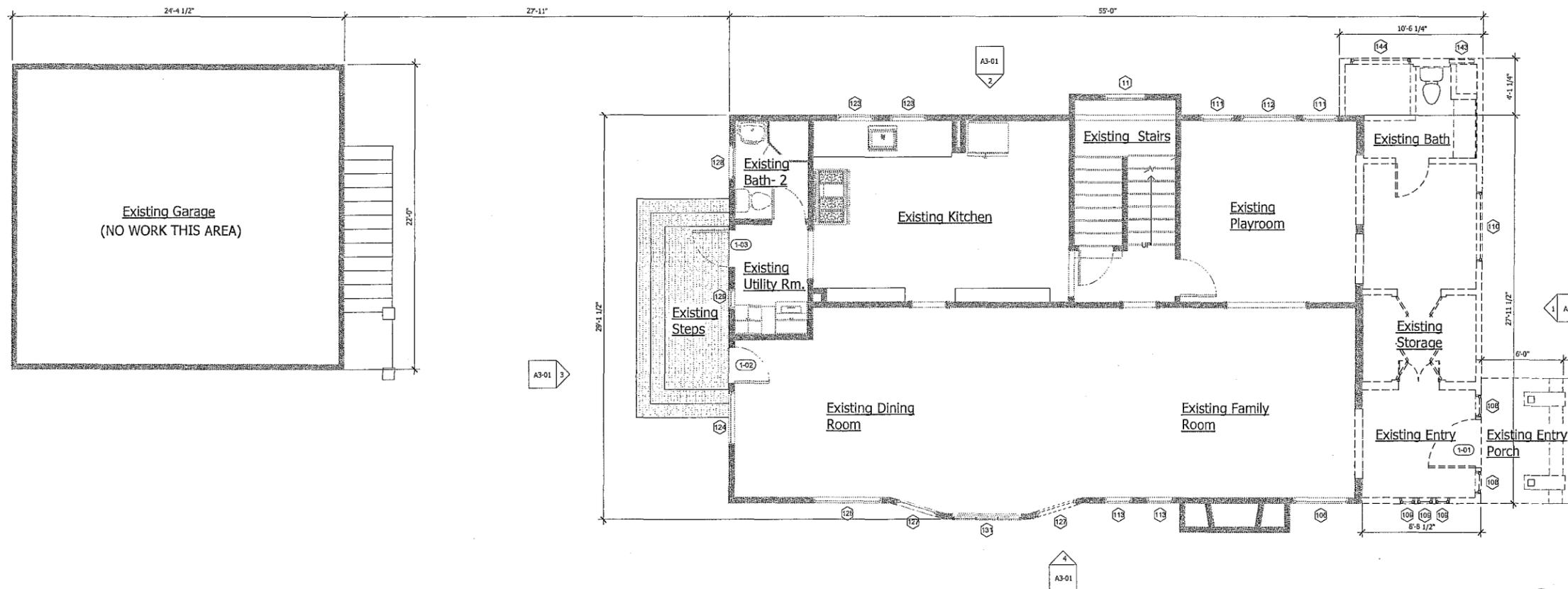
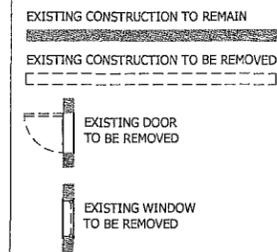
DOOR SCHEDULE									
NO.	WIDTH	HEIGHT	DOOR TYPE	MATERIAL	FINISH	THICKNESS	FIRE RATING	REMARKS	EXISTING OR NEW
1-01	3'-6"	6'-8"	ENTRY	WOOD	PAINTED	0" - 1 3/4"			EXIST. TO BE DEMOLISHED
1-02	2'-7"	6'-9"	DIV. LT.	WOOD	PAINTED	0" - 1 3/4"			EXIST. TO REMAIN
1-03	2'-8"	6'-8"	S-LITE	WOOD	PAINTED	0" - 1 3/4"			EXIST. TO REMAIN
1-04	3'-4"	6'-9"	DIV. LT.	WOOD	PAINTED	0" - 2 1/4"		W/ TEMPERED GLAZING	NEW
2-01	2'-7"	6'-9"	DIV. LT.	WOOD	PAINTED	0" - 1 3/4"		W/ TEMPERED GLAZING, NOT OPERABLE	NEW

WINDOW SCHEDULE										
Type Mark	Count	Rough Opening Width	Rough Opening Height	Type	Material	Finish	Glazing Type	Head Height	Level	Comments
106	1	3'-0"	4'-0"	Double Hung with Trim	WOOD	PAINTED	SINGLE	11' - 7"	FIRST FLOOR	EXISTING TO REMAIN
106	1	4'-0"	4'-0"	Fixed with Trim	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
108	2	1'-7"	6'-2"	Fixed with Trim	WOOD	PAINTED	SINGLE	6' - 8"	FIRST FLOOR	EXIST. TO BE DEMOLISHED
109	3	1'-1"	3'-7"	Fixed with Trim	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXIST. TO BE DEMOLISHED
110	1	5'-0"	4'-4"	Fixed with Trim	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXIST. TO BE DEMOLISHED
111	2	2'-6"	4'-5"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
112	1	4'-0"	4'-5"	Fixed	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
113	2	2'-0"	2'-6"	Fixed with Trim	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
123	2	2'-8"	3'-0"	Casement with Trim	WOOD	PAINTED	SINGLE	6' - 8"	FIRST FLOOR	EXISTING TO REMAIN
124	1	3'-10"	4'-5"	Fixed	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
125	1	5'-0"	4'-5"	Fixed	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
127	2	3'-0"	4'-2"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
128	1	2'-6"	3'-0"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
129	1	1'-5"	3'-0"	Casement with Trim	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
131	1	5'-0"	4'-2"	Fixed w/ Craftsman transom	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	EXISTING TO REMAIN
143	1	1'-10"	2'-10"	Louvered Window	WOOD	PAINTED	SINGLE	6' - 10"	FIRST FLOOR	EXIST. TO BE DEMOLISHED
144	1	4'-4"	2'-0"	Fixed with Trim	WOOD	PAINTED	SINGLE	6' - 10"	FIRST FLOOR	EXIST. TO BE DEMOLISHED
159	2	5'-0"	4'-8"	Fixed w/ Craftsman transom	WOOD	PAINTED	SINGLE	6' - 9"	FIRST FLOOR	NEW
104	2	3'-0"	4'-8"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 9"	SECOND FLOOR	NEW
127	2	3'-0"	4'-2"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 9"	SECOND FLOOR	EXISTING TO REMAIN
131	1	5'-0"	4'-2"	Fixed w/ Craftsman transom	WOOD	PAINTED	SINGLE	6' - 9"	SECOND FLOOR	EXISTING TO REMAIN
132	4	2'-6"	4'-4"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 9"	SECOND FLOOR	EXISTING TO REMAIN
134	1	1'-6"	2'-10"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 9"	SECOND FLOOR	EXISTING TO REMAIN
135	2	2'-4"	2'-4"	Casement with Trim	WOOD	PAINTED	SINGLE	6' - 7"	SECOND FLOOR	EXISTING TO REMAIN
136	1	4'-1 1/4"	3'-1"	Glass Block	WOOD	PAINTED	SINGLE	6' - 7"	SECOND FLOOR	EXISTING TO REMAIN
139	1	6'-0"	4'-8"	Fixed w/ Craftsman transom	WOOD	PAINTED	SINGLE	6' - 9"	SECOND FLOOR	EXISTING TO REMAIN
140	2	2'-0"	2'-10"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 8"	SECOND FLOOR	EXISTING TO REMAIN
141	4	2'-6"	3'-9"	Double Hung with Trim	WOOD	PAINTED	SINGLE	6' - 9"	SECOND FLOOR	EXISTING TO REMAIN
202	1	6'-0"	4'-4"	Fixed w/ Craftsman transom	WOOD	PAINTED	SINGLE	6' - 9"	SECOND FLOOR	EXIST. TO BE DEMOLISHED

GENERAL NOTES - DEMOLITION

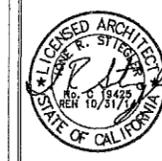
- THE CONTRACTOR SHALL PROVIDE FINISHED AND STRUCTURALLY SOUND TERMINATIONS AT DEMOLISHED AREAS. ALL ABANDONED EXISTING UTILITIES SHOULD BE PROPERLY CAPPED OFF.
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITY SERVICES, DIMENSIONS AND ELEVATIONS PRIOR TO STARTING DEMOLITION. SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE TO PROTECT THE BUILDING AND BUILDING SITE DURING CONSTRUCTION TO AVOID INTRUSION BY UNAUTHORIZED PEOPLE, BIRDS, RODENTS AND PESTS.
- CONTRACTOR TO PROVIDE PROTECTION AT ALL POTENTIAL FALLING HAZARDS DURING CONSTRUCTION PERIOD.
- COORDINATE LOCATIONS OF NEW OPENINGS THROUGH WALLS, CEILING AND FLOOR S WHERE MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS OCCUR.
- EXISTING ROOF FRAMING AND ROOF FINISHES SHALL REMAIN, UNLESS OTHERWISE NOTED.
- EXISTING WALLS AND CEILING FINISHES SHALL REMAIN INTACT, UNLESS OTHERWISE NOTED.

WALL LEGEND



EXISTING/DEMOLITION FIRST FLOOR PLAN
1/4" = 1'-0"

IS ARCHITECTURE
JONE R. STIEGLER, FAIA
3649 LA JOLLA BLVD. LA JOLLA, CA 92037
V. 858.456.8555 F. 858.456.8566
www.isarchitecture.com



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RICHARD & KIM SCHWAB
ZONING VARIANCE
2285 PINE STREET
SAN DIEGO, CA 92103

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER	2014.08
PROJ. MNGR.	SAE
DRAWN	SAE/HC
ISSUE DATE	09-18-14

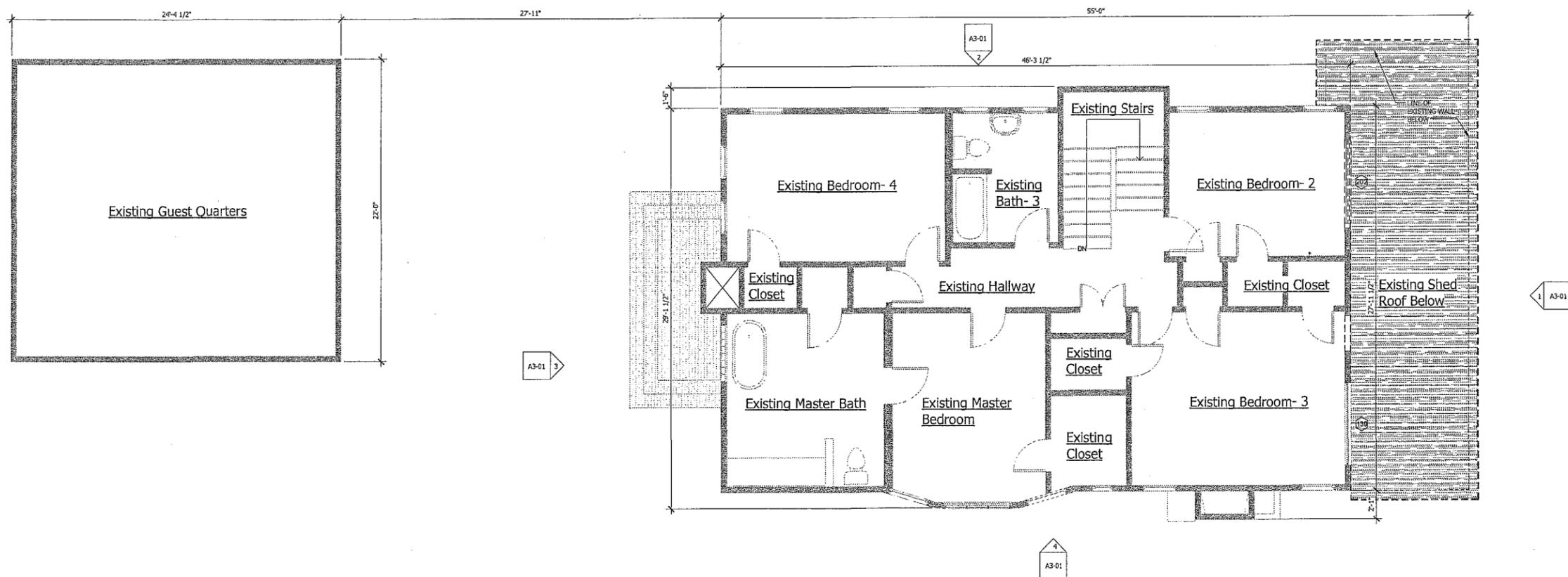
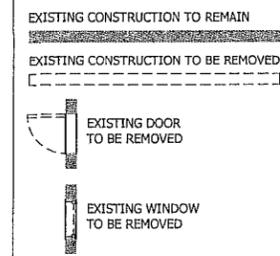
EXISTING/DEMOLITION FIRST FLOOR PLAN

A2-01

GENERAL NOTES - DEMOLITION

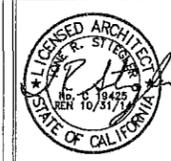
1. THE CONTRACTOR SHALL PROVIDE FINISHED AND STRUCTURALLY SOUND TERMINATIONS AT DEMOLISHED AREAS. ALL ABANDONED EXISTING UTILITIES SHOULD BE PROPERLY CAPPED OFF.
2. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITY SERVICES, DIMENSIONS AND ELEVATIONS PRIOR TO STARTING DEMOLITION. SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
3. CONTRACTOR IS RESPONSIBLE TO PROTECT THE BUILDING AND BUILDING SITE DURING CONSTRUCTION TO AVOID INTRUSION BY UNAUTHORIZED PEOPLE, BIRDS, RODENTS AND PESTS.
4. CONTRACTOR TO PROVIDE PROTECTION AT ALL POTENTIAL FALLING HAZARDS DURING CONSTRUCTION PERIOD.
5. COORDINATE LOCATIONS OF NEW OPENINGS THROUGH WALLS, CEILING AND FLOOR S WHERE MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS OCCUR.
6. EXISTING ROOF FRAMING AND ROOF FINISHES SHALL REMAIN, UNLESS OTHERWISE NOTED.
7. EXISTING WALLS AND CEILING FINISHES SHALL REMAIN INTACT, UNLESS OTHERWISE NOTED.

WALL LEGEND



EXISTING/DEMOLITION SECOND FLOOR PLAN
 1/4" = 1'-0"

IS ARCHITECTURE
 JONE R. STIEGLER, FAIA
 5649 LA JOLLA BLVD. LA JOLLA, CA 92037
 V. 858-456-8555 F. 858-456-8566
 www.isarchitecture.com



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RICHARD & KIM SCHWAB
 ZONING VARIANCE
 2285 PINE STREET
 SAN DIEGO, CA 92103

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NO.	NAME	DATE

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PROJ. MNGR. SAE	DRAWN SAE/HC
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EXISTING/
 DEMOLITION
 SECOND
 FLOOR
 PLAN

A2-02

KEYNOTES - FLOOR PLAN

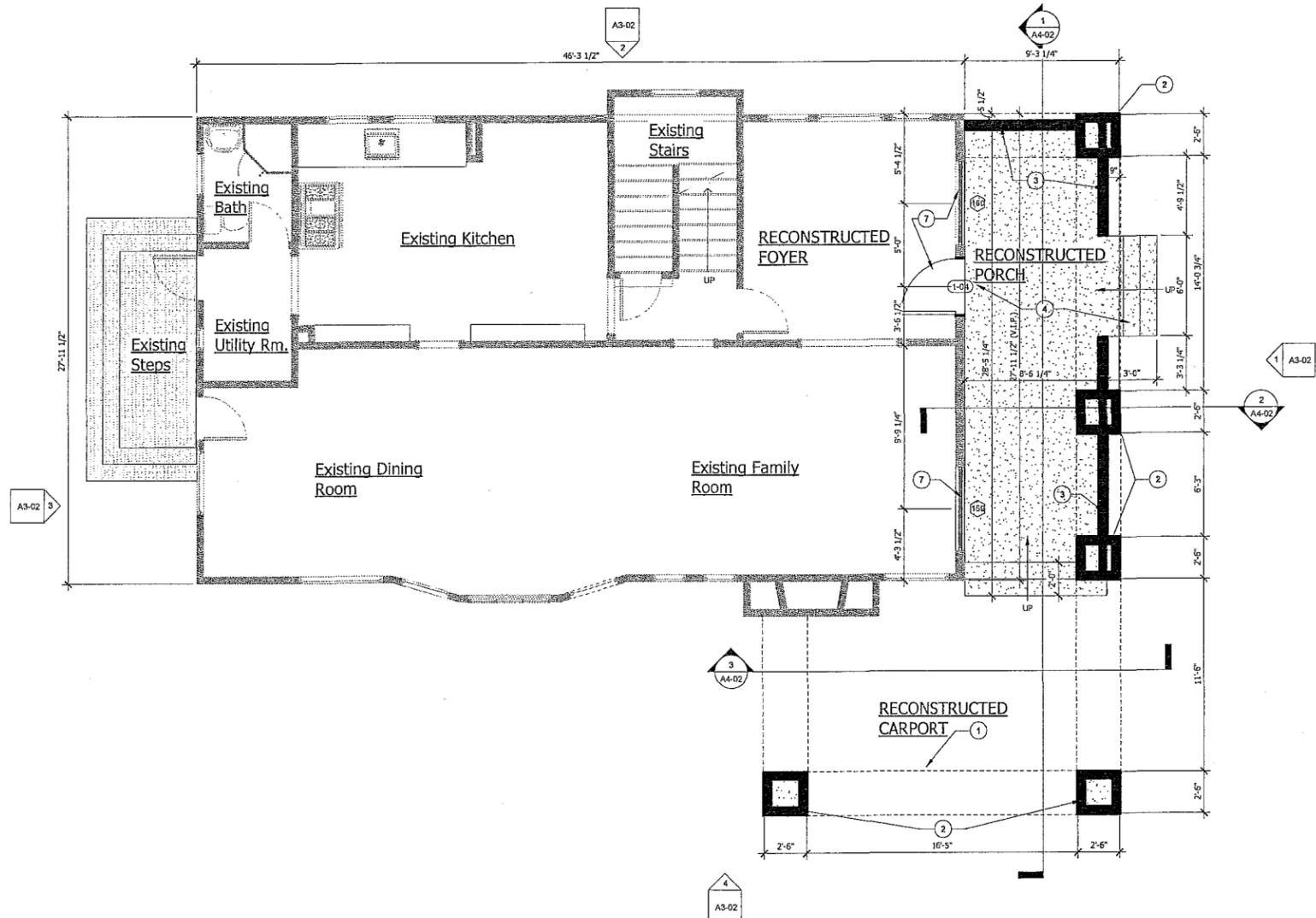
- 1 CROSS HATCHED AREA INDICATES AREA OF PROPOSED CARPORT WITHIN SIDEYARD SETBACK
- 2 NEW COLUMNS WITH STUCCO FINISH TO MATCH HISTORIC FINISH.
- 3 NEW 2x6 WOOD-FRAMED LOW WALLS WITH STUCCO FINISH TO MATCH HISTORIC FINISH. SEE ELEVATIONS FOR HEIGHTS.
- 4 NEW CONCRETE PORCH AND STEPS
- 5 NEW WOOD-FRAMED FLAT ROOF OVER PLYWOOD SHEATHING WITH ASPHALT ROLLED ROOFING, SLOPE ROOF FRAMING, MIN. 1/2":1' TO DRAIN.
- 6 NEW WOOD-FRAMED FLAT ROOF WITH 1-HOUR FIRE ASSEMBLY, ONE LAYER PLYWOOD SHEATHING OVER ONE LAYER "DENSGLASS GOLD" 5/8" SHEATHING. SLOPE ROOF FRAMING, MIN. 1/2":1' TO DRAIN.
- 7 CONTRACTOR TO PERFORM DIAGNOSTIC INVESTIGATION TO REUSE (IF APPLICABLE) AND LOCATE EXTERIOR OPENING IN ORIGINAL HISTORICAL LOCATION.

GENERAL NOTES - FLOOR PLAN

1. ALL NEW EXTERIOR GLAZING SHALL BE TEMPERED GLASS, MULTI-LAYERED GLAZED PANELS, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES, IN ACCORDANCE WITH SEC. 145.3804. REFER TO WINDOW SCHEDULE.
2. GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILINGS, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SWIMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
3. WHERE DOORS SWING OUTWARD, THE FINISHED SURFACE OF THE EXTERIOR LANDING OR DECK SHALL BE WITHIN 1/2" OF THE DOOR THRESHOLD PER CBC 1008.1.6.
4. EXISTING EXTERIOR WALLS TO BE REPAIRED AS NECESSARY AND REFINISHED WITH STUCCO FINISH TO MATCH HISTORIC FINISH.

WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALLS TO BE CONSTRUCTED / INFILLED:
(MATCH ADJACENT EXISTING WALL THICKNESS)
-  NEW DOOR
(PER DOOR SCHEDULE)
 -  NEW WINDOW
(PER WINDOW SCHEDULE)



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

IS ARCHITECTURE
JONE R. STIEGLER, FAIA

5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V. 858-456-8555 F. 858-456-8566
www.isarchitecture.com



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RICHARD & KIM SCHWAB
ZONING VARIANCE
2285 PINE STREET
SAN DIEGO, CA 92103

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER 2014.08	
PROJ. MNGR. SAE	DRAWN SAE/HC
ISSUE DATE 09-18-14	

PROPOSED
FIRST FLOOR
PLAN

A2-03

KEYNOTES - FLOOR PLAN

- 1 CROSS HATCHED AREA INDICATES AREA OF PROPOSED CARPORT WITHIN SIDEYARD SETBACK
- 2 NEW COLUMNS WITH STUCCO FINISH TO MATCH HISTORIC FINISH.
- 3 NEW 2x6 WOOD-FRAMED LOW WALLS WITH STUCCO FINISH TO MATCH HISTORIC FINISH. SEE ELEVATIONS FOR HEIGHTS.
- 4 NEW CONCRETE PORCH AND STEPS
- 5 NEW WOOD-FRAMED FLAT ROOF OVER PLYWOOD SHEATHING WITH ASPHALT ROLLED ROOFING, SLOPE ROOF FRAMING, MIN. 1/2":1" TO DRAIN.
- 6 NEW WOOD-FRAMED FLAT ROOF WITH 1-HOUR FIRE ASSEMBLY, ONE LAYER PLYWOOD SHEATHING OVER ONE LAYER "DENSGLASS GOLD" 5/8" SHEATHING. SLOPE ROOF FRAMING, MIN. 1/2":1" TO DRAIN.
- 7 CONTRACTOR TO PERFORM DIAGNOSTIC INVESTIGATION TO REUSE (IF APPLICABLE) AND LOCATE EXTERIOR OPENING IN ORIGINAL HISTORICAL LOCATION.

GENERAL NOTES - FLOOR PLAN

1. ALL NEW EXTERIOR GLAZING SHALL BE TEMPERED GLASS, MULTI-LAYERED GLAZED PANELS, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES, IN ACCORDANCE WITH SEC. 145.3804. REFER TO WINDOW SCHEDULE.
2. GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILINGS, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SWIMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
3. WHERE DOORS SWING OUTWARD, THE FINISHED SURFACE OF THE EXTERIOR LANDING OR DECK SHALL BE WITHIN 1/2" OF THE DOOR THRESHOLD PER CBC 1008.1.6.
4. EXISTING EXTERIOR WALLS TO BE REPAIRED AS NECESSARY AND REFINISHED WITH STUCCO FINISH TO MATCH HISTORIC FINISH.

WALL LEGEND

EXISTING CONSTRUCTION TO REMAIN
 NEW WALLS TO BE CONSTRUCTED / INFILLED:
 (MATCH ADJACENT EXISTING WALL THICKNESS)

-  NEW DOOR (PER DOOR SCHEDULE)
-  NEW WINDOW (PER WINDOW SCHEDULE)

IS ARCHITECTURE
 IONE R. STIEGLER, FAIA
 5649 LA VILLA BLVD, LA JOLLA, CA 92037
 P: 858-456-8555 F: 858-456-8566
 www.isarchitecture.com



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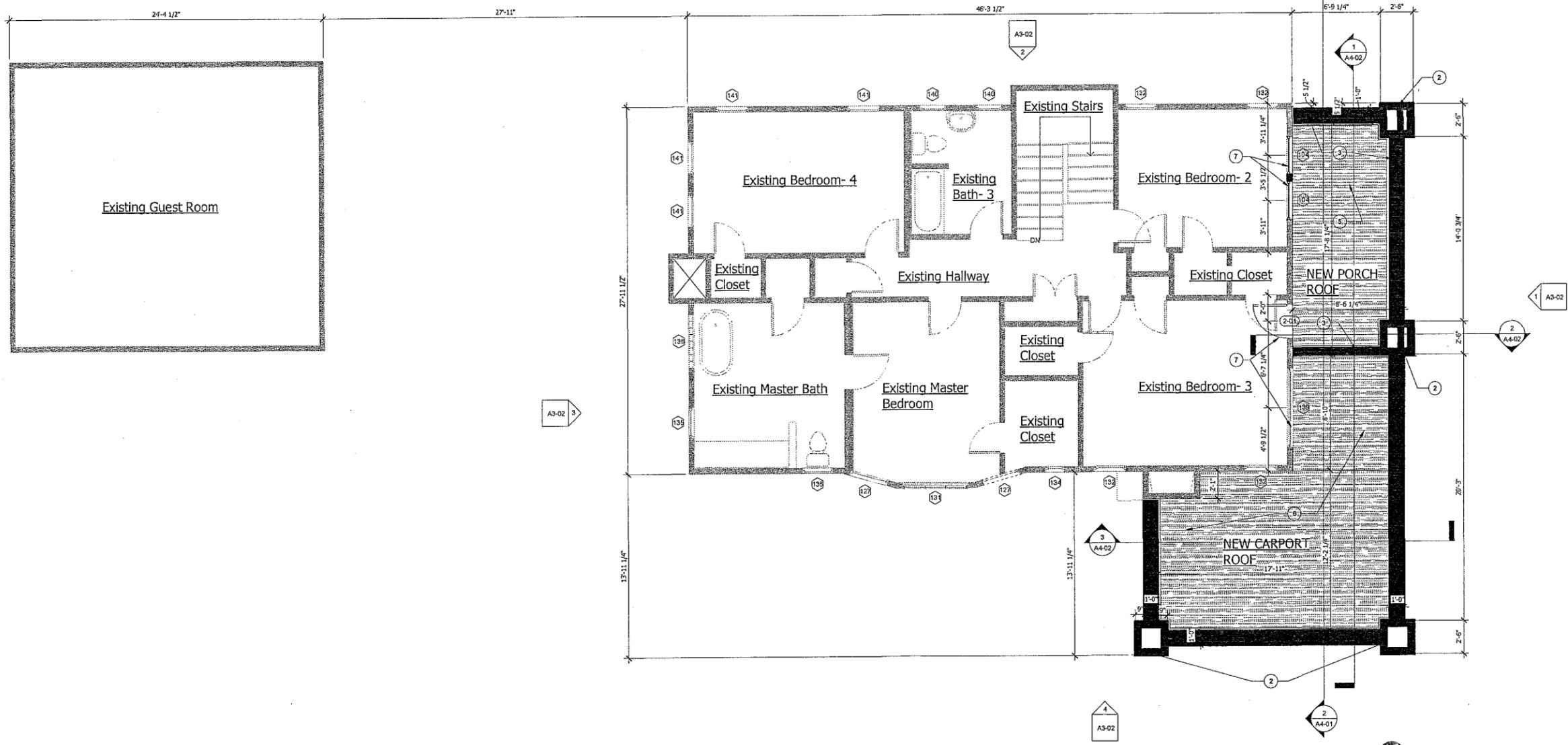
RICHARD & KIM SCHWAB
 ZONING VARIANCE
 2285 PINE STREET
 SAN DIEGO, CA 92103

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER 2014.08	
PROJ. MNGR. SAE	DRAWN SAE/HC
ISSUE DATE 09-18-14	

**PROPOSED
 SECOND
 FLOOR
 PLAN**

A2-04



1 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 AREA OF PROPOSED RECONSTRUCTED CARPORT WITHIN SIDEYARD SETBACK
- 2 NEW COLUMNS WITH STUCCO FINISH TO MATCH HISTORIC FINISH.
- 3 NEW 2x6 WOOD-FRAMED WALLS WITH STUCCO FINISH TO MATCH HISTORIC FINISH. SEE ELEVATIONS FOR WALL HEIGHTS.
- 4 NEW CONCRETE PORCH AND STEPS
- 5 EXISTING ROOF FRAMING AND FINISH TO REMAIN
- 6 EXISTING EXTERIOR WALLS TO BE REPAIRED AS NECESSARY. REFINISH WITH SUCCO FINISH TO MATCH HISTORIC FINISH.
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- 9 [Hatched Pattern] INDICATES LIMIT OF WORK AREA
- 10 EXISTING 2x6 WALL TRIM AND 4x6 BOXED BEAMS AT EAVES. REPAIR AND REPAINT AS REQUIRED TO MATCH HISTORIC.
- 11 WALL RECESS WITH STUCCO FINISH TO MATCH HISTORIC RECESS.

IS ARCHITECTURE
 JONE R. STIEGLER, FAIA
 5619 LA JOLLA BLVD., LA JOLLA, CA 92037
 V: 858-456-8555 F: 858-456-8566
 www.isarchitecture.com



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RICHARD & KIM SCHWAB
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 2285 PINE STREET
 SAN DIEGO, CA 92103

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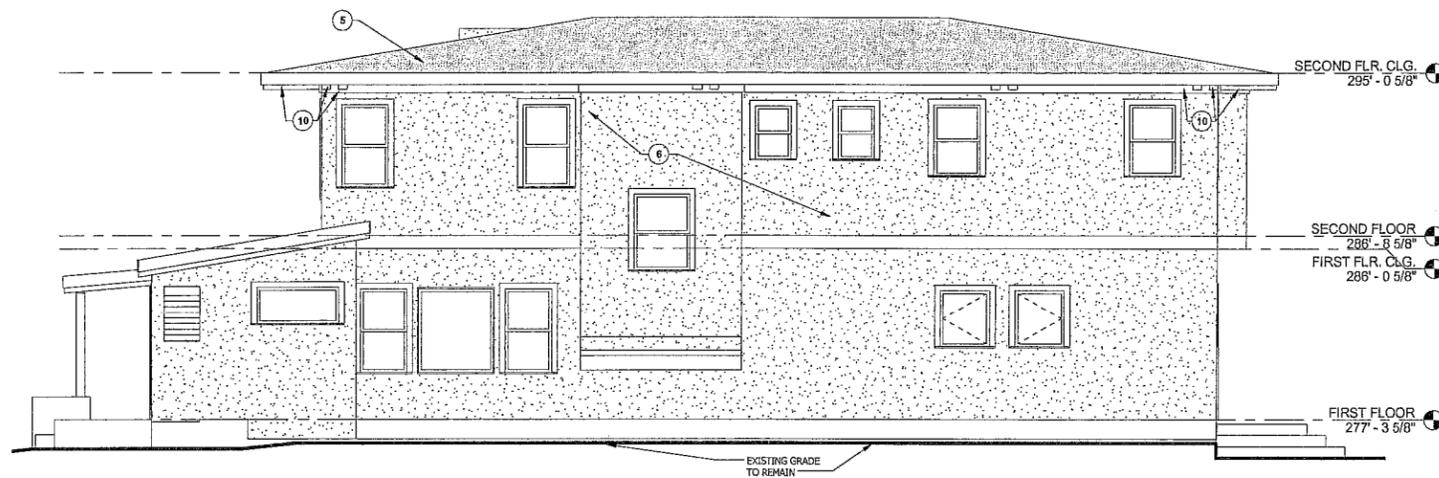
PROJECT NUMBER 2014.08	
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EXISTING EXTERIOR ELEVATIONS

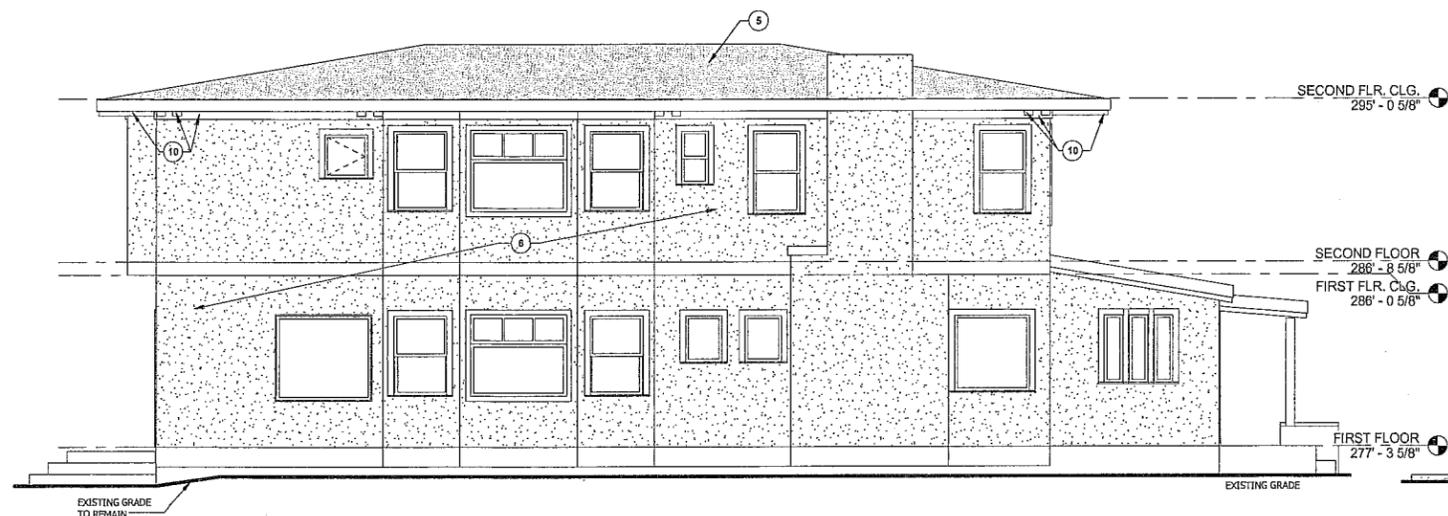
A3-01



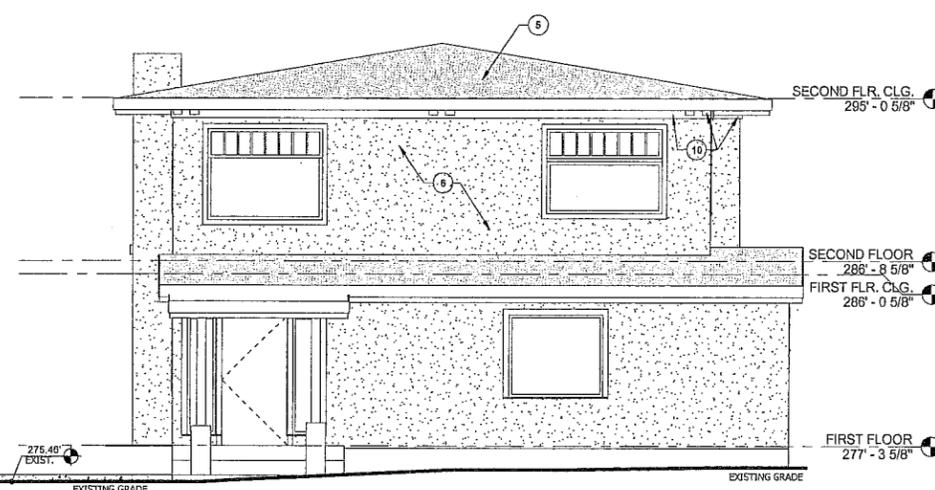
3 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



1 EXISTING EAST ELEVATION
1/4" = 1'-0"

KEYNOTES - ELEVATIONS

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 JONE R. STIEGLER, FAIA
 5649 LA JOLLA BLVD., LA JOLLA, CA 92037
 V. 658-456-8555 F. 658-456-8566
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 ZONING VARIANCE
 2285 PINE STREET
 SAN DIEGO, CA 92103

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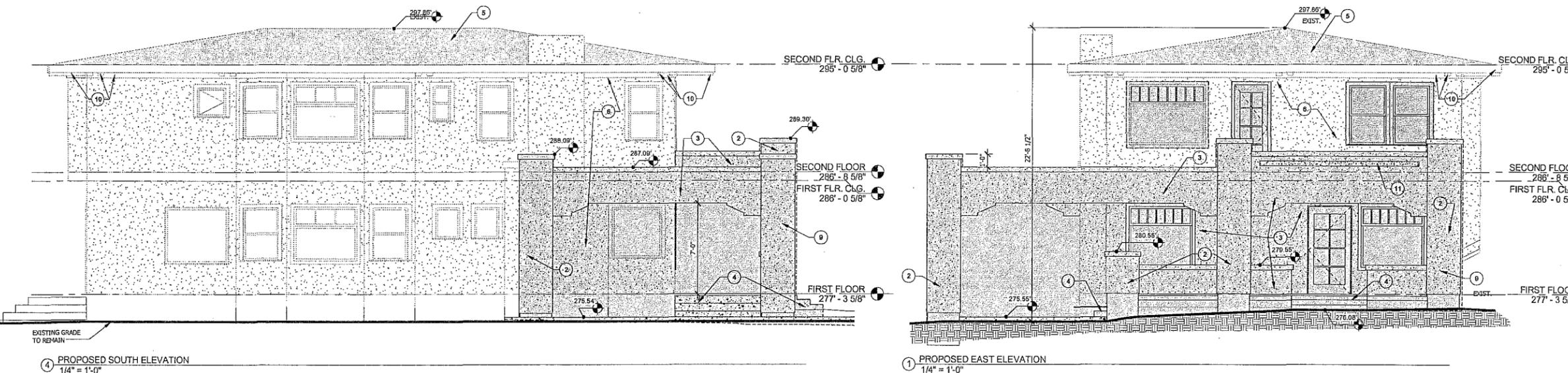
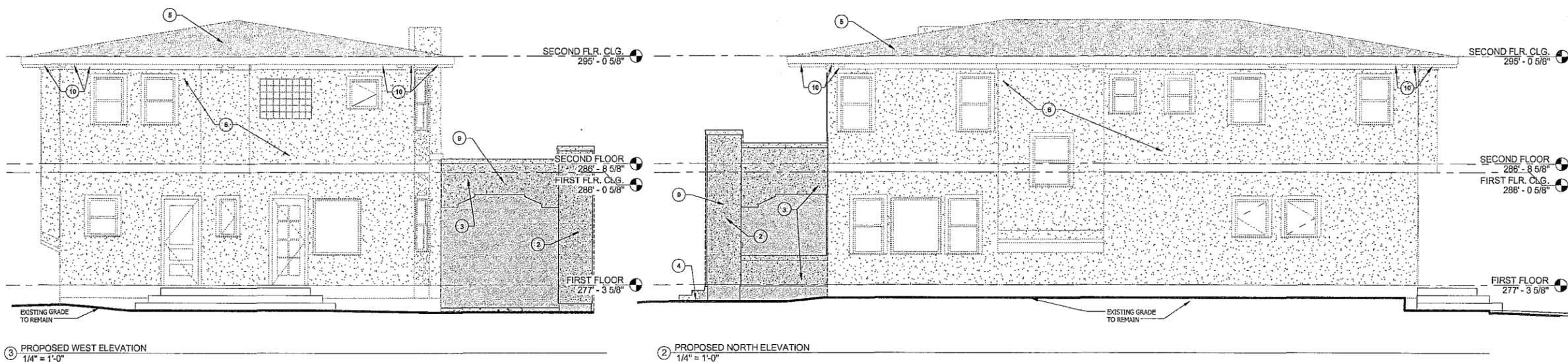
PROJECT NUMBER
2014.08

PROJ. MNGR. SAE	DRAWN SAE/HC
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ISSUE DATE
09-18-14

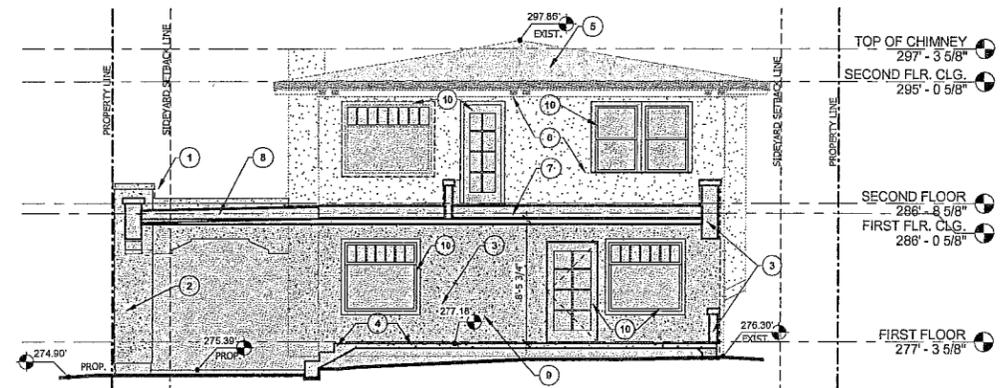
PROPOSED EXTERIOR ELEVATIONS

A3-02

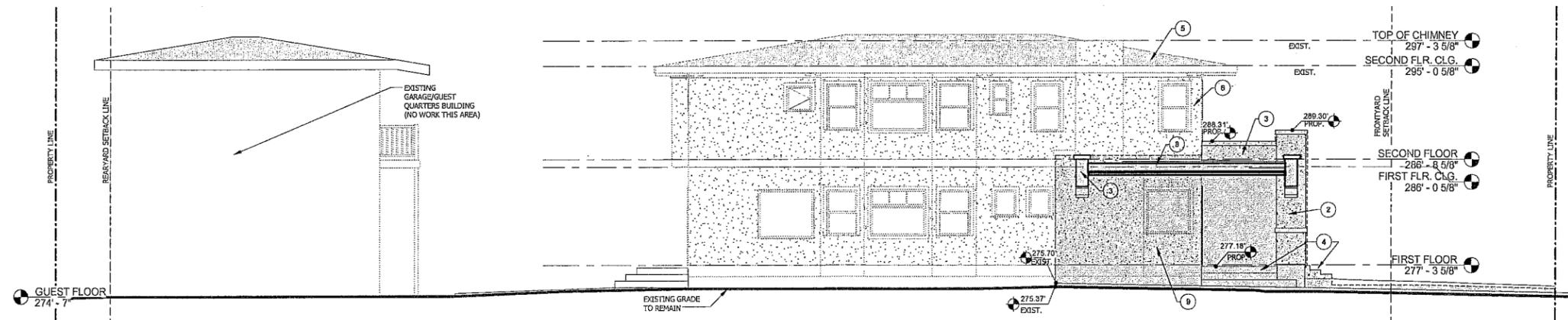


KEYNOTES - SECTIONS

- 1 AREA OF PROPOSED RECONSTRUCTED CARPORT WITH SIDYARD SETBACK
- 2 NEW COLUMNS WITH STUCCO FINISH TO MATCH HISTORIC FINISH.
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- 11 NEW COPPER IN-WALL DRAIN BY "THUNDERBIRD" OR EQUAL DRAIN FROM ROOF INTO COLUMN.



2 NORTH-SOUTH SITE SECTION
3/16" = 1'-0"



1 EAST-WEST SITE SECTION
3/16" = 1'-0"

IS ARCHITECTURE
JONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD., LA JOLLA, CA 92037
V: 858-456-8555 F: 858-456-8566
www.isarchitecture.com



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ZONING VARIANCE
2285 PINE STREET
SAN DIEGO, CA 92103

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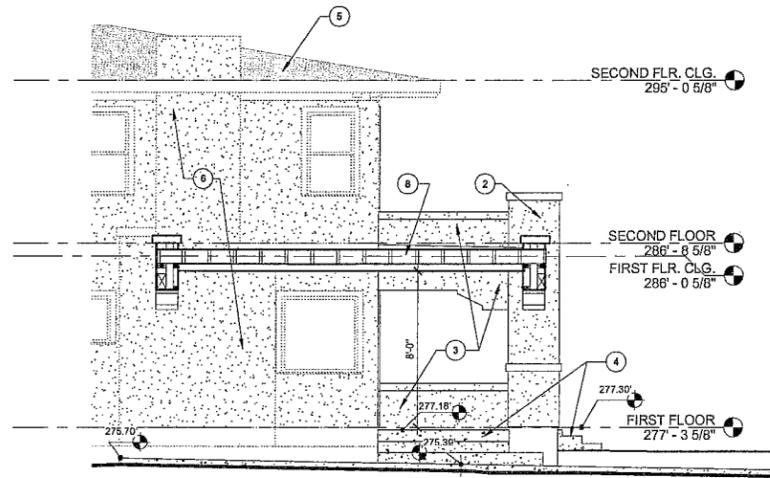
PROJECT NUMBER
2014.08
PROJ. MNGR. DRAWN
SAE SAE/HC
ISSUE DATE
09-18-14

**BUILDING
SITE
SECTIONS**

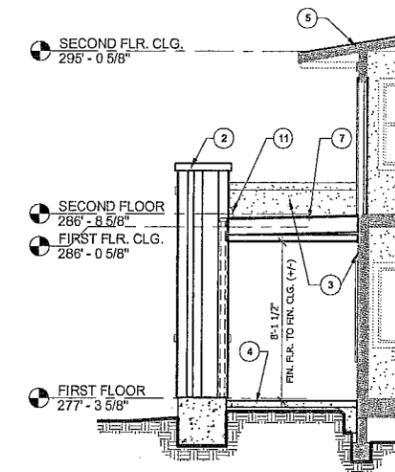
A4-01

KEYNOTES - SECTIONS

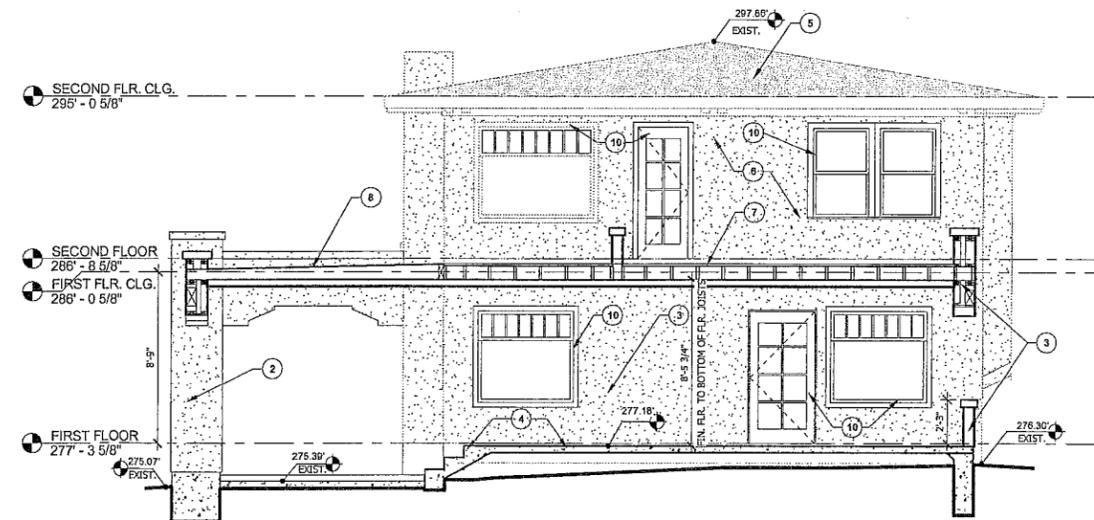
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3 NORTHWEST SECTION THRU CARPORT
1/4" = 1'-0"



2 SOUTHEAST SECTION THRU PORCH
1/4" = 1'-0"



1 SOUTHWEST SECTION THRU PORCH
1/4" = 1'-0"

IS ARCHITECTURE
JONIE R. STIEGLER, FAIA
5649 LA JOLLA BLVD. LA JOLLA, CA 92037
Y. 858-450-8555 F. 858-450-8566
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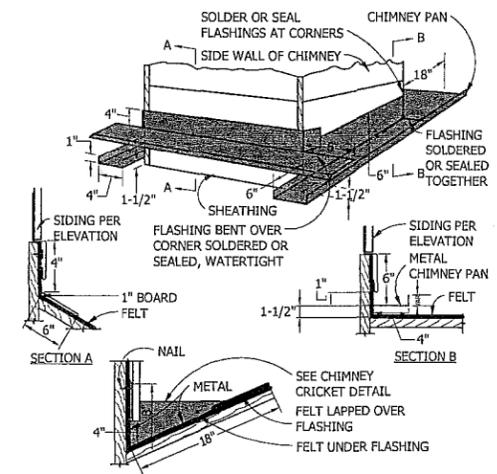
RICHARD & KIM SCHWAB
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2285 PINE STREET
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REVISIONS		
NO.	NAME	DATE

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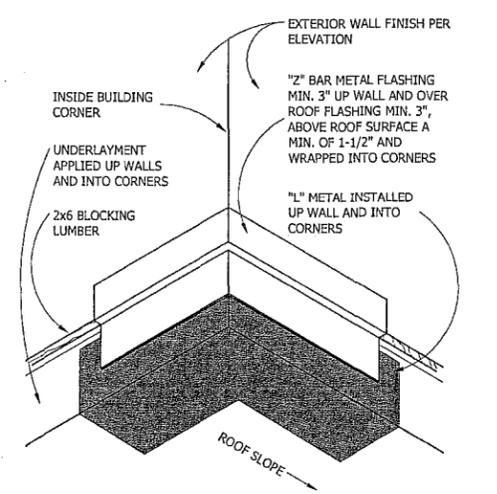
BUILDING SECTIONS

A4-02

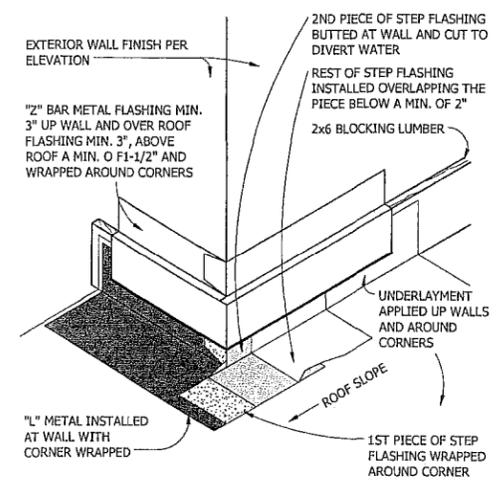


NOTE: THIS DRAWING IS TO BE USED AS A GUIDELINE. ALL FLASHING MUST BE INSTALLED TO BE WATERTIGHT.

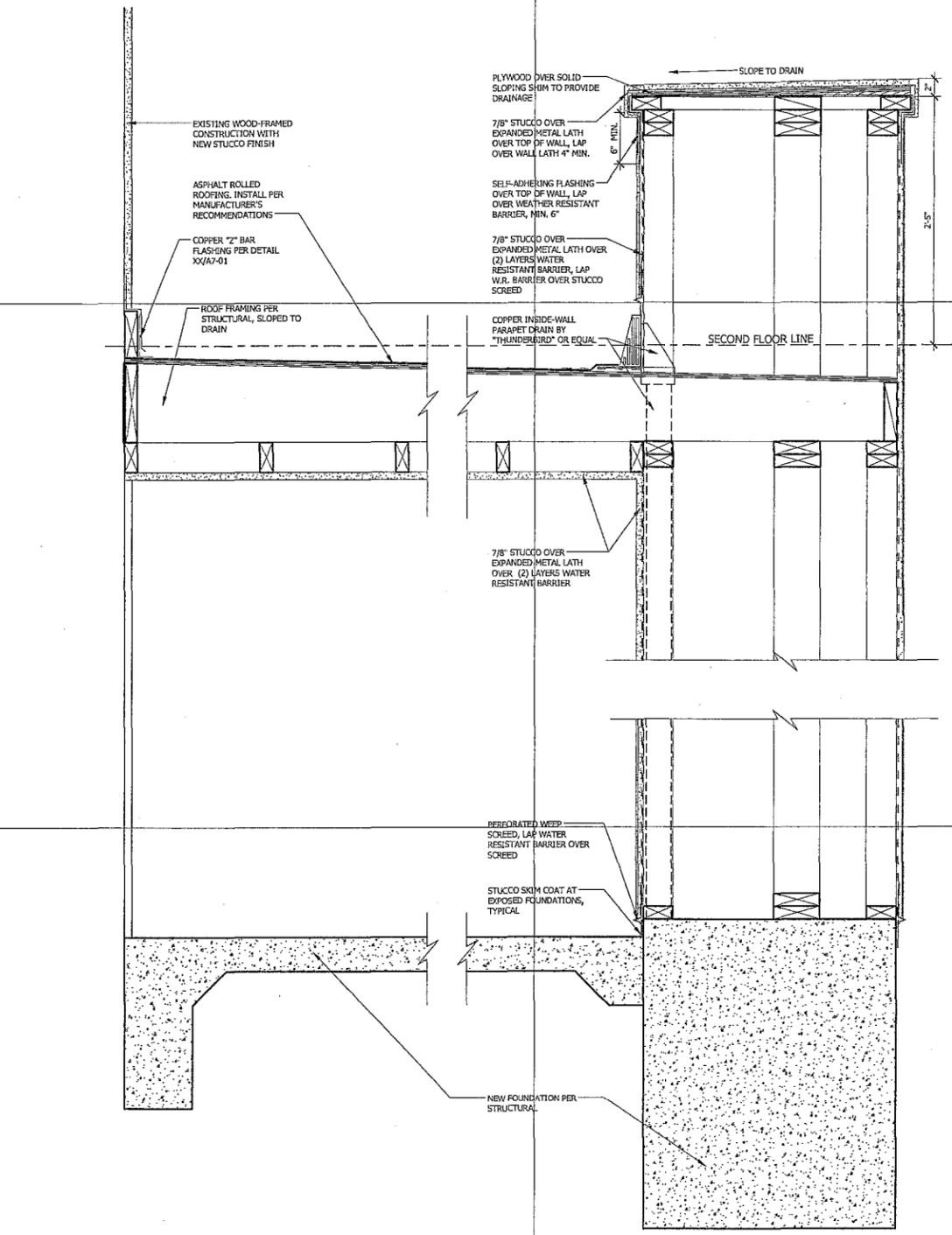
④ CHIMNEY FLASHING
1 1/2" = 1'-0"



③ INSIDE CORNER FLASHING
1 1/2" = 1'-0"

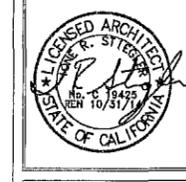


② OUTSIDE CORNER FLASHING
1 1/2" = 1'-0"



① PARAPET WALL-FLAT ROOF
1 1/2" = 1'-0"

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RICHARD & KIM SCHWAB
ZONING VARIANCE
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REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER
2014.08

PROJ. MNGR. CHECKER
DRAWN AUTHORIZED

ISSUE DATE
09-18-14

ARCHITECTURAL
DETAILS

A7-01

IS ARCHITECTURE
 JONE R. STIEGLER, FAIA
 5649 LA JOLLA BLVD., LA JOLLA, CA 92037
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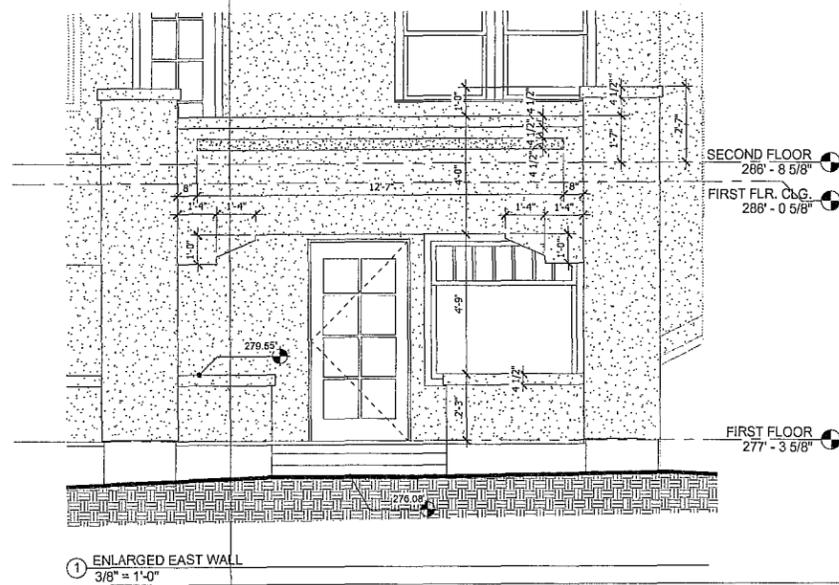
RICHARD & KIM SCHWAB
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 2285 PINE STREET
 SAN DIEGO, CA 92103

REVISIONS		
NO.	NAME	DATE

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ISSUE DATE 09-18-14	

**ARCHITECTURAL
 DETAILS**

A7-02



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005021

VARIANCE NO. 1350283
SCHWAB VARIANCE - PROJECT NO. 385058
HEARING OFFICER

This Variance No. 1350283 is granted by the Hearing Officer of the City of San Diego to RICHARD SCHWAB and KIM SCHWAB, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0805. The 0.156 acre site is located at 2285 Pine Street, east of Trias Street, in the RS-1-7 Zone within the Fort Stockton Historic District and the Uptown Community Plan. The project site is legally described as: Lot O of Mission Hills No. 3, Tract 1383, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1383, filed in the Office of the County Recorder of San Diego County, October 8, 1911.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to reconstruct a front porch and carport within the side yard setback for an existing single-family dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 25, 2015, on file in the Development Services Department.

The project shall include:

- a. The removal of a 1960 addition to the front of the existing single-family dwelling unit and to reconstruct a 260 square foot porch and a 287 square foot carport within the four foot side yard setback (0 foot setback) to the original 1914 Craftsman design, and minor interior remodel;
- b. Variance to the four foot side yard setback requirement to allow for a 0 foot setback along the southern property line for the carport;
- c. Landscaping (planting, irrigation and landscape related improvements);

- d. Off-street parking;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **March 11, 2018**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMPs) maintenance, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/HISTORICAL RESOURCES REQUIREMENTS:

14. Prior to the issuance of any building permit(s) for current and future improvements to the existing single-family dwelling unit, the Owner/Permittee shall submit the construction documents to the Historical Resource Division within the Development Services Department for review. The construction documents shall show all proposed improvements and shall be consistent with the U.S. Secretary of the Interior's Standards due to the potential historic nature of the structure.

PLANNING/DESIGN REQUIREMENTS:

15. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

16. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 25, 2015, and Resolution No. .

Permit Type/PTS Approval No.: VAR/1350283
Date of Approval: February 25, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

RICHARD SCHWAB and KIM SCHWAB
Owner/Permittee

By _____
Richard Schwab
Owner

By _____
Kim Schwab
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO. _____
VARIANCE NO. 1350283
SCHWAB VARIANCE - PROJECT NO. 385058

WHEREAS, RICHARD SCHWAB and KIM SCHWAB, Owner/Permittee, filed an application with the City of San Diego for a permit to reconstruct a front porch and carport within the side yard setback for an existing single-family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1350283), on portions of a 0.156 acre site;

WHEREAS, the project site is located at 2285 Pine Street, east of Trias Street, in the RS-1-7 Zone within the Fort Stockton Historic District and the Uptown Community Plan;

WHEREAS, the project site is legally described as: Lot O of Mission Hills No. 3, Tract 1383, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1383, filed in the Office of the County Recorder of San Diego County, October 8, 1911;

WHEREAS, on February 25, 2015, the Hearing Officer of the City of San Diego considered Variance No. 1350283 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 24, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Article 19, Section 15301 (Existing Facilities); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 25, 2015.

FINDINGS:

1. There are special circumstances or conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations;

The project site is located at 2285 Pine Street and is an interior lot identified as Lot O on Subdivision Map No. 1383, which was recorded on October 8, 1911. The premises has been previously graded and developed with an existing single-family dwelling unit and a detached two-car garage with a second story companion unit. The existing single-family dwelling unit was built in 1914, which included the covered front porch and a carport with a 0 foot setback from the southern property line. The first zoning ordinance that applied to the premise was adopted on October 20, 1930, pursuant to Ordinance No. 12990, which the property was designated R-1 (a single family residential zone). Development regulations on a parcel of land prior to the adoption of the City zoning ordinances were regulated by the

building construction codes and accessory structures were permitted to be constructed with a 0 foot setback from the side and rear property lines. In 1960, a previous owner obtained a building permit to remove the covered front porch and carport, and constructed an addition in the area of the former front porch, which altered the architectural style of the front façade.

The project site is located in the Fort Stockton Line Historical District (the “District”), which was adopted on July 16, 2007, and is historically significant as a historical district for its development and layout as an early twentieth-century “streetcar suburb” using Progressive-Era planning philosophies, and for its architecture. The District embodies distinctive characteristics of certain styles, types and period of construction, namely Craftsman and Prairie-style, and Spanish and Mission Revival architectural styles.

The project proposes the removal of the 1960 addition to the front of the existing single-family dwelling unit and to reconstruct a 260 square foot porch and a 287 square foot carport within the four foot side yard setback (proposed 0 foot setback) to the original 1914 Craftsman design, and minor interior remodel. Though the property is currently a non-contributor resource to the District, upon the reconstruction of the front porch and carport to the original 1914 Craftsman design would allow the premises to qualify to be designated as a contributing resource to the District.

2. The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises;

The project site is located in the Fort Stockton Line Historical District (the “District”), which was adopted on July 16, 2007, and is historically significant as a historical district for its development and layout as an early twentieth-century “streetcar suburb” using Progressive-Era planning philosophies, and for its architecture. The District embodies distinctive characteristics of certain styles, types and period of construction, namely Craftsman and Prairie-style, and Spanish and Mission Revival architectural styles.

The project site is currently zoned RS-1-7, which requires a four foot side yard setback. The project proposes the removal of the 1960 addition to the front of the existing single-family dwelling unit and to reconstruct a 260 square foot porch and a 287 square foot carport within the four foot side yard setback (proposed 0 foot setback) to the original 1914 Craftsman design, and minor interior remodel. Though the property is currently a non-contributor resource to the District, upon the reconstruction of the front porch and carport to the original 1914 Craftsman design would allow the premises to qualify to be designated as a contributing resource to the District.

The conditions are such that the strict application of the minimum side yard setback would deprive the applicant the ability to restore the original structural features of the 1914 Craftsman designed single-family dwelling unit that reflects special elements of the City’s and the Mission Hills neighborhood’s historical architectural development. The variance granted by the City is the minimum variance to allow for the reconstruction of the carport and preservation of this potential historical premise.

3. The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare; and

The premises has been previously graded and developed with an existing single-family dwelling unit and a detached two-car garage with a second story companion unit. The existing single-family dwelling unit was built in 1914, which included the covered front porch and a carport with a 0 foot setback from the southern property line. The first zoning ordinance that applied to the premise was adopted on October 20, 1930, pursuant to Ordinance No. 12990, which the property was designated R-1 (a single family residential zone). Development regulations on a parcel of land prior to the adoption of the City zoning ordinances were regulated by the building construction codes and accessory structures were permitted to be constructed with a 0 foot setback from the side and rear property lines. In 1960, a previous owner obtained a building permit to remove the covered front porch and carport, and constructed an addition in the area of the former front porch, which altered the architectural style of the front façade.

The project site is currently zoned RS-1-7, which requires a four foot side yard setback. The conditions are such that the strict application of the minimum side yard setback would deprive the applicant the ability to restore the original structural features of the 1914 Craftsman designed single-family dwelling unit that reflects special elements of the City's and the Mission Hills neighborhood's historical architectural development. The variance granted by the City is the minimum variance to allow for the reconstruction of the carport and preservation of this potential historical premise. In addition, the proposed construction would be in harmony with the general purpose and intent of the regulations since the carport is open greater the 80 percent on all sides and has been designed with a 1-hour fire rated walls/columns and roof assembly in conformance with the California Building Standards Code for a carport and for the portion of the structure within three feet of the property line; therefore, the proposed development will not be detrimental to the public health, safety, or welfare.

4. The granting of the variance will not adversely affect the applicable land use plan. If the variance is being sought in conjunction with any proposed coastal development, the required finding shall specify that granting of the variance conforms with, and is adequate to carry out, the provisions of the certified land use plan.

The project site is located at 2285 Pine Street, east of Trias Street, in the RS-1-7 Zone within the Fort Stockton Historic District and the Uptown Community Plan. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The Uptown Community Plan (UCP) designates the proposed project site for Low Density Residential land use at 5-10 dwelling units per acre (DU/AC). The project site, occupying 0.156 acres, could accommodate one dwelling unit based on the underlying zone and 1-2 dwelling units based on the community plan.

The premises has been previously graded and developed with an existing single-family dwelling unit and a detached two-car garage with a second story companion unit. The existing single-family dwelling unit was built in 1914, which included the covered front porch and a carport with a 0 foot setback from the southern property line. The project proposes the removal of a 1960 addition to the front of the existing single-family dwelling unit and to reconstruct a 260 square foot porch and a 287 square foot carport within the four foot side yard setback (proposed 0 foot setback) to the original 1914 Craftsman design, and minor interior remodel. The Urban Design Element of the Uptown Community Plan (Page 76) and the Conservation, Cultural and Heritage Resources Element on the Uptown Community Plan (Page 171) both talk about preserving the architectural character and improving the appearance of historic

neighborhoods. Therefore, the granting of the variance to the four foot side yard setback for the reconstruction of the carport will not adversely affect the applicable land use plan, and conforms with, and is adequate to carry out, the provisions of the certified land use plan. The project site is not located within the Coastal Overlay Zone; therefore, the variance is not being sought in conjunction with any proposed coastal development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Variance No. 1350283 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1350283, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services Department

Adopted on: February 25, 2015

Internal Order No. 24005021

Peterson, Jeff

To: Leo Wilson
Subject: RE: Schwab Residence- 2285 Pine St., San Diego, CA

From: Leo Wilson [<mailto:leo.wikstrom@sbcglobal.net>]
Sent: Wednesday, December 17, 2014 7:54 PM
To: Peterson, Jeff
Subject: Re: Schwab Residence- 2285 Pine St., San Diego, CA

Uptown Planners voted unanimously to approve the Schwab Variance Application by a vote of 14-0-1 (non-voting chair abstaining). Will not have officially approved minutes until the February meeting; can send you a memorandum of motion. Also, we have a tape of the meeting.

Leo Wilson
 Chair
 Uptown Planners

From: "Peterson, Jeff" <JAPeterson@sandiego.gov>
To: Leo Wilson <leo.wikstrom@sbcglobal.net>
Sent: Wednesday, December 17, 2014 1:37 PM
Subject: RE: Schwab Residence- 2285 Pine St., San Diego, CA

Leo,

Could you give me the official recommendation and the vote count. Thanks

Jeffrey A. Peterson

Development Project Manager
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101
 Phone: (619) 446-5237
 Fax: (619) 446-5499
 Email: JAPeterson@sandiego.gov

From: Leo Wilson [<mailto:leo.wikstrom@sbcglobal.net>]
Sent: Wednesday, December 03, 2014 1:41 AM
To: Sandra Escobedo
Cc: Peterson, Jeff; Ione R Stiegler FAIA
Subject: Re: Schwab Residence- 2285 Pine St., San Diego, CA

Just to let you know, the board member of Uptown Planners who voted against the project realized after you left that she had looked at the wrong picture -- it was of the existing structure and not the new project. She indicated her vote was in error, and changed it to support the project. So the project was approved unanimously.

Leo Wilson

From: Sandra Escobedo <sandra@isarchitecture.com>
To: "leo.wikstrom@sbcglobal.net" <leo.wikstrom@sbcglobal.net>
Cc: "Peterson, Jeff (JAPeterson@sandiego.gov)" <JAPeterson@sandiego.gov>; Ione R Stiegler FAIA <istiegler@isarchitecture.com>
Sent: Wednesday, November 19, 2014 11:00 AM
Subject: Schwab Residence- 2285 Pine St., San Diego, CA

Hi Leo,

NOTICE OF EXEMPTION

TO: RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT NO.: 385058

PROJECT TITLE: Schwab Variance

PROJECT LOCATION-SPECIFIC: 2285 Pine Street, San Diego, CA 92103

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: The project proposes a variance to remove the front addition of an existing single family dwelling unit, the re-construction of a 260 square-foot porch, and re-construction of a 287 square-foot carport within the side yard setback (proposed 0 foot setback) to restore the original 1914 design based on historic documentation.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Richard and Kim Schwab,
 2285 Pine Street,
 San Diego, CA, 92103
 (619) 972-2047

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
 Declared Emergency (Sec. 21080(b)(3); 15269(a));
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: CEQA Exemption 15301-(Existing Facilities)
 Statutory Exemptions:

REASONS WHY PROJECT IS EXEMPT: The proposed project is exempt from CEQA pursuant to Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private) involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, a variance to remove the front addition of an existing dwelling unit, the re-construction of the porch and carport within the side yard setback, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: Rhonda Benally

TELEPHONE: (619) 446-5468

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



 SIGNATURE/DEPUTY DIRECTOR

DECEMBER 24, 2014
 DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: December 24, 2014

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24005021

PROJECT NAME/NUMBER: Schwab Variance/Project No. 385058

COMMUNITY PLAN AREA: Uptown Community Plan

COUNCIL DISTRICT: 3

LOCATION: 2285 Pine Street, San Diego, CA 92103

PROJECT DESCRIPTION: The project proposes a variance to remove the front addition of an existing single family dwelling unit, the re-construction of a 260 square-foot porch, and re-construction of a 287 square-foot carport within the side yard setback (proposed 0 foot setback) to restore the original 1914 design based on historic documentation.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to State CEQA Guidelines, Section 15301 (Existing Facilities).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Department staff.

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The proposed project is exempt from CEQA pursuant to Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private) involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, a variance to remove the front addition of an existing dwelling unit, the re-construction of the porch and carport within the side yard setback, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

CITY CONTACT: Jeff Peterson, Development Project Manager
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5237

On December 24, 2014, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is

appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (January 9, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested. Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title: SCHWAB RESIDENCE
 Project No. For City Use Only: 385058

Project Address:
 2285 PINE STREET, SAN DIEGO, CA 92103

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): RICHARD SCHWAB
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 2285 PINE STREET
 City/State/Zip: SAN DIEGO, CA 92103
 Phone No: (619) 972-2047 Fax No:
 Signature: *Richard Schwab* Date: 8/4/2014

Name of Individual (type or print): KIM SCHWAB
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 2285 PINE STREET
 City/State/Zip: SAN DIEGO, CA 92103
 Phone No: (619) 972-8187 Fax No:
 Signature: *Kim Schwab* Date: 8/4/14

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
SCHWAB VARIANCE - PROJECT NO. 385058

Date	Action	Description	City Review Time (Working Days)	Applicant Response
9/19/2014	First Submittal	Project Deemed Complete	-	-
11/3/2014	First Assessment Letter		31 days	
11/20/2014	Second Submittal			12 days
12/19/2014	Second Review Completed	All issues resolved.	20 days	
12/24/2014	Environmental Determination	Exemption Determination made and NORA Posted	3 day	
1/9/2015	Environmental Determination	NORA-end of appeal period		10 day
2/25/2015	Public Hearing	First available date	31 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	85 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		22 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	107 working days (159 calendar days)	