

Limitation Overlay Zone, the First Public Roadway, the Parking Impact Overlay Zone (Coastal and Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The La Jolla Community Plan (LJCP) designates the proposed project site for Low Density Residential land use at 5-9 dwelling units per acre (DU/AC). The project site, occupying 0.172-acres, could accommodate one dwelling unit based on the underlying zone and one- to two-dwelling unit based on the community plan. The surrounding properties have been previously graded and developed with existing single-family dwelling units. The properties are zoned RS-1-7 and the land use designation is Low Density Residential at 5-9 DU/AC.

The project site is a corner lot with frontage on Marine Street and Monte Vista Avenue. The parcel has been previously graded and developed with an existing single-family dwelling unit. The existing single-family dwelling unit was constructed in 1948 and a historical assessment was performed. Due to previous alterations including multiple additions to the front elevation and second level deck alteration, City staff has determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

DISCUSSION

Project Description:

The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit on a 0.172-acre site. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot, is located approximately 345 feet from the Pacific Ocean, and Marine Street at this location is designated as the first public roadway paralleling the sea (Attachment 5). Marine Street is designated as a view corridor with views toward the Pacific Ocean and the proposed project complies with the street side setback requirement along Marine Street which preserves the framed view down the public right-of-way looking west. In addition, Marine Street contains a physical accessway in the form of a stairway from the public right-of-way to the tide pools; however, this access is not adjacent to the property. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the adopted LJCP and Local Coastal Program Land Use Plan.

The site is approximately 40 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation Program

(MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103. The project proposes a maximum building height of 23 feet 2 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone.

The Residential Element of the LJCP contains policies for new development in order to avoid extreme and intrusive changes to the residential scale of the neighborhood, especially between new and older structures. The plan recommends that bulk and scale be controlled through the application of development regulations, such as setbacks and building height. The plan also recommends that visual relief, such as offsetting planes, articulation, and variations in front setbacks, be applied to provide a transition in scale between surrounding development. The existing residences immediately south and east of the site are one-story structures, however, the majority of the other homes along the block and within the immediate vicinity are two to three-stories. The project complies with the maximum allowable height of the zone, and complies with the required setbacks. In addition, the project provides articulation along the facades, architectural projections, a varied roof line, and uses of wood siding. These features aid in reducing perceived bulk and scale and are an adequate transition between the proposed development and the existing one-story homes.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Development of the proposed project requires the approval of a Process Three Coastal Development Permit (CDP) for coastal development in the Appealable Area of the Coastal Overlay Zone. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Conclusion:

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted LJCP and Local Coastal Program Land Use Plan, SDMC, and the General Plan. Therefore, staff recommends to the Hearing Officer to approve the CDP as presented.

ALTERNATIVES

1. **APPROVE** Coastal Development Permit No. 1417146, **with modifications.**
2. **DENY** Coastal Development Permit No. 1417146, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



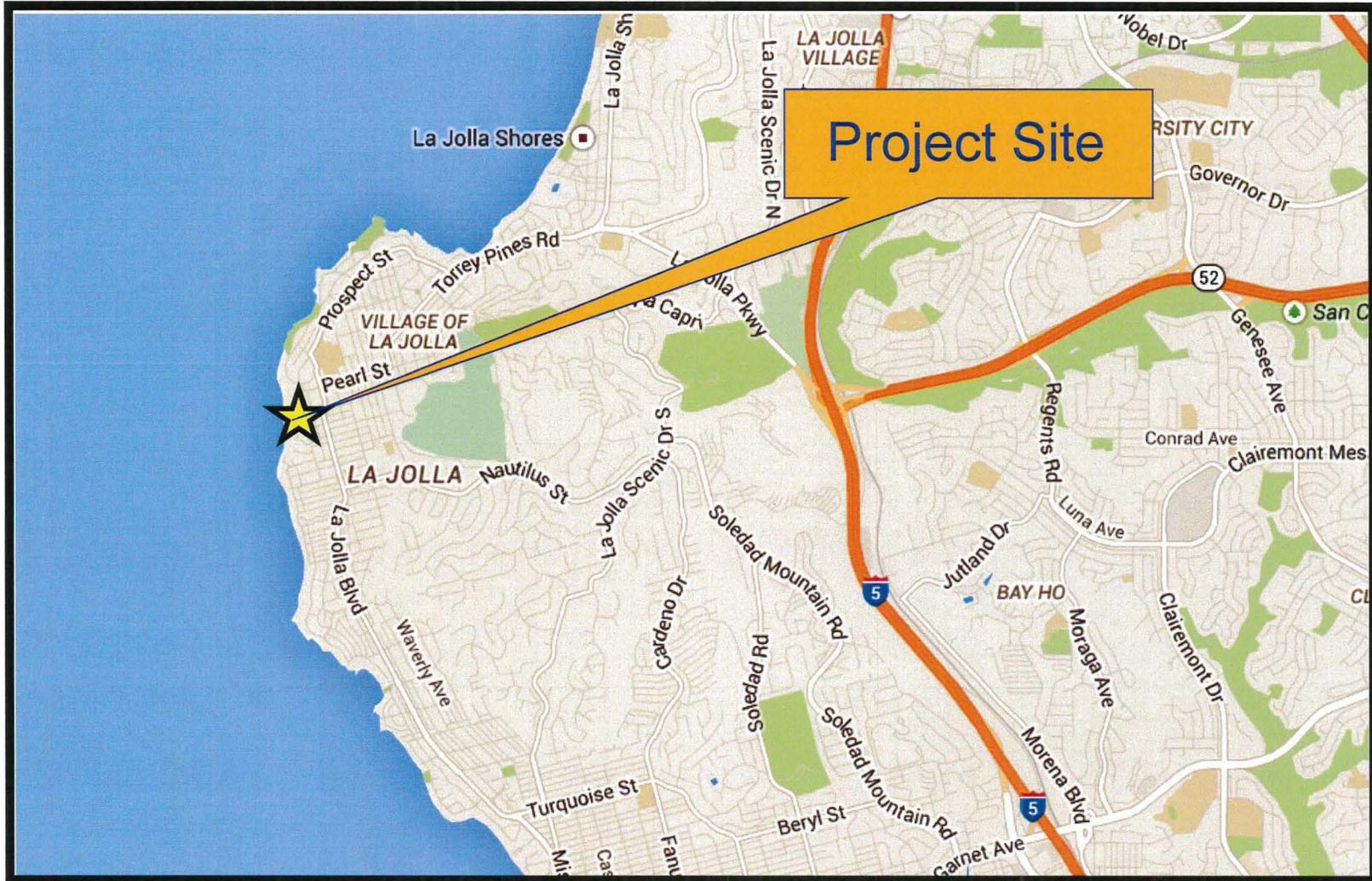
Jeffrey A. Peterson
Development Project Manager
Development Services Department

PETERSON/JAP

Attachments:

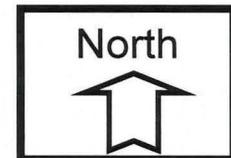
1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. First Public Roadway Map
6. Project Data Sheet
7. Project Plans
8. Draft CDP Permit with Conditions
9. Draft CDP Resolution with Findings
10. La Jolla Community Planning Association Recommendation
11. Environmental Exemption
12. Ownership Disclosure Statement
13. Project Chronology
14. Copy of Public Notice (forwarded to HO)
15. Copy of Project Plans (full size-forwarded to HO)

Internal Order No. 24005509



Location Map

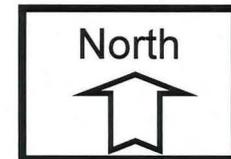
Clausen Residence - Project No. 404187
7404 Monte Vista Avenue

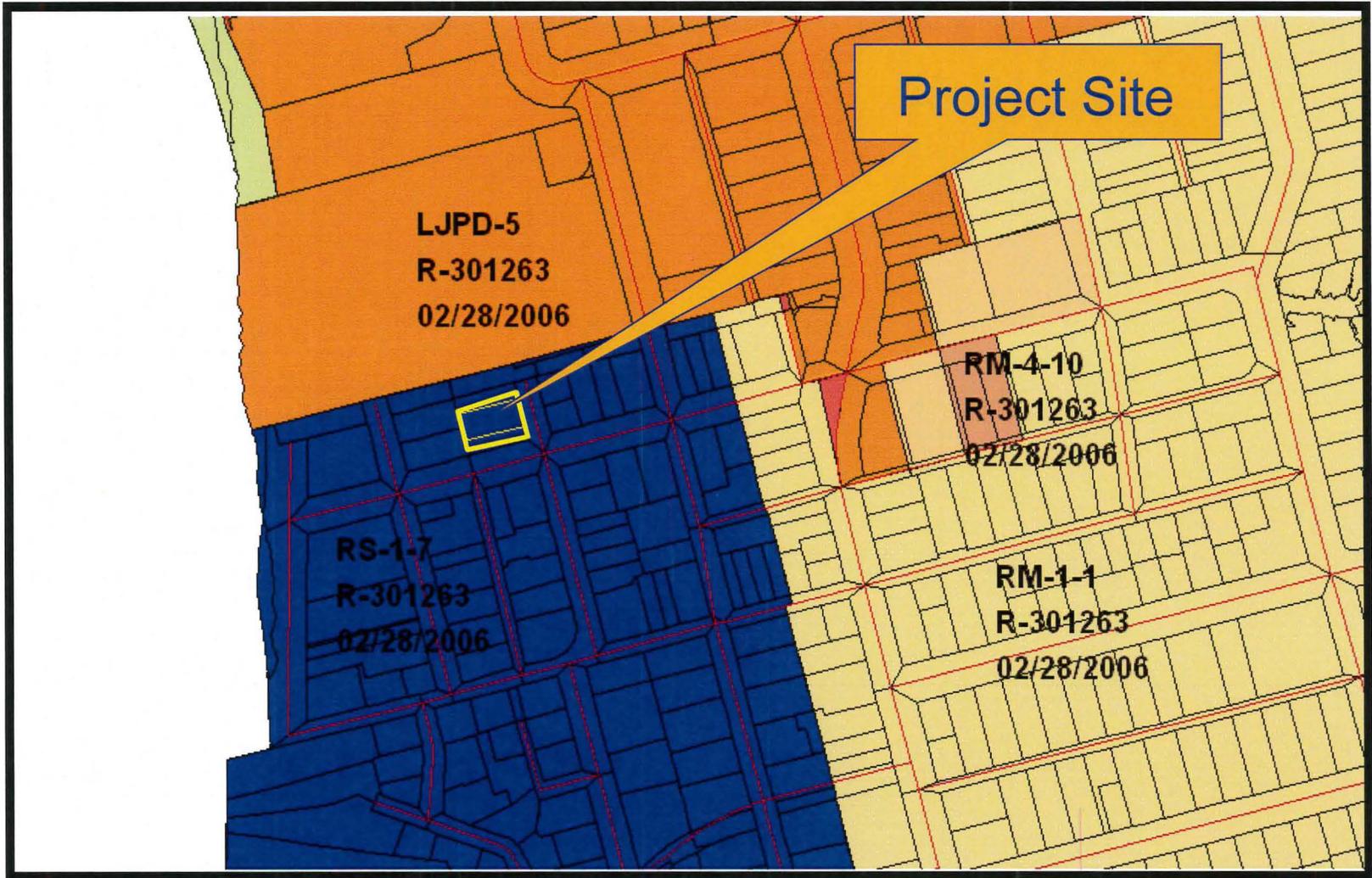




Aerial Photograph

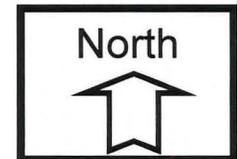
Clausen Residence - Project No. 404187
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Zoning Map

Clausen Residence - Project No. 404187
 7404 Monte Vista Avenue

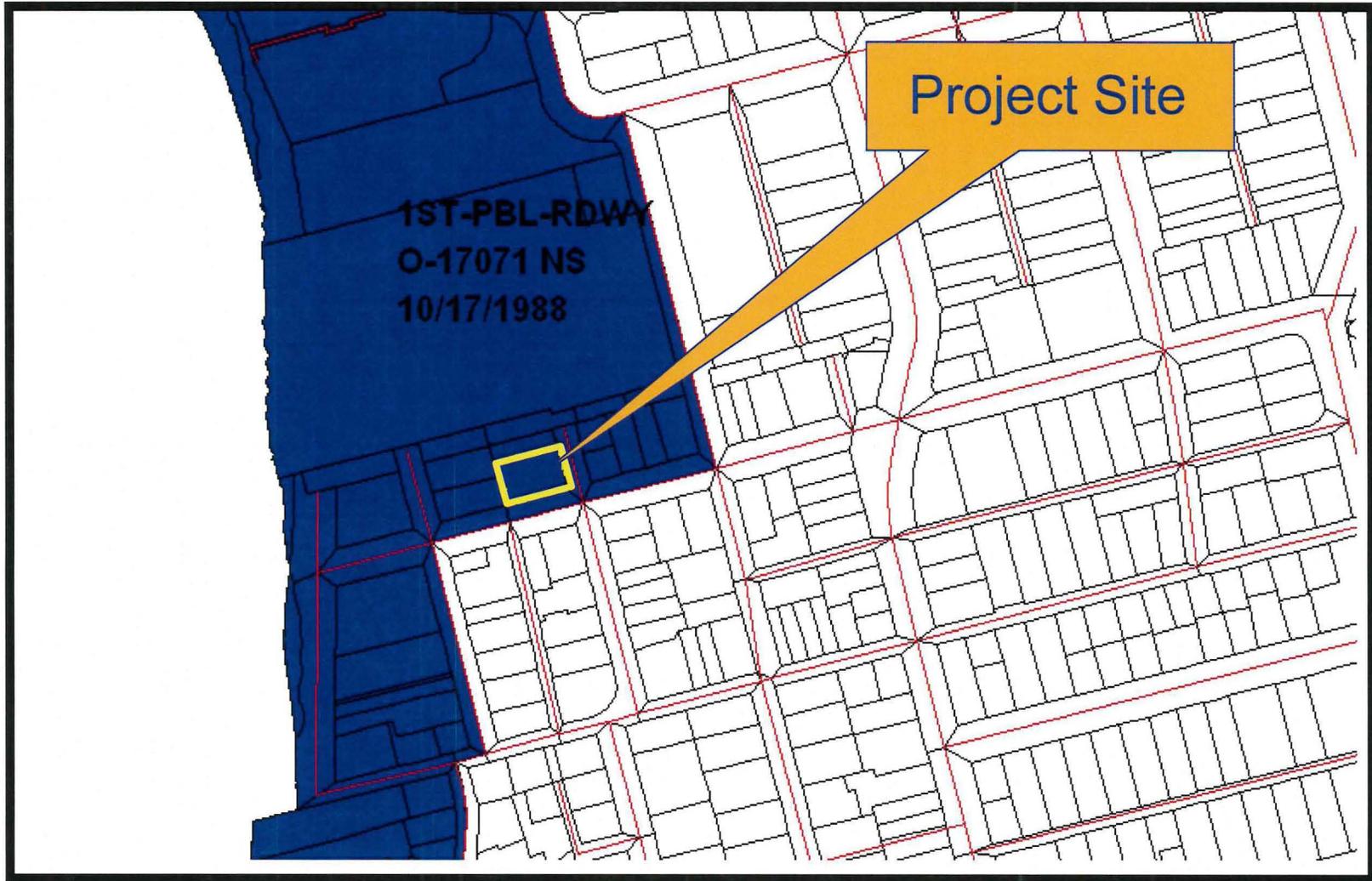




La Jolla Community Plan Land Use Map

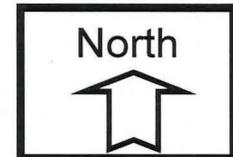
Clausen Residence - Project No. 404187
 7404 Monte Vista Avenue





First Public Roadway Map

Clausen Residence - Project No. 404187
7404 Monte Vista Avenue



PROJECT DATA SHEET

PROJECT NAME:	Clausen Residence - Project No. 404187	
PROJECT DESCRIPTION:	The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1, 068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit on a 0.172-acre site.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Density Residential (5-9 dwelling units per acre)	
<u>ZONING INFORMATION:</u>		
<p style="text-align: center;">ZONE: RS-1-7</p> <p style="text-align: center;">HEIGHT LIMIT: 24/30-feet</p> <p style="text-align: center;">LOT SIZE: 5,000 square feet</p> <p style="text-align: center;">FLOOR AREA RATIO: 59 percent</p> <p style="text-align: center;">LOT COVERAGE: NA</p> <p style="text-align: center;">FRONT SETBACK: 15 feet</p> <p style="text-align: center;">SIDE SETBACK: 4 feet</p> <p style="text-align: center;">STREETSIDE SETBACK: 10 feet</p> <p style="text-align: center;">REAR SETBACK: 13 feet</p> <p style="text-align: center;">PARKING: 2</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Density Residential; RS-1-7	Single Family Residence
SOUTH:	Low Density Residential; RS-1-7	Single Family Residence
EAST:	Low Density Residential; RS-1-7	Single Family Residence
WEST:	Low Density Residential; RS-1-7	Single Family Residence
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On April 2, 2015, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the project.	

**STORM WATER QUALITY NOTES
CONSTRUCTION BMP'S**

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 1032(2) NFBES NO. CA820213 (HTTP://WWW.SURCB.CA.GOV/RQCB9/PROGRAMS/SD_STORMWATER.HTML) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE (HTTP://CLERK.DOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF/DMV.OBJECTID/05004B18D00C43)

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S

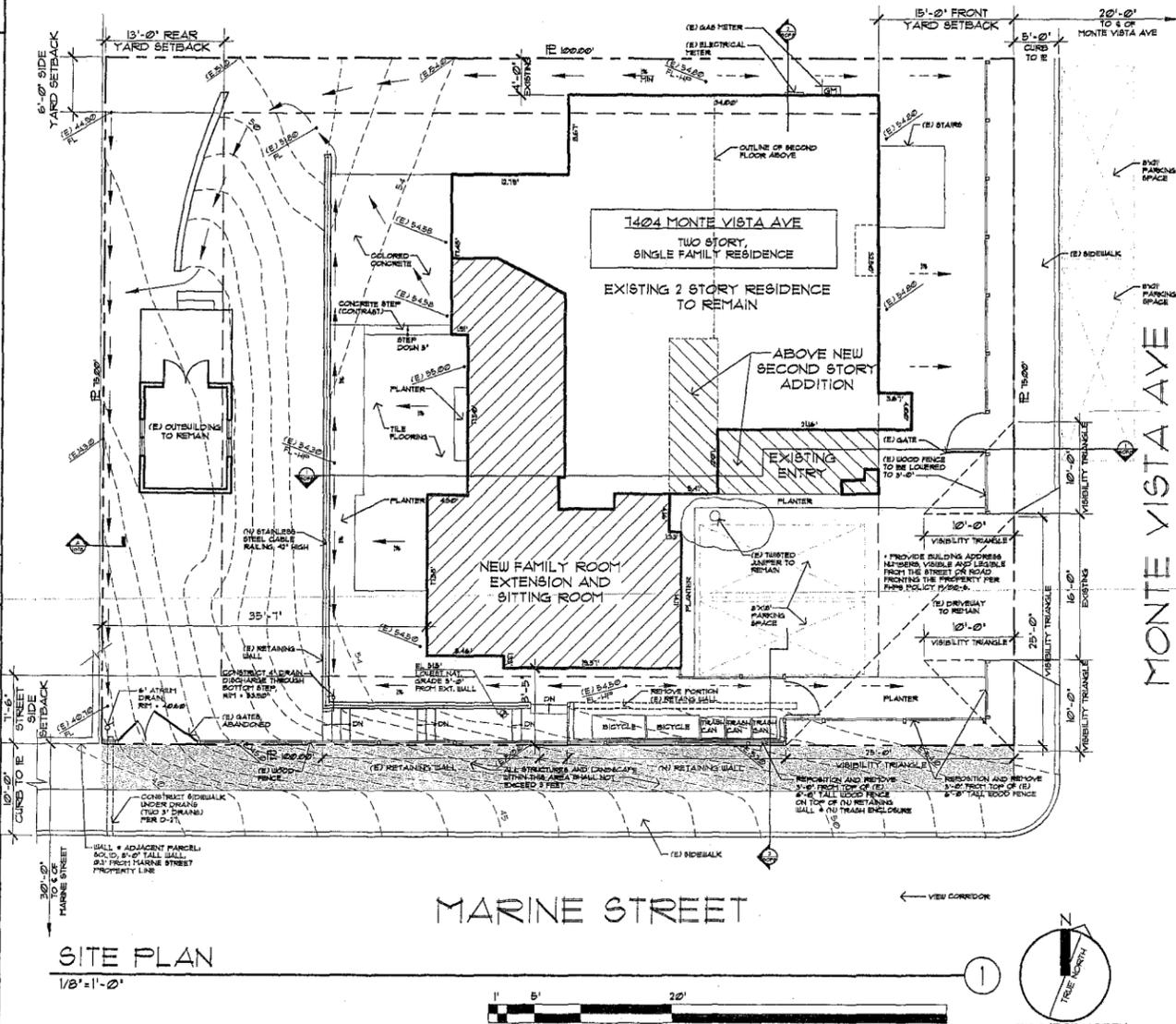
- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND / OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 46% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION / SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

NOTES

- NO NEW GRADING PROPOSED, (E) GRADING & DRAINAGE TO REMAIN.
- EXCAVATION FOR NEW FOUNDATION AND NEW RETAINING WALL ONLY.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES. STORM WATER RUN-OFF SHALL BE DIRECTED TO THE PUBLIC RIGHT-OF-WAY.
- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.

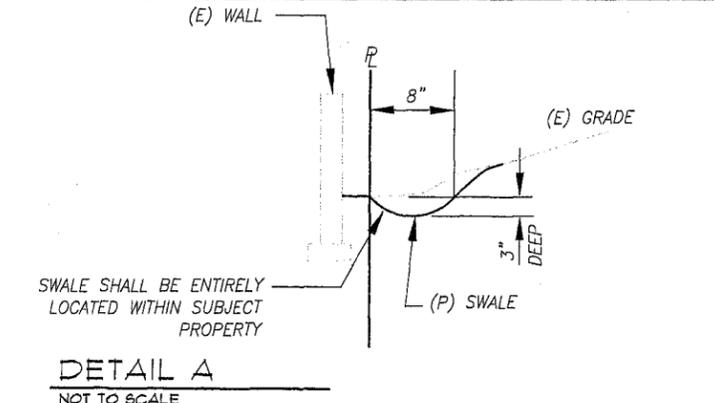
PROPOSED SUSTAINABLE FEATURES

- SOLAR PHOTOVOLTAIC SYSTEM SCALED AT 100% OF HOUSEHOLD POWER NEEDS AND ALSO POWERING TWO ELECTRIC CARS - 6.1KW PV SYSTEM SIZE (24 MODULES @280 WATTS EACH)
- SOLAR HYDRONICS SYSTEM SCALED TO MEET 100% OF HOUSEHOLD NEEDS.
- INCREASING VENTILATION FLOW IN STAIRWAY VENTILATION CHIMNEY (INCLUDING NIGHT-TIME COOLING IN THE SUMMER).
- RECYCLE GREY WATER FROM BATHROOM SINKS, SHOWERS AND WASHING MACHINE.
- VOICE ACTIVATED FAUCET VALVES IN BATHROOMS, KITCHEN AND LAUNDRY ROOM FOR MAXIMIZING WATER CONSERVATION.



GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:	0.03 ACRES	% OF TOTAL SITE:	20%
AMOUNT OF CUT:	5 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	4.5 FEET
AMOUNT OF FILL:	5 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	0.3 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
MAXIMUM HEIGHT OF CUT SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
AMOUNT OF IMPORT/EXPORT SOIL:	0 CUBIC YARDS		
RETAINING / CRIB-WALLS:	LENGTH 33 FEET	MAXIMUM HEIGHT:	4.5 FEET



ZONING INFORMATION

ASSESSOR'S PARCEL NUMBER: 391-012-05

PROJECT LOCATION: 1404 MONTE VISTA AVE LA JOLLA, CA 92031

LEGAL DESCRIPTION: LOTS 2, 3 AND 4 OF LA JOLLA BEACH, BLOCK 3, IN THE CITY OF SAN DIEGO, ACCORDING TO THE MAP THEREOF NO. 85312 FILED IN THE OFFICE OF SAID, SAN DIEGO COUNTY, APRIL 28, 1923

PROJECT DESCRIPTION: UPDATE AND ENLARGE EXISTING SINGLE FAMILY RESIDENCE, INCLUDING: FAMILY ROOM & KITCHEN EXPANSION, LAUNDRY ROOM UPGRADES. ADD NEW SITTING AREA, STORAGE, OFFICE AND INTERNAL STAIRS. UPDATE ELECTRICAL TO ACCOMMODATE SPACES. ADD OUTDOOR AMENITIES; ROOF TERRACE, TRASH ENCLOSURE, RETAINING WALLS.

YEAR CONSTRUCTED: 1948

PROCESSING REQUIRED: Coastal Development Permit
Construction Permits

ZONEL: RS-1-1
Coastal Applicable
Coastal Height Limit
First Public Roadway Overlay

EASEMENTS: No easements found

CODE: 2013 California Building Code,
2013 California Electrical Code,
2013 California Plumbing Code,
2013 California Mechanical Code and
2013 California Fire Code
2013 California Green Code
(as amended by City of San Diego Municipal Code)

OCCUPANCY: R-3 (Residence)

GEOLOGIC HAZARD CATEGORY: 53

CONSTRUCTION TYPE: V-N

FIRE SPRINKLER TYPE: N/A

STORIES: 2 Story

SOILS CONDITION: Previously Graded

BUILDING HEIGHT: Allowable 30 Feet

LOT SIZE: 1500 SF.

FLOOR AREA TABULATIONS:

EXISTING FLOOR AREA TABULATIONS:	
Main Level	1511 SF.
Upper Level	5693 SF.
Sub-total Existing	7204 SF.
PROPOSED FLOOR AREA TABULATIONS:	
Main Level	1183 SF.
Upper Level	2931 SF.
Sub-total Addition	10684 SF.
Total Existing + Proposed	3,1444 SF.

FLOOR AREA RATIO CALCULATIONS:

SITE AREA	1500 SF.
ALLOWABLE FAR = 4215 SF / 1500 SF.	0.51
EXISTING FAR = 7204 SF / 1500 SF.	0.21
PROPOSED FAR = 3,1444 SF. / 1500 SF.	0.41

PARKING:
Parking Criteria
Total number of parking spaces required by zone: 2 spaces
Total number of spaces provided on-site: 2 spaces

SETBACKS:

	Required	Proposed
Front Yard:	15'-0"	15'-0"
Side Yard (North):	6'-0"	4'-0"
Side Yard (South):	1'-0"	0'-0"
Rear Yard:	13'-0"	35'-0"

SHEET INDEX

- 1 OF 9 - TITLE SHEET / SITE PLAN
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- 4 OF 9 - UPPER LEVEL PLAN
- 5 OF 9 - ROOF PLAN
- 6 OF 9 - ELEVATIONS
- 7 OF 9 - ELEVATIONS
- 8 OF 9 - SECTIONS
- 9 OF 9 - STREET ELEVATION

PROJECT DIRECTORY

OWNER:
GUNES JACK AND LYNN CLAUSEN
1404 MONTE VISTA AVE
LA JOLLA, CALIFORNIA 92031

ARCHITECT:
DUCHARME ARCHITECTURE
LAURA DUCHARME CONROY, AIA
1142 HERSCHEL AVENUE, SUITE H
LA JOLLA, CALIFORNIA 92031
858-484-9129

LEGEND

- (N) XXXX SPOT ELEVATION-PROPOSED
- (E) XXXX SPOT ELEVATION-EXISTING
- PROPOSED DRAINAGE CHANNEL OR DRAINAGE PATTERN
- EXISTING DRAINAGE PATTERN TO REMAIN
- EXISTING STRUCTURE TO BE DEMOLISHED
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- NEW STRUCTURE ADDITION

DUCHARME ARCHITECTURES
LAURA DUCHARME CONROY AIA ARCHITECT
1142 HERSCHEL AVENUE SUITE H LA JOLLA CA 92031
PHONE 858-484-9129 FAX 858-484-9122

CLAUSEN RESIDENCE

1404 MONTE VISTA AVE
LA JOLLA, CA

DATE:
DECEMBER 22, 2014

JANUARY 28, 2015 - Full Submittal
MARCH 10, 2015 - Community Presentation
MARCH 17, 2015 - Community Presentation
APRIL 06, 2015 - Resubmittal

**TITLE SHEET/
SITE PLAN**

SCALE: 1/8" = 1'-0"

1 OF 9

PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

LEGEND

-  (E) WALL TO REMAIN
-  (E) WALL TO BE REMOVED
-  (E) DOOR TO BE REMOVED, UNDO TO RETAIN ON SITE FOR REUSE
-  (E) WINDOW TO BE REMOVED, UNDO TO RETAIN ON SITE FOR REUSE

EXISTING WALL CALCULATIONS

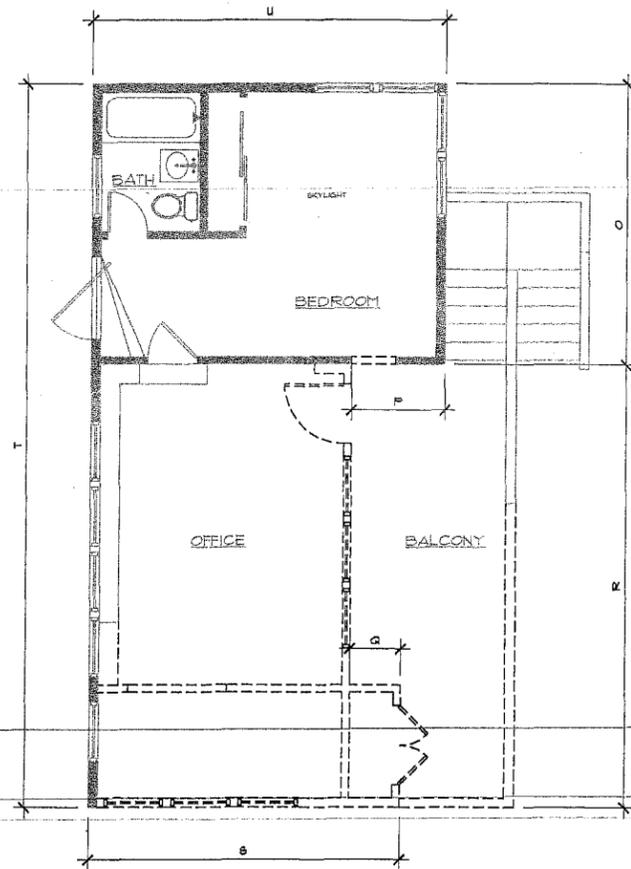
UPPER LEVEL			
	EXISTING	TO REMAIN	REMOVED
U	14'-2"	14'-2"	0
T	4'-9"	2'-6"	2'-3"
D	2'-7"	0	2'-7"
O	22'-4"	0	22'-4"
T	15'-9.5"	0	15'-9.5"
O	36'-6"	36'-6"	0
U	18'-0"	18'-0"	0
SUBTOTAL	114'-1.5"	71'-2"	42'-11.5"

EXISTING WALL CALCULATIONS

MAIN LEVEL			
	EXISTING	TO REMAIN	REMOVED
A	32'-6"	32'-6"	0
B	3'-8"	3'-8"	0
C	4'-0"	4'-0"	0
D	1'-0"	1'-0"	0
E	21'-2"	21'-2"	0
F	17'-6"	2'-8"	14'-10"
G	1'-8"	0	1'-8"
H	23'-10"	0	23'-10"
I	1'-0"	0	1'-0"
J	6'-4"	0	6'-4"
K	9'-2"	9'-2"	0
L	8'-8"	8'-8"	0
M	12'-9"	12'-9"	0
N	34'-0"	34'-0"	0
SUBTOTAL	189'-3"	135'-5"	53'-8"

EXISTING WALL CALCULATIONS

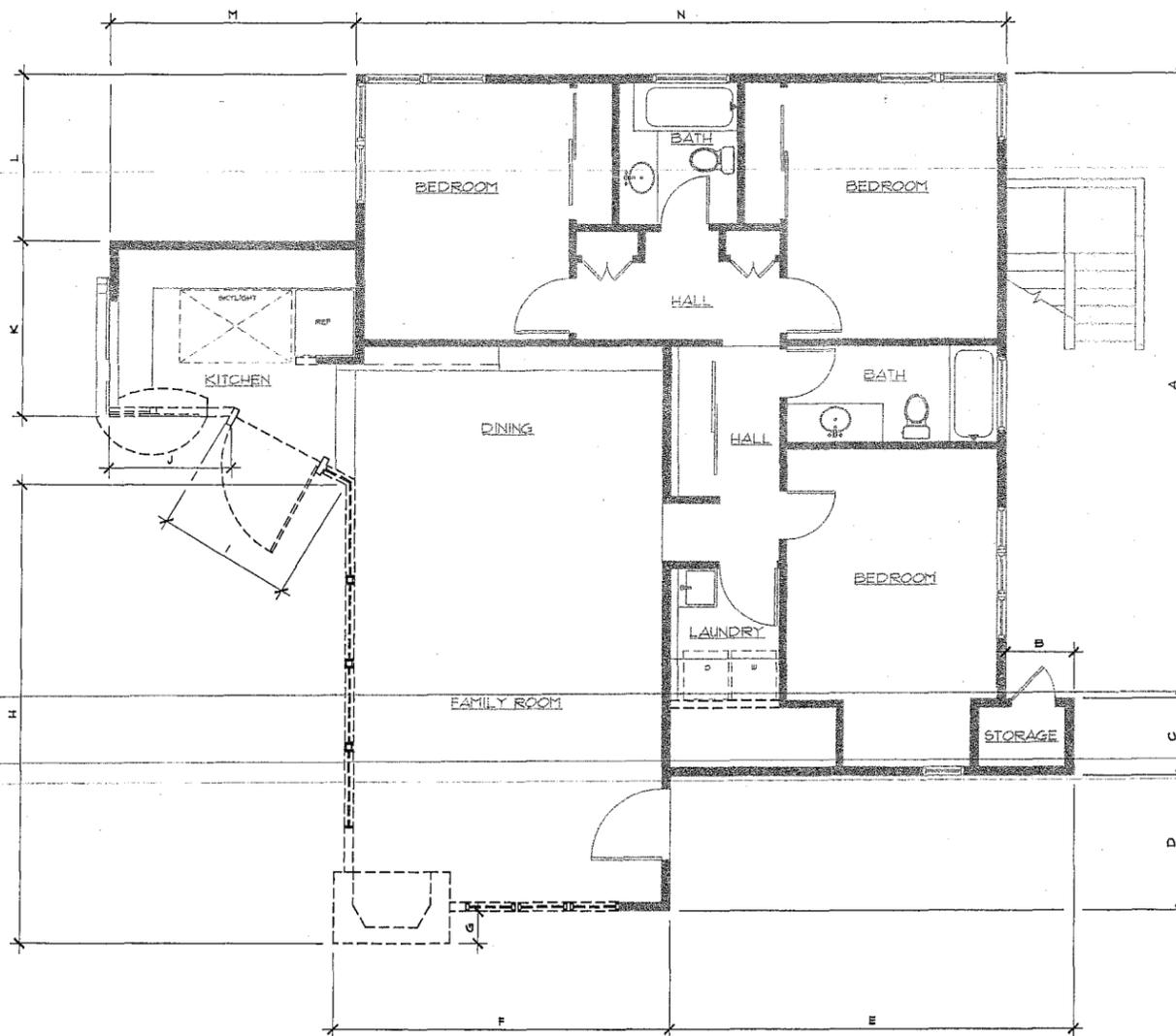
TOTAL			
	EXISTING	TO REMAIN	REMOVED
MAIN LEVEL	189'-3"	135'-5"	53'-8"
UPPER LEVEL	114'-1.5"	71'-2"	42'-11.5"
TOTAL	303'-4.5"	206'-7"	96'-1.5"
		(68% REMAINING)	(32% REMOVED)



UPPER LEVEL DEMO PLAN

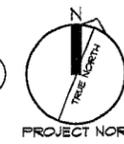
1/4" = 1'-0"

2



MAIN LEVEL DEMO PLAN

1/4" = 1'-0"



DUCHARME ARCHITECTURE
 LAURE DUCHARME CONROY ATA ARCHITECT
 1742 HERZOGELAVENUE SUITE H LA JOLLA CA 92037
 PHONE 858.454.2222 FAX 858.454.6522

CLAUSEN RESIDENCE

1404 MONTE VISTA AVE
 LA JOLLA, CA

DATE:

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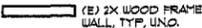
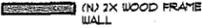
APRIL 06, 2015 - Resubmittal

DEMO PLANS

SCALE: 1/4" = 1'-0"

PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

LEGEND

-  (E) 2X WOOD FRAME WALL, TYP, UNO.
-  (N) 2X WOOD FRAME WALL.



DU CHARME ARCHITECTURE
 LAURA DU CHARME CORRODT AIA ARCHITECT
 1742 HERSCHEL AVENUE SUITE H LA JOLLA, CA 92037
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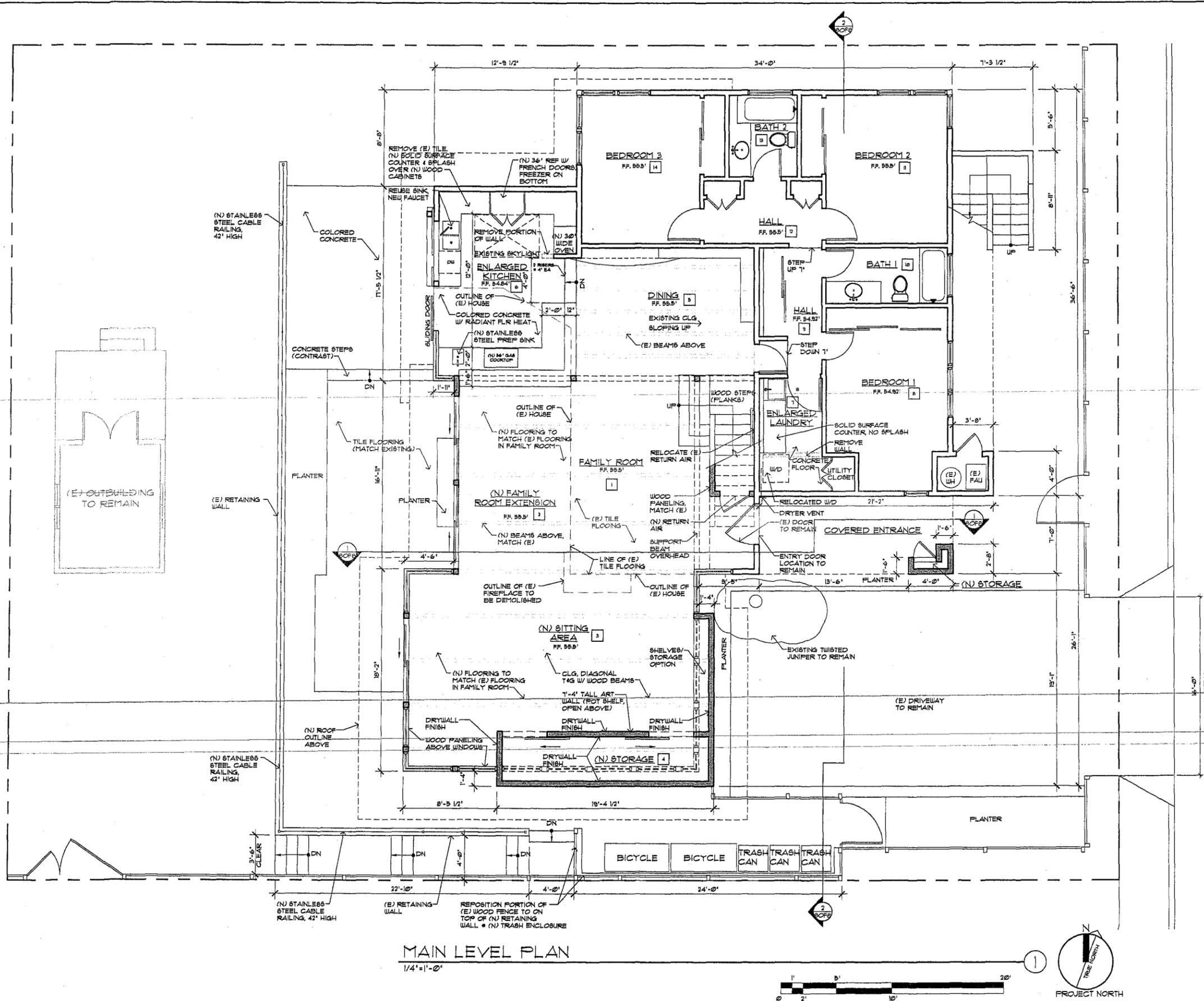
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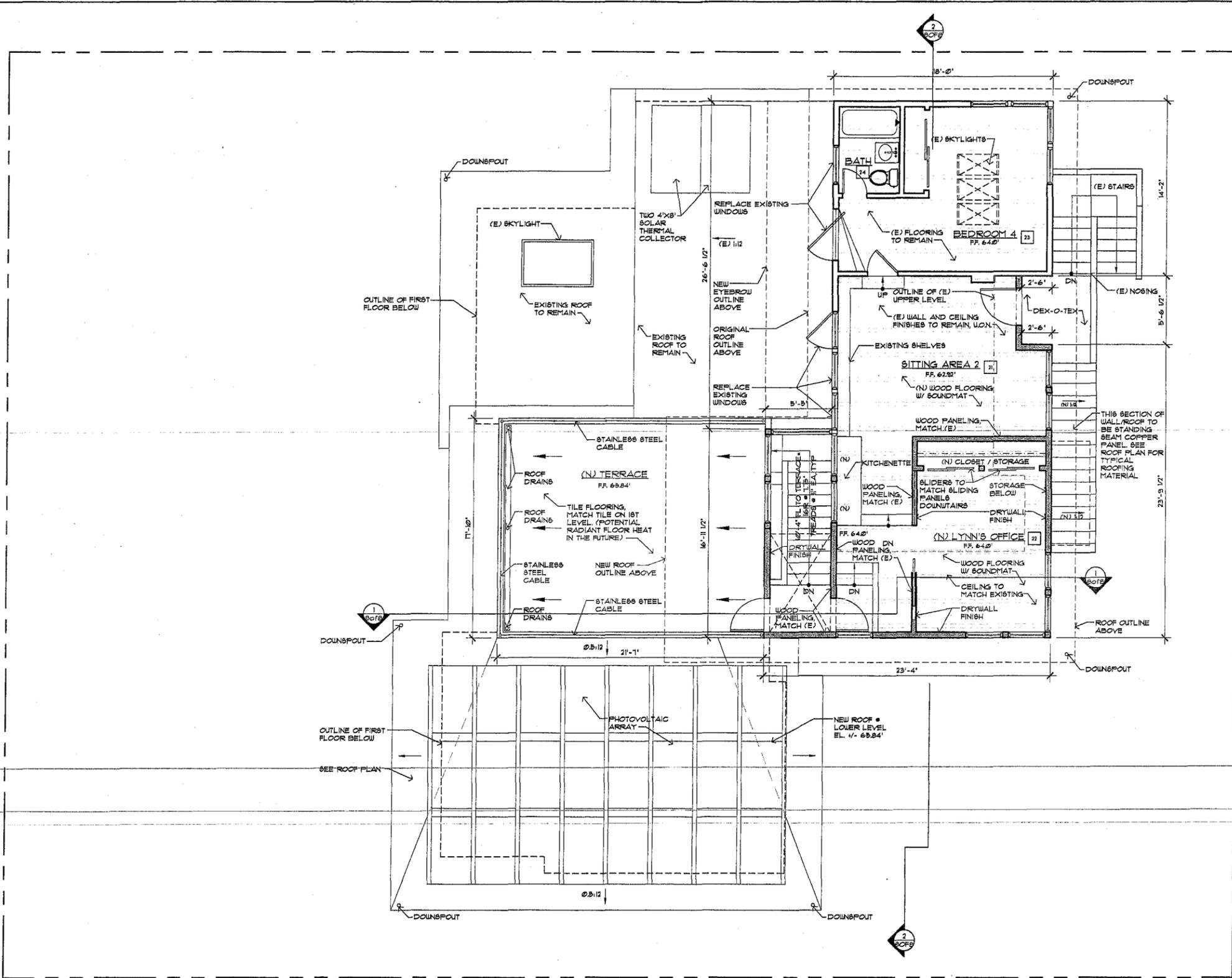
MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"



MAIN LEVEL PLAN
 1/4" = 1'-0"





PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 9. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.

LEGEND

- (E) 2X WOOD FRAME WALL, TYP. UNO.
- (N) 2X WOOD FRAME WALL


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 1713 HERMOND AVE SUITE 100, SAN DIEGO, CA 92107
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CLAUSEN RESIDENCE

1404 MONTE VISTA AVE
LA JOLLA, CA

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UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

UPPER LEVEL PLAN

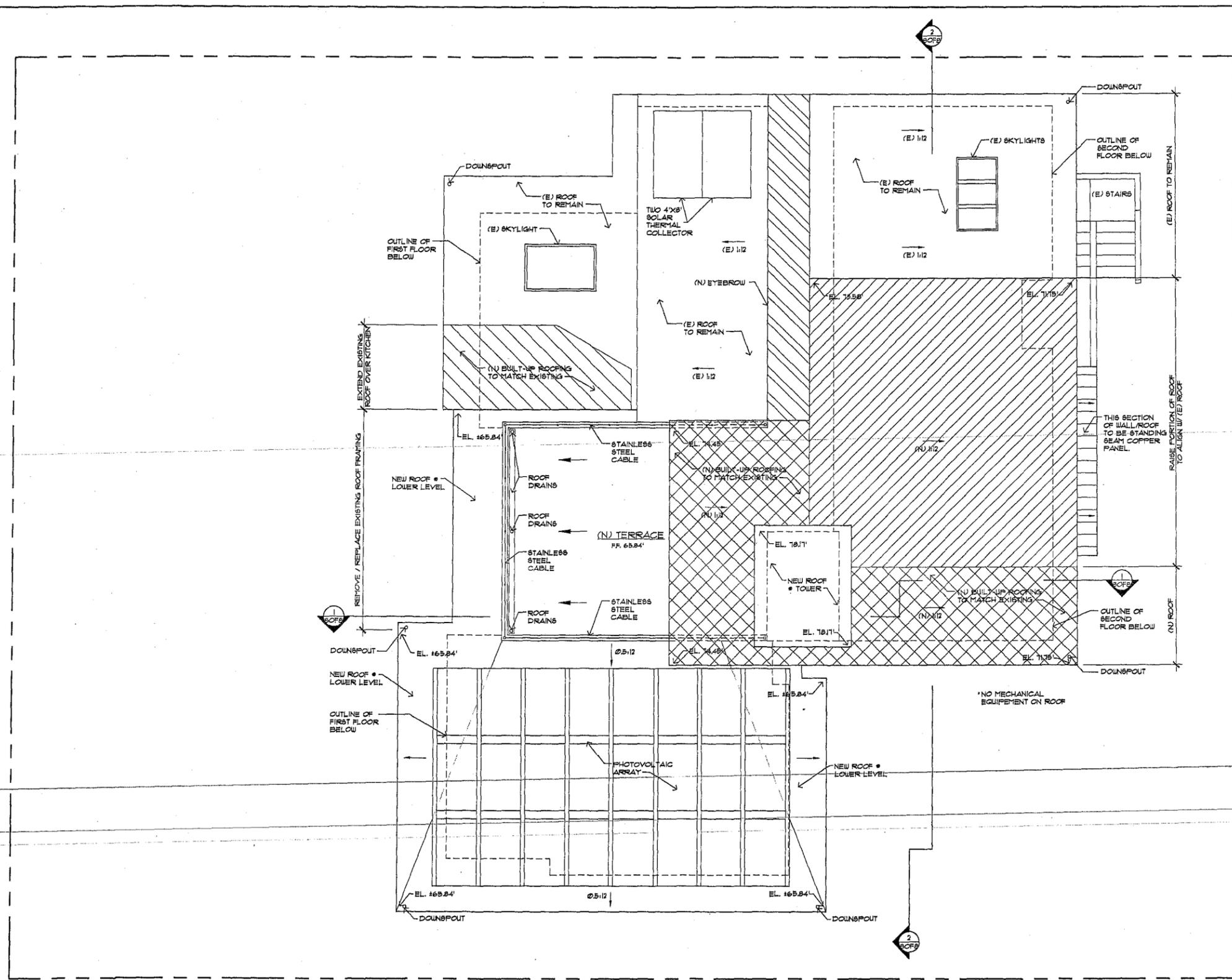
1/4" = 1'-0"



PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

LEGEND

-  RAISE PORTION OF ROOF TO ALIGN W/ (E) ROOF
-  (N) ROOF TO ABUT RAISED ROOF
-  (N) EYEBROW
-  EXTEND (E) ROOF OVER KITCHEN



DUCHARME ARCHITECTURE
 LARA DUCHARME GONZALEZ AIA ARCHITECT
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CLAUSEN RESIDENCE

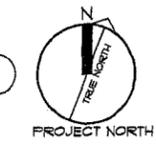
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- DATE:
- DECEMBER 22, 2014
 - JANUARY 28, 2015 - Full Submittal
 - MARCH 10, 2015 - Community Presentation
 - MARCH 17, 2015 - Community Presentation
 - APRIL 06, 2015 - Resubmittal

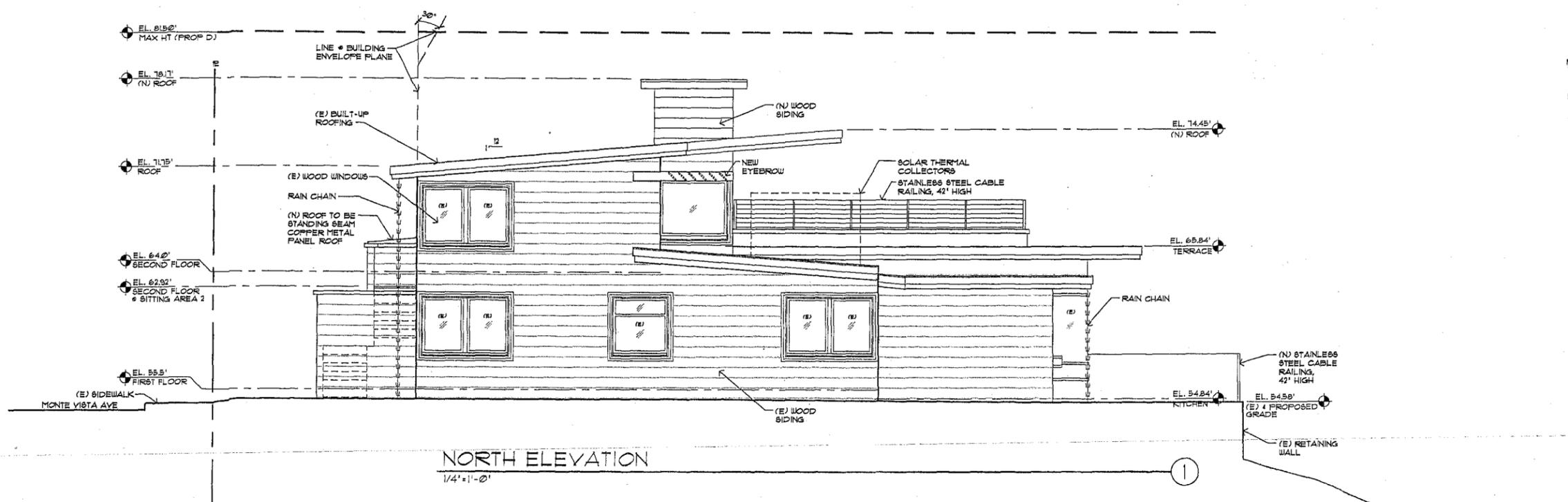
ROOF PLAN

SCALE: 1/4" = 1'-0"

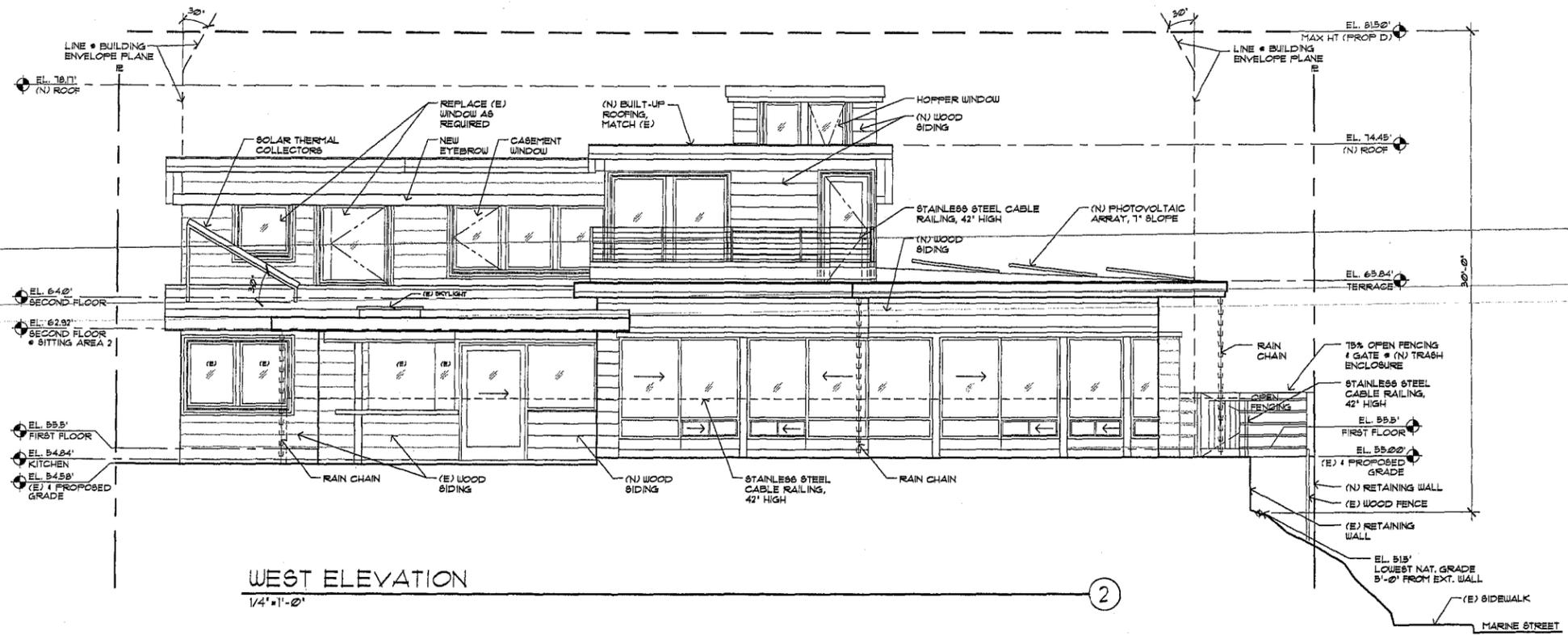
ROOF PLAN
 1/4" = 1'-0"



PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 9. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



NORTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

DUCHARME ARCHITECTURE
LAVIA DUCHARME CONROY AIA ARCHITECT
1742 HERAZUEL AVENUE SUITE 100 LA JOLLA, CA 92037
PHONE 619.454.3233 FAX 619.454.3232

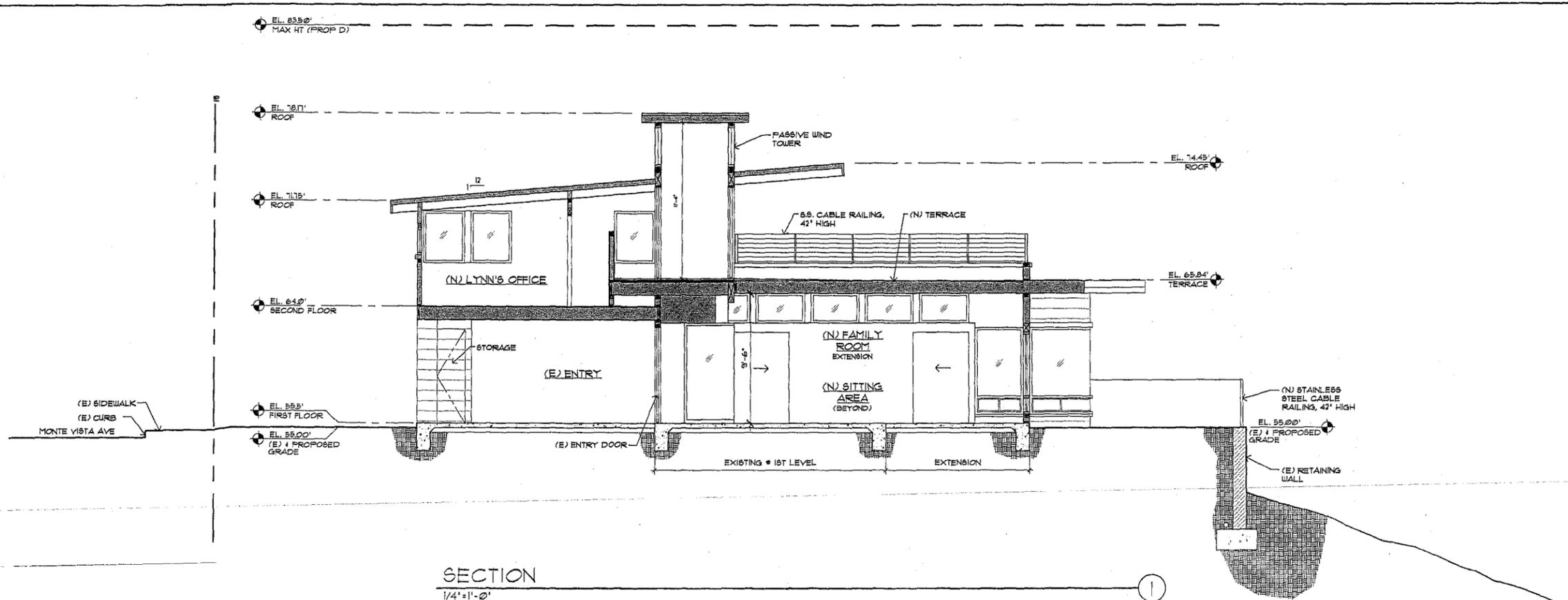
CLAUSEN RESIDENCE
1404 MONTE VISTA AVE
LA JOLLA, CA

DATE:
DECEMBER 22, 2014
JANUARY 28, 2015 - Full Submittal
MARCH 10, 2015 - Community Presentation
MARCH 17, 2015 - Community Presentation
APRIL 06, 2015 - Resubmittal

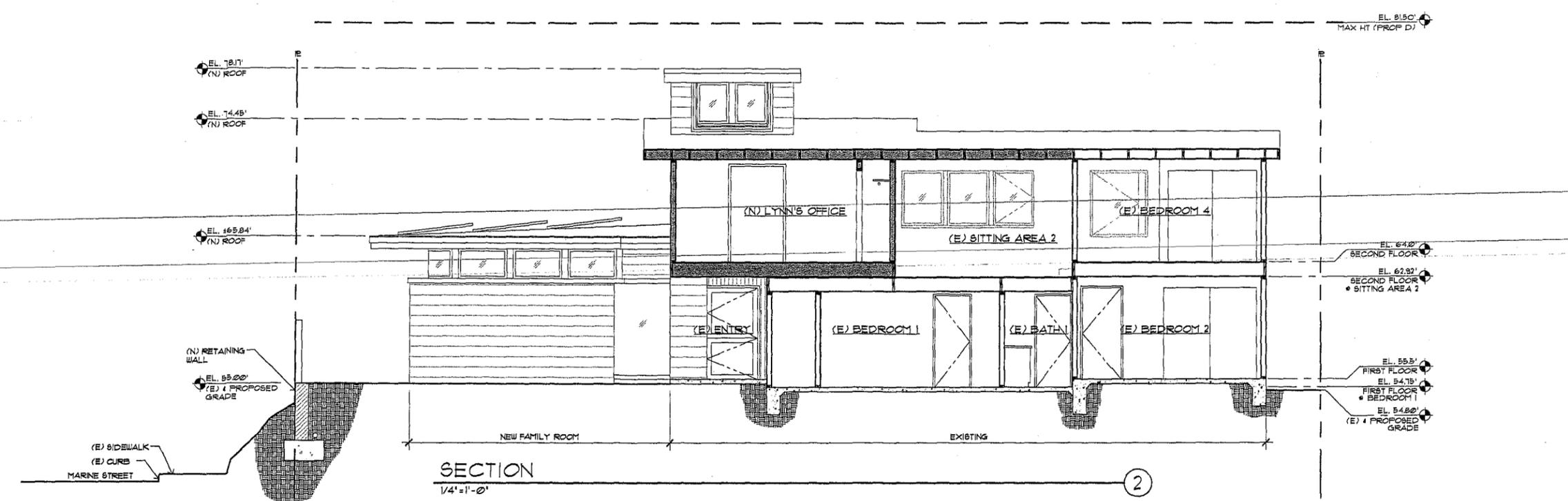
ELEVATION
SCALE: 1/4" = 1'-0"
7 of 9

ATTACHMENT 7

PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



SECTION
1/4" = 1'-0"



SECTION
1/4" = 1'-0"

DUCHARME ARCHITECTURE
LAURA DUCHARME CONRADY AIA ARCHITECT
1742 HENRIKSEN AVENUE SUITE M LA JOLLA CA 92037
PHONE 858.456.2222 FAX 858.454.8802

CLAUSEN RESIDENCE
1404 MONTE VISTA AVE
LA JOLLA, CA

DATE:
DECEMBER 22, 2014
JANUARY 20, 2015 - Full Submittal
MARCH 10, 2015 - Community Presentation
MARCH 17, 2015 - Community Presentation
APRIL 06, 2015 - Resubmittal

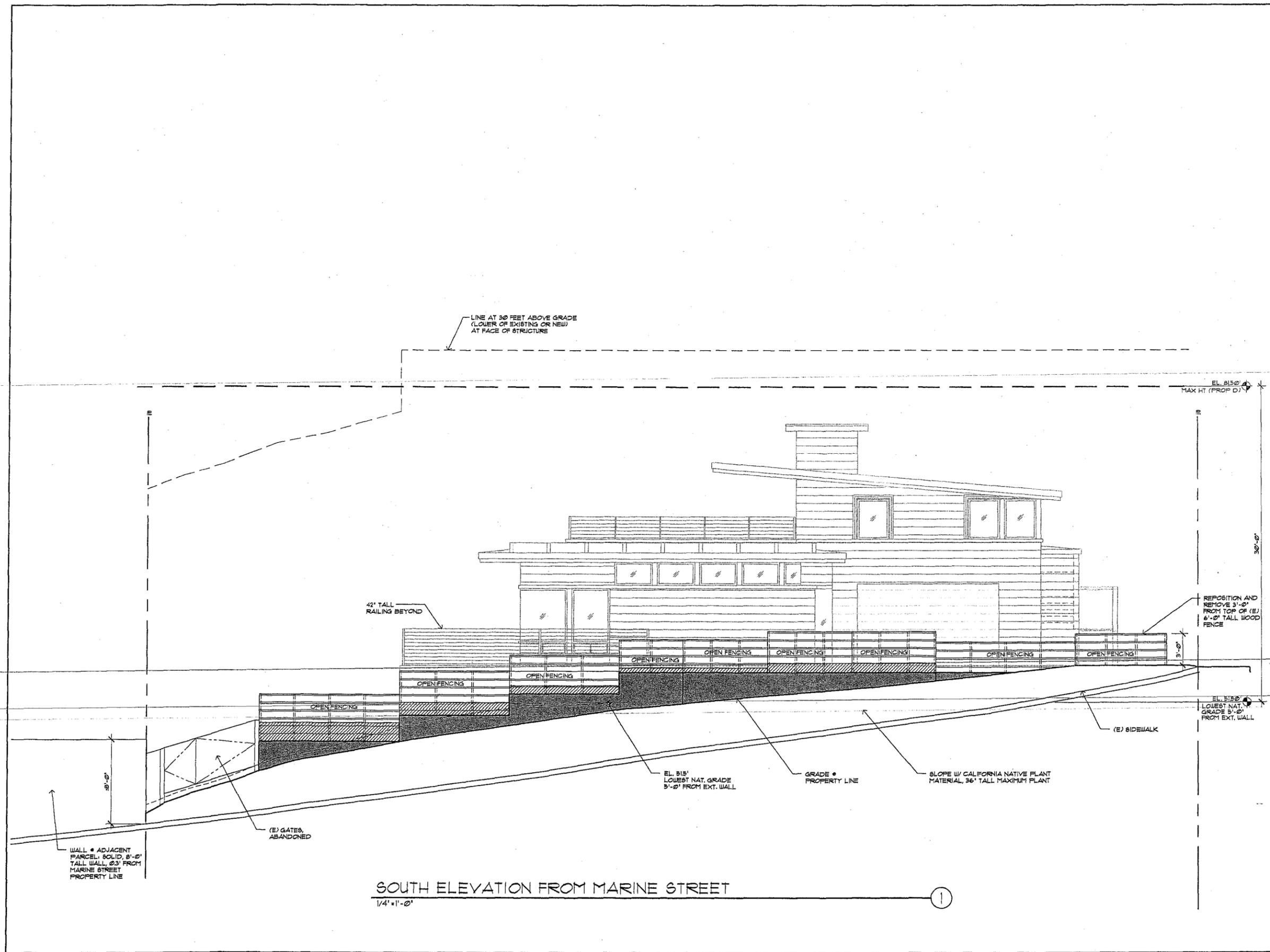
SECTIONS
SCALE: 1/4" = 1'-0"
8 OF 9

ATTACHMENT 7

PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.

LEGEND

-  18" OPEN FENCING
-  SOLID FENCING
-  RETAINING WALL




 DU CHARNE ARCHITECTURE
 LARA DU CHARNE CONROY AIA ARCHITECT
 1743 HERSCHEL AVENUE SUITE B LA JOLLA CA 92037
 PHONE 858-454-5257 FAX 858-454-2222

CLAUSEN RESIDENCE
 7404 MONTE VISTA AVE
 LA JOLLA, CA

DATE:
 DECEMBER 22, 2014
 JANUARY 28, 2015 - Full Submittal
 MARCH 10, 2015 - Community Presentation
 MARCH 17, 2015 - Community Presentation
 APRIL 20, 2015 - Resubmittal

STREET ELEVATION

SCALE: 1/4" = 1'-0"

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005509

COASTAL DEVELOPMENT PERMIT NO. 1417146
CLAUSEN RESIDENCE - PROJECT NO. 404187
 HEARING OFFICER

This Coastal Development Permit No. 1417146 is granted by the Hearing Officer of the City of San Diego to the JACK L. CLAUSEN and LYNN S. CLAUSEN, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0708. The 0.172-acre site is located at 7404 Monte Vista Avenue in the RS-1-7 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, the First Public Roadway, the Parking Impact Overlay Zone (Coastal and Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Council District 1. The project site is legally described as: Lots 2, 3, and 4 in Block 3 of La Jolla Beach, in the City of San Diego, State of California, according to Map thereof No. 893-1/2, filed in the Office of the County Recorder of San Diego County, April 28, 1903.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the additions and remodel of an existing single-family dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 10, 2015, on file in the Development Services Department.

The project shall include:

- a. A 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit on a 0.172-acre site;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Construction of associated site improvements (i.e. hardscape and site walls).
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____, 2018.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall remove the portions of the existing fence within the driveway access visibility area triangles, that exceed three feet in height, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

19. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.

20. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

21. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

22. Landscaping may be permitted within the view corridor along Marine Street provided such improvements do not significantly obstruct public views of the ocean. Landscaping shall be planted and maintained at no higher than 3 feet to preserve public views.

23. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 10, 2015, and Resolution No. HO-_____.

Permit Type/PTS Approval No.: CDP No. 1417146
Date of Approval: June 10, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

JACK L. CLAUSEN and LYNN S. CLAUSEN,
Owner/Permittee

By _____

Jack L. Clausen

JACK L. CLAUSEN and LYNN S. CLAUSEN,
Owner/Permittee

By _____

Lynn S. Clausen

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO. HO-_____
COASTAL DEVELOPMENT PERMIT NO. 1417146
CLAUSEN RESIDENCE - PROJECT NO. 404187

WHEREAS, JACK L. CLAUSEN and LYNN S. CLAUSEN, Owner and Permittee, filed an application with the City of San Diego for a permit a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1417146), on portions of a 0.172-acre site;

WHEREAS, the project site is located at 7404 Monte Vista Avenue in the RS-1-7 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, the First Public Roadway, the Parking Impact Overlay Zone (Coastal and Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Council District 1;

WHEREAS, the project site is legally described as: Lots 2, 3, and 4 in Block 3 of La Jolla Beach, in the City of San Diego, State of California, according to Map thereof No. 893-1/2, filed in the Office of the County Recorder of San Diego County, April 28, 1903;

WHEREAS, on June 10, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1417146 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on May 6, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Article 19, Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 10, 2015.

FINDINGS:

I. Coastal Development Permit - Section 126.0708(a)

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The 0.172-acre site is located at 7404 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue. The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 345 feet from the Pacific Ocean and Marine Street at this location is designated as the first public roadway paralleling the sea. Marine Street is designated as a view corridor with views toward the Pacific Ocean and the proposed project. Complies with the street side setback requirement along Marine Street which preserves and enhance the framed view down the public right-of-way looking west. In addition, Marine Street contains a physical accessway in the form of a stairway from the public right-of-way to the tide pools; however, this access is not adjacent to the property and the development would not encroach upon the existing physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The project proposes a maximum building height of 23 feet 2 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ). The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development has been designed to meet the development regulations of the underlying zone and would enhance and protect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The 0.172-acre site is located at 7404 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue. The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 345 feet from the Pacific Ocean and Marine Street at this location is designated as the first public roadway paralleling the sea. The

property is approximately 40 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). Therefore, it has been determined that the project does not contain environmentally sensitive lands and would not adversely affect these resources.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 7404 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue, in the RS-1-7 Zone within the LJCP and Local Coastal Program Land Use Plan. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The LJCP designates the proposed project site for Low Density Residential land use at 5-9 dwelling units per acre (DU/AC). The project site, occupying 0.172-acres, could accommodate one dwelling unit based on the underlying zone and one- to two-dwelling unit based on the community plan.

The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 345 feet from the Pacific Ocean and Marine Street at this location is designated as the first public roadway paralleling the sea. Marine Street is designated as a view corridor with views toward the Pacific Ocean and the proposed project. Complies with the street side setback requirement along Marine Street which preserves and enhance the framed view down the public right-of-way looking west. In addition, Marine Street contains a physical accessway in the form of a stairway from the public right-of-way to the tide pools; however, this access is not adjacent to the property and the development would not encroach upon the existing physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The site is approximately 40 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation

Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103. The project proposes a maximum building height of 23 feet 2 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the CHLOZ.

The Residential Element of the LJCP contains policies for new development in order to avoid extreme and intrusive changes to the residential scale of the neighborhood, especially between new and older structures. The plan recommends that bulk and scale be controlled through the application of development regulations, such as setbacks and building height. The plan also recommends that visual relief, such as offsetting planes, articulation, and variations in front setbacks, be applied to provide a transition in scale between surrounding development. The existing residences immediately south and east of the site are one-story structures, however, the majority of the other homes along the block and within the immediate vicinity are two to three-stories. The project complies with the maximum allowable height of the zone, and complies with the required setbacks. In addition, the project provides articulation along the facades, architectural projections, a varied roof line, and uses of wood siding. These features aid in reducing perceived bulk and scale and are an adequate transition between the proposed development and the existing one-story homes.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 7404 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue. The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 345 feet from the Pacific Ocean and Marine Street at this location is designated as the first public roadway paralleling the sea. Marine Street is designated as a view corridor with views toward the Pacific Ocean and the proposed project. The proposed development complies with the street side setback requirement along Marine Street which preserves and enhances the framed view down the public right-of-way looking west. In addition, Marine Street contains a physical accessway in

the form of a stairway from the public right-of-way to the tide pools; however, this access is not adjacent to the property and the development would not encroach upon the existing physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. The public access to the water, public recreation facilities, or public parking facilities would not be adversely affected by the approval of this coastal development since the development would be located on private property. Therefore, this coastal development complies with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1417146 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1417146, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: June 10, 2015

Internal Order No. 24005509



P.O. BOX 889
• LA JOLLA •
CALIFORNIA 92038

LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 2 April 2015

Attention: Jeff Peterson, PM, City of San Diego

Project: Clausen Residence
7404 Monte Vista Ave
PN: 404187

Motion: To accept the recommendations of the DPR Committee that the findings **CAN** be made for a Coastal Development Permit and Site Development Permit to construct a 1,068 sq ft addition and modify site retaining walls to an existing residence located at 7404 Monte Vista Ave. **Vote: 14-0-1**

Submitted by: *Joseph LaCava*

4/02/2015

Joe LaCava, President
La Jolla Community Planning Association

Date

NOTICE OF EXEMPTION

(Check one or both)

To: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2422
 Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

PROJECT TITLE/ No.: CLAUSEN RESIDENCE CDP / 404187

SCH No.: N/A

PROJECT LOCATION-SPECIFIC: 7404 Monte Vista Avenue, San Diego, CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: COASTAL DEVELOPMENT PERMIT for a 1,068-square-foot addition and modifications of site retaining walls to an existing single-dwelling unit. The project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The 0.172-acre project site is located 7404 Monte Vista Avenue. The project site is designated low density residential use (5-9 dwelling units per acre) within the La Jolla Community Plan and Local Coastal Program; additionally, the project is within the RS-1-7 zone, the Coastal Height Limitation Overlay Zone, and the Coastal Overlay Zone (Appealable Area). (LEGAL DESCRIPTION: Lots 2, 3, and 4 of Block 3, Map No. 893112 3, San Diego County).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Jack Clausen, 7404 Monte Vista Avenue, La Jolla, CA 92037, (858) 454-5205.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
 CATEGORICAL EXEMPTION: 15303 (New Construction or Conversion of Small Structures).
 STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303 that allows for new construction, one single-family residence in a residential zone. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

- ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.


 Senior Planner
 SIGNATURE/TITLE

MAY 6, 2015
 DATE OF PROJECT APPROVAL

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: May 6, 2015

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24005509

PROJECT NAME/NUMBER: CLAUSEN RESIDENCE CDP / 404187

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 7404 Monte Vista Avenue, San Diego, CA

PROJECT DESCRIPTION: COASTAL DEVELOPMENT PERMIT for a 1,068-square-foot addition and modifications of site retaining walls to an existing single-dwelling unit. The project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The 0.172-acre project site is located 7404 Monte Vista Avenue. The project site is designated low density residential use (5-9 dwelling units per acre) within the La Jolla Community Plan and Local Coastal Program; additionally, the project is within the RS-1-7 zone, the Coastal Height Limitation Overlay Zone, and the Coastal Overlay Zone (Appealable Area). (LEGAL DESCRIPTION: Lots 2, 3, and 4 of Block 3, Map No. 893112 3, San Diego County).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction or Conversion of Small Structures)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303 that allows for new construction, one single-family residence in a residential zone. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER: Jeff Peterson
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5237

On May 6, 2015 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (May 20, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title CLAUSEN RESIDENCE Project No. For City Use Only 404187

Project Address:
7404 MONTE VISTA AVE LA JOLLA, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
LYNN CLAUSEN
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
7404 MONTE VISTA AVE
City/State/Zip:
LA JOLLA, CA 92037
Phone No: 858.459.7945 Fax No:
Signature: _____ Date:

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: _____ Fax No:
Signature: _____ Date:

Name of Individual (type or print):
JACK CLAUSEN
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
7404 MONTE VISTA AVE
City/State/Zip:
LA JOLLA, CA 92037
Phone No: _____ Fax No:
Jack Clausen 12/23/14
Signature: _____ Date:

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: _____ Fax No:
Signature: _____ Date:

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
 CLAUSEN RESIDENCE - PROJECT NO. 404187

Date	Action	Description	City Review Time (Working Days)	Applicant Response
1/28/2015	First Submittal	Project Deemed Complete	-	-
2/26/2015	First Assessment Letter		20 days	
4/6/2015	Second Submittal			26 days
4/17/2015	Second Assessment Completed	All issues resolved.	9 days	
5/6/2015	Environmental Determination	Exemption and NORA Posted (5/20/2015 end of appeal period)	13 days	
6/10/2015	Public Hearing	First available date	24 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	66 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		26 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	92 working days (133 calendar days)	