

The site currently contains a two story, single family home constructed in 1974 which was in conformance with the land development regulations at that time. A portion of the site was originally mapped as being part of the Multiple Habitat Planning Area (MHPA). During the processing of the project, a Boundary Line Correction (BLC) was completed on August 15, 2015 removing the MHPA from the project site and aligning it with the property line.

On December 16, 2013, Building Permit No. 1205993 was issued for a first and second floor remodel to include adding a deck, remodeling the master bathroom, creating a new bathroom, and replacement of windows and doors. A Coastal Development Permit was not required as the addition maintained the existing footprint and met the applicable exemption criteria.

The project requires a Coastal Development Permit Process Three, appealable to the California Coastal Commission, for a coastal development pursuant to San Diego Municipal Code (SDMC) section 126.0707 as the project is expanding the building footprint and proposing grading. The project is bounded by single family developments and the Sunset Cliffs Natural Park to the east.

DISCUSSION

The proposed project design meets development requirements of the Land Development Code including floor area ratio, landscaping, parking, and height. The proposed project will be two stories to include a 509 square-foot expansion to the basement, a 252 square-foot second story expansion, a new 376 square-foot pool room and a pool and spa.

The Peninsula Community Plan (Plan) provides several urban design recommendations, including avoiding differences in scale with the surrounding development. Specifically, the Plan states that buildings should be sympathetic to the scale, form, and texture of the surrounding development. The Plan also states that where new buildings are larger than existing structures, large surfaces should be articulated and textured to reduce their apparent size and to reflect the pattern of the surrounding development. Abrupt differences in scale (building height) between new development and neighboring development should be avoided where gradual transitions in scale are preferred. The proposed project is consistent with the land use designations of the Community Plan by continuing to maintain an existing single family home without increasing the density range of nine dwelling units per acre as identified within the Peninsula Community Plan. The expansions and addition would meet the goals of the Peninsula Community Plan/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches and bays. The proposed project will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, parking, landscape, and floor area ratio. The project site is immediately adjacent to a two story residence to the north and a two story residence to the south. The project's modifications meet the Plan recommendation of being sympathetic to scale, form, and texture by designing a home by including multi-pitched roofs, dormers, with a stucco finish. and a covered entry porch along the façade. The proposed architecture is similar in design with the neighbor to the south and the existing homes along the street. Development along this hillside residential area consists of one and two story homes with an eclectic mixture of architectural with no distinctive architectural

style that dominates the immediate neighborhood. The project as demonstrated on the architectural exhibits is consistent with the goals and objectives of the Peninsula Community Plan.

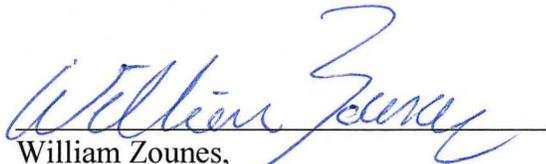
Conclusion

Staff has determined that the project complies with the development regulations of the RS-1-7 zone and all other applicable sections of the San Diego Municipal Code. Staff has determined that the required findings can be made as the project meets the applicable San Diego Municipal Code regulations and requirements. Staff recommends approval of the project as proposed.

ALTERNATIVES

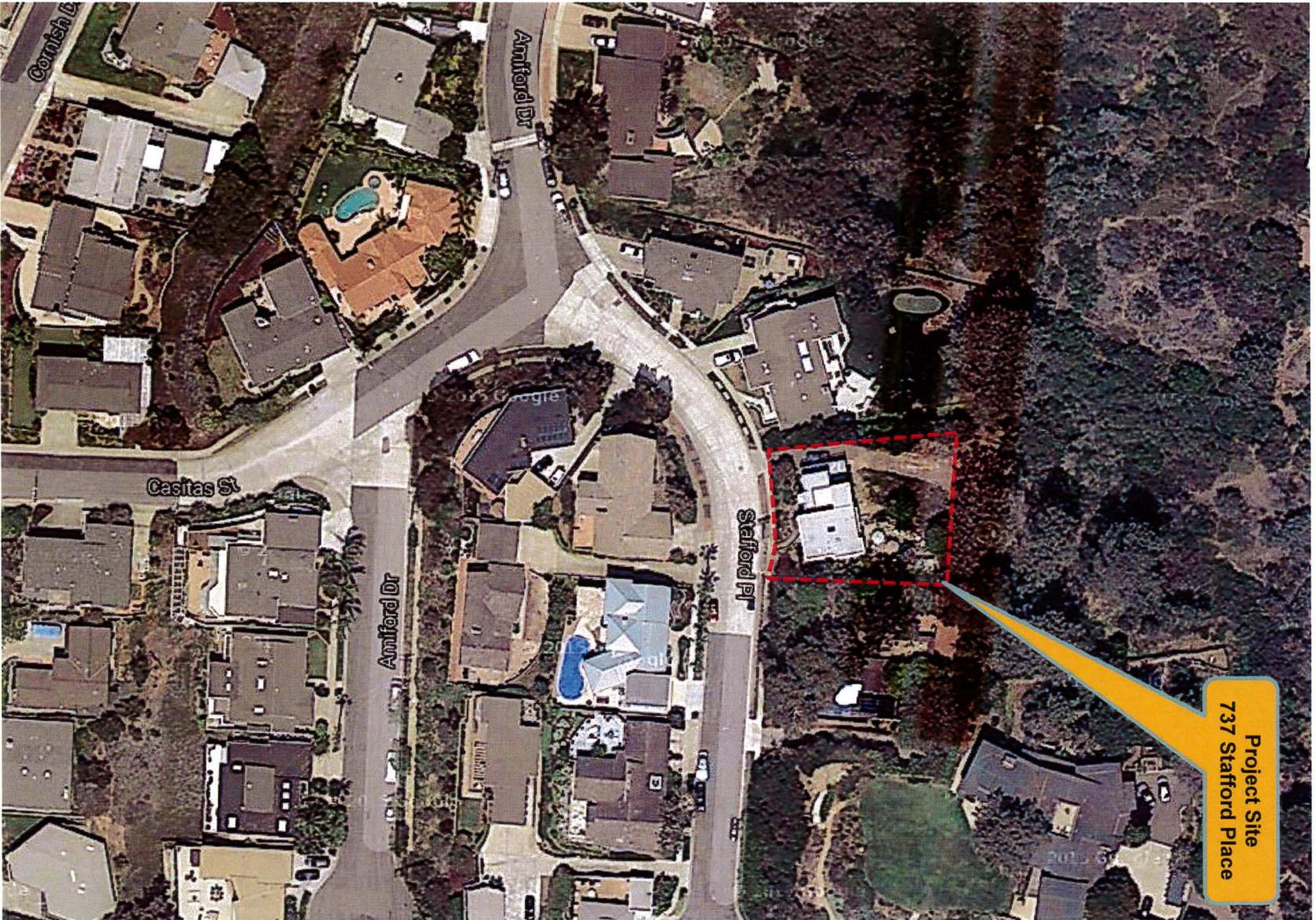
1. **Approve** Coastal Development Permit No. 1242115 with modifications or;
2. **Deny** Coastal Development Permit No. 1242115, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,


William Zounes,
Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit with Conditions
6. Draft Resolution with Findings
7. Community Planning Group Recommendation
8. Project Chronology
9. Environmental Exemption
10. Project Plans



Attachment 1
Aerial Photograph of Site



Aerial Photograph (Birds Eye)

Morse/Freund CDP Project No. 353467

737 Stafford Place



Map ONE
Peninsula
Existing Conditions
Land Use

Legend

- Single Family Residential
- Single Family Res. under construction
- TOD
- Group Quarters
- Mobile Home Park
- Commercial, Commercial-Recreation
- Commercial (under construction)
- Industrial, Warehouse/Storage
- Industrial (under construction)
- Extractive Industry
- Communication Utilities, Transportation Related
- Airport/Landfill
- Institute
- Military Use
- Schools
- Education Center (under construction)
- Park, Open Space
- Private Recreation
- Undeveloped
- Banks of Water

Map One: Single Family Residential, Commercial, Industrial, and Institutional Land Use. This map is a general representation of existing land use conditions and is not intended to be used for legal purposes. It is based on the most current information available and is subject to change. The City of San Diego Planning Department reserves the right to update this map as more information becomes available. This map is provided for informational purposes only and does not constitute a guarantee, warranty, or endorsement of any kind by the City of San Diego. For more information, please contact the City of San Diego Planning Department at (619) 594-6000.

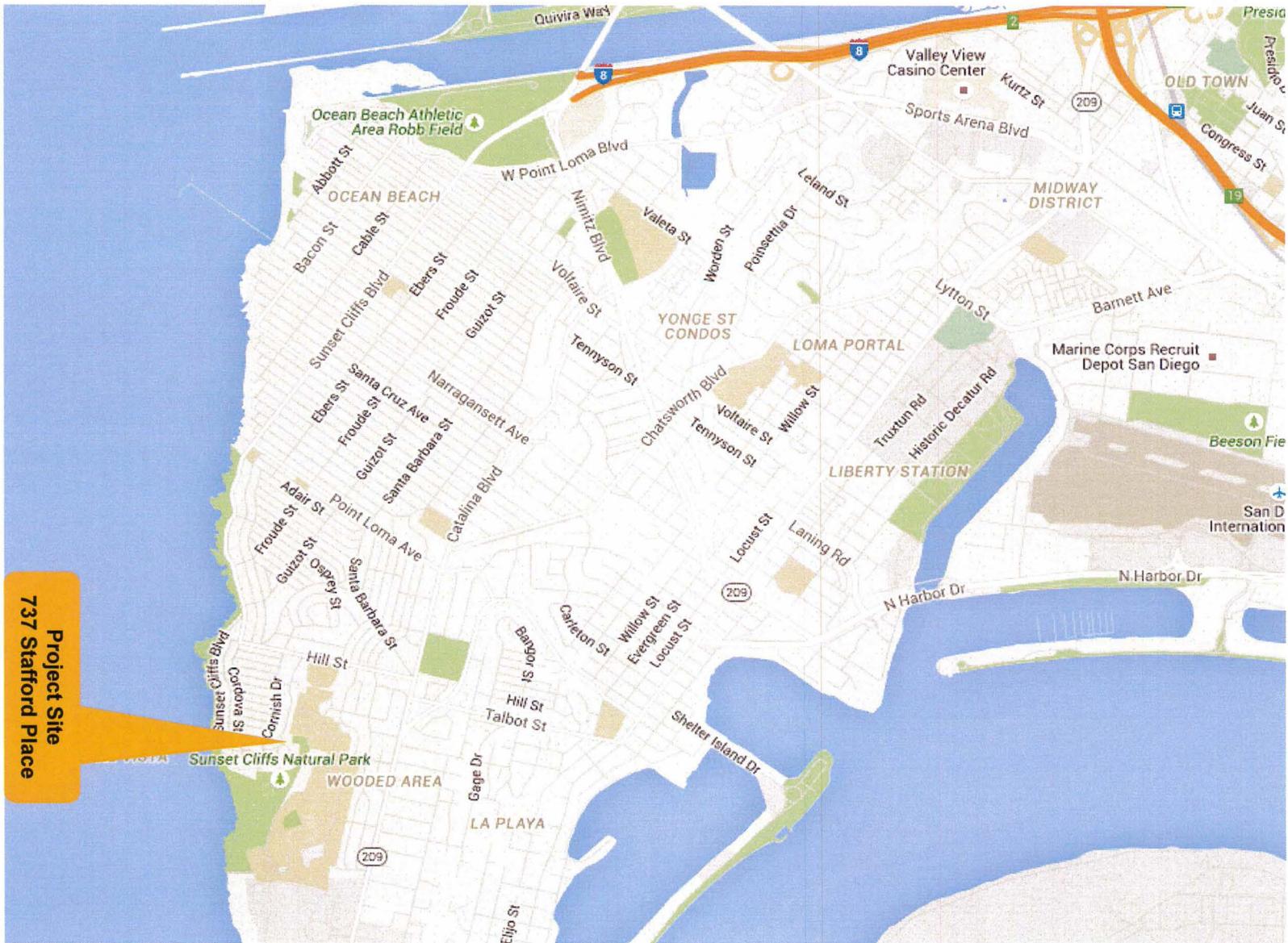
0 600 1 200 1 800 2 400 Feet
City of San Diego
Planning Department
March 18, 2004

Attachment 2
 Community Plan Land Use Map



Peninsula Community Planning Area

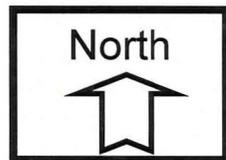
Morse/Freund CDP Project No. 353467
 737 Stafford Place



Project Site
737 Stafford Place

Project Location Map

Morse/Fruend CDP Project No. 353467
737 Stafford Place



Attachment 3
Project Location Map

PROJECT DATA SHEET		
PROJECT NAME:	Morse/Freund – Project 353467	
PROJECT DESCRIPTION:	The project proposes a Coastal Development Permit for the remodel and expansion to an existing single family home to include a 509 square-foot expansion to the basement, a 252 square-foot second story expansion, a new 376 square-foot pool room and a pool and spa.	
COMMUNITY PLAN AREA:	Peninsula	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential (5-9 du/ac)	
ZONING INFORMATION:		
ZONE: RS-1-7		
HEIGHT LIMIT: 30 feet		
LOT SIZE: 13,670 square feet		
FLOOR AREA RATIO: 0.60		
FRONT SETBACK: 15 feet		
SIDE SETBACK: 8 feet		
STREETSIDE SETBACK: N/A		
REAR SETBACK: 13 feet		
PARKING: 2 spaces required		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Single Family/RS-1-7	Single Family Homes
SOUTH:	Single Family/RS-1-7	Single Family Homes
EAST:	Open Space/OP-1-1	Sunset Cliffs Natural Park
WEST:	Single Family/RS-1-7	Single Family Homes
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 19, 2015, the Peninsula Community Planning Group voted 12-0-0 to recommend approval of the project with no conditions.	

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004313

COASTAL DEVELOPMENT PERMIT NO. 1242115
MORSE/FREUND CDP PROJECT NO. 353467
HEARING OFFICER

This Coastal Development Permit No. 1422115 is granted by the Hearing Officer of the City of San Diego to ELLEN FREUND and GEOFF MORSE, Owner, and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0704. The 0.31-acre site is located at 737 Stafford Place in the RS-1-7 zone of the Peninsula Community Planning area. The project site is legally described as: Lot No. 2 of Map No. 3240 within Loma Mar Vista;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to remodel an existing single family home by adding a room, pool, and landscape and remove an existing detached garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 22, 2015, on file in the Development Services Department.

The project shall include:

- a. Second floor room addition equaling 252 square feet;
- b. Basement addition equaling 509 square feet;
- c. Detached pool room addition equaling 376 square feet;
- d. Pool and spa;
- e. Demolition of an existing detached unpermitted 537 square-foot garage;
- b. Landscaping (planting, irrigation and landscape related improvements);

- c. Off-street parking;
- d. Fencing along the eastern property line to protect the adjacent MHPA;
- e. Removal of the existing concrete stairs encroaching beyond the eastern property line into the Sunset Cliffs Natural Park;
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 5, 2018.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

Attachment 5
Draft Permit with Conditions

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to,

settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export 82 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private brick driveway, brick retaining wall and brick pavers in the Stafford Place Right-of-Way.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

19. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

20. The Permittee or Subsequent Owner shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A", Brush Management Plan, on file in the Office of the Development Services Department.

21. Prior to issuance of any construction permits, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit 'A' and shall comply with the Land Development Code.

22. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.

PLANNING/DESIGN REQUIREMENTS:

23. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

25. Prior to the issuance of any building permit, all water services (domestic, fire, and irrigation) to be constructed and/or utilized by the development must be fitted with an appropriate private back flow prevention device (BFPD) in a manner satisfactory to the City Engineer and the Public Utilities Director.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

**Attachment 5
Draft Permit with Conditions**

APPROVED by the Hearing Officer of the City of San Diego on July 22, 2015

**Attachment 5
Draft Permit with Conditions**

Permit Type/PTS Approval No.: CDP No. 1242115
Date of Approval: July 22, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
ELLEN FREUND

Owner/Permittee

By _____
GEOFF MORSE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO. XXXXXX
COASTAL DEVELOPMENT PERMIT NO. 1242115
MORSE/FREUND CDP PROJECT NO. 353467

WHEREAS, ELLEN FREUND and GEOFF MORSE, Owner/Permittee, filed an application with the City of San Diego for a permit to add a 252 square-foot second story room, add 509 square feet to an existing basement, construct a pool and spa with an associated 376 square-foot pool room, and demolish an existing detached garage. (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1242115) on portions of a 0.31-acre site;

WHEREAS, the project site is located at 737 Stafford Place in the RS-1-7 zone of the Peninsula Community Planning area;

WHEREAS, the project site is legally described as Lot 2 of Map No. 3240 within Loma Mar Vista;

WHEREAS, on July 22, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1242115 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on June 24, 2015 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15302 (Replacement and Reconstruction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated July 22, 2015:

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 13,670 square-foot site is located at 737 Stafford Place. The project is located within the RS-1-7 zone of the Peninsula Community Plan area within the Coastal Overlay Zone (appealable area), and the Coastal Height Limit Overlay Zone.

The property is not identified in the City's adopted Local Coastal Program (LCP) Land Use Plan as a public access way. There is no physical access way used by the public on this property or any proposed public access way as identified in the LCP Land Use Plan. The proposed development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in the Peninsula Local Coastal Program Land Use Plan. The proposed modifications will be consistent with the height of many existing structures within this particular neighborhood. The project is completely contained within the private property, and as such, the project would not encroach upon any existing physical access way. The nearest public access to Pacific Ocean is from the end of Ladera Street approximately a quarter mile to the west. Therefore, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan. The proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan by not encroaching into any scenic coastal area or public views as identified in the Local Coastal Program.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The site is adjacent to the Multiple Habitat Planning Area (MHPA) which includes the Sunset Cliffs Natural Park. The site itself does not contain environmentally sensitive lands but will be required to remove concrete steps which encroach into the park from the subject property and a fence is proposed to separate the site from the MHPA. Both the fence and stair removal will be a requirement of the Coastal Development Permit. The project was determined to be exempt from the need for environmental review pursuant to CEQA Section 15302. Therefore the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed project is consistent with the land use designations of the Community Plan by continuing to maintain an existing single family home without increasing the density range of nine dwelling units per acre as identified within the Peninsula Community Plan. The addition would meet the goals of the Peninsula Community Plan/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches and bays. The proposed addition will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, parking, landscape, and floor area ratio. The project site is immediately adjacent to a two story residence to the north and a two story residence to the south. Development along this hillside residential area consists of one and two story homes with an eclectic mixture of architectural with no distinctive architectural style that dominates the immediate neighborhood. The project as demonstrated on the architectural exhibits is consistent with the goals and objectives of the Peninsula Community Plan. The proposed project would adhere to community goals and it has been designed in a manner so as not to intrude into any of the identified public view corridors. The project does not propose deviations to the Land Development Code.

The proposed addition will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations which include to

height, setbacks, parking, landscape, and floor area ratio. Therefore, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with the regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located between the First Public Roadway and the Pacific Ocean. The property is located along Stafford Place and a quarter of mile east of the Pacific Ocean. Off-site dedicated public access points are located to the west from Ladera Street a quarter mile to the west. The proposed site improvement would not encroach on adjacent residential lots. The project would conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act which indicates projects will not impede an any water oriented activity, interfere with coastal dependent aquaculture uses, interfere with coastal access, and not interfere with Coastal areas suited for water-oriented recreational activities that cannot readily be provided at inland water areas. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 and the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1242115 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. Coastal Development Permit No. 1242115 a copy of which is attached hereto and made a part hereof.



William Zounes
Development Project Manager
Development Services

Adopted on: July 22, 2015

SAP Number: 24004313



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Morse/Freund CDP		Project Number: 353467		Distribution Date: 01/06/2014	
Project Scope/Location: PENINSULA Coastal Development Permit, Neighborhood Development Permit & MHPA Boundary Line Adjustment (Process 3) for a 761 sq ft two-story addition, hardscape, pool and spa to the existing single family residence located at 737 Stafford Place. The 13,670 sq ft site is in the RS-1-7 zone of the Peninsula Community Plan area and Coastal (appealable) Overlay Zone. Council District 2. Notice Cards=1.					
Applicant Name: Chris Ashby			Applicant Phone Number: (619) 442-6125		
Project Manager: Zounes, Will		Phone Number: (619) 687-5942	Fax Number: (619) 446-5245	E-mail Address: WZounes@sandiego.gov	
Project Issues (To be completed by Community Planning Committee for initial review): <div style="text-align: center;"> <p>1) PROVIDE EVIDENCE/DOCUMENTATION OF APPROVED "ALTERNATIVE" BRUSH MANAGEMENT ZONES #1 & 2.</p> <p>2) FORWARD COPY OF BIOLOGY STUDY.</p> <p>3) FORWARD COPY OF WQTR.</p> <p>2/12/2015</p> </div>					
<i>Attach Additional Pages If Necessary.</i>			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

**Community Planning
 Committee
 Distribution Form Part 2**

Project Name: Morse/Freund CDP	Project Number: 353467	Distribution Date: 01/06/2014
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Project Scope/Location:
 PENINSULA Coastal Development Permit, Neighborhood Development Permit & MHPA Boundary Line Adjustment (Process 3) for a 761 sq ft two-story addition, hardscape, pool and spa to the existing single family residence located at 737 Stafford Place. The 13,670 sq ft site is in the RS-1-7 zone of the Peninsula Community Plan area and Coastal (appealable) Overlay Zone. Council District 2. Notice Cards=1.

Applicant Name: Chris Ashby	Applicant Phone Number: (619) 442-6125
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Project Manager: Zounes, Will	Phone Number: (619) 687-5942	Fax Number: (619) 446-5245	E-mail Address: WZounes@sandiego.gov
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Committee Recommendations (To be completed for Initial Review):

<input checked="" type="checkbox"/> Vote to Approve	Members Yes 12	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued

CONDITIONS: NO CONDITIONS

NAME: MARK KRENICK	TITLE: CHAIR-PPC
---------------------------	-------------------------

SIGNATURE:	DATE: 3/19/15
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Attach Additional Pages If Necessary.

Please return to:
 Project Management Division
 City of San Diego
 Development Services Department
 1222 First Avenue, MS 302
 San Diego, CA 92101

**Project Chronology
Morse/Fruend CDP
Project No. 353467**

Date	Action	Description	City Review Time	Applicant Response
5/19/14	First Submittal	Project Deemed Complete and distributed		
7/3/14	First Submittal Assessment Letter out		45 days	
1/6/15	Second submittal In	Normal Submittal		187 days from First Assessment Letter
2/11/15	Second Submittal Assessment Letter out		36 days	
3/19/15	Third submittal In	Normal Submittal		36 days from second Assessment Letter
4/17/15	Third Submittal Assessment Letter out		29 days	
5/21/15	Forth submittal In	Normal Submittal		34 days from third Assessment Letter
6/10/15	Forth Submittal Assessment Letter out		20 days	
7/22/15	Hearing Officer Hearing		42 days	
TOTAL STAFF TIME**			5 month 22 days	
TOTAL APPLICANT TIME**				8 months 9 days
TOTAL PROJECT RUNNING TIME**		From Deemed Complete to HO Hearing	14 months 1 days	

**Based on 30 days equals to one month.

NOTICE OF EXEMPTION

Attachment 9
Environmental Exemption

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF S.
DEVELOPMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 353467

PROJECT TITLE: Morse/Freund CDP

PROJECT LOCATION-SPECIFIC: The project is located at 737 Stafford Place, San Diego, CA 92107 in the RS-1-7 zone within the Peninsula Community Planning Area.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Coastal Development Permit (CDP), Neighborhood Development Permit (NDP) for the demolition of an existing detached garage and the construction of a pool room, basement and second story room addition collectively totaling 1,137 square feet with a new in ground pool, spa and hardscape to an existing single family residence on a 13,670 sq ft site. A Multi-Habitat Planning Area (MHPA) Boundary Line Correction was determined by staff to be needed as the MHPA boundary line was erroneously reflected to bisect the property. The corrected MHPA boundary line now runs along the east property line and no longer exists on site.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego, Development Services Department (DSD)

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: John Kavan, Jackson Design and Remodeling, 4797 Mercury Street, San Diego, CA 92111 (760-402-6383).

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: Sections 15301(l) (Existing Facilities) and 15302 - (Replacement or Reconstruction)
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego has determined the project meets the categorical exemption criteria set forth in the CEQA State Guidelines Sections 15301(l) (Existing Facilities) and 15302 (Replacement and Reconstruction). 15301(l) allows for the demolition and removal of accessory structures including garages and Section 15302 allows for the replacement of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose as the structure replaced. Since the project would demolish an existing garage and construct an addition to a new single family residence in a residential zone on a site lacking sensitive environmental resources the exemptions do apply and the exceptions listed in CEQA Section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: de Freitas

TELEPHONE: (619) 446-5187

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA


SIGNATURE/TITLE

6/22/2015
DATE

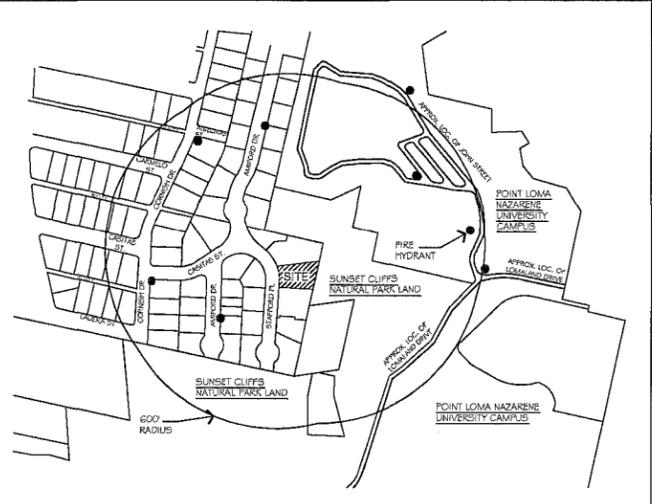
CHECK ONE:

SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

SIGNED BY APPLICANT

FIRE HYDRANT MAP 600' RADIUS



PROJECT NOTES

- ALL PROPERTY LINES (REAL OR ASSUMED), EASEMENTS AND BUILDINGS (BOTH EXISTING AND PROPOSED), ARE SHOWN ON THIS SITE PLAN.
- NO SCREEN WALLS, RETAINING WALLS, OR FENCES ARE PROPOSED UNDER THIS PERMIT. ALL PROPERTY FENCES ARE EXISTING TO REMAIN UNAFFECTED.
- NO CUT OR FILL IS PROPOSED FOR THIS PROJECT.
- BENCHMARK USED FOR BUILDING HEIGHTS: CITY OF SAN DIEGO 5 FT. TOPO.
- SOURCE OF TOPOGRAPHIC DATA: 1999 CITY OF SAN DIEGO 5' TOPO.
- BUS STOPS: NONE.
- BUILDING ADDRESS NUMBERS: BUILDING NUMBERS ARE EXISTING. NO NEW NUMBERS ARE REQUIRED.
- WATER AND SEWER SERVICES: SERVICES ARE EXISTING AND ARE TO REMAIN.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM CITY ENGINEER, FOR THE PRIVATE BRICK DRIVEWAY, BRICK RETAINING WALL AND BRICK PAVEMENT IN THE STAFFORD PLACE RIGHT-OF-WAY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX "E" OF THE CITY WATER STANDARDS.
- PRIOR TO FOUNDATION INSPECTION, THE OWNER/PERMITEE SHALL SUBMIT A BUILDING PAD CERTIFICATION SIGNED BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR, CERTIFYING THAT THE PAD ELEVATION BASED ON USGS DATUM IS CONSISTENT WITH EXHIBIT "A", SATISFACTORY TO THE CITY ENGINEER.
- ALL EXCAVATED MATERIAL LISTED TO BE EXPORTED, SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2009 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.

SCOPE OF WORK

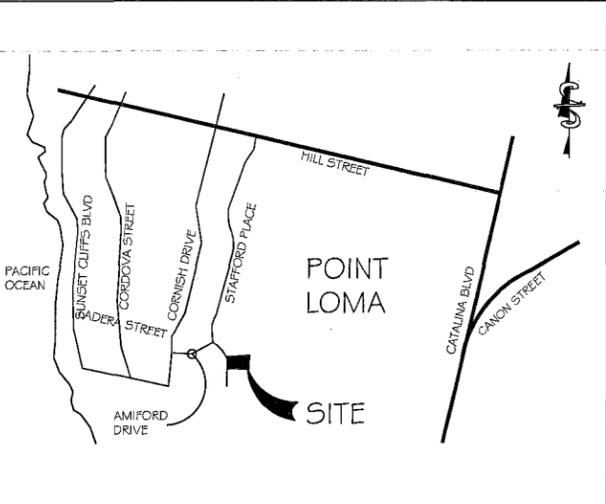
- NEW TWO STORY ADDITION, APPROX. 761 SQ. FT.
- NEW IN-GROUND POOL (774 S.F.) # SPA (70 S.F.)
- NEW SINGLE STORY POOL ROOM (376 S.F.)
- REMOVE EXISTING DETACHED GARAGE (538 S.F.)
- MISC. FLAT WORK 1016 S.F.
- COASTAL DEVELOPMENT PERMIT
- MHPA BOUNDARY LINE ADJUSTMENT

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH:

GOVERNING CODES
 CRC, 2013 EDITION (WHICH ADOPTS THE 2013 IRC)
 C.G.B.S.C 2013 EDITION
 C.F.C., 2013 EDITION
 C.M.C., 2013 EDITION
 C.E.C., 2013 EDITION
 C.B.E.E.S. 2013 EDITION

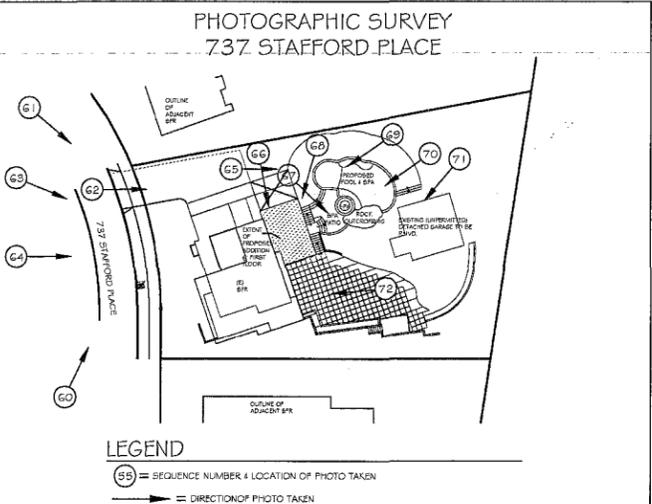
VICINITY MAP



SHEET INDEX

SHT	DESCRIPTION
T-1	TITLE SHEET
A-1.1	PROPOSED SITE PLAN
A-1.2	EXISTING SITE PLAN
A-1.3	PROPOSED BMP PLAN
A-1.4	PROPOSED BMP NOTES
A-1.5	PROPOSED BRUSH MANAGEMENT PLAN
A-1.6	PROPOSED BRUSH MANAGEMENT NOTES
A-1.7	PROPOSED SITE SECTION
A-2.1	EXISTING BASEMENT DEMO PLAN
A-2.2	EXISTING FIRST FLOOR DEMO PLAN
A-3.1	PROPOSED BASEMENT LEVEL FLOOR PLAN
A-3.2	PROPOSED FIRST FLOOR PLAN
A-4.1	PROPOSED FRONT AND LEFT EXTERIOR ELEVATIONS
A-4.2	PROPOSED REAR AND RIGHT EXTERIOR ELEVATIONS
A-5.1	BUILDING SECTIONS
A-6.1	ARCHITECTURAL ROOF PLAN
E-1.1	BASEMENT ELECTRICAL PLAN
E-1.2	FIRST FLOOR ELECTRICAL PLAN
GN-1	GENERAL ARCHITECTURAL NOTES
S-1	GENERAL STRUCTURAL NOTES
S-2	GENERAL STRUCTURAL NOTES & SCHEDULES
S-2.1	FOUNDATION PLAN
S-3.1	FIRST FLOOR FRAMING PLAN
S-3.2	SECOND FLOOR/ LOWER ROOF FRAMING PLAN
S-3.3	EXISTING ROOF FRAMING PLAN
S-3.4	POOL HOUSE FOUNDATION AND ROOF FRAMING PLANS

PHOTO SURVEY MAP



NO FAA NOTIFICATION:
 I DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15(a) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

PROJECT SUMMARY

PROJECT DATA
 ADDRESS = 737 STAFFORD PLACE
 APN = 532-034-02
 LEGAL DESCRIPTION:
 LOT NO. 2
 MAP 3240
 LOMA MAR VISTA
 ZONE = RS-1-7
 LOT AREA = 13,670 SQ. FT.
 CONSTRUCTION TYPE = V-B
 OCCUPANCY = R-3 # U
 YEAR BUILT = 1974
 GEOLOGIC HAZARD CATEGORY = 52
 COMMUNITY PLAN = PENINSULA

PROJECT SETBACKS

SETBACK	ZONE REQMT
FRONT (WEST)	10'-0" ESTABLISHED
LEFT (NORTH)	8% (6'-6")
REAR (EAST)	13'-0"
RIGHT (SOUTH)	8% (6'-6")

OVERLAY ZONES:
 COASTAL NON-APPEALABLE AREA 2 OVERLAY ZONE
 COASTAL HEIGHT LIMIT OVERLAY ZONE
 FAA PART 77 NOTIFICATION AREA
 AIRPORT INFLUENCE AREA, REVIEW AREA 2
 COASTAL PARKING IMPACT OVERLAY ZONE
 FIRST PUBLIC ROADWAY

BUILDING AREA TABULATION:

EXISTING BASEMENT FLOOR AREA	= 1,235.00 SQ. FT.
EXISTING 1ST FLOOR AREA	= 1,455.00 SQ. FT.
EXISTING 2ND FLOOR AREA	= 1,107.00 SQ. FT.
EXISTING DETACHED GARAGE	= 538.00 SQ. FT.
EXISTING TOTAL	= 4,335.00 SQ. FT.
EXISTING DETACHED GARAGE TO BE REMOVED	= 538.00 SQ. FT.
EXISTING TOTAL TO REMAIN	= 3,797.00 SQ. FT.
PROPOSED POOL ROOM	= 376.00 SQ. FT.
PROPOSED BASEMENT ADD.	= 509.00 SQ. FT.
PROPOSED SECOND STORY ADD.	= 252.00 SQ. FT.
GROSS FLOOR AREA	= 4,934.00 SQ. FT.

FLOOR AREA RATIO = .51 MAX.
 FAR CALCULATION = .51 x 13,670 = 6,972 S.F.
 PROJECT FAR:
 GFA @ 4,934 / LOT AREA @ 13,670 = 36.09%

MAX. HEIGHT = 30'-0" (2) STORIES

PARKING CALCULATIONS

UNIT NAME	# OF BEDRMS	PARKING RATE
(B) SFR	4	2/UNIT
		2 TOTAL

SPACES PROVIDE: 2
 (2) SPACES @ EXIST 2-CAR GARAGE

ADDITION, POOL, SPA & POOL ROOM FOR GEOFFREY MORSE & ELLEN FREUND

737 STAFFORD PLACE, SAN DIEGO, CALIFORNIA 92107

REVISIONS

NO.	DESCRIPTION
001	

JACKSON
 DESIGN & REMODELING
 Lic. #0000339
 Additions • Kitchens • Master Bathroom
 4797 Mercury St.
 San Diego, CA 92111
 www.jacksondesignremodeling.com
 (619) 442-6125
 Fax: (619) 292-6750

A Home Remodel for:
Geoffrey Morse & Ellen Freund
 737 Stafford Place, San Diego, CA 92107
 Sheet Title: **TITLE SHEET**
 Print for 00/00/00

JACKSON DESIGN & REMODELING EXPRESSLY RESERVES ITS COMMON LAW & OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF JACKSON DESIGN & REMODELING.

DRAWN
J. Kavan
 CHECKED

DATE
 10/01/14

SCALE
 as noted

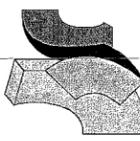
JOB NAME
MORSE-FREUND

SHEET
T-1

OF ## SHEETS

REVISIONS	DATE

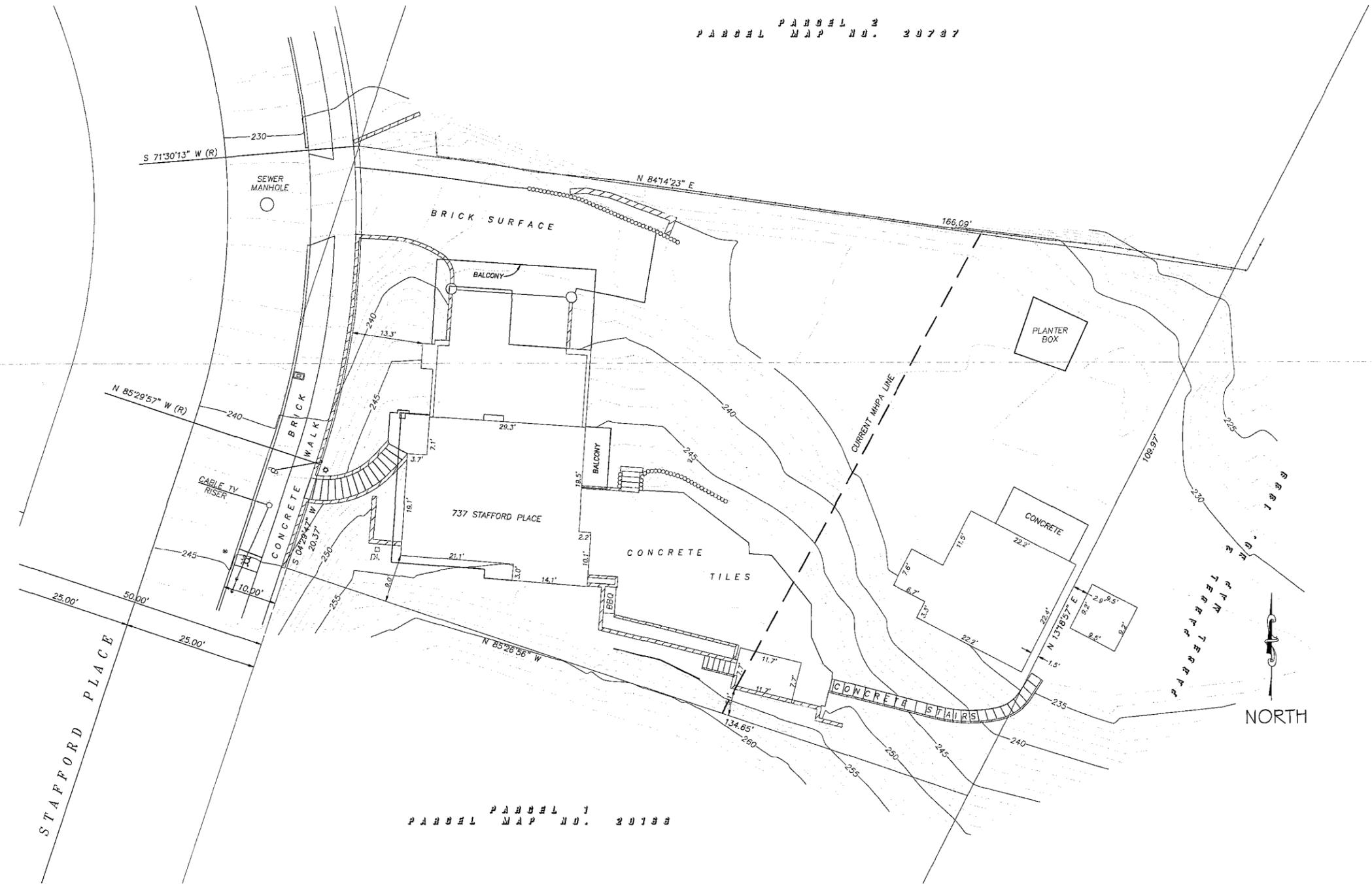
JACKSON
DESIGN & REMODELING
Lic. # 660939
Additions • Kitchens • Master Bathrooms
4797 Marcy St.
San Diego, CA 92111
www.jacksondesignremodeling.com
Fax: 619.252.8750



A Home Remodel for:
Geoffrey Morse & Ellen Freund
737 Stafford Place, San Diego, CA 92107
Sheet Title:
EXISTING SITE CONDITIONS
Print for 00/00/00

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DATE 10/01/14
SCALE as noted
JOB NAME MORSE-FREUND
SHEET A-1.2
OF ## SHEETS

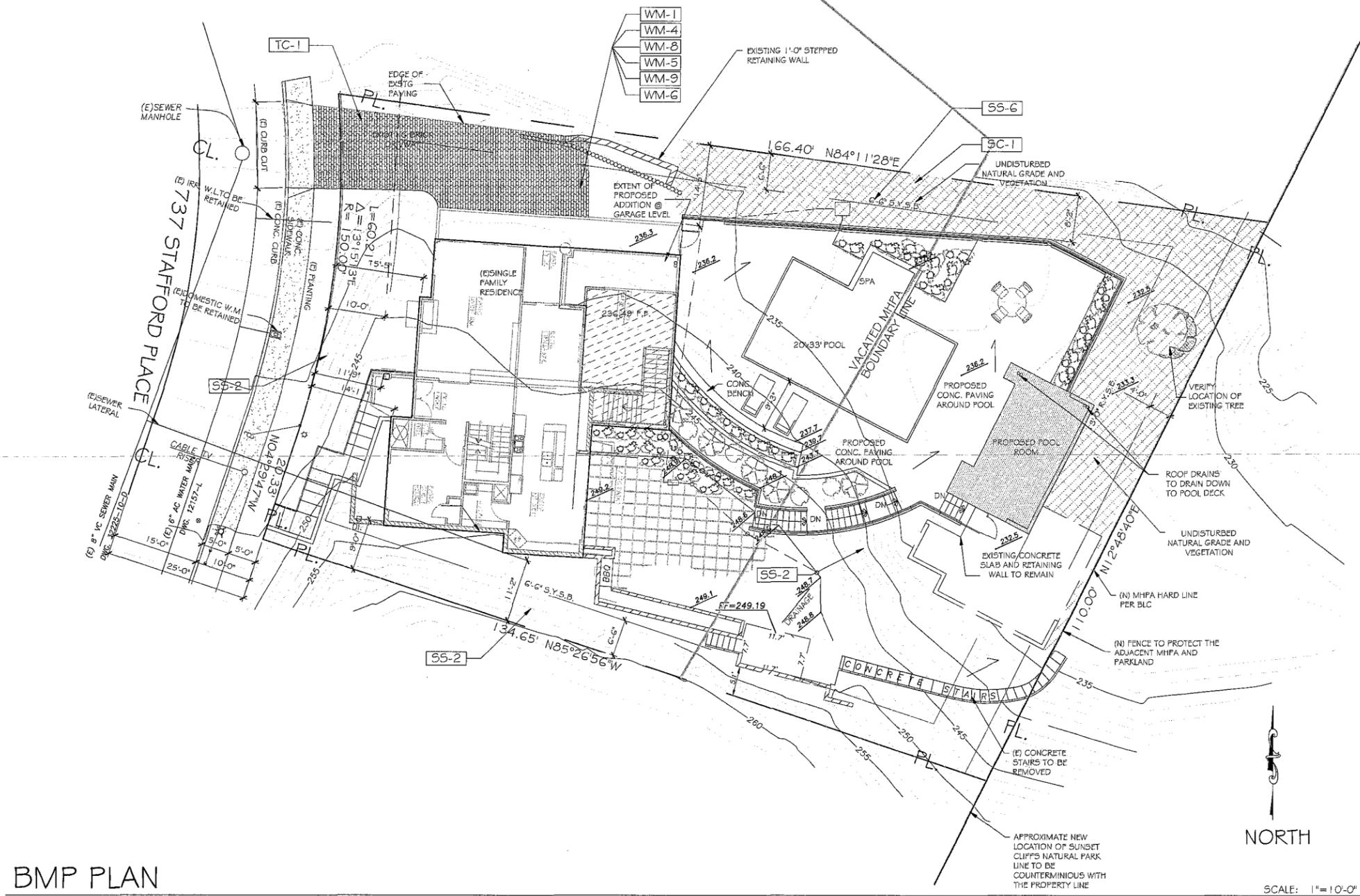


P A R B E L M A P N O . 2 0 7 8 7

P A R B E L M A P N O . 2 0 1 9 9

EXISTING SITE PLAN

SCALE: 1"=10'-0"



BMP PLAN

REVISIONS

JACKSON
DESIGN & REMODELING
Lc. #990939
Additions • Kitchens • Master Bathroom
4797 Mercy St.
San Diego, CA 92111
www.jacksondesignremodeling.com
(619) 442-8125



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A Home Remodel for:
Geoffrey Morse & Ellen Freund
737 Stafford Place, San Diego, CA 92107

Sheet Title:
BMP PLAN

DRAWN
J. Kavan
CHECKED
DATE
10/01/14
SCALE
as noted
JOB NAME
MORSE-FREUND
SHEET

A-1.3
OF ## SHEETS

BMP SCHEDULE

- DPLU 659 BROW DITCH → → →
DPLU 659 BERM → B → →
DIRECTION OF LOT DRAINAGE → → →
- MATERIALS & WASTE MANAGEMENT CONTROL BMPs:**
- WM-1 MATERIAL DELIVERY & STORAGE
 - WM-4 SPILL PREVENTION AND CONTROL
 - WM-8 CONCRETE WASTE MANAGEMENT
 - WM-5 SOLID WASTE MANAGEMENT
 - WM-9 SANITARY WASTE MANAGEMENT
 - WM-6 HAZARDOUS WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMPs:**
- SS-2 PRESERVATION OF EXISTING VEGETATION
 - SS-3 BONDED OR STABILIZED FIBER MATRIX (WINTER)
 - SS-4 HYDROSEEDING (SUMMER)
 - SS-6 / SS-8 STRAW OR WOOD MULCH
 - SS-7 PHYSICAL STABILIZATION (WINTER)

- SS-10 ENERGY DISSIPATOR
 - SC-1 SILT FENCE
 - SC-2 SEDIMENT / DESILTING BASIN
 - SC-5 FIBER ROLLS
 - SC-6 / SC-8 GRAVEL OR SAND BAGS
 - SC-7 STREET SWEEPING AND VACUUMING
 - SC-10 STORM DRAIN INLET PROTECTION
 - NS-2 DEWATERING FILTRATION
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
 - TC-2 CONSTRUCTION ROAD STABILIZATION
 - TC-3 ENTRANCE / EXIT TIRE WASH
- PERMANENT BMPs:**
- SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
 - SD-12 IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS

- SD-13 STORM DRAIN STENCILING AND POSTING OF SIGNAGE
 - SD-32 PROPER DESIGN OF TRASH STORAGE AREAS
 - SD-34 PROPER DESIGN OF OUTDOOR MATERIAL STORAGE AREAS
 - EC-10 OUTLET PROTECTION
 - TC-10 UNDERGROUND INFILTRATION TRENCH
- LOW IMPACT DEVELOPMENT BMPs:**
- LID 2.2.1 CONSERVATION OF NATURAL DRAINAGES, WELL DRAINED SOILS AND SIGNIFICANT VEGETATION
 - LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
 - LID 2.2.3 MINIMIZE AND DISCONNECT IMPERVIOUS SURFACES
 - LID 2.2.4 MINIMIZE SOIL COMPACTION
 - LID 2.2.5 DRAIN RUNOFF FROM IMPERVIOUS SURFACES TO PERVIOUS AREAS
 - LID 3.1 HYDROLOGIC DESIGN
 - LID 3.2 PERMEABLE PAVEMENT DESIGN
 - LID 3.3 ROAD DESIGN FOR DEVELOPMENTS

- LID 3.4 PARKING LOT DESIGN FOR COMMERCIAL PROJECTS
- LID 3.5 DRIVEWAY, SIDEWALK, AND BIKE PATH DESIGN
- LID 3.6 BUILDING DESIGN
- LID 3.7 LANDSCAPING DESIGN

LEGEND

- UNDISTURBED NATURAL GRADE AND VEGETATION
- STABILIZED CONSTRUCTION ENTRANCE
- AREA OF ADDITION
- CONCRETE SURFACE

LUAG REQUIRED CONDITIONS

- 1. DUE TO THE ADJACENCY OF THE MHFA, THE DEVELOPMENT WILL NEED TO CONFORM WITH THE APPLICABLE LAND USE ADJACENCY GUIDELINES (SECTION 1.4.3) OF THE MSCFP SUBAREA PLAN. IN PARTICULAR, LIGHTING, DRAINAGE, LANDSCAPING, GRADING, ACCESS AND NOISE MUST NOT ADVERSELY AFFECT THE MHFA.
2. LIGHTING SHOULD BE DIRECTLY AWAY FROM MHFA, AND SHIELDED IF NECESSARY.
3. DRAINAGE SHOULD BE DIRECTED AWAY FROM THE MHFA, OR IF NOT POSSIBLE, MUST NOT DRAIN DIRECTLY INTO THE MHFA. INSTEAD RUNOFF SHOULD FLOW INTO SEDIMENTATION BASINS, GRASSY SWALES OR MECHANICAL TRAPPING DEVICES PRIOR TO DRAINING INTO MHFA.
4. NO INVASIVE NON-NATIVE PLANT SPECIES SHALL BE PLANTED IN OR ADJACENT TO THE MHFA. THE LANDSCAPE PALETTE SHOULD BE PROVIDED TO MSCFP STAFF FOR REVIEW. SECTION 142.0403(B)(2) SHOULD ALSO BE ADHERED TO.
5. ALL MANUFACTURED SLOPES MUST BE INCLUDED WITHIN THE DEVELOPMENT FOOTPRINT AND OUTSIDE THE MHFA.
6. ALL ZONE 1 BRUSH MANAGEMENT AREAS MUST BE INCLUDED WITHIN THE DEVELOPMENT FOOTPRINT AND OUTSIDE THE MHFA. ZONE 2 BRUSH MANAGEMENT IS ALLOWED WITHIN THE MHFA (CONSIDERED IMPACT NEUTRAL) BUT CANNOT BE USED AS MITIGATION. ZONE 2 IS NOT ALLOWED IN CITY OWNED PARK LAND WITHOUT PERMISSION.
7. ACCESS TO THE MHFA, IF ANY, SHOULD BE DIRECTED TO MINIMIZE IMPACTS AND REDUCE IMPACTS ASSOCIATED WITH DOMESTIC PET PREDATION.
8. DUE TO THE SITE'S PROXIMITY TO (CAGN HABITAT WITHIN THE MHFA), NOISE IMPACTS RELATED TO CONSTRUCTION WILL NEED TO BE AVOIDED, IF POSSIBLE, DURING THE BREEDING SEASON OF THE (CAGN)(S/1-8/15). IF GRADING IS PROPOSED DURING THE BREEDING SEASON A SURVEY WILL BE REQUIRED. IF NO (CAGN) ARE IDENTIFIED NO ADDITIONAL MEASURE WILL BE REQUIRED. IF PRESENT, MEASURES TO MINIMIZE NOISE IMPACTS WILL BE REQUIRED AND SHOULD INCLUDE TEMPORARY NOISE WALLS/BERMS. IF A SURVEY IS NOT CONDUCTED, PRESENCE WOULD BE ASSUMED AND A TEMPORARY WALL/BERM WOULD BE REQUIRED.

SITE STORM WATER REQUIREMENTS APPLICABILITY NOTES:

- 1. THERE ARE NO EXISTING OR PAST HAZARDOUS OR TOXIC MATERIAL SPILLS.
2. LOT IS RELATIVELY FLAT DRAINING TOWARD REAR OF LOT, SEE PLAN FOR FLOW PATTERNS
3. SINCE THE LOT IS FLAT THERE WILL BE NO ANTICIPATED EROSION ON THE SITE
4. THERE ARE NO STORM WATER INLETS IN THIS AREA
5. THE EXISTING PROPERTY HAS STORM WATER MEASURE SUCH AS GUTTERS, AREA DRAINS AND SWALES. FLOW PATTERNS AND DRAINAGE TO BE MAINTAINED.

THE FOLLOWING IS A NARRATIVE OF POTENTIAL POLLUTANTS AND HOW THEY ARE TO BE HANDLED:
1. SEDIMENTS - POTENTIAL SEDIMENT SHALL BE CONTAINED THROUGH THE USE OF A CATCH BASIN WITH BIO-FILTER PROVIDED TOWARDS THE FRONT AND REAR OF THE PROJECT AS SHOWN ON THE PROVIDED SITE PLAN.
2. NUTRIENTS - POTENTIAL NUTRIENTS SHALL ALSO BE CONTAINED THROUGH USE OF CATCH BASINS WITH BIO-FILTER PROVIDED TOWARDS THE FRONT OF THE PROJECT SHOWN ON THE PROVIDED SITE PLAN.
3. TRASH & DEBRIS - POTENTIAL TRASH AND DEBRIS FROM THE SITE SHALL BE CONTAINED THROUGH THE USE OF A COVERED TRASH ENCLOSURE AREA ALSO LOCATED TOWARDS THE FRONT OF THE PROJECT AS SHOWN ON THE PROVIDED SITE PLAN.
4. OXYGEN DEMANDING SUBSTANCES - POTENTIAL OXYGEN DEMANDING SUBSTANCES SHALL BE CONTAINED THROUGH THE USE OF THE SAME CATCH BASINS AS DISCUSSED IN ITEMS #1 & #2.
5. OIL & GREASE - POTENTIAL OIL AND GREASE POLLUTANTS SHALL BE CONTAINED THROUGH THE USE OF A SAND FILLED TRAP-CRETE PARKING AREA.
6. BACTERIA & VIRUSES - POTENTIAL BACTERIAL AND VIRAL POLLUTANTS SHALL BE CONTAINED THROUGH THE USE OF THE CATCH BASINS LOCATED TOWARDS THE FRONT OF THE PROJECT.
7. PESTICIDES - POTENTIAL PESTICIDE POLLUTANTS SHALL BE CONTAINED THROUGH THE ENCOURAGED USE OF NATIVE VEGETATION HOPEFULLY REDUCING THE NEED FOR PESTICIDE USE.

SITE DESIGN BMP MEASURES
THE FOLLOWING IS A DETAILED ACCOUNT OF PROPOSED SITE DESIGN MEASURES TO BE IMPLEMENTED INTO THE DEVELOPMENT OF THIS PROJECT:

- 1. THE STRUCTURE ITSELF SHALL BE PROVIDED WITH GUTTERS AND DOWNSPOUTS. THESE DOWNSPOUTS SHALL DRAIN DIRECTLY INTO ADJACENT LANDSCAPING AREA SO AS TO ALLOW THE SOIL AND POSSIBLE PLANT MATERIAL THE ABILITY TO ABSORB ANY POSSIBLE POLLUTANTS BEFORE THE WATER LEAVES THE SITE.
2. POTENTIAL LANDSCAPING SHALL BE OF NATIVE AND/OR DROUGHT-TOLERANT NATURE AS TO THRIVE IN THE LOCAL AREA WITHOUT THE NEED FOR ANY SPECIAL CHEMICAL INTERVENTION.

SOURCE CONTROL BMP MEASURES

THE FOLLOWING IS A DETAILED ACCOUNT OF PROPOSED SOURCE CONTROL MEASURES TO BE IMPLEMENTED INTO THE DEVELOPMENT OF THIS PROJECT:

- 1. THERE SHALL BE PAVED SURFACE, SEPARATE FROM THE OFF-STREET PARKING AREA. (EXISTING DRIVE)
2. THIS TRASH AND DEBRIS CONTAINMENT STRUCTURE SHALL NOT BE CONSTRUCTED AS A HABITUAL STRUCTURE AND SHALL NOT BE MORE THAN 120 SQUARE FEET OF PROJECTED REAR AREA AS TO ELIMINATE THE NEED FOR A BUILDING PERMIT. THERE SHALL ALSO BE AN EARTHEN-BERM SURROUNDING THE SOLID STRUCTURE AS TO CONTAIN ANY POSSIBLE SPILLAGE OR LEAKAGE THAT MIGHT OCCUR DURING NORMAL USE BY THE FUTURE OWNER(S). PROVIDE ANY FUTURE OWNER(S) WITH INFORMATION REGARDING INTEGRATED PEST MANAGEMENT PRINCIPLES IN ASSISTING WITH LANDSCAPING AND PEST CONTROL OPTIONS WITH THE HOPES OF ELIMINATING OR GREATLY REDUCING THE NEED FOR HARMFUL CHEMICALS.
4. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
6. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
6. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
7. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

STORM WATER QUALITY NOTES
CONSTRUCTION BMPs

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007. http://docs.sandiego.gov/muncodes/MuniCodeChapter141Ch141Art02Division02.PDF & STORM WATER MANUAL
http://www.sandiego.gov/development-services/pdf/news/stormwatermanual.pdf

NOTES BELOW REPRESENT BEST MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT & MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMPs WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
2. ALL STOCK PILES OF SOIL AND / OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THEN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN 5 DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION / SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

WPCP report

- 1. CONTACT INFORMATION
a. CONTRACTOR - JACKSON DESIGN AND REMODELING, 4797 MERCURY SAN DIEGO CALIFORNIA 92111 (619)442-6125
b. JIM GIGLIO - 10051 Vista La Cuesta Court, San Diego, CALIFORNIA (658) 837-8528.
2. PROJECT INFORMATION
a. PROJECT SUMMARY: ADD EXTENDED LIVING ROOM AT REAR OF LOT, REMODEL KITCHEN, BEDROOMS AND BATH. THE STRUCTURE SHALL BE SLAB ON GRADE WITH WOOD FRAMED WALLS, STUCCO AND SIDING FINISH, COMP. ROOF SHINGLES AND CONCRETE DRIVE.
b. PROJECT SCHEDULE:
9-1-13 DEMOLITION
9-14-13 FOUNDATION AND UNDERGROUND
9-28-13 CONCRETE POUR
10-20-13 FRAMING
11-20-13 EXTERIOR WRAP AND FINISH
12-20-13 INTERIOR FINISH
1-20-14 COMPLETION OF PROJECT
4. POLLUTION SOURCES AND CONTROL MEASURES:
a. INVENTORY OF MATERIALS AND ACTIVITIES ARE AS FOLLOWS:
i. DEMO
ii. FOUNDATION PREPARATION AND CONCRETE SLAB POUR
iii. WOOD STUDS AND FRAMING
iv. STUCCO AND ITS APPLICATION
v. ROOFING MATERIAL INSTALLATION
vi. FINISH GRADING
b. SOIL STABILIZATION AND SEDIMENT CONTROL
i. SOIL SHALL BE SLOPED TOWARD A SWALE FROM TO SIDE OF THE LOT FOR SEDIMENT CONTROL. BUILDING PAD IS RELATIVELY FLAT AND SHALL NOT HAVE EROSION CONTROL MEASURES. PROVIDE GRAVEL BAGS AT SITE PERIMETER.
c. SOIL STABILIZATION
i. THE LOT IS FLAT AND DOES NOT REQUIRE SOIL STABILIZATION BMPs
d. SEDIMENT CONTROL BMPs
i. THE LOT WILL BE SLOPED TOWARD THE SITE SWALE, NO RUNOFF WILL HIT THE STREET. PROVIDE GRAVEL BAGS AT SITE PERIMETER
e. TRACKING CONTROL BMPs
i. CONTRACTOR TO MAINTAIN GOOD HOUSEKEEPING ON THE SITE TO LIMIT MATERIAL AND DEBRIS INTO THE STORM WATER RUN OFF
f. WIND CONTROL
i. SCREEN FENCING SHALL BE PLACED AT THE FRONT OF THE LOT WITH A WIND SCREEN TO LIMIT AND CONTROL WIND BLOW DEBRIS
g. CONSTRUCTION SITE MANAGEMENT
i. SWEEP AREA OF ALL DEBRIS AT THE END OF EACH DAY AND PLACE WASTE IN DUMPSTER
ii. DUMP ALL WASTE IN DUMPSTER NOT ON THE GROUND TO CONTROL WASTE ENTERING THE STORM WATER
iii. WHEN WASHING EQUIPMENT ON SITE MAKE SURE NO WATER RUNOFF EXISTS THE SITE
h. NON-STORM WATER MANAGEMENT BMPs
i. COVER BUILDING MATERIALS TO KEEP DRY ON SITE
ii. WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs
iii. CREATE AN AREA TO STORE MATERIALS AT THE FRONT OF THE LOT. PLACE COVERING DOWN AND GRAVEL BAG AROUND TO CONTROL GROUND WATER
iv. STOCKPILES SHALL BE COVERED AND PLACED ON GROUND COVERING
v. WASHOUTS SHALL BE LOCATED AT THE FRONT OF THE LOT. NO RUN OFF IS ALLOWED OFF THE SITE
vi. PORT-A-POTTY SHALL BE LOCATED AT THE FRONT OF THE LOT AND SET ON GROUND COVERING SURROUNDED BY GRAVEL BAGS
1. THE LOT IS FLAT AND WILL SLOPE TOWARD SWALE AT THE FRONT/SIDE OF THE LOT FOR SEDIMENT CONTROL
2. GOOD HOUSEKEEPING WILL BE MAINTAINED DURING LIFE OF CONSTRUCTION. MATERIALS WILL BE COVERED, SITE AND SITE AREA WILL BE SWEEP EACH DAY.
GREEN BUILDING CODE REQUIREMENTS:
1. STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION:
PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING:
A. RETENTION BASINS
B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. C.G.C. 4.106.2
2. GRADING AND PAVING:
SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.). C.G.C. 4.106.3 (EXCEPTION - ADDITIONS NOT ALTERING DRAINAGE PATH)
3. INDOOR WATER USE:
SHOWERHEADS TO HAVE MAX. WATER FLOW OF 2.0 GALLONS PER MINUTE @ 80 PSI.
LAVATORY FAUCETS TO HAVE MAX. WATER FLOW OF 1.5 GALLONS PER MINUTE @ 60 PSI.
KITCHEN FAUCETS TO HAVE MAX. WATER FLOW OF 1.8 GALLONS PER MINUTE @ 60 PSI.
4. LANDSCAPE IRRIGATION WATER:
LANDSCAPE IRRIGATION WATER SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS. C.G.C. 4.304.1
5. RECYCLING:
A. MINIMUM OF 50% OF CONSTRUCTION WASTE IS TO BE RECYCLED. C.G.C. 4.408.1
B. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER C.G.C. 4.408.2
6. OPERATION AND MAINTENANCE MANUAL:
THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT TIME OF FINAL INSPECTION. C.G.C. 4.410.1
7. POLLUTANT CONTROL:
DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. C.G.C. 4.504.1
V.O.G.S. MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. C.G.C. 4.504.2
8. INTERIOR MOISTURE CONTROL:
CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK. C.G.C. 4.505.2.1
THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 5.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN C.G.C. 4.505.3.
9. INDOOR AIR QUALITY:
BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. C.G.C. 4.506.1.
10. WRITTEN VERIFICATION:
PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. C.G.C. 102.3

City of San Diego Development Services 1772 First Ave., 4th Floor San Diego, CA 92101 (619) 442-8000
Storm Water Requirements Applicability Checklist FORM DS-560

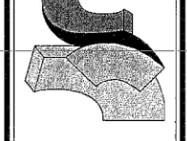
SECTION 1. Permanent Storm Water BMP Requirements
Additional information for determining the requirements is found in the Storm Water Standards Manual.
Part A. Determine if Exempt from Permanent Storm Water BMP Requirements.
1. The project is not a development project as defined in the Storm Water Standards Manual.
2. The project is only the reconstruction or overhead linear utilities.
3. The project qualifies as a public improvement project or repairs existing surface conditions.
4. The project only installs sidewalks, bike lanes, or pedestrian ramps on an existing road.
Part B. Determine if Subject to Priority Development Project Requirements.
1. Residential development of 10 or more units.
2. Commercial development and similar non-residential development greater than one acre.
3. Heavy industrial development greater than one acre.
4. Automotive repair shop.
5. Restaurant.
6. Hillside development greater than 5,000 square feet.
7. Water Quality Sensitive Area.
8. Parking lot with a minimum area of 8,000 square feet or a minimum of 15 parking spaces.

Page 2 of 2 City of San Diego - Development Services Department - Storm Water Requirements Applicability Checklist

9. Street, road, highway, or freeway.
10. Retail Gasoline Outlet (RGO) that is not 5,000 square feet or more in size.
11. Significant Underdevelopment project.
12. Other Pollutant Generating Project.
Part C. Select the appropriate category based on the outcome of Parts A & B.
1. If "Yes" is checked for any item in Part A, then check this box.
2. If "No" is checked for all items in Part A, and Part B, then check this box.
3. If "No" is checked for all items in Part A, and "Yes" is checked for at least one of the items in Part B, then check this box.
SECTION 2. Construction Storm Water BMP Requirements.
Part D. Determine Construction Storm Water Requirements.
1. Does the project require grading or soil disturbance?
2. Would storm water runoff from the project be expected to reach any portion of the construction area, including existing and proposed?
3. Would the project use any construction materials that could improve water quality if discharged from the site such as, oil, grease, solvents, concrete, and cement?
4. Check this box if "Yes" is checked for line 1.
5. Check this box if "Yes" is checked for line 1.
6. Check this box if "Yes" is checked for line 1.
Part E. Determine Construction Site Priority.
1. High Priority.
2. Medium Priority.
3. Low Priority.
Name of Owner or Agent (Please Print): John Kavan Title: Designer
Signature: [Signature] Date: 02-27-15

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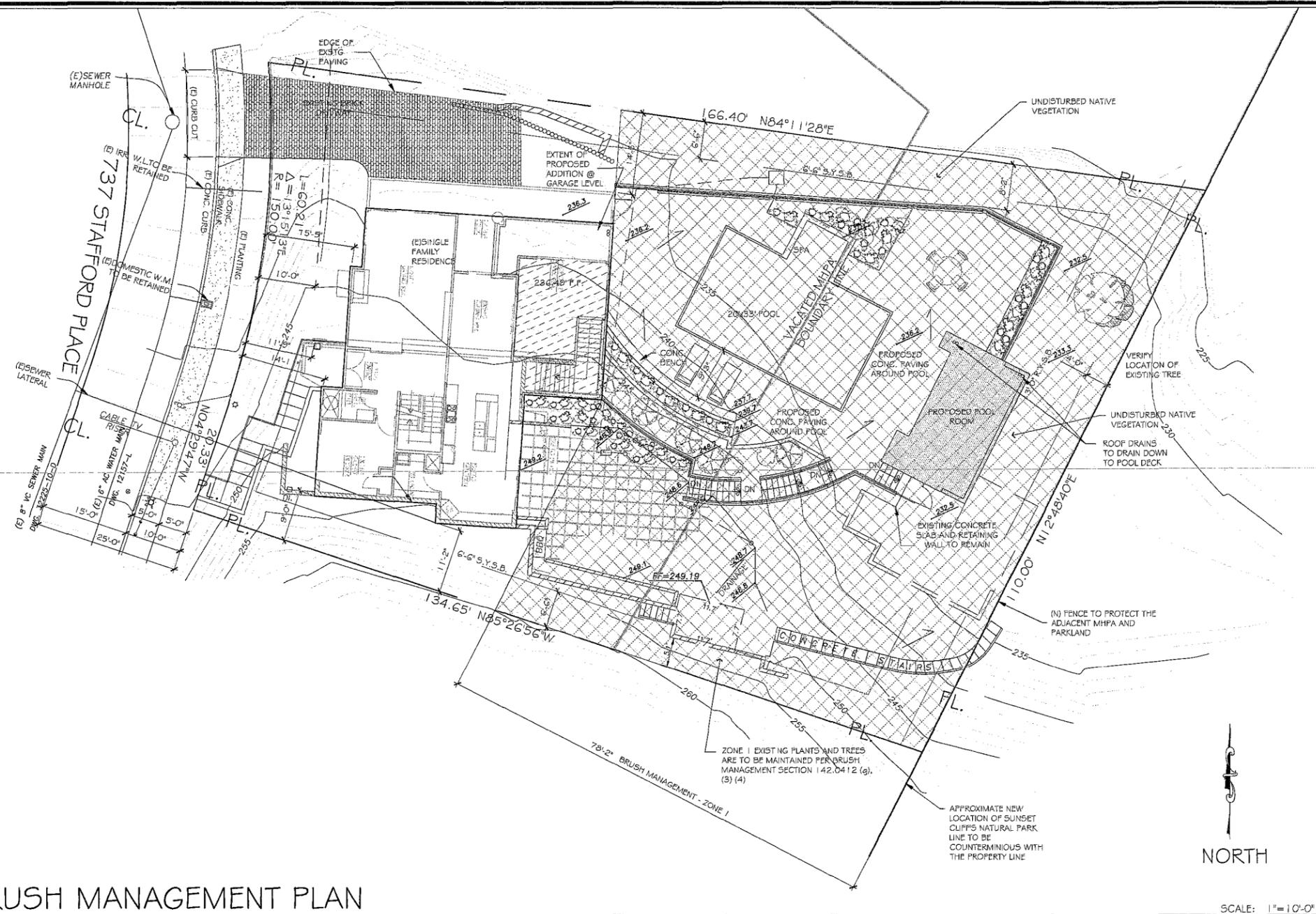
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A Home Remodel for:
Geoffrey Morse & Ellen Freund
737 Stafford Place, San Diego, CA 92107
Sheet Title:
BMP NOTES

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DATE: 10/01/14
SCALE: as noted
JOB NAME: MORSE-FREUND
SHEET: A-1.4
OF ## SHEETS

BRUSH MANAGEMENT PLAN



BRUSH MANAGEMENT NOTES

- BRUSH MANAGEMENT ZONE ONE**
- Zone One of the required brush management is the area adjacent to the proposed structure and must consist of pavement or permanently irrigated, low-fuel, ornamental planting.
 - No habitable structures are allowed within Zone One. Fences, walls, and non-habitable garages that are located within brush management Zone One shall be built with noncombustible materials.
 - Plants within Zone One of the required brush management must be low-growing and less than 4 feet in height with the exception of trees. These plants must also be low-fuel and fire-resistant.
 - Trees located within Zone One of the required brush management must be located at least 10 feet away from all structures as measured from the drip line of the tree at maturity.
 - Brush Management Zone One shall be maintained on a regular basis by pruning and trimming plants, controlling weeds, and maintaining irrigation systems.
 - Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
 - Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone One area.
 - Any off-site brush management shall require permission from the adjacent property owner (City PAR).

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 737 Stafford Place, San Diego, CA 92107
 Sheet Title:
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CHECKED
DATE 10/01/14
SCALE as noted
JOB NAME MORSE-FREUND
SHEET A-1.5
OF ## SHEETS

- (b) Temporary Revegetation. Graded, disturbed, or eroded areas that will not be permanently paved, covered by structure, or planted for a period over 90 calendar days shall be temporarily revegetated with a non-irrigated hydrosed mix, ground cover, or equivalent material. Temporary irrigation systems may be used to establish the vegetation.
- (c) All required revegetation and erosion control shall be completed within 90 calendar days of the completion of grading or disturbance.
(Added 12-9-1997 by O-18451 N.S.; effective 1-1-2000.)

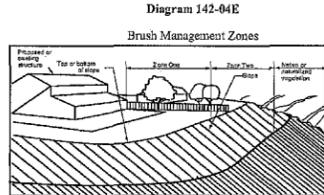
EDITORS NOTE: The Land Development Manual includes:
 Coastal Bluffs and Beaches Guidelines
 Biology Guidelines
 Historical Resources Guidelines
 Submittal Requirements for Deviations within the Coastal Overlay Zone
 See RR-292248 for the Coastal Bluffs and Beaches Guidelines of the Land Development Code; RR-292249 for the Biology Guidelines of the Land Development Code; RR-292250 for the Historical Resources Guidelines of the Land Development Code; RR-292251 for the Submittal Requirements for Deviations within the Coastal Overlay Zone of the Land Development Code.

§142.0412 Brush Management

- Brush management is required in all base zones on publicly or privately owned premises that are within 100 feet of a structure and contain native or naturalized vegetation.
- (a) Brush management activity is permitted within environmentally sensitive lands (except for wetlands) that are located within 100 feet of an existing structure in accordance with Section 143.0110(e)(7). Brush management in wetlands may be requested with a development permit in accordance with Section 143.0110 where the Fire Chief deems brush management necessary in accordance with Section 142.0412(i). Where brush management in wetlands is deemed necessary by the Fire Chief, that brush management shall not qualify for an exemption under the Environmentally Sensitive Lands Regulations, Section 143.0110(e)(7).

Ch. Art. Div.
14 2 4 25

- (b) Brush Management Zones. Where brush management is required, a comprehensive program shall be implemented that reduces fire hazards around structures by providing an effective fire break between all structures and contiguous areas of native or naturalized vegetation. This fire break shall consist of two distinct brush management areas called "Zone One" and "Zone Two" as shown in Diagram 142-04E.



Ch. Art. Div.
14 2 4 26

- (2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, patios, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or heavy timber construction.
- (3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant.
- (4) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
 - (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
 - (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- (6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
- (7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- (b) Zone Two Requirements
 - (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is furthest from the habitable structure, to the edge of undisturbed vegetation.
 - (2) No structures shall be constructed in Zone Two.
 - (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.

Ch. Art. Div.
14 2 4 28

- (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
- (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistant. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
 - (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistant native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
 - (C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-galtonage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

Ch. Art. Div.
14 2 4 30

- (1) Brush management Zone One is the area adjacent to the structure, shall be least flammable, and shall typically consist of pavement and permanently irrigated ornamental planting. Brush management Zone One shall not be allowed on slopes with gradient greater than 4:1 (4 horizontal feet to 1 vertical foot) unless the property received tentative map approval before November 15, 1989. However, within the Coastal Overlay Zone coastal development shall be subject to the encroachment limitations set forth in Section 143.0142(a)(4) of the Environmentally Sensitive Lands Regulations.
- (2) Brush management Zone Two is the area between Zone One and any area of native or naturalized vegetation and typically consists of thinned, native or naturalized non-irrigated vegetation.
- (c) The width of Zone One and Zone Two shall not exceed 100 feet and shall meet the width requirements in Table 142-04H unless modified based on existing conditions pursuant to Section 142.0412(i) and the following:
 - (1) The establishment of brush management Zones One and Two for new development shall be addressed in a site-specific plan to include all creative site and/or structural design features to minimize impacts to undisturbed native vegetation. Both Zone One and Zone Two shall be provided on the subject property unless a recorded easement is granted by an adjacent property owner to the owner of the subject property to establish and maintain the required brush management zone(s) on the adjacent property in perpetuity.
 - (2) Where Zone Two is located within City-owned property, a Right-of-Entry shall be executed in accordance with Section 63.0103 prior to any brush management activity. Zone Two brush management is not permitted in City-owned open space for new development proposals. For properties in the Coastal Overlay Zone, additional requirements for new subdivisions are found in Section 142.0412 (g).

Ch. Art. Div.
14 2 4 31

**Table 142-04H
Brush Management Zone Width Requirements**

Criteria	Zone Width
Zone One Width	35 ft.
Zone Two Width	65 ft.

- (d) Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
- (e) Where Zone One width is required adjacent to the MHPA or within the Coastal Overlay Zone, any of the following modifications to development regulations of the Land Development Code or standards in the Land Development Manual are permitted to accommodate the increase in width:
 - (1) The required front yard setback of the base zone may be reduced by 5 feet.
 - (2) A sidewalk may be eliminated from one side of the public right-of-way and the minimum required public right-of-way width may be reduced by 5 feet, or
 - (3) The overall minimum pavement and public right-of-way width may be reduced in accordance with the Street Design Standards of the Land Development Manual.
- (f) The Zone Two width may be decreased by 1/2 feet for each 1 foot of increase in Zone One width up to a maximum reduction of 30 feet of Zone Two width.
- (g) Zone One Requirements
 - (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.

Ch. Art. Div.
14 2 4 32

- (D) Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.
- (6) Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.
- (7) Except as provided in Section 142.0412(i), where the required Zone One width shown in Table 142-04H cannot be provided on premises with existing structures, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.
- (i) In consideration of the topography, existing and potential fuel load, and other characteristics of the site related to fire protection, the Fire Chief may modify the requirements of Section 142.0412, and where applicable with the approval of the Building Official, may require building features for fire protection in addition to those required in accordance with Chapter 14, Article 5, Division 7 and Chapter 14, Article 9, Division 3 if the following conditions exist:
 - (1) In the written opinion of the Fire Chief, based upon a fire fuel load model report conducted by a certified fire behavior analyst, the requirements of Section 142.0412 fail to achieve the level of fire protection intended by the application of Zones One and Two; and
 - (2) The modification to the requirements achieves an equivalent level of fire protection as provided by Section 142.0412, other regulations of the Land Development Code, and the minimum standards contained in the Land Development Manual, and
 - (3) The modification to the requirements is not detrimental to the public health, safety, and welfare of persons residing or working in the area.
- (j) If the Fire Chief approves a modified plan in accordance with this section as part of the City's approval of a development permit, the modifications shall be recorded with the approved permit conditions.

Ch. Art. Div.
14 2 4 31

- (k) For existing structures, the Fire Chief may require brush management in compliance with this section for any area, independent of size, location, or condition if it is determined that an imminent fire hazard exists.
- (l) Brush management for existing structures shall be performed by the owner of the property that contains the native and naturalized vegetation. This requirement is independent of whether the structure being protected by brush management is owned by the property owner subject to the requirements or is on neighboring property.
- (m) Where specifically authorized by the Fire Chief, goats may be used for brush management in accordance with the following:
 - (1) In order to prevent escapes, harassment from predators or humans, or over browsing, goats shall be managed and monitored 24-hours a day by a contractor with at least two years experience in raising, handling, and controlling of goats. The goat contractor shall maintain a minimum of \$1 million of liability insurance subject to approval by the Office of the City Attorney.
 - (2) At least 10 business days prior to using goats for brush management, the property owner shall apply to the Fire Rescue Department for a permit to use goats for brush management. The applicant shall:
 - (A) Obtain and submit written permission from the owner of any property through which the goats must gain access to the area to be browsed.
 - (B) Provide written notice to the Fire Chief and all owners and residents of property located immediately adjacent to the area to be browsed. This notice shall identify Sections 44.0307 and 142.0412(m) as the authority for temporary use of goats.
 - (C) Provide photographs of the existing condition of the site, and a plan describing the methods to be employed and measures to retain existing vegetation in compliance with Section 142.0412(h).
 - (3) The area to be browsed shall be measured, staked, and appropriately fenced with temporary electrically charged fencing to delineate the Zone Two brush management areas. Signs must be posted at 25-foot intervals along the fence warning of the possibility of mild electric shock.
 - (4) The timing of brush management activities shall comply with Section 142.0412(d).

Ch. Art. Div.
14 2 4 32

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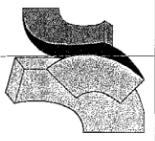
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 Sheet Title:
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 J. Kavan
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 10/01/14
 SCALE
 as noted
 JOB NAME
 MORSE-FREUND
 SHEET
A-1.6
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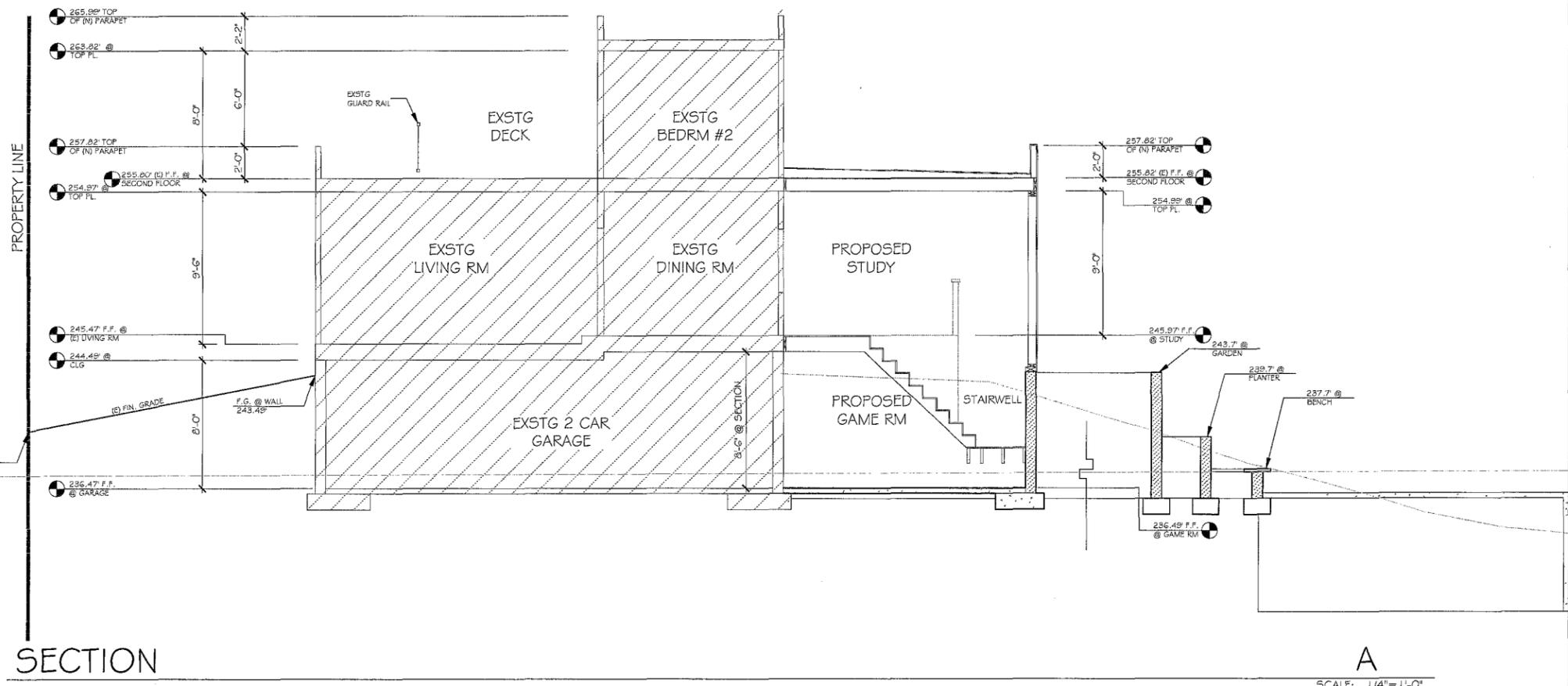
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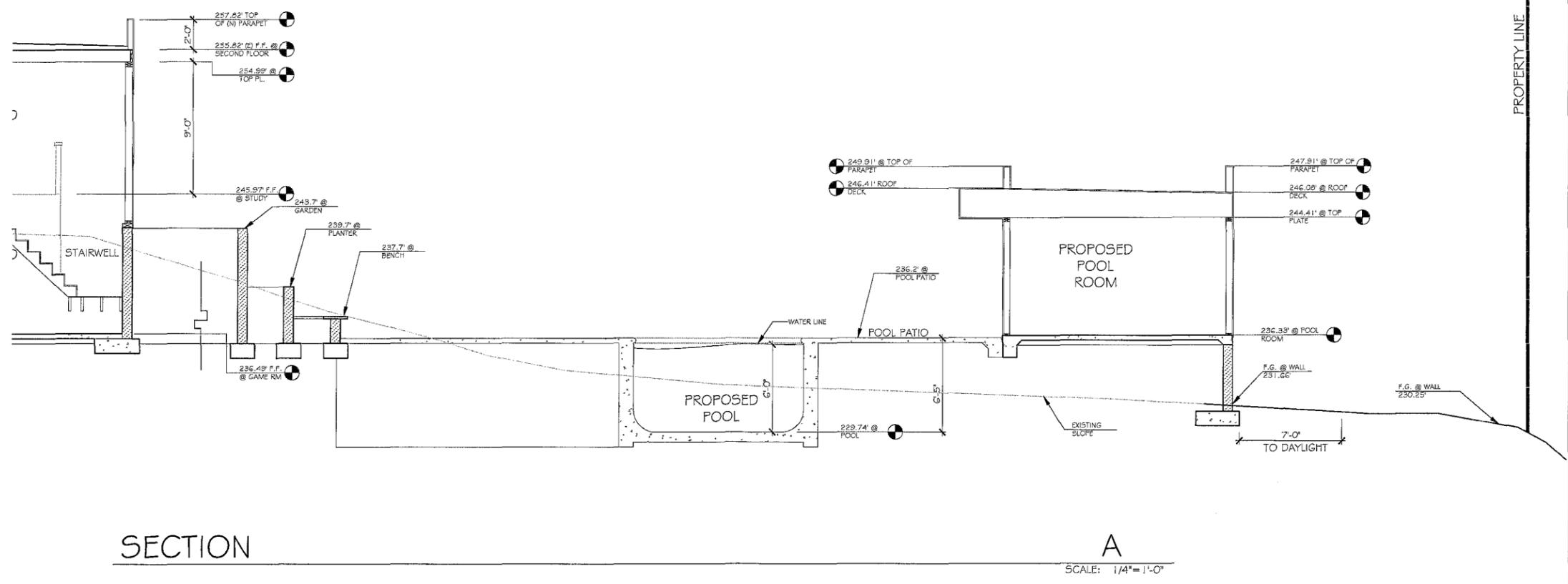
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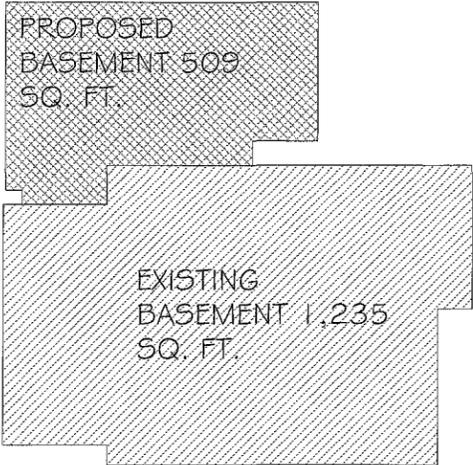
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DATE 10/01/14
SCALE as noted
JOB NAME MORSE-FREUND
SHEET A-1.7
OF ## SHEETS



SECTION A
SCALE: 1/4" = 1'-0"



SECTION A
SCALE: 1/4" = 1'-0"

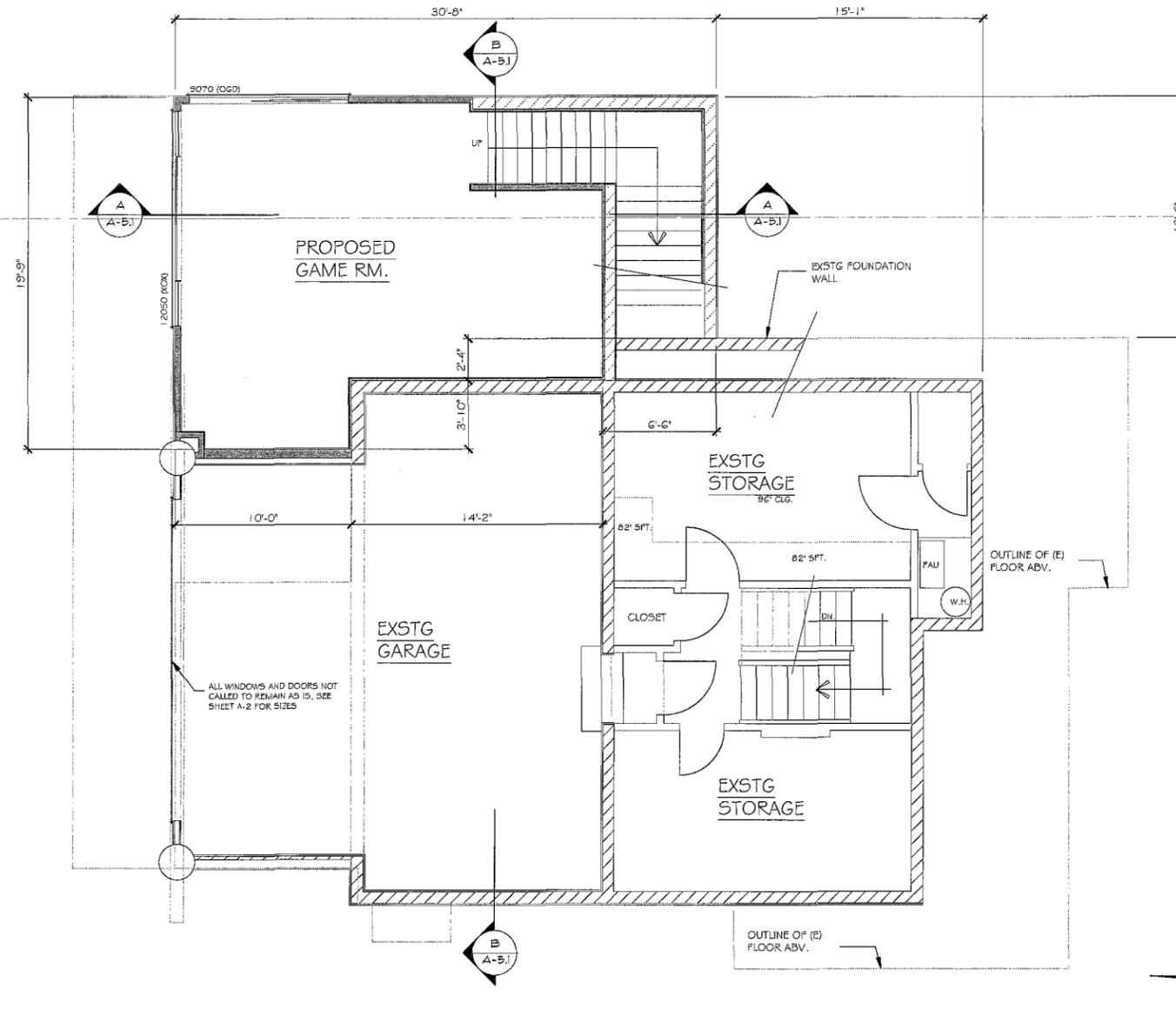


BASEMENT FLOOR DIAGRAM

SCALE: 1/8" = 1'-0"

WALL LEGEND

- EXSTG WALL TO BE REMOVED
- EXSTG 2x STUD WALL TO REMAIN
- NEW 2x4 STUD WALL FRAMED @ 16" O.C.



PROPOSED BASEMENT LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	

JACKSON
 DESIGN & REMODELING
 Lic. #9209339
 Additions • Kitchens • Master Bedroom
 4721 Menlo St. San Jose, CA 95111
 (408) 242-6125
 www.jacksondesignremodeling.com

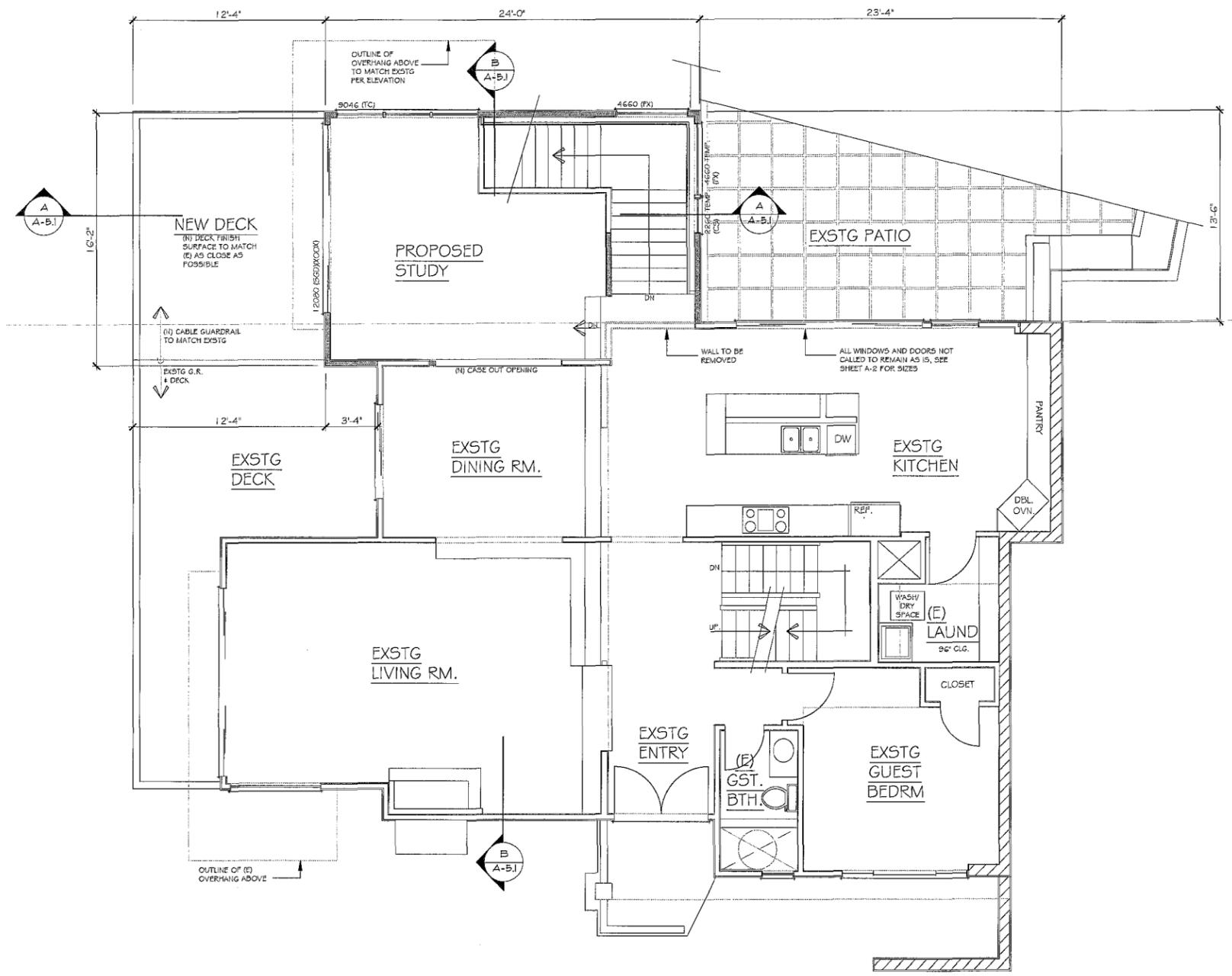
A Home Remodel for:
Geoffrey Morse & Ellen Freund
 737 Stanford Place, San Diego, CA 92107
 Sheet Title:
PROPOSED BASEMENT FLOOR PLAN Print for 00/00/00

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DRAWN J. Kavan
CHECKED
DATE 10/01/14
SCALE as noted
JOB NAME MORSE-FREUND
SHEET A-3.1
OF ## SHEETS

WALL LEGEND

- EXSTG WALL TO BE REMOVED
- EXSTG 2x STUD WALL TO REMAIN
- NEW 2x4 STUD WALL FRAMED @ 16" O.C.



PROPOSED FIRST FLOOR FLOOR PLAN

SCALE: 1/4" = 1'-0"

NO.	REVISIONS

JACKSON
DESIGN & REMODELING
Lic. #600939
Additions • Kitchens • Master Bathroom
4971 Marney St.
San Diego, CA 92111
www.jacksondesignremodeling.com

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SHEET A-3.2
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