



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: April 29, 2015 REPORT NO. HO 15-064  
ATTENTION: Hearing Officer  
SUBJECT: PACIFIC TIME CUP  
PROJECT NUMBER: 385885  
LOCATION: 5277 Linda Vista Road  
APPLICANT: Mark Loretta

SUMMARY

Issue(s): Should the Hearing Officer approve a Conditional Use Permit to allow the sales of beer and wine in accordance with a Type 20 liquor license within an existing market/restaurant in the Linda Vista Community Plan area?

Staff Recommendation - APPROVE Conditional Use Permit No. 1357553.

Community Planning Group Recommendation - On January 26, 2015 the Linda Vista Planning Group recommended approval of the project by a vote of 10-2-0 without conditions.

Environmental Review - The proposed activity is exempt from CEQA pursuant to Section 15301 (Existing facilities) of the State CEQA Guidelines in that the proposed project is a Conditional Use Permit for a Type 20 Alcohol Beverage Control license to sell beer and wine in an existing market/restaurant. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 20, 2014, and the opportunity to appeal that determination ended on December 4, 2014.

BACKGROUND

The project proposes a Conditional Use Permit alcohol beverage outlet for a Type 20 liquor license to allow the sales of beer and wine for an 2,770 square-foot market/restaurant on a site developed with other retail services. The 1.03- acre site is located at 5277 Linda Vista Road within the CC-3-4 zone of the Linda Vista Community Planning area. The CC-3-4 zone allows for commercial retail and residential developments. The Pacific Time restaurant/market is a recently remodeled lease space within a retail commercial strip mall constructed in 1966. The

remodeled commercial space includes 519 square feet of dining area, 1,312 square feet of commercial kitchen, 583 square feet of storage, and 492 square feet of retail space. Beer, wine and specialty foods would be sold in the retail area. The dining area would serve beer and wine for on-site consumption through a Type 42 liquor license not requiring a Conditional Use Permit (CUP) but rather through a direct application with the California Alcohol Beverage Control Board. The existing strip mall provides a wide variety of commercial uses to include other restaurants, a sign company, salon, and thrift store. No expansion is proposed with the project. Surrounding the site are commercial, residential, and light industrial uses.

## DISCUSSION

The project proposes a Conditional Use Permit for a Type 20 liquor license. Sales of alcohol will be limited between 9:00 a.m. and Midnight each day of the week. The Conditional Use Permit includes 20 year expiration.

The pending Alcohol Beverage Control (ABC) license (Type 20) is defined as “off sales” which would require retail sales of alcohol sold at the market to be consumed off the premises. Alcoholic beverage outlets are permitted by right as a “Limited Use” pursuant to SDMC section 141.0502(b) of the Land Development Code (LDC). A limited Use may be permitted by right in the zone if the alcohol beverage outlet meets all of the development regulations and location criteria of a separately regulated use. Alcoholic beverage outlets that do not comply with the location criteria of this section may still be permitted with a Conditional Use Permit pursuant to SCMC section 141.0502(c).

Section 141.0502(b) determines when the limited sale of alcohol is permitted by right or, when a Conditional Use Permit is required in accordance with a Process Three (Hearing Officer) decision. The limited sale of alcohol requires a Conditional Use Permit in the following instances:

- Within a census tract, or within 600 feet of a census tract, where the general crime rate exceeds the citywide average general crime rate by more than 20 percent;
- Within a census tract, or within 600 feet of a census tract, where the ratio of alcohol beverage outlets exceeds the standards established by California Business and Professional Code section 23958.4;
- Within a Redevelopment Area.
- Within 600 feet of a public or private accredited school, a public park, playground or recreational area, a church, hospital or a San Diego County Welfare District Office.
- Within 100 feet of residentially zoned property.

A Conditional Use Permit is required for the subject project because the property is located within the North Bay Redevelopment Area and 100 feet of residentially zoned properties as the

RM-3-7 zone exists to the east of the site.

The San Diego Police Department (SDPD) has recommended approval of the requested Conditional Use Permit to allow the sale of alcohol of off-site consumption at this location. Their support for this request is based on several factors including the commercial location of the site. The site contains multiple commercial uses and is highly visible from the public right-of-way where access by law enforcement is not restricted. The proposed Type 20 was found to not be detrimental to the public health, safety, and welfare of the community and the city. Requirements within the draft permit include restriction for hours of alcohol sales, lighting requirements, and sign requirements. All Police Department conditions have been added to the draft permit (Attachment 5, Police Department Requirements).

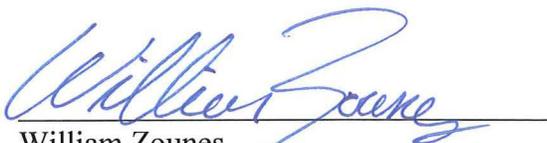
### CONCLUSION

Staff has determined that the project complies with the development regulations of all applicable sections of the Land Development Code. Staff has considered the number of alcoholic beverage outlets and crime rate in the area. Staff has determined that the required findings can be made as the project meets the applicable San Diego Municipal Code regulations and requirements. Staff recommends approval of the project as proposed.

### ALTERNATIVES

1. Approve Conditional Use Permit No. 1357553, with modifications or;
2. Deny Conditional Use Permit No. 1357553, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

  
William Zounes,  
Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit with Conditions
6. Draft Resolution with Findings

7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Chronology
10. SDPD Conditional Use Permit Recommendation
11. Environmental Exemption
12. Project Plans



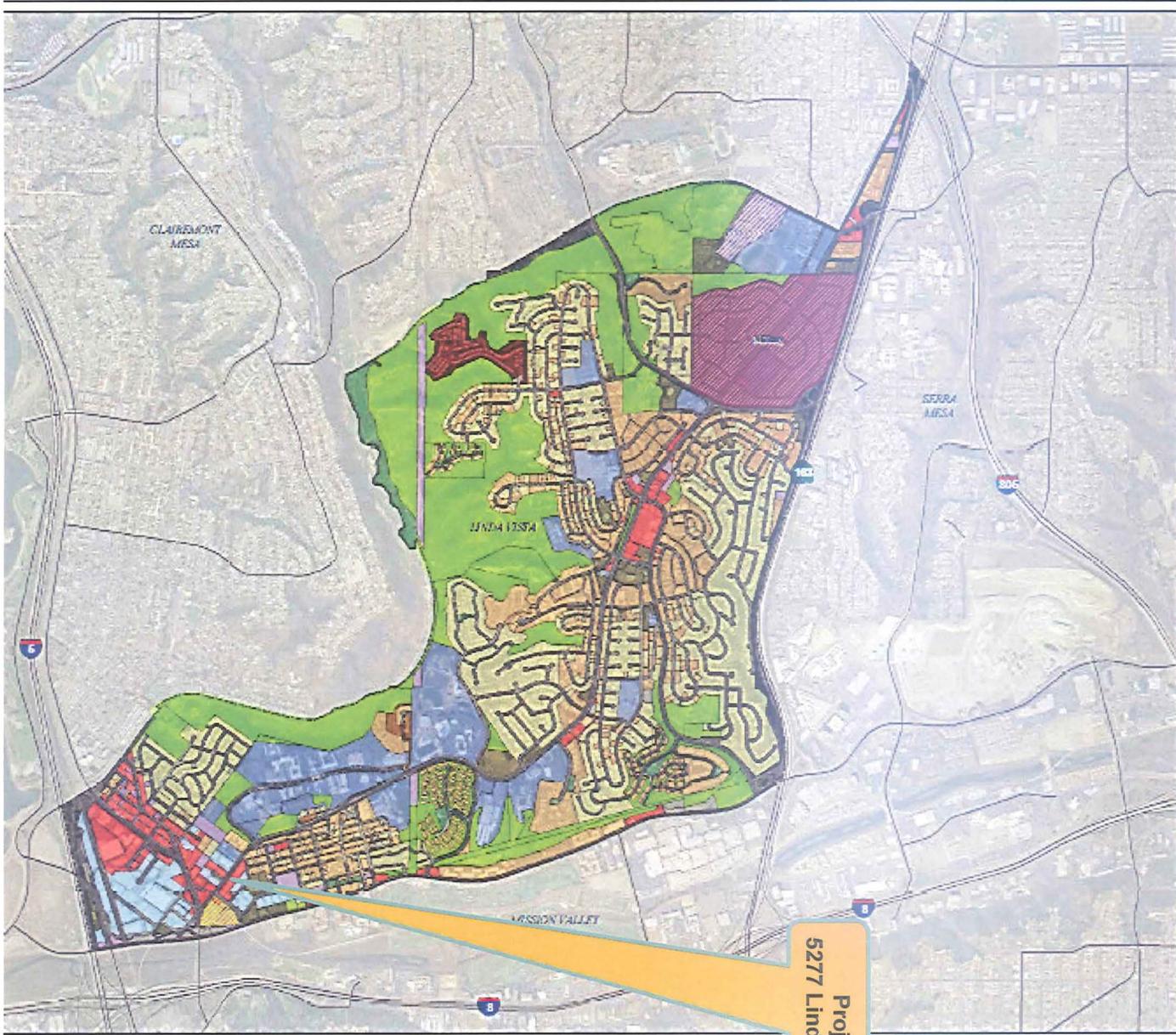
## Aerial Photograph (Birds Eye)

Pacific Time Project No. 385885

5277 Linda Vista Road



Aerial Photograph of Site  
Attachment 1



Map ONE

# Linda Vista

## Existing Conditions

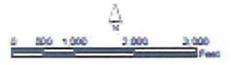
### Land Use

**Legend**

- Single Family Residential
- Multi-Family Residential
- Group Quarters
- Middle Home Park
- Commercial
- Industrial, Warehouse/Storage
- Communication/Utilities, Transportation Related
- Institutional
- Military Use
- Schools
- Park, Open Space
- Water Recreation
- Undeveloped
- Potential PUD Village Location

**Single Family** - single detached housing units, or less than 1 acre.  
**Multi-Family** - attached housing units, two or more units per structure - multiple duplexes, triplexes, condominiums, apartments, and 20% or Greater City Group Quarters - includes dormitories, condominiums or retirement homes and commercial units or other multi-unit facilities, rowing houses, or bed/breakfast.  
**Group Quarters** - includes, community, employment, and specialty sleeping units, often buildings, hotels, motels, auto-boarding, retirement units, and some front units, which may include residential (i.e. residential on top of commercial), or residential units adjacent to commercial establishments.  
**Commercial** - every industry, light industry, which includes industrial parks - office/retail uses classified into a center. Light industry/government usually along major roads or clustered in urban areas, which includes manufacturing uses such as leather, furniture, paper, rubber, stone, clay, and glass, as well as light industrial uses as auto repair services and recycling centers. Warehouse/goods storage - usually large buildings located near freeways, industrial or dry commercial areas.  
**Industrial, Warehouse/Storage** - TV and radio broadcasting stations, relay towers, electrical power generating plants, water and sewage treatment facilities and surface parking lots. Transit Centers excluded.  
**Communication/Utilities, Transportation Related** - airports, stations, libraries, post offices, police and fire stations, and other public services, transit or railroad facilities, restaurants, art galleries, social service agencies, business centers, and business sites.  
**Institutional** - includes public and private schools, colleges, and universities.  
**Schools** - General 2 public school attendance areas and centers comprising one or more of the following activities: classes or instructional centers, limited classrooms, science labs, or storage. Routine neighborhood parks with a high level of use are also included as active parks.  
**Park, Open Space** - any undeveloped, recreation areas, parks, scenic areas, etc. which are associated with residential development of a separate parcel. Also includes Golf Courses.  
**Water Recreation** - includes artificial water features, built not made for open space, and parks with limited development and access.  
**Undeveloped** - Vacant land due to nature graded or not graded. Undevelopable vacant areas present as open space surrounds around development or open space on a part of an undeveloped park or preserve.  
**Potential PUD Village Location** -

All land use designations may not occur within area depicted on this map.



City of San Diego  
 Planning Department  
 November 24, 2003

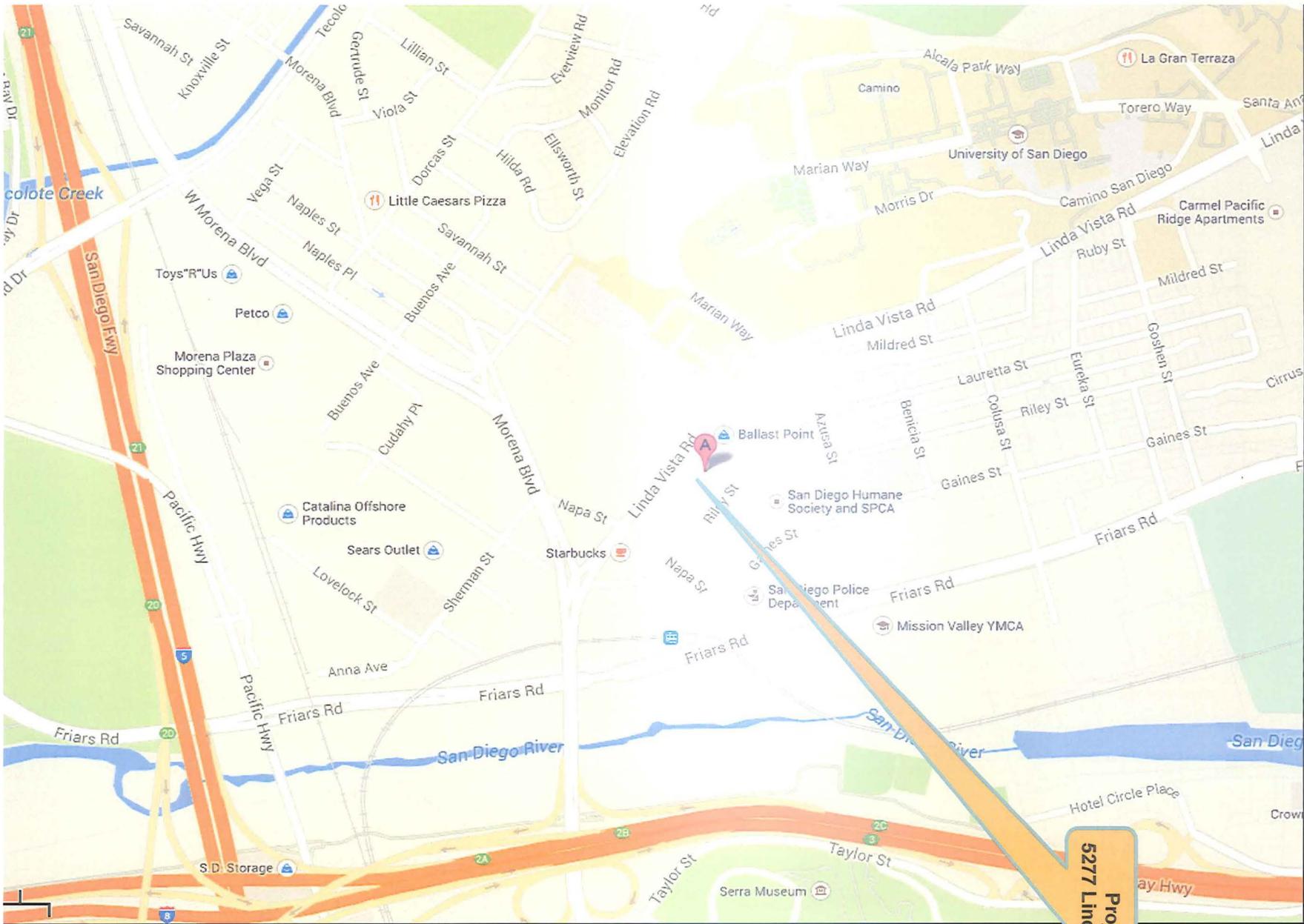


Attachment 2  
 Community Plan Land Use Map



**Land Use Plan**  
 Pacific Time CUP Project No. 385885  
 5277 Linda Vista Road

Project Site  
 5277 Linda Vista Road



**Project Site**  
**5277 Linda Vista Road**

# Project Location Map

**Pacific Time CUP Project No. 385885**  
**5277 Linda Vista Road**



**Attachment 3**  
**Project Location Map**

## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Pacific Time CUP
<b>PROJECT DESCRIPTION:</b>	The project proposes a Conditional Use Permit alcohol beverage outlet for a Type 20 liquor license to allow the sales of beer and wine for an 2,770 square-foot market/restaurant.
<b>COMMUNITY PLAN AREA:</b>	Linda Vista
<b>DISCRETIONARY ACTIONS:</b>	Conditional Use Permit
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Commercial

**ZONING INFORMATION:**

**ZONE:** CC-3-4 zone

**HEIGHT LIMIT:** 30 feet

**LOT SIZE:** 1.03-acres.

**FLOOR AREA RATIO:** 1.0

**FRONT SETBACK:** 10 feet

**SIDE SETBACK:** 10 feet

**STREETSIDE SETBACK:** 10 feet

**REAR SETBACK:** 10 feet

**PARKING:** 5:1,000 square feet of gross floor area

<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Industrial Warehouse, CC-3-4/CC-4-2	San Diego River
<b>SOUTH:</b>	Commercial; CC-3-4/CC-5-1	Mission Valley Center
<b>EAST:</b>	Commercial; CC-5-1	Commercial Retail/Multi-Family
<b>WEST:</b>	Multi-Family/ CC-3-4	Multi-Family

<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None
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<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On January 26, 2015 the Linda Vista Planning Group recommended approval of the project by a vote of 11-0-0 without conditions.
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**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005072

CONDITIONAL USE PERMIT NO. 1357553  
PACIFIC TIME CUP PROJECT NO. 385885  
HEARING OFFICER

This Conditional Use Permit No. 1357553 is granted by the Hearing Officer of the City of San Diego to PERCIDIO, LLC, Owner, and PACIFIC TIME, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0502. The 1.03-acre site is located at 5277 Linda Vista Road in the CC-3-4 zone of the Linda Vista Community Plan area. The project site is legally described as: Parcel 4 of Parcel Map No. 15009, Old San Diego, San Diego, California;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate an alcoholic beverage outlet to sell beer and wine within an existing market with restaurant conditioned upon the issuance of a Type 20 license from the State Department of Alcoholic Beverage Control and subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A" of Conditional Use Permit No. 1357533] dated April 29, 2015, on file in the Development Services Department.

The project shall include:

- a. Operation of an alcoholic beverage outlet for the sales of beer and wine for off-site consumption within a market with restaurant conditioned upon the issuance of a Type 20 license from the State Department of Alcoholic Beverage Control;
- b. Sales, service, and consumption of alcoholic beverage shall be permitted between the hours of 9:00 a.m. and Midnight each day of the week.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6,

Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 13, 2018.

2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on May 13, 2035.

3. The utilization of this CUP is contingent upon the approval of a license to sell alcohol at this location by the California Department of Alcoholic Beverage Control [ABC]. The issuance of this CUP does not guarantee that the ABC will grant an alcoholic beverage license for this location.

4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**PLANNING REQUIREMENTS:**

13. The owner or operator shall provide illumination, at a minimum level of 0.4 foot candles per square foot, on the exterior of the alcoholic beverage outlet, including adjacent public sidewalks and areas under the control of the owner or operator. The illumination shall be in operation during all hours of darkness while the outlet is open for business so that persons standing on or near the premises at night are identifiable by law Enforcement personnel. The required illumination shall be shielded and directed so that it does not shine on adjacent properties.

14. Sign area pertaining to or referencing alcoholic sales or beverages shall not exceed 630 square inches.

15. A maximum of 33 percent of the square footage of the windows and doors of the premises may bear advertising or signs of any sort, and all advertising and signs shall be placed and

maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the outlet.

16. The owner or operator shall list a business address and telephone number in the Pacific Bell/San Diego telephone directory or other similarly distributed directory.

17. The owner or operator shall provide trash receptacles, conveniently located for use by patrons, inside and outside the alcoholic beverage outlet, including adjacent public sidewalks and areas under the control of the owner or operator. At least one 13-gallon trash receptacle shall be located inside the premises. At least one 32-gallon trash receptacle shall be located outside the alcoholic beverage outlet, and at least one additional 32-gallon trash receptacle shall be located in the parking areas under the control of the owner or operator.

18. The owner or operator shall maintain the premises, adjacent public sidewalks, and areas under the control of the owner or operator, free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter, and debris. The owner or operator shall eliminate graffiti within 48 hours of application.

19. Off-street parking shall be provided in accordance with the requirements for retail sales uses in Table 142.05E.

**ENGINEERING REQUIREMENTS:**

20. Prior to recordation of the Conditional Use Permit (CUP), the applicant shall provide documentation to the Development Services Project Manager that the south driveway has been reconstructed to current City Standards, adjacent to the site on Linda Vista Road, to the satisfaction of the City Engineer. If this work is not completed within 60 days of the public hearing approval of the CUP, the Permittee shall be deemed to be out of compliance with the Conditional Use Permit, and the Permit is subject to rescission by the Development Services Director.

21. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

**POLICE DEPARTMENT REQUIREMENTS:**

22. Wine shall not be sold in bottles or containers smaller than 750 ml and wine coolers or beer coolers must be sold in manufacturer pre-packaged multi-unit quantities.

23. There shall be no live entertainment of any type, including but not limited to live music, disc jockey, karaoke, topless entertainment, male or female performers or fashion shows.

24. There shall be no dancing allowed on the premises.

25. The petitioner(s) shall post and maintain a professional quality sign facing the premises parking lot(s) that read as the following: NO LOITERING, NO LITTERING, NO DRINKING OF ALCOHOLIC BEVERAGES, VIOLATORS ARE SUBJECT TO ARREST. The sign shall be at least two feet square with two inch block lettering. The sign shall be in English and in Spanish.
26. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the licensee(s) shall be removed or painted over within 48 hours of being applied.
27. There shall be no amusement machines or video game devices on the premises at any time.
28. No pay telephone will be maintained on the interior or exterior of the premises.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer the City of San Diego on April 29, 2015.

Permit Type/PTS Approval No.CUP No. 1357553  
Date of Approval: April 29, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

\_\_\_\_\_  
William Zounes  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner

By \_\_\_\_\_  
PERCIDIO, LLC

By \_\_\_\_\_  
PACIFIC TIME, LLC

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER  
RESOLUTION NO.  
CONDITIONAL USE PERMIT NO. 1357553  
**PACIFIC TIME CUP PROJECT NO. 385885**

WHEREAS, PERCIDIO, LLC, Owner, and PACIFIC TIME, LLC, Permittee, filed an application with the City of San Diego for a permit to operate an alcoholic beverage outlet to sell beer and wine within an existing market with restaurant (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1357553), on portions of a 1.03-acre site;

WHEREAS, the project site is located at 5277 Linda Vista Road in the CC-3-4 zone of the Linda Vista Community Plan area;

WHEREAS, the project site is legally described as Parcel 4 of Parcel Map No. 15009, Old San Diego, San Diego, California;

WHEREAS, on April 29, 2015, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1357553 pursuant to the Land Development Code of the City of San Diego;

The City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15301 (existing facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 29, 2015.

FINDINGS:

Conditional Use Permit – Section 126.0305

**1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes a Conditional Use Permit for an alcohol beverage outlet to sell beer and wine through a Type 20 alcohol beverage license within an existing 2,770 square-foot market/restaurant located at 5277 Linda Vista Road within the CC-3-4 zone of the Linda Vista Community Plan.

The project site contains a one-story multi-tenant commercial building with commercial uses. The current underlying zoning allows for commercial uses such as the markets and restaurants. The site is designated for commercial uses within the Linda Vista Community Plan which allow commercial developments and related uses. The objectives of the of the Commercial Element of the community plan include the provision of commercial services to ensure the availability of adequate commercial facilities offering a variety of goods and services to meet the needs of the public.

The market coupled with restaurant is consistent with the existing zoning and the Community Plan Land Use designation for this site. The Community Plan does not specifically address the sale of beer and wine at markets for off-site consumption. The sales of alcoholic beverages are permitted by the Municipal Code as a limited use by right if consistent with the regulations or, through the approval of a Conditional Use Permit. The request for a Type 20 ABC License limited to beer and wine for off-site consumption in an existing commercial market/restaurant would not adversely impact the land use goals and recommendations in the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project proposes a Conditional Use Permit for an alcohol beverage outlet to sell beer and wine through a Type 20 alcohol beverage license within an existing 2,770 square-foot market/restaurant located at 5277 Linda Vista Road within the CC-3-4 zone of the Linda Vista Community Plan.

The project was determined to be exempt from the California Environmental Quality Act (CEQA). The SDPD supports the Type 20 liquor license as conditioned by the Conditional Use Permit to ensure that the sale of alcoholic beverages is maintained as an incidental part of the market/restaurant. Conditions include restrictions on hours of operation, illumination to the parking lot, and limitations on the size and packaging of beer and wine. Additional permit conditions provide for signs to restrict loitering and provisions to maintain the property in a neat and orderly fashion. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code.**

The project proposes a Conditional Use Permit for an alcohol beverage outlet to sell beer and wine through a Type 20 alcohol beverage license within an existing 2,770 square-foot market/restaurant located at 5277 Linda Vista Road within the CC-3-4 zone of the Linda Vista Community Plan.

The proposed Type 20 ABC License limited to beer and wine for off-site consumption requires the approval of a Conditional Use Permit (CUP) pursuant to Section 141.0502(c) of the Land Development Code (LDC) as the proposed alcohol beverage outlet is within 100 feet of residentially zoned property and is located within the North Bay Redevelopment Area. Specific conditions of approval require compliance with all relevant regulations of the City of San Diego effective for this site and have been written as such into Conditional Use Permit No. 1357553. The proposed project will be required to observe all relevant development regulations for the duration of the use, as described in the Conditional Use Permit. No deviations or variances are included with this Conditional Use Permit request. Therefore, the project will comply with the regulations of the Land Development Code.

**4. The proposed use is appropriate at the proposed location.**

The project proposes a Conditional Use Permit for an alcohol beverage outlet to sell beer and wine through a Type 20 alcohol beverage license within an existing 2,770 square-foot market/restaurant located at 5277 Linda Vista Road within the CC-3-4 zone of the Linda Vista Community Plan.

The project site is located at 5277 Linda Vista Road and is developed with one, one-story multi-tenant commercial building constructed in 1966 with commercial uses. The site is located in the CC-3-4 Zone,

which allows for commercial uses such as the subject market and restaurant. The site is designated for commercial uses which allow commercial developments and related uses. The objectives of the of the Commercial Element of the community plan include the provision of commercial services to ensure the availability of adequate commercial facilities offering a variety of goods and services to meet the needs of the public. The existing commercial development is in compliance with the goals and recommendations of the community plan.

The Type 20 ABC License limited to the sales of beer and wine for off-site consumption at the subject market/restaurant will be permitted through a Conditional Use Permit requiring compliance with all relevant regulations of the City of San Diego effective for this site. The alcohol license will be regulated by the California Department of Alcoholic Beverage Control.

The City has determined the proposed alcohol beverage outlet is appropriate at this location due to the low crime rate, the under concentration of alcohol beverage outlets, and proximity to other alcohol beverage outlets, therefore the proposed use is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1357553 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1357553, a copy of which is attached hereto and made a part hereof.

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William Zounes  
Development Project Manager  
Development Services

Adopted on: April 29, 2015

SAP Number: 24005072



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

## Community Planning Committee Distribution Form Part 2

<b>Project Name:</b> Pacific Time CUP		<b>Project Number:</b> 385885	<b>Distribution Date:</b> 10/23/2014
<b>Project Scope/Location:</b> LINDA VISTA Conditional Use Permit (Process 3) to allow alcohol sales and alcohol consumption in an existing 2,770 sq ft commercial suite located at 5277 Linda Vista Rd. The existing 1.03 acre site is located in the CC-3-4 Zone of the Linda Vista Community Plan Area. Council District 2.			
<b>Applicant Name:</b>		<b>Applicant Phone Number:</b>	
<b>Project Manager:</b> Sandra Teasley	<b>Phone Number:</b> (619) 446-5271	<b>Fax Number:</b> (619) 446-5245	<b>E-mail Address:</b> Steasley@sandiego.gov
<b>Committee Recommendations (To be completed for Initial Review):</b>			
<input checked="" type="checkbox"/> <b>Vote to Approve</b>	<b>Members Yes</b> 10	<b>Members No</b> 2	<b>Members Abstain</b> 0
<input type="checkbox"/> <b>Vote to Approve With Conditions Listed Below</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>Vote to Approve With Non-Binding Recommendations Listed Below</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>Vote to Deny</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)</b>			<input type="checkbox"/> <b>Continued</b>
<b>CONDITIONS:</b>			
<b>NAME:</b> Drew Corley		<b>TITLE:</b> Chairman	
<b>SIGNATURE:</b> Drew Corley		<b>DATE:</b> 11	
<i>Attach Additional Pages If Necessary.</i>		<b>Please return to:</b> Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			

Ownership Disclosure Statement

Project Title:

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation  Limited Liability -or-  General) What State? CA Corporate Identification No. 46-5090957  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached  Yes  No

Corporate/Partnership Name (type or print):  
Presidio LLC  
 Owner  Tenant/Lessee  
 Street Address:  
1545 Faraday Avenue  
 City/State/Zip:  
Carlsbad, CA 92011  
 Phone No: (760) 804-6900 Fax No: (760) 804-6901  
 Name of Corporate Officer/Partner (type or print):  
Alex Zikakis  
 Title (type or print):  
Authorized Representative  
 Signature: [Signature] Date: 8/20/2014

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
 \_\_\_\_\_  
 City/State/Zip:  
 \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
5277 Linda Vista Rd.  
 City/State/Zip:  
San Diego CA 92107  
 Phone No: 619-889-7975 Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
Pacific Time, LLC David Corotta  
 Title (type or print):  
President & General Manager  
 Signature : [Signature] Date: 8/22/14

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
 \_\_\_\_\_  
 City/State/Zip:  
 \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
 \_\_\_\_\_  
 City/State/Zip:  
 \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
 \_\_\_\_\_  
 City/State/Zip:  
 \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

**ATTACHMENT 9  
Project Chronology**

**Project Chronology  
Costco Mission Valley Addition  
PROJECT NO. 380911**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response</b>
10/23/14	First Submittal	Normal Submittal		
11/28/14	First Submittal Assessment Letter out		31 days	
3/10/15	Second submittal In	Normal Submittal		102 days from First Assessment Letter
3/25/15	Second Submittal Assessment Letter out		15 days	
Hearing Officer hearing	April 29, 2015		35 days	
<b>TOTAL STAFF TIME**</b>			2 month 21 days	
<b>TOTAL APPLICANT TIME**</b>				3 months 12 days
<b>TOTAL PROJECT RUNNING TIME**</b>		From Deemed Complete to HO Hearing	<b>6 months 3 days</b>	

\*\*Based on 30 days equals to one month.

**SAN DIEGO POLICE DEPARTMENT  
CONDITIONAL USE PERMIT RECOMMENDATION**

PREMISE ADDRESS: 5277 Linda Vista Road

TYPE OF BUSINESS: Specialty Grocery Store

FEDERAL CENSUS TRACT: 91.07

NUMBER OF ALCOHOL LICENSES ALLOWED: 4/2

NUMBER OF ALCOHOL LICENSES EXISTING: 4/2

CRIME RATE IN THIS CENSUS TRACT: 91.4%  
(Note: Considered High Crime If Exceeds 120% of City-wide Average)

THREE OR MORE REPORTED CRIMES AT THIS PREMISE WITHIN PAST YEAR  YES  NO

IS THE PREMISE WITHIN 600 FEET OF INCOMPATIBLE FACILITY  YES  NO

IS THE PREMISE WITHIN 100 FEET OF RESIDENTIALLY ZONED PROPERTY  YES  NO

ABC LICENSE REVOKED AT THIS PREMISE WITHIN PAST YEAR  YES  NO

HAS APPLICANT BEEN CONVICTED OF ANY FELONY  YES  NO

WILL THIS BUSINESS BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY,  
AND WELFARE OF THE COMMUNITY AND CITY  YES  NO

**COMMENTS/OTHER FACTORS CONSIDERED:**

The applicant is applying for a Conditional Use Permit for a Grocery Store with a Type-20 Off-Sale Beer and Wine and a Type-42 On-Sale Beer and Wine Public Premise license at 5277 Linda Vista Road.

Between 01/01/2013 to 12/31//2013, there were no calls for service, arrests or crime cases at the location. There were 131 arrests and 161 crime cases within a 0.2 mile radius of the location. There are no residences within 100 feet of this location.

The San Diego Police Department will support the issuance of this Type-20 and Type-42 license with the following conditions.

**SUGGESTED CONDITIONS:**

1. Sales, service and consumption of alcoholic beverages shall be permitted only between the hours of 9:00 am and Midnight, every day.
2. Wine shall not be sold in bottles or containers smaller than 750 ml and wine coolers or beer coolers must be sold in manufacturer pre-packaged multi-unit quantities.
3. There shall be no live entertainment of any type, including but not limited to live music, disc jockey, karaoke, topless entertainment, male or female performers or fashion shows.

4. There shall be no dancing allowed on the premises.
5. The petitioner(s) shall post and maintain a professional quality sign facing the premises parking lot(s) that reads as the following: NO LOITERING, NO LITTERING, NO DRINKING OF ALCOHOLIC BEVERAGES. VIOLATORS ARE SUBJECT TO ARREST. The sign shall be at least two feet square with two inch block lettering. The sign shall be in English and in Spanish.
6. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the licensee(s) shall be removed or painted over within 48 hours of being applied.
7. There shall be no amusement machines or video game devices on the premises at any time.
8. No pay telephone will be maintained on the interior or exterior of the premises.
9. Proper illumination will be maintained in the parking lot.

SAN DIEGO POLICE DEPARTMENT RECOMMENDATION:

APPROVE X

DENY \_\_\_\_\_

ROBERTO A. CASILAS  
Name of SDPD Vice Sergeant (Print)

019-531-2349  
Telephone Number

[Signature]  
Signature of SDPD Vice Sergeant

1-9-15  
Date of Review

NOTICE OF EXEMPTION

(Check one or both)

TO:  RECORDER/COUNTY CLERK  
P.O. BOX 1750, MS A-33  
1600 PACIFIC HWY, ROOM 260  
SAN DIEGO, CA 92101-2422

FROM: CITY OF S,  
DEVELOPMENT SERVICES DEPARTMENT  
1222 FIRST AVENUE, MS 501  
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH  
1400 TENTH STREET, ROOM 121  
SACRAMENTO, CA 95814

PROJECT No.: 385885

PROJECT TITLE: Pacific Time CUP

PROJECT LOCATION-SPECIFIC: The project is located at 5277 Linda Vista Road, San Diego, CA 92108 in the CC-3-4 Zone within the Linda Vista Community Planning Area.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) to allow for the sale of beer and wine for consumption both on and off site, in an existing 2,770 square foot (sq ft) restaurant/retail store located on a 1.03 acre lot.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego, Development Services Department

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Annie Maciel, Professional Design and Drafting, 7755 Fay Avenue #C, San Diego, CA 92037 (760- 803-7805).

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)( 4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: Sections 15301- (Existing Facilities)
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego has determined the project meets the categorical exemption criteria set forth in the CEQA State Guidelines Section 15301 (Existing Facilities) which allows for operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Since the project site is currently developed and lacks sensitive resources and is proposing the on and off-sale of beer and wine in an existing building the exemption is appropriate and the exceptions listed in CEQA Section 15300.2 would not apply.

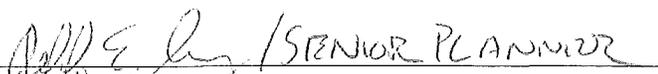
LEAD AGENCY CONTACT PERSON: de Freitas

TELEPHONE: (619) 446-5187

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
 YES  NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

  
SIGNATURE/TITLE

11/20/2014  
DATE

CHECK ONE:

SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

SIGNED BY APPLICANT

# PACIFIC TIME

## 5277 LINDA VISTA RD

### SAN DIEGO, CA 92110

#### CLIENT INFORMATION

**OWNER:**  
Capstone Advisors  
Mark Hayden  
1545 Faraday Avenue  
Carlsbad, California 92008  
T (760) 804 6900 F (760) 804 6901  
[hayden@capstoneadvisors.com](mailto:hayden@capstoneadvisors.com)

**TENANT:**  
PACIFIC TIME, LLC  
DAVE LORETTA  
MAILING ADDRESS:  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110  
PHONE: (619) 889-7579  
[DAVE@PACIFICTIMESD.COM](mailto:DAVE@PACIFICTIMESD.COM)

LEGAL DESCRIPTION: PARCEL 4, PARCEL MAP  
15009, OLD SAN DIEGO, SAN DIEGO, CALIFORNIA

APN: 436-350-2100  
YEAR BUILT: 1966  
ZONE: CC-3-4

#### PROJECT DATA:

EXISTING USE: COMMERCIAL  
PROPOSED USE: COMMERCIAL

CONSTRUCTION TYPE: V-A 1 HOUR  
EX. DEVELOPMENT PERMIT: NONE  
PREVIOUS OCCUPANCY: A-3  
PROPOSED OCCUPANCY: A-2  
FIRE SPRINKLERS: YES

**ZONING OVERLAY:**  
COMMUNITY PLAN IMPLANTATION OVERLAY  
ZONE A  
SAN DIEGO INTERNATIONAL AIRPORT  
INFLUENCE AREA OVERLAY

GEOLOGIC HAZARD CATEGORY 52

#### HOURS OF OPERATION:

**RETAIL STORE:**  
MONDAY THRU SUNDAY  
7 AM TO 12 MIDNIGHT

**BEER AND WINE SALES:**  
MONDAY THRU SUNDAY  
9:00 A.M. TO 12 MIDNIGHT

#### CONSULTANTS

**DRAFTING:**  
PROFESSIONAL DESIGN  
AND DRAFTING  
7755 FAY AVE. STE. 1  
LA JOLLA, CA 92037  
(858) 750-6669

**ELECTRICAL, MECHANICAL  
& PLUMBING ENGINEERS:**  
SALEHI ENGINEERING INC  
8360 CLAIREMONT MESA BLVD  
SUITE 111  
SAN DIEGO, CA 92111  
(858) 277-551

**RESTAURANT KITCHEN  
DESIGNERS:**  
FSDG  
1202 MARKET STREET  
SAN DIEGO, CA 92101  
(619) 239-8156

**STRUCTURAL ENGINEER:**  
MARTIN STRUCTURAL  
CONSULTING, INC  
TOD MARTIN  
1023 LAURA LANE  
ESCONDIDO, CA 92025  
(760) 745-6012

#### AREA TABULATIONS:

LOT AREA	1.03 ACRES
EXISTING FLOOR AREA	2,770 S.F.
OUTDOOR DINING	185 S.F.
AREA TO BE REMODEL	2,424 S.F.
INDOOR DINING	383 S.F.
COMMERCIAL KITCHEN	1,312 S.F.
RETAIL SPACE	492 S.F.
STORAGE	583 S.F.

#### SCOPE OF WORK:

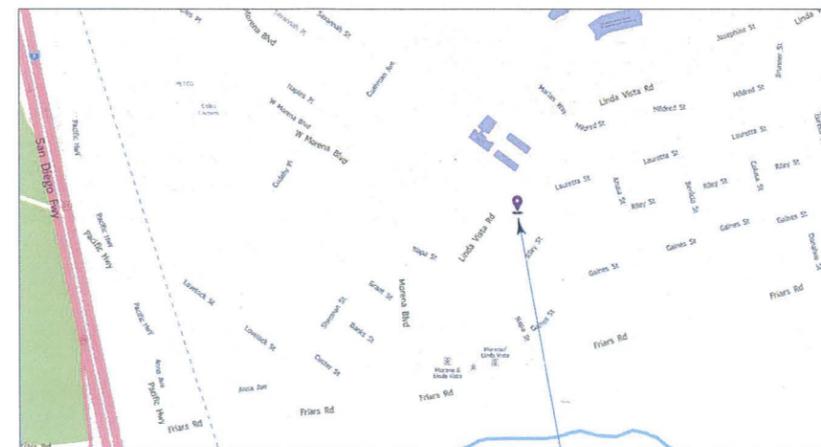
- 1 INTERIOR BUILD-OUT OF EXISTING COMMERCIAL SPACE FOR NEW RESTAURANT, BAKERY AND RETAIL SPACE.
- 2 NEW STOREFRONT WITH NEW WINDOWS, DOORS AND GUARD RAIL TO CREATE OUTDOOR DINING AREA.
- 3 NEW LIGHTING, ELECTRICAL POWER CIRCUITS, MECHANICAL SYSTEMS, GAS AND WATER PLUMBING.
- 4 NO ADDITIONAL ENCLOSED SPACE
- 5 CONDITIONAL USE PERMIT FOR ALCOHOLIC BEVERAGE OUTLET FOR OFF-SALE BEER & WINE AND ON-SALE BEER & WINE PUBLIC PREMISE.

#### STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01NPDES NO. CAS010875 ([HTTP://WWW.SWRCB.CA.GOV/RWQCB9/PROGRAMS/SD\\_STORMWATER.HTML](http://www.swrcb.ca.gov/RWQCB9/PROGRAMS/SD_STORMWATER.HTML)); AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE ([HTTP://CLERKDOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?m\\_w\\_OBJECTID=090014518008CC43](http://clerkdoc.sannet.gov/rightsite/getcontent/local.pdf?m_w_objectid=090014518008CC43)).

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S

1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR ANOTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORMWATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCK PILES OF UNCOMPACTED SOIL AND OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTR.OLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT RAE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANT INTO THE ENVIRONMENT.



VICINITY MAP

PROJECT LOCATION

#### DRAWING LIST:

##### ARCHITECTURAL

- A-1 TITLE SHEET / PROJECT INFORMATION
- A-2 SITE PLAN
- A-3 EXISTING FIRST FLOOR PLAN
- A-4 DEMOLITION PLAN
- A-5 PROPOSED FIRST FLOOR PLAN
- A-6 EXTERIOR ELEVATIONS/ SECTION
- A-7 ROOF PLAN
- A-8 SITE SECTIONS
- A-9 DRIVEWAY DETAILS

#### CODE SUMMARY

- APPLICABLE BUILDING CODES
- 2013 CALIFORNIA BUILDING CODE
  - 2013 CALIFORNIA ELECTRICAL CODE
  - 2013 CALIFORNIA MECHANICAL CODE
  - 2013 CALIFORNIA PLUMBING CODE
  - 2013 CALIFORNIA FIRE CODE
  - 2013 CALIFORNIA RESIDENTIAL CODE
  - 2013 CALIFORNIA GREEN BUILDING CODE



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
TITLE SHEET/ PROJECT  
INFORMATION

PROJECT DESCRIPTION:  
PACIFIC TIME  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
Professional Design and  
Drafting  
7755 Fay Ave. Ste. 1  
La Jolla, CA 92037  
858 983-1979  
Rick Rutstein  
Annie Maciel

DATE:

4/1/2015

SCALE:

1/4" = 1'-0"

SHEET:

A-1  
SHEET 1 OF 9

# PACIFIC TIME

## 5277 LINDA VISTA RD

### SAN DIEGO, CA 92110

#### CLIENT INFORMATION

**OWNER:**  
 Capstone Advisors  
 Mark Hayden  
 1545 Faraday Avenue  
 Carlsbad, California 92008  
 T (760) 804 6900 F (760) 804 6901  
[hayden@capstoneadvisors.com](mailto:hayden@capstoneadvisors.com)

**TENANT:**  
 PACIFIC TIME, LLC  
 DAVE LORETTA  
 MAILING ADDRESS:  
 5277 LINDA VISTA RD  
 SAN DIEGO, CA 92110  
 PHONE: (619) 889-7579  
[DAVE@PACIFICTIMESD.COM](mailto:DAVE@PACIFICTIMESD.COM)

**LEGAL DESCRIPTION:** PARCEL 4, PARCEL MAP  
 15009, OLD SAN DIEGO, SAN DIEGO, CALIFORNIA

APN: 436-350-2100  
 YEAR BUILT: 1966  
 ZONE: CC-3-4

**PROJECT DATA:**  
 EXISTING USE: COMMERCIAL  
 PROPOSED USE: COMMERCIAL

**CONSTRUCTION TYPE:** V-A 1 HOUR  
**EX. DEVELOPMENT PERMIT:** NONE  
**PREVIOUS OCCUPANCY:** F-2 (R.E. PERMIT #A81871)  
**PROPOSED OCCUPANCY:** A-2  
**FIRE SPRINKLERS:** YES

**ZONING OVERLAY:**  
 COMMUNITY PLAN IMPLANTATION OVERLAY ZONE A  
 SAN DIEGO INTERNATIONAL AIRPORT INFLUENCE  
 AREA OVERLAY

**GEOLOGIC HAZARD CATEGORY 52**

#### CODE SUMMARY

- APPLICABLE BUILDING CODES
- 2013 CALIFORNIA BUILDING CODE
  - 2013 CALIFORNIA ELECTRICAL CODE
  - 2013 CALIFORNIA MECHANICAL CODE
  - 2013 CALIFORNIA PLUMBING CODE
  - 2013 CALIFORNIA FIRE CODE
  - 2013 CALIFORNIA RESIDENTIAL CODE
  - 2013 CALIFORNIA GREEN BUILDING CODE

#### CONSULTANTS

**DRAFTING:**  
 PROFESSIONAL DESIGN  
 AND DRAFTING  
 7755 FAY AVE. STE. I  
 LA JOLLA, CA 92037  
 (858) 750-6669

**ELECTRICAL, MECHANICAL  
 & PLUMBING ENGINEERS:**  
 SALEHI ENGINEERING INC  
 8360 CLAIREMONT MESA BLVD  
 SUITE 111  
 SAN DIEGO, CA 92111  
 (858) 277-551

**RESTAURANT KITCHEN  
 DESIGNERS:**  
 FSDG  
 1202 MARKET STREET  
 SAN DIEGO, CA 92101  
 (619) 239-8156

**STRUCTURAL ENGINEER:**  
 MARTIN STRUCTURAL  
 CONSULTING, INC  
 TOD MARTIN  
 1023 LAURA LANE  
 ESCONDIDO, CA 92025  
 (760) 745-6012

#### AREA TABULATIONS:

LOT AREA	1.03 ACRES
EXISTING FLOOR AREA	2,770 S.F.
OUTDOOR DINING	185 S.F.
AREA TO BE REMODEL	2,424 S.F.
INDOOR DINING	383 S.F.
COMMERCIAL KITCHEN	1,312 S.F.
RETAIL SPACE	492 S.F.
STORAGE	583 S.F.

#### CONSTRUCTION NOTES

- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS. IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC 35.
- ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2
- WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 603.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO
- DUMPSTER AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5' OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED BY A TYPE I OR IIA STRUCTURE SEPARATED BY 10' FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED PER CFC 304.3
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CLOSETS, FIRE EXTINGUISHER, LOCATIONS AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS OR OTHER DECORATIVE MATERIAL
- OPEN FLAMES, FIRE AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.

#### SEPARATELY REGULATED USES DATA

- The owner or operator shall provide illumination, at a minimum level of 0.4 foot candles per square foot, on the exterior of the alcoholic beverage outlet, including adjacent public sidewalks and areas under the control of the owner or operator. The illumination shall be in operation during all hours of darkness while the outlet is open for business so that persons standing on or near the premises at night are identifiable by law enforcement personnel. The required illumination shall be shielded and directed so that it does not shine on adjacent properties.
- The sign area pertaining to or referencing alcoholic sales or beverages shall not exceed 630 square inches.
- A maximum of 33 percent of the square footage of the windows and doors of the premises may bear advertising or signs of any sort, and all advertising and signs shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the outlet.
- The owner or operator of the alcoholic beverage outlet shall post a prominent, permanent sign or signs stating, "No lettering, consumption of alcoholic beverages, or open alcoholic beverage containers are allowed inside the premises, in the parking area, or on the public sidewalks adjacent to the premises."
- The owner or operator shall list a business address and telephone number in the Pacific Bell San Diego telephone directory or other similarly distributed directory.
- The owner or operator shall provide trash receptacles, conveniently located for use by patrons, inside and outside the alcoholic beverage outlet, including adjacent public sidewalks and areas under the control of the owner or operator. At least one 32-gallon trash receptacle shall be located inside the premises. At least one 32-gallon trash receptacle shall be located outside the alcoholic beverage outlet, and at least one additional 32-gallon trash receptacle shall be located in the parking areas under the control of the owner or operator.
- The owner or operator shall maintain the premises, adjacent public sidewalks, and areas under the control of the owner or operator, free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter, and debris. The owner or operator shall eliminate graffiti within 48 hours of application.
- Off-street parking shall be provided in accordance with the requirements for retail sales uses in Table 142.05E.

#### HOURS OF OPERATION

**RETAIL STORE**  
 MONDAY THRU SUNDAY  
 7 AM TO 12 MIDNIGHT

**BEER AND WINE SALES**  
 MONDAY THRU SUNDAY  
 12 NOON TO 12 MIDNIGHT

**TABLE 501 CALCULATIONS FOR A-2 OCCUPANCY**  
 MAX. ALLOWABLE HEIGHT FOR TYPE V-B CONSTRUCTION - 40'  
 ACTUAL HEIGHT - 19'-1"  
 MAX. AREA ALLOWED - 6,000 SF  
 ACTUAL AREA - 2,770 SF

**NEW INDOOR DINING**  
 SQUARE FOOTAGE - 383 SF  
 OCCUPANCY LOAD FACTOR - 15 SF/PERSON  
 MAXIMUM OCCUPANCY - 26 PEOPLE

**NEW OUTDOOR DINING**  
 SQUARE FOOTAGE - 136 SF  
 OCCUPANCY LOAD FACTOR - 15 SF/PERSON  
 MAXIMUM OCCUPANCY - 9 PEOPLE

**COMMERCIAL KITCHEN**  
 SQUARE FOOTAGE - 1,312 SF  
 OCCUPANCY LOAD FACTOR - 200 SF/PERSON  
 MAXIMUM OCCUPANCY - 7 PEOPLE

**NEW RETAIL**  
 SQUARE FOOTAGE - 492 SF  
 OCCUPANCY LOAD FACTOR - 30 SF/PERSON  
 MAXIMUM OCCUPANCY - 16 PEOPLE

**NEW STORAGE**  
 SQUARE FOOTAGE - 583 SF  
 OCCUPANCY LOAD FACTOR - 300 SF/PERSON  
 MAXIMUM OCCUPANCY - 2 PEOPLE

**OVERALL OCCUPANT LOAD FOR INTERIOR = 51 PEOPLE**

**SITE PLAN**  
 SCALE: 1" = 20'

**DESIGNER NOTES**

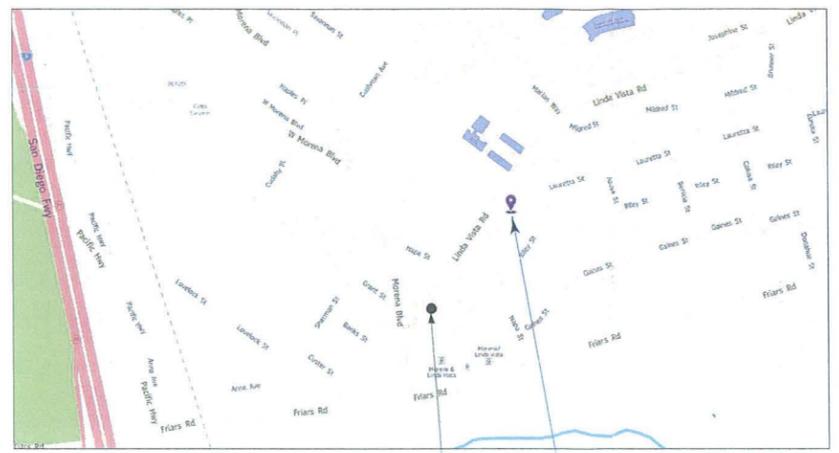
I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

PRINT NAME: *Rachael Rutstein*  
 SIGNATURE: \_\_\_\_\_ DATE: 09/15/2014

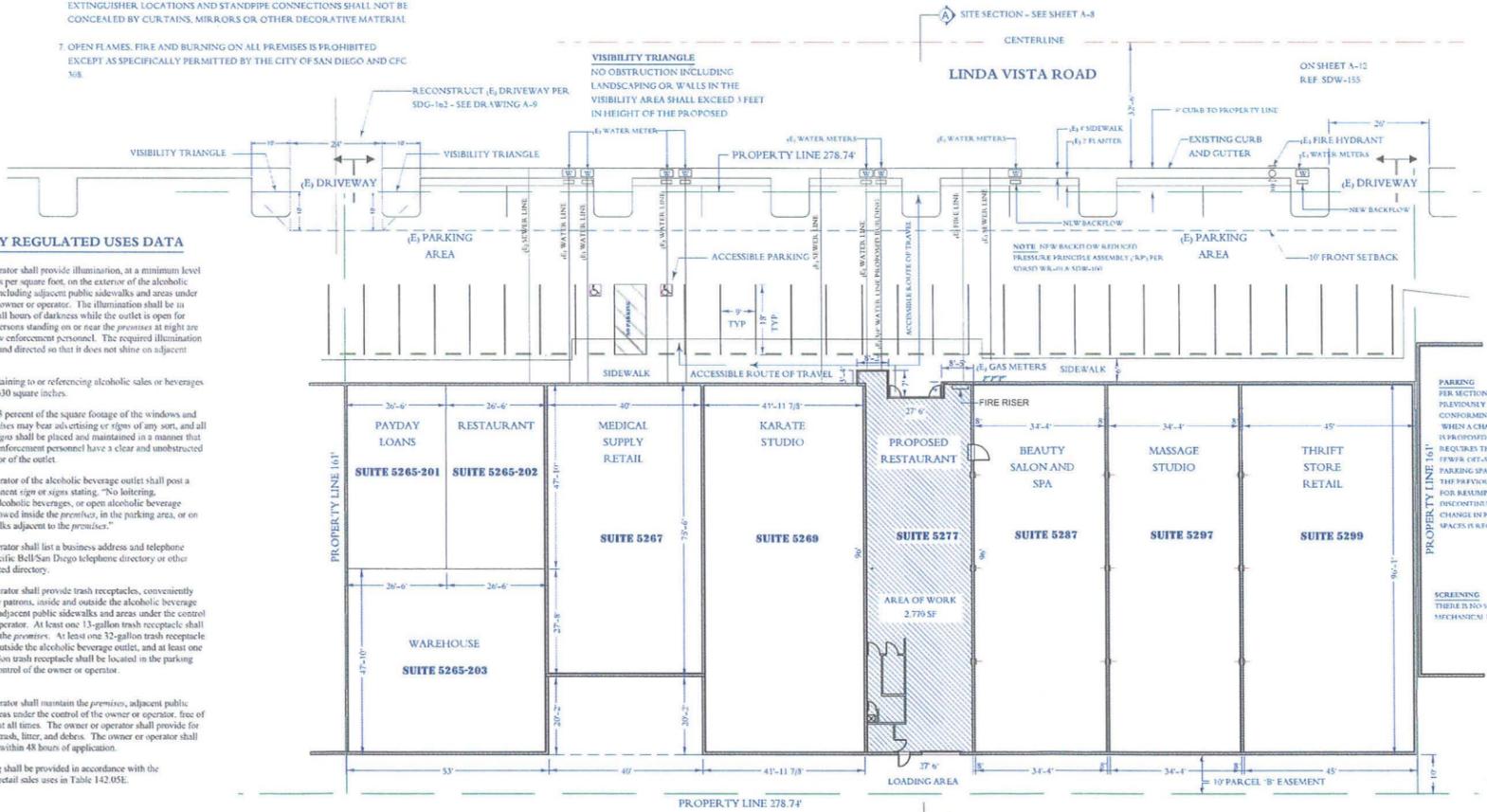
I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

PRINT NAME: *Rachael Rutstein*  
 SIGNATURE: \_\_\_\_\_ DATE: 09/15/2014

NOTE: THIS PROJECT INVOLVES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.



VICINITY MAP



SITE PLAN

GRAPHIC SCALE 1" = 20'



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**SITE PLAN**

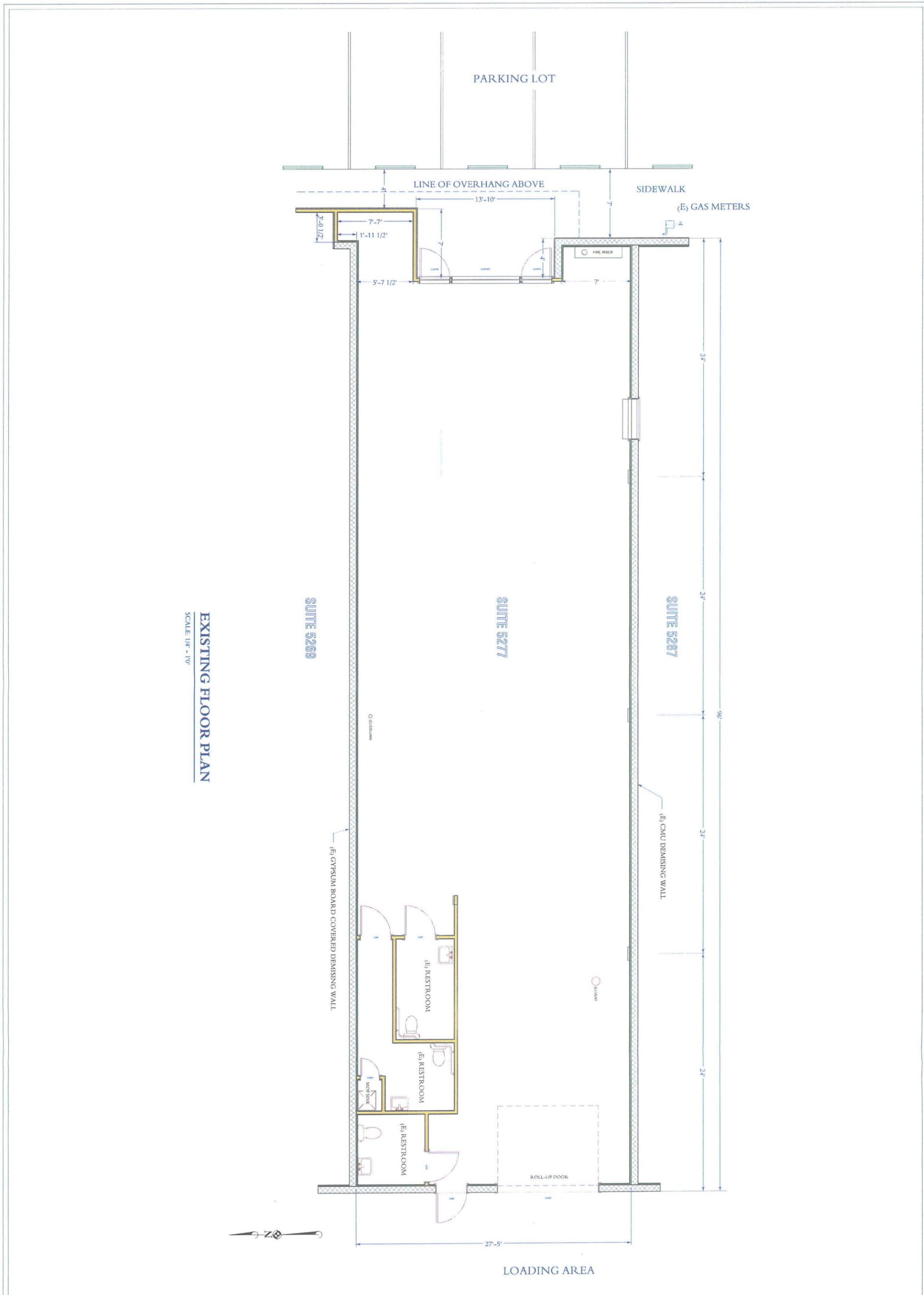
PROJECT DESCRIPTION:  
**PACIFIC TIME**  
 5277 LINDA VISTA RD  
 SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
**Professional Design and Drafting**  
 7755 Fay Ave., Ste. 1  
 La Jolla, CA 92037  
 858 583-1979

DATE:  
 4/1/2015

SCALE:  
 1/4" = 1'-0"

SHEET:  
**A-2**  
 SHEET 2 OF 9



**EXISTING FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**A-3**  
SHEET: 3 OF 9

**DRAWINGS PROVIDED BY:**  
Professional Design and Drafting  
7755 Fay Ave. Ste. 1  
La Jolla, CA 92037  
858 583-1979

Rick Rutstein  
Annie Maciel

**PROJECT DESCRIPTION:**  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

**SHEET TITLE:**  
**EXISTING FLOOR PLANS**

NO.	DESCRIPTION	BY	DATE





NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**DEMOLITION PLAN**

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
**Professional Design and Drafting**  
7755 Fay Ave. Ste. 1  
La Jolla, CA 92037  
858 583-1979  
Rick Rulstein  
Annie Maciel

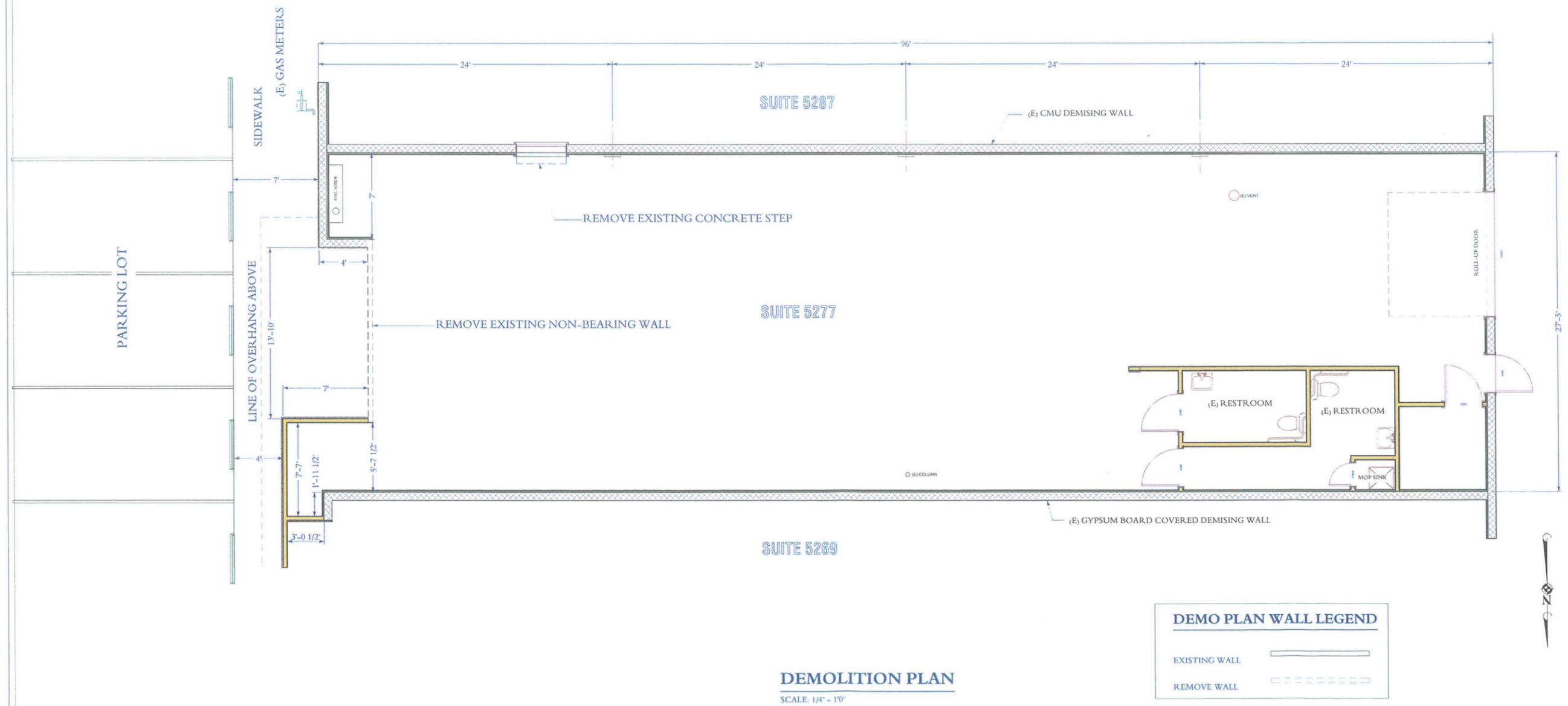
DATE:  
4/1/2015

SCALE:  
1/4" = 1'-0"

SHEET:  
**A-4**  
SHEET 4 OF 9

**DEMOLITION NOTES**

1. CONTRACTOR TO REFERENCE PROPOSED FLOOR PLANS AND SITE PLANS FOR PRECISE LIMITS OF DEMOLITION. CONSULT DESIGNER OR OWNER IN AREA OF UNCERTAINTY OR DISCREPANCY.
2. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT SPECIFY THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE FIELD CONDITIONS BEFORE STARTING WORK. THE DESIGNER AND ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES.

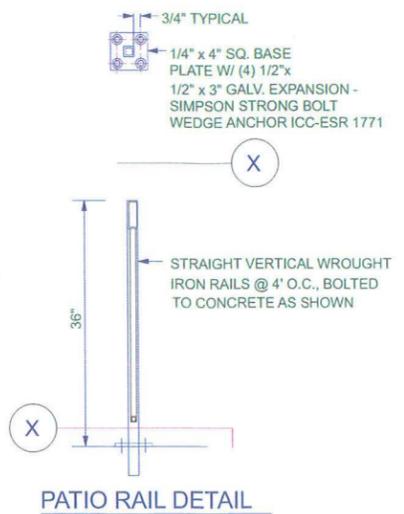




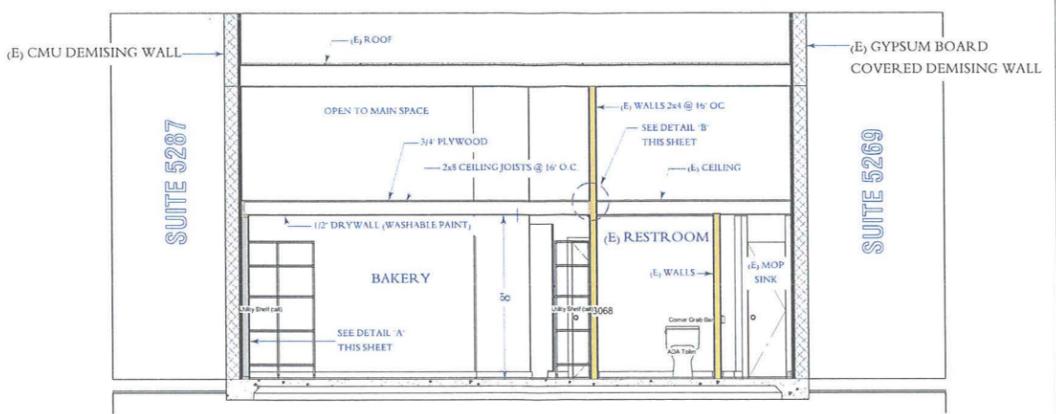


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**TYPICAL STUCCO EXTERIOR WALL**  
7/8" STUCCO OVER WIRE MESH  
2 LAYERS OF GRADED PAPER  
ONE-HOUR FIRE-RESIST. WALL IS-1.3  
1/2" SHEATHING  
HOUSE WRAP, TYVEK OR EQ.  
2x4 STUDS @ 16" o.c.  
1/2" GYPSUM BOARD



**PATIO RAIL DETAIL**

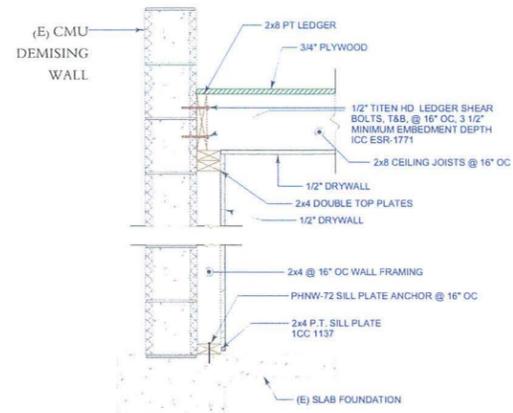


**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

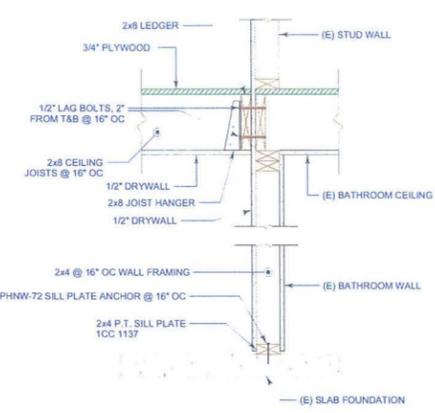
**HEADER SCHEDULE**

HEADER SUPPORTING CEILING LOAD ABOVE ONLY		
CLEAR OPEN'G WIDTH	HEADER SIZE	HEADER SUPPORT
0'-0" TO 4'-0"	4X6 OR 6X6	2x STUD
4'-1" TO 6'-0"	4X8 OR 6X6	2x STUD
6'-1" TO 8'-0"	4X10 OR 6X8	2,2x STUD
8'-1" TO -	as shown on plans	

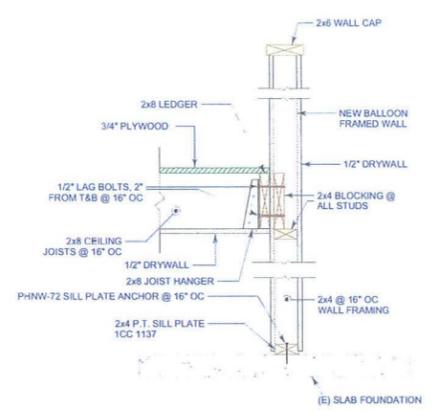
\* ALL HEADERS ARE DF #2 OR BETTER U.O.N  
\* ALL HEADERS WITH CLEAR SPANS GREATER THAN 8' TO BE PER FRAMING PLAN.  
\* VERIFY HEADERS WITH FRAMING PLAN FOR SPECIAL CONDITIONS.



**A LEDGER DETAIL @ CMU WALL**



**B LEDGER DETAIL @ STUD WALL**



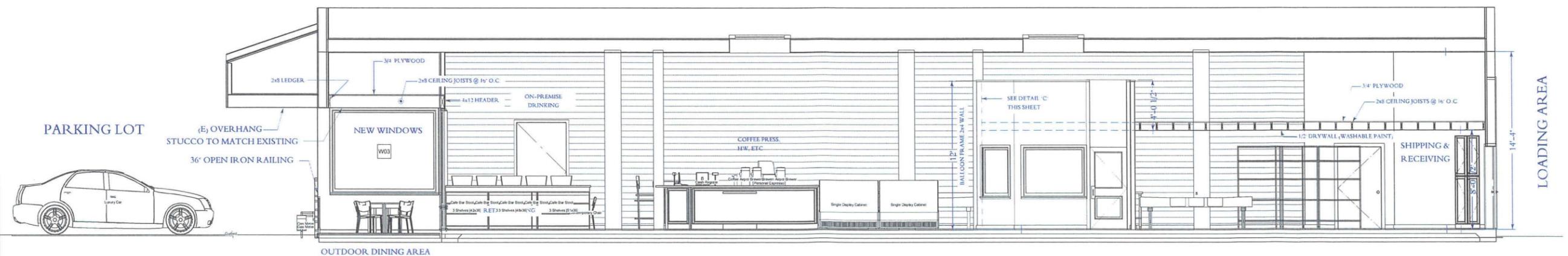
**C LEDGER DETAIL @ BALLOON FRAMED WALL**

**NAILING NOTES: (PER IRC TABLE R602.3(1))**

- JOIST TO SILL OR GIRDER BRIDGING TO JOIST: SOLE PLATE TO JOIST OR BLKG; STUD TO SOLE PLATE; TOP PLATE TO STUD
- DOUBLE STUDS: DOUBLE TOP PLATES; CONTINUOUS HEADER, TWO PIECES; BUILT-UP HEADER, TWO PIECES; W/ 1/2" SPACER; TOP PLATES, LAPS AND INTERSECTIONS
- CEILING JOISTS TO PLATE: CONTINUOUS HEADER TO STUD; CEILING JOISTS, LAPS OVER PARTITIONS; RAFTER TO PLATE; 1" BRACE TO EACH STUD AND PLATE; BUILT-UP CORNER STUDS; 2" PLANKS
- 1/2" PLYWOOD ROOF AND WALL SHEATHING
- 3/4" PLYWOOD SUB-FLOOR
- 2x MULTIPLE JOISTS - STAGGER @ 15" OC; W(2) @ EA. END OR SPLICE; (3) OR FEWER; (4) OR MORE; WASHERS
- TOE NAIL (3)-8d; TOE NAIL EA. END (2)-8d; FACE NAIL 16d @ 16" OC; STUD TO SOLE PLATE; END NAIL (2)-16d; END NAIL (2)-16d
- FACE NAIL 16d @ 24" OC; FACE NAIL 16d @ 16" OC; 16d @ 16" OC ALONG EA. EDGE
- 16d @ 16" OC ALONG EA. EDGE; FACE NAIL (2)-16d
- TOE NAIL (3)-8d; TOE NAIL (4)-8d; FACE NAIL (3)-10d; FACE NAIL (3)-10d; TOE NAIL (2)-16d; FACE NAIL (2)-8d; 10d @ 24" OC; (2)-16d @ EA.BRG.
- EDGES 8d @ 6" OC; INTERMEDIATE 8d @ 12" OC
- EDGES 8d @ 6" OC; INTERMEDIATE 8d @ 12" OC
- 16d NAILS; 1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

**CONSTRUCTION MATERIAL NOTES:**

- SAWN WOOD MEMBERS SHALL BE DOUGLAS FIR-LARCH, S4S, CONFORMING TO IBC STANDARD 23-1 AND SHALL BE GRADED UNDER 'W' OR 'WCLB' STANDARDS. ACCEPTABLE SPECIES MARKS ARE DOUGLAS FIR AND WESTERN LARCH. NORTH, S, OR SOUTH SPECIES ARE NOT ACCEPTABLE.
- WOOD GRADES, UNLESS NOTED, SHALL BE AS FOLLOWS:  
MEMBERS: ALL 2x's, 3x's, & 4x's #2; ALL 6x's #1
- FRAMING ANCHORS, POST CAPS, COLUMN BASES, ETC. SHALL BE MANUFACTURED BY 'SIMPSON COMPANY' OR AN APPROVED EQUAL. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER OR REQUIRED TO BE CORROSION RESISTANT SHALL BE EITHER ZINC COATED, ALUMINUM ALLOY WIRE OR STAINLESS STEEL.
- BAR'S, PLATES, STRAPS, SPECIAL FABRICATIONS, UNHEADED BOLTS, WASHERS AND DRIFT BOLTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36.
- BOLTS SHALL CONFORM TO ASTM A 307. NUTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36, GRADE A.
- ALL BOLT HEADS, NUTS AND LAG SCREWS BEARING ON WOOD SHALL HAVE CUT WASHERS, U.O.N.
- BOLT HOLES IN WOOD SHALL BE DRILLED 1/32" LARGER THAN THE NOMINAL BOLT DIAMETER.



**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

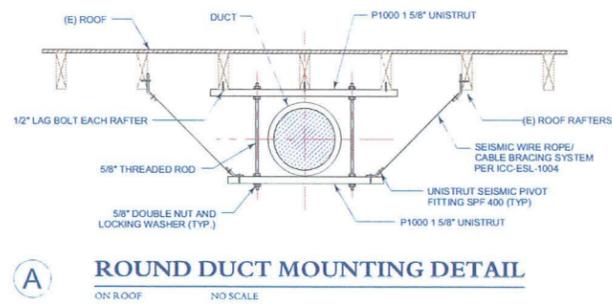
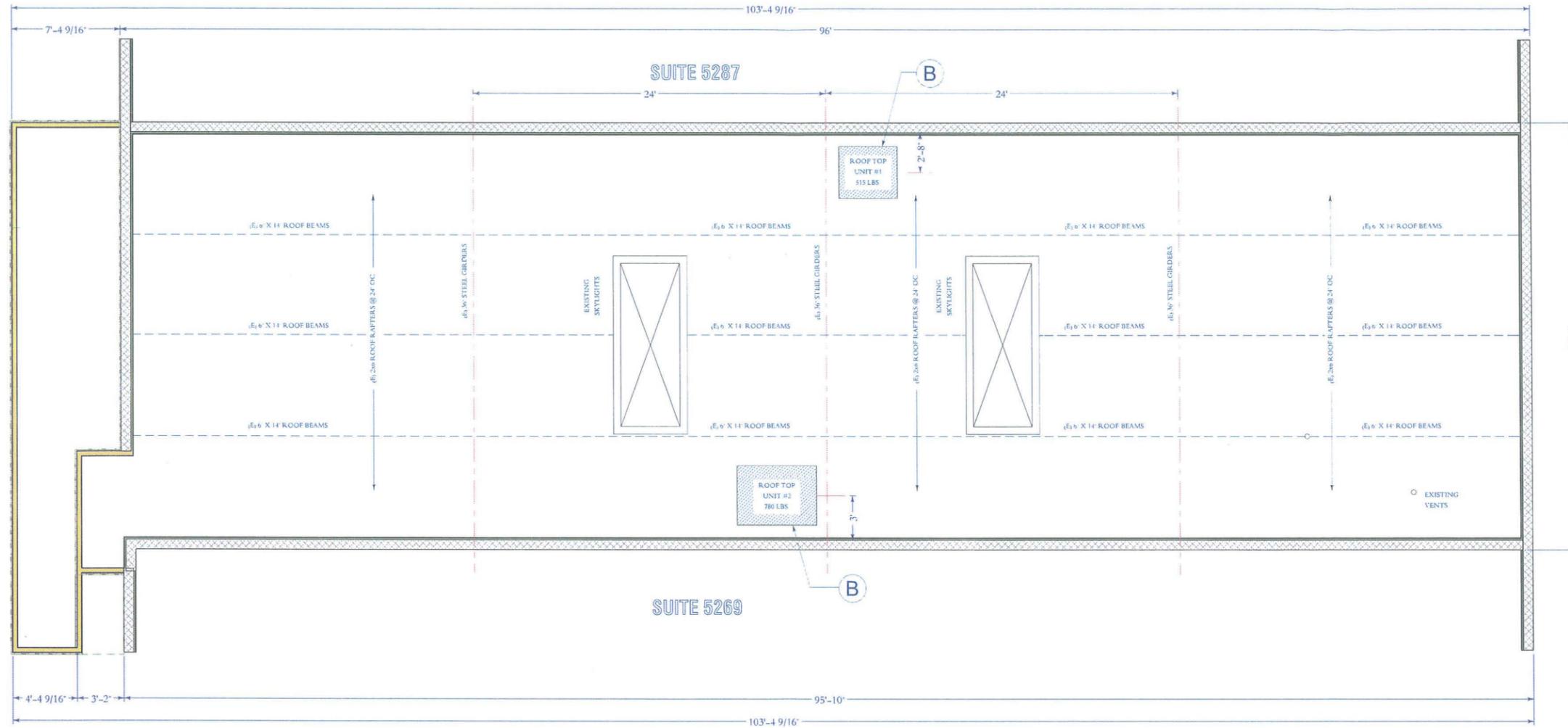
PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
**Professional Design and Drafting**  
Rick Ruckstein  
Annie Radcliff  
7755 Fay Ave., Ste. 1  
La Jolla, CA 92037  
858 583-1979

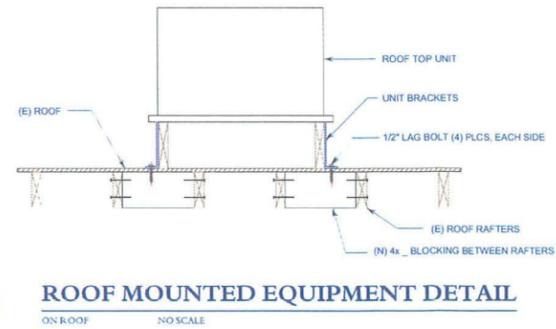
DATE:  
4/1/2015

SCALE:  
1/4" = 1'-0"

SHEET:  
**A-6**  
SHEET 6 OF 9



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**ROOF PLAN**

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

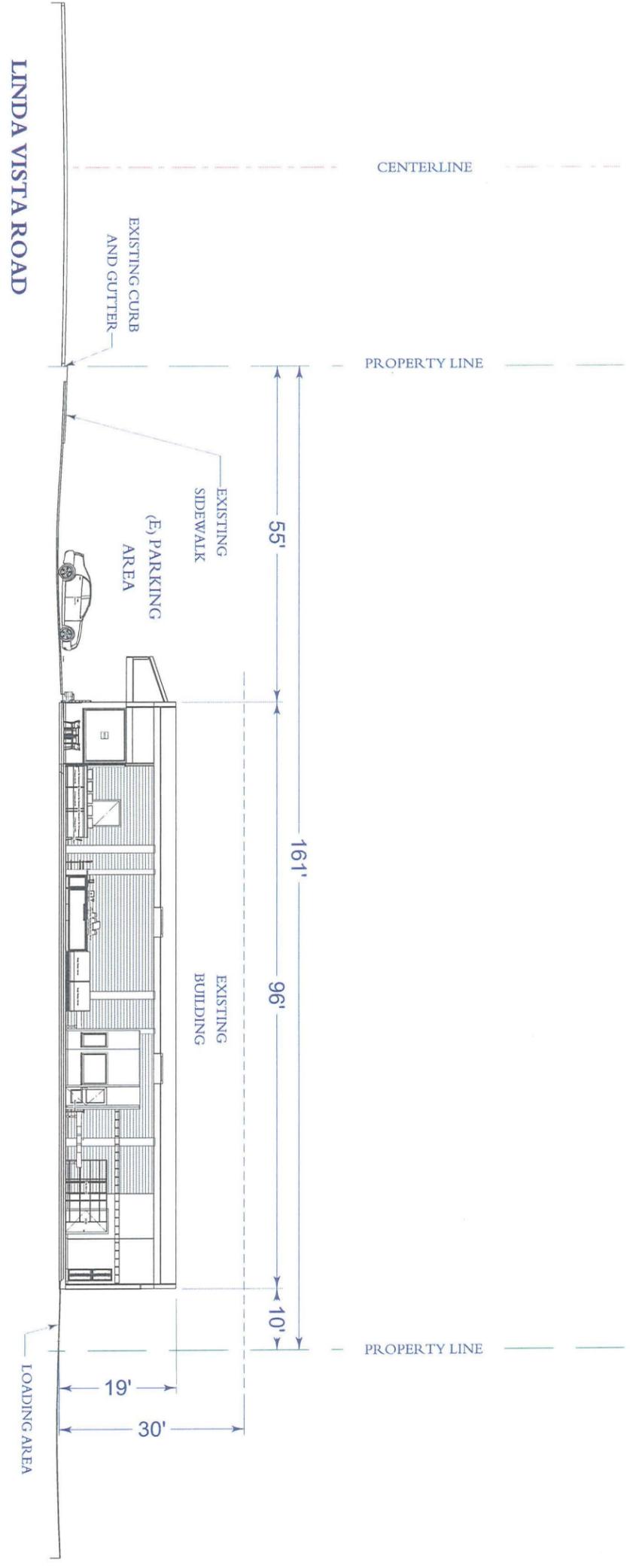
DRAWINGS PROVIDED BY:  
**Professional Design and Drafting**  
7755 Fay Ave. Ste. 1  
La Jolla, CA 92037  
858 583-1979

Rick Rutstein  
Annie Maciel

DATE:  
4/1/2015

SCALE:  
1/4" = 1'-0"

SHEET:  
**A-7**  
SHEET 7 OF 9



# SITE SECTION

SCALE: 1" = 10'

NO.	DESCRIPTION	BY	DATE



**A-8**  
SHEET 8 OF 9

SHEET:

SCALE: 1/4" = 1'-0"

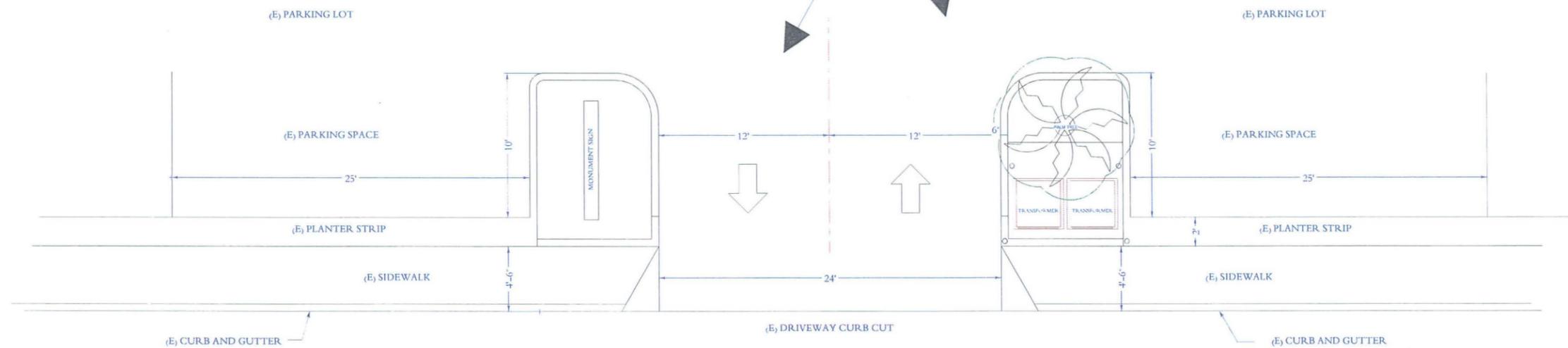
DATE: 4/1/2015

**DRAWINGS PROVIDED BY:**  
Professional Design and Drafting  
7755 Fay Ave. Ste. I  
La Jolla, CA 92037  
858 583-1979 -

Rick Rutstein  
Annie Maciel

**PROJECT DESCRIPTION:**  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

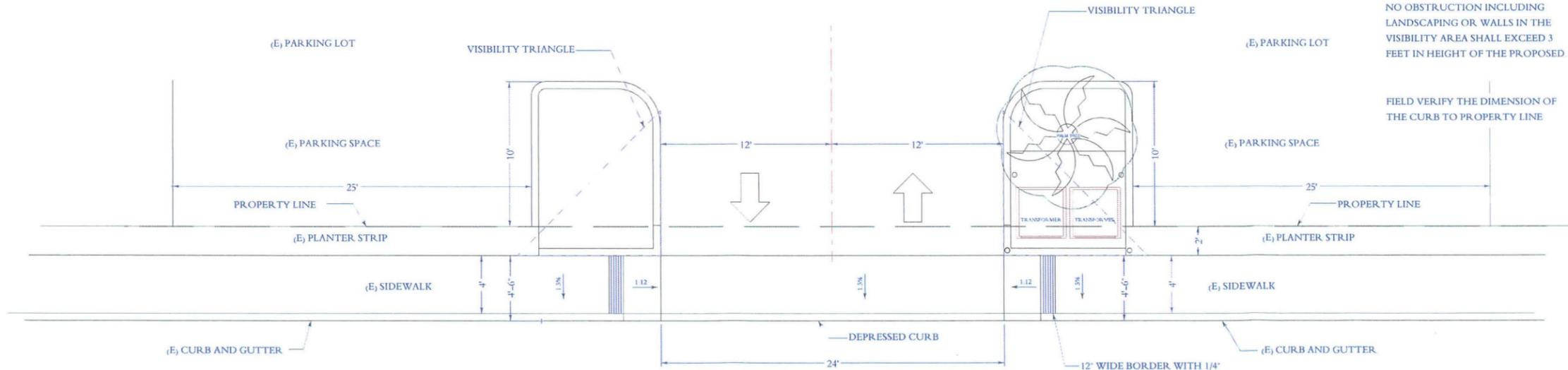
**SHEET TITLE:**  
**SITE SECTION**



**LINDA VISTA ROAD**

**EXISTING DRIVEWAY**

SCALE: 1/4" = 1'-0"



**LINDA VISTA ROAD**

**PROPOSED DRIVEWAY**

SCALE: 1/4" = 1'-0"

**SCOPE OF WORK:**

1. REBUILD EXISTING DRIVEWAY TO CONFORM TO CITY OF SAN DIEGO STANDARD SDG-162. CONCRETE DRIVEWAY (FOR CONFINED RIGHT-OF-WAY).



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**DRIVEWAY RECONSTRUCTION**

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
**Professional Design and Drafting**  
7755 Fay Ave. Ste. 1  
La Jolla, CA 92037  
858 585-1979

DATE:  
4/1/2015

SCALE:  
1/4" = 1'-0"

SHEET:

**A-9**  
SHEET 9 OF 9

# PACIFIC TIME

5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

## CLIENT INFORMATION

**OWNER:**  
Capstone Advisors  
Mark Hayden  
1545 Faraday Avenue  
Carlsbad, California 92008  
T (760) 804 6900 F (760) 804 6901  
[hayden@capstoneadvisors.com](mailto:hayden@capstoneadvisors.com)

**TENANT:**  
PACIFIC TIME, LLC  
DAVE LORETTA  
MAILING ADDRESS:  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110  
PHONE: (619) 889-7579  
[DAVE@PACIFICTIMESD.COM](mailto:DAVE@PACIFICTIMESD.COM)

LEGAL DESCRIPTION: PARCEL 4, PARCEL MAP  
15009, OLD SAN DIEGO, SAN DIEGO, CALIFORNIA

APN: 436-350-2100  
YEAR BUILT: 1966  
ZONE: CC-3-4

## PROJECT DATA:

EXISTING USE: COMMERCIAL  
PROPOSED USE: COMMERCIAL

CONSTRUCTION TYPE: V-A 1 HOUR  
EX. DEVELOPMENT PERMIT: NONE  
PREVIOUS OCCUPANCY: A-3  
PROPOSED OCCUPANCY: A-2  
FIRE SPRINKLERS: YES

**ZONING OVERLAY:**  
COMMUNITY PLAN IMPLANTATION OVERLAY  
ZONE A  
SAN DIEGO INTERNATIONAL AIRPORT  
INFLUENCE AREA OVERLAY

GEOLOGIC HAZARD CATEGORY 52

## HOURS OF OPERATION:

**RETAIL STORE:**  
MONDAY THRU SUNDAY  
7 AM TO 12 MIDNIGHT

**BEER AND WINE SALES:**  
MONDAY THRU SUNDAY  
9 AM TO 12 MIDNIGHT

## CONSULTANTS

**DRAFTING:**  
PROFESSIONAL DESIGN  
AND DRAFTING  
7755 FAY AVE. STE. 1  
LA JOLLA, CA 92037  
(858) 750-6669

**ELECTRICAL, MECHANICAL  
& PLUMBING ENGINEERS:**  
SALEHI ENGINEERING INC  
8360 CLAIREMONT MESA BLVD  
SUITE 111  
SAN DIEGO, CA 92111  
(858) 277-5511

**RESTAURANT KITCHEN  
DESIGNERS:**  
FSDG  
1202 MARKET STREET  
SAN DIEGO, CA 92101  
(619) 239-8156

**STRUCTURAL ENGINEER:**  
MARTIN STRUCTURAL  
CONSULTING, INC  
TOD MARTIN  
1023 LAURA LANE  
ESCONDIDO, CA 92025  
(760) 745-6012

## AREA TABULATIONS:

LOT AREA	1.03 ACRES
EXISTING FLOOR AREA	2,770 S.F.
OUTDOOR DINING	185 S.F.
AREA TO BE REMODEL	2,424 S.F.
INDOOR DINING	383 S.F.
COMMERCIAL KITCHEN	1,312 S.F.
RETAIL SPACE	492 S.F.
STORAGE	583 S.F.

## SCOPE OF WORK:

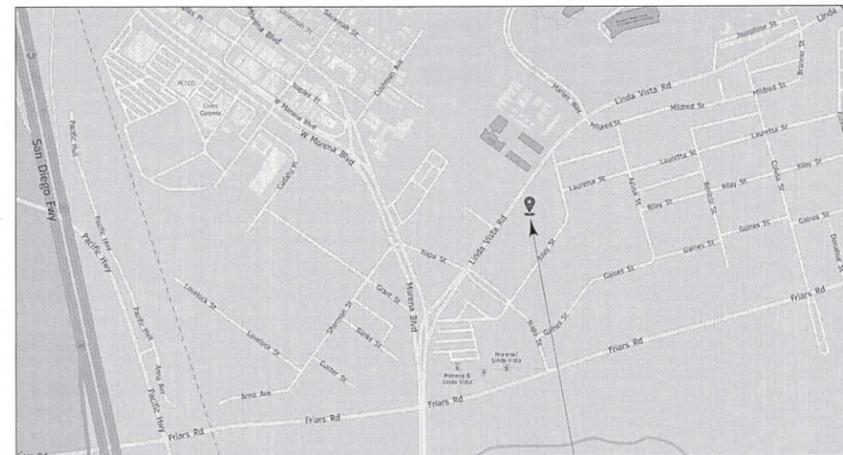
- 1 INTERIOR BUILD-OUT OF EXISTING COMMERCIAL SPACE FOR NEW RESTAURANT, BAKERY AND RETAIL SPACE.
- 2 NEW STOREFRONT WITH NEW WINDOWS, DOORS AND GUARD RAIL TO CREATE OUTDOOR DINING AREA.
- 3 NEW LIGHTING, ELECTRICAL POWER CIRCUITS, MECHANICAL SYSTEMS, GAS AND WATER PLUMBING.
- 4 NO ADDITIONAL ENCLOSED SPACE
- 5 CONDITIONAL USE PERMIT FOR ALCOHOLIC BEVERAGE OUTLET FOR OFF-SALE BEER & WINE AND ON-SALE BEER & WINE PUBLIC PREMISE.

## STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01NPDES NO. CAS010875 ([HTTP://WWW.SWRCB.CA.GOV/RWQCB9/PROGRAMS/SD\\_STORMWATER.HTML](http://www.swrcb.ca.gov/rwqcb9/PROGRAMS/SD_STORMWATER.HTML)); AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE ([HTTP://CLERKDOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?m\\_w\\_objectid=090014518008CC43](http://clerkdoc.sannet.gov/rightsite/getcontent/local.pdf?m_w_objectid=090014518008CC43)).

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S

1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR ANOTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORMWATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCK PILES OF UNCOMPACTED SOIL AND OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS, SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT RAE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANT INTO THE ENVIRONMENT.



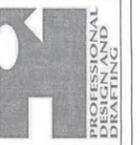
VICINITY MAP

PROJECT LOCATION

## DRAWING LIST:

### ARCHITECTURAL

- A-1 TITLE SHEET / PROJECT INFORMATION
- A-2 SITE PLAN
- A-3 EXISTING FIRST FLOOR PLAN
- A-4 DEMOLITION PLAN
- A-5 PROPOSED FIRST FLOOR PLAN
- A-6 EXTERIOR ELEVATIONS/ SECTION
- A-7 ROOF PLAN
- A-8 SITE SECTIONS
- A-9 DRIVEWAY DETAILS



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
TITLE SHEET/ PROJECT  
INFORMATION

PROJECT DESCRIPTION:  
PACIFIC TIME  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
Professional Design and  
Drafting  
7755 Fay Ave. Ste. 1  
La Jolla, CA 92037  
858 583-1979 -  
Rick Rutstein  
Annie Maciel

## CODE SUMMARY

- APPLICABLE BUILDING CODES
- 2013 CALIFORNIA BUILDING CODE
  - 2013 CALIFORNIA ELECTRICAL CODE
  - 2013 CALIFORNIA MECHANICAL CODE
  - 2013 CALIFORNIA PLUMBING CODE
  - 2013 CALIFORNIA FIRE CODE
  - 2013 CALIFORNIA RESIDENTIAL CODE
  - 2013 CALIFORNIA GREEN BUILDING CODE

## DATE:

4/16/2015

## SCALE:

1/4" = 1'-0"

## SHEET:

**A-1**  
SHEET 1 OF 9

# PACIFIC TIME

5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

## CLIENT INFORMATION

**OWNER:**  
Capstone Advisors  
Mark Hayden  
1545 Faraday Avenue  
Carlsbad, California 92008  
T (760) 804 6900 F (760) 804 6901  
hayden@capstoneadvisors.com

**TENANT:**  
PACIFIC TIME, LLC  
DAVE LORETTA  
MAILING ADDRESS:  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110  
PHONE: (619) 889-7579  
DAVE@PACIFICTIMESD.COM

**LEGAL DESCRIPTION:** PARCEL 4, PARCEL MAP  
15009, OLD SAN DIEGO, SAN DIEGO, CALIFORNIA

APN: 436-350-2100  
YEAR BUILT: 1966  
ZONE: CC-3-4

## PROJECT DATA:

EXISTING USE: COMMERCIAL  
PROPOSED USE: COMMERCIAL

CONSTRUCTION TYPE: V-A 1 HOUR  
EX. DEVELOPMENT PERMIT: NONE  
PREVIOUS OCCUPANCY: F-2 (RE: PERMIT #A81871)  
PROPOSED OCCUPANCY: A-2  
FIRE SPRINKLERS: YES

**ZONING OVERLAY:**  
COMMUNITY PLAN IMPLANTATION OVERLAY ZONE A  
SAN DIEGO INTERNATIONAL AIRPORT INFLUENCE  
AREA OVERLAY

GEOLOGIC HAZARD CATEGORY 52

## CODE SUMMARY

APPLICABLE BUILDING CODES  
2013 CALIFORNIA BUILDING CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA PLUMBING CODE  
2013 CALIFORNIA FIRE CODE  
2013 CALIFORNIA RESIDENTIAL CODE  
2013 CALIFORNIA GREEN BUILDING CODE

## CONSULTANTS

**DRAFTING:**  
PROFESSIONAL DESIGN  
AND DRAFTING  
7755 FAY AVE. STE. 1  
LA JOLLA, CA 92037  
(858) 750-6669

**ELECTRICAL, MECHANICAL  
& PLUMBING ENGINEERS:**  
SALEHI ENGINEERING INC  
8360 CLAIREMONT MESA BLVD  
SUITE 111  
SAN DIEGO, CA 92111  
(858) 277-551

**RESTAURANT KITCHEN  
DESIGNERS:**  
FSDG  
1202 MARKET STREET  
SAN DIEGO, CA 92101  
(619) 239-8156

**STRUCTURAL ENGINEER:**  
MARTIN STRUCTURAL  
CONSULTING, INC  
TOD MARTIN  
1023 LAURA LANE  
ESCONDIDO, CA 92025  
(760) 745-6012

## AREA TABULATIONS:

LOT AREA	1.03 ACRES
EXISTING FLOOR AREA	2,770 S.F.
OUTDOOR DINING	185 S.F.
AREA TO BE REMODEL	2,424 S.F.
INDOOR DINING	383 S.F.
COMMERCIAL KITCHEN	1,312 S.F.
RETAIL SPACE	492 S.F.
STORAGE	583 S.F.

## CONSTRUCTION NOTES

- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1.
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC 35.
- ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2.
- WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.
- DUMPSTER AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 3' OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPARATED BY 10' FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OF SEPARATED CFC 304.3.
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CLOSETS, FIRE EXTINGUISHER LOCATIONS AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS OR OTHER DECORATIVE MATERIAL.
- OPEN FLAMES, FIRE AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.

## SEPARATELY REGULATED USES DATA

- The owner or operator shall provide illumination, at a minimum level of 0.4 foot candles per square foot, on the exterior of the alcoholic beverage outlet, including adjacent public sidewalks and areas under the control of the owner or operator. The illumination shall be in operation during all hours of darkness while the outlet is open for business so that persons standing on or near the premises at night are identifiable by law enforcement personnel. The required illumination shall be shielded and directed so that it does not shine on adjacent properties.
- The sign area pertaining to or referencing alcoholic sales or beverages shall not exceed 630 square inches.
- A maximum of 33 percent of the square footage of the windows and doors of the premises may bear advertising or signs of any sort, and all advertising and signs shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the outlet.
- The owner or operator of the alcoholic beverage outlet shall post a prominent, permanent sign or signs stating, "No lettering, consumption of alcoholic beverages, or open alcoholic beverage containers are allowed inside the premises, in the parking area, or on the public sidewalks adjacent to the premises."
- The owner or operator shall list a business address and telephone number in the Pacific Bell/San Diego telephone directory or other similarly distributed directory.
- The owner or operator shall provide trash receptacles, conveniently located for use by patrons, inside and outside the alcoholic beverage outlet, including adjacent public sidewalks and areas under the control of the owner or operator. At least one 13-gallon trash receptacle shall be located inside the premises. At least one 32-gallon trash receptacle shall be located outside the alcoholic beverage outlet, and at least one additional 32-gallon trash receptacle shall be located in the parking areas under the control of the owner or operator.
- The owner or operator shall maintain the premises, adjacent public sidewalks, and areas under the control of the owner or operator, free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter, and debris. The owner or operator shall eliminate graffiti within 48 hours of application.
- Off-street parking shall be provided in accordance with the requirements for retail sales uses in Table 142.05E.

## HOURS OF OPERATION:

**RETAIL STORE:**  
MONDAY THRU SUNDAY  
7 AM TO 12 MIDNIGHT

**BEER AND WINE SALES:**  
MONDAY THRU SUNDAY  
9 AM TO 12 MIDNIGHT

**TABLE 503 CALCULATIONS FOR A-2 OCCUPANCY**  
MAX. ALLOWABLE HEIGHT FOR TYPE V-B CONSTRUCTION - 40'  
ACTUAL HEIGHT - 19'-1"  
MAX. AREA ALLOWED - 6,000 SF  
ACTUAL AREA - 2,770 SF

**OVERALL OCCUPANT LOAD FOR INTERIOR = 51 PEOPLE**

**NEW INDOOR DINING**  
SQUARE FOOTAGE - 383 SF  
OCCUPANCY LOAD FACTOR - 15 SF/PERSON  
MAXIMUM OCCUPANCY - 26 PEOPLE

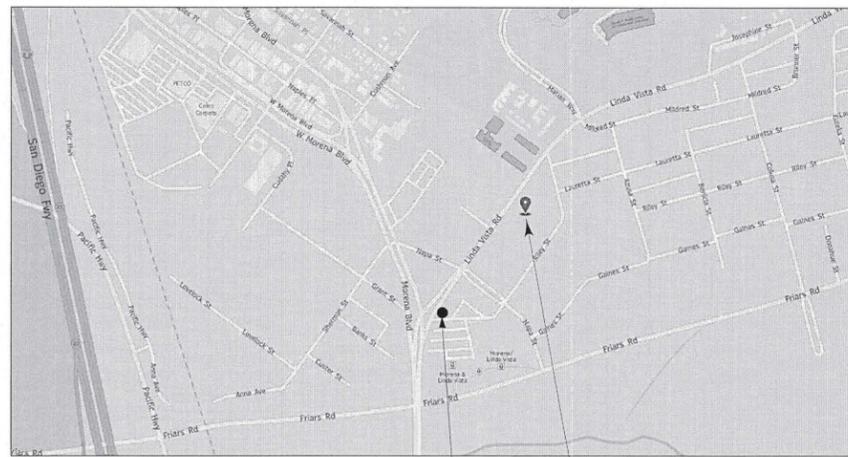
**COMMERCIAL KITCHEN**  
SQUARE FOOTAGE - 1,312 SF  
OCCUPANCY LOAD FACTOR - 200 SF/PERSON  
MAXIMUM OCCUPANCY - 7 PEOPLE

**NEW OUTDOOR DINING**  
SQUARE FOOTAGE - 136 SF  
OCCUPANCY LOAD FACTOR - 15 SF/PERSON  
MAXIMUM OCCUPANCY - 9 PEOPLE

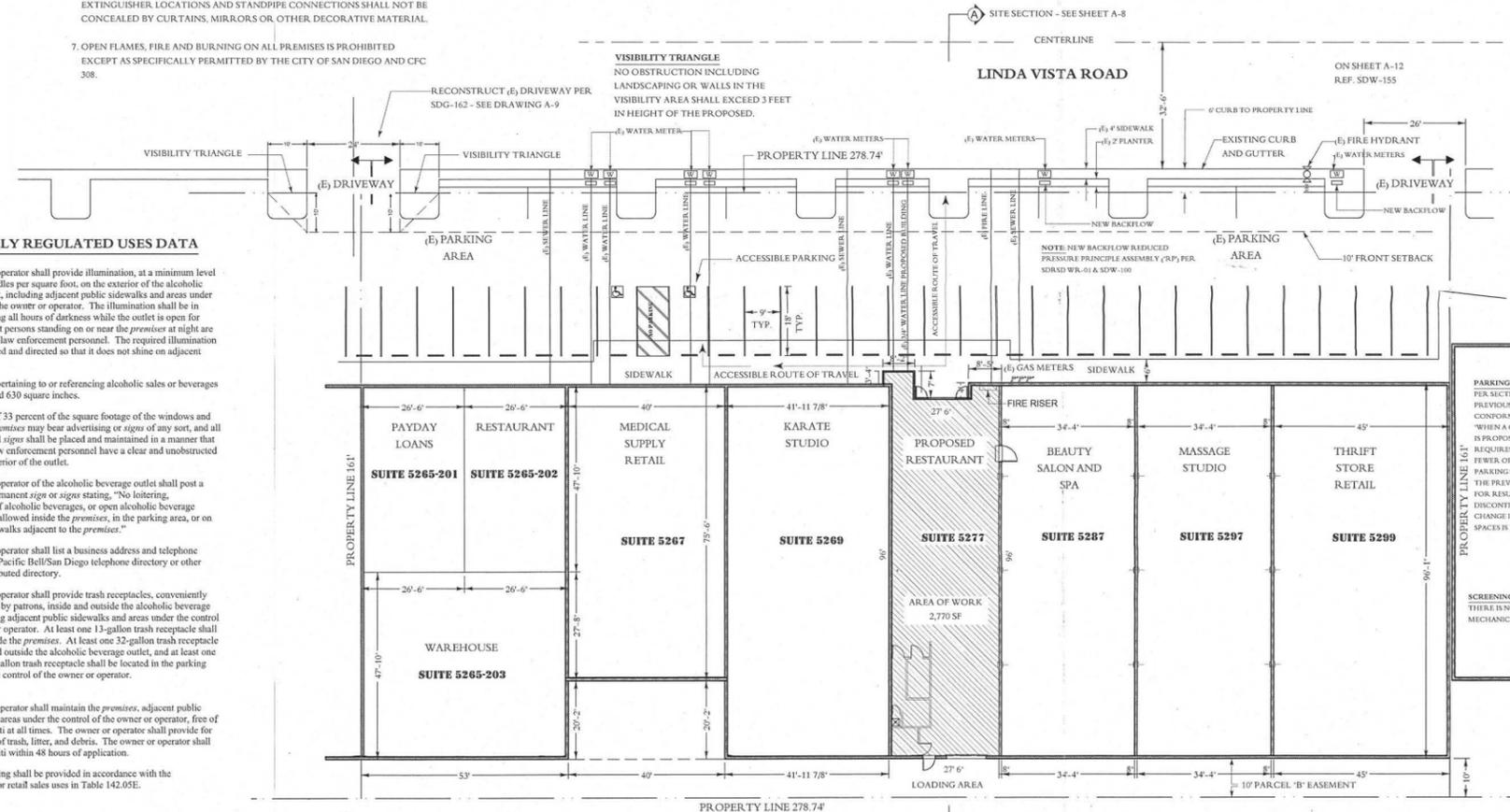
**NEW RETAIL**  
SQUARE FOOTAGE - 492 SF  
OCCUPANCY LOAD FACTOR - 30 SF/PERSON  
MAXIMUM OCCUPANCY - 16 PEOPLE

**NEW STORAGE**  
SQUARE FOOTAGE - 583 SF  
OCCUPANCY LOAD FACTOR - 300 SF/PERSON  
MAXIMUM OCCUPANCY - 2 PEOPLE

**NOTE:** THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES



## VICINITY MAP



## SITE PLAN

SCALE: 1" = 20'

## DESIGNER NOTES

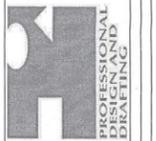
"I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW."  
PRINT NAME: Richard Ruten  
SIGNATURE: Richard Ruten DATE: 09/15/2014

"I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW."  
PRINT NAME: Richard Ruten  
SIGNATURE: Richard Ruten DATE: 09/15/2014

GRAPHIC SCALE 1" = 20'

**PARCEL #8**  
AN EASEMENT FOR INGRESS AND EGRESS PURPOSES PER PARCEL MAP 15009  
NEAREST BUS STOP IS SHOWN ON VICINITY MAP  
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER HIPS POLICY P-50.4.(C)(9)(1,4,5)

"IF BUILDING CODE INSPECTOR DETERMINES NONCOMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS, HE/SHE SHALL REQUIRE COMPLETE, DETAILED PLANS CLEARLY SHOWING ALL EXISTING NON-COMPLYING CONDITIONS AND THE PROPOSED MODIFICATIONS TO MEET CURRENT ACCESSIBILITY PROVISIONS AS AFFECTED BY THE REMODEL (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.). THE PLANS MUST BE STAMPED BY THE FIELD INSPECTOR AND RESUBMITTED TO THE BUILDING DEVELOPMENT REVIEW DIVISION."



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**SITE PLAN**

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

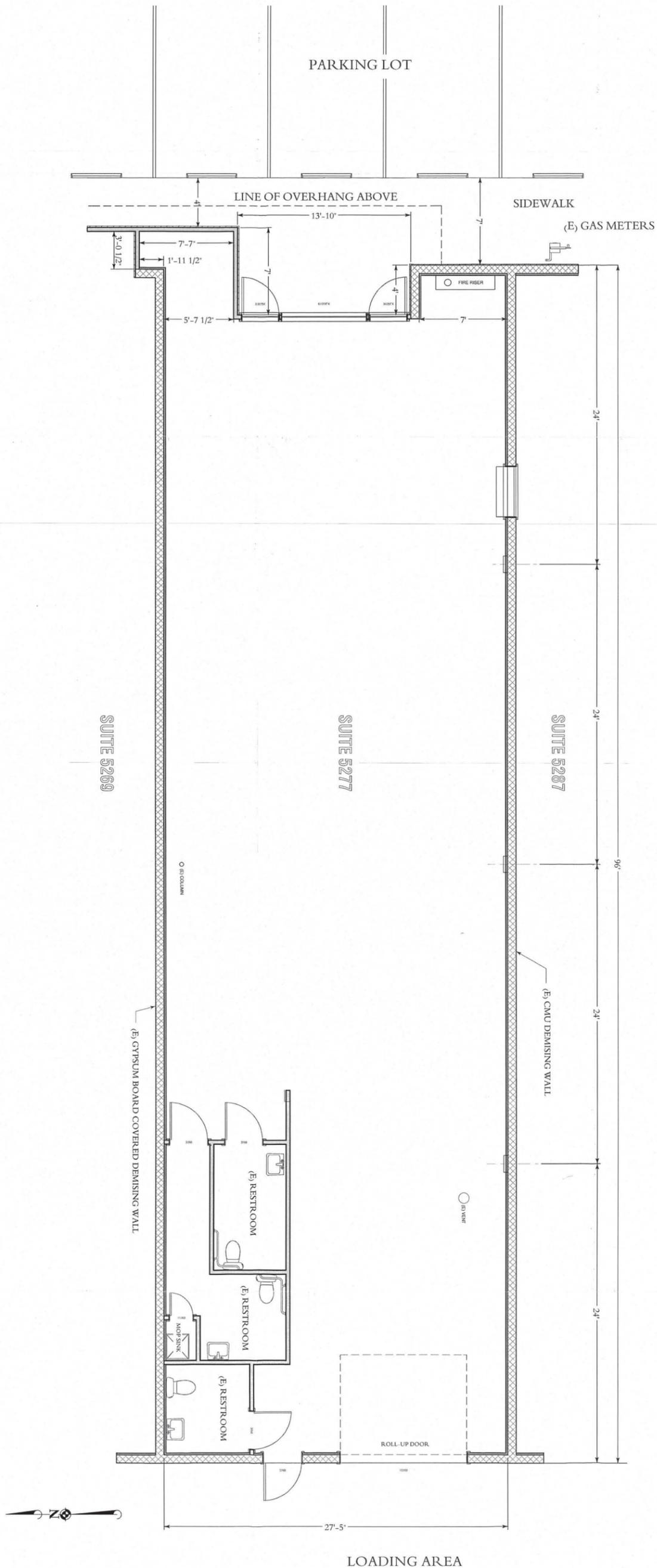
DRAWINGS PROVIDED BY:  
Professional Design and  
Drafting  
7755 Fay Ave. Ste. 1  
La Jolla, CA 92037  
858 583-1979

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Professional Design and  
Drafting  
7755 Fay Ave. Ste. 1  
La Jolla, CA 92037  
858 583-1979

DATE:  
4/16/2015

SCALE:  
1/4" = 1'-0"

SHEET:  
**A-2**  
SHEET 2 OF 9



**A-3**  
SHEET: 3 OF 8

SHEET:

SCALE: 1/4" = 1'-0"

DATE: 10/20/2014

DRAWINGS PROVIDED BY:  
Professional Design and Drafting  
7755 Fay Ave. Ste. I  
La Jolla, CA 92037  
858 583-1979 -

Rick Rutstein  
Annie Maciel

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

SHEET TITLE:  
**EXISTING FLOOR PLANS**

NO.	DESCRIPTION	BY	DATE



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**DEMOLITION PLAN**

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
**Professional Design and Drafting**  
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858 583-1979

Rick Rutstein  
Annie Maciel

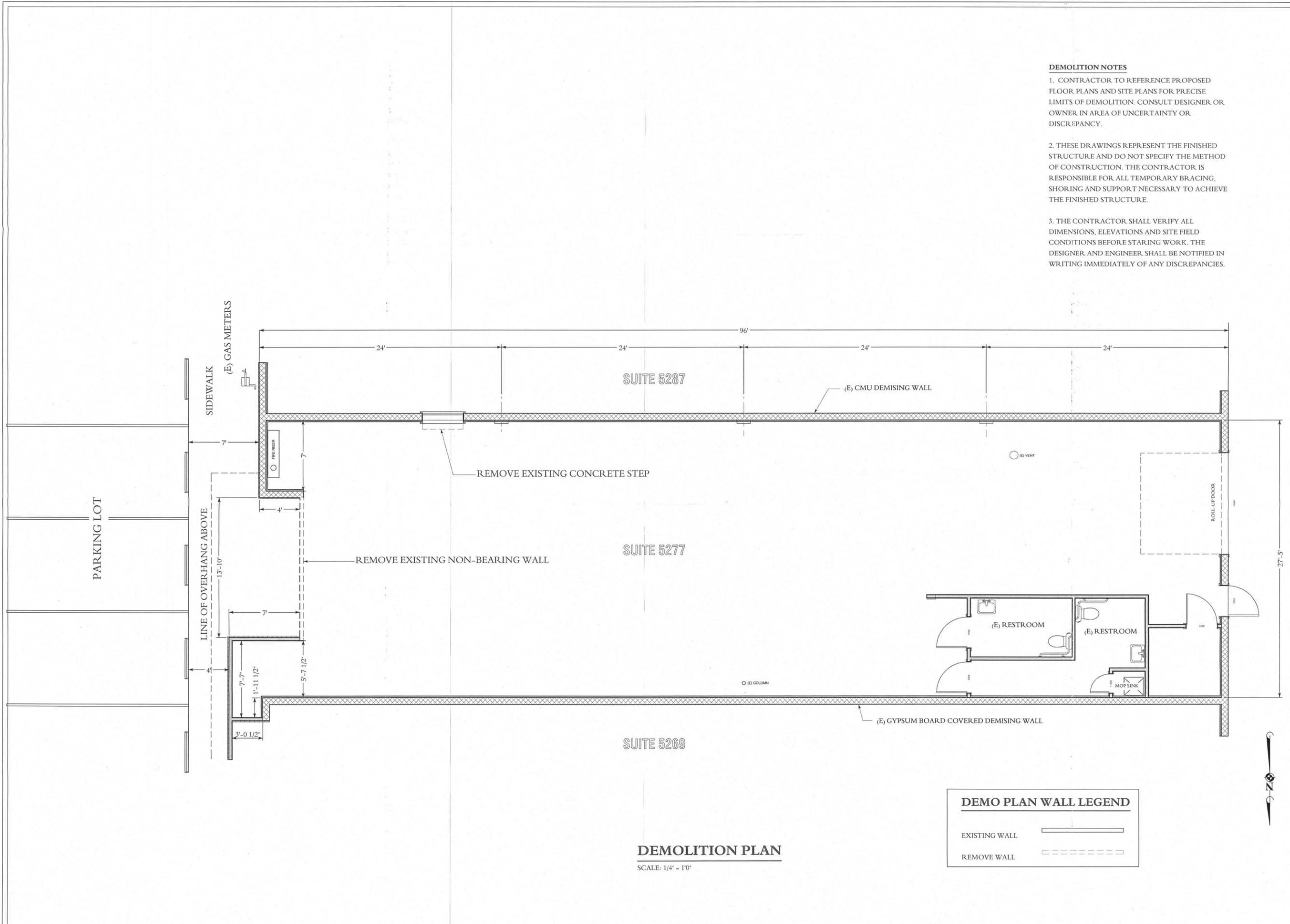
DATE:  
10/20/2014

SCALE:  
1/4" = 1'-0"

SHEET:

**A-4**  
SHEET 4 OF 8

- DEMOLITION NOTES**
- CONTRACTOR TO REFERENCE PROPOSED FLOOR PLANS AND SITE PLANS FOR PRECISE LIMITS OF DEMOLITION. CONSULT DESIGNER OR OWNER IN AREA OF UNCERTAINTY OR DISCREPANCY.
  - THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT SPECIFY THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE FIELD CONDITIONS BEFORE STARTING WORK. THE DESIGNER AND ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES.



**DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**DEMO PLAN WALL LEGEND**

EXISTING WALL	
REMOVE WALL	



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**PROPOSED FLOOR PLAN 01**

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
**Professional Design and Drafting**  
7755 Fwy Ave, Ste. 1  
La Jolla, CA 92037  
858 583-1979

Rick Rulstein  
Annie Maciel

DATE:

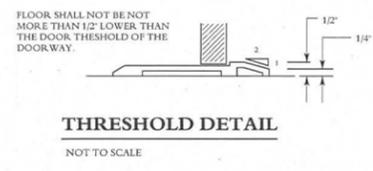
10/20/2014

SCALE:

1/4" = 1'-0"

SHEET:

**A-5**  
SHEET 5 OF 8



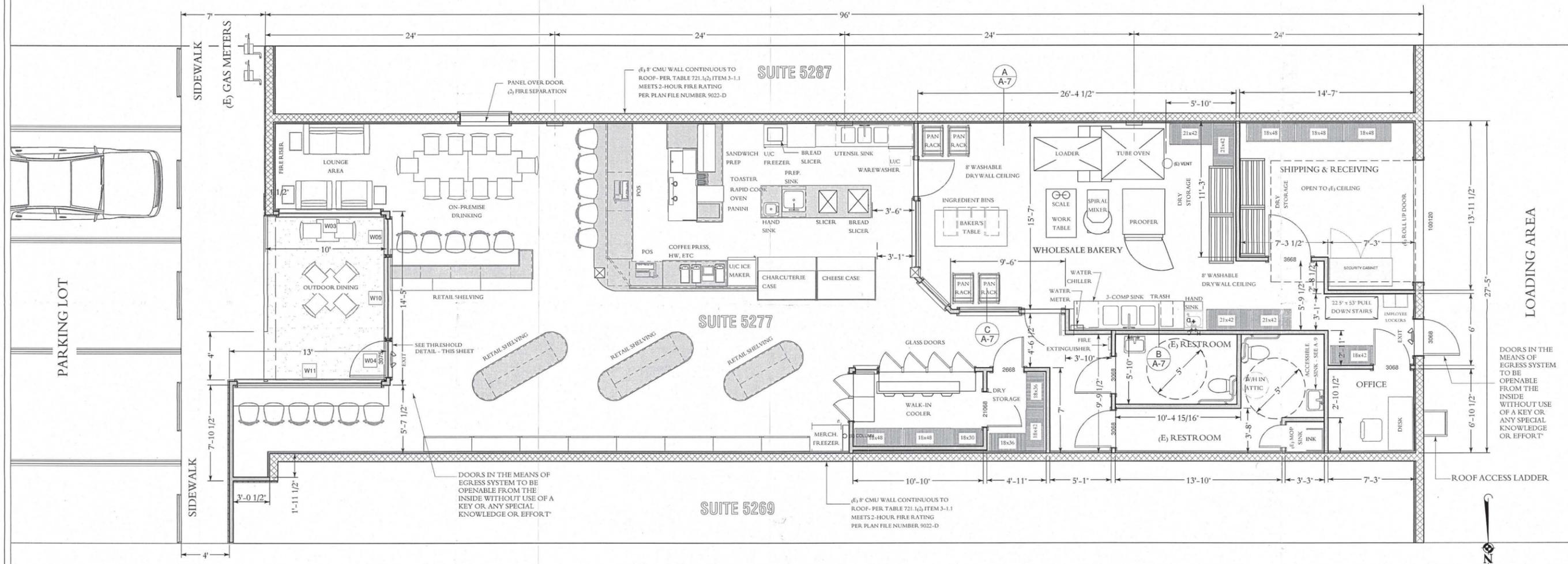
**MECHANICAL NOTE:**

- ELECTRICAL INTERLOCK BETWEEN MAKEUP AIR AND EXHAUST SHALL BE PROVIDED.
- ROOF ACCESS LADDER SHALL COMPLY WITH SECTION 304 CMC.

**WINDOW SCHEDULE**

NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W01	1	22 3/4"	72"	FIXED GLASS	
W02	1	36"	48"	FIXED GLASS	
W03	1	102"	80"	FIXED GLASS	
W04	1	36 1/2"	25"	FIXED GLASS	
W05	1	36 1/2"	80"	FIXED GLASS	
W07	1	60"	48"	FIXED GLASS	
W08	1	66 1/2"	48"	FIXED GLASS	
W09	1	81 15/16"	20"	FIXED GLASS	
W10	1	81 15/16"	93 1/8"	FIXED GLASS	
W11	1	144"	80"	FIXED GLASS	

ALL GLAZING SHALL BE TEMPERED GLASS



**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION
BY	DATE

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

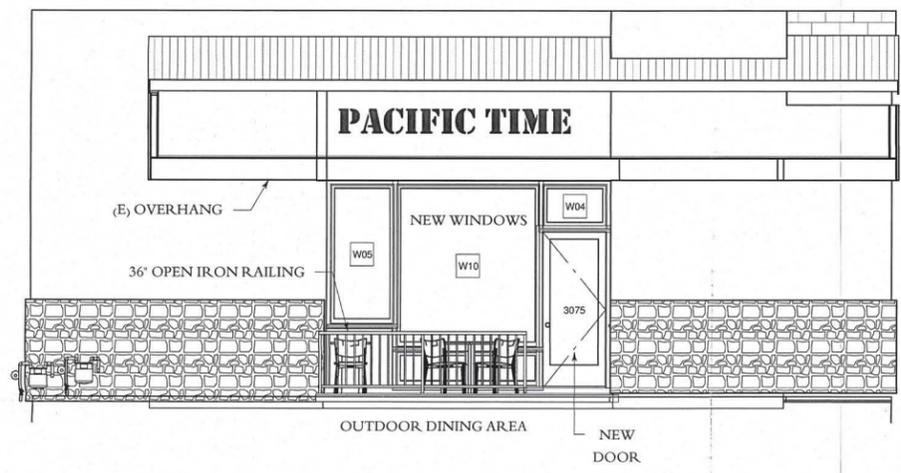
PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
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La Jolla, CA 92037  
858-583-1979

DATE:  
10/20/2014

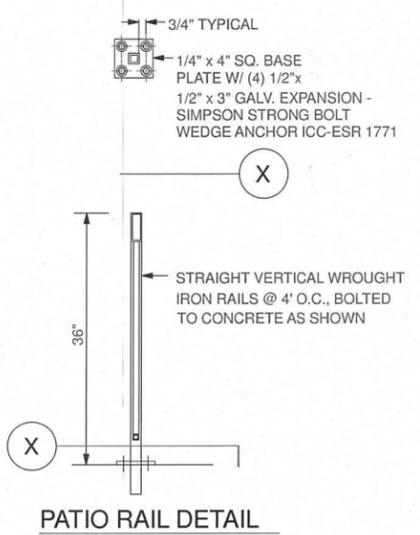
SCALE:  
1/4" = 1'-0"

SHEET:  
**A-6**  
SHEET 6 OF 8

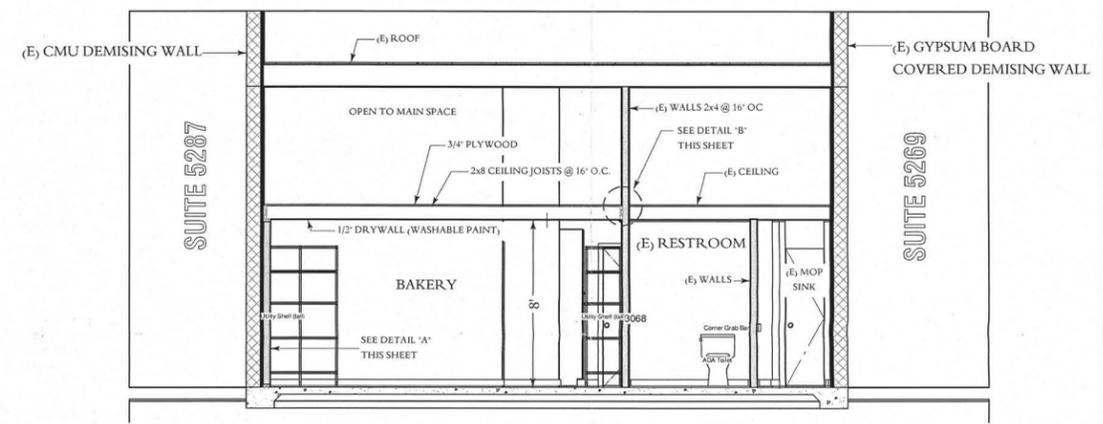


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**TYPICAL STUCCO EXTERIOR WALL**  
7/8" STUCCO OVER WIRE MESH  
2 LAYERS OF GRADE D PAPER  
ONE-HOUR FIRE-RESIST. WALL 15-1.2  
1/2" SHEATHING  
HOUSE WRAP (TYVEK OR EQ.)  
2x4 STUDS @ 16" o.c.  
1/2" GYPSUM BOARD



**PATIO RAIL DETAIL**



**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

**HEADER SCHEDULE**

HEADER SUPPORTING CEILING LOAD ABOVE ONLY		
CLEAR OPENING WIDTH	HEADER SIZE	HEADER SUPPORT
0'-0" TO 4'-0"	4X6 OR 6X6	2x STUD
4'-1" TO 6'-0"	4X8 OR 6X6	2x STUD
6'-1" TO 8'-0"	4X10 OR 6X8	2,2x STUD
8'-1" TO -	as shown on plans	

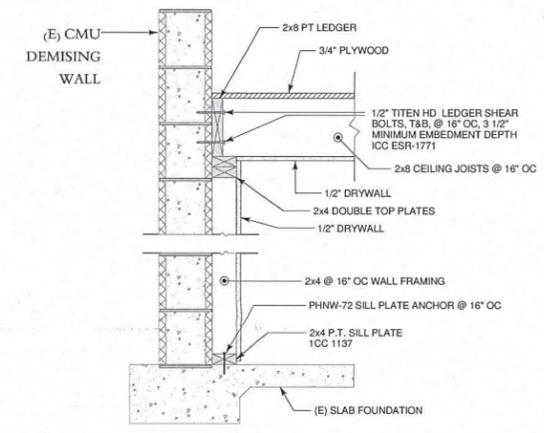
- \* ALL HEADERS ARE DF #2 OR BETTER U.O.N
- \* ALL HEADERS WITH CLEAR SPANS GREATER THAN 8' TO BE PER FRAMING PLAN.
- \* VERIFY HEADERS WITH FRAMING PLAN FOR SPECIAL CONDITIONS.

**CONSTRUCTION MATERIAL NOTES:**

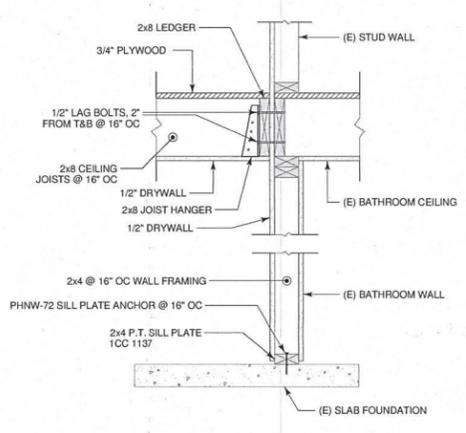
1. SAWN WOOD MEMBERS SHALL BE DOUGLAS FIR, LARCH, S4S, CONFORMING TO IBC STANDARD 23.1 AND SHALL BE GRADED UNDER "WPA" OR "WCLIB" STANDARDS. ACCEPTABLE SPECIES MARKS ARE DOUGLAS FIR AND WESTERN LARCH. NORTH OR SOUTH SPECIES ARE NOT ACCEPTABLE.
2. WOOD GRADES, UNLESS NOTED, SHALL BE AS FOLLOWS:  
MEMBERS GRADE #2  
ALL 2x's, 3x's, & 4x's #2  
ALL 6x's #1
3. FRAMING ANCHORS, POST CAPS, COLUMN BASES, ETC. SHALL BE MANUFACTURED BY SIMPSON COMPANY OR AN APPROVED EQUAL. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER OR REQUIRED TO BE CORROSION RESISTANT SHALL BE EITHER ZINC COATED, ALUMINUM ALLOY WIRE OR STAINLESS STEEL.
4. BARS, PLATES, STRAPS, SPECIAL FABRICATIONS, UNHEADED BOLTS, WASHERS AND DRIFT BOLTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36.
5. BOLTS SHALL CONFORM TO ASTM A 307. NUTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A563, GRADE A.
6. ALL BOLT HEADS, NUTS AND LAG SCREWS BEARING ON WOOD SHALL HAVE CUT WASHERS, U.O.N.
7. BOLT HOLES IN WOOD SHALL BE DRILLED 1/32" LARGER THAN THE NOMINAL BOLT DIAMETER.

**NAILING NOTES: (PER IRC TABLE R602.3(1))**

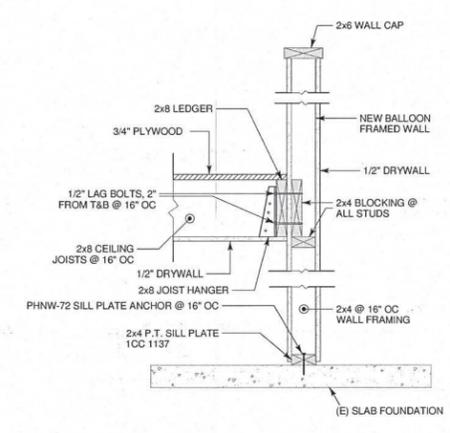
- JOIST TO SILL OR GIRDER BRIDGING TO JOIST SOLE PLATE TO JOIST OR BLK'G STUD TO SOLE PLATE TOP PLATE TO STUD
- DOUBLE STUDS DOUBLE TOP PLATES CONTINUOUS HEADER, TWO PIECES BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER TOP PLATES, LAPS AND INTERSECTIONS
- CEILING JOISTS TO PLATE CONTINUOUS HEADER TO STUD CEILING JOISTS TO PARALLEL RAFTERS RAFTER TO PLATE 1" BRACE TO EACH STUD AND PLATE BUILT-UP CORNER STUDS 2" PLANKS
- 1/2" PLYWOOD ROOF AND WALL SHEATHING
- 3/4" PLYWOOD SUBFLOOR
- 2x MULTIPLE JOISTS - STAGGER @ 15" OC W(2) @ EA. END OR SPLICE (3) OR FEWER (4) OR MORE WASHERS
- TOE NAIL (3)-8d TOE NAIL EA. END (2)-8d FACE NAIL 16d @ 16" OC TOE NAIL (4)-8d, END NAIL (2) 16d END NAIL (2)-16d
- FACE NAIL 16d @ 24" OC FACE NAIL 16d @ 16" OC 16d @ 16" OC ALONG EA. EDGE FACE NAIL (2)-16d
- TOE NAIL (3)-8d TOE NAIL (4)-8d FACE NAIL (3)-10d TOE NAIL (2)-16d FACE NAIL (2)-8d 10d @ 24" OC (2)-16d @ EA. BRG.
- EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC
- EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC
- 16d NAILS 1/2" DIA. M.B. W/ STANDARD NUT AND



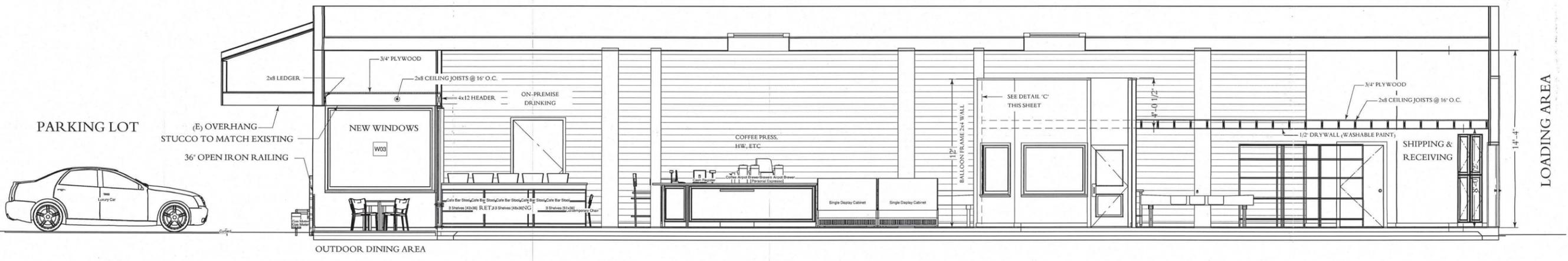
**A LEDGER DETAIL @ CMU WALL**



**B LEDGER DETAIL @ STUD WALL**

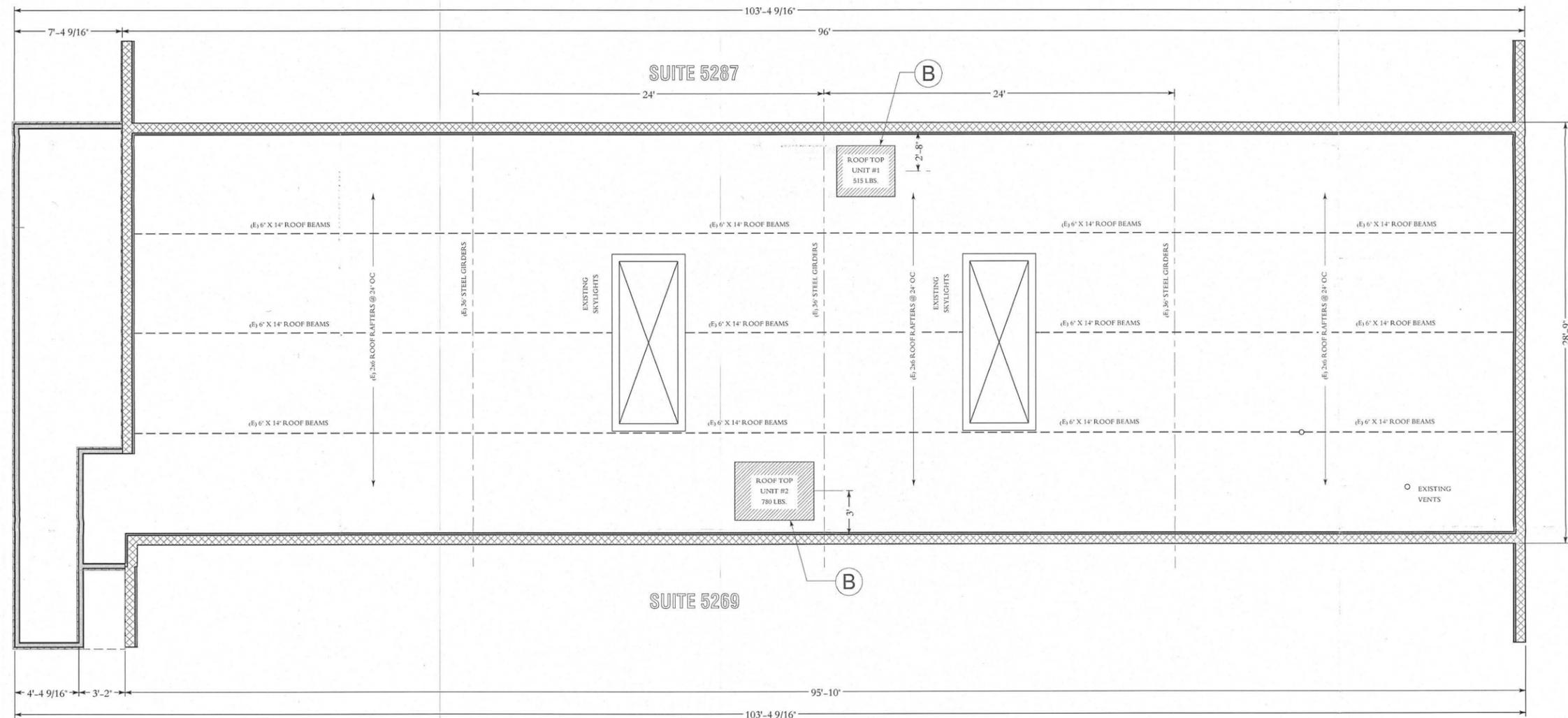


**C LEDGER DETAIL @ BALLOON FRAMED WALL**

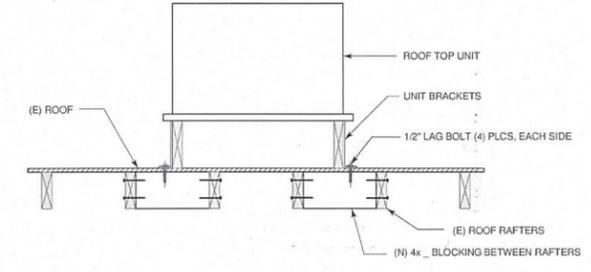
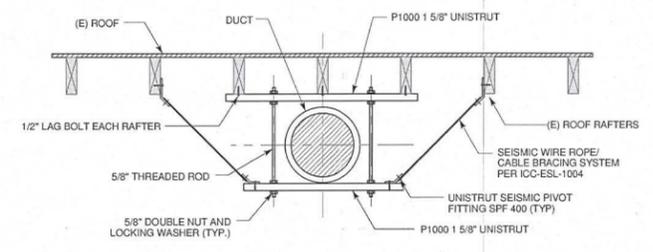


**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE



**ROOF PLAN**  
SCALE: 1/4" = 1'0"



SHEET TITLE:  
**ROOF PLAN**

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
**Professional Design and Drafting**  
7755 Fay Ave, Ste. 1  
La Jolla, CA 92037  
858-583-1979

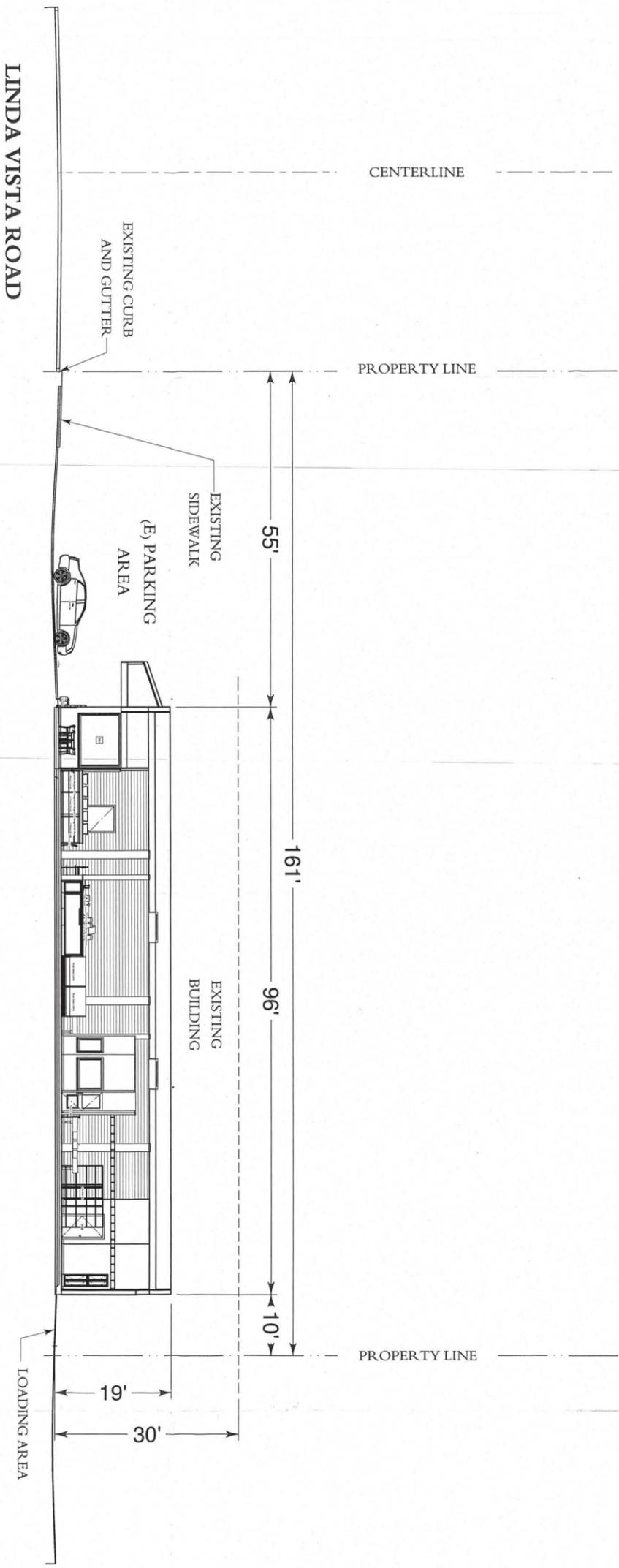
Rick Rustein  
Annie Maciel

DATE:  
10/20/2014

SCALE:  
1/4" = 1'-0"

SHEET:

**A-7**  
SHEET 7 OF 8



**SITE SECTION**  
SCALE: 1" = 10'

NO.	DESCRIPTION	BY	DATE



SHEET TITLE:  
**SITE SECTION**

PROJECT DESCRIPTION:  
**PACIFIC TIME**  
5277 LINDA VISTA RD  
SAN DIEGO, CA 92110

DRAWINGS PROVIDED BY:  
Professional Design and  
Drafting  
7755 Fay Ave. Ste. I  
La Jolla, CA 92037  
858 583-1979 -  
Rick Rutstein  
Annie Maciel

DATE:  
10/20/2014

SCALE:  
1/4" = 1'-0"

SHEET:

**A-8**  
SHEET 8 OF 8