



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: May 20, 2015 REPORT NO. HO-15-072
ATTENTION: Hearing Officer
SUBJECT: **LOGAN AVENUE MAP WAIVER - PROJECT NO. 393899**
LOCATION: 2762 Logan Avenue and 2761 Marcy Avenue
APPLICANT: Keyrock Investments, LLC

SUMMARY

Issue(s): Should the Hearing Officer approve a tentative map waiver to allow a two unit condominium conversion project?

Staff Recommendation(s) – **APPROVE** Tentative Map Waiver No. 1380543.

Community Planning Group Recommendation – On March 10, 2015, the Southeastern San Diego Community Planning Group voted 10-0-0 to recommend approval of the project with the condition that landscaping and all fences and walks should meet City standards (Attachment 9).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(k) (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 19, 2015 and the opportunity to appeal that determination ended March 5, 2015.

BACKGROUND

The 7000-square-foot project site is located at 2762 Logan Avenue and 2761 Marcy Avenue in the MF-3000 Zone of the Southeastern San Diego Planned District (SESDPD) within the Southeastern San Diego Community Plan area (Attachments 1, 2). The Southeastern San Diego Community Plan designates the proposed project site for Low Density Residential at a density range of five to ten dwelling units per acre (Attachments 3). The site is surrounded by residential development and within an urbanized portion of the city developed since the early 1900's with residential uses. The property is legally described as Lots 39 and 40 in Block 3 of Reed and Hubbell's Addition according to Map No. 327, filed June 30, 1886.

The site is developed with two single family structures constructed in 1913 and both structures were completely remodeled in 2014 (building permits were issued under PTS 369779). The building renovations passed final inspection November 13, 2014 and remain vacant to date.

The proposed project may be processed as a Map Waiver in accordance with San Diego Municipal Code (SDMC) Section 125.0120, with the Hearing Officer as decision maker (Process 3). The decision of the Hearing Officer is appealable to the Planning Commission.

DISCUSSION

The Tentative Map Waiver proposes the consolidation of two lots to create two (2) two residential condominium interests and waive the undergrounding of existing overhead utilities on a 7,000-square-foot site (Attachment 4). A condition of the map waiver includes installation of site landscaping and reconstruction of the existing driveways adjacent to the site (on both Logan Avenue and Marcy Avenue) with 12 foot wide concrete driveways in order to meet current City engineering standards. Other than the driveway reconstruction no new construction is proposed.

Underground Waiver Request

The neighborhood currently contains power poles and overhead utility lines which run along south side of Marcy Avenue. The City's current Undergrounding Master Plan designates the site within Block 8L, and the date for undergrounding has been established for the year 2041 (Attachment 7). San Diego Municipal Code Section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff supports the undergrounding waiver request believing it qualifies under the guidelines of the SDMC (Section 144.0242, "Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities") in that the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. The applicant will be required to convert existing overhead services to underground services per Condition No. 7 of the draft Map Waiver conditions (Attachment 5).

The Southeastern San Diego Community Plan designates the proposed project site for Low Density Residential at a density range of five to ten dwelling units per acre. The proposed project is consistent with this designation and density range. The proposed tentative map waiver is consistent with the policies, goals, and objectives of the Southeastern San Diego Community Plan.

The applicant reports that during the processing of the proposed Tentative Map Waiver the existing homes were undergoing renovations and there were no existing tenants residing in the units, nor any prospective tenants (Attachment 11). Therefore, notices to existing and prospective tenants required by San Diego Municipal Code Section 125.0431 are not applicable.

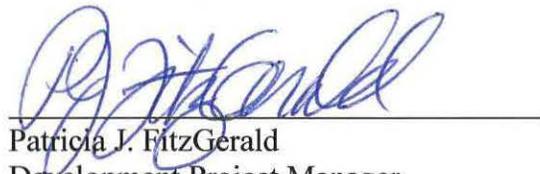
CONCLUSION

Staff has reviewed the proposed project and all issues identified through that review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project (Attachment 4) and draft conditions of approval (Attachment 5). Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Tentative Map Waiver No. 1380543, with modifications.
2. Deny Tentative Map Waiver No. 1380543, if the findings required to approve the project cannot be affirmed.

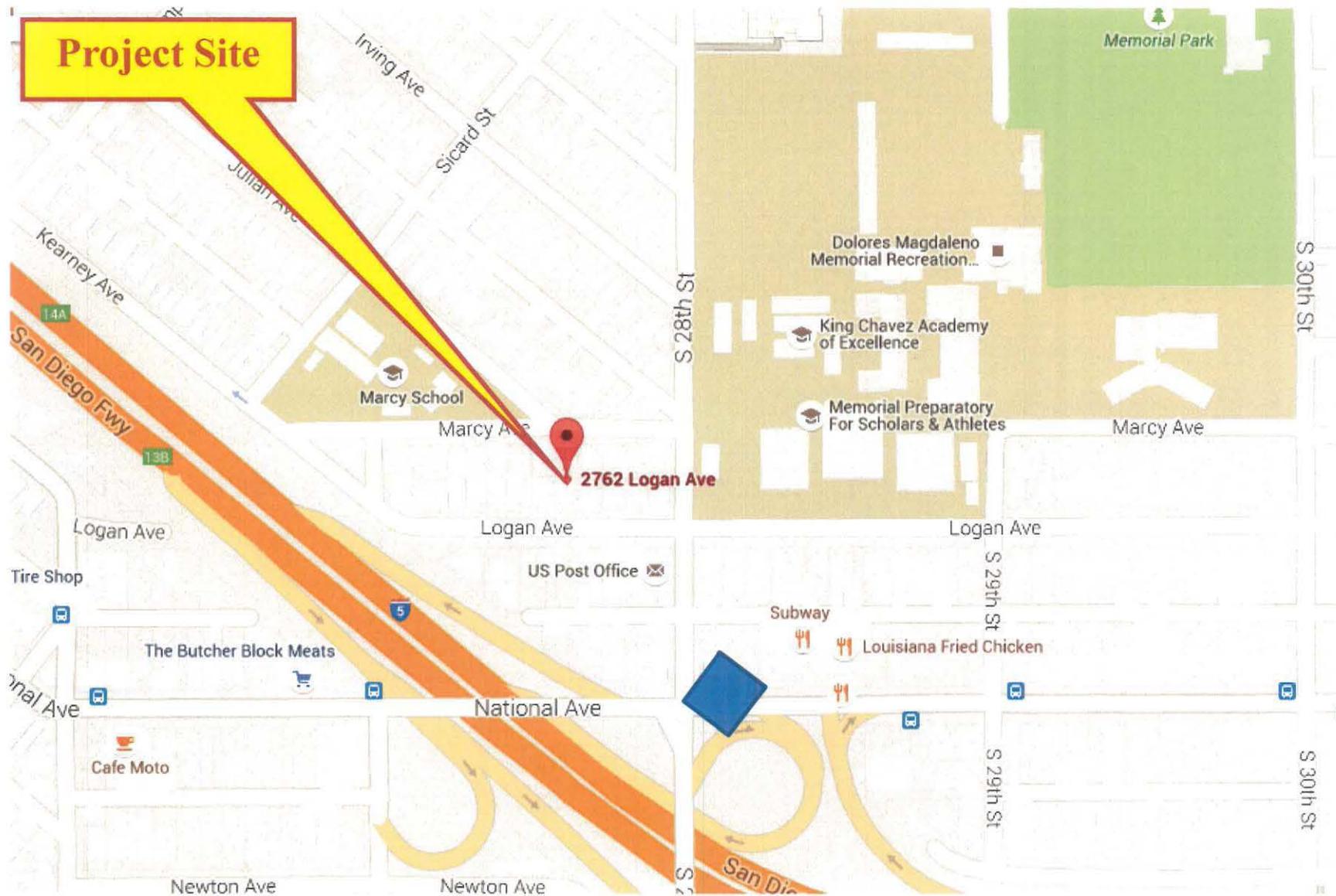
Respectfully submitted,



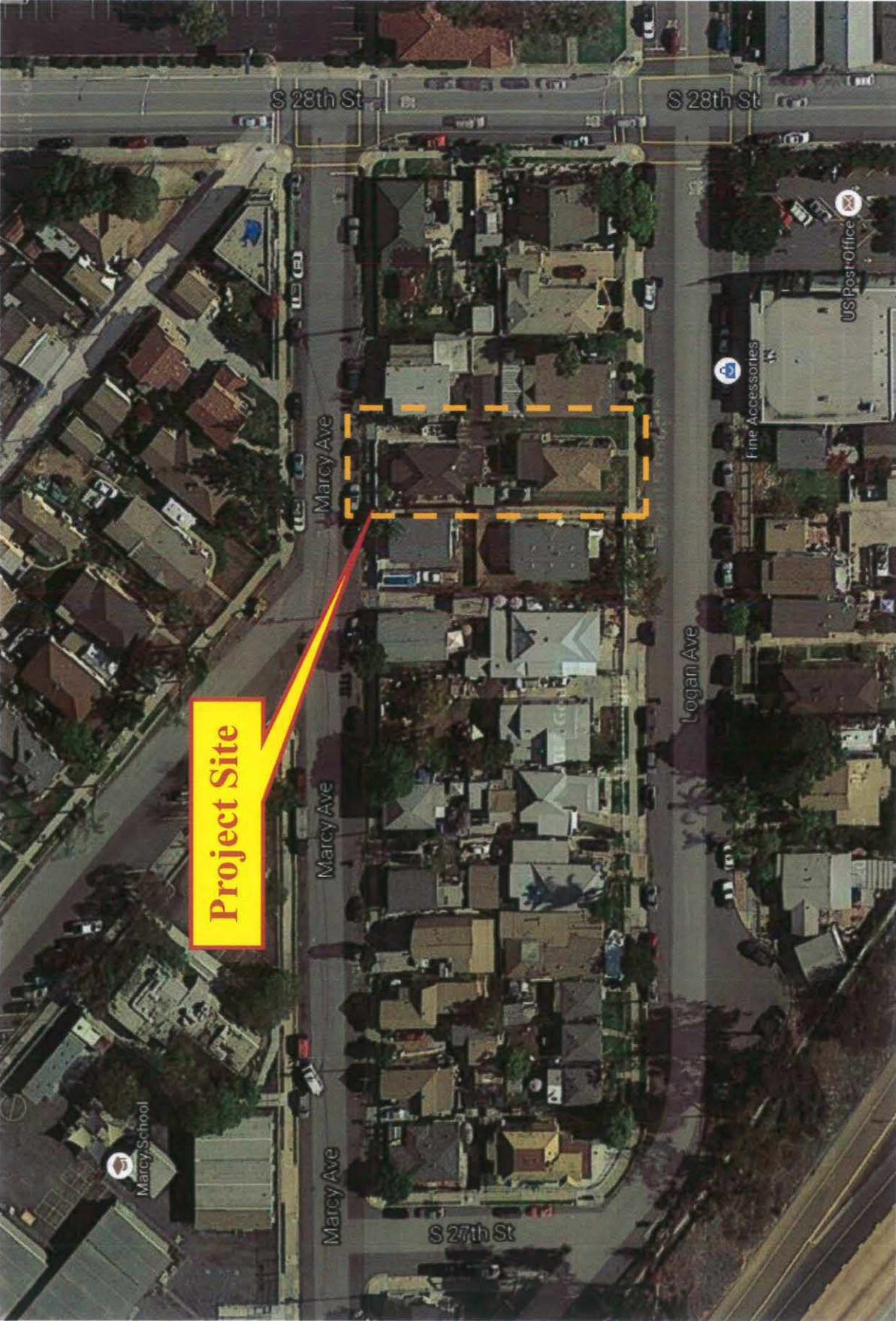
Patricia J. FitzGerald
Development Project Manager
Development Services Department

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Southeastern San Diego Community Plan Land Use Map
4. Draft Tentative Map Waiver Resolution
5. Draft Tentative Map Waiver Conditions
6. Environmental Exemption
7. Underground Master Plan
8. Building Conditions report
9. Community Planning Group Recommendation
10. Ownership Disclosure
11. Owner Statement Re: Unit Tenancy
12. Tentative Map Waiver Exhibit and Landscape Plan



Project Location Map PROJECT NO. 393899



Aerial Photo PROJECT NO. 393899

SOUTHEASTERN SAN DIEGO COMMUNITY PLAN

Legend

- | | | | |
|--|---|--|--|
| | Residential (Single-Family) | | Industrial |
| | Residential (Multi-Family) | | Open Space/Parks |
| | Commercial | | School (S) Police Station (PS) Libraries (L) |
| | Multiple Use (Residential/Commercial) | | Cemetery |
| | Neighborhood Village (15-44 du/ac) | | |
| | Neighborhood Commercial - Residential Permitted (15-44 du/ac) | | |

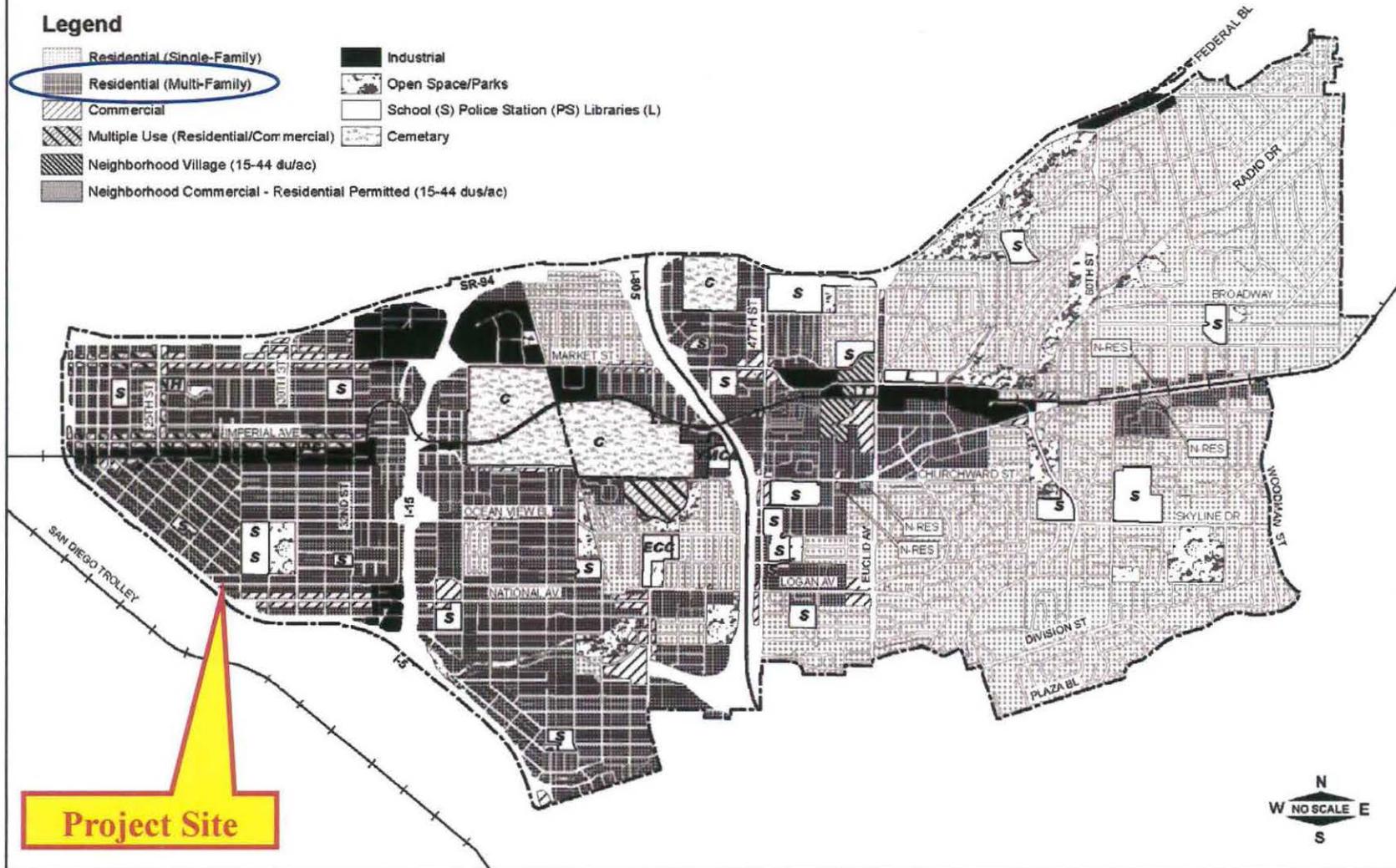


FIGURE 47

RESOLUTION NO. HO-_____
DATE OF FINAL PASSAGE MAY 20, 2015

A RESOLUTION OF THE HEARING OFFICER
ADOPTING THE FINDINGS AND APPROVING
TENTATIVE MAP WAIVER NO. 1380543

LOGAN AVENUE MAP WAIVER – PROJECT NO. 393899

WHEREAS, Keyrock Investments, LLC, Subdivider, and Robert J. Russell, Professional Land Surveyor, submitted an application with the City of San Diego for Map Waiver No. 1380543, to waive the requirement for a Tentative Map to allow the consolidation of two lots into one lot to create two residential condominium units and waive the undergrounding of existing overhead utilities. The project site is located at 2762 Logan Avenue and 2761 Marcy Avenue in the MF-3000 Zone of the Southeastern San Diego Planned District (SESDDP) within the Southeastern San Diego Community Plan area. The property is legally described as Lots 39 and 40 in Block 3 of Reed and Hubbell's Addition according to Map No. 327, filed June 30, 1886; and

WHEREAS, the map proposes the consolidation of two lots into one lot for a two unit residential condominium conversion on a 7,000-square-foot site; and

WHEREAS, on February 19, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 *et. seq.*) under CEQA Guidelines Section 15301(k) (Existing Facilities); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act Section 66491(a) and San Diego Municipal Code Sections 144.0220(a) and 144.0220(b); and

WHEREAS, the request to waive the undergrounding of existing overhead utilities has been determined to be appropriate pursuant to San Diego Municipal Code Section 144.0242(c) (Waiver of the Requirements to Underground Privately Owned Utility Systems and Services Facilities) in that the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility; and

WHEREAS, on May 20, 2015, the Hearing Officer of the City of San Diego considered Tentative Map Waiver No. 1380543, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to Sections 125.0122, 125.0444 and 144.0240 of the San Diego Municipal Code and Subdivision Map Act Section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map Waiver No. 1380543:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The Southeastern San Diego Community Plan designates the proposed project site for Low Density Residential at a density range of five to ten dwelling units per acre. The proposed project is consistent with this designation and density range. The proposed tentative map waiver is consistent with the policies, goals, and objectives of the Southeastern San Diego Community Plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to create two (2) residential condominium interests on a 7,000-square-foot site. No development will result from the subdivision of the site. The site is developed with two single family structures constructed in 1913 and completely remodeled in 2014. The site is zoned MF-3000 Zone per the Southeastern San Diego Planned District Ordinance. The proposed tentative map is consistent with all the development regulations of the MF-3000 zone and no deviations are proposed or required to approve the tentative map waiver.

3. The site is physically suitable for the type and density of development.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. The site is developed with two single family structures constructed in 1913 and completely remodeled in 2014. A condition of the map waiver includes reconstruction of two existing driveways in order to meet current engineering standards. The site is within an urbanized portion of the city developed since the early 1900's with residential uses. Other than the driveway reconstruction no new development is proposed. The tentative map waiver proposes a residential density within the density range designated by the Southeastern San Diego Community Plan and the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. The site is developed with two single family structures constructed in 1913 and completely remodeled in 2014. The site is within an urbanized portion of the city developed since the early 1900's with residential uses. A condition of the map waiver includes reconstruction of two existing driveways in order to meet current engineering standards. The tentative map waiver will have no impact which would cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat as sensitive environmental resources do not exist on the site.

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. The site is developed with two single family structures constructed in 1913 and completely remodeled in 2014. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare in that no development will result from the subdivision of the site.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. The site is developed with two single family structures constructed in 1913 and completely remodeled in 2014. The Project site contains no public easements for access or use of the property, therefore the design of the subdivision will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision, as none exist.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. The site is developed with two single family structures constructed in 1913 and completely remodeled in 2014. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in that no development will result from the subdivision of the site, yet future improvement to the existing structures could result in additional passive or natural heating and or cooling modalities and technologies.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. The site is developed with two single family structures constructed in 1913 and completely remodeled in 2014. In that no development will result from the subdivision of the site, the proposed subdivision will have no effect on the housing needs of the region,

the needs for public services and the available fiscal and/or environmental resources. There are no environmental resources present on the site. Public services necessary for supporting the community are existing, and the subdivision will have a positive impact upon available fiscal resources by increasing home ownership opportunities.

9. The notices required by San Diego Municipal Code Section 125.0431 have been given in the manner required.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. The site is developed with two single family structures constructed in 1913 which were recently completely remodeled, with building renovations occurring between May 2014 and November 2014. During the renovations the units were vacant, remain vacant and there are no existing tenants. Therefore the notices to tenants and prospective renters required by San Diego Municipal Code Section 125.0431 are not applicable.

10. The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. All costs associated with the processing of this Tentative Map Waiver were paid by the applicant and the project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing.

11. For any project that was developed to provide housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed.

The Logan Avenue MW project proposes the consolidation of two lots into one lot to allow subdivision of a 7,000-square-foot site into two (2) residential condominium interests. The Map Waiver was not processed to provide housing for the elderly, disabled or to provide low income housing.

That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map Waiver No. 1380543; is hereby granted to

ATTACHMENT 4

Keyrock Investments, LLC, subject to the attached conditions which are made a part of this resolution by this reference.

By

Patricia J. FitzGerald
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Waiver

Internal Order No. 24005226

HEARING OFFICER
CONDITIONS FOR MAP WAIVER NO. 1380543
LOGAN AVENUE MAP WAIVER - PROJECT NO. 393899

ADOPTED BY RESOLUTION NO. HO-_____ ON MAY 20, 2015

GENERAL

1. This Map Waiver will expire May 20, 2018.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map unless otherwise noted.
3. Prior to the Map Waiver expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify the Subdivider of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

AFFORDABLE HOUSING

6. The Subdivider shall comply with the provisions of Chapter 14, Article 2, Division 13 of the San Diego Municipal Code ("Inclusionary Affordable Housing Regulations") by paying the Condominium Conversion Inclusionary Affordable Housing Fee in one of the following manners:

- a. Deferring payment of the Condominium Conversion Inclusionary Affordable Housing Fee until the close of escrow of the first condominium sold at the development by entering into a written agreement with the San Diego Housing Commission securing payment of the Condominium Conversion Inclusionary Affordable Housing Fee, which shall be recorded against the development and secured by a recorded deed of trust in favor of the San Diego Housing Commission. If the Subdivider elects future payment of the Condominium Conversion Inclusionary Affordable Housing, the fee shall be calculated using the rate in effect at the close of escrow of the first condominium unit sold at the development; or
- b. Pre-paying the Condominium Conversion Inclusionary Affordable Housing Fee to the City based upon the aggregate square footage of all residential units in the project. If the Subdivider pre-pays the Condominium Conversion Inclusionary Affordable Housing, the fee shall be calculated using the rate in effect on the date of pre-payment.

ENGINEERING

7. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
8. The Subdivider shall reconstruct the existing driveways with current City Standard 12 foot wide concrete driveways, adjacent to the site on Logan Avenue and Marcy Avenue.
9. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. Back flow prevention devices shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
10. The Subdivider shall provide a letter, agreeing to prepare CC&R's for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot, satisfactory to the City Engineer.
11. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.

12. The Subdivider shall comply with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980. Only those exceptions to the General Conditions which are shown on the Map Waiver and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

LANDSCAPING

13. Prior to recordation of the Parcel Map, the Owner/Permittee shall ensure that existing landscape and irrigation is field verified by the Development Services Department to be consistent with the Landscape Standards and in substantial conformance with the Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.
14. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
15. Street trees and street yard landscape shall be provided in accordance with the requirements for condominium conversions in SDMC Section 142.0402.
16. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.
17. Street trees and street yard landscape shall be provided in accordance with the requirements for condominium conversions in Section 142.0402.

MAPPING

18. A consolidation Parcel Map is required, to the satisfaction of the City's Land Surveyor.
19. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the

- California Coordinate System, Zone 6, North American Datum of 1983 (NAD 83).
20. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
21. Every Parcel Map shall:
- a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

INFORMATION:

- The approval of this Tentative Map Waiver by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. § 1531 *et seq.*).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map Waiver will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.

ATTACHMENT 5

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map Waiver, may protest the imposition within 90 days of the approval of this Tentative Map Waiver by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24005226

NOTICE OF EXEMPTION

TO: X Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2422

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project No.: **393899**

Project Title: **Logan Avenue Map Waiver**

Project Location-Specific: 2762 Logan Avenue and 2761 Marcy Avenue, San Diego, California 92113

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Tentative Map Waiver (TMW) to allow the conversion of two existing detached residential units into condominium units on a 7,000 square-foot site.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Juan Serrano (Owner),
 Keyrock Investments, LLC (Firm),
 6409 Caminito Aronimink,
 La Jolla, California 92037,
 (818) 414-5281

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
 Declared Emergency (Sec. 21080(b)(3); 15269(a));
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: CEQA Exemption 15301 (k)-(Existing Facilities)
 Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15301(k) which allows the division of existing multiple family or single-family residences into a common-interest ownership, where no physical changes occur which are not otherwise exempt. In addition; the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA


 Signature/Title

Senior
 Planner

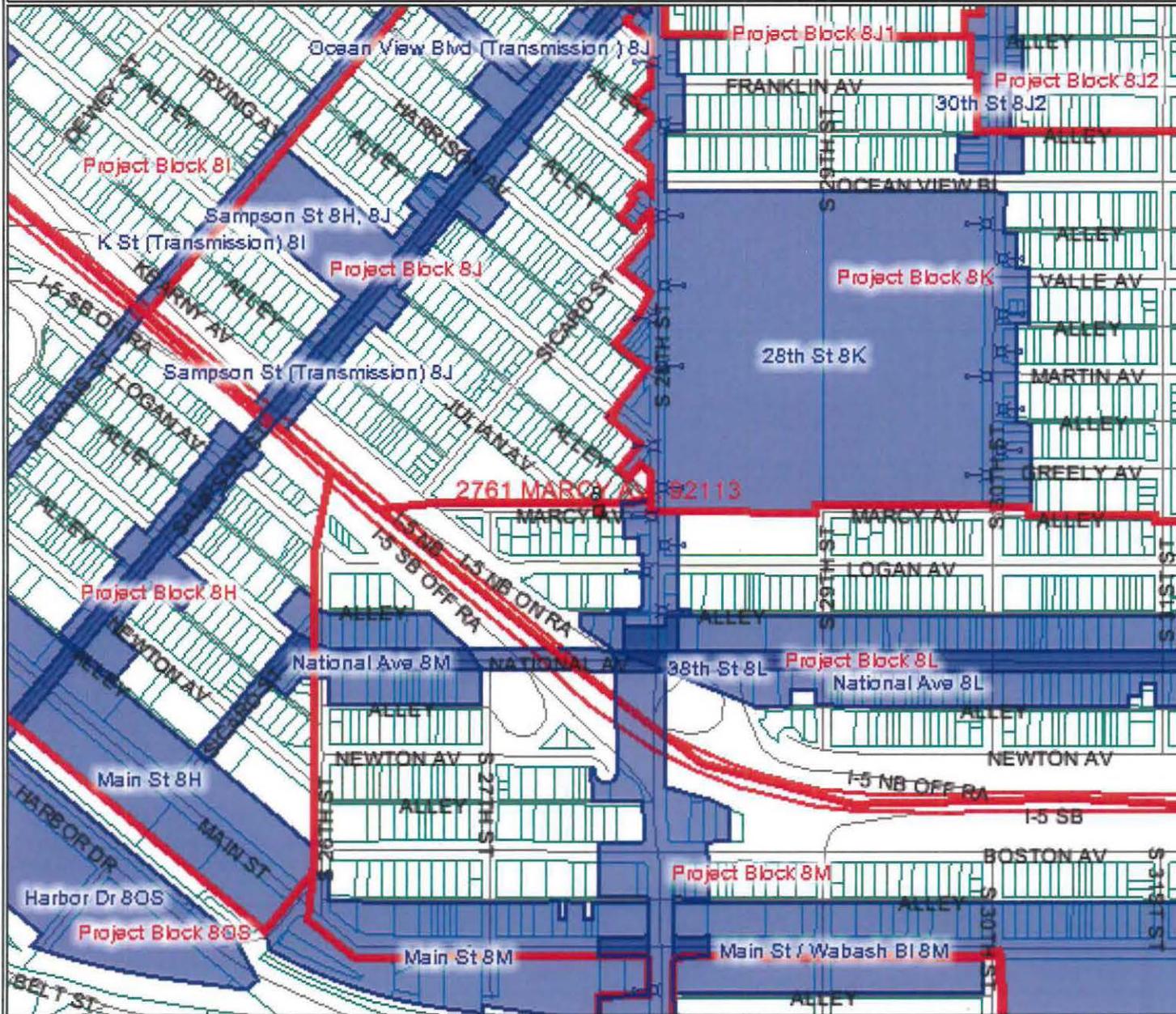
February 19, 2015
 Date

Check One:

- Signed By Lead Agency
 Signed by Applicant

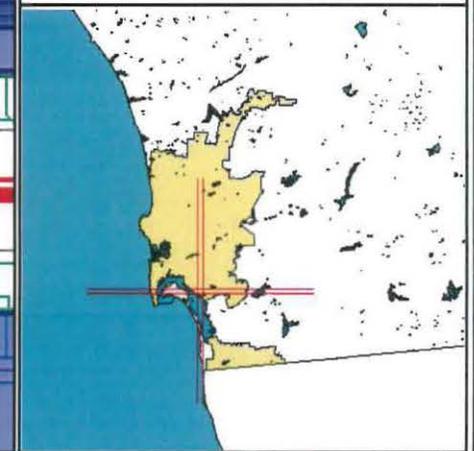
Date Received for Filing with County Clerk or OPR:

Site Map



Legend

- Future Streetlights
- Undergrounding Projects**
- all_20_a
- all_blocks
- Freeways
- Minor Roads
- Parcel Ownership
- Bay
- Streams
- Major
- Minor
- Council Districts
- Ocean
- County



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Building Conditions Report

2762 Logan Ave

San Diego, CA 92115

Current City of San Diego Building Project #369-779, Approval #1292680



Date of Inspection:
Thursday, 10/16/14

RAAM Development Inc.
25488 Rancho Barona Rd,
Ramona, CA 92065 760 788 5869

**BUILDING
INSPECTION REPORT**

Page 2

Friday Oct 17, 2014

Julio Figueroa
C/O Keyrock Investments
6409 Caminito Aronimink
La Jolla, CA 92037-5801

**RE: Building Conditions Report for Condo Conversion 2762 Logan Ave, San Diego, CA 92115
Current City of San Diego Building Project #369-779, Approval #129680**

Dear Mr. Figueroa,

This report summarizes our professional opinions regarding the observations made by engineering personnel of this firm for the above referenced property. The purpose of this report is to render an engineering opinion as to the building conditions per City of San Diego Land Development Manual Section 13.2.

The building in question has been completely remodeled and inspected by City building inspectors, in accordance with the approved construction documents. At the time of the inspection, utilities have been connected, and all items in the remodel of the building appear complete.

Scope of Work

Following is the scope of work performed during our investigation:

- 1) A cursory visual inspection of the readily visible structural elements of the building, which were of specific concern to the client, was conducted by the Engineer.
- 2) The building elements inspected were the roof and visible framing of the house as inferred by exterior wall conditions, as well as supporting concrete foundation perimeters. Residential plumbing fixtures, electrical fixtures, insulation, wall heater, water heater were briefly visually inspected and appear to be complete. The crawlspace beneath the house floor was briefly observed beneath the house by the Engineer, entering through the access hatch.
- 3) Interview with the project manager Julio Figueroa was conducted by the engineer.
- 4) Engineering observations were documented with field notes and photo-documentation.
- 5) Final report document was drafted, reviewed, stamped and published by the Engineer.

CLIENT: Keyrock Investments

JOB SITE: 2762 Logan Ave, San Diego, CA 92115

Summaries of Engineering Observations

The single story 4 bedroom house has extensive architectural finish upgrades including wall heater, plumbing fixtures, wall heater, hot water heater and electrical fixtures, new insulation in the floors and new roofing and roof flashing. A new electrical panel and new utility hookups were installed, and are under the inspection regimen of the City of San Diego Project and Approval numbers listed above.

The project appears substantially completed. The project included extensive structural modifications, or seismic upgrades, and as such, the original house foundations and framing generally appear to be in good repair.

Recommendations and Conclusions

In our opinion, upon final inspection by the City of San Diego for this remodel project, the house will be ready for occupancy.

RAAM Development Inc.
25488 Rancho Barona Rd,
Ramona, CA 92065 760 788 5869

**BUILDING
INSPECTION REPORT**

Page 4

Friday Oct 17, 2014

LIMITATIONS AND WARRANTY

The review of any building plans or other documents by others, by this office, does not constitute engineering approval of the documents. Due to the cursory nature of the inspection, not all structural damages or conditions may have observed or reported by the engineer. No warranty is given as to the performance of the existing building systems, foundations, foundation walls, or roofing or structure of the building.

WE WARRANT THAT THIS REPORT HAS BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED STANDARDS OF STRUCTURAL ENGINEERING PRACTICE. THIS WARRANTY IS GIVEN IN LIEU OF ALL OTHER WARRANTIES. NO OTHER WARRANTY, EITHER EXPRESSED OR IMPLIED, IS GIVEN BY THE ENGINEER.

We appreciate the opportunity to be of professional service. If we can be of further assistance, please call us at any time.

Respectfully submitted,



M.V. Paul Worland, PE, MBA
Registered Professional Engineer
California C49900 renews 9/30/16

CLIENT: Keyrock Investments

JOB SITE: 2762 Logan Ave, San Diego, CA 92115

RAAM Development Inc.
25488 Rancho Barona Rd,
Ramona, CA 92065 760 788 5869

**BUILDING
INSPECTION REPORT**

Page 1

Friday Oct 17, 2014

Building Conditions Report

2761 Marcy Ave

San Diego, CA 92115

Current City of San Diego Building Project #369-779, Approval #129684



Date of Inspection:
Thursday, 10/16/14

CLIENT: Keyrock Investments

JOB SITE: 2761 Marcy Ave, San Diego, CA 92115

RAAM Development Inc.
25488 Rancho Barona Rd,
Ramona, CA 92065 760 788 5869

**BUILDING
INSPECTION REPORT**

Page 2

Friday Oct 17, 2014

Julio Figueroa
C/O Keyrock Investments
6409 Caminito Aronimink
La Jolla, CA 92037-5801

**RE: Building Conditions Report for Condo Conversion 2761 Marcy Ave, San Diego, CA 92115
Current City of San Diego Building Project #369-779, Approval #129684**

Dear Mr. Figueroa,

This report summarizes our professional opinions regarding the observations made by engineering personnel of this firm for the above referenced property. The purpose of this report is to render an engineering opinion as to the building conditions per City of San Diego Land Development Manual Section 13.2.

The building in question has been completely remodeled and inspected by City building inspectors, in accordance with the approved construction documents. At the time of the inspection, utilities have not been completely connected, but all items in the remodel of the structure appear complete.

Scope of Work

Following is the scope of work performed during our investigation:

- 1) A cursory visual inspection of the readily visible structural elements of the building, which were of specific concern to the client, was conducted by the Engineer.
- 2) The building elements inspected were the roof and visible framing of the house as inferred by exterior wall conditions, as well as supporting concrete foundation perimeters. Residential plumbing fixtures, electrical fixtures, insulation, wall heater, water heater were briefly visually inspected. and appear to be complete. The crawlspace beneath the house floor was briefly observed outside the access hatch.
- 3) Interview with the project manager Julio Figueroa was conducted by the engineer.
- 4) Engineering observations were documented with field notes and photo-documentation.
- 5) Final report document was drafted, reviewed, stamped and published by the Engineer.

CLIENT: Keyrock Investments

JOB SITE: 2761 Marcy Ave, San Diego, CA 92115

RAAM Development Inc.
25488 Rancho Barona Rd,
Ramona, CA 92065 760 788 5869

**BUILDING
INSPECTION REPORT**

Page 3

Friday Oct 17, 2014

Summaries of Engineering Observations

The single story 2 bedroom house has extensive architectural finish upgrades including new wall heater, new water heater, plumbing fixtures, and electrical fixtures, new floor insulation, new roofing and roof flashing. A new electrical panel and new utility hookups were all in the process of installation, and are currently under the inspection process of the City of San Diego Project and Approval numbers listed above.

The project appears substantially completed with the exception of utility hookups (sewer, water, gas, electrical). The project apparently did not require any structural modifications, or seismic upgrades, and as such, the original house foundations and framing are the original, and generally appear to be in good repair.

Recommendations and Conclusions

In our opinion, upon final inspection by the City of San Diego for this remodel project, the house will be ready for occupancy.

RAAM Development Inc.
25488 Rancho Barona Rd,
Ramona, CA 92065 760 788 5869

**BUILDING
INSPECTION REPORT**

Page 4

Friday Oct 17, 2014

LIMITATIONS AND WARRANTY

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WE WARRANT THAT THIS REPORT HAS BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED STANDARDS OF STRUCTURAL ENGINEERING PRACTICE. THIS WARRANTY IS GIVEN IN LIEU OF ALL OTHER WARRANTIES. NO OTHER WARRANTY, EITHER EXPRESSED OR IMPLIED, IS GIVEN BY THE ENGINEER.

We appreciate the opportunity to be of professional service. If we can be of further assistance, please call us at any time.

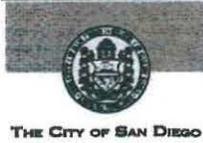
Respectfully submitted,



M.V. Paul Worland, PE, MBA
Registered Professional Engineer
California C49900 renews 9/30/16

CLIENT: Keyrock Investments

JOBSITE: 2761 Marcy Ave, San Diego, CA 92115



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Logan/Marcy Tentative Map Waiver		Project Number: 393899	Distribution Date: 3/10/2015
Project Scope/Location: Logan and Marcy Condo Conversions Tentative Map Waiver #1380543, Project No. 393899 - 2762 Logan Ave. and 2761 Marcy Ave., Logan Heights Neighborhood.			
Applicant Name: Paul Worland, P.E., MBA, President, RAAM Development, Inc.		Applicant Phone Number: 760-390-5247	
Project Manager: P.J. Fitzgerald	Phone Number:	Fax Number: (619) 321-3200	E-mail Address: pjfitzgerald@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 10	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: Landscaping and all fences and walks should meet City Standards. Implement SDPD Recommendations.			
NAME: Maria Riveroll, EA		TITLE: Chair	
SIGNATURE:		DATE: 3/10/2015	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: LOGAN-MARCY CONDO Project No. For City Use Only: 393899

Project Address: 2762 Logan Ave, San Diego CA. 92113

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

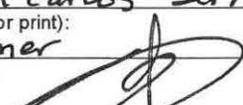
Project Title: Logan - Mary Condo Project No. (For City Use Only) 393899

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. 201409210139 46-5201795 EIN 201409210139
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
KEYROCK INVESTMENTS LLC
 Owner Tenant/Lessee
 Street Address: 6409 Caminito Aruimink
 City/State/Zip: La Jolla, CA 92037
 Phone No: 818-414-5281 Fax No: NA
 Name of Corporate Officer/Partner (type or print):
Juan Carlos Serrano
 Title (type or print):
Owner
 Signature:  Date: 07/01/14

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature: _____ Date: _____

I **JUAN CARLOS SERRANO**, owner of **KEYROCK INVESTMENTS LLC**, owner of the following properties:

- **2761 MARCY AVE. SAN DIEGO CA. 92113**
- **2762 LOGAN AVE. SAN DIEGO CA. 92113**

Hereby declare that the above properties currently don't have any tenants (are not leased/rented to anyone), and at any moment during the conversion process will they be rented or leased to anyone.

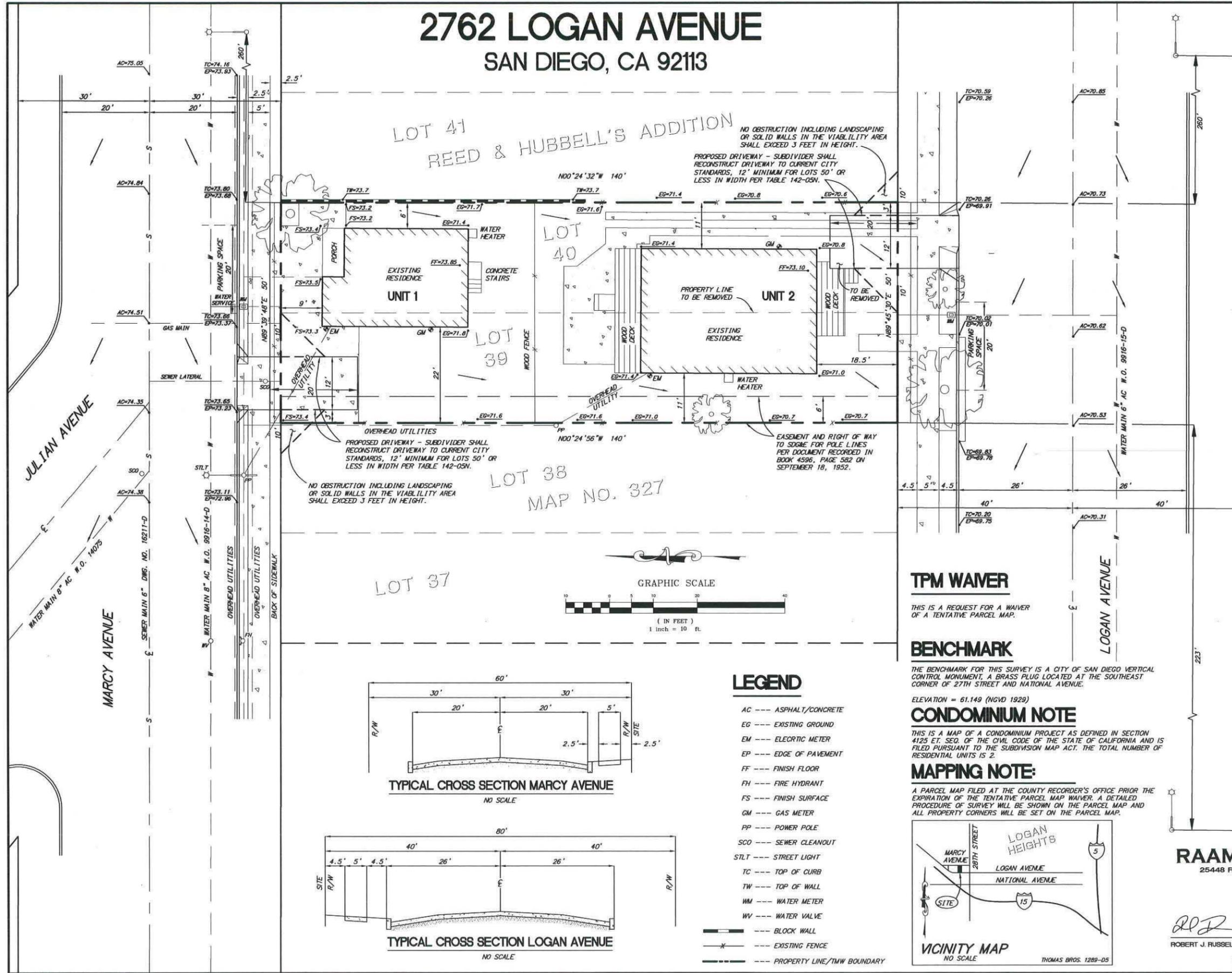
A handwritten signature in black ink, consisting of a large, stylized 'J' and 'C' that are interconnected. The signature is written over a horizontal dashed line.

JUAN CARLOS SERRANO

PRESIDENT KEYROCK INVESTMENTS LLC

6409 CAMINITO ARONIMINK, LA JOLLA CA. 92037

2762 LOGAN AVENUE
SAN DIEGO, CA 92113



LEGAL DESCRIPTION
LOTS 39 AND 40 IN BLOCK 3 OF REED & HUBBELL'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 327, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 30, 1886, BEING DESCRIBED IN DOCUMENT NO. 2014-0142786.

ASSESSOR'S PARCEL NO.
538-651-13
NUMBER OF PROPOSED LOTS = ONE (1)

ZONING
SESOPD-MF-3000
(SOUTHEAST SAN DIEGO PLANNED DISTRICT-MF-3000)
OVERLAY ZONE: AIRPORT INFLUENCE AREA-SAN DIEGO INTERNATIONAL

SITE AREA + NO. OF UNITS
0.160 ACRES - 7,000 SQUARE FEET (GROSS); 2 UNITS

COORDINATE INDEX
NAD 27: 194-1728
NAD 83: 183-6289

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS MAP IS THE SOUTHERLY RIGHT OF WAY LINE OF LOGAN AVENUE BETWEEN 27TH STREET AND 28TH STREET, I.E. N89°45'30"E PER MAP NO. 4837.

OWNER
KEYROCK INVESTMENTS LLC
P. O. BOX 1641
LA JOLLA, CA 92038

MINIMUM SETBACKS
FRONT: 10 FEET
SIDE: 5 FEET (INTERIOR)

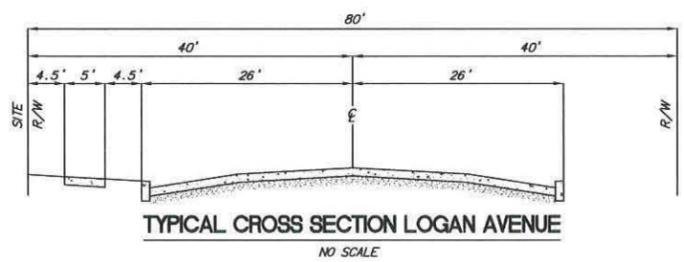
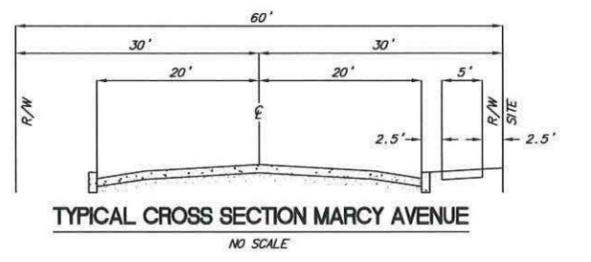
BUILDINGS + PARKING RATE
MARCY AVENUE:
ONE STORY SINGLE FAMILY RESIDENCE, 671 SQUARE FEET, CONSTRUCTED IN 2014, TWO BEDROOMS.
PARKING RATE:
BASIC=1.25/PROVIDED=2
MOTORCYCLE=N/A
BICYCLE=N/A
LOGAN AVENUE:
ONE STORY SINGLE FAMILY RESIDENCE, 1,120 SQUARE FEET, CONSTRUCTED IN 2014, FOUR BEDROOMS.
PARKING RATE:
BASIC=1.5/PROVIDED=2
MOTORCYCLE=N/A
BICYCLE=N/A

UTILITIES
SEWER: CITY OF SAN DIEGO (UNDERGROUND)
WATER: CITY OF SAN DIEGO (UNDERGROUND)
GAS: SAN DIEGO GAS AND ELECTRIC (UNDERGROUND)
ELECTRIC: SAN DIEGO GAS AND ELECTRIC (OVERHEAD)
TELEPHONE: AT&T (OVERHEAD)
CABLE: COX CABLE (OVERHEAD)

EASEMENTS
NONE PROPOSED.

RAAM DEVELOPMENT INC.
25448 RANCHO BARONA ROAD, RAMONA, CA 92065
PH. 760-788-5869

ROBERT J. RUSSELL, PLS
10/16/14
DATE



LEGEND

- AC --- ASPHALT/CONCRETE
- EG --- EXISTING GROUND
- EM --- ELECTRIC METER
- EP --- EDGE OF PAVEMENT
- FF --- FINISH FLOOR
- FH --- FIRE HYDRANT
- FS --- FINISH SURFACE
- GM --- GAS METER
- PP --- POWER POLE
- SCO --- SEWER CLEANOUT
- STLT --- STREET LIGHT
- TC --- TOP OF CURB
- TW --- TOP OF WALL
- WM --- WATER METER
- WV --- WATER VALVE
- BLOCK WALL
- EXISTING FENCE
- PROPERTY LINE/TM/W BOUNDARY

TPM WAIVER

THIS IS A REQUEST FOR A WAIVER OF A TENTATIVE PARCEL MAP.

BENCHMARK

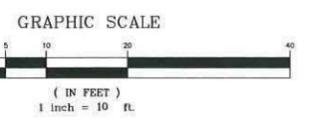
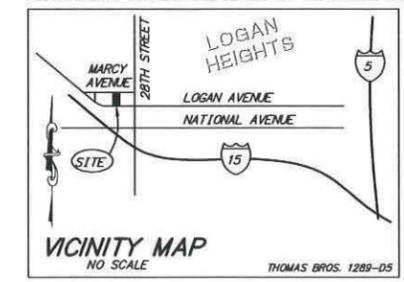
THE BENCHMARK FOR THIS SURVEY IS A CITY OF SAN DIEGO VERTICAL CONTROL MONUMENT, A BRASS PLUG LOCATED AT THE SOUTHEAST CORNER OF 27TH STREET AND NATIONAL AVENUE.
ELEVATION = 61.149 (NGVD 1929)

CONDOMINIUM NOTE

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL UNITS IS 2.

MAPPING NOTE:

A PARCEL MAP FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE PARCEL MAP WAIVER. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE PARCEL MAP.



SYM.	QUANTITY	SIZE	HIGHT	MATURE SPREAD	BOTANICAL NAME	COMMON NAME	PURPOSE
⊙	14	1 GAL	6"	1' x 5'	JASMINUM GRANDIFLORA	JASMINE VINE	OPTIONAL FENCE COVER TO PREVENT GRAFITTI
✿	25	5 GAL	2'	2'	LANTANA CAMARA	LANTANA	COLORFUL FOCAL POINT
✿	8	5 GAL	6'	4'	HIBISCUS ROSA-SINENSIS	HIBISCUS	COLORFUL FOCAL POINT
✿	2	24" BOX	15'	7'	AZADIRACHTA INDICIA	'NEEM'	DROUGHT TOLERANT TREE
⊙	9	5 GAL	2'	2'	LEYMUS CONDENSATUS	'CANYON PRINCE'	DROUGHT TOLERANT FOCAL POINT
⊙	18	5 GAL	2'	2'	FESTUCA CALIFORNICA	'CALIFORNIA FESCUE'	DROUGHT TOLERANT SHRUB
✿	14	1 GAL	2'	2'	MUHLBERGIA RIGENS	'DEERGRASS'	DROUGHT TOLERANT SHRUB
✿	24	1 GAL	2'	2'	OCIMUM TENUIFLORUM	'RAMA TULSI'	COLORFUL FOCAL POINT
⊙	2	(E)	25'	20'	CIMMONIUM CAMPHORA	CAMPHOR TREE	SHADE TREE
⊙	1	(E)	20'	12'	SCHEFFLERA ACTINOPHILA	UMBRELLA TREE	SHADE TREE 'TO BE REMOVED'
⊙	1	24" BOX	30'	25'	ALBIZIA JULIBRISSIN	SILK TREE	SHADE TREE
⊙	1	24" BOX	20'	25'	CITRUS SINENSIS	'MORO' BLOOD ORANGE	SHADE & FRUIT TREE
⊙	1	24" BOX	15'	10'	PSIDIUM GUAYAVA	APPLE GUAVA	SHADE & FRUIT TREE
■	2 CY	3"				COCONUT COIR MULCH	PLANTING BED MULCH
■	15 CY	2"				COCONUT COIR MULCH	EROSION CONTROL GROUND COVER

NOTE: INSTALL 24" DEEP ROOT BARRIER @ 5'X8' PERIMETER OF TREE PLANTING AREA.

2761 MARCY AVE

STREET YARD
PLANTING AREA PROVIDED = 213 SF
PLANTING POINTS PROVIDED:

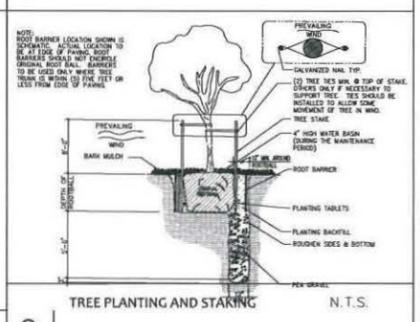
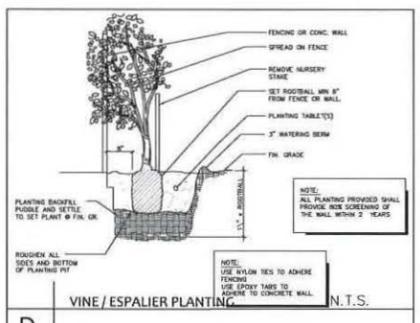
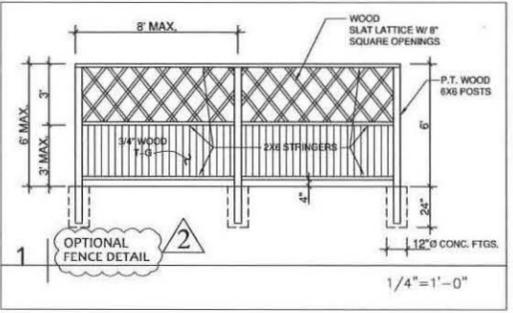
(N) 5 GAL. SHRUBS (4) @ 2.0 = 8 pp
(N) 1 GAL. SHRUBS (7) @ 1.0 = 7 pp
(N) TREE (1) @ 50 = 65 pp
TOTAL = 65 pp

REMAINING YARD

(N) 5 GAL. SHRUBS (9) @ 2.0 = 18 pp
(N) 1 GAL. SHRUBS (14) @ 1.0 = 14 pp
(E) 24" BOX TREE (1) @ 50 = 50 pp
TOTAL = 82 pp

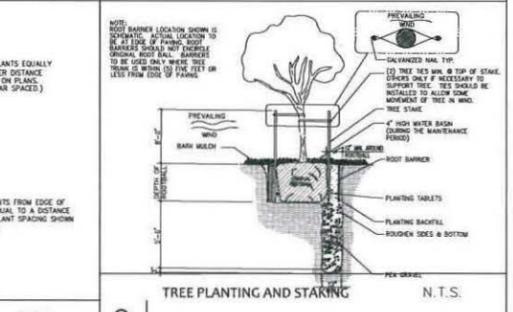
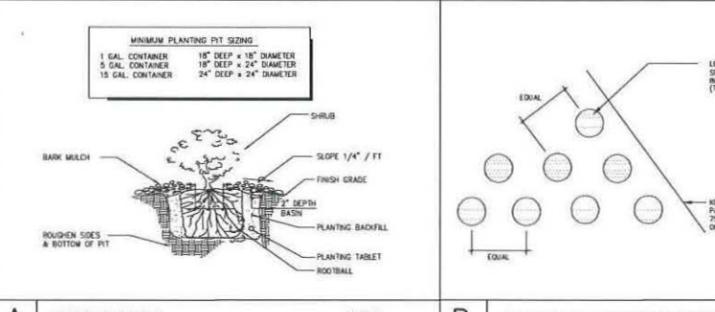
VEHICLE USE AREA

(N) 5 GAL. SHRUBS (6) @ 2.0 = 18 pp
(N) 24" BOX TREES (1) @ 50 = 50 pp
TOTAL = 68 pp



- GENERAL NOTES**
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE REGULATIONS OF THE CITY OF SAN DIEGO LANDSCAPE STANDARDS (ARTICLE 62) AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - A PERMANENT IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF NON-HYDROSEEDED VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
 - ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE INDIVIDUAL HOME OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED IN ACCORDANCE WITH APPLICABLE REGULATIONS IN THE LANDSCAPE STANDARDS OF ARTICLE 62.
 - ALL TREES SHALL BE STAKED IN ACCORDANCE WITH THE CITY OF SAN DIEGO TREE STAKING DETAIL.
 - ALL SITE WORK AND CONSTRUCTION ACTIVITIES BY CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH APPLICABLE REGULATIONS AND ALL ENVIRONMENTAL REQUIREMENTS SHALL MEET OR EXCEED THE HIGHEST SAFETY STANDARDS AND ANY OTHER COMPLIANCE ISSUES OF ANY RELEVANT JURISDICTION.
 - THE SITE SHALL BE KEPT IN CLEAN, NEAT AND ORDERLY CONDITION, AT ALL TIMES, FOR THE DURATION OF CONSTRUCTION AND MAINTENANCE AND BE FREE OF ANY DELETERIOUS MATERIALS.
 - CONTRACTOR SHALL DETERMINE / CONFIRM EXISTING TOPO AT PROJECT SITE TO ENSURE ADEQUATE DRAINAGE.
 - ALL PLANT MATERIAL SHALL BE SUFFICIENTLY WATERED AND PERIODICALLY FERTILIZED TO ESTABLISH AND RETAIN HEALTHY GROWTH.
 - NO WORK ON SITE SHALL COMMENCE UNTIL ALL NECESSARY PERMITS ARE ACQUIRED BY CONTRACTOR.
 - PRIOR TO ANY WORK, CONTRACTOR SHALL CONFIRM ALL UTILITY LOCATIONS WITH APPROPRIATE AUTHORITIES.

- LANDSCAPE REVEGETATION / EROSION CONTROL NOTES -**
- IF STREET TREES ARE PRESENT AT ADJACENT PARCELS, ONE STREET TREE OF SAME SPECIES WILL BE PROVIDED IN THE PUBLIC RIGHT-OF-WAY FOR EVERY 50 FEET OF STREET FRONTAGE.
 - THE SUBJECT SITE HAS NO LANDSCAPE VEGETATION, COMPLETE REVEGETATION IS PROVIDED PER IN THIS DESIGN.
 - HYDROSEEDING WITH APPROPRIATE NATIVE, DROUGHT TOLERANT MIX SHALL SUPPORT AND FULFILL EROSION CONTROL REQUIREMENTS. (SEE THE HYDROSEED MIX FOR NON-IRRIGATED APPLICATION BELOW)



2762 LOGAN AVE

STREET YARD
PLANTING AREA PROVIDED = 323 SF
PLANTING POINTS PROVIDED:

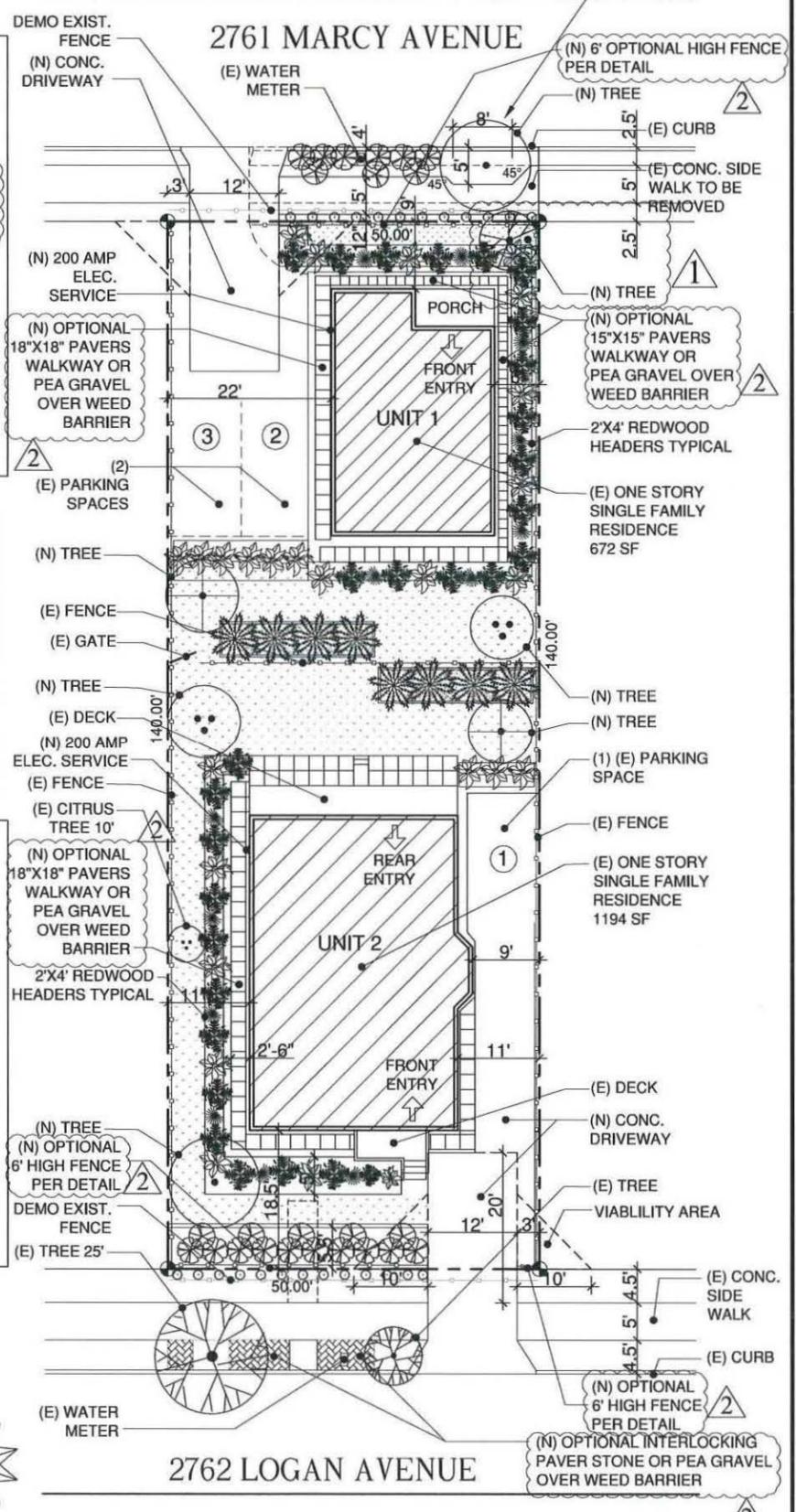
(N) 5 GAL. SHRUBS (18) @ 2.0 = 36 pp
(N) 1 GAL. SHRUBS (7) @ 1.0 = 7 pp
(N) 24" BOX TREES (1) @ 50 = 50 pp
TOTAL = 93 pp

REMAINING YARD

(N) 5 GAL. SHRUBS (4) @ 2.0 = 8 pp
(N) 1 GAL. SHRUBS (12) @ 1.0 = 12 pp
(E) TREE WITH 3" CALIPER (1) = 75 pp
TOTAL = 95 pp

VEHICLE USE AREA

(N) 5 GAL. SHRUBS (7) @ 2.0 = 14 pp
(N) 24" BOX TREES (1) @ 50 = 50 pp
TOTAL = 64 pp



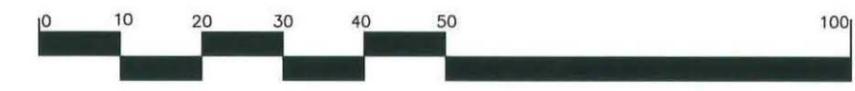
LANDSCAPE PLAN FOR CONDO CONVERSION

RAAM DEVSEV INC.
MVP WORLAND, ENG. & ARQ.
25488 RANCHO BARONA RD
RAMONA, CA 92065
(760) 788-5869

OWNER:
KEYROCK INVESTMENTS LLC.
6409 CAMINITO ARONIMINK
LA JOLLA, CA 92037

No.	REVISED DATE	BY
1	3/11/15	WVB
2	5/8/15	WVB

5/8/15
SCALE: 1" = 10'
SHEET:
3 OF 5



SCALE: 1" = 10'