

emergency power generator. The project is located at 7650 Gilman Court, in the La Jolla Community Plan area, and in the La Jolla Shores Planned District (LJSPD) SF zone (Attachments 1, 2, 3, and 4). It is surrounded by interstate 5 to the east, open space and La Jolla Parkway to the west, the San Diego Gas & Electric Rose Canyon Electrical Substation to the south, and both open space and other WCFs to the north.

Verizon currently operates a WCF at this location. The existing site consists of an equipment shelter with antennas attached to pipes on the roof of the shelter. The modifications proposed require new permits and the design is subject to the current Land Development Code (LDC) WCF Design Requirements. To comply with the current regulations, Verizon is installing a 30-foot tall monopine tree which will be able to support twelve (12) panel antennas, in a way that is visually integrated with the surrounding open space backdrop.

WCFs are permitted in residential zones where the antennas are more than 100 feet from the property line of a residential use with an NUP, Process Two. WCF proposing an equipment area larger than 250 square-feet are permitted with an NDP, Process Two. As the project is adjacent to environmentally sensitive land (ESL) and is located within the LJSPD, an SDP, Process Three is also required.

The WCF Regulations require that applicants use all reasonable means to conceal or minimize the visual impacts of WCFs through integration, which includes the use of architecture, landscape, and siting solutions. This project has been designed to blend in with the surroundings by proposing a 30-foot tall monopine tree, capable of supporting panel antennas. The monopine is situated adjacent to proposed live pine trees and is immediately in front of a hillside with native vegetation. As viewed from the adjacent Interstate 5 freeway, other public rights-of-way, and surrounding residential development, the WCF – designed as a monopine – will effectively integrate with the surroundings.

The City's General Plan addresses Wireless Facilities in UD-A.15. The visual impact of WCFs should be minimized by concealing WCFs in existing structures, or utilizing camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures. This project complies with the General Plan recommendations by locating the antennas on a proposed 30-foot tall monopine tree, which will enable the WCF to blend in with the surroundings. The existing native vegetation on the hillside and proposed live pine trees will assist in creating a visual backdrop that effectively integrates the monopine. The associated equipment and emergency generator will be located in an enclosure, painted a color similar to the adjacent vegetation, in order to camouflage with the surroundings. The design of the WCF is respectful of the neighborhood context and does not adversely affect the applicable land use plans.

Based on the proposed design, the project complies with the WCF Regulations (LDC §141.0420). The project has received support from the community planning group and the planned district advisory group, and draft findings have been made in the affirmative to approve

the NDP, NUP, and SDP. Therefore, Staff recommends approval of NDP No. 1494521, NUP No. 1494522, and SDP No. 1494523.

ALTERNATIVES

1. Approve NDP No. 1494521, NUP No. 1494522, and SDP No. 1494523, with modifications.
2. Deny NDP No. 1494521, NUP No. 1494522, and SDP No. 1494523, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

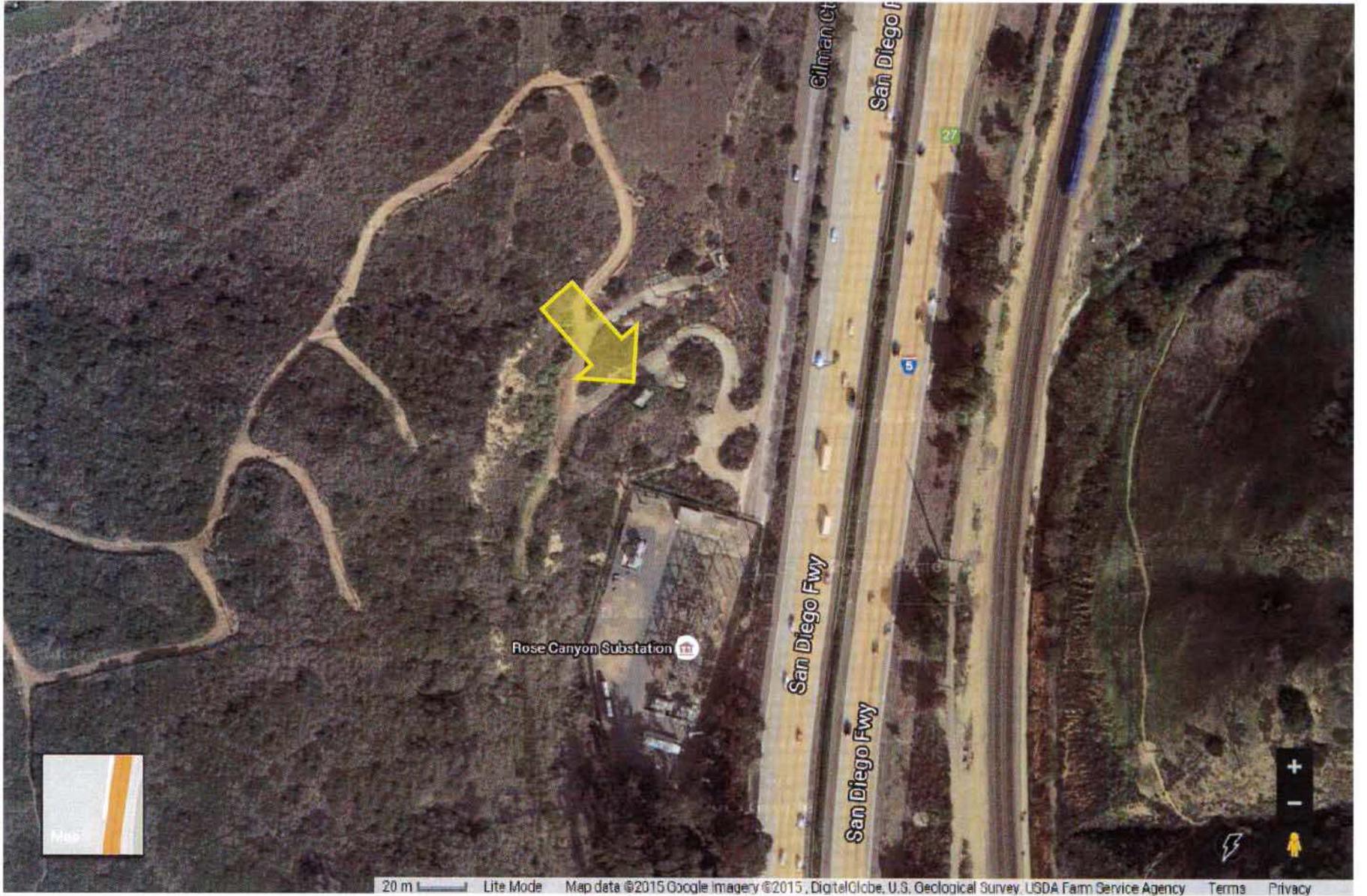
Respectfully submitted,



Alex Hempton, AICP
Development Project Manager

Attachments:

1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement (ODS)
10. Photo Simulations
11. Photo Survey
12. Site Justification/Coverage Maps
13. Hearing Officer Public Notice
14. Project Plans



Aerial Photo

Verizon Gilman Ct. – Project Number 365466

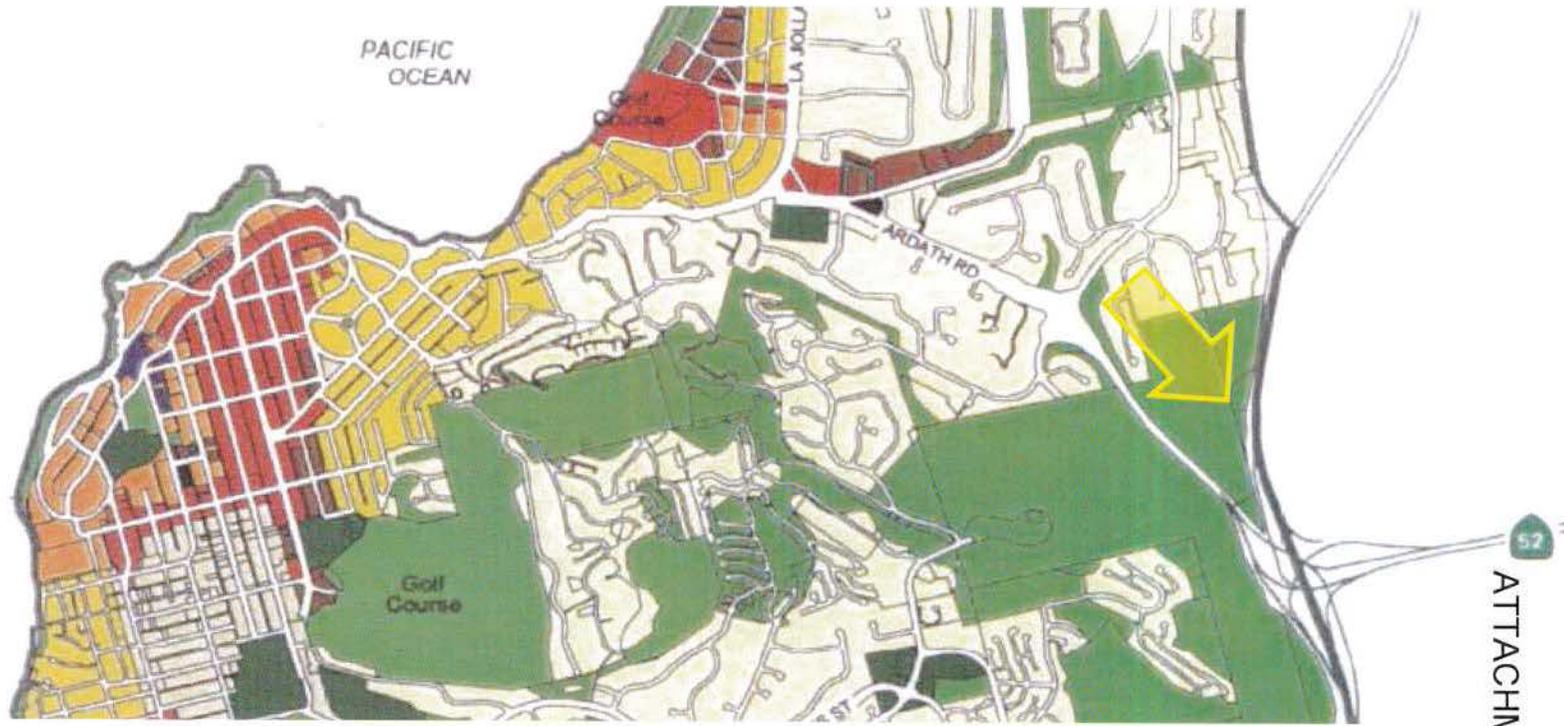
7650 Gilman Ct.

Legend

-  Very Low Density Residential (0-5 DU/AC)
-  Low Density Residential (5-9 DU/AC)
-  Low Medium Residential (9-15 DU/AC)
-  Medium Residential (15-30 DU/AC)
-  Medium High Residential (30-45 DU/AC)
-  Commercial/Mixed Use
-  Parks, Open Space
-  Schools
-  Cultural
-  Community Facilities

Designated as
“Parks, Open
Space”

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ATTACHMENT 2



Community Plan Land Use Designation

Verizon Gilman Ct. – Project Number 365466

7650 Gilman Ct.



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Project Location Map

Verizon Gilman Ct. – Project Number 365466

7650 Gilman Ct.



ATTACHMENT 3

PROJECT DATA SHEET

PROJECT NAME:	Verizon – Gilman Court	
PROJECT DESCRIPTION:	Wireless Communication Facility (WCF) consisting of the removal of antennas attached to an existing equipment room and the installation of a new 30-foot tall monopine tree, with an existing equipment enclosure, and a new emergency generator.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Process 3: NDP, SDP, and NUP	
COMMUNITY PLAN LAND USE DESIGNATION:	Parks, Open Space	
<p><u>ZONING INFORMATION:</u></p> <p>ZONE: LJSPD-SF</p> <p>HEIGHT LIMIT: 30'</p> <p>FRONT SETBACK: -</p> <p>SIDE SETBACK: -</p> <p>REAR SETBACK: -</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Parks/Open Space, LJSPD-SF	Open Space
SOUTH:	Parks/Open Space, LJSPD-SF	Open Space
EAST:	RS-1-7	Interstate 5 and Open Space
WEST:	OP-1-1	Open Space
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The La Jolla Shores Planned District Advisory Board voted to recommend approval (4-0-0) at their 4/21/15 meeting. The La Jolla Community Planning Association voted to recommend approval (14-0-1) at their 8/7/14 meeting.	

**HEARING OFFICER RESOLUTION NO. HO-XXXX
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1494521
NEIGHBORHOOD USE PERMIT NO. 1494522
SITE DEVELOPMENT PERMIT NO. 1494523
VERIZON – GILMAN COURT
PROJECT NO. 365466**

WHEREAS, LAURENCE A. & JEANETTE H BENNER, Owner, and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) consisting of twelve (12) panel antennas, mounted to a new 30-foot tall monopine tree with associated equipment and an emergency generator located within an 860.75 square-foot enclosure (as described in and by reference to the approved Exhibits “A” and corresponding conditions of approval for the associated Permit Nos. 1494521, 1494522, and 1494523);

WHEREAS, the project site is located at 7650 Gilman Court in the La Jolla Shores Planned District (LJSPD) SF zone of the La Jolla community plan area;

WHEREAS, the project site is legally described as: All that part of that portion of Pueblo Lot 1267, in the Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by James Pascoe in 1870, a copy of which said Map was filed in the Office of the County Recorder of San Diego County, November 14, 1921, and is known as miscellaneous Map No. 36;

WHEREAS, on May 21, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Sections 15301 (Existing Facilities) and 15303 (New Construction) of the State CEQA Guidelines and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on July 22, 2015, the Hearing Officer of the City of San Diego considered Neighborhood Development Permit (NDP) No. 1494521, Neighborhood Use Permit (NUP) No. 1494522, and Site Development Permit (SDP) No. 1494523 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated July 22, 2015.

FINDINGS:

Neighborhood Development Permit - §126.0404

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities

to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

This project consists of the removal of existing unconcealed antennas attached to an existing equipment shelter and the installation of a new 30-foot tall monopine. The monopine will be capable of camouflaging the 12 panel antennas with the surrounding open space. This will enable the provision of wireless service to the surrounding area and Interstate 5 in a way that is visually compatible and respectful of the neighborhood context and adjacent open space. The equipment room and emergency generator will be minimally visible by painting the enclosure dark green, surrounding portions of the facility with a green vinyl chain link fence, and landscape screening materials. Based on the design of this facility, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of the removal of existing antennas attached to an equipment enclosure and the installation of a new 30-foot tall monopine tree supporting antennas, with an emergency power generator. The project is located at 7650 Gilman Court, and is located in the La Jolla Community Plan Area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) and 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities has been provided. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project complies with the regulations of the Wireless Communication Facility Regulations, Land Development Code Section 141.0420, and with the zone development requirements of the

LJSPD-SF zone. WCF are permitted in residential zones, with a non-residential use, with the processing of an NUP, Process Two, when the antennas are located more than 100-feet from the property line of a residential use, as is the case with this project. The project has been designed to be minimally visible by camouflaging antennas on a new 30-foot tall monopine tree, with equipment and an emergency power generator located adjacent to the tree. The equipment enclosure and emergency generator enclosure will be painted dark green and screened with shrubs. Two pine trees will be planted to help integrate the faux tree with the surrounding open space, in accordance with the WCF Regulations. Based on these considerations, the project complies with the regulations of the Land Development Code.

Neighborhood Use Permit - §126.0205

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

This project consists of the removal of existing unconcealed antennas attached to an existing equipment shelter and the installation of a new 30-foot tall monopine. The monopine will be capable of camouflaging the 12 panel antennas with the surrounding open space. This will enable the provision of wireless service to the surrounding area and Interstate 5 in a way that is visually compatible and respectful of the neighborhood context and adjacent open space. The equipment room and emergency generator will be minimally visible by painting the enclosure dark green, surrounding portions of the facility with a green vinyl chain link fence, and landscape screening materials. Based on the design of this facility, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of the removal of existing antennas attached to an equipment enclosure and the installation of a new 30-foot tall monopine tree supporting antennas, with an emergency power generator. The project is located at 7650 Gilman Court, and is located in the La Jolla Community Plan Area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) and 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” A Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC’s regulations for wireless facilities has been provided. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project complies with the regulations of the Wireless Communication Facility Regulations, Land Development Code Section 141.0420, and with the zone development requirements of the LJSPD-SF zone. WCF are permitted in residential zones, with a non-residential use, with the processing of an NUP, Process Two, when the antennas are located more than 100-feet from the property line of a residential use, as is the case with this project. The project has been designed to be minimally visible by camouflaging antennas on a new 30-foot tall monopine tree, with equipment and an emergency power generator located adjacent to the tree. The equipment enclosure and emergency generator enclosure will be painted dark green and screened with shrubs. Two pine trees will be planted to help integrate the faux tree with the surrounding open space, in accordance with the WCF Regulations. Based on these considerations, the project complies with the regulations of the Land Development Code.

Site Development Permit - §126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

This project consists of the removal of existing unconcealed antennas attached to an existing equipment shelter and the installation of a new 30-foot tall monopine. The monopine will be capable of camouflaging the 12 panel antennas with the surrounding open space. This will enable the provision of wireless service to the surrounding area and Interstate 5 in a way that is visually compatible and respectful of the neighborhood context and adjacent open space. The equipment room and emergency generator will be minimally visible by painting the enclosure dark green, surrounding portions of the facility with a green vinyl chain link fence, and landscape screening

materials. Based on the design of this facility, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of the removal of existing antennas attached to an equipment enclosure and the installation of a new 30-foot tall monopine tree supporting antennas, with an emergency power generator. The project is located at 7650 Gilman Court, and is located in the La Jolla Community Plan Area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) and 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities has been provided. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project complies with the regulations of the Wireless Communication Facility Regulations, Land Development Code Section 141.0420, and with the zone development requirements of the LJSPD-SF zone. WCF are permitted in residential zones, with a non-residential use, with the processing of an NUP, Process Two, when the antennas are located more than 100-feet from the property line of a residential use, as is the case with this project. The project has been designed to be minimally visible by camouflaging antennas on a new 30-foot tall monopine tree, with equipment and an emergency power generator located adjacent to the tree. The equipment enclosure and emergency generator enclosure will be painted dark green and screened with shrubs. Two pine trees will be planted to help integrate the faux tree with the surrounding open space, in accordance with the WCF Regulations. Based on these considerations, the project complies with the regulations of the Land Development Code.

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The proposed project modifies an existing Verizon wireless facility. There is an existing equipment shelter, with antennas, and ornamental landscaping, along with an access road. This project will modify the existing facility by removing antennas and relocating the antennas to a new 30-foot tall monopine, with an enlarged equipment enclosure and an emergency power generator. A Biological Resource Letter Report, dated May 21, 2014, was prepared by Merkel & Associates, Inc. to analyze potential impacts to environmentally sensitive lands (ESL). This project will impact non-native vegetation, disturbed habitat, and urban/developed lands, however impacts to these plant communities are less than significant under CEQA and these habitats are not considered to have high conservation value requiring mitigation. If construction occurs between January 15th and September 15th, a condition has been added to the permit to require a pre-construction survey of migratory bird nests prior to the start of construction. If migratory bird nests are found, then all construction activities undertaken for the project must comply with the regulatory requirements of the federal Migratory Bird Treaty Act (MBTA) and California Fish and Game Codes §3503 and §3513. Since implementation of this condition would avoid impacts to active migratory bird nests, if present at the time of construction, no project mitigation measures are required. The project is located near steep hillsides, but the Biological Resource Letter Report has indicated that the project is not expected to result in adverse edge effects to the habitat in the adjacent hillside. Based on the results of the Biological Resource Letter Report and since many components of this wireless facility are already developed, the development will result in minimum disturbance to the surrounding environmental lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed project will minimize the alteration of natural land forms. The proposed project modifies an existing Verizon wireless facility. There is an existing equipment shelter, with antennas, and ornamental landscaping, along with an access road. This project will modify the existing facility by removing antennas and relocating the antennas to a new 30-foot tall monopine, with an enlarged equipment enclosure and an emergency power generator. The project has been reviewed by the City's Geology Staff and the Fire Department's Hazardous Materials Review Staff, and it has been determined that the site is safe for the proposed development. Additionally, prior to obtaining a construction permit, the construction drawings will be reviewed and approved by Development Services for compliance with the applicable building codes. This review will reduce the risk of the project due to geologic and erosional forces, flood hazards, and fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The proposed project modifies an existing Verizon wireless facility. There is an existing equipment shelter, with antennas, and ornamental landscaping, along with an access road. This project will modify the existing facility by removing antennas and relocating the antennas to a new 30-foot tall monopine, with an enlarged equipment enclosure and an emergency power generator. A Biological Resource Letter Report, dated May 21, 2014, was prepared by Merkel &

Associates, Inc. to analyze potential impacts to environmentally sensitive lands (ESL). This project will impact non-native vegetation, disturbed habitat, and urban/developed lands, however impacts to these plant communities are less than significant under CEQA and these habitats are not considered to have high conservation value requiring mitigation. If construction occurs between January 15th and September 15th, a condition has been added to the permit to require a pre-construction survey of migratory bird nests prior to the start of construction. If migratory bird nests are found, then all construction activities undertaken for the project must comply with the regulatory requirements of the federal Migratory Bird Treaty Act (MBTA) and California Fish and Game Codes §3503 and §3513. Since implementation of this condition would avoid impacts to active migratory bird nests, if present at the time of construction, no project mitigation measures are required. The project is located near steep hillsides, but the Biological Resource Letter Report has indicated that the project is not expected to result in adverse edge effects to the habitat in the adjacent hillside, as the project has been sited and designed to prevent adverse impacts.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The City's Multiple Species Conservation Program (MSCP) Staff reviewed this project and determined that the project site is not located within the City's Multi-Habitat Planning Area (MHPA) and appears to be at or beyond 100 feet from the MHPA.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

This project is located approximately 1.5 miles from the nearest public beach. Due to the project's distance from the beach, the project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

No mitigation is proposed as part of this project. A Biological Resource Letter Report, dated May 21, 2014, was prepared by Merkel & Associates, Inc. to analyze potential impacts to environmentally sensitive lands (ESL). This project will impact non-native vegetation, disturbed habitat, and urban/developed lands, however impacts to these plant communities are less than significant under CEQA and these habitats are not considered to have high conservation value requiring mitigation. If construction occurs between January 15th and September 15th, a condition has been added to the permit to require a pre-construction survey of migratory bird nests prior to the start of construction. If migratory bird nests are found, then all construction activities undertaken for the project must comply with the regulatory requirements of the federal Migratory Bird Treaty Act (MBTA) and California Fish and Game Codes §3503 and §3513. Since implementation of this condition would avoid impacts to active migratory bird nests, if present at the time of construction, no project mitigation measures are required.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Neighborhood Development Permit (NDP) No. 1494521, Neighborhood Use Permit (NUP) No.

ATTACHMENT 5

1494522, and Site Development Permit (SDP) No. 1494523 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1494521, 1494522, and 1494523, a copy of which is attached hereto and made a part hereof.

Alex Hempton, AICP
Development Project Manager
Development Services

Adopted on: July 22, 2015

Internal Order No. 24004571

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004571

NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) NO. 1494521
NEIGHBORHOOD USE PERMIT (NUP) NO. 1494522
SITE DEVELOPMENT PERMIT (SDP) NO. 1494523
VERIZON GILMAN COURT, PROJECT NO. 365466
HEARING OFFICER

This NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1494521, NEIGHBORHOOD USE PERMIT NO. 1494522, and SITE DEVELOPMENT PERMIT NO. 1494523 is granted by the **HEARING OFFICER** of the City of San Diego to LAURENCE A. & JEANETTE H BENNER, Owner, and VERIZON WIRELESS, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0404, 126.0205, 126.0504, and 141.0420. The site is located at 7650 Gilman Court in the La Jolla Shores Planned District (LJSPD) SF zone of the La Jolla community plan area. The project site is legally described as: All that part of that portion of Pueblo Lot 1267, in the Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by James Pascoe in 1870, a copy of which said Map was filed in the Office of the County Recorder of San Diego County, November 14, 1921, and is known as miscellaneous Map No. 36.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 22, 2015, on file in the Development Services Department.

The project shall include:

- a. Twelve (12) panel antennas (antenna dimensions are: 72.0" by 11.9" by 7.1" or 76.1" by 11.9" by 3.9") mounted to a 30-foot tall monopine tree with equipment and an emergency power generator located in a 860.75 square-foot enclosure;
- b. Removal of existing antennas attached to equipment shelter;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **August 5, 2018**.
2. **This NUP, NDP, and SDP and corresponding use of this site shall expire on August 5, 2025.** Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the

event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

LANDSCAPE REQUIREMENTS:

14. Prior to building permit issuance, landscape and irrigation plans substantially conforming to Exhibit "A," (Landscape Development Plan) shall be submitted to the Development Services Department for approval.

15. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

16. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

GEOLOGY REQUIREMENTS:

17. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

ENGINEERING REQUIREMENTS:

18. The project proposes to export 23.3 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

19. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

21. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

23. All proposed hand-holes shall be covered with bark material to match the monopine trunk to the satisfaction of the Development Services Department.

24. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. Cable enclosures (referred to as "doghouses") are not permitted.

25. Branches shall extend a minimum of 24-inches beyond the entire vertical face of the proposed antennas to the satisfaction of the Development Services Department.

26. Starting branch height shall be no higher than 10-feet, as illustrated on the stamped, approved Exhibit "A."

27. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.

28. Radio-frequency transparent "socks" fully covering the front and back of the antennas (and any other components) shall be installed.

29. The applicant is required to provide color samples of the faux tree prior to Building Permit issuance. This is to ensure that the proposed faux tree integrates with the surrounding landscape. Staff will pre-approve the color sample prior to Building Permit issuance. The exact faux tree color exhibit will be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built faux tree.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

31. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

32. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

33. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
34. No overhead cabling is allowed for this project.
35. Exposed mounting apparatus shall be removed and shall not remain on the monopine absent antennas.
36. The Owner/Permittee shall not cause or allow the antennas located on the monopine to be different sizes (length, width, or height) than as shown on the stamped approved plans.
37. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
38. The telecommunication provider shall ensure that the site remains in compliance, at all times, with a valid radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.
39. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
40. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.
41. If construction of the proposed project would occur during the migratory bird breeding season (generally defined as January 15-September 15), a preconstruction survey for active migratory bird nests shall be conducted within approximately 48 hours prior to the start of construction. The results of the survey will be submitted to the City in the form of a written report, and will determine if any active nests were found. If an active migratory bird nest is found, then all construction activities undertaken for the project shall comply with regulatory requirements of the federal Migratory Bird Treaty Act (MBTA) and California Fish and Game Codes §3503 and §3513.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at 619-446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 22, 2015 and [Approved Resolution Number].

Permit Type/PTS Approval No.: NDP NO. 1494521, NUP NO. 1494522, SDP NO. 1494523

Date of Approval: 7/22/2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Alex Hempton, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**LAURENCE A. & JEANETTE H.
BENNER**

Owner

By _____
LAURENCE A. BENNER

By _____
JEANETTE H. BENNER

VERIZON WIRELESS

Permittee

By _____
ANDRES MATZKIN
MANAGER, NETWORK

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: May 21, 2015

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No.: 24004571

PROJECT NAME/NUMBER: Verizon Gilman Court /Project No. 365466
COMMUNITY PLAN AREA: La Jolla
COUNCIL DISTRICT: 1
LOCATION: 7650 Gilman Court, La Jolla, CA 92037

PROJECT DESCRIPTION: NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) AND SITE DEVELOPMENT PERMIT (SDP) for modifications to an existing Wireless Communication Facility (WCF). The existing facility consists of a prefabricated equipment shelter within a chainlink fence enclosure, with 12 panel antennas mounted to pipes attached to the shelter. The proposed modifications include the following: remove the existing fence and barbwire and replace with vinyl-coated chainlink fences, gate, and vinyl slats; remove the existing antennas and pipe mounts; install 30 kilowatt (kW) standby generator with 210 gallon double-wall fuel tank; new, 30-foot-tall monopine with 12 panel antennas; a new transfer switch inside the equipment shelter; and installation of new electrical conduit. The project site is zoned La Jolla Shores Planned District Single Family (LJSPD-SF) and is within the La Jolla Community Plan area of Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer (Process 3).

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities) and 15303 (New Construction).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Staff.

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Sections 15301 and 15303. Section 15301 allows for the operation, repair, maintenance, permitting, leasing, licensing or minor alterations of existing public or private structures or facilities involving negligible or no expansion of use. Section 15303 allows for the construction and location of limited numbers of new, small facilities and the installation of small, new equipment and facilities including, but not limited to, accessory structures. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore these exemptions are applicable to the proposed project.

CITY CONTACT: Alex Hempton, Project Manager
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5349

ATTACHMENT 7

On May 21, 2015, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City of San Diego Planning Commission. If you have any questions about this determination, contact the Project Manager above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (by June 5, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



THE CITY OF SAN DIEGO
La Jolla Shores Planned District Advisory Board
 Meeting Minutes for April 21, 2015
 615 Prospect Street, Room 1
 La Jolla, California 92037

Trustee	Attendance	Trustee	Attendance
Dolores Donovan	Yes	Jane Potter	Yes
Nathaniel Fisher	Yes	Susan Starr	No
Dan Goese	No	Susanne Weissman	Yes

1. **Call to Order:** 10:20 am
2. **Approval of the Agenda**
Motion: Approve agenda as presented. 4/0/0
3. **Approval of the Minutes**
November Minutes Motion: Tabled
February Minutes Motion: Approve as presented 4/0/0
4. **Public Comment:** None
5. **Project Review**

INFORMATIONAL ITEM – NO ACTION

- A. Project: Evans Residence Addition & Remodel**
 8039 La Jolla Shores Drive APN: 346-371-0200

Presented by: Robert Davidson, (858) 456-8555, robert@ISarchitecture.com

Description: The project involves a whole house remodel and addition. The project will add approximately 1100 SF to the existing 1,932 SF house. The single story house will be enlarged and remodeled but remain a single story house. The house, built in 1952, has already undergone a single disciplinary review by City of San Diego Historic Staff where it was deemed to not meet local designation criteria as an individually significant resource (Project Number 414580)

Comments:

- Residence to remain single story but the sill plates and ceiling heights will be raised
- Solid courtyard wall in line with adjacent property
- Reduce south side yard setback from 8'-5" to 5'
- Unpermitted enclosed porch to be removed

- North side building envelope to be revised to remove bay window protrusions
- Art Studio to be added
- Master Bedroom to be added
- Approximate building height 18'
- Proposed clapboard siding in grey
- Proposed composite single roof
- Owner and/or applicant to communicate with the adjoining residents regarding the proposal prior to return to the LJSPDAB
- Project submittal to DSD in June/July. Applicant will return once first review cycle is complete.

Motion: None, information only

ACTION ITEM

B. Project: PTS 414456 Gergurich Addition & Remodel
8850 La Jolla Scenic North APN 344-182-1500

Presented by: Michelle Gergurich (owner) & Cindy Blair, Consultant 619-696-0330
Paw Lim, Architect 619-890-1688

Description: Combination Building Permit for proposed addition and remodel to an existing 2466 SF single story residence on a 7,998 lot. Work to include interior remodel, 228 SF addition (foyer & window pop-out), and 576 SF garage addition. Existing building was constructed in 1959. LJSPD-SF zone.

Comments:

- Addition of 228 SF Foyer + porch
- No change in setbacks
- New 2-car garage of 576 SF
- Stucco and stonework finish
- Clay tile roof
- Approximately 18' finished height of entryway.
- Broad neighbor support

Motion: Fisher/Potter Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council. 4/0/0

C. Project: PTS 365466 Verizon Gilman Court
7650 Gilman Court APN: 353-020-22

Presented by: Kerrigan Diehl, PLANCOM INC. (760)587-3003

Description: Neighborhood Use Permit (NUP), Neighborhood Development Permit (NDP), and Site Development Permit (SDP - ESL and PDO), Process 3, for a Wireless Communication Facility (WCF) consisting of the removal of existing roof-mounted

antennas and installation of a new 30-foot tall monopine supporting antennas and an existing equipment enclosure and new emergency generator structure renovations. Zone: LJSPD-SF. Total site area 2.83 acres, existing enclosure: 600 sq ft, proposed expansion: 260.75 sq ft for a total enclosure of 860.75 sq ft.

Comments:

- New 30' tall mono pine cellular antenna tree with 3-sections and 4-antenna.
- Equipment enclosure expansion for emergency backup and generator.
- Enclosure to be painted dark green. Antennas to be painted green and disguised with a covering of faux tree materials
- Two additional live pine trees to be added to flank and further disguise the cellular instillation.
- Vinyl slats to be added to the fencing
- Mono pine does not exceed the height of the ridge behind.

Motion: Potter/Donovan Approve Project in conformance with the LJSPD as adopted by the City Council. 4/0/0

D. Project: PTS 387418 “The Cottages at 8010”

8010 La Jolla Shores Drive APN: 346-365-1200; 346-365-1300

Presented by: Sasha Varone, 619-231-9905, svarone@golba.com

Description: Coastal Development Permit (CDP) and Tentative Map (TM). The project proposes to demolish an existing three unit apartment building with detached 5 car garage to construct six detached single family cottages with attached garages ranging in size from 1,577 SF to 1,683 SF on a 12,129 SF lot located in the LJSPDO MF-1 zone.

Comments:

- Parkway with three mature trees and driveway entrance to remain
- Six individual buildings “cottages”
- Additionally, the team considered a single multi-family building type and two 3-unit building options and opted for the six structures to provide a single family residential feel
- Cape cod style finishes
- Three stories over 2-car garages. The height and third story is a community character concern for the Trustees.
- Lot coverage is approximately 5,800 SF
- Total living space is 9,638 SF
- Each unit is 2-bedroom + first floor den
- 0.79 floor area ratio
- Condominium map and for-sale units

Motion: Potter/ Donovan Table project pending additional information. The applicant is directed to return with a height analysis of the immediate neighborhood and bulk and scale study. 4/0/0

- E. **Project:** PTS 389806 / Hagan Addition / Guest Quarters
2473 Avenida de la Playa, APN: 346-400-0300

Presented by: Brian Longmore, 858 603 9478, permitsolutions@hotmail.com

Description: Remodel/Addition of 2,247 SF existing 1 story SFD to add 1567 SF Living including Guest Quarters and Pool, on 23,950 SF lot.

Comments:

- 660 SF Guest Quarters plus several other residential additions total 1,567 SF
- Height 17'10"
- 20 % lot coverage

Applicant Concerns

- The presenter was concerned that the projects potential to be considered as a Major project and subject to a discretionary Site Development Permit was not known to the team. The SDP would be a significant cost and time delay for the project. City staff was asked to investigate the project.
 - Project 385367 Hagen Addition/Companion Unit was submitted 8/20/2014 but cancelled 9/22/2014 for financial reasons.
 - Project 389806 Hagen Addition/Guest Quarters was submitted 9/22/2014
 - Development Services Department Plan Review staff provided the following comments to the applicant team on 10/2/2014 (10 days after submittal):

Advisory Board Review Issue

1. San Diego Municipal Code (SDMC) Section 1510.0201(d) requires a Site Development Permit (SDP) for development within the La Jolla Shores Planned District. However, this Section allows for minor additions to be approved through a building permit without obtaining an SDP. City staff will approve through a building permit additions that do not increase floor area by over 10 percent.
2. This project proposes to increase floor area by approx. 54 percent. This proposal may still be minor in scope, but City staff would like input from the La Jolla Shores Advisory Board before City staff makes a final determination.
3. This project must be reviewed by the La Jolla Shores Advisory Board to determine if this project is consistent with the requirements of the Planned District, and to allow for input concerning whether or not the Advisory Board believes the addition to be minor in scope (SDMC 1510.0201(d)). Please contact Community Planner Karen Bucey of the Planning Department at (619) 533-6404 to be placed on a future agenda of the La Jolla Shores Advisory Board.

4. After the La Jolla Shores Advisory Board has reviewed the project, please contact this BDR-Planning reviewer for an appointment for a recheck. Please bring to the appointment a copy of the applicable meeting minutes and a set of plans.
5. If it is ultimately determined by City staff that this project is not minor, then an SDP will be required. Submittal guidelines for Development Permits and Approvals, including Site Development Permits, can be found on the City's web site at the following address: www.sandiego.gov/development-services/industry/codes.shtml#submanual

Motion: Potter/ Donovan Table project pending additional information. The applicant is directed to communicate with the neighbors and provide setback survey to demonstrate that the guest quarters near the rear and side property lines is appropriate. 4/0/0

Minutes taken by Karen Bucey, Senior Planner, City of San Diego



LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900
<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 7 August 2014

Attention: Alexander Hempton, PM, City of San Diego

Project: Verizon Gilman
7650 Gilman Court
PN: 365466

Motion: To accept the recommendation of the PRC Committee for: Verizon Gilman, that the findings can be made for a NUP and a SDP for a Wireless Communication Facility at 7650 Gilman Court based on the plans submitted to the Committee today which include notations on the plans that a) the building be painted dark green b) the chain link fence to be green-coated and in-filled and c) the monopine be backed by two real pines **Vote: 14-0-1**

Submitted by:

Joseph LaCava

7 August 2014

Joe LaCava, President
La Jolla CPA

Date



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other WCF - Telecom

Project Title

Project No. For City Use Only

VZ: "Gilman"

Project Address:

7650 Gilman Court, San Diego, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Laurence & Jeannette Benner

Owner Tenant/Lessee Redevelopment Agency

Street Address:

8109 La Jolla Scenic Drive North

City/State/Zip:

La Jolla, CA, 92037

Phone No:

619-239-0391

Fax No:

Signature:

Laurence A. Benner Date: 3/4 2014

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

ATTACHMENT 9

About Verizon Wireless

[About Verizon Wireless](#) [Our Company](#) [Our Technology](#) [Our Commitment](#)

We're the people who keep you connected, take your life mobile and deliver the level of convenience you depend on. All thanks to our powerful technology and the nation's largest and most reliable 4G LTE network.

[Our Story](#) [Awards](#) [Leadership](#) [Customer Satisfaction](#)

Viewing: [Executive Leadership](#) [Region Presidents](#)

Executive Leaders



David Small

Executive Vice President, Wireless Operations

[View Profile >](#)



Nancy Clark

Senior Vice President, Marketing and Sales Operations

[View Profile >](#)



Steve Smith

Senior Vice President, Business Development, Verizon Wireless



Nicola Palmer

Senior Vice President and Chief Network Officer, Verizon Wireless

[View Profile >](#)



Shankar Arumugavelu

Senior Vice President and Chief Information Officer, Verizon Wireless

[View Profile >](#)



ATTACHMENT 9

[View Profile >](#)

Torod B. Neptune

Vice President, Corporate Communications, Verizon Wireless

[View Profile >](#)

Area Presidents



Ken Dixon

President, Northeast Area, Verizon Wireless

[View Profile >](#)



Roger Tang

President, South Area, Verizon Wireless

[View Profile >](#)



Christine Baron

President, Midwest Area, Verizon Wireless

[View Profile >](#)



Greg Haller

President, West Area, Verizon Wireless

[View Profile >](#)

Customer Service



John Granby

Senior Vice President, National Customer Service, Verizon Wireless

[View Profile >](#)



Eileen M. Creeden

Vice President, National Customer Service Strategy, Verizon Wireless

[View Profile >](#)



ATTACHMENT 9

Lou Sigillo

Vice President, National Customer Service Operations, Verizon Wireless

[View Profile >](#)



Monica Hammond

Vice President, Business Service Centers & Government Support, Verizon Wireless

[View Profile >](#)



Marquett Smith

Vice President, Northeast Area Customer Service, Verizon Wireless

[View Profile >](#)



Joan T. Bowyer

Vice President, Midwest Area Customer Service, Verizon Wireless

[View Profile >](#)



Melanie Braidich

Vice President, West Area Customer Service, Verizon Wireless

[View Profile >](#)



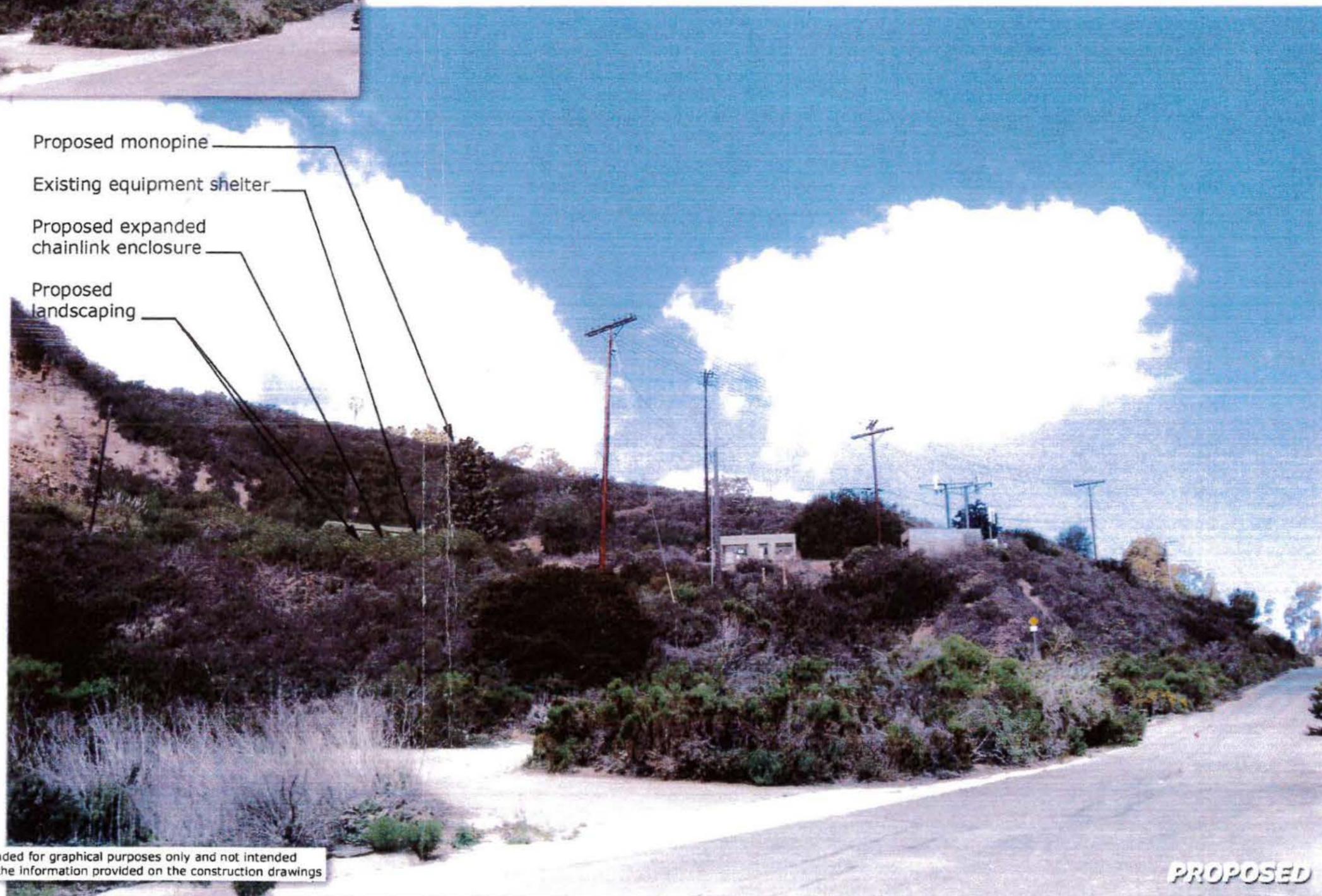
Charlie Falco

Vice President, South Area Customer Service, Verizon Wireless

[View Profile >](#)



**Gilman Generator
Renewal/AWS**
7650 Gilman Court
San Diego, CA 92037



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings



PHOTO STUDY & KEY MAP

PROPOSAL TO ESTABLISH AND OPERATE A
NEW DIGITAL PCS
COMMUNICATIONS FACILITY

Verizon Wireless
"Gilman"
7650 Gilman Court
San Diego, CA 92037

Prepared for:
City of San Diego
Development Services Department
1222 First Avenue
San Diego, CA 92101

Prepared by:

PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Kerrigan Diehl, Planning Consultant
(760) 587-3003

April 2, 2014



East Elevations





View South



View East



North Elevation



East Elevation View



Access Road and site looking southwest



Aerial View of Site

SITE JUSTIFICATION

Verizon "Gilman"
7650 Gilman Court
San Diego, CA 92037

PROJECT DESCRIPTION & SITE DESIGN

The project as proposed consists of a complete antenna redesign. Verizon is proposing to remove the existing whip and pipe mounted panel antennas currently installed above the equipment enclosure in favor of (12) panel antennas mounted to a new 30' stealth designed monopine. There are no proposed changes to the existing equipment enclosure beyond the removal of the current antenna support pipes however this application seeks to install a 30kw emergency back-up generator directly adjacent the equipment. The stealth monopine tree is positioned to the east of the equipment and generator locations and as such naturally will screen those elements from Interstate 5 views west.

PREFERENCE 2 LOCATION/PROCESS 2 DESIGN:

The project is a Preference 2 location the proposed facility is located on a residentially zoned property however the site is undeveloped with no residential use. A Process 2 – Neighborhood Use Permit is necessary in this case. The site is no higher than 30' so that we can comply with Prop D's coastal height overlay.

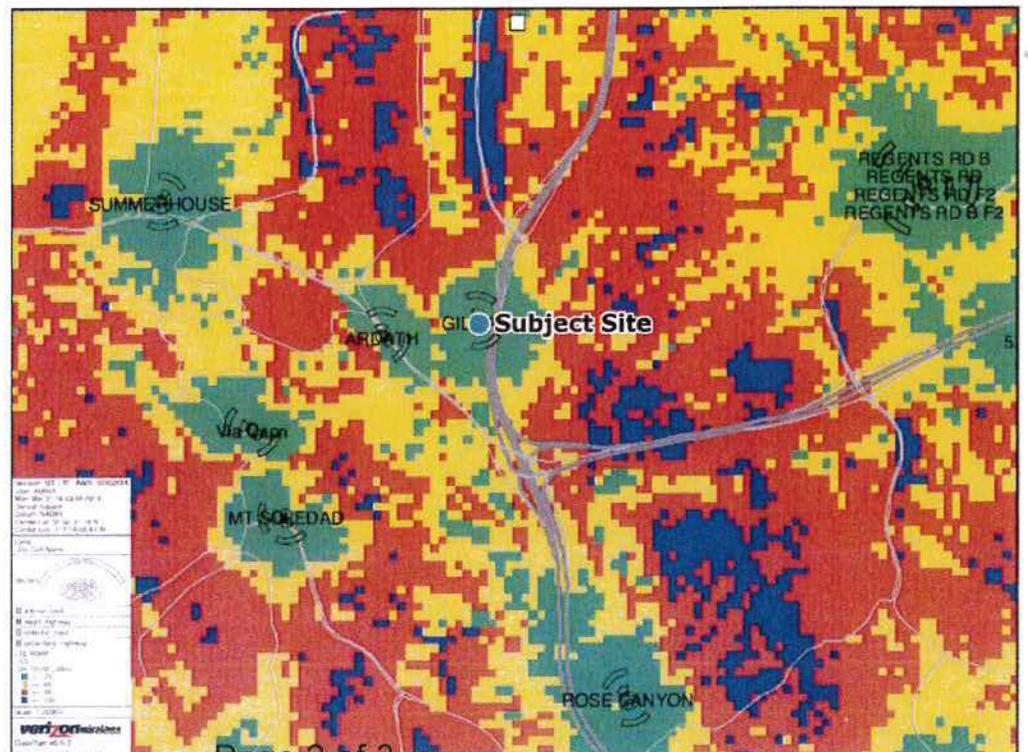
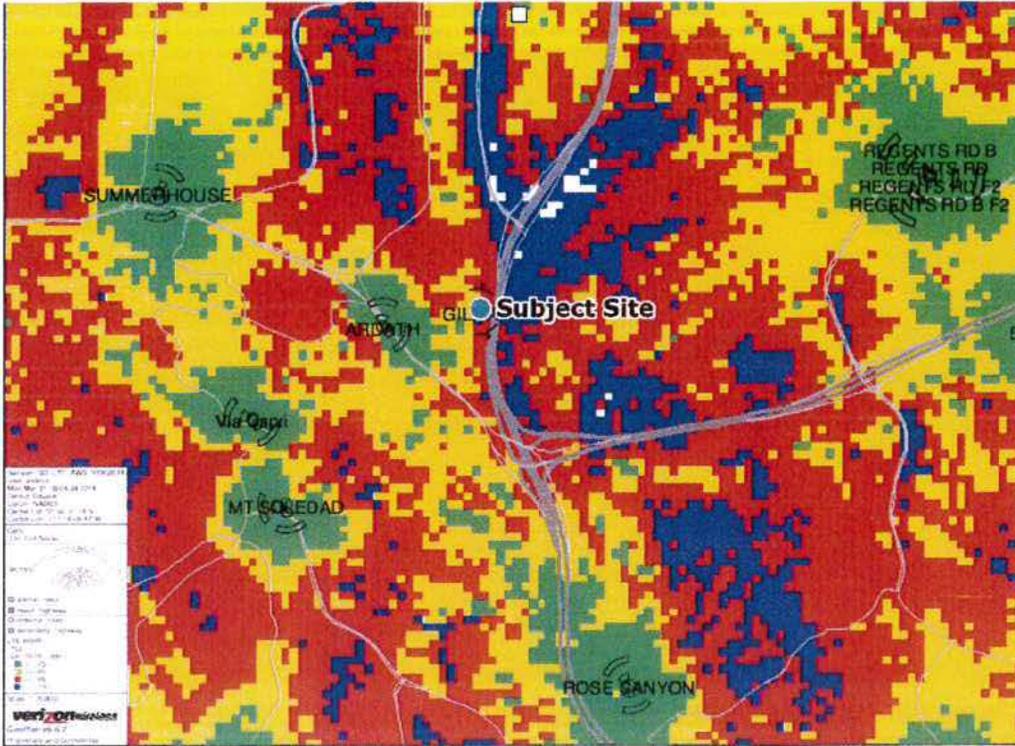
We believe that the facility as designed is consistent with all relevant regulations and is in line we recent redesigns permitted on site. Additionally the site will be well integrated from vantage points or surrounding properties and is proposed to remain on a site with a long established telecom use.

CO-LOCATION OF WIRELESS FACILITIES

Verizon is currently one of three wireless providers on site including T-Mobile and Sprint.



Existing coverage



Proposed coverage

Coverage Levels:

-  Excellent
-  Good/Variable
-  Poor

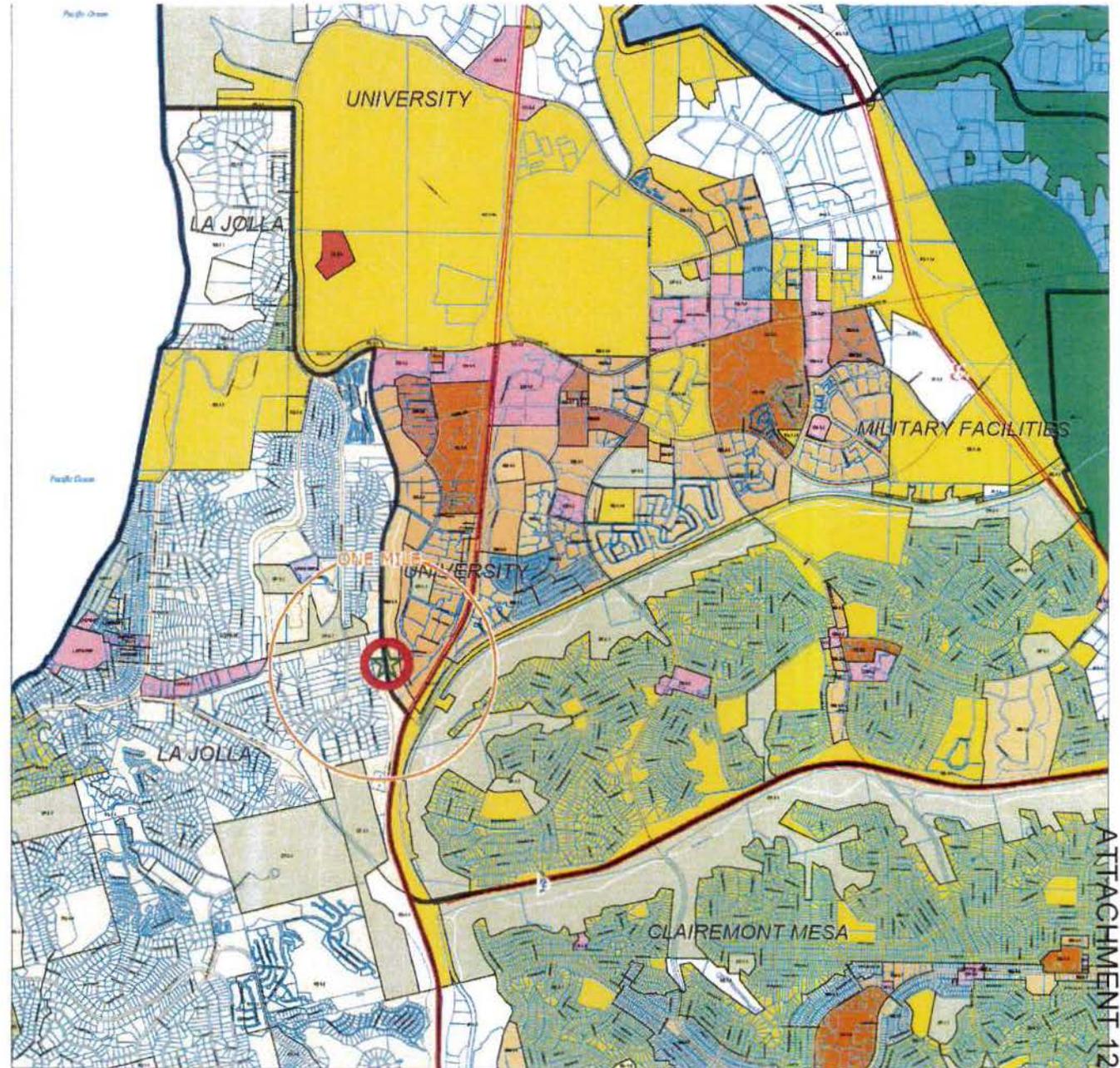
Gilman Generator
Renewal/AWS
7650 Gilman Court
San Diego, CA 92037



Legend

- Search Ring
- Selected Site
- Existing sites within 1 mile radius:
NO SITES WITHIN 1 MILE
- Alternative Sites:
NO ALTERNATIVE SITES

Page 3 of 3



Legend

City of San Diego Boundary
Community Plan Areas
Parcels

Zoning

ZONE_NAME	Color
AM-1-1	Light Blue
DD-1-3	Light Blue
DN-1-2	Light Blue
DD-1-2	Light Blue
DR-1-1	Light Blue
DA-1-1	Light Blue
IF-1-1	Light Blue
IF-2-1	Light Blue
LSPD-OC	Light Blue
LSPD-MP1	Light Blue
LSPD-MP2	Light Blue
LSPD-PPF	Light Blue
LSPD-SF	Light Blue
LSPD-V	Light Blue
LSPD-YMCA	Light Blue
DR-1-1	Light Blue
DR-2-1	Light Blue
RM-1-1	Light Blue
RM-1-2	Light Blue
RM-2-8	Light Blue
RM-3-7	Light Blue
RM-3-8	Light Blue
RM-4-13	Light Blue
RS-1-1	Light Blue
RS-1-2	Light Blue
RS-1-3	Light Blue
RS-1-4	Light Blue
RS-1-8	Light Blue
RS-1-7	Light Blue

SanGIS Services Bureau
11/23/2006 10:58 AM
Map Date: 11/23/2006
Map Scale: 800
Map Author: SanGIS Services Bureau
Map Title: City of San Diego Zoning Map

City of San Diego
Development Services Department
11/23/2006



City of San Diego
Development Services Department



GRID TILE: 27
GRID SCALE: 800
DATE: 11/23/2006 & 31

ATTACHMENT 12



THE CITY OF SAN DIEGO

DATE OF NOTICE: July 8, 2015

NOTICE OF PUBLIC HEARING HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING:	July 22, 2015
TIME OF HEARING:	8:30 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	NEIGHBORHOOD USE PERMIT, NEIGHBORHOOD DEVELOPMENT PERMIT, AND SITE DEVELOPMENT PERMIT, PROCESS THREE
PROJECT NO:	<u>365466</u>
PROJECT NAME:	<u>VERIZON – GILMAN COURT</u>
APPLICANT:	KERRIGAN DIEHL, PLANCOM, INC., AGENTS REPRESENTING VERIZON WIRELESS
COMMUNITY PLAN AREA:	LA JOLLA
COUNCIL DISTRICT:	District 1
CITY PROJECT MANAGER:	Alex Hempton, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5349 / ahempton@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) consisting of antennas mounted to a new 30-foot tall monopine (faux pine) tree with equipment and an emergency power generator located adjacent to the tree. The project is located at 7650 Gilman Court, west of Interstate 5.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 business days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

This project was determined to be categorically exempt from the California Environmental Quality Act on 5/21/2015 and the opportunity to appeal that determination ended 6/5/2015.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five business days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004571

Revised 11-17-14 wjz

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 305 CARLSBAD VILLAGE DRIVE SUITE 02
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR
verizonwireless

15505 SAND CANYON ROAD
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
**GILMAN
 GENERATOR /
 RENEWAL / AWS / PCS**
 7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

DRAWING DATES

12/06/13	PRELIM ZD REVIEW (rew)
02/17/14	FINAL ZD (rew)
02/21/14	ZD REV 1-ADD ZONING INFO (rew)
05/02/14	ZD REV 2-PLING COMMENTS (rew)
05/03/14	ZD REV 3-ADD LANDSCAPE (rew)
06/05/14	ZD REV 4-ADD TOPO & ESL (rew)
04/13/15	ZD REV 5-GENERATOR (oo)

SHEET TITLE
**TITLE SHEET
 &
 PROJECT DATA**

PROJECTS\verizon\12236zd

T-1



GILMAN
GENERATOR / RENEWAL / AWS / PCS
7650 GILMAN COURT
SAN DIEGO, CA 92037
MTX - 48

VICINITY MAP

THOMAS GUIDE PAGE 122B, A-6

ADDRESS:
 7650 GILMAN COURT
 SAN DIEGO, CA 92037

COORDINATES (NAD 83)
 LATITUDE: 32° 50' 42.89" NORTH
 LONGITUDE: 117° 14' 13.85" WEST

CONSULTANT TEAM

ARCHITECT:
 BOOTH & SUAREZ ARCHITECTURE INC.
 325 CARLSBAD VILLAGE DRIVE, SUITE 02
 CARLSBAD, CA 92008
 (760) 434-8474
 (760) 434-8596 (FAX)

LEASING:
 PLANCOM, INC.
 302 STATE PLACE, 2ND FLOOR
 ESCONDIDO, CA 92029
 BRENT HELMING
 (760) 587-3003

PLANNING:
 PLANCOM, INC.
 302 STATE PLACE, 2ND FLOOR
 ESCONDIDO, CA 92029
 KERRIGAN DIEHL
 (760) 587-3003

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE, SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 CONTACT: BRENT HELMING
 PHONE: (760) 533-6065

OWNER: LAURENCE & JEANNETTE BENNER
 8109 LA JOLLA SCENIC DRIVE NORTH
 LA JOLLA, CA 92037
 CONTACT: LAURENCE BENNER
 PHONE: (619) 239-0391

JURISDICTION: CITY OF SAN DIEGO

PROJECT DESCRIPTION:
 EXISTING VERIZON WIRELESS TELECOMMUNICATIONS FACILITY CONSISTING OF A PREFABRICATED EQUIPMENT SHELTER INSIDE A CHAINLINK FENCE ENCLOSURE & (12) PANEL ANTENNAS MOUNTED TO PIPES ATTACHED TO THE EXISTING SHELTER.

THE FOLLOWING MODIFICATIONS ARE PROPOSED:

- INSTALLATION OF A 30KW STANDBY GENERATOR WITH A NEW 210 GALLON SUBBASE DOUBLE WALL FUEL TANK INSIDE A NEW 6'-0" HIGH CHAINLINK FENCE WITH BARBED WIRE EXTENSION OF THE EXISTING ENCLOSURE
- INSTALLATION OF A NEW AUTOMATIC TRANSFER SWITCH INSIDE THE EXISTING EQUIPMENT SHELTER
- INSTALLATION OF A NEW ELECTRICAL CONDUIT FROM THE NEW GENERATOR ENCLOSURE TO THE EXISTING EQUIPMENT AREA
- INSTALLATION OF A NEW 30'-0" HIGH MONOPINE WITH TWELVE (12) PANEL ANTENNAS, FOUR (4) RRUS UNITS PER SECTOR (TOTAL OF 12) & TWO (2) RAYCAP SURGE DEMARCATION JUNCTION BOXES INSIDE AN EXTENSION OF THE EXISTING ENCLOSURE

LEGAL DESCRIPTION:
 PARCEL 1:
 ALL THAT PART OF THAT PORTION OF PUEBLO LOT 1267, IN THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 AND IS KNOWN AS MISCELLANEOUS MAP NO. 36 (FOR MORE INFORMATION SEE SHEET C-1)

PROJECT ADDRESS: 7650 GILMAN COURT
 SAN DIEGO, CA 92037

ASSESSORS PARCEL NUMBER: 353-020-22

EXISTING ZONING: LJSPO-SF

TOTAL SITE AREA: 2.83 ACRES

EXISTING ENCLOSURE AREA: 600.00 SQ. FT.
PROPOSED EXPANSION AREA: 280.75 SQ. FT.
TOTAL ENCLOSURE AREA: 880.75 SQ. FT.

EXISTING OCCUPANCY: B

TYPE OF CONSTRUCTION: V-B

ORIGINAL PERMIT NUMBER: 91-0302-52

NOTE:
 THERE IS ONE EXISTING TELECOMMUNICATIONS FACILITY ON SITE. (VERIZON)

SHEET SCHEDULE

T-1	TITLE SHEET & PROJECT DATA
T-2	STEEP HILLSIDE MAP
A-0	SITE PLAN
A-1	EQUIPMENT AREA PLAN
A-1.1	DECORATIVE SCREENING TRELLIS
A-2	EXTERIOR ELEVATIONS
A-3	EXTERIOR ELEVATIONS
A-4	ANTENNA PLAN & MONOPINE ELEVATION
A-5	GENERATOR CUT SHEET
A-6	DETAILS
L-1	CONCEPT LANDSCAPE PLAN
C-1	TOPOGRAPHIC SURVEY
C-2	TOPOGRAPHIC SURVEY

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2007 EDITION
 CALIFORNIA PLUMBING CODE, 2013 EDITION
 CALIFORNIA MECHANICAL CODE, 2013 EDITION
 CALIFORNIA ELECTRICAL CODE, 2007 EDITION
 CALIFORNIA FIRE CODE, 2013 EDITION
 CALIFORNIA ENERGY CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

Booth & Suarez
 ARCHITECTURE INCORPORATED
 375 CARISBRO VILLAGE DRIVE SUITE 09
 CARISBRO, CA 92008 (760) 434-8474



PREPARED FOR



15505 SAND CANYON ROAD
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**GILMAN
 GENERATOR /
 RENEWAL / AWS / PCS**

7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

DRAWING DATES

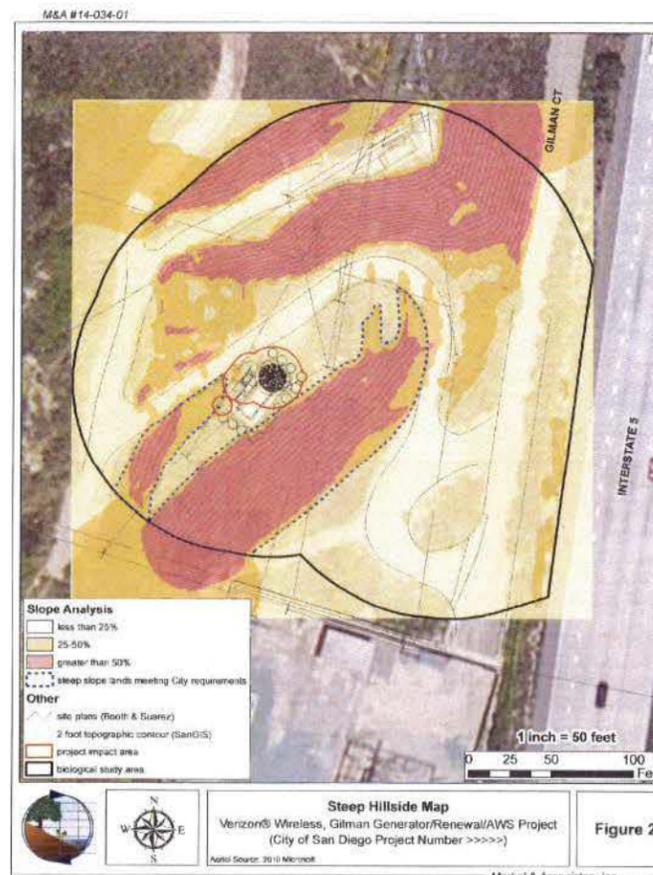
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06/05/14	ZD REV 4-ADD TOPO & ESL (rew)
04/13/15	ZD REV 5-GENERATOR (oc)

SHEET TITLE

**STEEP HILLSIDE
 MAP**

PROJECTS\verizon\12236zd

T-2





15505 SAND CANYON ROAD
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
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PROJECT NAME
GILMAN GENERATOR / RENEWAL / AWS / PCS
 7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

DRAWING DATES

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04/13/15	ZD REV 5-GENERATOR (oo)

SHEET TITLE
SITE PLAN

PROJECTS\verizon\12236zd

A-0

Lessor's Certificate
 Standard Wireless Facility Project
 for Post-construction BMP's

I/ we the undersigned, as owner of a portion of the property described as
7650 GILMAN COURT, SAN DIEGO, CA 92037
 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Storm Control" BMP's.

I certify in the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

Sediments
 Nutrients
 Trash & Debris
 Oxygen Demanding Substances
 Oil & Grease
 Pesticides & Herbicides
 Fuel/Oils

I/We will incorporate the following into the site design:

- Minimize pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Capture natural runoff
- Use natural drainage systems as opposed to flood control or underground drainage systems
- Grade roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shut-off devices and flow reducers as needed.

I/We will maintain the above Standard Post-construction BMP's for the duration of the lease.

Lessor: Dwight Woods Company Name: Verizon Wireless
 Lessor: Dwight Woods Date: 1-9-2008

**STORM WATER QUALITY NOTES
 CONSTRUCTION BMP'S**

NOTES 1-7 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

1. THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.
2. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
3. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
4. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.
5. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
6. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
7. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

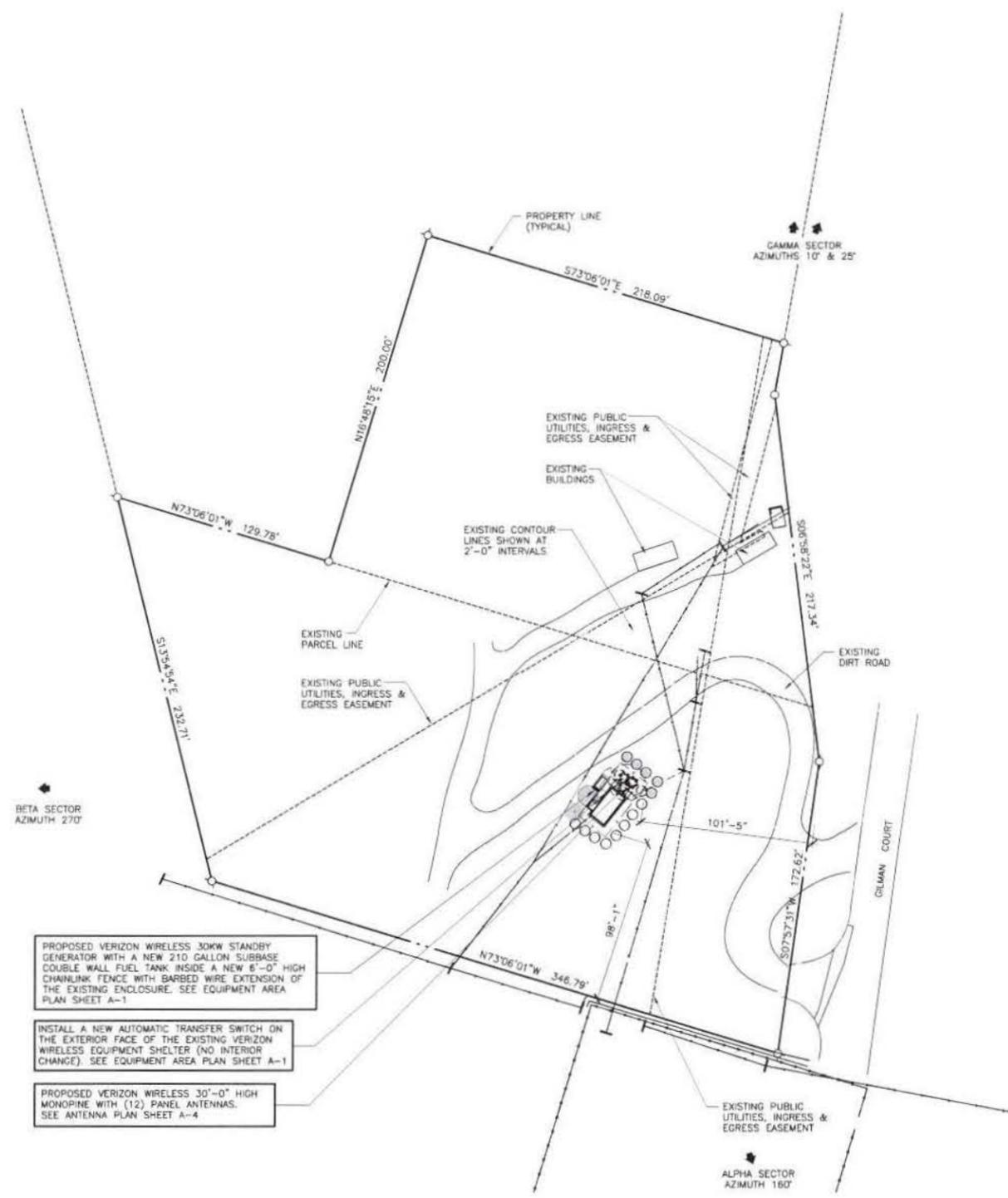
CITY ENGINEERING NOTES:

1. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT
2. THIS PROJECT PROPOSED NO WORK IN THE PUBLIC RIGHT-OF-WAY
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER

GRADING & EXCAVATION DATA:

CUT:	
GENERATOR PAD:	2.0 CU. YDS.
MONOTREE FOOTING:	21.0 CU. YDS.
TRENCHING:	
UTILITY:	1.3 CU. YDS.
CABLE:	1.8 CU. YDS.
TOTAL:	26.1 CU. YDS.
FILL:	
GENERATOR PAD:	0.0 CU. YDS.
TRENCH:	2.8 CU. YDS.
TOTAL:	2.8 CU. YDS.
EXPORT:	23.3 CU. YDS.

NOTE: (SOIL SHALL BE EVENLY SPREAD ON SITE OR DELIVERED TO COUNTY APPROVED LOCATION).



PROPOSED VERIZON WIRELESS 30KW STANDBY GENERATOR WITH A NEW 210 GALLON SUBBASE DOUBLE WALL FUEL TANK INSIDE A NEW 6'-0" HIGH CHAINLINK FENCE WITH BARBED WIRE EXTENSION OF THE EXISTING ENCLOSURE. SEE EQUIPMENT AREA PLAN SHEET A-1

INSTALL A NEW AUTOMATIC TRANSFER SWITCH ON THE EXTERIOR FACE OF THE EXISTING VERIZON WIRELESS EQUIPMENT SHELTER (NO INTERIOR CHANGE). SEE EQUIPMENT AREA PLAN SHEET A-1

PROPOSED VERIZON WIRELESS 30'-0" HIGH MONOPINE WITH (12) PANEL ANTENNAS. SEE ANTENNA PLAN SHEET A-4

VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER FREQUENCIES LEVELS:

AWS EQUIPMENT:
 TX FREQUENCY: 2115-2130 MHZ
 RX FREQUENCY: 1715-1730 MHZ

LTE EQUIPMENT:
 TX FREQUENCY: 776-787 MHZ
 RX FREQUENCY: 746-757 MHZ

PCS EQUIPMENT:
 TX FREQUENCY: 1965-1970 MHZ
 RX FREQUENCY: 1885-1890 MHZ

CDMA EQUIPMENT:
 TX FREQUENCY: 880-894 MHZ
 RX FREQUENCY: 835-849 MHZ

EASEMENTS:
 EASEMENTS SHOWN REFLECTS PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL EASEMENT INFORMATION. (NON-PLOTTED EASEMENTS). EASEMENT WIDTHS ARE NOT DEFINED IN THE TITLE REPORT.

SITE PLAN
 SCALE: 1" = 40'-0"



PREPARED FOR



15505 SAND CANYON ROAD
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
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EL/UIT	DATE

PROJECT NAME

**GILMAN
 GENERATOR /
 RENEWAL / AWS / PCS**

7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

DRAWING DATES

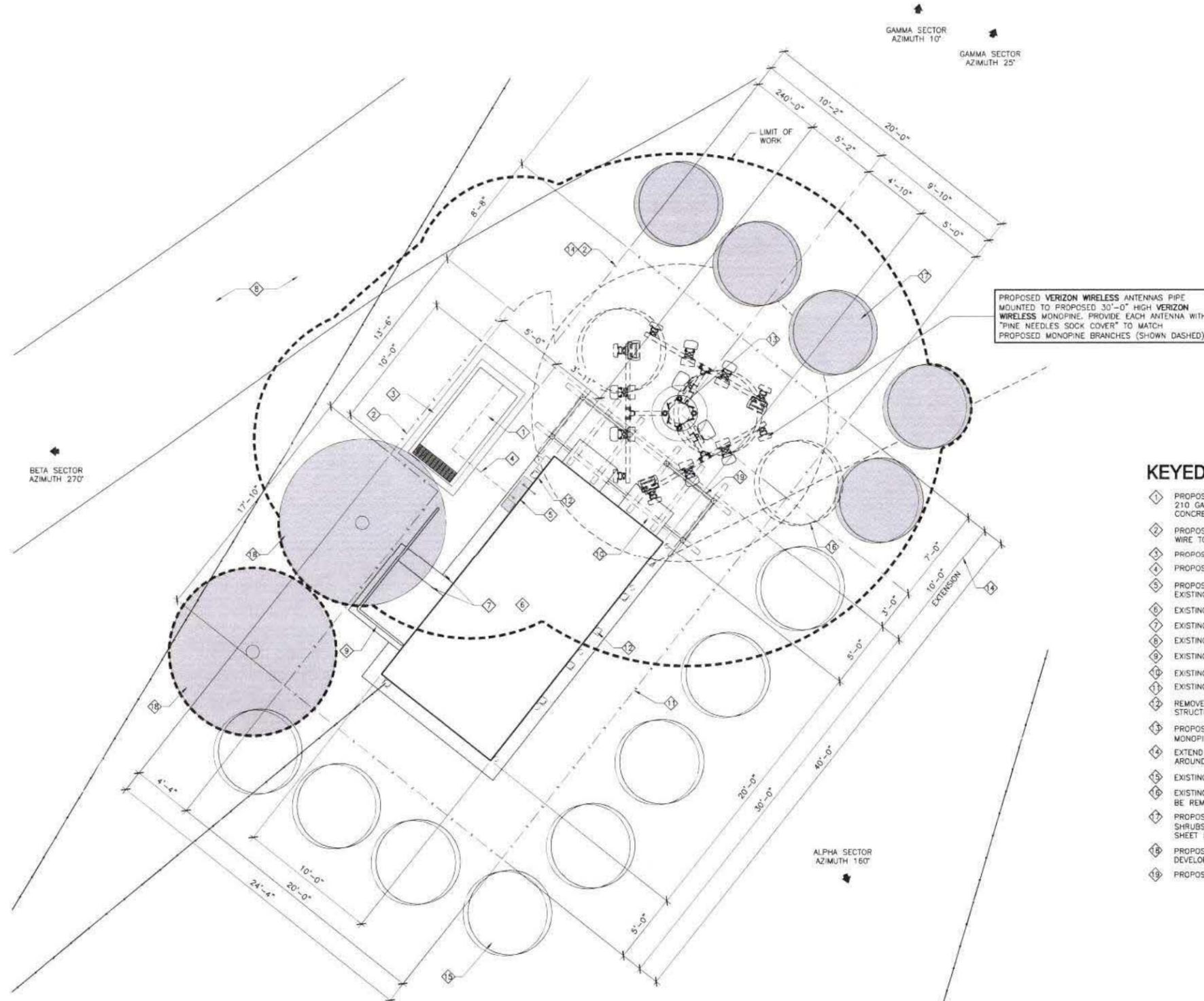
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04/13/15	ZD REV 5-GENERATOR (oo)

SHEET TITLE

EQUIPMENT AREA PLAN

PROJECTS\verizon\12236zd

A-1



PROPOSED VERIZON WIRELESS ANTENNAS PIPE MOUNTED TO PROPOSED 30'-0" HIGH VERIZON WIRELESS MONOPINE. PROVIDE EACH ANTENNA WITH "FINE NEEDLES SOCK COVER" TO MATCH PROPOSED MONOPINE BRANCHES (SHOWN DASHED)

KEYED NOTES:

- 1 PROPOSED VERIZON WIRELESS 30kW KOHLER GENERATOR WITH A 210 GALLON FUEL TANK ON A NEW POURED-IN-PLACE CONCRETE PAD WITH CONCRETE CONTAINMENT CURB
- 2 PROPOSED 6'-0" HIGH CHAINLINK FENCE & GATE WITH BARBED WIRE TO MATCH EXISTING
- 3 PROPOSED 10'-0" x 5'-0" CONCRETE PAD
- 4 PROPOSED ELECTRICAL CONDUIT IN TRENCH
- 5 PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO EXISTING SHELTER WALL
- 6 EXISTING VERIZON WIRELESS EQUIPMENT SHELTER
- 7 EXISTING CONCRETE LANDING & STAIRS
- 8 EXISTING DIRT ROAD
- 9 EXISTING METAL GUARDRAIL
- 10 EXISTING MECHANICAL UNIT (TYPICAL OF 2)
- 11 EXISTING CHAINLINK FENCE & GATE
- 12 REMOVE EXISTING STEEL ANTENNA SUPPORT STRUCTURE & OMNI ANTENNAS
- 13 PROPOSED VERIZON WIRELESS 30'-0" HIGH MONOPINE WITH (12) PANEL ANTENNAS
- 14 EXTEND EXISTING CHAINLINK FENCE COMPOUND AROUND PROPOSED MONOPINE
- 15 EXISTING NATIVE/NATURALIZED VEGETATION
- 16 EXISTING LANDSCAPE SCREENING SHRUBS TO BE REMOVED (SHOWN DASHED)
- 17 PROPOSED OLEANDER SCREENING SHRUBS TO MATCH EXISTING SHRUBS (TYPICAL OF 5). SEE LANDSCAPE DEVELOPMENT PLAN SHEET L-1
- 18 PROPOSED PINE TREE (TYPICAL OF 2). SEE LANDSCAPE DEVELOPMENT PLAN SHEET L-1
- 19 PROPOSED DECORATIVE SCREENING TRELLIS

EQUIPMENT AREA PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
- FUEL-FIRED APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH CFC 603
 - NO NEW BATTERIES ARE TO BE ADDED AS PART OF THIS PROJECT



PREPARED FOR



15505 SAND CANYON ROAD
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
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PROJECT NAME

**GILMAN
 GENERATOR /
 RENEWAL / AWS / PCS**

7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

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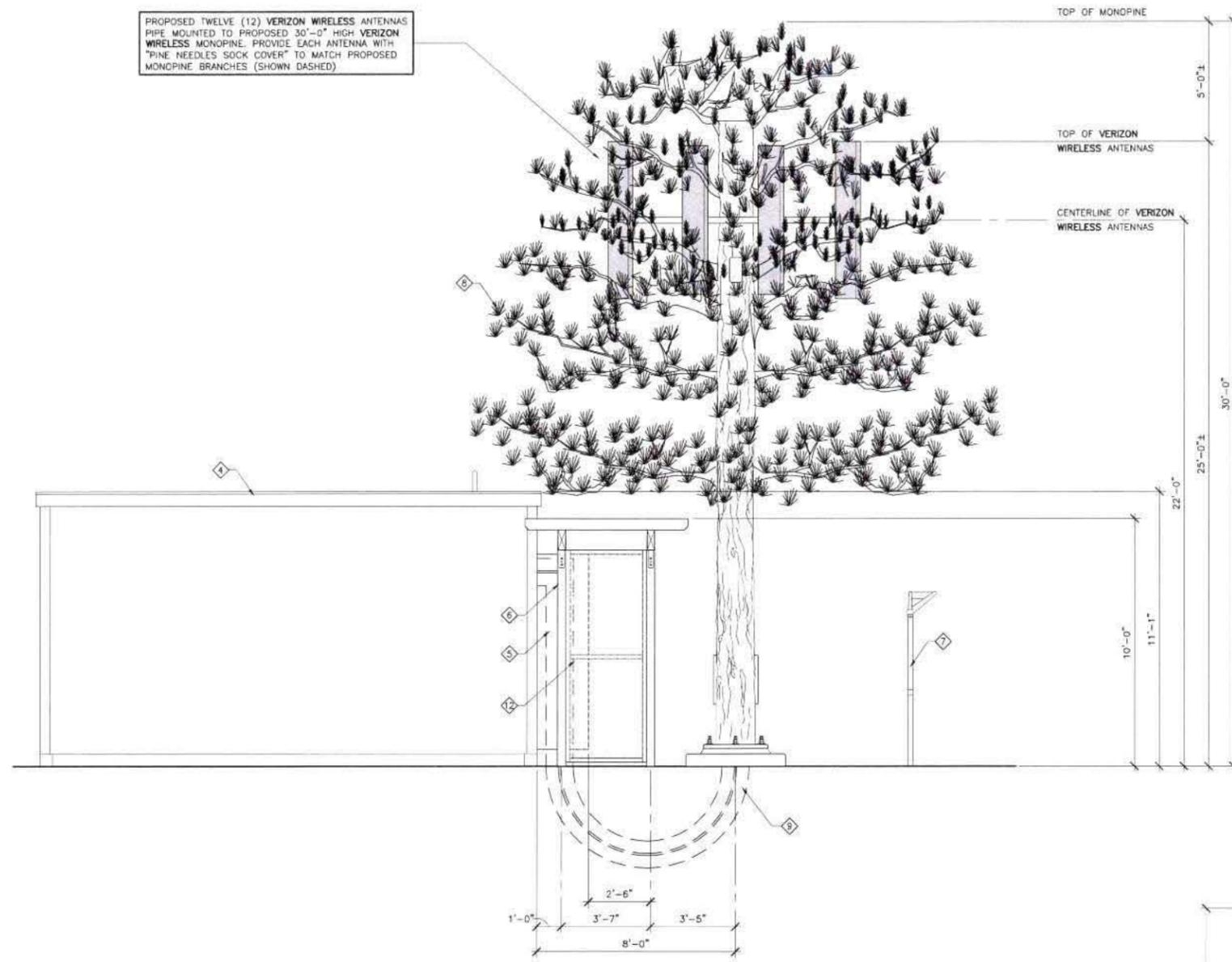
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04/13/15	ZD REV 5-GENERATOR (oc)

SHEET TITLE

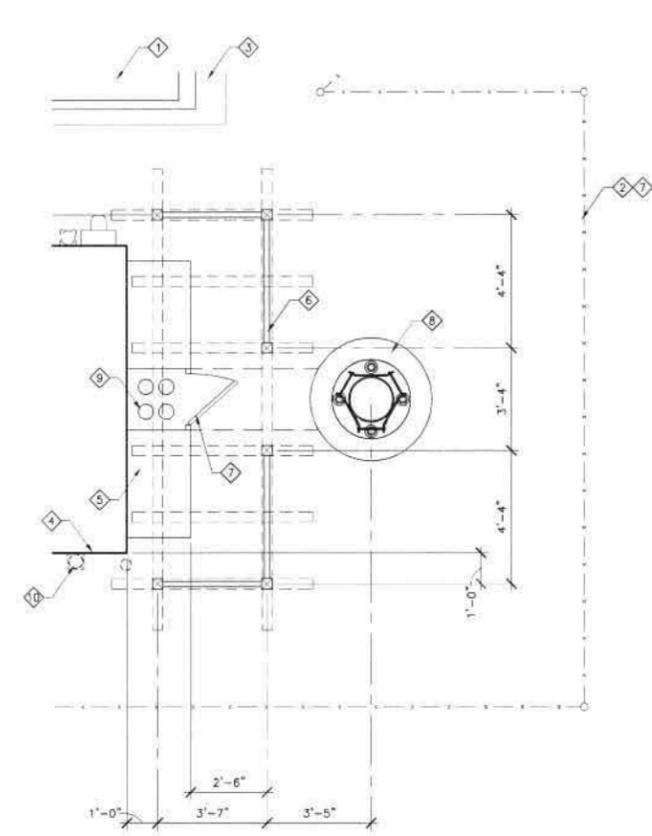
**DECORATIVE
 SCREENING TRELLIS**

PROJECTS\verizon\122362d

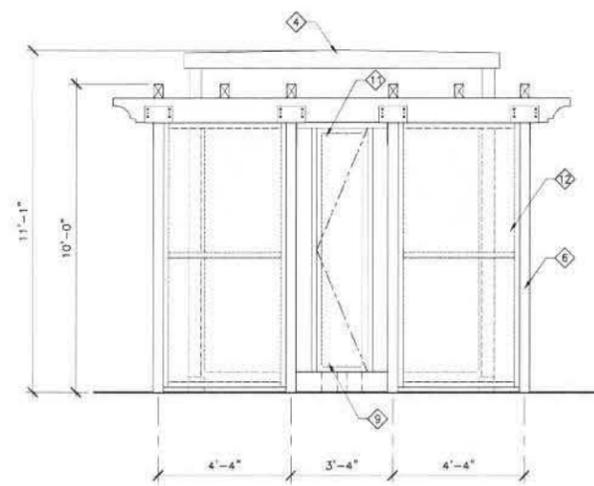
A-1.1



EAST ELEVATION
 SCALE: 3/8" = 1'-0"



PLAN
 SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"

KEYED NOTES:

- 1 PROPOSED VERIZON WIRELESS 30kW KOHLER GENERATOR WITH A 210 GALLON FUEL TANK ON A NEW POURED-IN-PLACE CONCRETE PAD WITH CONCRETE CONTAINMENT CURB
- 2 PROPOSED 6'-0" HIGH CHAINLINK FENCE & GATE WITH BARBED WIRE TO MATCH EXISTING
- 3 PROPOSED 10'-0" x 5'-0" CONCRETE PAD
- 4 EXISTING VERIZON WIRELESS EQUIPMENT SHELTER
- 5 EXISTING WALL HANG MECHANICAL UNIT (TYPICAL OF 2)
- 6 PROPOSED DECORATIVE WOOD SCREEN & TRELLIS
- 7 EXTEND EXISTING CHAINLINK FENCE COMPOUND AROUND PROPOSED MONOPINE
- 8 PROPOSED VERIZON WIRELESS 30'-0" HIGH MONOPINE WITH (12) PANEL ANTENNAS
- 9 PROPOSED (4) 6" SCHEDULE 40 PVC CONDUITS FOR CABLE
- 10 REMOVE EXISTING STEEL ANTENNA SUPPORT STRUCTURE & OMNI ANTENNAS
- 11 PROPOSED DECORATIVE ACCESS PANEL WITH VENTILATION SCREEN
- 12 REMOVABLE PANELS TO SERVICE MECHANICAL

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE SUITE 02
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



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APPROVALS

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 RENEWAL / AWS / PCS**

7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

DRAWING DATES

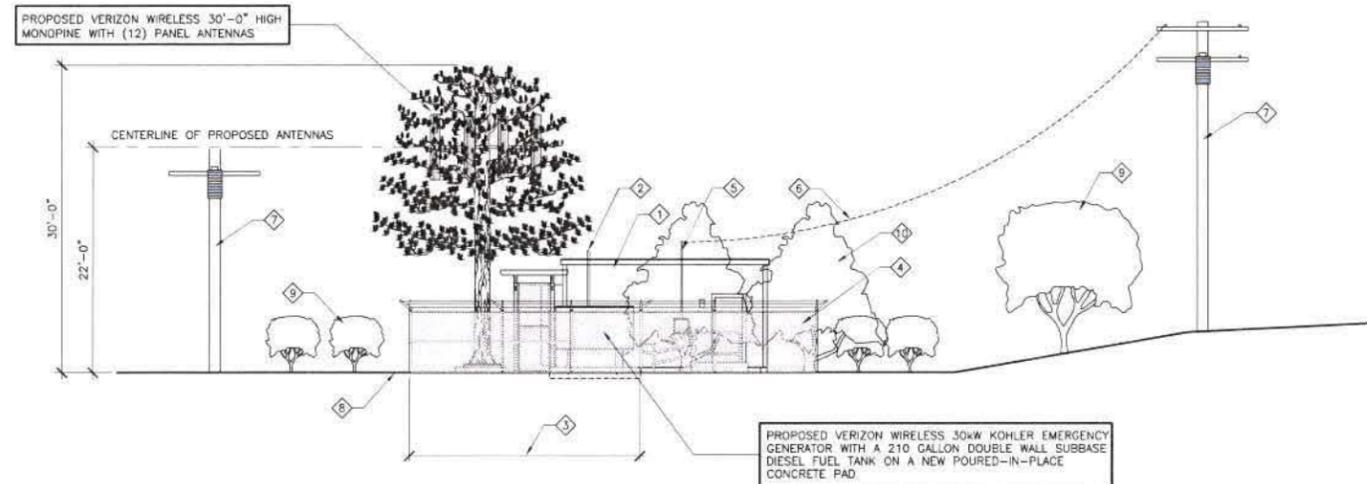
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02/17/14	FINAL ZD (rew)
02/21/14	ZD REV 1-ADD ZONING INFO (rew)
05/02/14	ZD REV 2-PLING COMMENTS (rew)
05/03/14	ZD REV 3-ADD LANDSCAPE (rew)
06/05/14	ZD REV 4-ADD TOPO & ESL (rew)
04/13/15	ZD REV 5-GENERATOR (ao)

SHEET TITLE

EXTERIOR ELEVATIONS

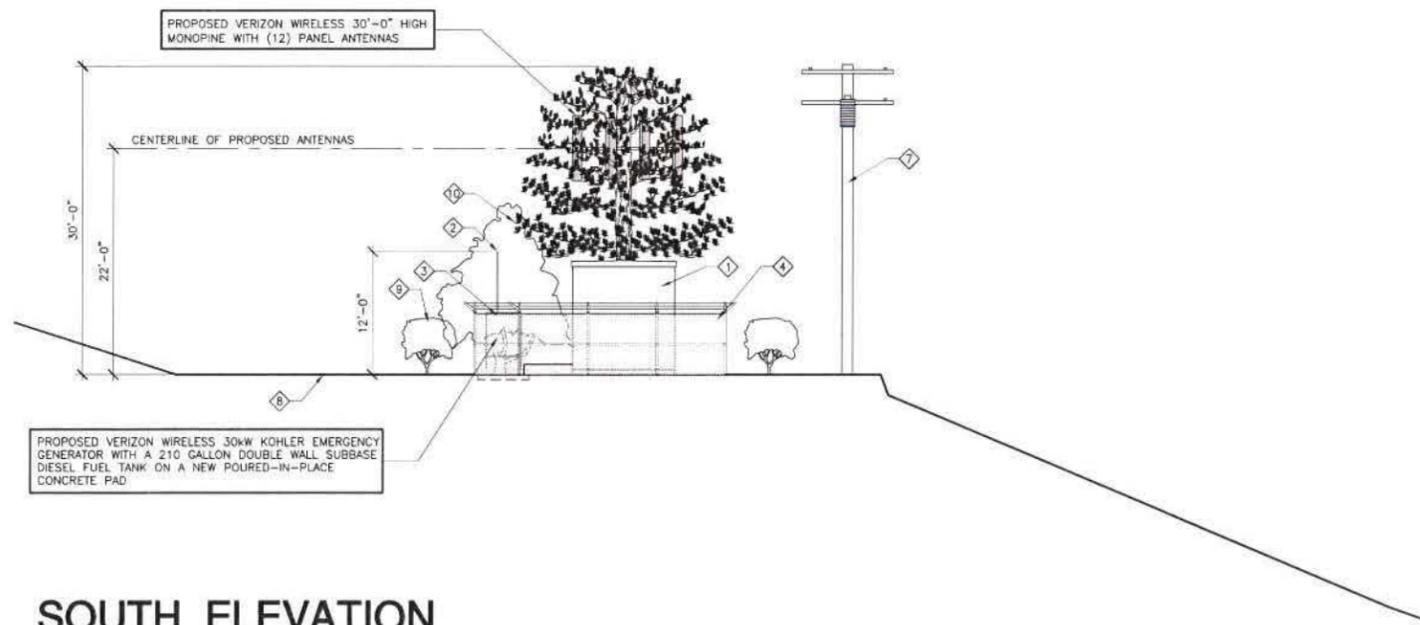
PROJECTS\verizon\12236zd

A-2



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

KEYED NOTES:

- 1 EXISTING VERIZON WIRELESS PREFABRICATED EQUIPMENT SHELTER WITH STUCCO FINISH
- 2 PROPOSED FUEL TANK VENT PIPE IF REQUIRED BY CALIFORNIA FIRE CODE
- 3 PROPOSED 6'-0" HIGH CHAINLINK FENCE WITH BARBED WIRE TO MATCH EXISTING FENCE
- 4 EXISTING 6'-0" HIGH CHAINLINK FENCE WITH BARBED WIRE
- 5 EXISTING WEATHERHEAD
- 6 EXISTING OVERHEAD ELECTRICAL SERVICE DROP
- 7 EXISTING UTILITY POLE
- 8 EXISTING GRADE
- 9 EXISTING LANDSCAPING
- 10 PROPOSED LIVE PINE TREE (TYPICAL OF 2)

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 375 CARLSBAD VILLAGE DRIVE SUITE 02
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



15505 SAND CANYON ROAD
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**GILMAN
 GENERATOR /
 RENEWAL / AWS / PCS**

7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

DRAWING DATES

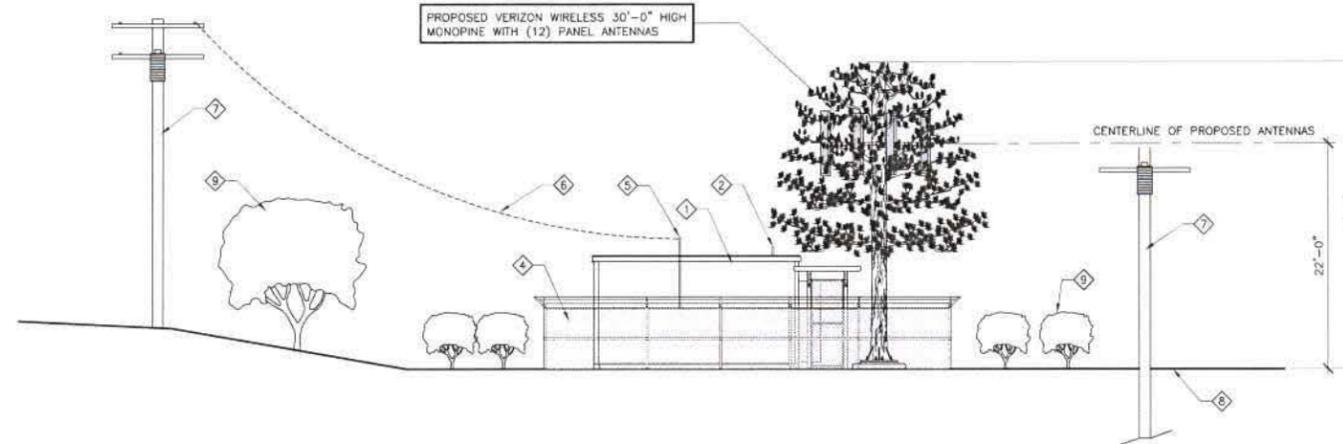
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02/17/14	FINAL 2D (rew)
02/21/14	ZD REV 1-ADD ZONING INFO (rew)
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06/05/14	ZD REV 4-ADD TOPO & ESL (rew)
04/13/15	ZD REV 5-GENERATOR (ao)

SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\verizon\12236zd

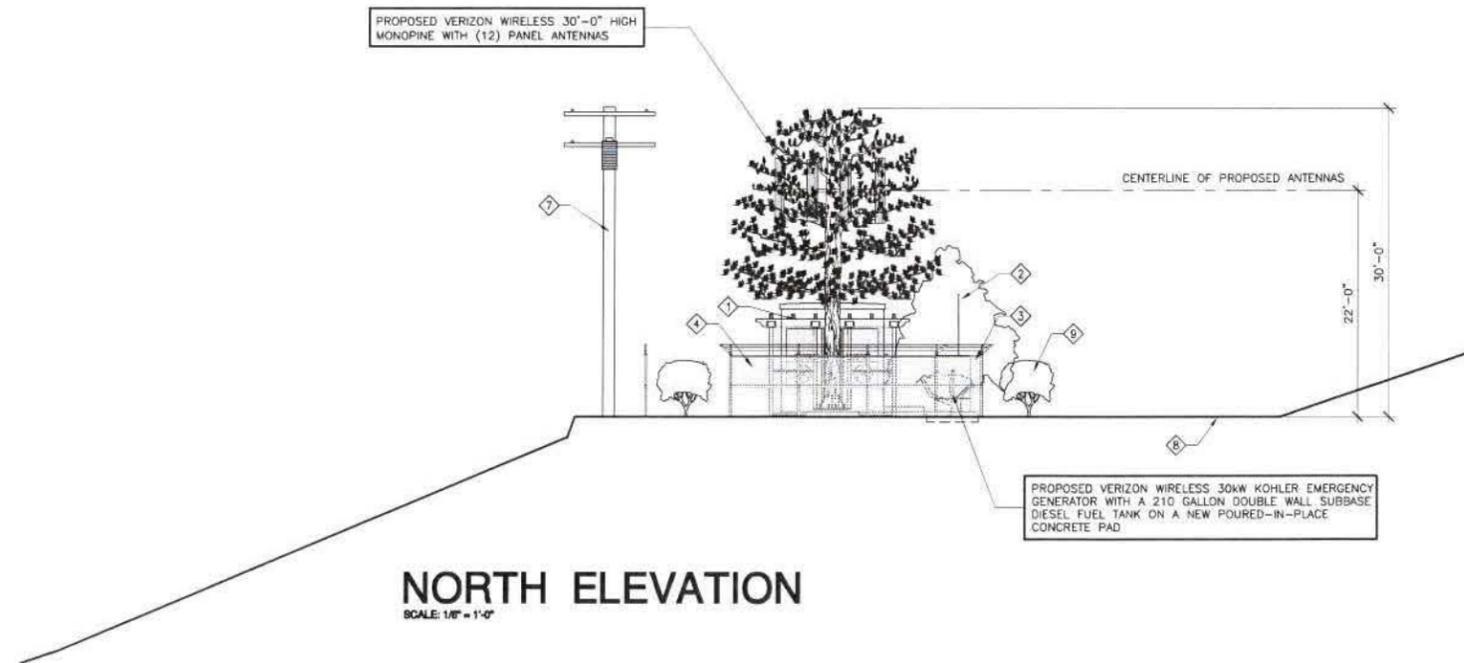
A-3



EAST ELEVATION
 SCALE: 1/8" = 1'-0"

KEYED NOTES:

- 1 EXISTING VERIZON WIRELESS PREFABRICATED EQUIPMENT SHELTER WITH STUCCO FINISH
- 2 PROPOSED FUEL TANK VENT PIPE IF REQUIRED BY CALIFORNIA FIRE CODE
- 3 PROPOSED 6'-0" HIGH CHAINLINK FENCE WITH BARBED WIRE TO MATCH EXISTING FENCE
- 4 EXISTING 6'-0" HIGH CHAINLINK FENCE WITH BARBED WIRE
- 5 EXISTING WEATHERHEAD
- 6 EXISTING OVERHEAD ELECTRICAL SERVICE DROP
- 7 EXISTING UTILITY POLE
- 8 EXISTING GRADE
- 9 EXISTING LANDSCAPING



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



15505 SAND CANYON ROAD
 IRVINE, CA 92618
 (949) 286-7000

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OPS	DATE
EE/OUT	DATE

PROJECT NAME
**GILMAN
 GENERATOR /
 RENEWAL / AWS / PCS**
 7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

DRAWING DATES

12/06/13	PRELIM 2D REVIEW (rew)
02/17/14	FINAL 2D (rew)
02/21/14	ZD REV 1-ADD ZONING INFO (rew)
05/02/14	ZD REV 2-PLUG COMMENTS (rew)
05/03/14	ZD REV 3-ADD LANDSCAPE (rew)
06/05/14	ZD REV 4-ADD TOPO & ESL (rew)
04/13/15	ZD REV 5-GENERATOR (ao)

SHEET TITLE
**ANTENNA PLAN
 &
 MONOPINE ELEVATION**

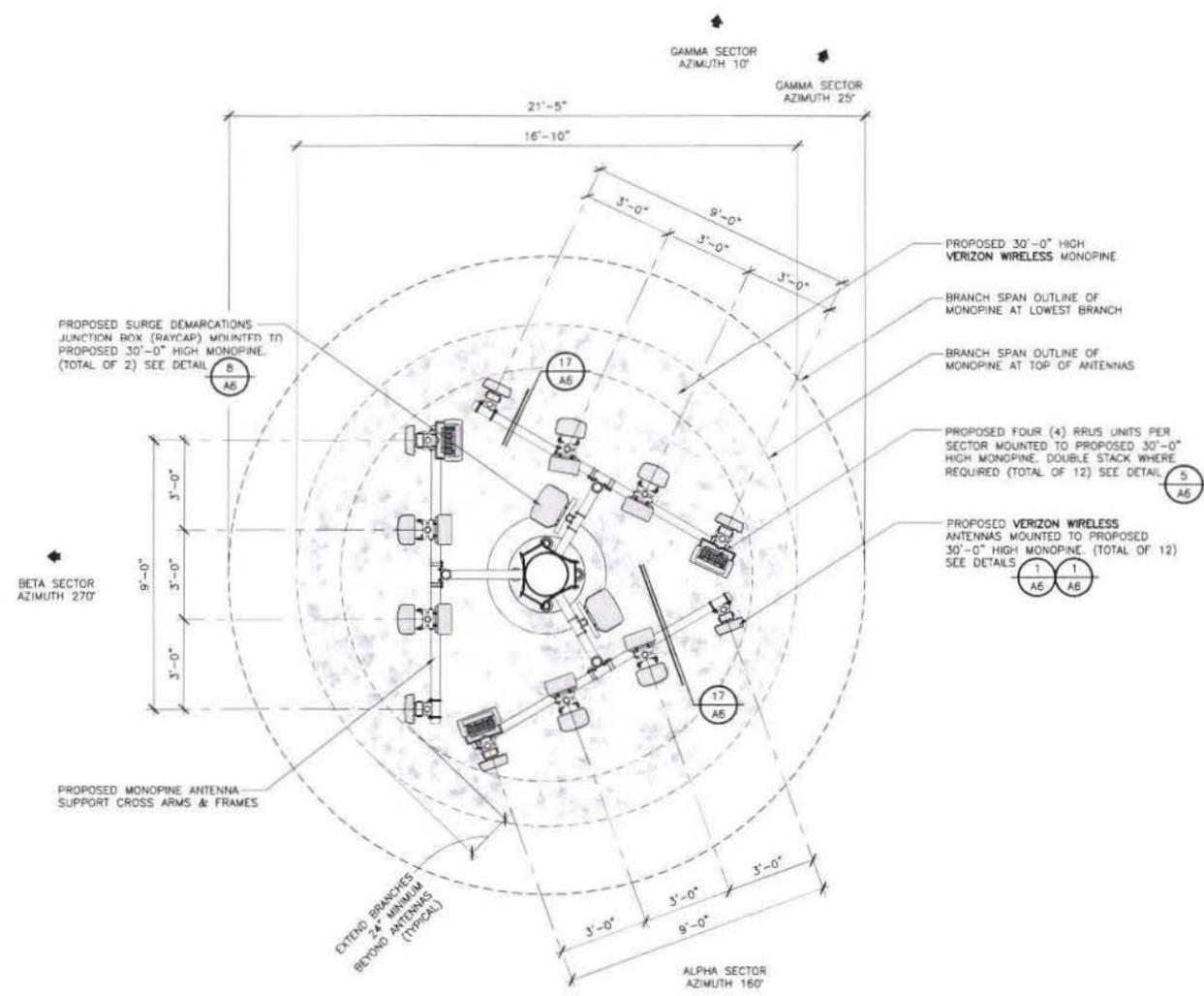
PROJECTS\verizon\12236zd

A-4

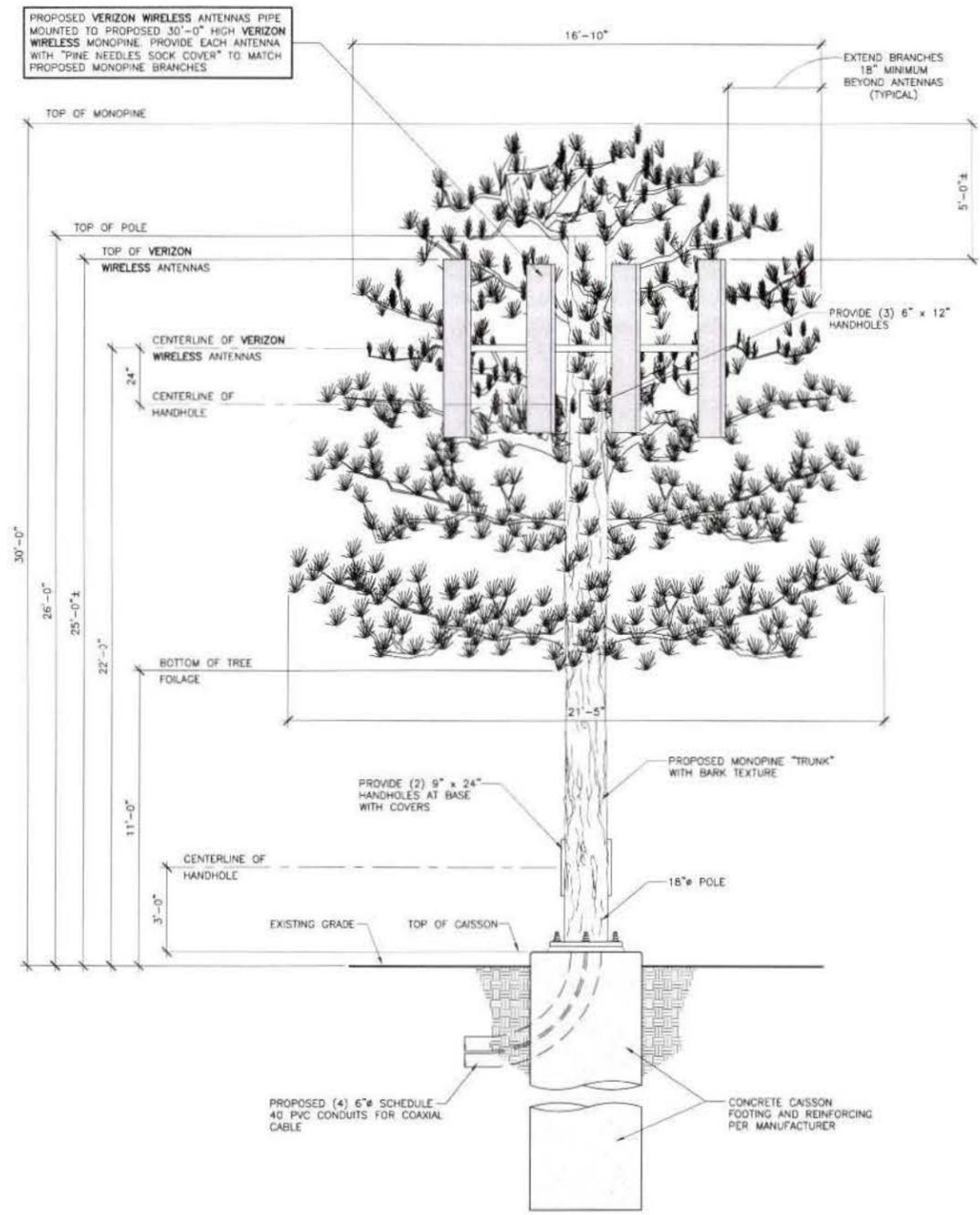
EXISTING ANTENNA AND COAXIAL CABLE SCHEDULE												
SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	RRUS	DOWNTILT	SKW ANGL	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	FIBER LENGTH (+/- 5')	EQUIPMENT JUMPER LENGTH (+/- 5')	ANTENNA JUMPER LENGTH (+/- 5')	FIBER/POWER
ALPHA 1	SOUTH	180°	KATHREIN: 80010735V01	(1) RRU5-13	0°	N/A		4	50'-0"	10'-0"	6'-0"	7/8"
ALPHA 2			COMMSCOPE: 5BNHH-1065B	(1) RRU5 32-B4								
ALPHA 3			COMMSCOPE: 5BNHH-1065B	(1) RRU5 32-B2								
ALPHA 4			KATHREIN: 80010735V01	(1) RRU5 A2-B13								
BETA 1	WEST	270°	KATHREIN: 80010735V01	(1) RRU5-13	0°	N/A		4	50'-0"	10'-0"	6'-0"	7/8"
BETA 2			COMMSCOPE: 5BNHH-1065B	(1) RRU5 32-B4								
BETA 3			COMMSCOPE: 5BNHH-1065B	(1) RRU5 32-B2								
BETA 4			KATHREIN: 80010735V01	(1) RRU5 A2-B13								
GAMMA 1	NORTH	10°	KATHREIN: 80010735V01	(1) RRU5-13	0°	N/A		4	50'-0"	10'-0"	6'-0"	7/8"
GAMMA 2			COMMSCOPE: 5BNHH-1065B	(1) RRU5 32-B4								
GAMMA 3			COMMSCOPE: 5BNHH-1065B	(1) RRU5 32-B2								
GAMMA 4			KATHREIN: 80010735V01	(1) RRU5 A2-B13								

NOTES:

- ① INSTALL (2) B+B POWER/FIBER CABLES
 - ② INSTALL FOUR (4) ANTENNAS PER SECTOR (TOTAL OF TWELVE (12) ANTENNAS)
- COMMSCOPE: 5BNHH-1065B (72.0" LENGTH X 11.9" WIDE X 7.1" DEEP, WEIGHT: 40.6 LBS.)
- KATHREIN: 800-10765V01 (76.1" LENGTH X 11.9" WIDE X 3.9" DEEP, WEIGHT: 30.9 LBS.)



ANTENNA PLAN
 SCALE: 3/8" = 1'-0"



MONOPINE ELEVATION
 SCALE: 3/8" = 1'-0"



PREPARED FOR



15505 SAND CANYON ROAD
IRVINE, CA 92618
(949) 286-7000

APPROVALS

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OPS	DATE
EE/OUT	DATE

PROJECT NAME

**GILMAN
GENERATOR /
RENEWAL / AWS / PCS**

7650 GILMAN COURT
SAN DIEGO, CA 92037
SAN DIEGO COUNTY

DRAWING DATES

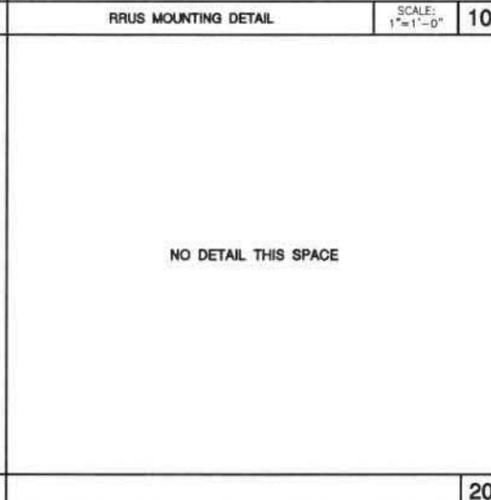
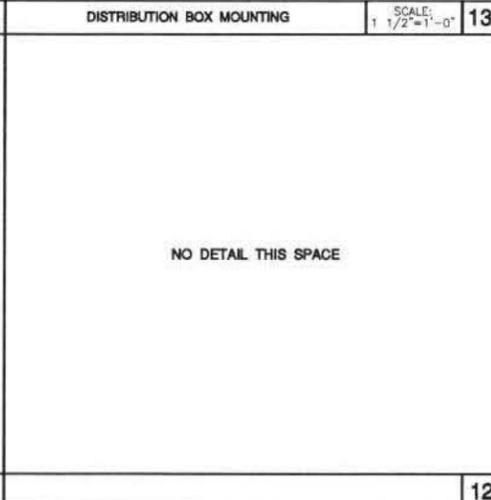
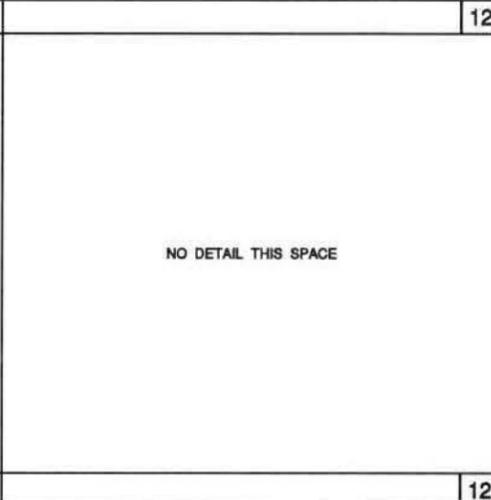
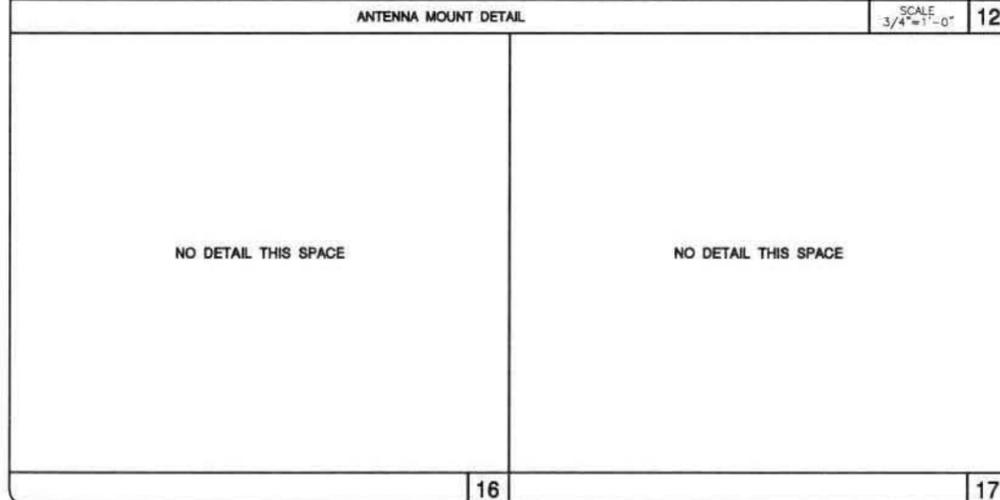
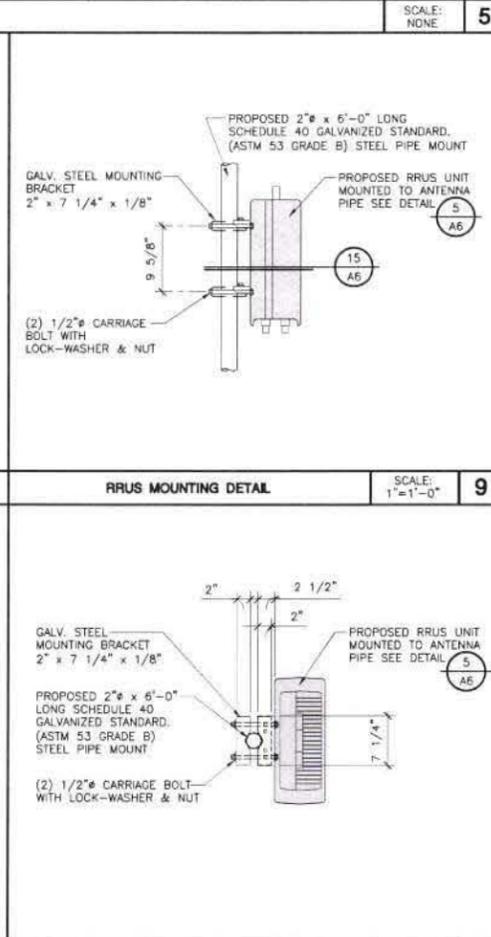
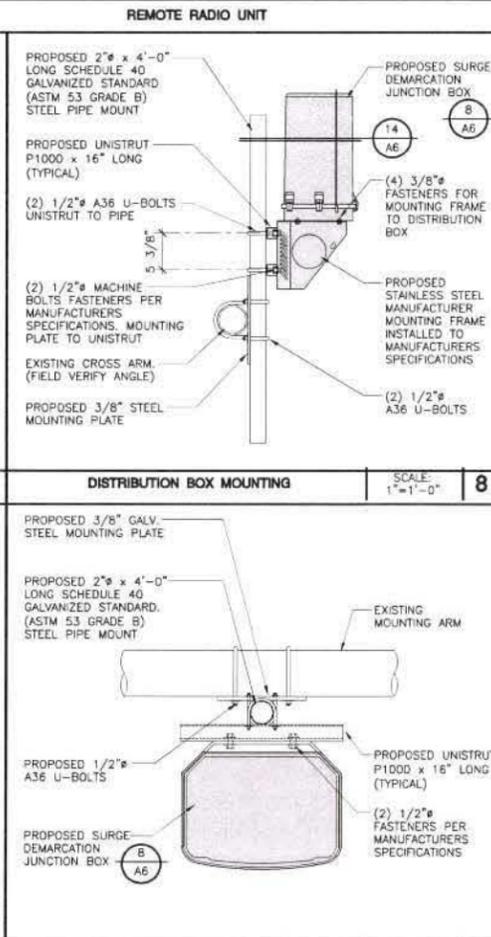
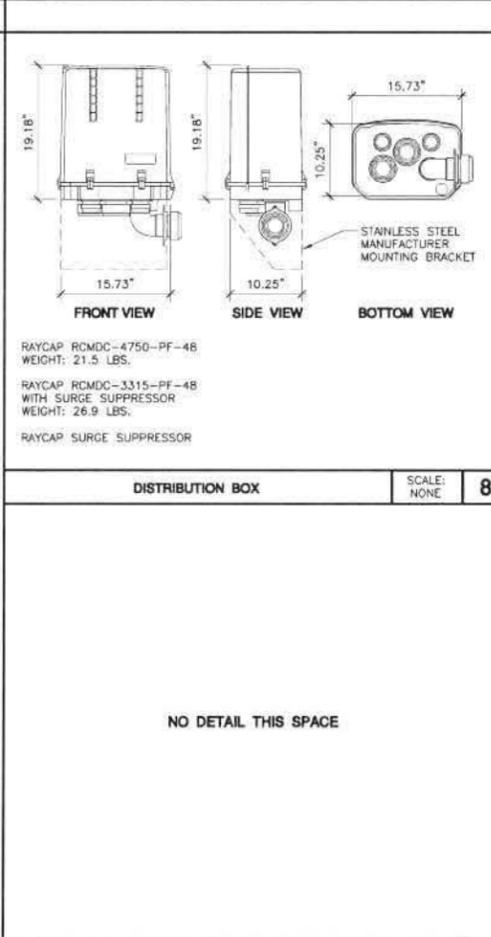
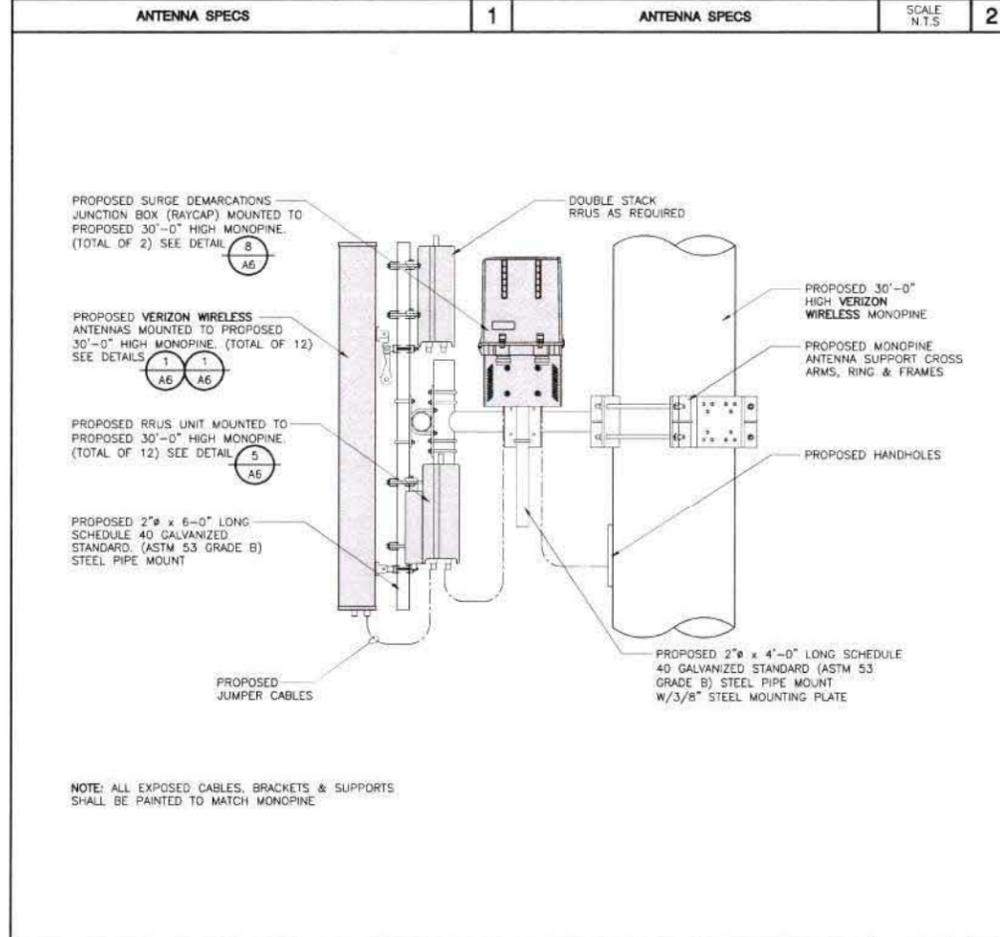
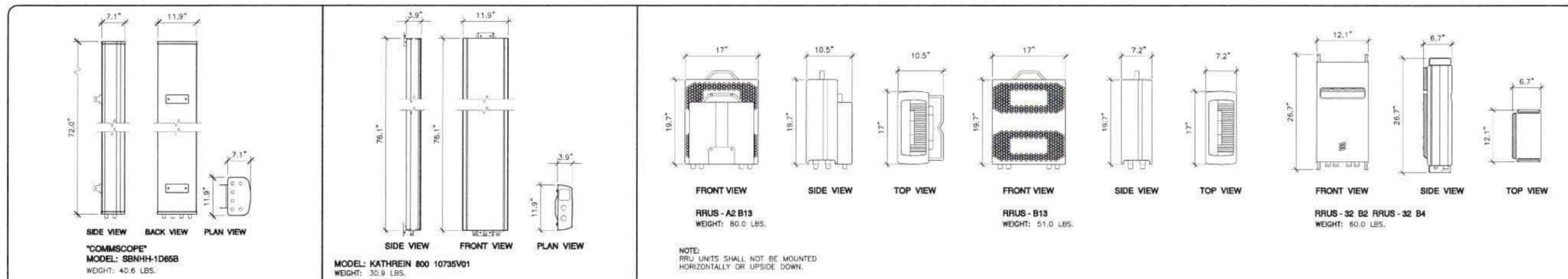
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05/03/14	ZD REV 3-ADD LANDSCAPE (rew)
06/05/14	ZD REV 4-ADD TOPO & ESL (rew)
04/13/15	ZD REV 5-GENERATOR (oo)

SHEET TITLE

DETAILS

PROJECTS\verizon\12236zd

A-6





PREPARED FOR



15505 SAND CANYON ROAD
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
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OPS	DATE
EE/OUT	DATE

PROJECT NAME

**GILMAN
 GENERATOR /
 RENEWAL / AWS / PCS**

7650 GILMAN COURT
 SAN DIEGO, CA 92037
 SAN DIEGO COUNTY

DRAWING DATES

12/06/13	PRELIM 2D REVIEW (rew)
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02/21/14	2D REV 1-ADD ZONING INFO (rew)
05/02/14	2D REV 2-PLING COMMENTS (rew)
05/03/14	2D REV 3-ADD LANDSCAPE (rew)
06/05/14	2D REV 4-ADD TOPO & ESL (rew)
04/13/15	2D REV 5-GENERATOR (cc)

SHEET TITLE

**CONCEPT LANDSCAPE
 PLAN**

PROJECTS\verizon\122362d

L-1

PLANTING NOTES

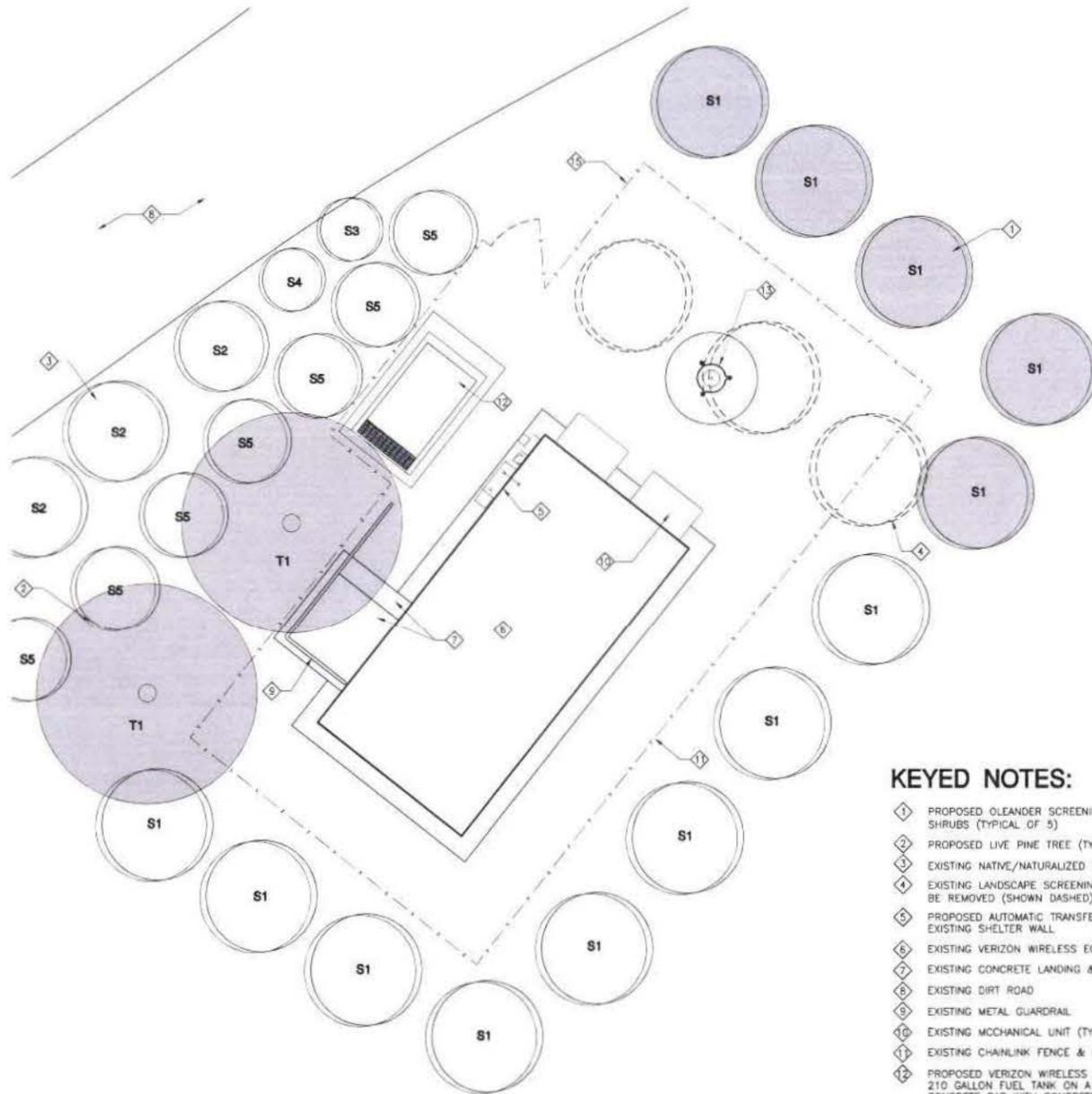
1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE
 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 UNDERGROUND UTILITY LINES - 5 FEET DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION; DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
12. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
13. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
14. ALL PRUNING SHALL COMPLY WITH THE NATIONAL ARBORIST ASSOCIATION. NO TOPPING OR PRUNING OF VEHICULAR USE AREA TREES INTO TOPIARY/HEDGE FORMS IS ALLOWED. TREES SHALL BE ALLOWED TO GROW TO THEIR FULL HEIGHT AND WIDTH TO PROVIDE THE INTENDED SHADE OVER PAVED PARKING SURFACES.

WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA
4. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH
5. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION
6. ALL NEW LANDSCAPING SHALL BE DROUGHT TOLERANT. PLANT MATERIAL WILL BE ESTABLISHED THROUGH SUPPLEMENTAL IRRIGATION FOR A SPECIFIED PERIOD UPD TIME. THERE AFTER, NEW LANDSCAPING WILL BE IRRIGATED BY NATURAL PRECIPITATION

KEYED NOTES:

1. PROPOSED OLEANDER SCREENING SHRUBS TO MATCH EXISTING SHRUBS (TYPICAL OF 5)
2. PROPOSED LIVE PINE TREE (TYPICAL OF 2)
3. EXISTING NATIVE/NATURALIZED VEGETATION
4. EXISTING LANDSCAPE SCREENING SHRUBS TO BE REMOVED (SHOWN DASHED)
5. PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO EXISTING SHELTER WALL
6. EXISTING VERIZON WIRELESS EQUIPMENT SHELTER
7. EXISTING CONCRETE LANDING & STAIRS
8. EXISTING DIRT ROAD
9. EXISTING METAL GUARDRAIL
10. EXISTING MECHANICAL UNIT (TYPICAL OF 2)
11. EXISTING CHAINLINK FENCE & GATE
12. PROPOSED VERIZON WIRELESS 30kW KOHLER GENERATOR WITH A 210 GALLON FUEL TANK ON A NEW POURED-IN-PLACE CONCRETE PAD WITH CONCRETE CONTAINMENT CURB
13. PROPOSED VERIZON WIRELESS 30'-0" HIGH MONOPINE WITH (12) PANEL ANTENNAS
14. EXTEND EXISTING CHAINLINK FENCE COMPOUND AROUND PROPOSED MONOPINE
15. PROPOSED 6'-0" HIGH CHAINLINK FENCE & GATE WITH BARBED WIRE TO MATCH EXISTING



CONCEPT LANDSCAPE PLAN
 SCALE: 1/4" = 1'-0"



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

CONSULTANT

JRN
CIVIL ENGINEERS
232 AVENIDA FABRICANTE,
SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

PROJECT NAME

GILMAN GENERATOR

7650 GILMAN COURT
SAN DIEGO, CA

DRAWING DATES

SHEET TITLE

TOPOGRAPHIC SURVEY

C1

SHEET 1 OF 2

BOUNDARY

LEGAL DESCRIPTION:

PARCEL 1:

ALL THAT PART OF THAT PORTION OF PUEBLO LOT 1267, IN THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 AND IS KNOWN AS MISCELLANEOUS MAP NO. 36, DESCRIBED AS FOLLOWS:
COMMENCING AT A 6 INCH CONCRETE MONUMENT SET FOR THE NORTHWEST CORNER OF SAID PUEBLO LOT 1267 AS SHOWN ON SAID MISCELLANEOUS MAP NO. 36, SAID MONUMENT BEING AT COORDINATES Y=248,896.15 FEET AND X=-1,696,677.01 FEET; THENCE ALONG THE NORTHERLY LINE OF SAID PUEBLO LOT 1267 NORTH 75° 31' 04" EAST, 555.25 FEET;
THENCE LEAVING SAID NORTHERLY LINE SOUTH 1° 32' 12" WEST 206.72 FEET;
THENCE SOUTH 10° 02' 29" WEST 275.18 FEET;
THENCE SOUTH 6° 58' 22" EAST 217.34 FEET;
THENCE SOUTH 7° 57' 31" WEST, 172.62 FEET TO A POINT ON THE NORTHEASTERLY LINE OF THAT PARCEL OF LAND CONVEYED TO THE SAN DIEGO GAS AND ELECTRIC COMPANY IN DEED RECORDED NOVEMBER 1, 1949, IN BOOK 3370, PAGE 279 OF OFFICIAL RECORDS OF SAID COUNTY RECORDER, DISTANT ALONG LAST SAID NORTHEASTERLY LINE NORTH 73° 06' 01" WEST (RECORD NORTH 74° 27' 56" WEST) 163.82 FEET FROM THE EXISTING WESTERLY RIGHT OF WAY LINE OF PACIFIC HIGHWAY AS DESCRIBED IN DEED RECORDED AUGUST 19, 1938, IN BOOK 800, PAGE 469 OF OFFICIAL RECORDS OF SAID COUNTY RECORDER, SAID POINT BEING THE TRUE POINT OF BEGINNING;
THENCE RETRACING NORTH 7° 57' 31" EAST 172.62 FEET AND NORTH 6° 58' 22" WEST 32.08 FEET TO THE NORTHEASTERLY LINE OF LAND DESCRIBED IN DEED TO W. C. KING, RECORDED AUGUST 5, 1957 IN BOOK 693, PAGE 225 OF OFFICIAL RECORDS;
THENCE NORTH 73° 06' 01" WEST (RECORD NORTH 74° 27' 56" WEST) ALONG THE NORTHEASTERLY LINE OF SAID KING LAND A DISTANCE OF 269.42 FEET TO THE MOST NORTHERLY CORNER OF SAID KING LAND;
THENCE NORTH 73° 06' 01" WEST (RECORD NORTH 74° 27' 56" WEST) ALONG THE NORTHEASTERLY LINE OF LAND DESCRIBED TO W. C. KING, RECORDED AUGUST 5, 1957 IN BOOK 693, PAGE 228 OF OFFICIAL RECORDS, A DISTANCE OF 130 FEET, MORE OR LESS, TO THE WESTERLY LINE OF SAID PUEBLO LOT 1267;
THENCE SOUTH 13° 54' 24" EAST, ALONG THE WESTERLY LINE OF SAID PUEBLO LOT 1267, A DISTANCE OF 233 FEET, MORE OR LESS, TO THE MOST NORTHERLY CORNER OF SAID SAN DIEGO GAS AND ELECTRIC COMPANY'S LAND;
THENCE SOUTH 73° 06' 01" EAST, (RECORD SOUTH 74° 27' 56" EAST) ALONG THE NORTHEASTERLY LINE OF SAID GAS COMPANY'S LAND A DISTANCE OF 346.78 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:

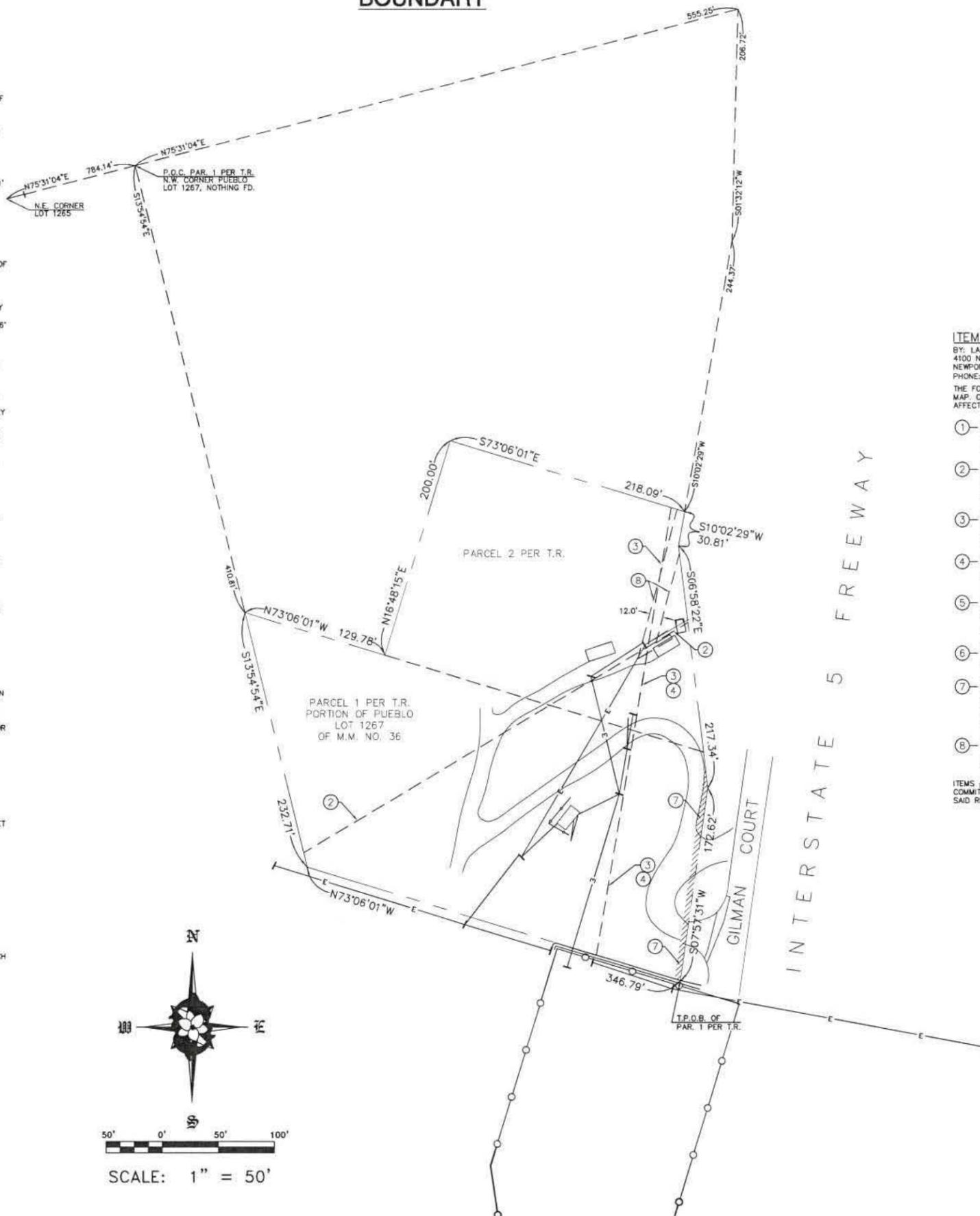
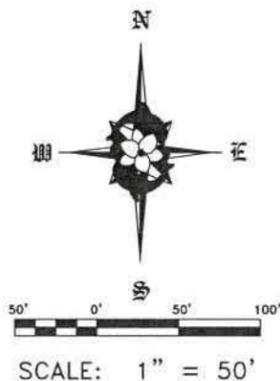
THAT PORTION OF PUEBLO LOT 1267 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A CERTIFIED COPY OF SAID MAP BEING FILED AS MISCELLANEOUS MAP NO. 36, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, BOUNDED AND DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID PUEBLO LOT 1267; THENCE IN AN EASTERLY DIRECTION ALONG THE NORTHERLY LINE OF SAID LOT TO A POINT WHERE SAID NORTHERLY LINE OF SAID LOT INTERSECTS A LINE WHICH IS PARALLEL WITH AND MIDWAY BETWEEN SIDE LINES DEFINING THAT CERTAIN RIGHT OF WAY THROUGH SAID LOT AS GRANTED TO SOUTHERN CALIFORNIA RAILWAY COMPANY BY DEEDS RECORDED IN BOOK 38, PAGES 128 AND 173 OF DEEDS IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY;
THENCE IN A SOUTHERLY DIRECTION ALONG SAID LINE WHICH IS PARALLEL WITH AND MIDWAY BETWEEN SAID TWO BOUNDARY LINES OF SAID RAILWAY RIGHT OF WAY 1133 FEET, MORE OR LESS, TO THE MOST EASTERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED TO THE SAN DIEGO GAS AND ELECTRIC COMPANY, RECORDED NOVEMBER 1, 1949 AS DOCUMENT NO. 100889, IN BOOK 3370, PAGE 279 OF OFFICIAL RECORDS;
THENCE RETRACING NORTHERLY ALONG SAID MIDWAY PARALLEL LINE 200 FEET TO THE TRUE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED;
THENCE CONTINUING NORTHERLY ALONG SAID MIDWAY PARALLEL LINE 200 FEET; THENCE PARALLEL WITH THE NORTHEASTERLY LINE OF SAID GAS COMPANY LAND NORTH 74° 27' 56" WEST 650 FEET MORE OR LESS TO A LINE WHICH IS PARALLEL WITH AND 500 FEET NORTHEASTERLY AT RIGHT ANGLES FROM THE NORTHEASTERLY RIGHT OF WAY LINE OF THAT RIGHT OF WAY, 100 FEET WIDE, KNOWN AS PACIFIC HIGHWAY, AS SAID RIGHT OF WAY IS DESCRIBED IN DEED TO THE CITY OF SAN DIEGO RECORDED AUGUST 14, 1929 IN BOOK 1664, PAGE 316 OF DEEDS;
THENCE SOUTHWESTERLY ALONG SAID PARALLEL LINE 200 FEET TO A LINE BEARING NORTH 74° 27' 56" WEST, PARALLEL WITH SAID GAS COMPANY'S NORTHEASTERLY LINE, FROM THE TRUE POINT OF BEGINNING;
THENCE ALONG SAID PARALLEL LINE SOUTH 74° 27' 56" EAST 650 FEET MORE OR LESS TO THE TRUE POINT OF BEGINNING.
EXCEPTING THEREFROM THAT PORTION LYING EASTERLY AND SOUTHEASTERLY OF A LINE DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTHERLY LINE OF THE ABOVE DESCRIBED PROPERTY, DISTANT ALONG SAID LINE SOUTH 73° 06' 01" EAST, (RECORD SOUTH 74° 27' 56" EAST), 296.42 FEET FROM A 3/4 INCH IRON PIPE MONUMENT MARKED L. S. 2201, SET FOR THE SOUTHWEST CORNER OF SAID PROPERTY, SAID MONUMENT BEING AT COORDINATES Y=-248,459.68 FEET AND X=-1,696,899.97 FEET;
THENCE LEAVING SAID SOUTHERLY LINE NORTH 6° 58' 22" WEST, 185.26 FEET;
THENCE NORTH 10° 02' 29" EAST 275.18 FEET;
THENCE NORTH 1° 32' 12" EAST, 206.72 FEET TO A POINT ON THE NORTHERLY LINE OF SAID PUEBLO LOT 1267, DISTANT ALONG SAID NORTHERLY LINE NORTH 75° 31' 04" EAST, 555.25 FEET FROM A 6 INCH CONCRETE MONUMENT SET FOR THE NORTHWEST CORNER OF SAID PUEBLO LOT 1267, SAID MONUMENT BEING AT COORDINATES Y=-248,896.15 FEET AND X=-1,696,677.01 FEET.
ASSESSOR'S PARCEL NUMBER: 353-020-04, 41, 47

BOUNDARY NOTE:

THE BOUNDARY SHOWN HEREON IS BASED ON RECORD INFORMATION AS COLLECTED FROM THE ASSESSORS PARCEL MAP. IT IS NOT THE RESULT OF A COMPLETE BOUNDARY SURVEY. IT HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.

DATUM STATEMENT:

CITY OF SAN DIEGO BENCHMARK ID: 2545 16874
LOCATION: AT INTERSECTION OF GILMAN DRIVE AND VIA ALICANTE
ELEV: 238.402 *SEBP



ITEMS CORRESPONDING TO SCHEDULE "B":

BY: LAWYERS TITLE COMPANY FILE NO: 09308466
4100 NEWPORT PLACE DRIVE, SUITE 120 TITLE OFFICER: CHRIS MAZIAR
NEWPORT BEACH, CA 92660 DATED: JULY 3, 2013
PHONE: (949) 724-3170

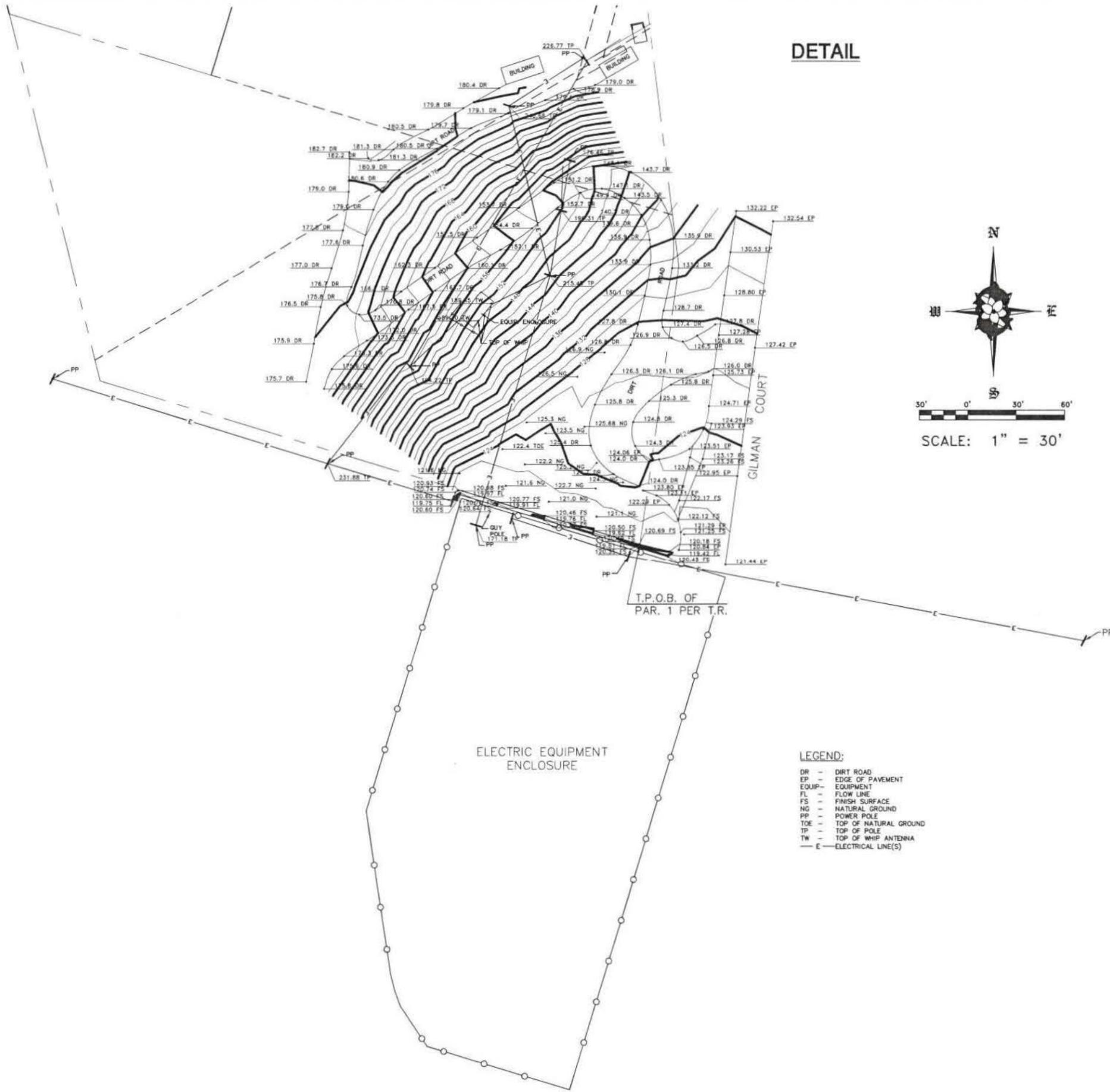
THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
- 2 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED DECEMBER 15, 1943 AS INSTRUMENT NO. 82495, IN BOOK 1591, PAGE 282 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT HAS NO WIDTH DISCLOSED PER RECORD, AND IS PLOTTED HEREON.
- 3 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 17, 1957 AS INSTRUMENT NO. 159477, IN BOOK 6796, PAGE 77 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 4 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 31, 1957 AS INSTRUMENT NO. 167522, IN BOOK 6816, PAGE 62 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 5 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED JANUARY 8, 1959 AS INSTRUMENT NO. 3736 OF OFFICIAL RECORDS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY BUT THE EXACT LOCATION CANNOT BE DETERMINED DUE TO ILLEGIBLE DOCUMENT AND IS NOT PLOTTED HEREON.
- 6 THE MATTERS CONTAINED IN A DOCUMENT RECORDED JANUARY 23, 1964 AS INSTRUMENT NO. 14100 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 7 THE FACT THAT THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE ANY RIGHTS OF INGRESS OR EGRESS TO OR FROM THE FREEWAY ADJACENT TO SAID LAND, SAID RIGHTS HAVING BEEN RELINQUISHED BY DEED TO THE STATE OF CALIFORNIA, RECORDED JULY 13, 1962 AS INSTRUMENT NO. 119412 AND RECORDED SEPTEMBER 17, 1962 AS INSTRUMENT NO. 159711, BOTH OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 8 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 31, 1963 AS INSTRUMENT NO. 195769 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

ITEMS #/S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.



DETAIL



- LEGEND:**
- DR - DIRT ROAD
 - EP - EDGE OF PAVEMENT
 - EQUIP- EQUIPMENT
 - FL - FLOW LINE
 - FS - FINISH SURFACE
 - NG - NATURAL GROUND
 - PP - POWER POLE
 - TG - TOP OF NATURAL GROUND
 - TP - TOP OF POLE
 - TW - TOP OF WHIP ANTENNA
 - E - ELECTRICAL LINE(S)

PREPARED FOR



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CONSULTANT

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232 AVENIDA FABRICANTE,
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(949) 248-4685

PROJECT NAME

GILMAN GENERATOR

7650 GILMAN COURT
SAN DIEGO, CA

DRAWING DATES

SHEET TITLE

TOPOGRAPHIC SURVEY

C2
SHEET 2 OF 2