



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: July 22, 2015                      REPORT NO. HO 15-077

ATTENTION:                      Hearing Officer

SUBJECT:                      VERIZON WIRELESS VIVIENDA  
PTS PROJECT NUMBER: 393901

LOCATION:                      16550 Bernardo Heights Parkway, San Diego, CA 92128

APPLICANT:                      Verizon Wireless

### SUMMARY

Issue(s): Should the Hearing Officer approve a Conditional Use Permit for a Wireless Communication Facility located at 16550 Bernardo Heights Parkway in the Rancho Bernardo Community Planning area?

Staff Recommendation(s) – **APPROVE** Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1495317.

Community Planning Group Recommendation – The Rancho Bernardo Community Planning Board voted unanimously 9-0-0 to approve this WCF on May 21, 2015 (Attachment 10).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 22, 2015, and the opportunity to appeal that determination ended May 6, 2015 (Attachment 7).

### BACKGROUND

The proposed Wireless Communication Facility (WCF) is located on an existing church property at 16550 Bernardo Heights Parkway in the RS-1-14 zone. Surrounding uses include surrounded commercial to the west and residential to the east, north and south (Attachments 1, 2 and 3). Verizon is proposing twelve panel antennas and a microwave dish behind a cupola extension on the Hope United Methodist Church. Associated equipment will be located in a 384-square foot enclosure.

In accordance with Council Policy 600-43, this is a Preference Level 3 location and therefore, the applicant must provide an analysis evaluating potential lower level preference sites as part of the application review process. Within the Justification Analysis and the defined search ring, Verizon Wireless identified one Preference Level 1 location. This location is an existing clock tower at 16486 Bernardo Center Drive, less than ½ mile from the current site, however it already supports two carriers on the uppermost portion of the structure. As a result, there was not enough room to accommodate a third wireless carrier. As identified in the analysis, the current Hope United Methodist Church property was the only available and willing candidate capable of providing the necessary intended coverage reflected in the coverage map (Attachment 13).

## DISCUSSION

The project requires a Conditional Use Permit (CUP), Process Three, pursuant to the City of San Diego Land Development Code (LDC) Section 141.0420(e)(1). Additionally, a Neighborhood Development Permit (NDP) is required for the equipment enclosure which exceeds the maximum size of 250-square feet. The size of the equipment enclosure was necessary to accommodate an emergency back-up generator. The 384-square foot equipment enclosure will be located to the west of the Hope Christian Preschool and screened with landscaping. The enclosure includes a stucco finish and a partial tile roof designed to match the existing church architecture.

The applicant worked closely with the Rancho Bernardo Community Planning Board in designing the proposed parapet stealth solution to conceal the proposed antennas. More specifically, the Rancho Bernardo Community Planning Board requested that the parapet include the following features: a concrete “S” tile roof, 3” deep architectural recess element with foam band on two sides of the parapet, and matching wood fascia trim band (Attachment 8). The proposed Verizon WCF design outlined in this application is consistent with the City of San Diego’s General Plan which includes the following three elements: (1) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area; (2) Design facilities to be aesthetically pleasing and respectful of the neighborhood context; and (3) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

As illustrated in the photosimulations (Attachment 9), the design for the equipment enclosure and the rooftop parapet addition are also consistent with the LDC Section 141.0420(a)(2) which requires applicants to utilize all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

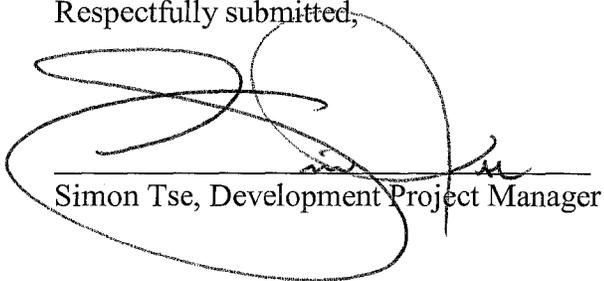
The Rancho Bernardo Planning Board voted unanimously to approve the project as designed. The proposed WCF is in compliance with Land Development Code Section 141.0420. The project complies with all applicable zoning requirements and has been determined to be

consistent with the General Plan. Staff recommends that the Hearing Officer approve Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1475317.

ALTERNATIVE

1. Approve Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1475317, with modifications.
2. Deny Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1475317, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

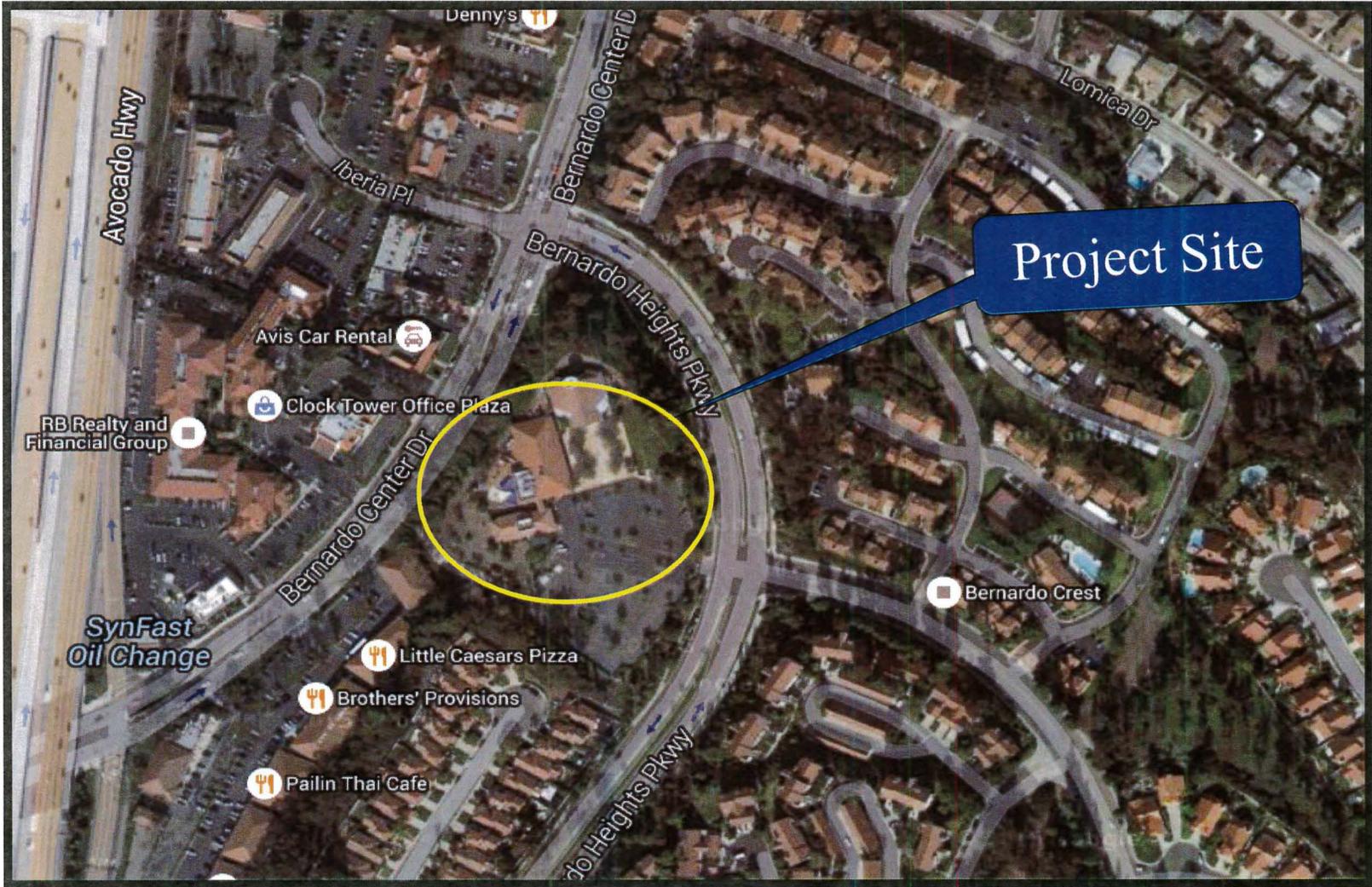
Respectfully submitted,



Simon Tse, Development Project Manager

Attachments:

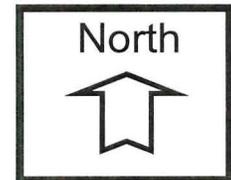
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Plans
9. Photosimulations
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Chronology
13. Technical Analysis
14. Photo Survey



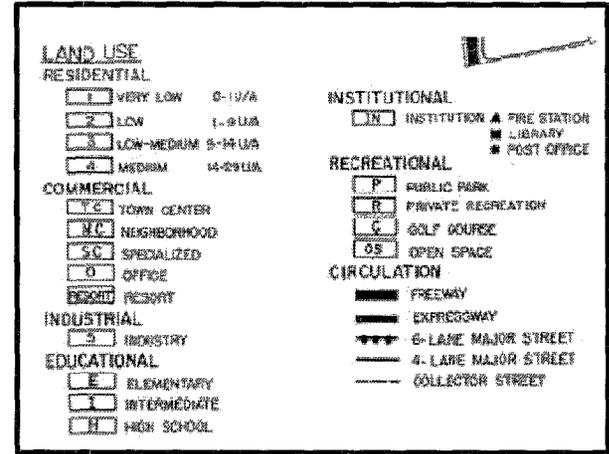
## Aerial Photo

Verizon Wireless Vivienda

16550 Bernardo Heights Parkway, San Diego, CA 92128



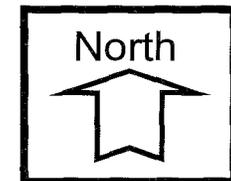
Project Site

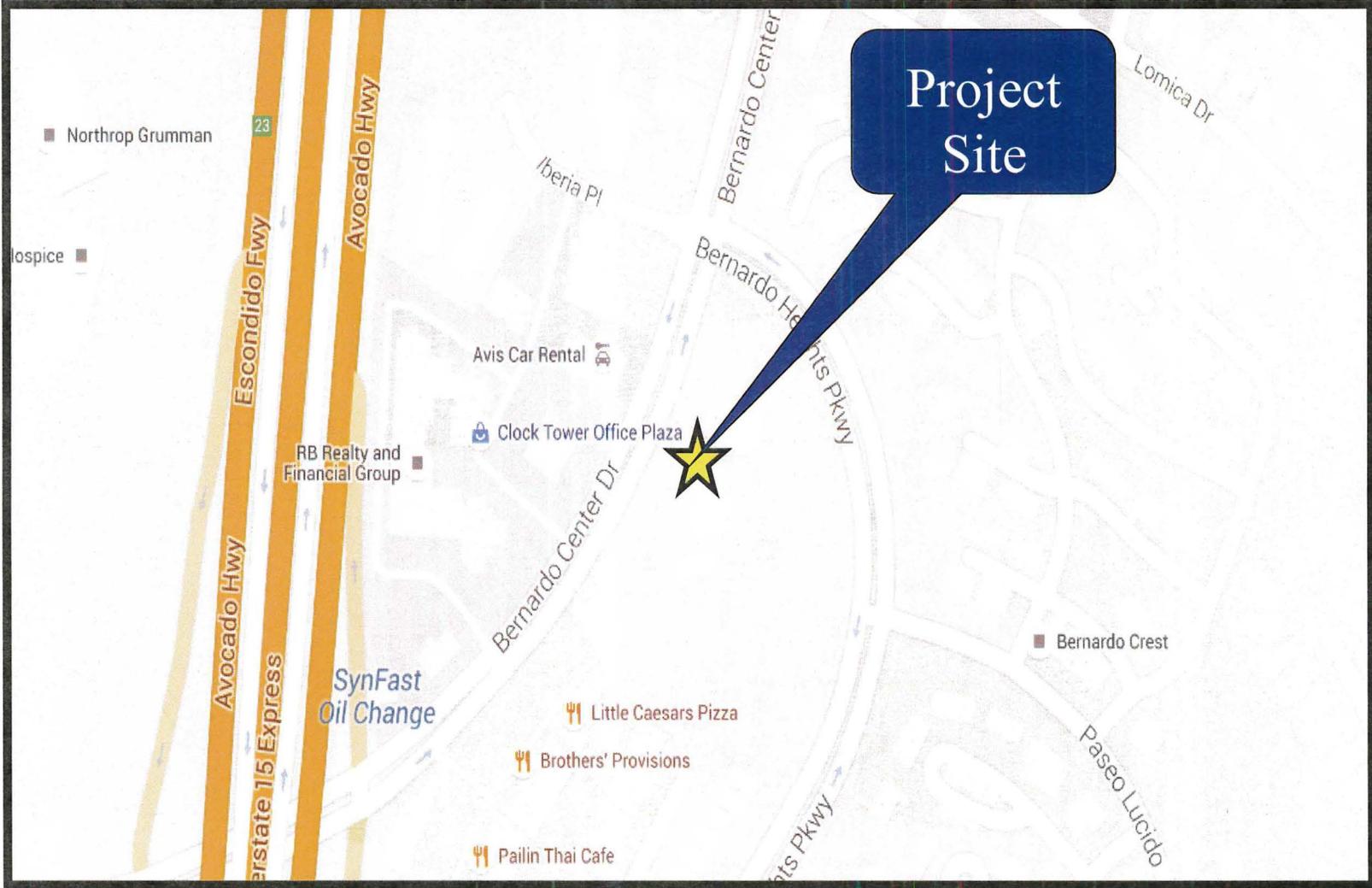


# Community Land Use Map (Rancho Bernardo)

Verizon Wireless Vivienda

16550 Bernardo Heights Parkway, San Diego, CA 92128





# Project Location Map

**Verizon Wireless Vivienda**  
16550 Bernardo Heights Parkway, San Diego, CA 92128



## PROJECT DATA SHEET

|   |   |                          |
|---|---|--------------------------|
| <b>PROJECT NAME:</b>                            | Verizon Wireless Vivienda   |                          |
| <b>PROJECT DESCRIPTION:</b>                     | Installation of a new Wireless Communication Facility that consists of twelve antennas concealed inside a raised cupola screen extension behind Fiberglass Reinforced Panel (FRP) materials, painted and textured to match the existing building. The equipment associated with this project which includes an emergency back-up generator is located inside a 384-square foot enclosure. |                          |
| <b>COMMUNITY PLAN AREA:</b>                     | Rancho Bernardo   |                          |
| <b>DISCRETIONARY ACTIONS:</b>                   | Conditional Use Permit & Neighborhood Development Permit  |                          |
| <b>COMMUNITY PLAN LAND USE DESIGNATION:</b>     | Institutional   |                          |
| <b><u>ZONING INFORMATION:</u></b>               |   |                          |
|   | <b><u>Required:</u></b>   | <b><u>Proposed:</u></b>  |
| Zone:   | RS-1-14   |                          |
| Height Limit:                                   | 35-feet   | 30-feet                  |
| Front Setback:                                  | 10-feet   | No proposed change       |
| Street Side Setback:                            | 15-feet   | No proposed change       |
| Side Setback:                                   | 10-feet   | No proposed change       |
| Rear Setback:                                   | 25-feet   | No proposed change       |
| <b>ADJACENT PROPERTIES:</b>                     | <b>LAND USE DESIGNATION &amp; ZONE</b>  | <b>EXISTING LAND USE</b> |
| <b>NORTH:</b>                                   | Residential;RM-1-1  | Residential              |
| <b>SOUTH:</b>                                   | Commercial;CC-2-3 & IL3-1   | Commercial/Residential   |
| <b>EAST:</b>                                    | Residential;RM-1-1  | Residential              |
| <b>WEST:</b>                                    | Commercial;CC-2-3   | Commercial               |
| <b>DEVIATIONS OR VARIANCES REQUESTED:</b>       | None  |                          |
| <b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b> | This project was presented to the Rancho Bernardo Community Planning Board on May 21, 2015 and was unanimously approved with a vote of 9-0-0.   |                          |

**HEARING OFFICER  
RESOLUTION NO. HO-xx-xxx  
CONDITIONAL USE PERMIT NO. 1375488  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1495317  
VERIZON WIRELESS VIVIENDA PROJECT NO. 393901  
DRAFT**

WHEREAS, **HOPE UNITED METHODIST CHURCH**, Owner, and **VERIZON WIRELESS**, Permittee, filed an application with the City of San Diego for a Conditional Use Permit (CUP) and a Neighborhood Development Permit (NDP) for a new Wireless Communication Facility (WCF). The WCF consists of twelve (12) antennas and associated Remote Radio Units (RRUs) concealed inside a raised cupola screen extension behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing building. The equipment associated with this project is located inside a 384-square foot enclosure as described in and by reference to the approved Exhibits "A," on file in Development Services Department, and corresponding conditions of approval for the associated Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1495317;

WHEREAS, the project site is located at 16550 Bernardo Heights Parkway, San Diego, CA 92128, in the RS-1-14 zone of the Rancho Bernardo Community Plan;

WHEREAS, the project site is legally described as Lot 11 and 12 of Bernardo Heights Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 9559, recorded in the Office of the County Recorder of San Diego County on February 20, 1980;

WHEREAS, on July 22, 2015, the HEARING OFFICER of the City of San Diego considered Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1495317 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on April 22, 2015 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the HEARING OFFICER of the City of San Diego as follows:

That the HEARING OFFICER adopts the following written Findings, dated July 22, 2015.

FINDINGS:

**Conditional Use Permit - Section 126.0305**

**1. The proposed development will not adversely affect the applicable land use plan;**

The City of San Diego General Plan recommends that all WCFs minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these

facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The proposed Verizon WCF consists of twelve (12) antennas and the associated Remote Radio Units (RRUs) concealed inside a raised cupola screen extension behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing building. The applicant worked closely with the Rancho Bernardo Community Planning Board (RBCPB) in designing the proposed parapet addition to conceal the proposed antennas. More specifically, the RBCPB requested the parapet to include specific features, which Verizon incorporated into the project design. However, this design would not be able to accommodate any future additional bulk (or height) without further impacting the concealment element.

The associated equipment is located inside a 384-square foot enclosure designed to match the church architecture. Included in the enclosure is a 10kW DC enclosed, 55-gallon emergency standby generator that would enable Verizon to continue to provide cellular and data coverage during emergency situations. The smaller generator allows Verizon to configure their equipment enclosure without significantly increasing the bulk and scale of the design. Along with the added landscaping, the proposed enclosure will be minimally visible and would integrate with the other buildings on site.

The Rancho Bernardo Community Plan does not address wireless communication facilities as a specific land use. Pursuant to the San Diego Land Development Code (LDC), wireless communication facilities are permitted in all zones citywide with the appropriate permit process. WCF are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. Therefore, the proposed development would not adversely affect the Rancho Bernardo Community Plan or the City of San Diego General Plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare;**

The proposed Verizon WCF consists of twelve (12) antennas and associated Remote Radio Units (RRUs) concealed inside a raised cupola screen extension behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing building. The design of the WCF incorporated specific recommendations from the Rancho Bernardo Community Planning Group and their design review committee. The equipment associated with this project will be located inside a 384-square foot concrete block equipment enclosure designed to match the church.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303 (New Construction) on April 22, 2015. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing, and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” Verizon Wireless submitted an Electro Magnetic Emission (EME) Analysis, which concluded that the

project complies with FCC RF Standards. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and**

The project complies with all applicable development regulations of the RS-1-14 zone and the City of San Diego Wireless Communication Facilities Regulations (Section 141.0420). This section of the Code requires all wireless communication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. The proposed raised cupola screen extension behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing building was recommended by the Rancho Bernardo Community Planning Group. Specific features including the concrete "S" tile roof, 3" deep architectural recess element with foam band on two sides of the parapet, and matching wood fascia trim band were all requested by the community planning group and their design review committee. The associated equipment is located inside a 384-square foot concrete block enclosure, which also includes an emergency generator. The property is in the RS-1-14 zone and as such, requires a Conditional Use Permit. A Neighborhood Development Permit is required to install an equipment enclosure that exceeds the maximum size of 250-square feet pursuant to LDC Section 141.0420(g)(3). There are no deviations or variances requested with this application. Therefore, the project is in full compliance with the applicable regulations of the Land Development Code.

**4. The proposed use is appropriate at the proposed location.**

The City of San Diego encourages wireless carriers to locate on non-residential properties. As designed, the project is located on a church use property within the RS-1-14 zone and requires a Conditional Use Permit. The site is surrounded by commercial uses to the west and residential uses to the east, north and south. In accordance with Council Policy 600-43, this is a Preference Level 3 location and therefore, the applicant must provide an analysis evaluating potential lower level preference sites as part of the application review process. Within the Justification Analysis and the defined search ring, Verizon Wireless identified a single Preference Level 1 location. This location is an existing clock tower at 16486 Bernardo Center Drive, less than ½ mile from the current site, however, the clock tower location and design already supports two carriers on the uppermost portion of the structure. As a result, there was not enough room to accommodate a third wireless carrier. As identified in the analysis, the current Hope United Methodist Church property was the only available and willing candidate capable of providing the intended coverage reflected in the coverage map. Therefore, the proposed use for a wireless communication facility is appropriate at this location.

**Neighborhood Development Permit - Section 126.0404**

**1. The proposed development will not adversely affect the applicable land use plan;**

The City of San Diego General Plan recommends that all WCFs minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or

unobtrusive structures. The proposed Verizon WCF consists of twelve (12) antennas and the associated Remote Radio Units (RRUs) concealed inside a raised cupola screen extension behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing building. The applicant worked closely with the Rancho Bernardo Community Planning Board (RBCPB) in designing the proposed parapet addition to conceal the proposed antennas. More specifically, the RBCPB requested the parapet to include specific features, which Verizon incorporated into the project design. However, this design would not be able to accommodate any future additional bulk (or height) without further impacting the concealment element.

The associated equipment is located inside a 384-square foot enclosure designed to match the church architecture. Included in the enclosure is a 10kW DC enclosed, 55-gallon emergency standby generator that would enable Verizon to continue to provide cellular and data coverage during emergency situations. The smaller generator allows Verizon to configure their equipment enclosure without significantly increasing the bulk and scale of the design. Along with the added landscaping, the proposed enclosure will be minimally visible and would integrate with the other buildings on site.

The Rancho Bernardo Community Plan does not address wireless communication facilities as a specific land use. Pursuant to the San Diego Land Development Code (LDC), wireless communication facilities are permitted in all zones citywide with the appropriate permit process. WCF are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. Therefore, the proposed development would not adversely affect the Rancho Bernardo Community Plan or the City of San Diego General Plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The proposed Verizon WCF consists of twelve (12) antennas and associated Remote Radio Units (RRUs) concealed inside a raised cupola screen extension behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing building. The design of the WCF incorporated specific recommendations from the Rancho Bernardo Community Planning Group and their design review committee. The equipment associated with this project will be located inside a 384-square foot concrete block equipment enclosure designed to match the church.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303 (New Construction) on April 22, 2015. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing, and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” Verizon Wireless submitted an Electro Magnetic Emission (EME) Analysis, which concluded that the project complies with FCC RF Standards. Therefore, the project will not result in any significant

health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The project complies with all applicable development regulations of the LDC and the City of San Diego Wireless Communication Facilities Regulations (Section 141.0420). This section of the Code requires all wireless communication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. The proposed raised cupola screen extension behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing building was recommended by the Rancho Bernardo Community Planning Group. Specific features including the concrete "S" tile roof, 3" deep architectural recess element with foam band on two sides of the parapet, and matching wood fascia trim band were all requested by the community planning group and their design review committee. The associated equipment is located inside a 384-square foot concrete block enclosure designed to also include an emergency generator.

The associated equipment is located inside a 384-square foot concrete block enclosure that exceeds the maximum size 250-square feet requirement, and therefore, requires a Neighborhood Development Permit pursuant to LDC Section 141.0420(g)(3). Included in this enclosure is a 10kW DC enclosed, 55-gallon emergency standby generator which would allow Verizon to continue to provide cellular and data coverage during emergency situations. The smaller generator here allows Verizon to configure their equipment enclosure to accommodate this element without significantly increasing the bulk and scale of the design. Along with the added landscaping, the proposed enclosure will be minimally visible and would integrate with the other buildings on site. There are no deviations from the development regulations or variances requested with this application. Therefore, the project is in full compliance with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1495317 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1495317, a copy of which is attached hereto and made a part hereof.

---

Simon Tse - Project Manager  
Development Services

Adopted on: July 22, 2015  
Internal Order No. 24005227

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**

**PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005227

**CONDITIONAL USE PERMIT NO. 1375488  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1495317  
VERIZON WIRELESS VIVIENDA PTS NO. 393901  
HEARING OFFICER  
DRAFT**

This Conditional Use Permit No. 1375488 and Neighborhood Development Permit No. 1495317 is granted by the Hearing Officer of the City of San Diego to **HOPE UNITED METHODIST CHURCH**, Owner and **VERIZON WIRELESS**, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0301, 126.0404, and 141.0420. The site is located at 16550 Bernardo Heights Parkway, San Diego, CA 92128, in the RS-1-14 zone of the Rancho Bernardo Community Plan. The project site is legally described as Lot 11 and 12 of Bernardo Heights unit No. 1, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 9559, recorded in the Office of the County Recorder of San Diego County on February 20, 1980.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a new Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 22, 2015, on file in the Development Services Department.

The project shall include:

- a. A new Wireless Communication Facility (WCF) for twelve (12) antennas concealed inside a raised cupola screen extension behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing building. The equipment associated with this project is located inside a new 384-square foot enclosure as illustrated in the approved 'Exhibit A' dated July 22, 2015; and
- b. Installation of eighteen (18) Remote Radio Units (RRUs) and a 48-inch diameter microwave dish behind the raised rooftop cupola ; and

- c. Installation of a 10kW standby generator with 55-gallon diesel tank inside the proposed equipment enclosure; and
- d. Landscaping; and
- e. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **August 5, 2018**.
2. This approval and corresponding use of this site shall **expire on August 5, 2025**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the

City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any construction permit, the Permittee shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Bernardo Heights Parkway's Right-of-Way.

14. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Bernardo Heights Parkway's Right-of-Way.

15. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

**PLANNING/DESIGN REQUIREMENTS:**

18. Any future modifications to the antennas must be approved by Development Services. The Permittee shall provide evidence demonstrating compliance with Federal standards for radio frequency emissions in accordance with the Telecommunications Act of 1996 and any subsequent amendments.

19. The WCF shall conform to the stamped approved plans and approved photosimulations prior to final Telecom Planning Inspection approval.

20. Photosimulations for the WCF shall be printed (not stapled) on the construction plans.

21. The Owner/Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department. The Owner/Permittee shall be responsible for complying with all State and Federal regulations, as applicable.
22. Antennas shall not exceed the height of any proposed screen walls.
23. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building/adjacent building surfaces.
24. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition shall be required.
25. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Please note that a **Telecom Planning Inspection Issue** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at **(619) 687-5984** to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- Per LDC §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.

## Attachment 6

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 22, 2015 and Resolution No. TBD.

Conditional Use Permit No. 1375488  
Neighborhood Development Permit No. 1495317  
July 22, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

---

Simon Tse  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**HOPE UNITED METHODIST CHURCH**  
Owner

By \_\_\_\_\_  
NAME  
TITLE

**VERIZON WIRELESS**  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

NOTICE OF EXEMPTION

Attachment 7

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT TITLE/ No.: VERIZON VIVIENDA/393901

PROJECT LOCATION-SPECIFIC: 16550 Bernardo Heights Parkway, San Diego CA 92128

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit and Neighborhood Use Permit for the installation of a Verizon Wireless telecommunications facility, which includes equipment cabinets inside a new 16'-0" x 24'-0" concrete block equipment enclosure on a concrete pad, installation of three (3) Verizon Wireless antenna sectors of four (4) antennas each (total of twelve (12) antennas) mounted behind RF transparent screens inside a raised mechanical equipment screen extension, installation of six (6) Verizon Wireless RRU units per sector (total of sixteen (16) RRU's) mounted behind antennas inside the raised mechanical equipment screen extension, installation of one (1) Verizon Wireless 4'-0" microwave dish antenna mounted behind RF transparent screens inside the raised mechanical equipment screen extension, installation of three (3) Verizon Wireless E/911 GPS antennas, installation of a 10kw enclosed standby generator with 55 gallon diesel tank inside proposed concrete block enclosure, installation of a new 200 amp electrical service from an existing transformer, installation of a new telco service connection from an existing telco handhole, and minor landscaping and irrigation. The project site is zoned IL-3-1 and is within the Rancho Bernardo Community Plan area of Council District 5.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Verizon Wireless, 15505 Sand Canyon Avenue, Irvine, CA 92618, Greg Moorad (858)603-2336

EXEMPT STATUS: (CHECK ONE)

- ( ) MINISTERIAL: (SEC. 21080 (b) (1); 15268)
( ) DECLARED EMERGENCY: (SEC. 21080 (b) (3); 15269 (a))
( ) EMERGENCY PROJECT: (SEC. 21080 (b) (4); 15269 (b) (c))
(X) CATEGORICAL EXEMPTION: 15303 (New Construction)
( ) STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15303 which allows for installation of small new equipment and facilities for structures not exceeding 2,500 square feet as well as accessory structures. Furthermore, the exceptions listed in 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: Morgan Dresser

TELEPHONE: (619)446-5404

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
( ) YES ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

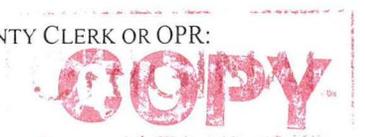
SIGNATURE/TITLE

DATE 7/20/15

CHECK ONE:

- ( ) SIGNED BY LEAD AGENCY
( ) SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:





VIVIENDA  
16550 BERNARDO HEIGHTS PKWY  
SAN DIEGO, CA 92128

**VICINITY MAP**

THOMAS GUIDE PAGE: 1170 - A4

**ADDRESS**  
16550 BERNARDO HEIGHTS PKWY  
SAN DIEGO, CA 92128

**DIRECTIONS:**  
(FROM VZW'S OFFICES IN IRVINE):  
I-5 SOUTH, TO HWY 56 EAST, TO I-15 NORTH, EXIT BERNARDO CENTER DRIVE, RIGHT ON BERNARDO CENTER DRIVE, RIGHT ON BERNARDO HEIGHTS PARKWAY. SITE IS ON RIGHT SIDE.

**SCALE**

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

**CONSULTANT TEAM**

**ARCHITECT:**  
BOOTH & SUAREZ ARCHITECTURE, INC.  
325 CARLSBAD VILLAGE DRIVE, SUITE D2  
CARLSBAD, CA 92008  
(760) 434-8474  
(760) 434-8596 (FAX)

**SURVEYOR:**  
JRN CIVIL ENGINEERS  
232 AVENIDA FABRICANTE, SUITE 107  
SAN CLEMENTE, CA 92672  
(949) 248-4685

**LEASING/PLANNING:**  
PLANCOM, INC.  
GREG MOORAD  
302 STATE PLACE  
ESCONDIDO, CA 92029  
(858) 603-2336

**PROJECT DATA**

|                                |                      |
|--------------------------------|----------------------|
| EXISTING OCCUPANCY:            |                      |
| ASSEMBLY - RELIGIOUS:          | A3                   |
| PROPOSED OCCUPANCY:            |                      |
| EQUIPMENT ENCLOSURE:           | B                    |
| EXISTING TYPE OF CONSTRUCTION: |                      |
| 1-STORY BUILDING:              | V-B, NON-SPRINKLERED |
| PROPOSED TYPE OF CONSTRUCTION: |                      |
| EQUIPMENT ENCLOSURE:           | V-B, NON-SPRINKLERED |

**PERMITS REQUIRED**

- LUP

**PROJECT SUMMARY**

**APPLICANT:** VERIZON WIRELESS  
15505 SAND CANYON AVENUE  
IRVINE, CA 92618  
CONTACT: GREG MOORAD  
PHONE: (858) 603-2336

**OWNER:** HOPE UNITED METHODIST CHURCH  
16550 BERNARDO HEIGHTS PKWY  
SAN DIEGO, CA 92128  
SITE CONTACT: NANCY TURK  
PHONE: (858) 485-5840

**PROJECT DESCRIPTION:**

- PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT CABINETS INSIDE A NEW 16'-0" x 24'-0" CONCRETE BLOCK EQUIPMENT ENCLOSURE ON A CONCRETE PAD
- INSTALLATION OF (3) THREE VERIZON WIRELESS ANTENNA SECTORS, OF (4) FOUR ANTENNAS EACH (TOTAL OF (12) TWELVE ANTENNAS) MOUNTED BEHIND RF TRANSPARENT SCREENS INSIDE RAISED MECHANICAL EQUIPMENT SCREEN EXTENSION
- INSTALLATION OF SIX (6) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF EIGHTEEN (18) RRU'S) MOUNTED BEHIND ANTENNAS INSIDE RAISED MECHANICAL EQUIPMENT SCREEN EXTENSION
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA MOUNTED BEHIND RF TRANSPARENT SCREENS INSIDE RAISED MECHANICAL EQUIPMENT SCREEN EXTENSION
- INSTALLATION OF THREE (3) VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF A 10kw ENCLOSED STANDBY GENERATOR WITH 55 GALLON DIESEL TANK INSIDE PROPOSED CONCRETE BLOCK ENCLOSURE
- INSTALLATION OF NEW 200 AMP ELECTRICAL SERVICE FROM AN EXISTING TRANSFORMER
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION FROM AN EXISTING TELCO HANDHOLE
- MINOR LANDSCAPING AND IRRIGATION IS PLANNED FOR THIS PROJECT

**PROJECT ADDRESS:** 16550 BERNARDO HEIGHTS PKWY  
SAN DIEGO, CA 92128

**ASSESSORS PARCEL NUMBER:** 274-810-18

**EXISTING ZONING:** IL-3-1 WITH RS-1-14

**TOTAL SITE AREA:** 298,789 S.F.  
= 6.86 ACRES

**PROPOSED PROJECT AREA:**  
EQUIPMENT ENCLOSURE: 384 S.F.

**NOTE:** THERE ARE NO EXISTING TELECOMMUNICATION FACILITIES ON THIS PROPERTY

**SHEET SCHEDULE**

|       |                              |
|-------|------------------------------|
| T-1   | TITLE SHEET AND PROJECT DATA |
| A-0   | SITE PLAN                    |
| A-0.1 | WATER POLLUTION CONTROL PLAN |
| A-1   | ENLARGED SITE PLAN           |
| A-2   | EQUIPMENT PLAN               |
| A-3   | ROOF PLAN                    |
| A-4   | ANTENNA PLAN                 |
| A-5   | EXTERIOR ELEVATIONS          |
| A-6   | EXTERIOR ELEVATIONS          |
| L-1   | LANDSCAPE DEVELOPMENT PLAN   |
| C-1   | TOPOGRAPHIC SURVEY           |

**LEGAL DESCRIPTION**

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 11 AND 12 OF BERNARDO HEIGHTS UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 9559, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON FEBRUARY 20, 1980.

**ACCESSIBILITY DISCLAIMER**

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

**APPLICABLE CODES**

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
CALIFORNIA STATE BUILDING CODE, TITLE 24, 2013 EDITION  
CALIFORNIA PLUMBING CODE, 2013 EDITION  
CALIFORNIA MECHANICAL CODE, 2013 EDITION  
CALIFORNIA ELECTRICAL CODE, 2013 EDITION  
CALIFORNIA FIRE CODE, 2013 EDITION  
CALIFORNIA ENERGY CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

**Booth & Suarez**  
ARCHITECTURE INCORPORATED  
305 CARLSBAD VILLAGE DRIVE, SUITE D2  
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

P.O. BOX 19707  
IRVINE, CA 92623-9707  
(949) 286-7000

**APPROVALS**

|        |      |
|--------|------|
| A&C    | DATE |
| RE     | DATE |
| RF     | DATE |
| INT    | DATE |
| EE/IN  | DATE |
| OPS    | DATE |
| EE/OUT | DATE |

**PROJECT NAME**

VIVIENDA  
16550 BERNARDO HEIGHTS PKWY  
SAN DIEGO, CA 92128  
SAN DIEGO COUNTY

**DRAWING DATES**

|          |                         |
|----------|-------------------------|
| 08/14/14 | 90% ZD (se)             |
| 09/22/14 | 100% ZD (se)            |
| 02/25/15 | 100% ZD Revision 1 (ic) |
| 03/05/15 | 100% ZD Revision 2 (se) |
| 04/09/15 | 100% ZD Revision 3 (ic) |

**SHEET TITLE**

TITLE SHEET  
&  
PROJECT DATA

PROJECTS\VERIZON\14157

**T-1**

Lessee's Certificate  
Standard Wireless Facility Project  
for Post Construction BMPs

I/ we the undersigned as Lessee(s) of the property described as

(Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design -

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shutoff devices and flow reducers

I/we will maintain the above Standard Permanent BMPs for the duration of the lease.

Lessee: Andres Matekin Company Name: Verizon Wireless  
 Lessee: [Signature] Date: 7/25/14

**DATA TABLE:**

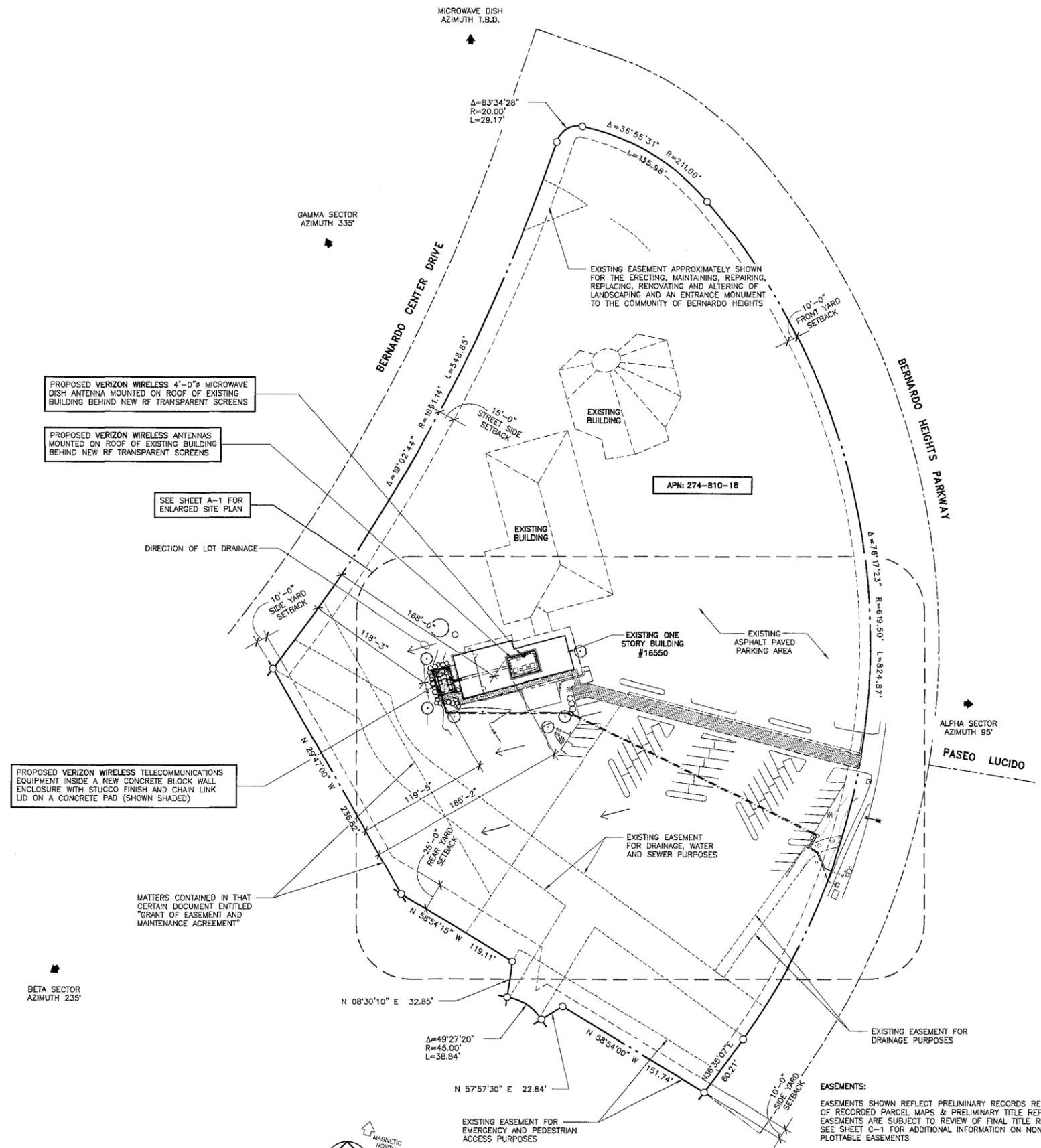
PERCENTAGE OF SITE PREVIOUSLY GRADED 0%  
 CUBIC YARDS OF CUT 39 CUBIC YARDS OF FILL 0  
 VOLUME OF FILL TO BE IMPORTED 0 CU.YD. EXPORTED 39 CU.YD.  
 AREA TO BE GRADED? 0 % OF SITE 0%  
 PROPOSED CUT SLOPE RATIO: 0 FILL SLOPE RATIO: 0  
 MAXIMUM HEIGHT OF: CUT SLOPE 0 FEET: FILL SLOPE 0 FEET

**GRADING QUANTITIES:**

EQUIPMENT BUILDING FOOTING: 28.89 CU. YDS. 18" DEPTH  
 UTILITY TRENCH (ELEC./TELECO): 9.56 CU. YDS. 48" DEPTH  
 TOTAL GRADING: 38.45 CU. YDS.

**ENGINEERING NOTES:**

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
- SAN DIEGO MUNICIPAL CODE SECTION 142.0607 REPAIR AND REPLACEMENT OF PUBLIC FACILITIES. WHERE IN THE COURSE OF DEVELOPMENT OF PRIVATE PROPERTY, PUBLIC FACILITIES ARE DAMAGED OR REMOVED THE PROPERTY OWNER SHALL, AT NO COST TO THE CITY, REPAIR OR REPLACE THE PUBLIC FACILITY TO THE SATISFACTION OF THE CITY ENGINEER.
- THE PROPOSED BLOCK WALL ENCLOSURE WILL NOT BLOCK OR ALTER THE EXISTING DRAINAGE PATTERN.



**SITE PLAN**  
SCALE: 1" = 50'-0"



**BOOTH & SUAREZ**

ARCHITECTURE INCORPORATED  
 305 CARLSBAD VILLAGE DRIVE, SUITE D9  
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR  
**verizon wireless**

P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

**APPROVALS**

| A&C    | DATE |
|--------|------|
| RE     | DATE |
| RF     | DATE |
| INT    | DATE |
| EE/IN  | DATE |
| OPS    | DATE |
| EE/OUT | DATE |

**PROJECT NAME**

**VIVIENDA**  
 16550 BERNARDO HEIGHTS PKWY  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

**DRAWING DATAS**

|          |                         |
|----------|-------------------------|
| 08/14/14 | 90% ZD (se)             |
| 09/22/14 | 100% ZD (se)            |
| 02/25/15 | 100% ZD Revision 1 (to) |
| 03/03/15 | 100% ZD Revision 2 (se) |
| 04/08/15 | 100% ZD Revision 3 (to) |

**SHEET TITLE**

**SITE PLAN**

PROJECTS\VERIZON\14157

**A-0**



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

| A&C    | DATE |
|--------|------|
| RE     | DATE |
| RF     | DATE |
| INT    | DATE |
| EE/IN  | DATE |
| OPS    | DATE |
| EE/OUT | DATE |

PROJECT NAME

**VIVIENDA**

16550 BERNARDO HEIGHTS PKWY  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

|          |                         |
|----------|-------------------------|
| 08/14/14 | 90% ZD (se)             |
| 09/22/14 | 100% ZD (se)            |
| 02/25/15 | 100% ZD Revision 1 (ic) |
| 03/05/15 | 100% ZD Revision 2 (se) |
| 04/08/15 | 100% ZD Revision 3 (ic) |

SHEET TITLE

**WATER POLLUTION CONTROL PLAN**

PROJECTS\VERIZON\14157

**A-0.1**

STANDARD LID BMPs:

- 2 SOIL AMENDMENTS
- 3 MINIMIZE SOIL COMPACTION IN LANDSCAPE AREAS

SOURCE CONTROL BMPs:

- A USE EFFICIENT IRRIGATION SYSTEM

CONSTRUCTION STORMWATER BMPs:

DIRECTION OF LOT DRAINAGE → →

- SS-6, SS-8 MULCH, STRAW, WOODCHIPS, SOIL APPLICATION

- SC-5 FIBER ROLL --FR--FR--

- TC-1 STABILIZED CONSTRUCTION ENTRANCE

- WM-1 MATERIAL DELIVERY & STORAGE

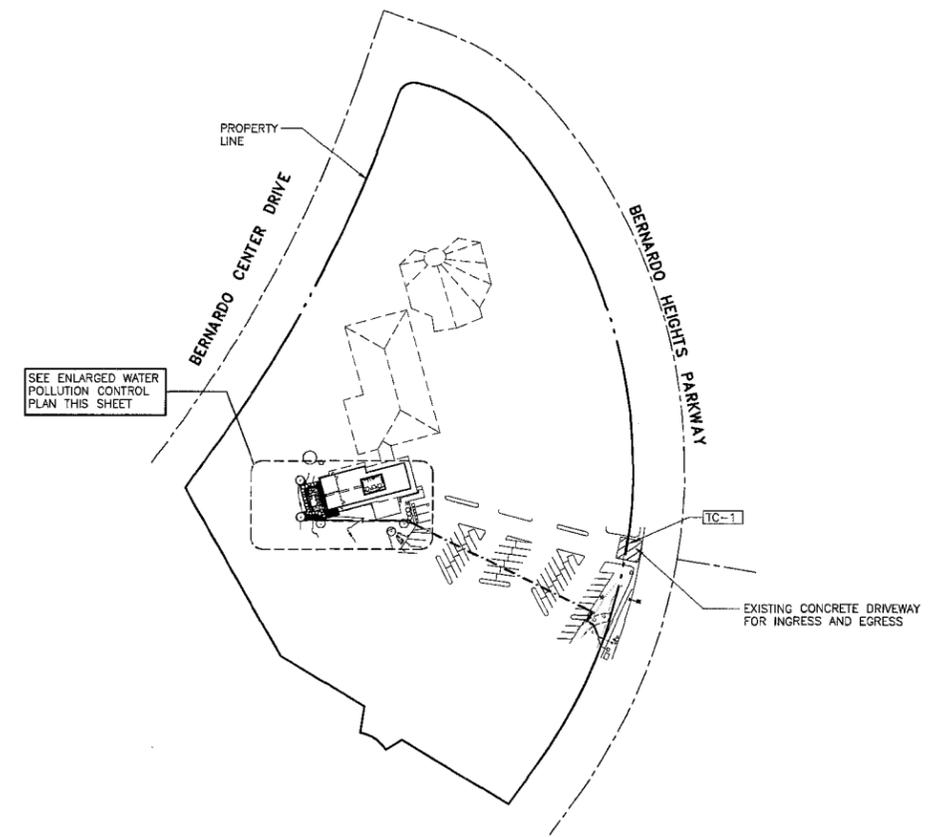
- WM-8 CONCRETE WASTE MANAGEMENT

- WM-5 SOLID WASTE MANAGEMENT

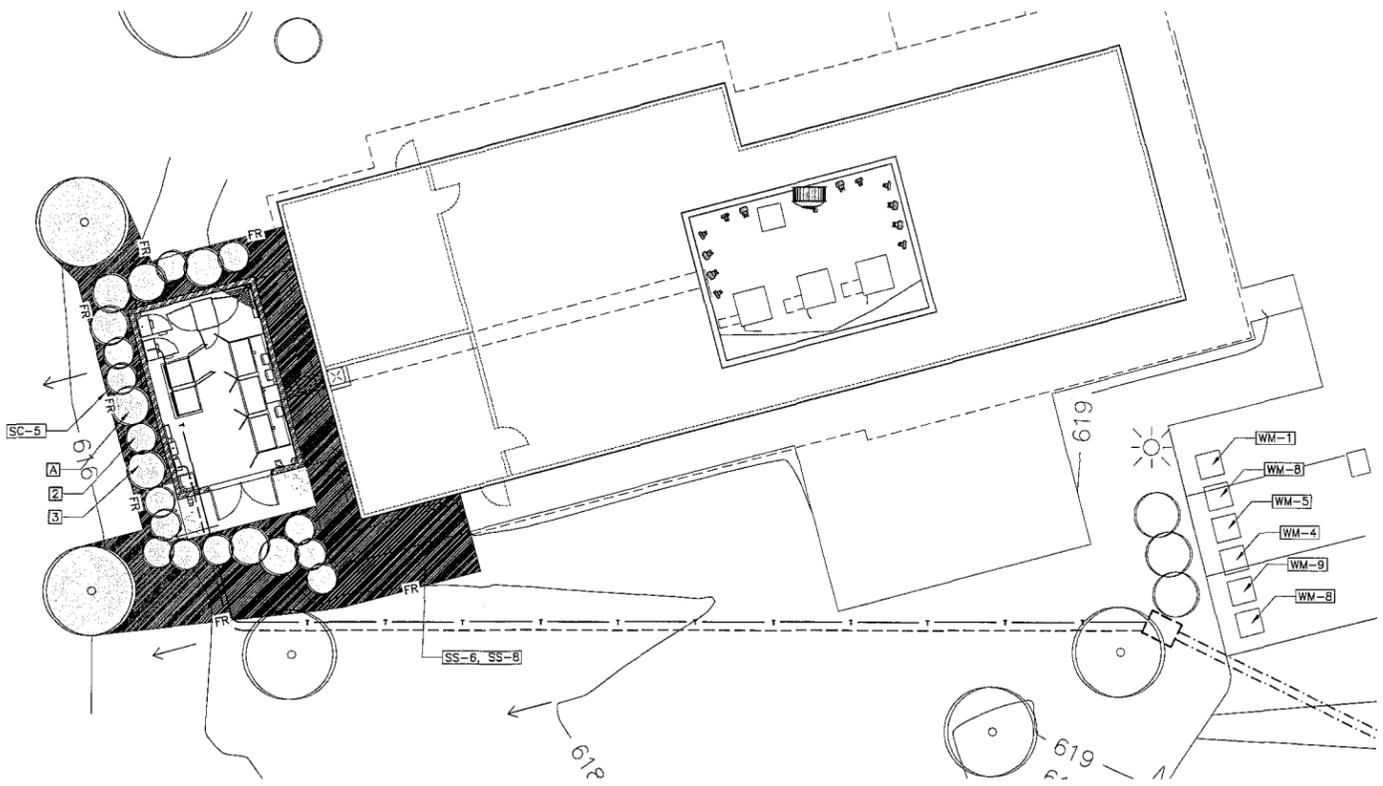
- WM-4 SPILL PREVENTION & CONTROL

- WM-9 SANITARY WASTE MANAGEMENT

- WM-6 HAZARDOUS WASTE MANAGEMENT



**WATER POLLUTION CONTROL PLAN**  
 SCALE: 1" = 100'-0"



**ENLARGED WATER POLLUTION CONTROL PLAN**  
 SCALE: 1" = 10'-0"









PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

| A&C    | DATE |
|--------|------|
| RE     | DATE |
| RF     | DATE |
| INT    | DATE |
| EE/IN  | DATE |
| OPS    | DATE |
| EE/OUT | DATE |

PROJECT NAME

**VIVIENDA**

16550 BERNARDO HEIGHTS PKWY  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

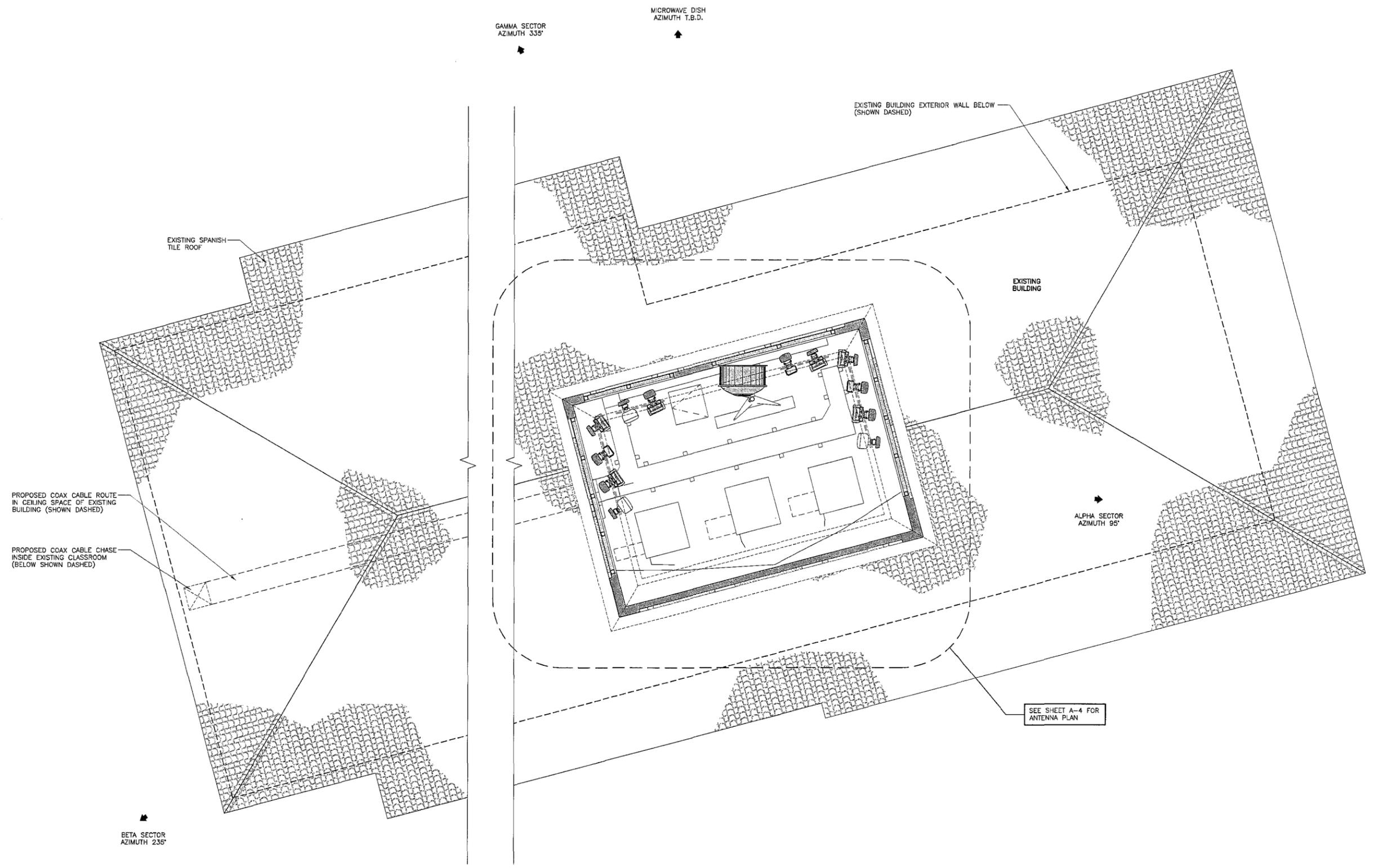
|          |                         |
|----------|-------------------------|
| 08/14/14 | 90% ZD (se)             |
| 09/22/14 | 100% ZD (se)            |
| 02/25/15 | 100% ZD Revision 1 (ic) |
| 03/03/15 | 100% ZD Revision 2 (se) |
| 04/08/15 | 100% ZD Revision 3 (ic) |

SHEET TITLE

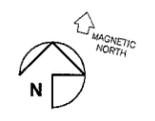
**ROOF PLAN**

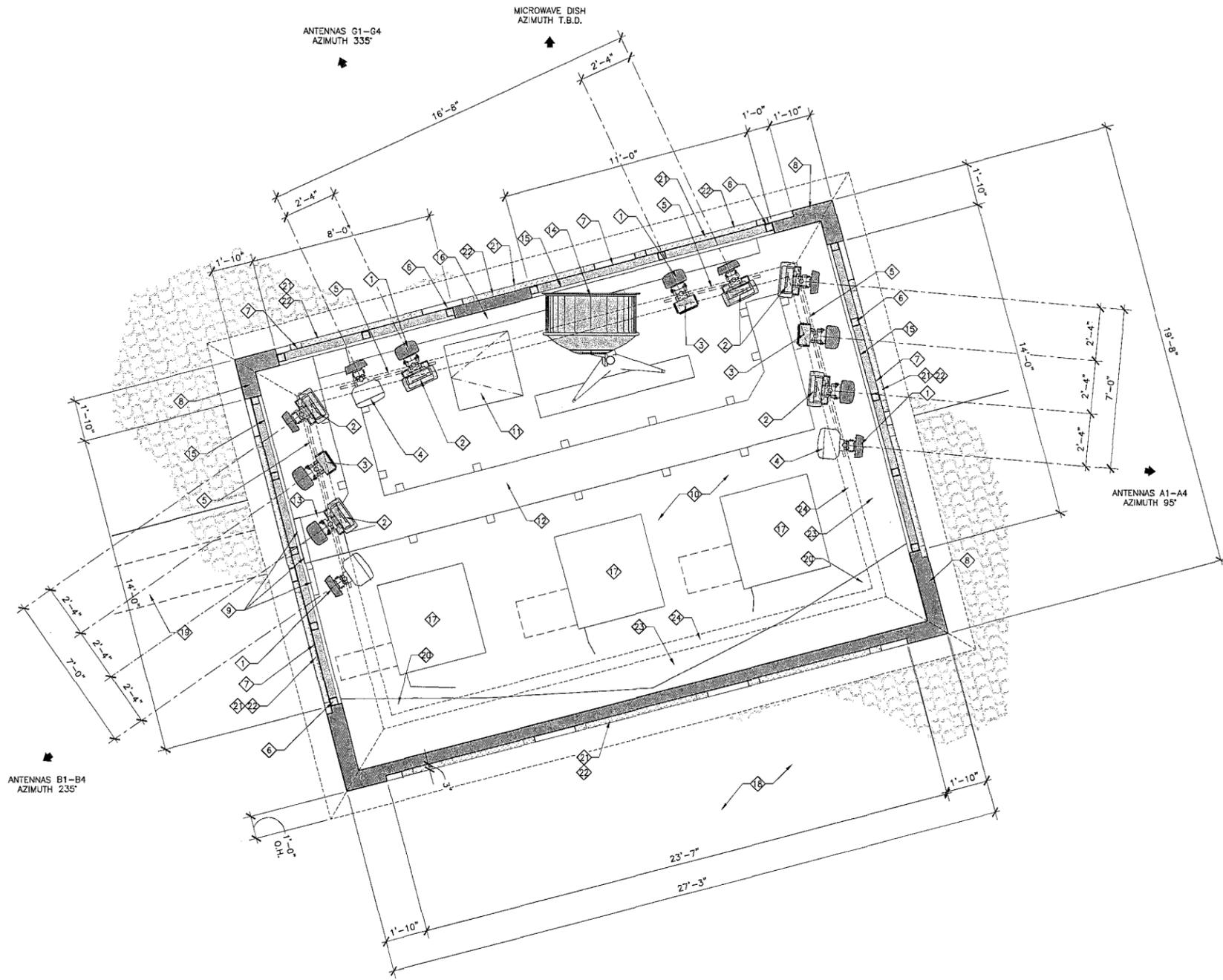
PROJECTS\VERIZON\14157

**A-3**



**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"





**ANTENNA PLAN NOTES:**

- 1 PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED BEHIND RF TRANSPARENT SCREENS. (TYP.)
- 2 PROPOSED STACKED PAIR VERIZON WIRELESS RRU MODULES MOUNTED BEHIND ANTENNA ON MOUNTING PIPE (TYPICAL OF 4 RRU MODULES PER SECTOR)
- 3 PROPOSED STACKED PAIR VERIZON WIRELESS RRUS32'S MOUNTED BEHIND ANTENNA ON MOUNTING PIPE (TYPICAL OF 2 RRUS32'S PER SECTOR)
- 4 PROPOSED RAYCAP DC SURGE PROTECTION UNITS PIPE MOUNTED BEHIND ANTENNA (TYPICAL OF 3)
- 5 PROPOSED UNISTRUT
- 6 PROPOSED 4" x 4" x 1/4" RF TRANSPARENT FIBERGLASS TUBE FRAMING (TYPICAL)
- 7 PROPOSED 8'-6" HIGH RF TRANSPARENT SCREENS.
- 8 PROPOSED 7'-0" RAISED MECHANICAL SCREEN WALL (SHOWN SHADED)
- 9 EXISTING ELECTRICAL DISCONNECT SWITCHES MOUNTED ON PARAPET WALL TO BE RELOCATED LOWER BELOW PROPOSED RF TRANSPARENT SCREEN (TYPICAL OF 3)
- 10 EXISTING BUILT UP ROOF
- 11 EXISTING ROOF ACCESS HATCH
- 12 PROPOSED COAX CABLE TRAY ON 4 X 4 PVC SLEEPERS
- 13 PROPOSED COAX CABLE HATCH
- 14 PROPOSED VERIZON WIRELESS 4'-0" MICROWAVE DISH TRIPOD MOUNTED BEHIND RF TRANSPARENT SCREENS ON WOOD SLEEPERS
- 15 EXISTING PARAPET WALL BELOW
- 16 PROPOSED COAX CABLE TRAY MOUNTED TO PARAPET WALL
- 17 EXISTING MECHANICAL UNIT ON EXISTING ROOF
- 18 EXISTING SPANISH TILE ROOF
- 19 PROPOSED COAX CABLE ROUTE IN CEILING SPACE OF EXISTING BUILDING (SHOWN DASHED)
- 20 EXISTING ROOF CRICKET
- 21 PROPOSED 3" DEEP ARCHITECTURAL RECESS ELEMENT
- 22 PROPOSED ARCHITECTURAL FOAM BELOW (SHOWN HATCHED)
- 23 PROPOSED MANSARD ROOF WITH MISSION CONCRETE S-TILE TO MATCH EXISTING
- 24 PROPOSED PARAPET AT ARCHITECTURAL TRIM BAND

**ANTENNA PLAN**

SCALE: 3/8" = 1'-0"



| ANTENNA AND COAXIAL CABLE SCHEDULE |           |         |          |            |                            |                             |                               |                          |           |
|------------------------------------|-----------|---------|----------|------------|----------------------------|-----------------------------|-------------------------------|--------------------------|-----------|
| SECTOR ANTENNA                     | DIRECTION | AZIMUTH | DOWNTILT | SKEW ANGLE | SIZE                       | NUMBER OF CABLES PER SECTOR | COAX. CABLE LENGTH (+ / - 5') | JUMPER LENGTH (+ / - 3') | COAX SIZE |
| ALPHA1                             | EAST      | 95°     | 0°       | N/A        | 76.1" L x 11.9" W x 7.1" D | 4 COAX                      | 130'-0"                       | 6'-0"                    | 7/8"      |
| ALPHA2                             |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| ALPHA3                             |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| ALPHA4                             |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| BETA1                              | SOUTHWEST | 235°    | 0°       | N/A        | 76.1" L x 11.9" W x 7.1" D | 4 COAX                      | 110'-0"                       | 6'-0"                    | 7/8"      |
| BETA2                              |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| BETA3                              |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| BETA4                              |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| GAMMA1                             | NORTHWEST | 335°    | 0°       | N/A        | 76.1" L x 11.9" W x 7.1" D | 4 COAX                      | 130'-0"                       | 6'-0"                    | 7/8"      |
| GAMMA2                             |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| GAMMA3                             |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| GAMMA4                             |           |         |          |            | 76.1" L x 11.9" W x 7.1" D |                             |                               |                          |           |
| MICROWAVE DISH                     | T.B.D.    | -       | -        | -          | 4'-0" DIAMETER             | 1                           | 120'-0"                       | -                        | 1 1/4"    |

**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 325 CARLSBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR  
**verizon**wireless  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

|        |      |
|--------|------|
| A&C    | DATE |
| RE     | DATE |
| RF     | DATE |
| INT    | DATE |
| EE/IN  | DATE |
| OPS    | DATE |
| EE/OUT | DATE |

PROJECT NAME  
**VIVIENDA**  
 16550 BERNARDO HEIGHTS PKWY  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

|          |                         |
|----------|-------------------------|
| 08/14/14 | 90% ZD (se)             |
| 09/22/14 | 100% ZD (se)            |
| 02/25/15 | 100% ZD Revision 1 (lc) |
| 03/03/15 | 100% ZD Revision 2 (se) |
| 04/06/15 | 100% ZD Revision 3 (lc) |

SHEET TITLE  
**ANTENNA PLAN**

PROJECTS\VERIZON\14157



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

| A&C    | DATE |
|--------|------|
| RE     | DATE |
| RF     | DATE |
| INT    | DATE |
| EE/IN  | DATE |
| OPS    | DATE |
| EE/OUT | DATE |

PROJECT NAME

**VIVIENDA**

16550 BERNARDO HEIGHTS PKWY  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

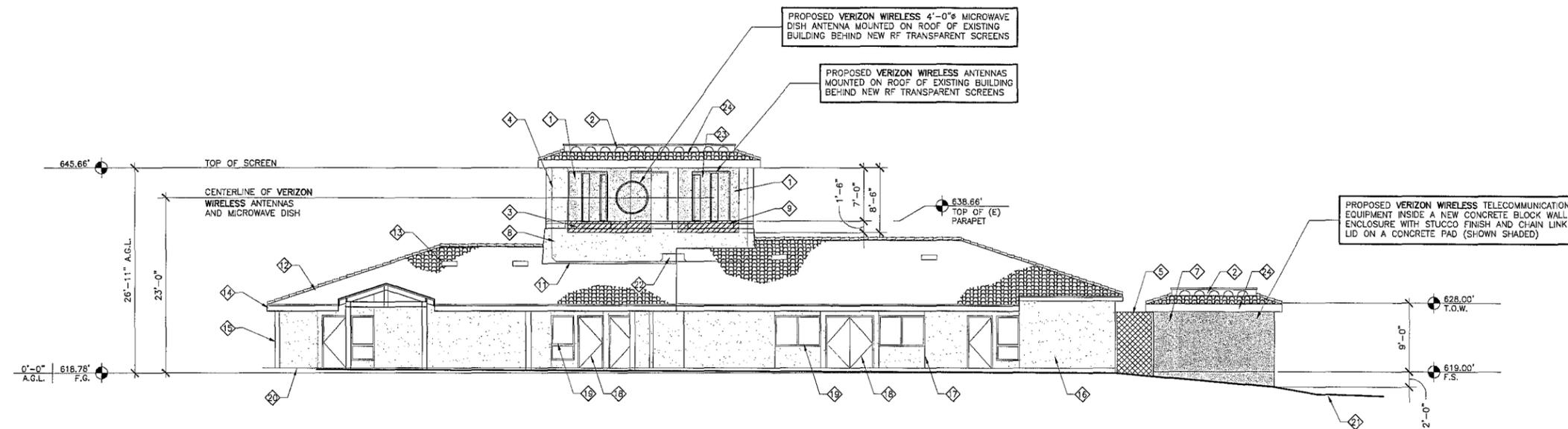
|          |                         |
|----------|-------------------------|
| 08/14/14 | 90% ZD (se)             |
| 08/22/14 | 100% ZD (se)            |
| 02/25/15 | 100% ZD Revision 1 (ic) |
| 03/03/15 | 100% ZD Revision 2 (se) |
| 04/09/15 | 100% ZD Revision 3 (ic) |

SHEET TITLE

**EXTERIOR ELEVATIONS**

PROJECTS\VERIZON\14157

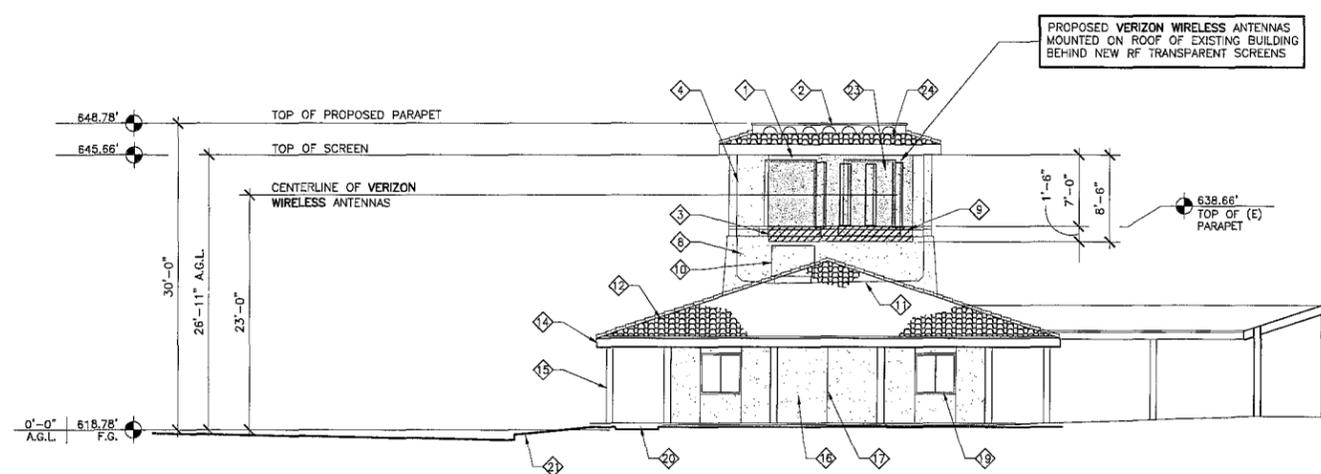
**A-5**



**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

- ① PROPOSED 8'-6" HIGH RF TRANSPARENT SCREEN (SHOWN SHADED)
- ② PROPOSED ARCHITECTURAL TRIM BAND
- ③ REMOVE 1'-6" OF EXISTING MECHANICAL SCREEN AT PROPOSED RF TRANSPARENT SCREEN LOCATION (SHOWN HATCHED)
- ④ PROPOSED 7'-0" RAISED MECHANICAL SCREEN WALL (TYPICAL)
- ⑤ PROPOSED CHAIN LINK FENCE WITH VINYL SLATS
- ⑥ NOT USED
- ⑦ PROPOSED CONCRETE BLOCK WALL WITH STUCCO FINISH
- ⑧ EXISTING STUCCO FINISH MECHANICAL SCREEN PARAPET
- ⑨ EXISTING SHEET METAL FLASHING TO BE REMOVED (SHOWN DASHED)
- ⑩ EXISTING MECHANICAL UNITS ON ROOF (SHOWN DASHED)
- ⑪ EXISTING ROOF SURFACE (SHOWN DASHED)
- ⑫ EXISTING MISSION CONCRETE S-TILE
- ⑬ EXISTING LOW PROFILE TILE VENT (TYPICAL)
- ⑭ EXISTING WOOD FASCIA
- ⑮ EXISTING WOOD COLUMN (TYPICAL)
- ⑯ EXISTING EXTERIOR WALL WITH STUCCO FINISH
- ⑰ EXISTING CONTROL JOINT (TYPICAL)
- ⑱ EXISTING DOOR (TYPICAL)
- ⑲ EXISTING WINDOW (TYPICAL)
- ⑳ EXISTING CONCRETE SIDEWALK
- ㉑ EXISTING FINISH SURFACE
- ㉒ EXISTING ROOF ACCESS HATCH (SHOWN DASHED)
- ㉓ PROPOSED 3" DEEP ARCHITECTURAL RECESS ELEMENT WITH FOAM BAND AT BOTTOM
- ㉔ PROPOSED MANSARD ROOF WITH MISSION CONCRETE S-TILE TO MATCH EXISTING



**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

| A&C    | DATE |
|--------|------|
| RE     | DATE |
| RF     | DATE |
| INT    | DATE |
| EE/IN  | DATE |
| OPS    | DATE |
| EE/OUT | DATE |

PROJECT NAME

**VIVIENDA**

16550 BERNARDO HEIGHTS PKWY  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

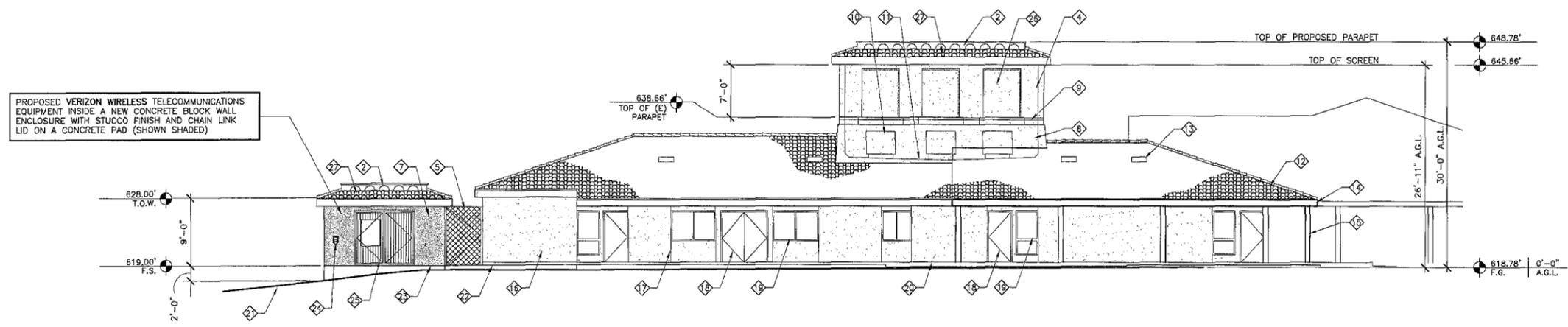
|          |                         |
|----------|-------------------------|
| 08/14/14 | 90% ZD (ss)             |
| 09/22/14 | 100% ZD (se)            |
| 02/25/15 | 100% ZD Revision 1 (ic) |
| 03/03/15 | 100% ZD Revision 2 (sa) |
| 04/09/15 | 100% ZD Revision 3 (ic) |

SHEET TITLE

**EXTERIOR ELEVATIONS**

PROJECTS\VERIZON\14157

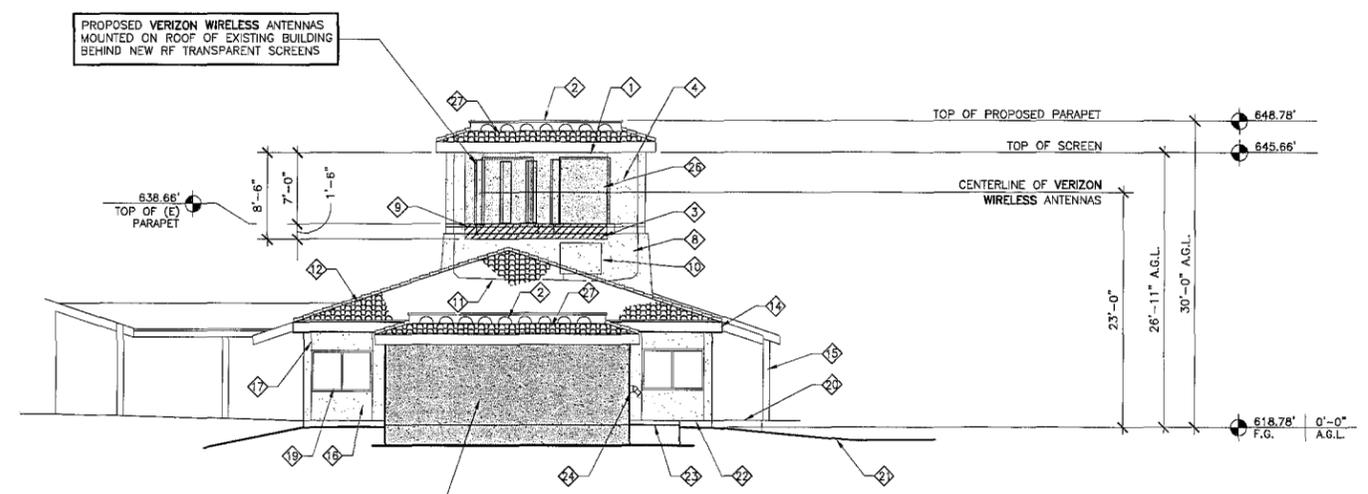
**A-6**



**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**ELEVATION NOTES:**

- 1 PROPOSED 8'-6" HIGH RF TRANSPARENT SCREEN (SHOWN SHADED)
- 2 PROPOSED ARCHITECTURAL TRIM BAND
- 3 REMOVE 1'-6" OF EXISTING MECHANICAL SCREEN AT PROPOSED RF TRANSPARENT SCREEN LOCATION (SHOWN HATCHED)
- 4 PROPOSED 7'-0" RAISED MECHANICAL SCREEN WALL (TYPICAL)
- 5 PROPOSED CHAIN LINK GATE WITH VINYL SLATS
- 6 NOT USED
- 7 PROPOSED CONCRETE BLOCK WALL WITH STUCCO FINISH
- 8 EXISTING STUCCO FINISH MECHANICAL SCREEN PARAPET
- 9 EXISTING SHEET METAL FLASHING TO BE REMOVED (SHOWN DASHED)
- 10 EXISTING MECHANICAL UNITS ON ROOF (SHOWN DASHED)
- 11 EXISTING ROOF SURFACE (SHOWN DASHED)
- 12 EXISTING MISSION CONCRETE S-TILE
- 13 EXISTING LOW PROFILE TILE VENT (TYPICAL)
- 14 EXISTING WOOD FASCIA
- 15 EXISTING WOOD COLUMN (TYPICAL)
- 16 EXISTING EXTERIOR WALL WITH STUCCO FINISH
- 17 EXISTING CONTROL JOINT (TYPICAL)
- 18 EXISTING DOOR (TYPICAL)
- 19 EXISTING WINDOW (TYPICAL)
- 20 EXISTING CONCRETE SIDEWALK
- 21 EXISTING FINISH SURFACE
- 22 PROPOSED CONCRETE SIDEWALK
- 23 PROPOSED CONCRETE LANDING
- 24 PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 25 PROPOSED PAIR 4'-0" WIDE STEEL GATES AND FRAME WITH LOCKABLE ACCESS AND VERIZON WIRELESS SIGNAGE
- 26 PROPOSED 3" DEEP ARCHITECTURAL RECESS ELEMENT WITH FOAM BAND AT BOTTOM
- 27 PROPOSED MANSARD ROOF WITH MISSION CONCRETE S-TILE TO MATCH EXISTING



**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

### WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER IRRIGATION SYSTEM FOR THE EXISTING SITE
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR

### PLANTING NOTES

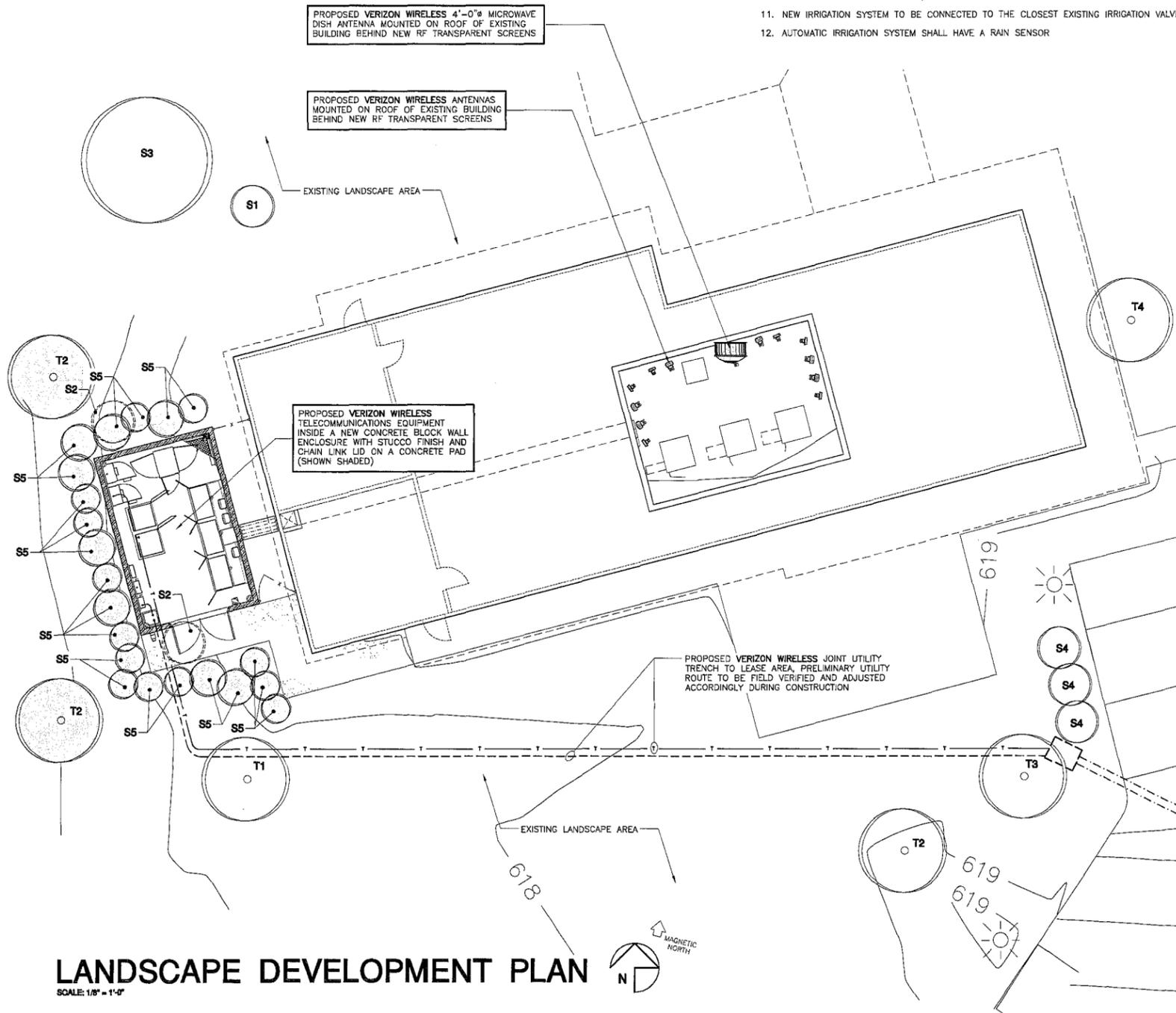
1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:  
ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:  
ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE  
IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:  
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
UNDERGROUND UTILITY LINES - 5 FEET DRIVEWAY (ENTRIES) - 10 FEET  
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
12. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
13. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
14. SOD, ACCEPTABLE TO LA JOLIA YOUTH, INC., WILL BE USED FOR ALL TURF REPAIRS.

**LANDSCAPE NOTES:**

1. AREAS DISTURBED DURING CONSTRUCTION FROM EQUIPMENT AND TRENCHING WILL BE REVEGETATED TO EXISTING CONDITION
2. FOR AREAS OF BARE SOIL, NOT REVEGETATED WITH GROUND COVER, PROVIDE A 3 INCH LAYER OF BARK MULCH

### PLANTING LEGEND

| SYMBOL | BOTANICAL NAME                     | COMMON NAME                       | PLANTING SIZE | QUANTITY | FORM / FUNCTION              | MATURE HEIGHT & SPREAD   |
|--------|------------------------------------|-----------------------------------|---------------|----------|------------------------------|--------------------------|
| T1     | SCHINUS MOLLE                      | CALIFORNIA PEPPER TREE            | -             | 1        | EXISTING TREE                | 40' HEIGHT<br>40' SPREAD |
| T2     | PINUS HALEPENSIS                   | ALEPPO PINE OR JERUSALEM PINE     | -             | 1        | EXISTING TREE                | 40' HEIGHT<br>35' SPREAD |
| T2     | PINUS HALEPENSIS                   | ALEPPO PINE OR JERUSALEM PINE     | 24" BOX       | 2        | PROPOSED TREE                | 40' HEIGHT<br>35' SPREAD |
| T3     | CUPANIOPSIS ANACARDIODES           | CARROT WOOD TREE                  | -             | 1        | EXISTING TREE                | 35' HEIGHT<br>35' SPREAD |
| T4     | LAGERSTROEMIA INDIA                | WHITE CRAPE MYRTLE TREE           | -             | 1        | EXISTING TREE                | 20' HEIGHT<br>20' SPREAD |
| S1     | ACACIA REDOLENS                    | DESERT PARPET                     | -             | 1        | EXISTING SHRUB               | 2' HEIGHT<br>10' SPREAD  |
| S2     | LAGERSTROEMIA INDICA 'MAUVE DWARF' | CRAPE MYRTLE BUSH                 | -             | 2        | EXISTING SHRUB TO BE REMOVED | 8' HEIGHT<br>8' SPREAD   |
| S3     | MYOPRUM LAETUM                     | COASTAL MYOPORUM                  | -             | 1        | EXISTING SHRUB               | 60' HEIGHT<br>30' SPREAD |
| S4     | RHAPHIOLEPIS INDICA                | INDIAN HAWTHORN                   | -             | 6        | EXISTING SHRUB               | 5' HEIGHT<br>8' SPREAD   |
| S5     | CEANOTHUS ARBOREUS                 | CALIFORNIA LILAC 'TREWITHEW BLUE' | 5 GALLON      | 21       | EXISTING SHRUB               | 5' HEIGHT<br>8' SPREAD   |



## LANDSCAPE DEVELOPMENT PLAN

SCALE: 1/8" = 1'-0"



PREPARED FOR



P.O. BOX 19707  
IRVINE, CA 92623-9707  
(949) 286-7000

APPROVALS

| A&C    | DATE |
|--------|------|
| RE     | DATE |
| RF     | DATE |
| INT    | DATE |
| EE/IN  | DATE |
| OPS    | DATE |
| EE/OUT | DATE |

PROJECT NAME

### VIVIENDA

16550 BERNARDO HEIGHTS PKWY  
SAN DIEGO, CA 92128  
SAN DIEGO COUNTY

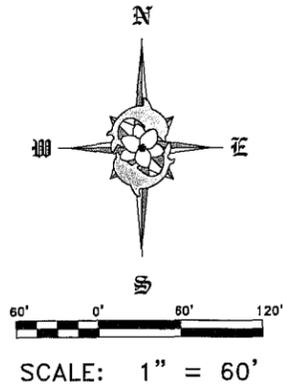
DRAWING DATES

|          |                         |
|----------|-------------------------|
| 08/14/14 | 90% ZD (se)             |
| 09/22/14 | 100% ZD (se)            |
| 02/25/15 | 100% ZD Revision 1 (ic) |
| 03/03/15 | 100% ZD Revision 2 (se) |
| 04/09/15 | 100% ZD Revision 3 (ic) |

SHEET TITLE

### LANDSCAPE DEVELOPMENT PLAN

PROJECTS\VERIZON\14157

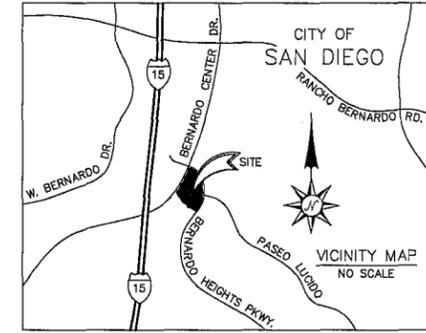


**COORDINATES:**  
 LATITUDE: 33°00'49.095" N  
 LONGITUDE: 117°04'36.283" W  
 DATUM: NAD83

- LEGEND:**
- AC - ASPHALT CONCRETE
  - AGU - AIR CONDITIONING UNIT
  - AG - ANCHOR GUY
  - BC - BUILDING CORNER
  - CATV - CABLE BOX
  - EB - ELECTRIC BOX
  - EC - EDGE OF CONCRETE
  - ELEC. - ELECTRIC
  - EU - ELECTRIC UTILITY
  - FG - FINISH GRADE
  - FH - FIRE HYDRANT
  - FL - FLOW LINE
  - FS - FINISH SURFACE
  - ICV - IRRIGATION CONTROL VALVE
  - LP - LIGHT POLE
  - NG - NATURAL GRADE
  - PP - POWER POLE
  - RHC - ROOF HATCH
  - RS - ROOF SURFACE
  - SBC - SOUTHERN BELL COMMUNICATION BOX
  - SDMM - STORM DRAIN MANHOLE
  - SLPB - STREET LIGHT PULLBOX
  - TB - TOP OF CONCRETE BASE
  - TC - TELECOMMUNICATION
  - TOE - TOP OF NATURAL GROUND
  - TP - TOP OF PARAPET
  - TT - TOP OF TREE
  - UB - UTILITY BOX
  - WM - WATER METER
  - WV - WATER VALVE
  - - TREE DRIP LINE

**ITEMS CORRESPONDING TO SCHEDULE "B":**

- BY: COMMONWEALTH LAND TITLE COMPANY COMMITMENT NO.: 08022901  
 4100 NEWPORT PLACE DR., SUITE 120 TITLE OFFICER: CHRIS MAZIAR  
 NEWPORT BEACH, CA 92660 DATED: JUNE 25, 2014
- THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS
- ① WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS, THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
  - ② COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED OCTOBER 3, 1977 AS INSTRUMENT NO. 77-405893, MODIFIED MARCH 2, 1982 AS INSTRUMENT NO. 82-056426 AND SEPTEMBER 29, 1982 AS INSTRUMENT NO. 82-300943 ALL OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  - ③ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "PLANNED RESIDENTIAL PERMIT NO. 130" RECORDED AUGUST 17, 1978 AS INSTRUMENT NO. 78-443443 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  - ④ COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED DECEMBER 29, 1978 AS INSTRUMENT NO. 78-558917 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  - ⑤ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "AGREEMENT SECURING REPAYMENT OF CONDITIONAL DONATION" RECORDED JUNE 12, 1979 AS INSTRUMENT NO. 79-241883 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  - ⑥ EASEMENT FOR DRAINAGE PURPOSES AND RIGHTS INCIDENTAL THERETO, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON MAP NO. 9559. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
  - ⑦ EASEMENT FOR EMERGENCY AND PEDESTRIAN ACCESS PURPOSES AND RIGHTS INCIDENTAL THERETO, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON MAP NO. 9559. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
  - ⑧ EASEMENT FOR DRAINAGE, WATER AND SEWER PURPOSES AND RIGHTS INCIDENTAL THERETO, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON MAP NO. 9558. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
  - ⑨ EASEMENT FOR ACCESS PURPOSE AND RIGHTS INCIDENTAL THERETO, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON MAP NO. 9558. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  - ⑩ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "CONDITIONAL USE PERMIT - CASE NO. 16558" RECORDED AUGUST 4, 1981 AS INSTRUMENT NO. 81-248310 MODIFIED JULY 17, 1990 AS INSTRUMENT NO. 80-385363 BOTH OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  - ⑪ EASEMENT FOR THE ERECTING, MAINTAINING, REPAIRING, REPLACING, RENOVATING AND ALTERING OF LANDSCAPING AND AN ENTRANCE MONUMENT TO THE COMMUNITY OF BERNARDO HEIGHTS PURPOSES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED DECEMBER 22, 1981 AS INSTRUMENT NO. 81-399558 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS APPROXIMATELY PLOTTED HEREON.
  - ⑫ EASEMENT FOR UNDERGROUND FACILITIES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY; COMMUNICATION FACILITIES PURPOSES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED JULY 23, 1982 AS INSTRUMENT NO. 82-226401 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION COULD NOT BE DETERMINED FROM RECORD AND IS NOT PLOTTED HEREON.
  - ⑬ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "AGREEMENT SECURING REPAYMENT OF CONDITIONAL DONATION" RECORDED JANUARY 14, 1983 AS INSTRUMENT NO. 83-014091 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  - ⑭ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "GRANT OF EASEMENT AND MAINTENANCE AGREEMENT" RECORDED AUGUST 28, 1984 AS INSTRUMENT NO. 84-328328 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON. IT ALSO CONTAINS A 70' BUILDING SETBACK LINE THAT IS SHOWN HEREON.
- ITEMS #S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.



**DATE OF SURVEY:**  
 JULY 14, 2014

**LEGAL DESCRIPTION:**

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
 LOTS 11 AND 12 OF BERNARDO HEIGHTS UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 9559, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON FEBRUARY 20, 1980.

ASSESSOR'S PARCEL NUMBER: 274-810-18

**BASIS OF BEARINGS:**

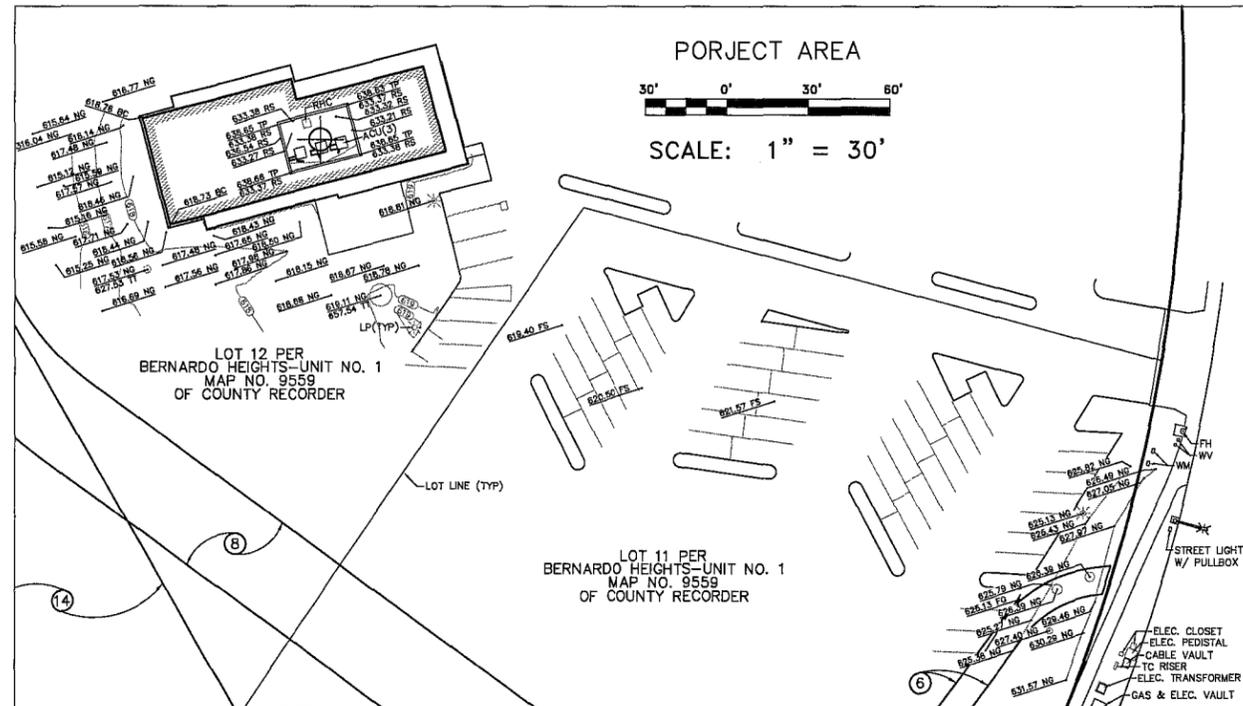
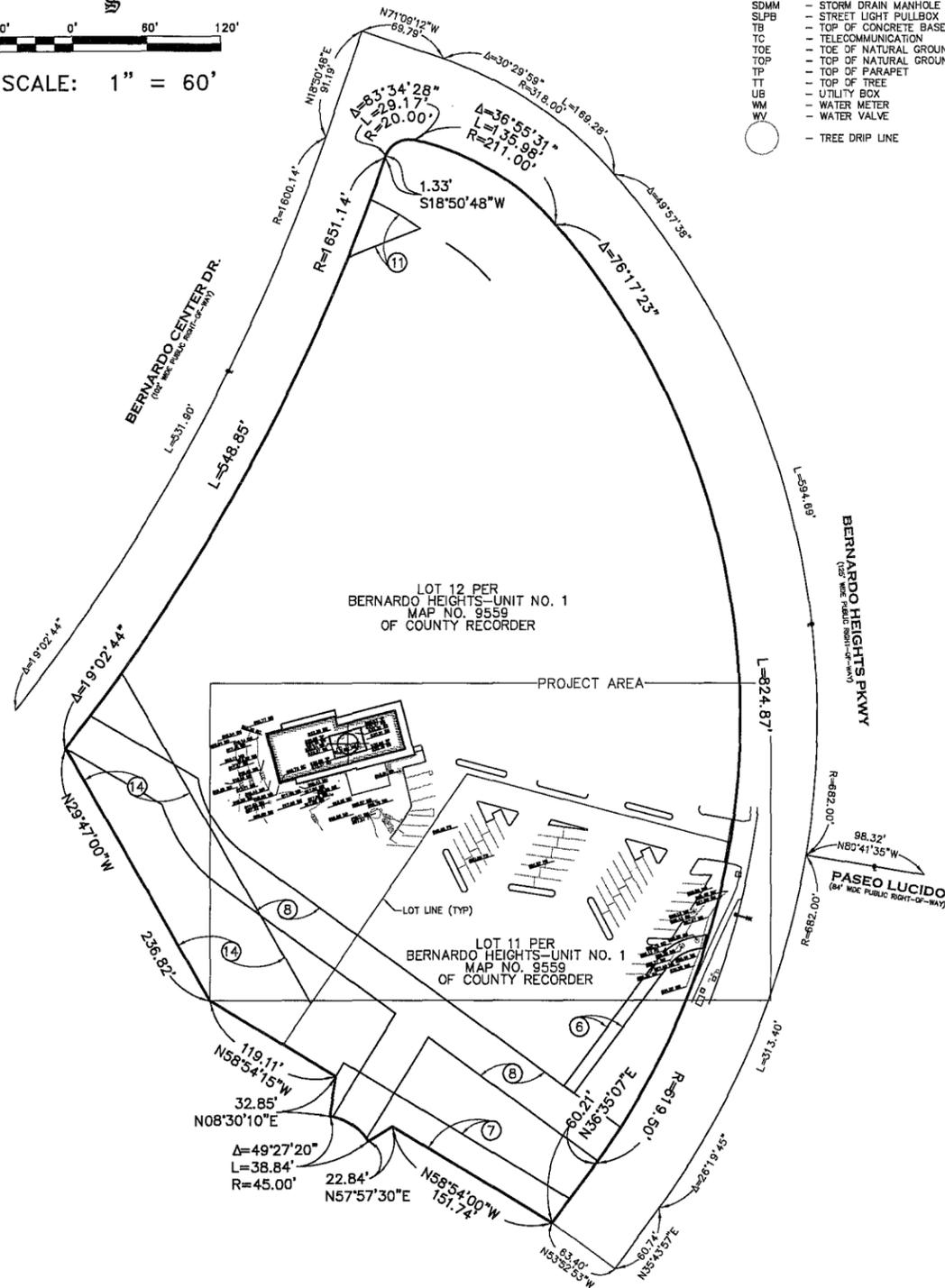
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1991.35, ADJUSTED GRID BEARING BETWEEN STATION: "404" AND "419" PER RECORD OF SURVEY 14492.

**DATUM STATEMENT:**

FOUND CITY OF SAN DIEGO BRASS PLUG AT THE EAST CORNER OF BERNARDO HEIGHTS PARKWAY AND PASEO LUCIDO.

ELEVATION=624.298 (MSL)

MIGUEL A. MARTINEZ  
 EXP: 06/30/16  
 L.S. 7443



**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 303 CARLSBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR  
  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 222-7000

CONSULTANT  
**JRN**  
**CIVIL ENGINEERS**  
 232 AVENIDA FABRICANTE,  
 SUITE 107  
 SAN CLEMENTE, CA 92672  
 (949) 248-4685

PROJECT NAME  
**VIVIENDA**  
 16550 BERNARDO HEIGHTS PKWY  
 SAN DIEGO, CA 92128

DRAWING DATES  
 SHEET TITLE  
 TOPOGRAPHIC SURVEY

C1

**EXISTING**



ATTACHMENT

**Vivienda**  
16550 Bernardo Heights Pkwy  
San Diego, CA 92128



Proposed antennas mounted behind proposed RF transparent roof screen matching existing building



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**

**EXISTING**

ATTACHMENT 9

**Vivienda**  
16550 Bernardo Heights Pkwy  
San Diego, CA 92128



Proposed antennas mounted behind proposed RF transparent roof screen matching existing building



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**

**EXISTING**



ATTACHMENT

**Vivienda**  
16550 Bernardo Heights Pkwy  
San Diego, CA 92128



Proposed antennas mounted behind proposed RF transparent roof screen matching existing building

Proposed equipment enclosure matching existing building

Proposed landscaping



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**

## ***Rancho Bernardo Community Planning Board***

P.O. Box 270831, San Diego, CA 92198

[www.rbplanningboard.com](http://www.rbplanningboard.com)

June 12, 2015

Simon Tse, Development Project Manager  
City of San Diego  
Development Services Department  
1222 First Avenue, 5<sup>th</sup> Floor (MS 501)  
San Diego, CA 92101-4155

SUBJECT: Verizon Wireless Vivienda (Project No. 393901), 16550 Bernardo Heights Pkwy,  
San Diego, CA 92128

Dear Mr. Tse:

On May 21, 2015, the Rancho Bernardo Community Planning Board considered a proposal by Verizon Wireless to install a new wireless communication facility at 16550 Bernardo Heights Parkway (Methodist Church). The proposal would require the approval of a Conditional Use Permit and Neighborhood Development Permit for 12 antennas concealed inside a rooftop cupola to be constructed atop an existing one-story building and an associated 384-square-foot equipment enclosure with proposed landscaping. Prior to the Board's consideration of this matter, the Planning Board's Development Review Committee worked with the applicant on a redesign of the proposed rooftop cupola and equipment enclosure to improve the appearance of the facility from the surrounding area. The full Board then considered the redesigned project (plans dated 4/09/15 and photo simulations dated 4/16/15), at the May 21 meeting and approved the following motion by the vote of 10-0-0:

A letter shall be sent to City staff indicating that the Rancho Bernardo Community Planning Board recommends approval of the Verizon Wireless Vivienda project provided that the design is consistent with that shown on plans dated 4/09/15.

The Rancho Bernardo Community Planning Board appreciates the opportunity to review and provide comments on this proposal.

Sincerely,



Mike Lutz  
Chair, Rancho Bernardo Community Planning Board

cc: Councilmember Mark Kersey, District 5

**Tse, Simon**

---

**From:** Mike Lutz [manager@highcountrywest.com]  
**Sent:** Thursday, June 04, 2015 4:33 PM  
**To:** Tse, Simon  
**Cc:** Vicki Touchstone  
**Subject:** Re: Verizon Wireless Vivienda PTS 393901- RB Vote : Confirmation

Simon, yes PTS 393901 was approved 10-0-0 at the May 21, 2015 RBPB meeting. Mike

----- Original Message -----

**From:** Tse, Simon  
**To:** 'manager@highcountrywest.com'  
**Cc:** Victoria Touchstone  
**Sent:** Thursday, June 04, 2015 9:11 AM  
**Subject:** Verizon Wireless Vivienda PTS 393901- RB Vote : Confirmation

Good morning Mike – Can you please confirm for me that this project was indeed presented to the RB Planning Board on May 21, 2015 and it received a vote of 9-0-0? I am preparing to schedule this project for Hearing Officer and I want to make sure this item has been cleared. Thank you in advance for your response.

ST

Simon Tse | Development Project Manager | Office: 619.687.5984 | Fax: 619.446.5499 |  
Development Services Department |  
1222 First Avenue, 5th Floor San Diego, CA 92101-4155 |  
Email - [Stse@SanDiego.gov](mailto:Stse@SanDiego.gov)

 **OpenDSD** Now: [Pay Invoices](#) and [Deposits Online](#)



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title** \_\_\_\_\_ **Project No. For City Use Only** \_\_\_\_\_

Verizon - Vivienda

**Project Address:**

16550 Bernardo Heights Parkway, San Diego, CA 92128

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

|                                     |                                 |
|-------------------------------------|---------------------------------|
| Project Title:<br>Verizon- Vivienda | Project No. (For City Use Only) |
|-------------------------------------|---------------------------------|

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation   
  Limited Liability -or-   
  General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**     Yes     No

Corporate/Partnership Name (type or print):  
Hope United Methodist Church

Owner     Tenant/Lessee

Street Address:  
16550 Bernardo Heights Parkway

City/State/Zip:  
San Diego, CA 92128

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
858-485-5840

Name of Corporate Officer/Partner (type or print):  
RALPH F PARKS

Title (type or print):  
CHAIRMAN, TRUSTEES

Signature : \_\_\_\_\_ Date: \_\_\_\_\_  
*Ralph F Parks*    10/15/2014

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

**Verizon Wireless Vivienda**  
**PROJECT CHRONOLOGY**  
 PTS #393901 IO #24005227

| Date                               | Action                                | Description                                 | City Review     | Applicant Response |
|------------------------------------|---------------------------------------|---|-----------------|--------------------|
| <b>10.23.2014</b>                  | <b>First Submittal</b>                | <b>Project Deemed Complete</b>              |                 |                    |
| 11.07.2014                         | First Assessment Letter               |   | <b>15 days</b>  |                    |
| 03.06.2015                         | Second Submittal                      |   |                 | <b>119 days</b>    |
| 04.21.2015                         | Second Assessment Letter              |   | <b>46 days</b>  |                    |
| 05.21.2015                         | Community Planning Group Presentation |   |                 | <b>30 days</b>     |
| 06.04.2015                         | All issues resolved                   |   | <b>14 day</b>   |                    |
| 07.22.2015                         | Scheduled for Hearing Officer         |   | <b>48 days</b>  |                    |
| <b>Total Staff Time:</b>           |                                       | Does not include City Holidays and Furlough | <b>123 days</b> |                    |
| <b>Total Applicant Time:</b>       |                                       | Does not include City Holidays and Furlough |                 | <b>149 days</b>    |
| <b>Total Project Running Time:</b> |                                       | From Deemed Complete to HO Hearing          | <b>272 days</b> |                    |

**SITE JUSTIFICATION**  
**Verizon "Vivienda"**  
**16550 Bernardo Heights**  
**San Diego, CA 92128**

**PROJECT DESCRIPTION**

The project proposes to install a WCF for Verizon Wireless located at 16550 Bernardo Heights in the Rancho Bernardo community planning area. The project will consist of the installation of (12) panel antennas, (18) Remote Radio Units and (1) MW concealed behind rooftop mechanical screen extension. Associated equipment including emergency back-up generator to be located at grade within a custom 385 sf enclosure designed to match the existing building facade.

The property is completely developed with the Hope United Methodist Church buildings and is zoned IL-3-1 with RS-1-14.

**SITE DESIGN**

More specifically, the site will be configured with 3 sectors of 4 antennas and 6 RRUs at each sector. Verizon is utilizing existing architectural features to accommodate this design in order to completely conceal the antennas and RRUs. The associated equipment necessary to operate the facility including an emergency back-up generator will be located partially within the base of the tower element within a 385 sf enclosure design to be part of the element. The project has been designed to integrate with the existing building materials and architectural features.

**PREFERENCE 2 LOCATION – PROCESS 2 DESIGN:**

The project is a Preference 2 location the proposed facility is located on a residentially zoned, but non-residentially used property. A Neighborhood Development Permit is required as the equipment footprint is beyond the 250 square foot allowable and the site is more than 100' of the nearest residential property line.

We believe that the facility as designed is consistent with all relevant regulations and will be well integrated from vantage points and surrounding properties.

**CO-LOCATION OF WIRELESS FACILITIES**

There are no existing carriers on site.



## Telecommunications Project Management

February 16, 2015

*Sent Via Hand Delivery*

Mr. Simon Tse  
 City of San Diego  
 1222 First Avenue  
 San Diego, CA 92121

RE: Verizon Wireless "Vivienda"  
 Project Resubmittal – Completeness Review

Dear Mr. Tse:

Enclosed for your review are revised drawings and photographic simulations for the Verizon Wireless site located at 16550 Bernardo Heights Parkway. The drawings have been revised to address the issues identified in your completeness review dated November 18, 2014. In addition, we have prepared the following responses to each of the items identified in the letter:

### Completeness Check 11/18/14

LDR Planning:

1. Comment noted.
2. Comment noted.
3. It is always Verizon's goal to identify the most preferred candidates, often times with an established telecom use, which allows them to achieve the intended coverage objective. The Clock Tower Office Plaza located at 16486 Bernardo Center Drive was reviewed as the initial potential candidate but was eliminated as viable after Verizon could not identify any suitable equipment location on the property. Additionally, the clock tower element itself was the primary focus of siting as it is the highest point on the property, however this feature already supports multiple carriers and could not also support Verizon's need for a full assortment of 3 sectors of 12 antennas and remote radios needed.
4. As noted, Verizon seeks preferred candidates that are most preferred and result in the most expedient permit allowable. In this instance, the search area included 4 properties where ownership demonstrated preliminary interest in being considered as candidates for Verizon engineers. Of the 4 properties considered, 3 were preference 1 siting opportunities that were explored in good faith and after consideration found to be unacceptable.
  - a. The Clock Tower Office Plaza feasibility and rationale was previously noted in response 3.
  - b. Secondly, the RB Auto Center located at 11629 Iberia Place was considered however the engineers ultimately rejected that candidate because of its orientation being too low to adequately cover the area. We felt designing something that would achieve the necessary height would be out of scale and would ultimately not visually integrate with the overall site and its auto use presented unique siting challenges for the equipment. Finally, this candidate is situated in an area where there was too much overlap with the recently completed project called Bernardo Plaza. The goal was to achieve a location that would provide enough visual isolation from the null of the Bernardo Plaza sectors which the RB Auto Center did not.
  - c. The third preference candidate considered was Bernardo Center located at 16473 Bernardo Center Drive. Although this candidate is located on a commercially zoned and used property it was closer to the adjacent residential uses to the southeast than the Methodist Church. At the time, the building was a vacant former bank building, because of Verizon's required 24/7 access requirements we were concerned that this could be problematic if a new bank was to be the tenant. Additionally, this was the least preferred

**Vivienda**  
 16550 Bernardo Heights Pkwy  
 San Diego, CA 92128



**Legend**

Search Ring

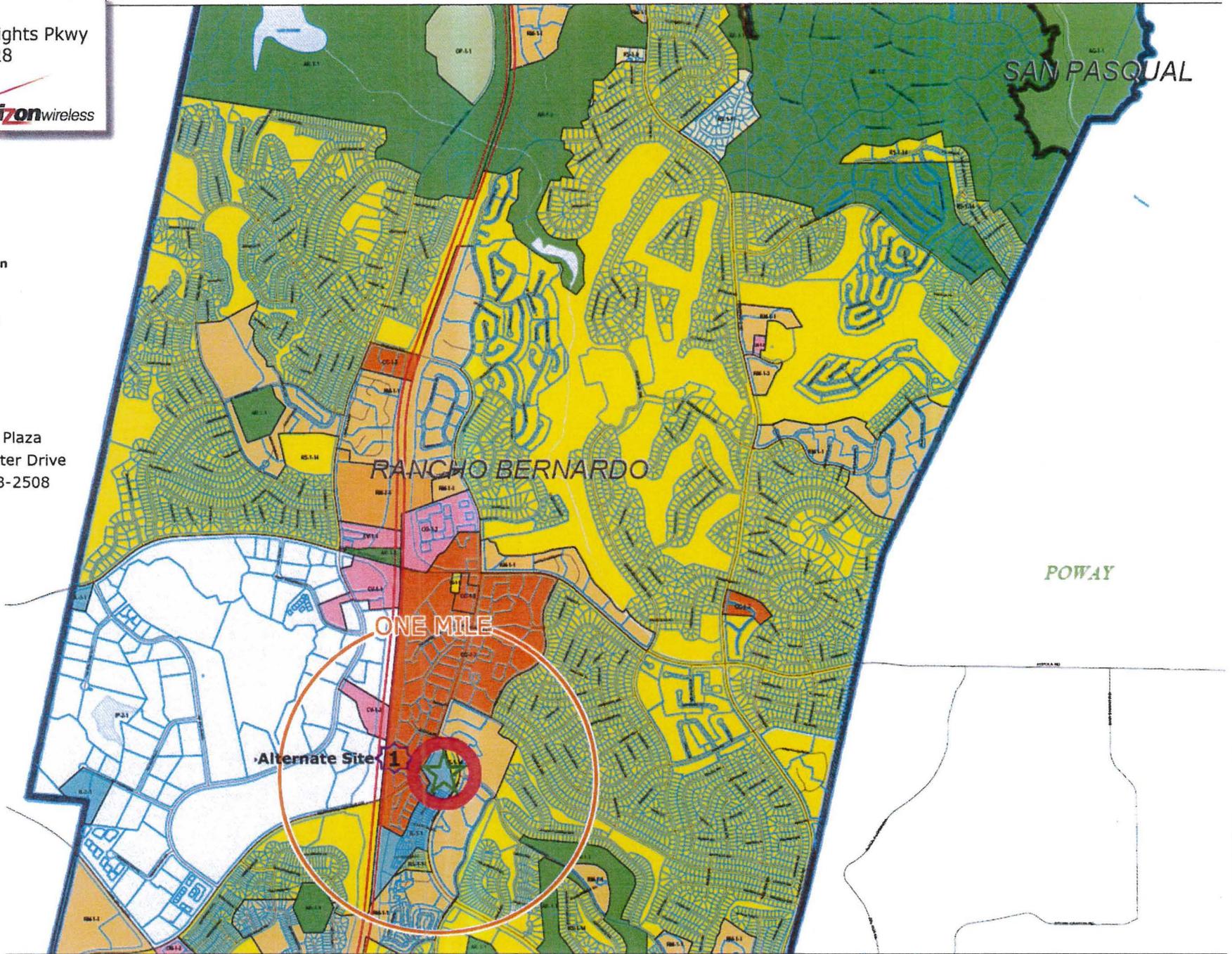
Selected Site

Existing sites within 1 mile radius:

No existing sites within 1 mile

Alternative Sites:

1. Clock Tower Office Plaza  
 16486 Bernardo Center Drive  
 San Diego, CA 92128-2508



ATTACHMENT 13

SanGIS Services Agency  
 SanGIS Layer 5.41/Assessments by the City of San Diego dated 20-7  
 (horizontal accuracy of the 10% confidence level)  
 This data meets the Accuracy Standard for Class 1 Map Accuracy at a scale of  
 1:10,000 (1"=1,000').  
 This assessment assumes utilization of the data on a computer screen. Printed  
 data may be scaled or fit to meet this standard with errors in excess of 10% possible.

Any information that has been made to access the  
 contents of this map through the Internet  
 is provided for San Diego State Planning Commission  
 members only and is not to be  
 used for any other purpose.  
 THIS MAP IS PROVIDED WITHOUT WARRANTY OF ANY KIND,  
 EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO,  
 THE IMPLIED WARRANTIES OF MERCHANTABILITY AND  
 FITNESS FOR A PARTICULAR PURPOSE.  
 NECESSARY INFORMATION: The use of this information is  
 subject to a license agreement only. No work is  
 warranted of the information published except  
 in accordance with said licensing agreement.



**City of San Diego**  
**Development Services Department**



**GRID TILE: 43**

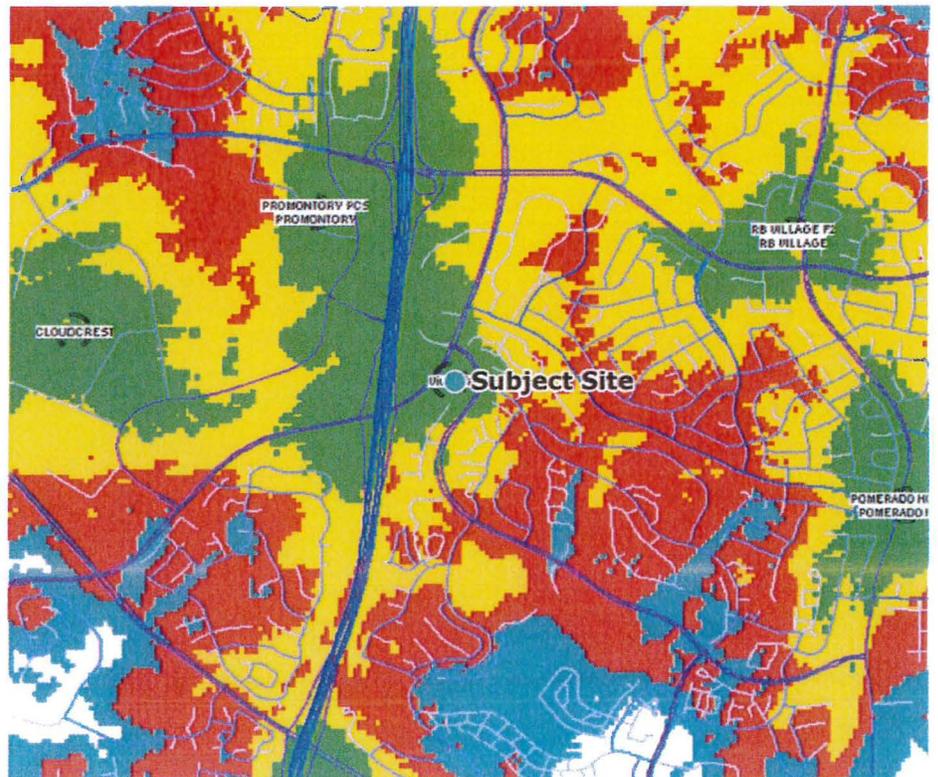
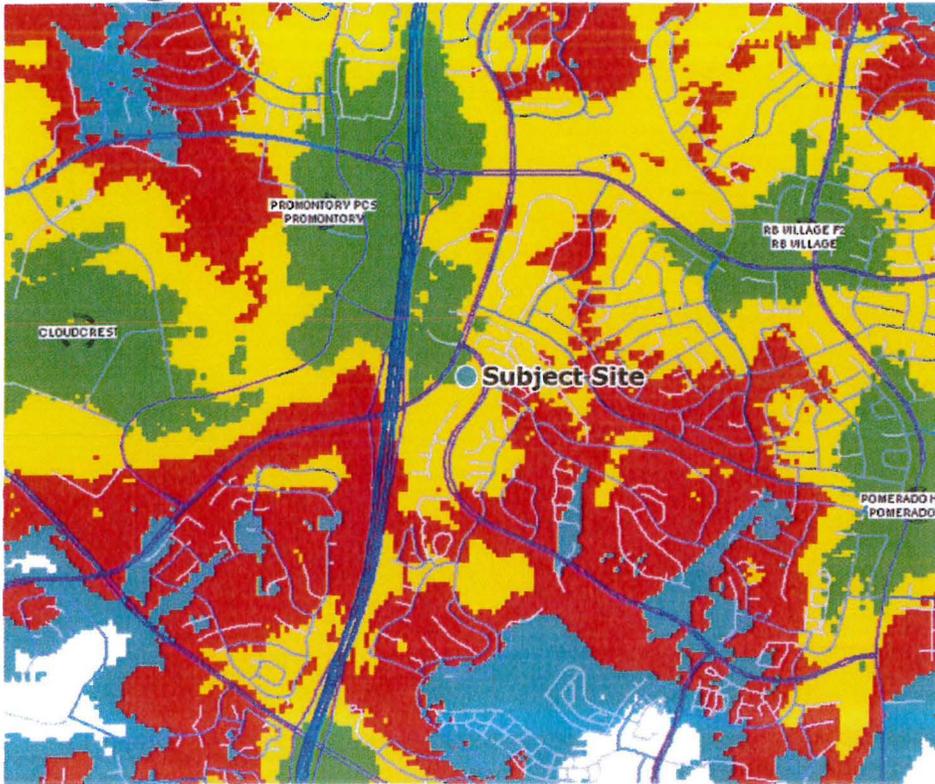
GRID SCALE: 800

DATE: 12/18/2007 6:54:58 PM

**Vivienda**  
16550 Bernardo Heights Pkwy  
San Diego, CA 92128



**Coverage without site**



**Coverage Levels:**

- Excellent
- Good/Variable
- Poor

**Coverage with site**



## PHOTO STUDY & KEY MAP

---

PROPOSAL TO ESTABLISH AND OPERATE A  
NEW DIGITAL PCS  
COMMUNICATIONS FACILITY

**Verizon Wireless**  
**"Vivienda"**  
16550 Bernardo Heights  
San Diego, CA 92128

Prepared for:  
**City of San Diego**  
**Development Services Department**  
1222 First Avenue  
San Diego, CA 92101

Prepared by:  
**PlanCom, Inc.**  
*Contractor Representatives for*  
**Verizon Wireless**  
  
302 State Place  
Escondido, CA 92029  
Contact: Kerrigan Diehl, Planning Consultant  
(760) 587-3003

October 7, 2014



View North



View East



View West



View South



South Building Elevation



East Building Elevation



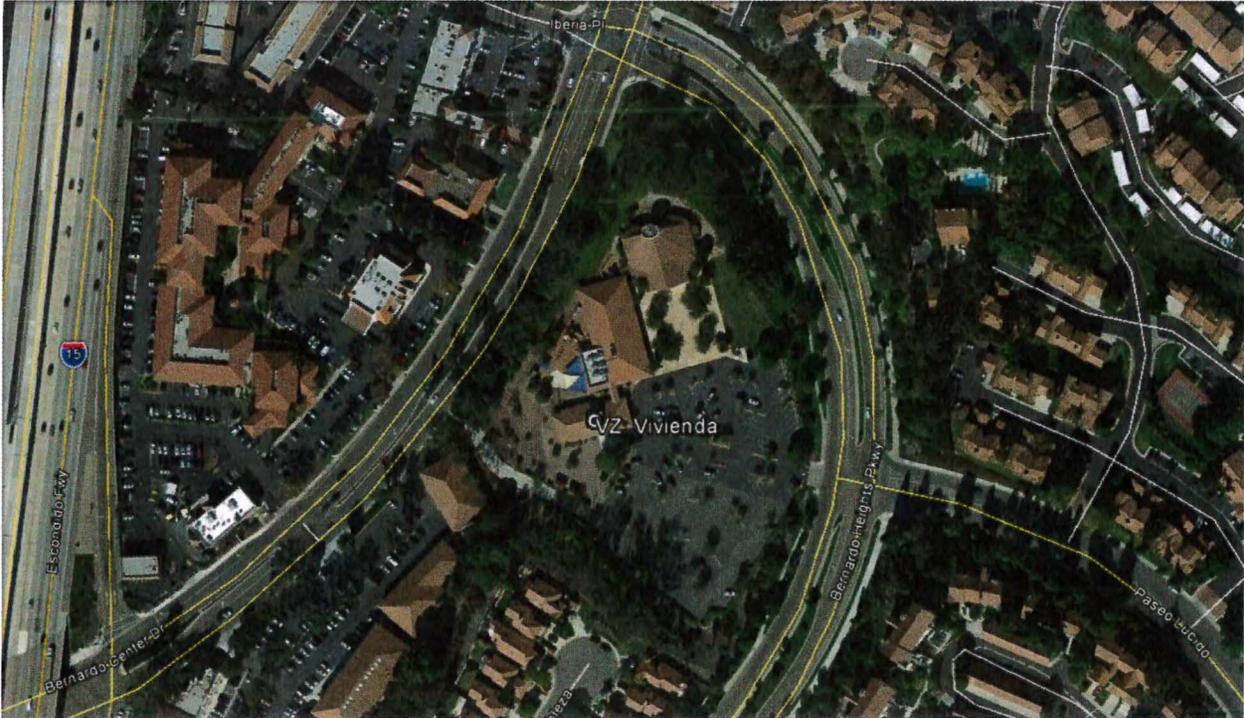
West Building Elevation



North Building Elevation



View of Equipment Location looking south



Aerial View of Subject Site & Surroundings