



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: August 26, 2015

REPORT NO. HO 15-095

ATTENTION: Hearing Officer

SUBJECT: VERIZON - COMSTOCK
PTS PROJECT NUMBER: 391457

LOCATION: 2130 Ulric Street

APPLICANT: Kerrigan Diehl, PlanCom, Inc.

SUMMARY

Issue(s): Should the Hearing Officer approve a Conditional Use Permit for a wireless communication facility located at 2130 Ulric Street in the Linda Vista Community Planning area?

Staff Recommendation(s) – Approve Conditional Use Permit No. 1506198.

Community Planning Group Recommendation – On June 22, 2015, the Linda Vista Planning Group voted 11-0-1 to recommend approval of the Verizon Comstock project with no conditions.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 25, 2015 and the opportunity to appeal that determination ended July 10, 2015.

BACKGROUND & DISCUSSION

Verizon – Comstock is an application for a Wireless Communication Facility (WCF), consisting of a new 40 foot tall monument tower concealing 12 panel antennas, a microwave dish and associated components with equipment located in the base of the tower. An emergency generator is also proposed adjacent to the tower in a 190 square foot concrete block enclosure. The project is located at 2130 Ulric Street. The property is zoned RM-3-7 and is located in the Linda Vista Community Plan Area. (Attachments 1, 2, and 3)

In residential zones, on premises with a non-residential use, WCF are permitted with a CUP, Process Three (LDC § 141.0420(e)(1)). This WCF is located in a residential zone, on church property with an on-site day care. Surrounding uses include a United States Post Office to the west, the Linda Vista Branch Library to the north and multi-unit residential to the south and east (Attachment 1).

The WCF Regulations require that applicants use all reasonable means to conceal or minimize the visual impacts of WCFs through integration, which includes the use of architecture, landscape, and siting solutions. This project has been designed to provide wireless coverage to the surrounding neighborhood and community in a way that is respectful of the neighborhood context. To accomplish this, Verizon is proposing a 40 foot tall monument tower designed to integrate with the church and ancillary buildings (Attachment 10). The tower will be located toward the rear of the church adjacent to a church parking area. A new 5 foot tall concrete block wall and gate is proposed to separate the adjacent church parking lot (to the south) from the church and Verizon is proposing to plant 19 five-gallon California Lilacs in front of the wall to break up the wall and improve views (Attachment 13). As designed, the project qualifies as a “complete concealment” and will not include a ten year expiration.

The City’s General Plan addresses Wireless Facilities in UD-A.15. The visual impact of WCFs should be minimized by concealing WCFs in existing structures, or utilizing camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures. This project complies with the General Plan recommendations by locating the antennas within a new church monument structure with equipment associated with the antennas located in the base of the structure. An emergency generator is also proposed to be located adjacent to the tower in a 190 square foot concrete block enclosure, not readily visible from the right-of-way. The design of the WCF is respectful of the neighborhood context and does not adversely affect the applicable land use plan.

Based on the proposed design, the project complies with the WCF Regulations (LDC §141.0420) and the RM-3-7 development regulations. The project has received support from the community planning group, and draft findings have been made in the affirmative to approve the CUP (Attachment 5). Therefore, Staff recommends approval of CUP No. 1506198.

ALTERNATIVES

1. Approve CUP No. 1506198, with modifications.
2. Deny CUP No. 1506198, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,

Karen Lynch, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Coverage Map
9. Photo Survey
10. Photosimulations
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Plans

Rev 7/15/15pjf

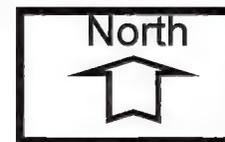


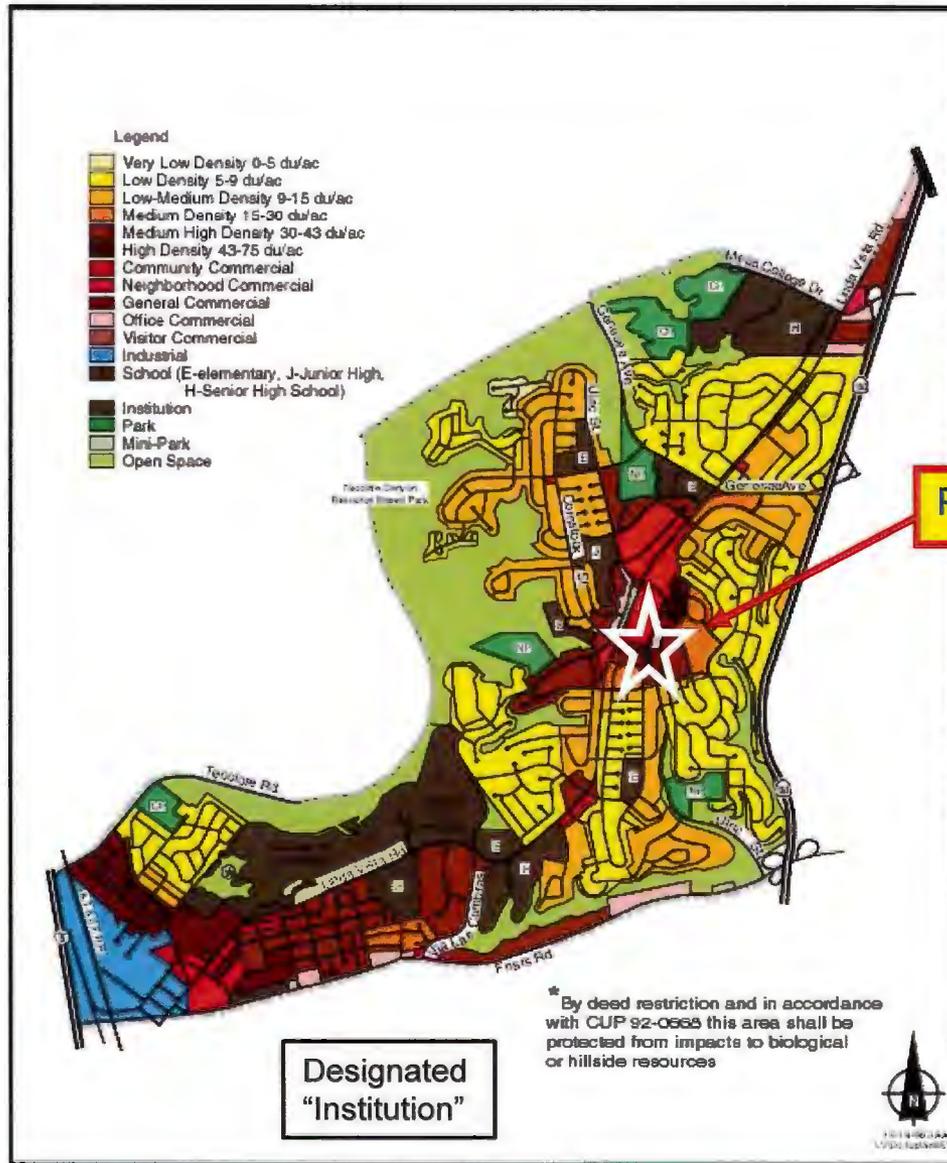
PROJECT SITE

Aerial Photo

VERIZON- COMSTOCK PROJECT NUMBER 391457

2130 ULRIC STREET



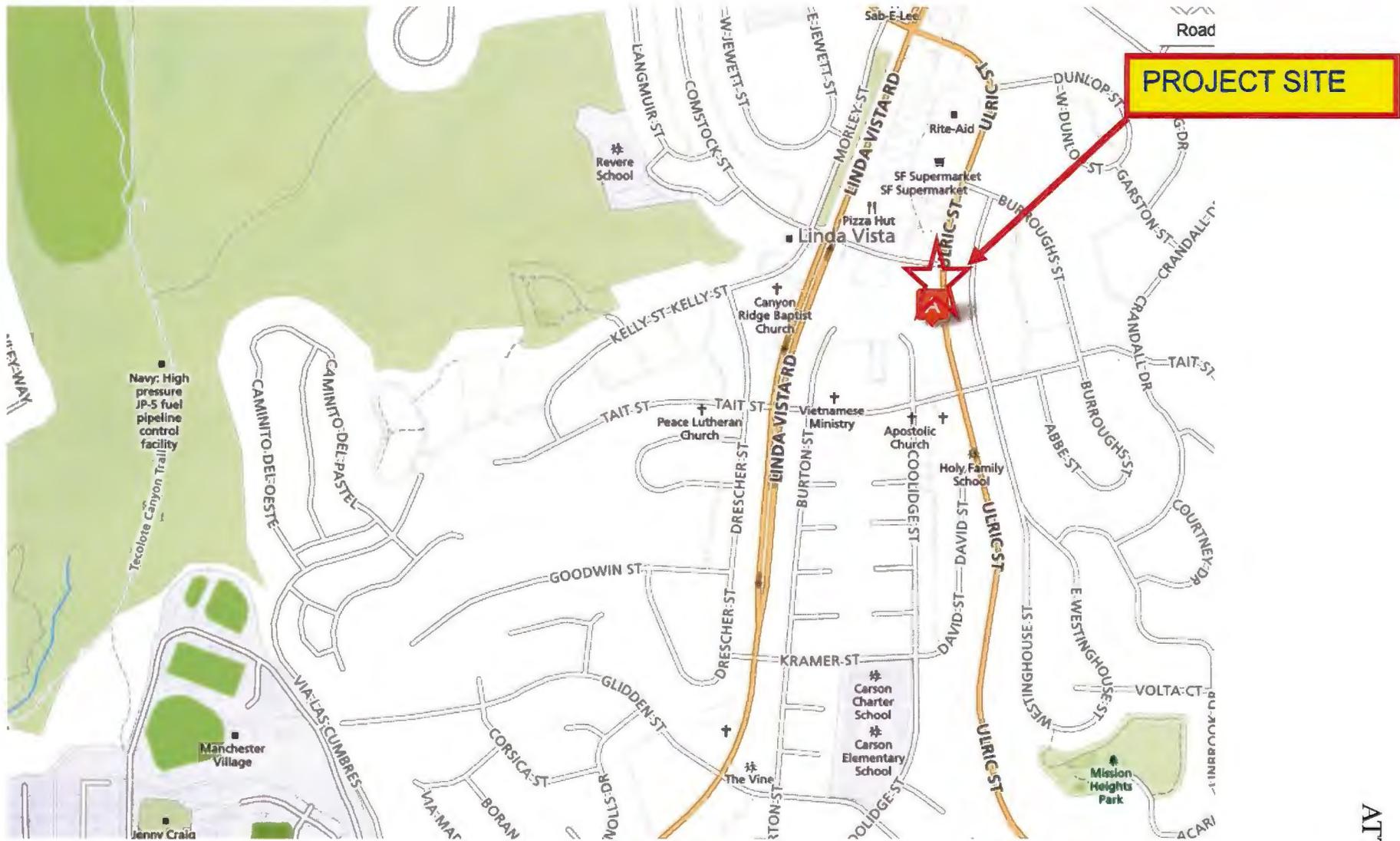


LINDA VISTA COMMUNITY PLAN MAP

VERIZON- COMSTOCK PROJECT NUMBER 391457

2130 ULRIC STREET





PROJECT SITE



Project Location Map

VERIZON- COMSTOCK PROJECT NUMBER 391457

2130 ULRIC STREET



PROJECT DATA SHEET

PROJECT NAME:	Verizon – Comstock	
PROJECT DESCRIPTION:	Construction of a new 40-foot tall monument tower concealing 12 antennas, a microwave dish and equipment in addition to a 190 square foot enclosure for an emergency generator.	
COMMUNITY PLAN AREA:	Linda Vista	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Institutional	
<u>ZONING INFORMATION:</u>		
ZONE: RM-3-7 HEIGHT LIMIT: 40' FRONT SETBACK: 10' SIDE SETBACK: 5' STREET SIDE SETBACK: 10' REAR SETBACK: 5'		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Community Commercial; CC-2-3.	Commercial
SOUTH:	Medium Density 30-43 du/ac Residential; RM-3-7.	Multi-Unit Residential
EAST:	Medium Density 30-43 du/ac Residential; RM-3-7.	Multi-Unit Residential
WEST:	Medium Density 30-43 du/ac Residential; RM-3-7.	US Post Office
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On June 22, 2015, the Linda Vista Planning Group voted to recommend approval of the Verizon – Comstock project with no conditions.	

**HEARING OFFICER
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1506198
VERIZON – COMSTOCK
PROJECT NO. 391457**

WHEREAS, Synod of SOUTHERN CALIFORNIA AND HAWAII, Owner and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1506198), on portions of a .96-acre site.

WHEREAS, the project site is located at 2130 Ulric Street in the RM-3-7 zone of the Linda Vista Community Planning area;

WHEREAS, the project site is legally described as Lot 11, Block 59 of Linda Vista Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3256, filed in the Office of County Recorder of San Diego County, June 24, 1955;

WHEREAS, on August 26, 2015, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1506198, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on June 25, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 26, 2015.

FINDINGS:

Conditional Use Permit Approval – Section §126.0305

- 1. The proposed *development* will not adversely affect the applicable *land use plan*;**

While the Linda Vista Community Plan does not specifically address WCF, the City's General Plan, in Policy UD-A.15, states that the visual impact of wireless facilities should be minimized. This can be achieved by concealing wireless facilities in existing structures when possible, or by using camouflage and screening techniques to hide or blend them into the surrounding area. This project proposes a 40-foot tall church monument tower that will conceal 12 panel antennas, 12 Remote Radio Units (RRU) and one 4 foot diameter microwave dish. The associated equipment will be located in the base of the tower and a 30kw generator will be located adjacent to the tower in a 190 square foot enclosure designed to match the architecture of the tower. From the public right-of-way, the WCF will appear as an architectural focal point for the church.

This project, as proposed, does not interfere with the church nor does it create any visual impacts for the neighborhood or surrounding community. Based on the design of this WCF, the project will not adversely affect the Linda Vista Community Plan or the City of San Diego General Plan.

2. The proposed *development* will not be detrimental to the public health, safety, and welfare;

The project consists of 12 panel antennas, 12 Remote Radio Units and a 4 foot diameter microwave dish completely concealed within a church monument tower designed to match the existing church and ancillary buildings. Equipment associated with the antennas is located in the base of the tower. A generator is proposed within an adjacent 190-square foot enclosure designed to match the tower. The project is located at 2130 Ulric Street in the Linda Vista Community Plan area. The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare.

Additionally, the Federal Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Site Compliance Report was submitted with the project and it concludes that with required warning signage (condition 34 in the permit) and locked access, the WCF will comply with the FCC's RF Safety Guidelines. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the project will not be detrimental to the public health, safety and welfare.

3. The proposed *development* will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

The WCF Regulations, Land Development Code Section 141.0420, require that WCF utilize the smallest, least visually intrusive antennas, components, and other necessary equipment. The applicant is required to use all reasonable means to conceal or minimize the visual impact of the WCF through integration utilizing architecture, landscape, and siting. All components of the WCF are proposed to be completely concealed within the monument structure or the adjacent generator enclosure. A new block wall and gate is proposed between the church and parking area which will connect to the existing block walls located along the front and rear of the church. Verizon is proposing to plant 19 five-gallon California Lilacs in front of the wall, which will provide a landscape screen and improve views from the public right-of-way.

WCF are permitted in residential zones where the use on the property is non-residential with a Conditional Use Permit, Process 3, Hearing Officer approval. No deviations are requested with this project. The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCF "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." All antennas and their associated components are concealed from view and the resulting project is an architecturally integrated design that provides an additional focal point for the church property.

Based on this analysis and the project design, this project complies with the applicable regulations of the Land Development Code and results in a completely concealed WCF.

4. The proposed use is appropriate at the proposed location.

This WCF is proposed on a church property, zoned RM-3-7 and located on the southwest corner of Ulric and Comstock Streets. The monument tower is proposed toward the rear of the Linda Vista Presbyterian Church adjacent to their parking lot. A United States Post Office is located to the west and the Linda Vista Community Branch Library is located to the north. Multi-unit residential is located beyond the church parking lot to the south and across Ulric Street, which is a three lane collector street. WCF are permitted throughout the City subject to the appropriate review and/or permit process. In this case, the property is zoned RM-3-7 with a church and day care facility on site, which requires a Process 3 Conditional Use Permit. The design of the WCF is well integrated into the church setting and it is sited so that it does not interfere with use of the church property or the parking area. The generator will be located in a 190 square foot block enclosure designed similar to the monument tower and will include noise reducing project design components. The use is appropriate at this location based on the integrated design and existing on-site building use.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1506198 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1506198, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: August 26, 2015

SAP or WBS Number: 24005174

Modified HMD 1-26-15

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005174

CONDITIONAL USE PERMIT NO. 1506198
VERIZON COMSTOCK
PROJECT NO. 391457
HEARNIG OFFICER
DRAFT

This Conditional Use Permit No. 1506198 is granted by the **Hearing Officer** of the City of San Diego to Synod of Southern California and Hawaii, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and Chapter 12, Article 6, Division 3. The .96-acre site is located at 2130 Ulric Street in the RM-3-7 zone of the Linda Vista Community Plan area. The project site is legally described as: All that certain real property situated in the county of San Diego, State of California, described as follows: Lot 11, Block 59 of Linda Vista Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3256, filed in the Office of County Recorder of San Diego County, June 24, 1955.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 26, 2015, on file in the Development Services Department.

The project shall include:

- a. A 225-square foot, 40-foot tall monument tower concealing twelve panel antennas, a microwave dish and twelve Remote Radio Units in the upper portion of the tower and associated equipment in the base and;
- b. An adjacent 190 square foot concrete block wall enclosure to conceal a 30 kW emergency generator with a 210- gallon diesel tank;

- c. A 5 foot tall concrete block wall and gate along the northern parking lot border;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 10, 2018.
2. The project complies with the Development Services Department's Telecommunication Facility Guidelines as a Complete Concealment Facility and as a result, the permit will not contain an expiration date. It is the responsibility of the wireless carrier and owner(s) to maintain the appearance of the approved facility to conditions set forth in this permit unless the site is removed and restored to its original condition. Code Enforcement shall be notified if the appearance or the scope of the project has changed without the approval of the City Manager.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. This project proposes to export 24 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

13. Prior to the issuance of any construction permit, the Permittee shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Comstock Street and Ulric Street's Right-of-Way.

14. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Comstock Street and Ulric Street's Right-of-Way.

15. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

18. San Diego Municipal Code Section 142.0607 Repair and Replacement of Public Facilities. Where in the course of development of private property, public facilities are damaged or removed the property owner shall, at no cost to the City, repair or replace the public facility to the satisfaction of the City Engineer.

LANDSCAPE REQUIREMENTS:

19. In the event that the Landscape Plan and the Site Plan conflict, the Site Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit 'A' Landscape Development Plan .

20. Submit landscape and irrigation construction documents for Area of Work, consistent with the Land Development Manual, Municipal Code and Landscape Standards, to the Development Services Department for approval. Plans shall show connectivity to existing irrigation and rain

sensor. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.

21. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or a Final Landscape Inspection.

22. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs that die 3 years or more after installation shall be replaced with 15-gallon size, and required trees that die 3 years or more after installation shall be replaced with 60-inch box size material. The City Manager may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15 gallon shrub or 60-inch box tree.

23. All required landscape shall be maintained in a disease, weed and litter free condition at all times.

24. All drainage shall comply with the Storm Water Standards of the Land Development Manual.

25. All planting areas shall be designed to effectively handle all drainage onsite.

PLANNING/DESIGN REQUIREMENTS:

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

28. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

29. It is the Owner/Permittee's responsibility to notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

30. The photosimulation(s) for the proposed project shall be printed on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."

31. The approved antenna dimensions include six panel antennas measuring 76" x 11.9" x 3.9" and six measuring 72" x 11.9" x 7.1" and a 4-foot diameter microwave dish, as illustrated on the Exhibit "A" dated August 19, 2015. Replacement of the antennas may occur in the future, subject to the Owner/Permittee notifying the Development Services Department prior to the replacement of the antennas and subject to the provision of providing an updated Radio Frequency (RF) report demonstrating compliance with the Federal Communication Commission's regulations in accordance with SDMC Section 141.0420(b)(1)(A) to the satisfaction of the Development Services Department.
32. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
33. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
34. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.
35. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 26, 2015 by Resolution No. _____.

DRAFT

Permit Type/PTS Approval No.: CUP No. 1506198
Date of Approval: August 26, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Synod of Southern California and Hawaii
Owner

By _____
NAME:
TITLE:

Verizon Wireless
Permittee

By _____
Hal Navarre
Executive Director
Verizon Wireless - Network

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 391457

PROJECT TITLE: Verizon Comstock

PROJECT LOCATION-SPECIFIC: The site is located at 2130 Ulric Street San Diego, CA 92111.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A conditional use permit (CUP) for the construction of a wireless communication facility (WCF). The project would install twelve panel antennas, eighteen remote radio units and a microwave dish that would be mounted to a forty-foot stealth designed stand alone monument tower. Associated equipment including an emergency back-up generator would be located at grade within a custom 385 square foot enclosure designed to match the existing structures on site. The proposed WCF would be located at an existing developed church site and is zoned RM-3-7 zone.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Verizon Wireless, Contact Brent Helming, 15005 Sand Canyon Avenue, Irvine CA, 92618. (760) 533-6055.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: SECTION 15303 (New Construction)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction) which allows for the construction of limited numbers of new, small facilities and the installation of small new equipment. Since the project is permitting an allowable use which would not substantially increase capacity and is only doing minor physical modifications to the site the exemption is appropriate. Furthermore, since the WCF would occur on a developed site lacking sensitive resources the exceptions listed in CEQA Section 15300.2 would not apply.

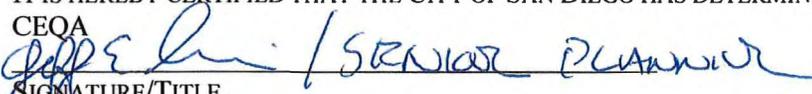
LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA


SIGNATURE/TITLE

6/23/2015
DATE

CHECK ONE:

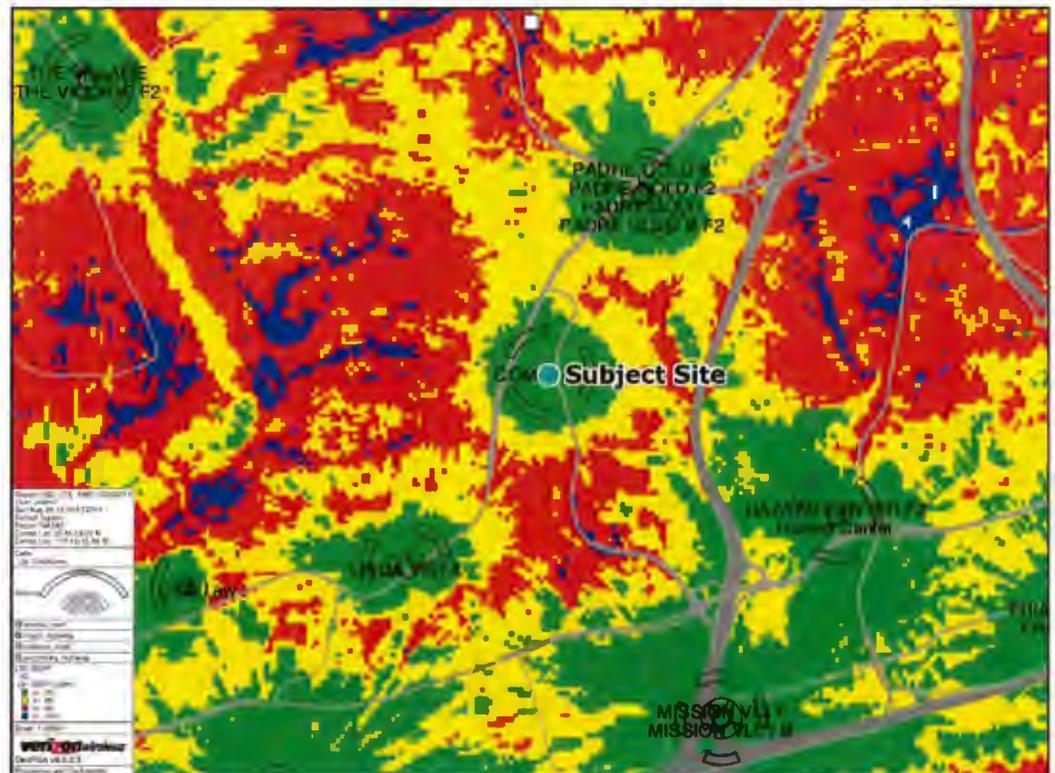
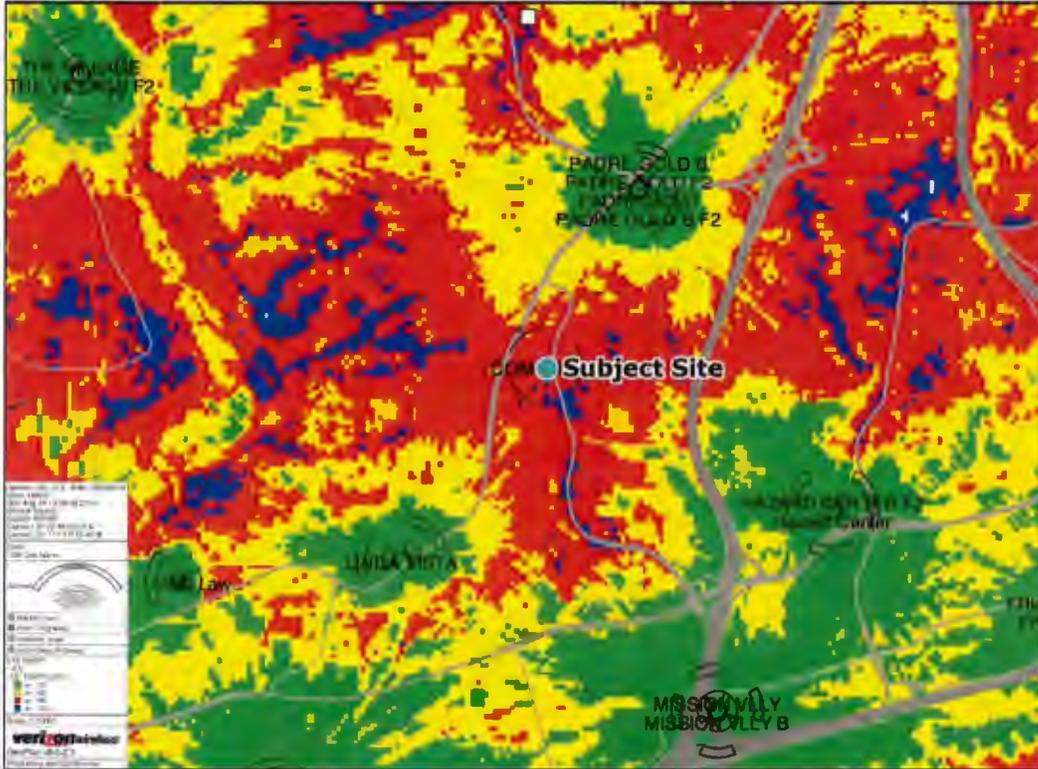
- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

Comstock
 2130 Ulric Street
 San Diego, CA 92111



Coverage without site



Coverage Levels:

- Excellent
- Good/Variable
- Poor

8/27/2014

Coverage with site



View North



View East



View South



View West



South Elevation



East Elevation



North Elevation (not visible behind sanctuary)



West Elevation (from United States Post Office)



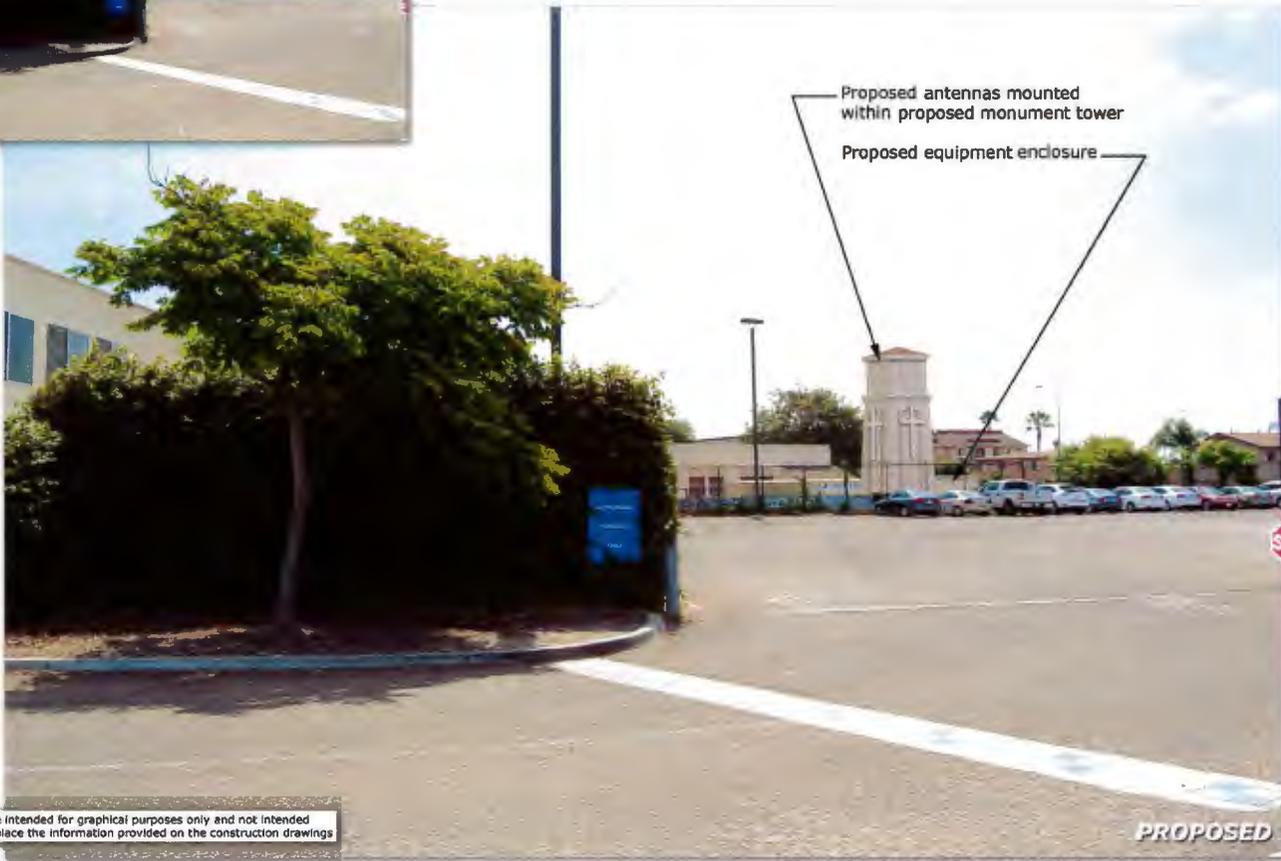
View of Proposed Tower Location



Aerial View of Surroundings



Comstock
2130 Ulric Street
San Diego, CA 92111



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

8/18/2014

Photosimulation of proposed telecommunications site

EXISTING



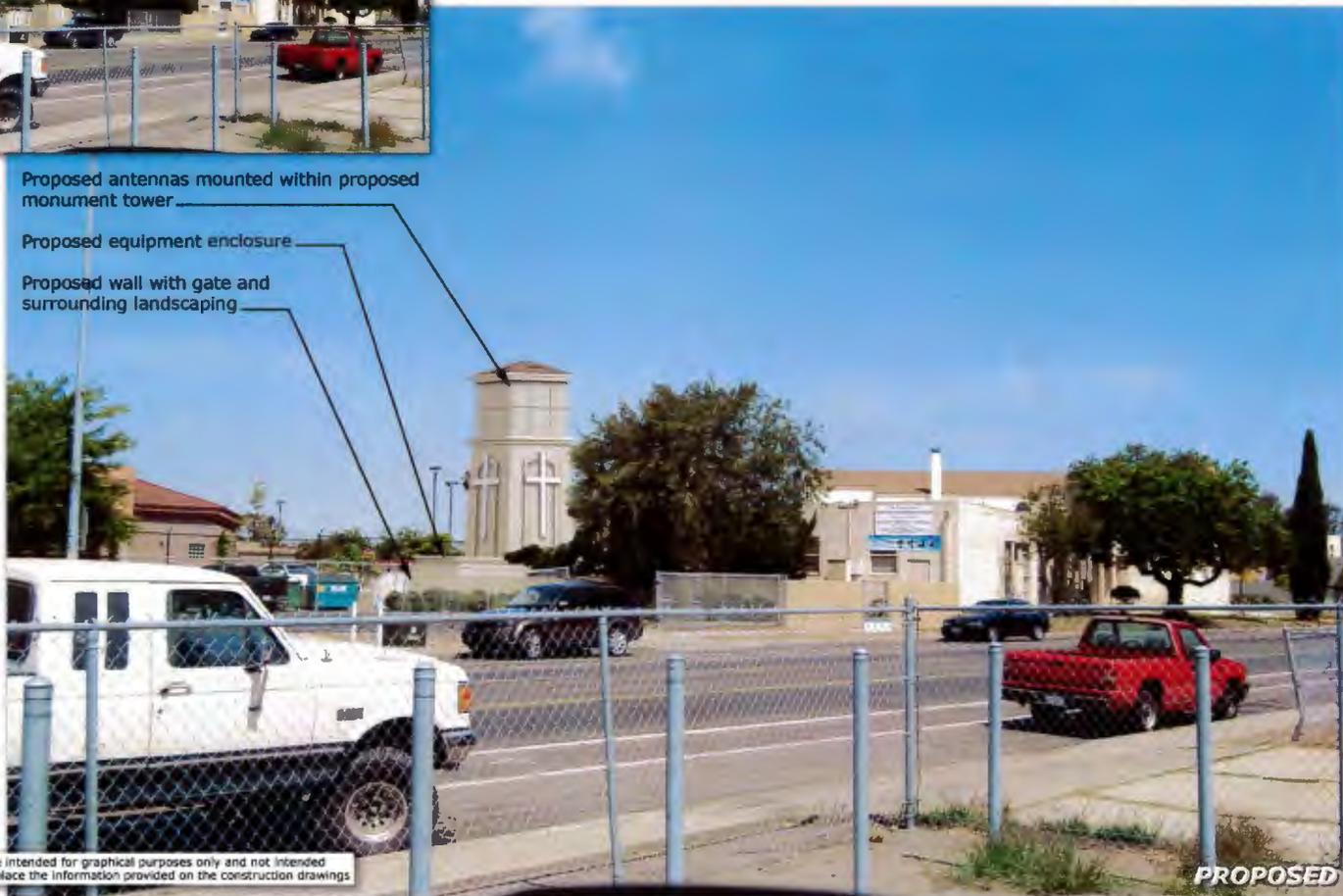
Comstock
2130 Ulric Street
San Diego, CA 92111



Proposed antennas mounted within proposed monument tower

Proposed equipment enclosure

Proposed wall with gate and surrounding landscaping



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED

Photosimulation of proposed telecommunications site

8/18/2014



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

**Community Planning
Committee
Distribution Form Part 2**

Project Name: Verizon Comstock	Project Number: 391457	Distribution Date: 5/20/2015
--	----------------------------------	--

Project Scope/Location:
LINDA VISTA, Conditional Use Permit , Process 3 for a wireless communication facility consisting of a new 40' tall architectural tower concealing 12 panel antennas and a microwave dish with associated equipment in the base of the tower. An associated emergency generator will be located in a 160 sq ft enclosure. The project is located at 2130 Ulric St. at the Linda Vista Presbyterian Church in the RM-3-7 zone. CD:7

Applicant Name: Kerrigan Diehl, PlanCom, Inc.	Applicant Phone Number: (760) 587-3003
---	--

Project Manager: Karen Lynch	Phone Number: (619) 446-5351	Fax Number: (619) 321-3200	E-mail Address: klynchash@sandiego.gov
--	--	--------------------------------------	--

Committee Recommendations (To be completed for Initial Review):

<input checked="" type="checkbox"/> Vote to Approve	Members Yes 11	Members No 0	Members Abstain 1
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued

CONDITIONS: None

NAME: Tom Cleary	TITLE: Chair
-------------------------	---------------------

SIGNATURE: Tom Cleary	DATE: 6/22/2015
------------------------------	------------------------

Attach Additional Pages If Necessary.

Please return to:
Project Management Division
City of San Diego
Development Services Department
1222 First Avenue, MS 302
San Diego, CA 92101

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other *WCF - Telecom*

Project Title: Verizon - Comstock Project No. For City Use Only

Project Address: 2130 Ulric Street, San Diego, CA 92111

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No *page 2 = Part II*

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

JSK

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
 Synod of Southern California *and Hawaii*

Owner Tenant/Lessee

Street Address:
 14225 Roscoe Blvd.

City/State/Zip:
 Panorama City CA 91402

Phone No: 213-483-3840 Fax No:

Name of Corporate Officer/Partner (type or print):
 Doska D. Ross

Title (type or print):
 Corporate Secretary

Signature: *Doska D. Ross* Date: *September 4, 2014*

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

DR



COMSTOCK
2130 ULRIC STREET
SAN DIEGO, CA 92111

VICINITY MAP

THOMAS GUIDE PAGE: 1258 - J1

ADDRESS
 2130 ULRIC STREET
 SAN DIEGO, CA 92111

DIRECTIONS:
 (FROM VZW'S OFFICES IN IRVINE):

1. HEAD SOUTHEAST TOWARD SAND CANYON TRAIL
2. TURN RIGHT ONTO SAND CANYON AVE
3. MERGE ONTO I-405 S VIA THE RAMP TO SAN DIEGO
4. MERGE ONTO I-5 S
5. KEEP LEFT TO CONTINUE ON I-805 S, FOLLOW SIGNS FOR INTERSTATE 805 S
6. TAKE THE EXIT ONTO CA-163 S TOWARD DOWNTOWN
7. TAKE THE FRIARS RD EXIT
8. SLIGHT RIGHT ONTO ULRIC ST

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

CONSULTANT TEAM

ARCHITECT:
 BOOTH & SUAREZ ARCHITECTURE, INC.
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008
 (760) 434-8474
 (760) 434-8596 (FAX)

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE, SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

LEASING/PLANNING:
 PLANCOM, INC.
 BRENT HELMING
 302 STATE PLACE
 ESCONDIDO, CA 92029
 (760) 535-8065

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 11, BLOCK 99 OF LUNGA VISTA UNIT NO. 4, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3259, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 24, 1955.

FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION SEE SHEET C-1

PERMITS REQUIRED

© CUP

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 CONTACT: BRENT HELMING
 PHONE: (760) 533-6065

OWNER: SYNOD OF SOUTHERN CALIFORNIA
 SITE CONTACT: PASTOR RENE ROTH
 PHONE: (858) 277-0523

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A PROPOSED 15'-0" x 15'-0" WOOD FRAMED MONUMENT TOWER.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS). ANTENNAS SHALL BE MOUNTED INSIDE A NEW 40'-0" HIGH MONUMENT TOWER.
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRU'S) MOUNTED BEHIND PROPOSED ANTENNAS
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA (FOR TELCO SERVICE FEED) MOUNTED INSIDE PROPOSED 40'-0" HIGH MONUMENT TOWER.
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF A 30kW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE NEW CONCRETE BLOCK WALL ENCLOSURE WITH BUILT-UP ROOF LID.
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE FROM EXISTING SDG&E TRANSFORMER
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION FROM AN EXISTING TELCO PEDESTAL
- MINOR LANDSCAPE & IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 2130 ULRIC STREET
 SAN DIEGO, CA 92111

ASSESSORS PARCEL NUMBER: 431-430-07

EXISTING ZONING: RM-3-7

TOTAL SITE AREA: 29,329 S.F.
 = 0.90 ACRES

PROPOSED PROJECT AREA:
 EQUIPMENT BUILDING: 225 S.F.
 GENERATOR ENCLOSURE: 160 S.F.

PROPOSED OCCUPANCY:
 EQUIPMENT BUILDING: B

PROPOSED TYPE OF CONSTRUCTION:
 EQUIPMENT BUILDING: Y-B

NOTE: THERE ARE NO EXISTING TELECOMMUNICATION FACILITIES ON THIS PROPERTY

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN AND ENLARGED UTILITY PLAN
A-2	EQUIPMENT FLOOR PLAN
A-3	EQUIPMENT ROOF PLAN & LOWER LEVEL ANTENNA PLAN
A-4	UPPER LEVEL ANTENNA PLAN & TOWER ROOF PLAN
A-5	EXTERIOR ELEVATIONS
A-6	TOWER ELEVATION & DETAILS
L-1	LANDSCAPE DEVELOPMENT PLAN
C-1	TOPOGRAPHIC SURVEY

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2013 EDITION
 CALIFORNIA PLUMBING CODE, 2013 EDITION
 CALIFORNIA MECHANICAL CODE, 2013 EDITION
 CALIFORNIA ELECTRICAL CODE, 2013 EDITION
 CALIFORNIA FIRE CODE, 2013 EDITION
 CALIFORNIA ENERGY CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

verizon wireless

P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

COMSTOCK

2130 ULRIC STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

08/08/14	90% ZD (su)
08/15/14	100% ZD (su)
08/27/14	100% ZD REVISION 1 (se)
11/05/14	100% ZD REVISION 2 (se)
04/10/15	100% ZD REVISION 3 (se)
04/13/15	100% ZD REVISION 4 (se)

SHEET TITLE

TITLE SHEET & PROJECT DATA

PROJECTS\VERIZON\14146

T-1

Booth & Suarez
 ARCHITECTURE INCORPORATED
 355 CARLSBAD VILLAGE DRIVE SUITE D9
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR
verizon wireless
 P.O. BOX 19707
 IRVINE, CA 92623-8707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
COMSTOCK
 2130 ULRIC STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

06/08/14	90% ZD (se)
06/15/14	100% ZD (se)
06/23/14	100% ZD REVISION 1 (se)
11/05/14	100% ZD REVISION 2 (se)
04/10/15	100% ZD REVISION 3 (se)
04/13/15	100% ZD REVISION 4 (se)

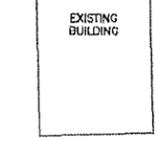
SHEET TITLE
SITE PLAN

PROJECTS\VERIZON\14146

A-0

SITE PLAN NOTES:

- EXISTING AT&T TELCO PEDESTAL (TELCO P.O.C.) TELCO LENGTH = ±345'-0"
- PROPOSED 4" TELCO CONDUIT IN AN UNDERGROUND TRENCH (BY VERIZON), CONNECT TO AT&T CONDUIT ON PRIVATE PROPERTY. PRELIMINARY UTILITY ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION.
- PROPOSED 2'-0" x 3'-0" TELCO PULL BOX @ 250'-0" O.C. OR AFTER TWO SWEEPS MAX. (TYPICAL OF 2)
- EXISTING UNDERGROUND 8" V.C. SEWER MAIN PER SAN DIEGO CITY IMPROVEMENT PLANS #9279-L AND #22042-10-D
- EXISTING UNDERGROUND SEWER LATERAL PER SAN DIEGO CITY IMPROVEMENT PLAN #22042-10-D, CONTRACTOR TO FIELD VERIFY LOCATION
- EXISTING UNDERGROUND 12" A.C. WATER MAIN PER SAN DIEGO CITY IMPROVEMENT PLAN #22042-10-D
- EXISTING UNDERGROUND 2" WATER LATERAL PER SAN DIEGO CITY IMPROVEMENT PLAN #22042-10-D, CONTRACTOR TO FIELD VERIFY LOCATION
- EXISTING UNDERGROUND 18" C.I. WATER MAIN PER SAN DIEGO CITY IMPROVEMENT PLANS #7858-R AND #22042-10-D
- UTILITY ROUTE SHALL BE HAND TRENCHED IN VICINITY OF EXISTING SEWER OR WATER LINES. A MINIMUM 12 INCH VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL CROSSINGS OF THE PROPOSED UTILITY CONDUITS AND ANY EXISTING SEWER OR WATER LINES. DEEPEN TRENCH AS REQUIRED IN FIELD WHERE CONDUITS NEED TO CROSS BELOW. (TYPICAL)
- PROPOSED VERIZON WIRELESS 12'-0" WIDE NON-EXCLUSIVE TECHNICIAN PARKING AND ACCESS PATH OF TRAVEL (SHOWN HATCHED)
- EXISTING DRIVEWAY FOR INGRESS/EGRESS
- EXISTING PAIR CHAIN LINK GATES
- EXISTING ASPHALT PAVED PARKING AREA
- EXISTING CONCRETE CURB, GUTTER AND SIDEWALK
- EXISTING DRIVEWAY
- EXISTING CONCRETE SIDEWALK (TYP.)
- DIRECTION OF LOT DRAINAGE (TYPICAL)



ALPHA SECTOR AZIMUTH 90°

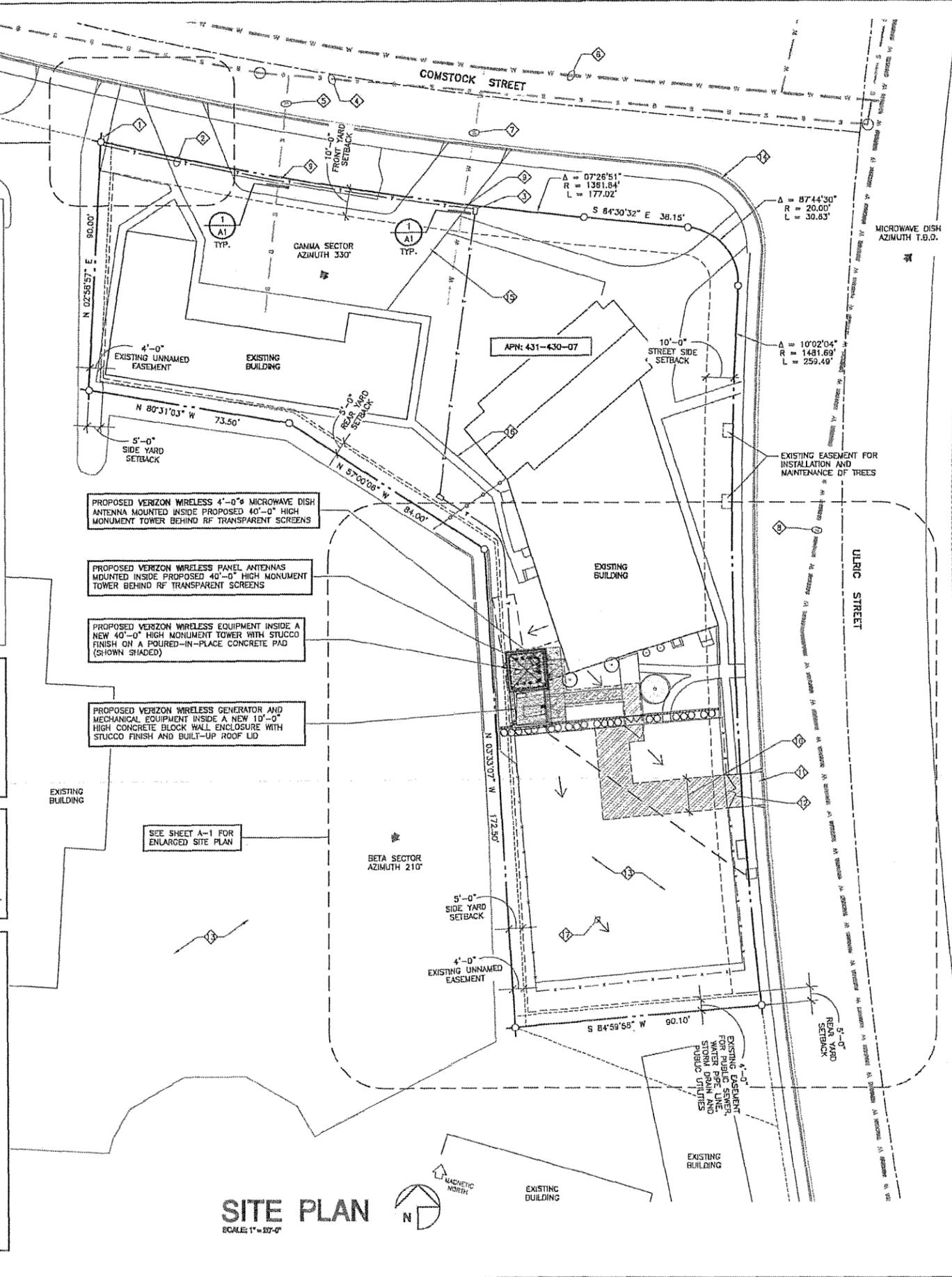


Underground Service Alert
 CALL TOLL FREE 1-800-422-4133

NOTE: BEFORE EXCAVATING VERIFY LOCATION OF UNDERGROUND UTILITIES TWO WORKING DAYS BEFORE YOU DIG

EASEMENTS:
 EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON NON PLOTTABLE EASEMENTS

BOUNDARY NOTE:
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED



SITE PLAN
 SCALE: 1" = 10'-0"

SEE SHEET A-1 FOR ENLARGED UTILITY PLAN

PROPOSED VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA MOUNTED INSIDE PROPOSED 40'-0" HIGH MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS

PROPOSED VERIZON WIRELESS PANEL ANTENNAS MOUNTED INSIDE PROPOSED 40'-0" HIGH MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS

PROPOSED VERIZON WIRELESS EQUIPMENT INSIDE A NEW 40'-0" HIGH MONUMENT TOWER WITH STUCCO FINISH ON A POURED-IN-PLACE CONCRETE PAD (SHOWN SHADED)

PROPOSED VERIZON WIRELESS GENERATOR AND MECHANICAL EQUIPMENT INSIDE A NEW 10'-0" HIGH CONCRETE BLOCK WALL ENCLOSURE WITH STUCCO FINISH AND BUILT-UP ROOF LID

SEE SHEET A-1 FOR ENLARGED SITE PLAN

Licensee's Certificate
 Standard Wireless Facility Project
 for Post Construction BMPs

I/ we the undersigned as Licensee(s) of the property described as
2130 ULRIC STREET, SAN DIEGO, CA 92111
 (Address or legal description)

understand that in accordance with the San Diego Municipal Code, Local Ordinance 142.000, "Storm Water Standards," this project is required to "Minimize Pollution from the Project Area" and incorporate "Site Design" and "Stormwater Control" BMPs.

I/We certify to the best of my knowledge, published and approved by the proposed lead use are as follows:

- Soil Erosion
- Nutrient
- Trash & Debris
- Oxygen Depleting Substances
- Oil & Grease
- Refrigerants & Volatiles
- Pesticides

I/We will incorporate the following into the site design:

- Minimize pre development runoff characteristics
- Minimize impervious floor joint by coagulating walkways, patios and driveways with permeable surfaces.
- Create water retention
- Use natural drainage systems as opposed to flood water or underground drainage systems.
- Drain leaf litter, mulch, grasses, and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Prevent existing and future law and shade
- Protect all slopes from erosion.

Additionally I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain smart devices and flow sensors

I/We will maintain the above Standard Practices, BMPs for the duration of the lease.

Licensee: **Andrea Molteni** Company Name: **Verizon Wireless**
 Date: **7/25/14**

DATA TABLE:

PERCENTAGE OF SITE PREVIOUSLY GRADED: 0%

CUBIC YARDS OF CUT: 84 CUBIC YARDS OF FILL: 60

VOLUME OF FILL TO BE IMPORTED: 0 CU.YD. EXPORTED: 24 CU.YD.

AREA TO BE GRADED: 0 % OF SITE: 0%

PROPOSED CUT SLOPE RATIO: 0 FILL SLOPE RATIO: 0

MAXIMUM HEIGHT OF: CUT SLOPE 0 FEET: FILL SLOPE 0 FEET

GRADING QUANTITIES:

EQUIPMENT BUILDING FOOTING:	5.78 CU. YDS.	18" DEPTH
GENERATOR ENCLOSURE FOOTING:	7.78 CU. YDS.	18" DEPTH
CONCRETE BLOCK WALL FOOTING:	4.44 CU. YDS.	18" DEPTH
CONCRETE LANDING FOOTING:	5.75 CU. YDS.	8" DEPTH
ELECTRICAL CONDUIT TRENCH:	38.33 CU. YDS.	48" DEPTH
TELCO CONDUIT TRENCH:	21.48 CU. YDS.	36" DEPTH
TOTAL GRADING:	83.56 CU. YDS.	

- ENGINEERING NOTES:**
- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
 - THE PROPOSED EQUIPMENT SHELTER WILL NOT BLOCK OR ALTER THE EXISTING DRAINAGE PATTERN.
 - THE APPLICANT SHALL OBTAIN A NONEXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE COMSTOCK STREET AND ULRIC STREET'S RIGHT-OF-WAY.
 - THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED TELCO CONDUIT UNDERGROUND TRENCH IN THE COMSTOCK STREET RIGHT-OF-WAY.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
 - SAN DIEGO MUNICIPAL CODE SECTION 142.0607 REPAIR AND REPLACEMENT OF PUBLIC FACILITIES. WHERE IN THE COURSE OF DEVELOPMENT OF PRIVATE PROPERTY, PUBLIC FACILITIES ARE DAMAGED OR REMOVED THE PROPERTY OWNER SHALL AT NO COST TO THE CITY, REPAIR OR REPLACE THE PUBLIC FACILITY TO THE SATISFACTION OF THE CITY ENGINEER.

Booth & Suarez
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE D9
 CARLSBAD, CA 92005 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

COMSTOCK

2130 ULRIC STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

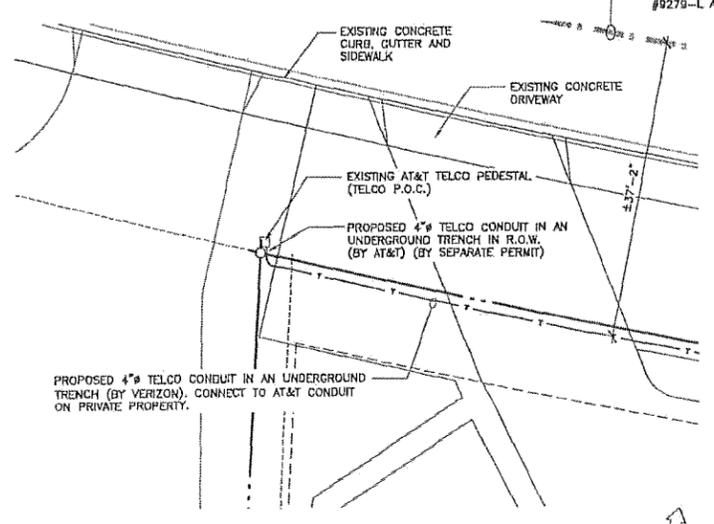
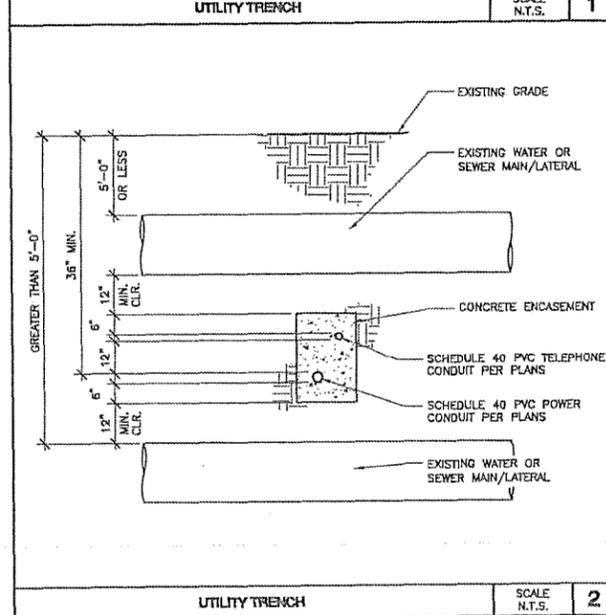
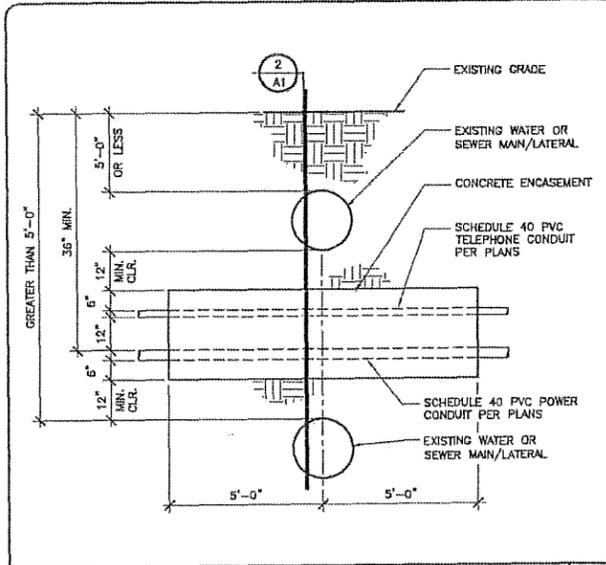
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08/27/14	100% ZD REVISION 1 (sc)
11/05/14	100% ZD REVISION 2 (sc)
04/10/15	100% ZD REVISION 3 (sc)
04/13/15	100% ZD REVISION 4 (lc)

SHEET TITLE

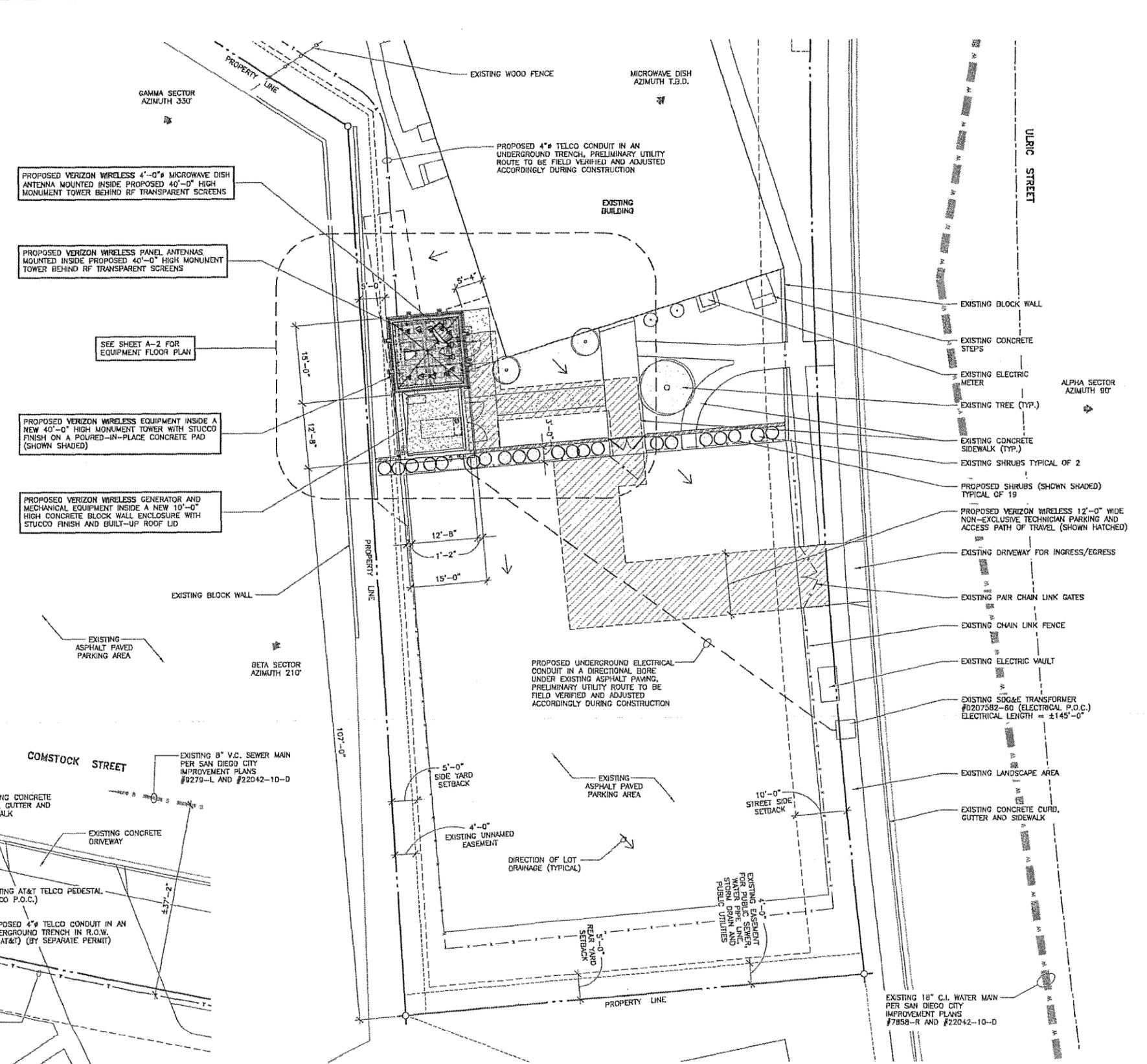
**ENLARGED SITE PLAN AND
 ENLARGED UTILITY PLAN**

PROJECTS\VERIZON\14146

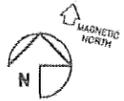
A-1



ENLARGED UTILITY PLAN
 SCALE: 1" = 10'-0"



ENLARGED SITE PLAN
 SCALE: 1" = 10'-0"



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 SAN DIEGO COUNTY

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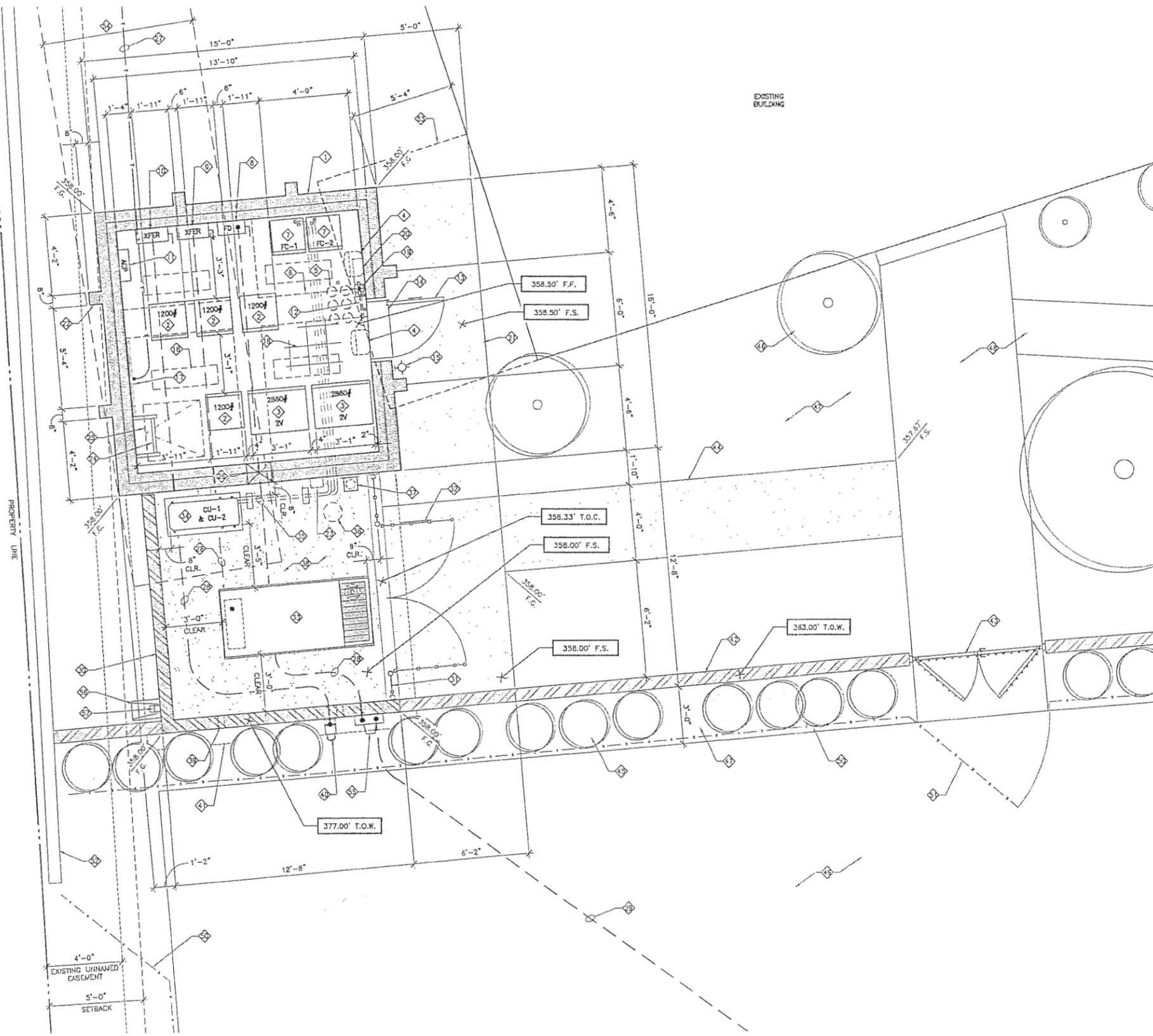
EQUIPMENT FLOOR PLAN

PROJECTS\VERIZON\14146

A-2

EQUIPMENT FLOOR PLAN NOTES:

- 1. PROPOSED VERIZON WIRELESS EQUIPMENT INSIDE A NEW WOOD FRAMED EQUIPMENT TOWER. (SHOWN SHADED)
- 2. PROPOSED VERIZON WIRELESS EQUIPMENT RACK 23" WIDE x 84" HIGH x 23" DEEP. WEIGHT: 1200 LBS.
- 3. PROPOSED VERIZON WIRELESS 2V BATTERY RACK. 37" WIDE x 37.66" HIGH x 27.88" DEEP. WEIGHT: 2860 LBS.
- 4. PROPOSED RAYCAP DC SURGE PROTECTION UNITS UNISTRUT MOUNTED TO WALL ABOVE (SHOWN DASHED)(TYPICAL OF 2)
- 5. PROPOSED (6) 6" CONDUITS FOR COAX CABLE AND (1) 1-1/2" FOR GROUND ABOVE (SHOWN DASHED)
- 6. PROPOSED OVERHEAD 18" CABLE LADDER @ +8'-0" (SHOWN DASHED)
- 7. PROPOSED AIR HANDLERS
- 8. PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- 9. PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
- 10. PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
- 11. PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 12. PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 13. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 14. PROPOSED ALUMINUM THRESHOLD
- 15. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 16. PROPOSED SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES (TYPICAL OF 4)
- 17. PROPOSED WALL MOUNTED TELCO BOARD
- 18. PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES, EXCELON #51973 MONO WHITE WITH 4" COVER BASE
- 19. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 20. PROVIDE AND INSTALL BATTERY ACID SPILL KIT(S) CAPABLE OF NEUTRALIZING A SPILL FROM THE LARGEST BATTERY
- 21. PROPOSED CONCRETE LANDING
- 22. PROPOSED ARCHITECTURAL POP-OUT (TYPICAL)
- 23. PROPOSED ARCHITECTURAL POP-OUT ABOVE TO STOP AT ENCLOSURE WALL HEIGHT (SHOWN DASHED)
- 24. PROPOSED STEEL ACCESS LADDER
- 25. PROPOSED ACCESS HATCH ABOVE
- 26. PROPOSED 16" X 16" MOTORIZED EXHAUST FAN
- 27. PROPOSED 4" TELCO CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- 28. PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- 29. PROPOSED UNDERGROUND ELECTRICAL CONDUIT IN A DIRECTIONAL BORE UNDER EXISTING ASPHALT PAVING
- 30. PROPOSED 9'-0" HIGH CONCRETE BLOCK WALL ENCLOSURE.
- 31. PROPOSED WROUGHT IRON FENCE
- 32. PROPOSED PAIR 4'-0" WIDE WROUGHT IRON GATES W/ SIGNAGE
- 33. PROPOSED VERIZON WIRELESS 30KW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD IN A SOUND ATTENUATION ENCLOSURE WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 65 dBA OR LESS AT A REFERENCE DISTANCE OF 23 FEET, OR EQUIVALENT SIZED UNIT
- 34. PROPOSED STACKED PAIR OUTDOOR CONDENSER UNIT (CARRIER MODEL 38H0806 WITH 72 dBA SOUND LEVEL, OR EQUIVALENT SIZED UNIT) MOUNTED ONE ABOVE THE OTHER ON A CONCRETE PAD (TYPICAL OF 2)
- 35. PROPOSED REFRIGERANT LINE ROUTING ON PVC SLEEPERS
- 36. PROPOSED DRYWELL
- 37. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS ABC FIRE EXTINGUISHER INSIDE A NEMA 3R CABINET
- 38. INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER WITHIN ENTIRE EQUIPMENT COMPOUND
- 39. PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAIN (TYPICAL OF 2)
- 40. PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 41. PROPOSED ARCHITECTURAL TRIM ABOVE (SHOWN DASHED)
- 42. PROPOSED 5'-0" HIGH CONCRETE BLOCK WALL
- 43. PROPOSED PAIR 3'-6" WROUGHT IRON GATES
- 44. PROPOSED CONCRETE SIDEWALK
- 45. PROPOSED SHRUBS (TYPICAL)
- 46. EXISTING TREE (TYPICAL)
- 47. EXISTING LANDSCAPE AREA
- 48. EXISTING CONCRETE SIDEWALK
- 49. EXISTING ASPHALT PAVED PARKING AREA
- 50. EXISTING CHAIN LINK FENCE
- 51. EXISTING CHAIN LINK GATE
- 52. EXISTING CONCRETE BLOCK WALL
- 53. PORTION OF EXISTING BUILDING TO BE REMOVED BY OWNER (SHOWN DASHED)
- 54. EXISTING STORAGE CONTAINER TO BE REMOVED BY OWNER (SHOWN DASHED)
- 55. PROPOSED VERIZON WIRELESS 200A ELECTRICAL METER MOUNTED TO WALL
- 56. PROPOSED DOWNSPOUT FOR ROOF DRAIN
- 57. PROPOSED SPLASH BLOCK



EQUIPMENT FLOOR PLAN
 SCALE: 3/8" = 1'-0"



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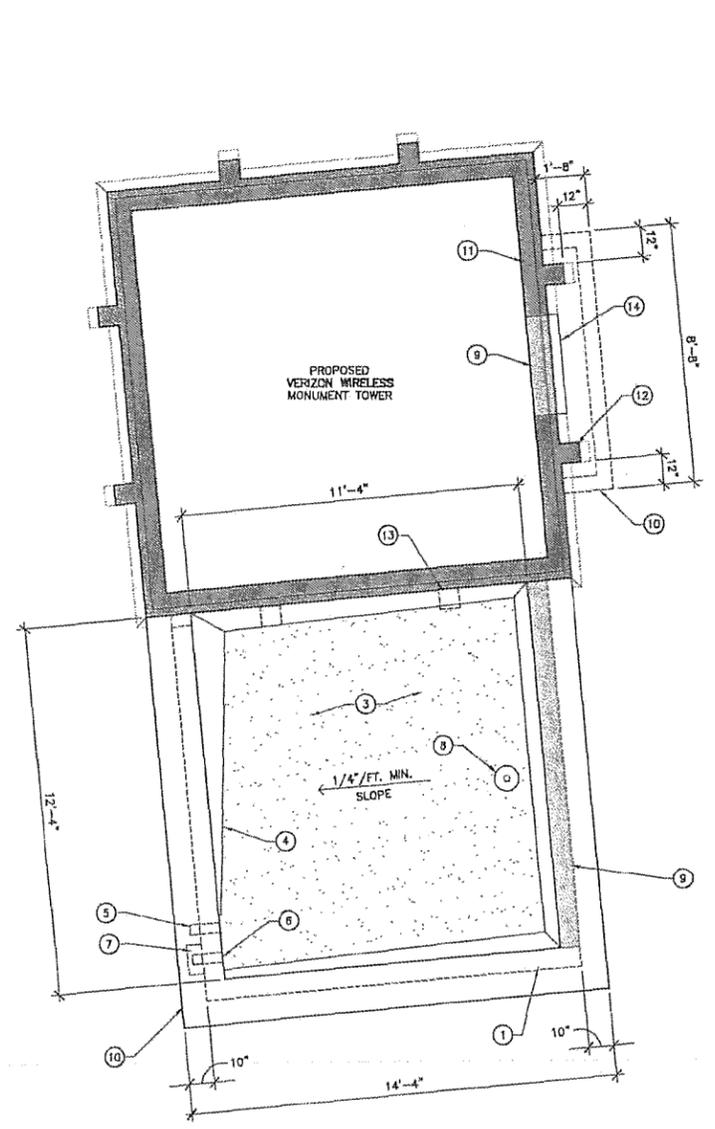
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 SAN DIEGO COUNTY

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SHEET TITLE
**EQUIPMENT ROOF PLAN
 & LOWER LEVEL
 ANTENNA PLAN**

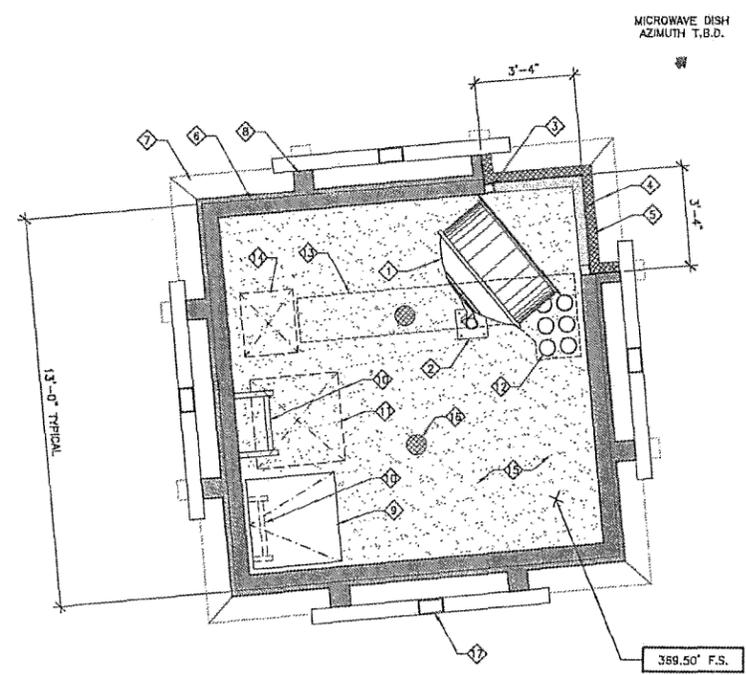
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EQUIPMENT ROOF PLAN
 SCALE: 3/8" = 1'-0"

CHAIN LINK LID PLAN NOTES:

- 1 PROPOSED VERIZON WIRELESS CONCRETE BLOCK WALL ENCLOSURE (BELOW SHOWN DASHED)
- 2 PROPOSED PARAPET WALL
- 3 BUILT-UP ROOF MEMBRANE
- 4 PROPOSED CRICKET FOR DRAINAGE (TYPICAL)
- 5 PROPOSED ROOF OVERFLOW DRAIN
- 6 PROPOSED ROOF DRAIN
- 7 PROPOSED DOWNSPOUT FOR ROOF DRAIN
- 8 PROPOSED MUFFLER VENT
- 9 PROPOSED HEADER FOR OPENING BELOW (SHOWN LIGHTER SHADED)
- 10 PROPOSED ARCHITECTURAL TRIM (ABOVE SHOWN DASHED)
- 11 PROPOSED WOOD FRAMED EQUIPMENT TOWER WALL (SHOWN SHADED)
- 12 PROPOSED ARCHITECTURAL POP-OUT (TYPICAL)
- 13 PROPOSED ARCHITECTURAL POP-OUT ABOVE TO STOP AT ENCLOSURE WALL HEIGHT (SHOWN DASHED)
- 14 PROPOSED 3'-0" WIDE STEEL DOOR FRAME



LOWER LEVEL ANTENNA PLAN
 SCALE: 3/8" = 1'-0"

ANTENNA PLAN NOTES:

- 1 PROPOSED VERIZON WIRELESS 4'-0" MICROWAVE DISH MOUNTED INSIDE PROPOSED MONUMENT TOWER BEHIND RF TRANSPARENT SCREEN
- 2 PROPOSED STEEL PLATE (GALV.)
- 3 PROPOSED 4" x 4" x 1/4" FIBERGLASS TUBE (TYPICAL)
- 4 PROPOSED 6"-0" HIGH RF TRANSPARENT SCREEN (SHOWN LIGHTER SHADED)
- 5 PROPOSED ARCHITECTURAL FOAM (SHOWN HATCHED)
- 6 PROPOSED 2x STUD WALL (SHOWN SHADED)
- 7 PROPOSED TAPERED WALL (TYPICAL)
- 8 PROPOSED ARCHITECTURAL POP-OUT (TYPICAL)
- 9 PROPOSED ACCESS HATCH
- 10 PROPOSED STEEL ACCESS LADDER (BELOW SHOWN DASHED)
- 11 PROPOSED ACCESS OPENING IN BAR GRATE ABOVE (SHOWN DASHED)
- 12 PROPOSED COAX CABLE PENETRATION WITH (6) 6" NONCOMBUSTIBLE SLEEVES IN FLOOR
- 13 PROPOSED COAX CABLE ROUTING (SHOWN DASHED)
- 14 PROPOSED OPENING IN BAR GRATE FOR COAX CABLE ROUTING ABOVE (SHOWN DASHED)
- 15 PROPOSED WATERPROOF DECK
- 16 PROPOSED FLOOR DRAIN (TYPICAL OF 2)
- 17 PROPOSED CROSS (TYPICAL)

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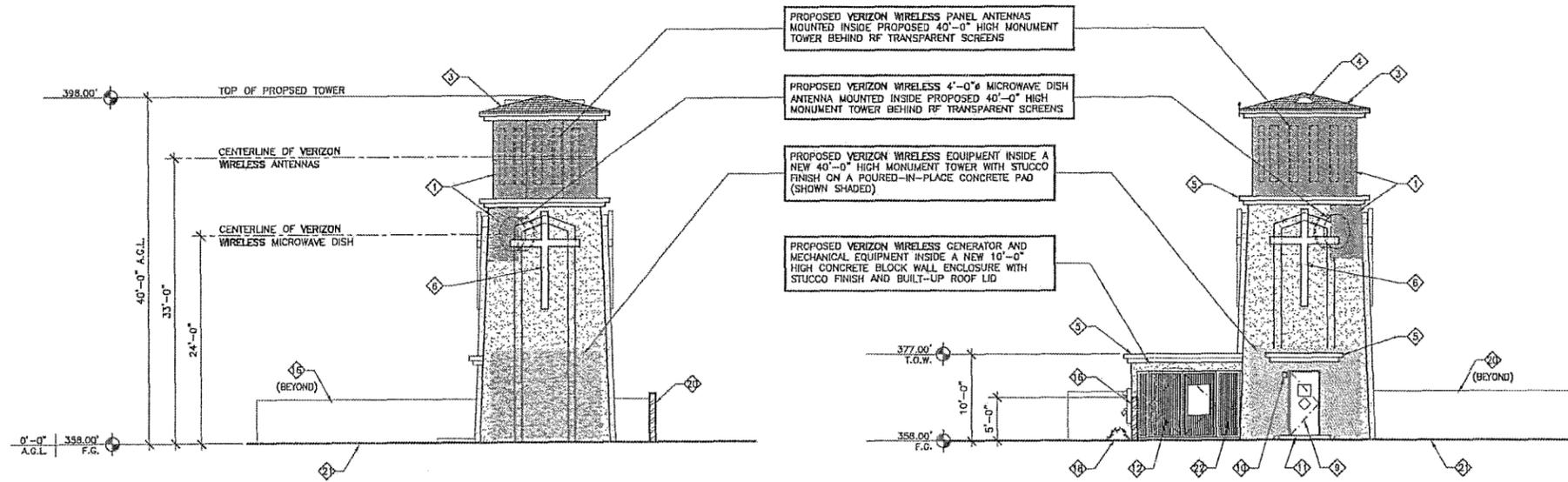
EXTERIOR ELEVATIONS

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A-5

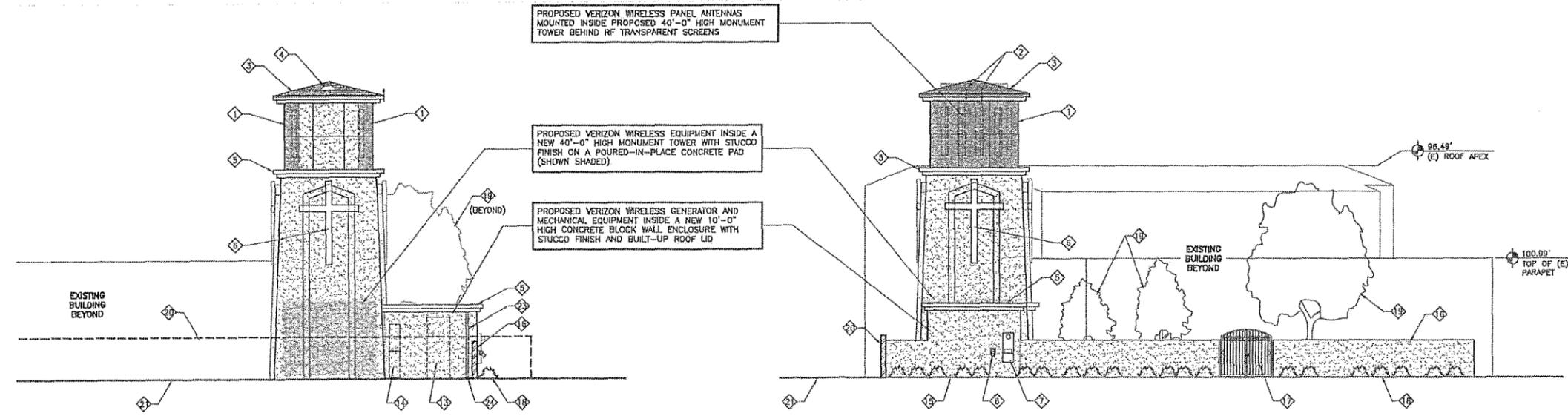
ELEVATION NOTES:

- 1. PROPOSED RF TRANSPARENT SCREENS. RF TRANSPARENT SCREENS SHALL BE DETAILED TO MATCH PROPOSED STUCCO FINISH. (SHOWN SHADED)
- 2. PROPOSED E911/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- 3. PROPOSED COMP. SHINGLE ROOF
- 4. PROPOSED ROOF VENT
- 5. PROPOSED ARCHITECTURAL TRIM (TYPICAL)
- 6. PROPOSED CROSS (TYPICAL)
- 7. PROPOSED VERIZON WIRELESS 200A ELECTRICAL METER MOUNTED TO WALL
- 8. PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 9. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 10. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 11. PROPOSED CONCRETE LANDING
- 12. PROPOSED PAIR 4'-0" WIDE WROUGHT IRON GATES W/ SIGNAGE
- 13. PROPOSED VERIZON WIRELESS ENCLOSED STANDBY GENERATOR WITH A DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD (SHOWN DASHED)
- 14. PROPOSED STACKED PAIR OUTDOOR CONDENSER UNITS (SHOWN DASHED)
- 15. PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAIN (TYPICAL OF 2)
- 16. PROPOSED 5'-0" HIGH CONCRETE BLOCK WALL
- 17. PROPOSED PAIR 3'-6" WROUGHT IRON GATES
- 18. PROPOSED SHRUBS (TYPICAL)
- 19. EXISTING TREE (TYPICAL)
- 20. EXISTING CONCRETE BLOCK WALL (IN FOREGROUND SHOWN DASHED)
- 21. EXISTING FINISH GRADE
- 22. PROPOSED WROUGHT IRON FENCE
- 23. PROPOSED DOWNSPOUT FOR ROOF DRAIN
- 24. PROPOSED SPLASH BLOCK



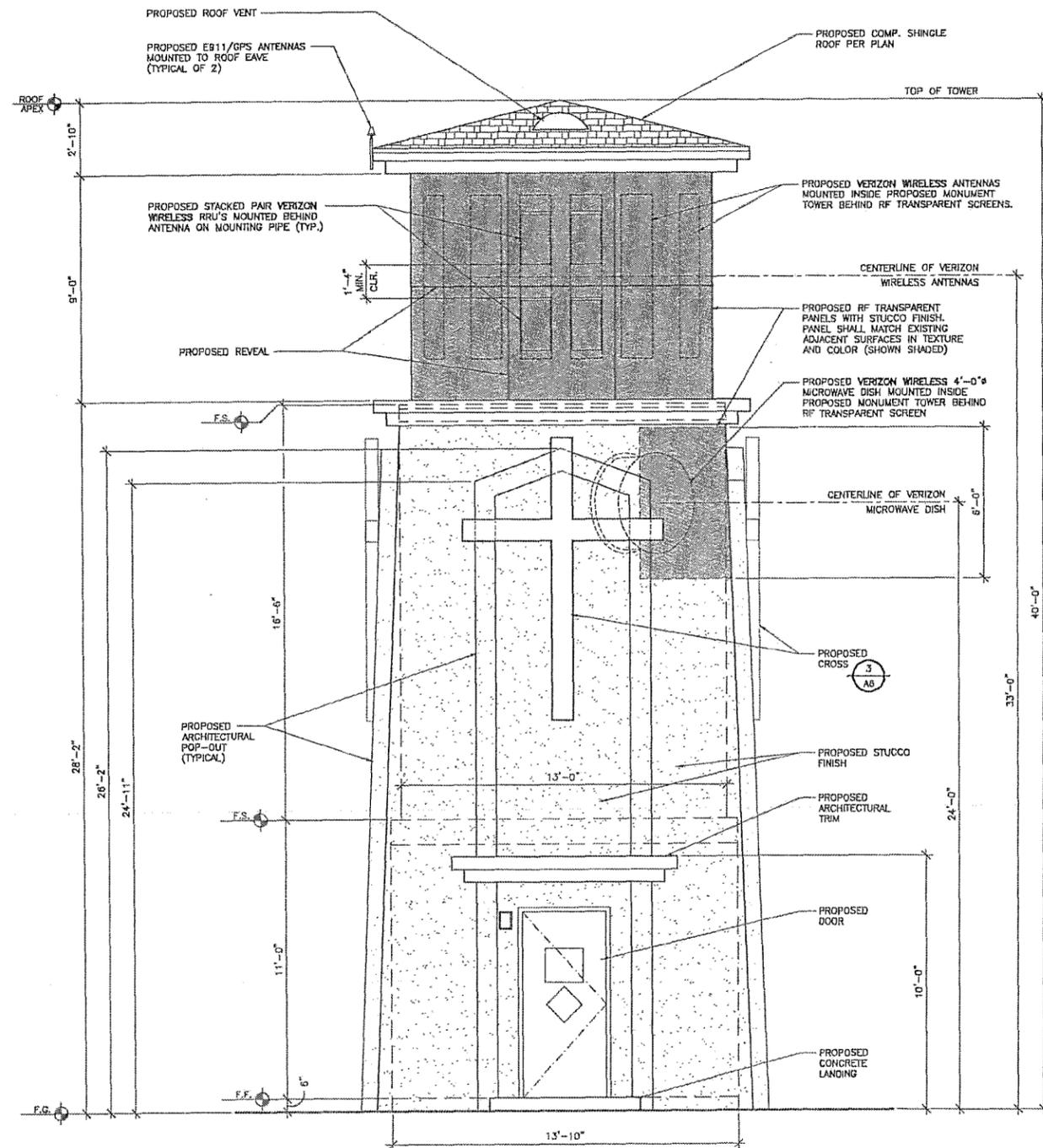
NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

EAST ELEVATION
 SCALE: 1/8" = 1'-0"

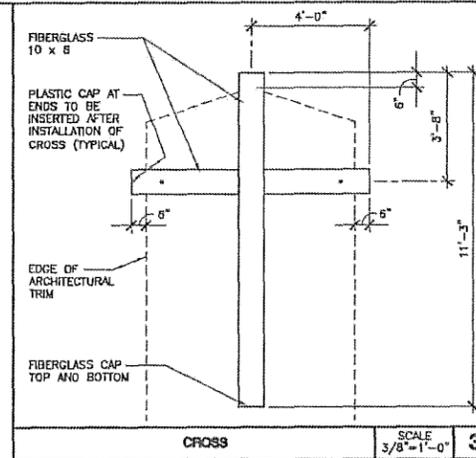


WEST ELEVATION
 SCALE: 1/8" = 1'-0"

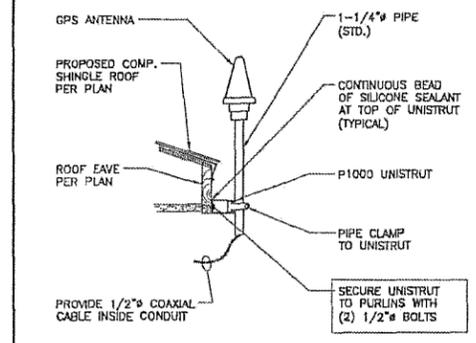
SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



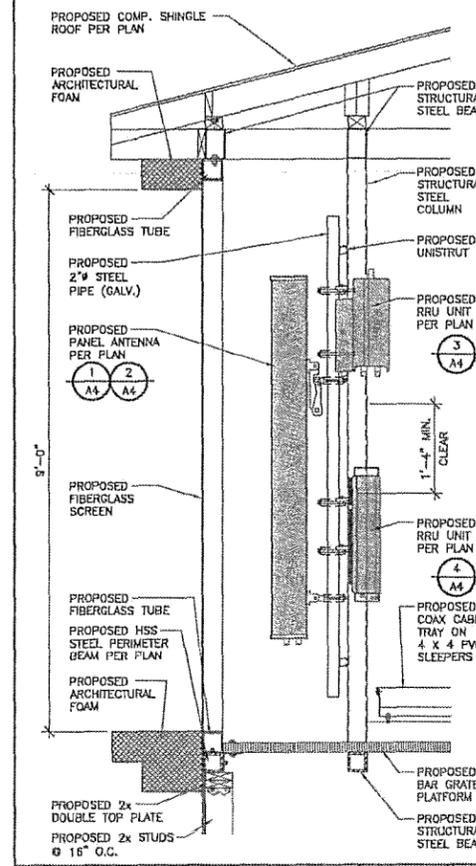
TOWER ELEVATION
SCALE: 3/4" = 1'-0"



CROSS SCALE: 3/8" = 1'-0" 3



GPS ANTENNA SCALE: 1" = 1'-0" 2



TYPICAL ANTENNA MOUNT SCALE: 3/4" = 1'-0" 1

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SHEET TITLE
TOWER ELEVATION & DETAILS

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A-6

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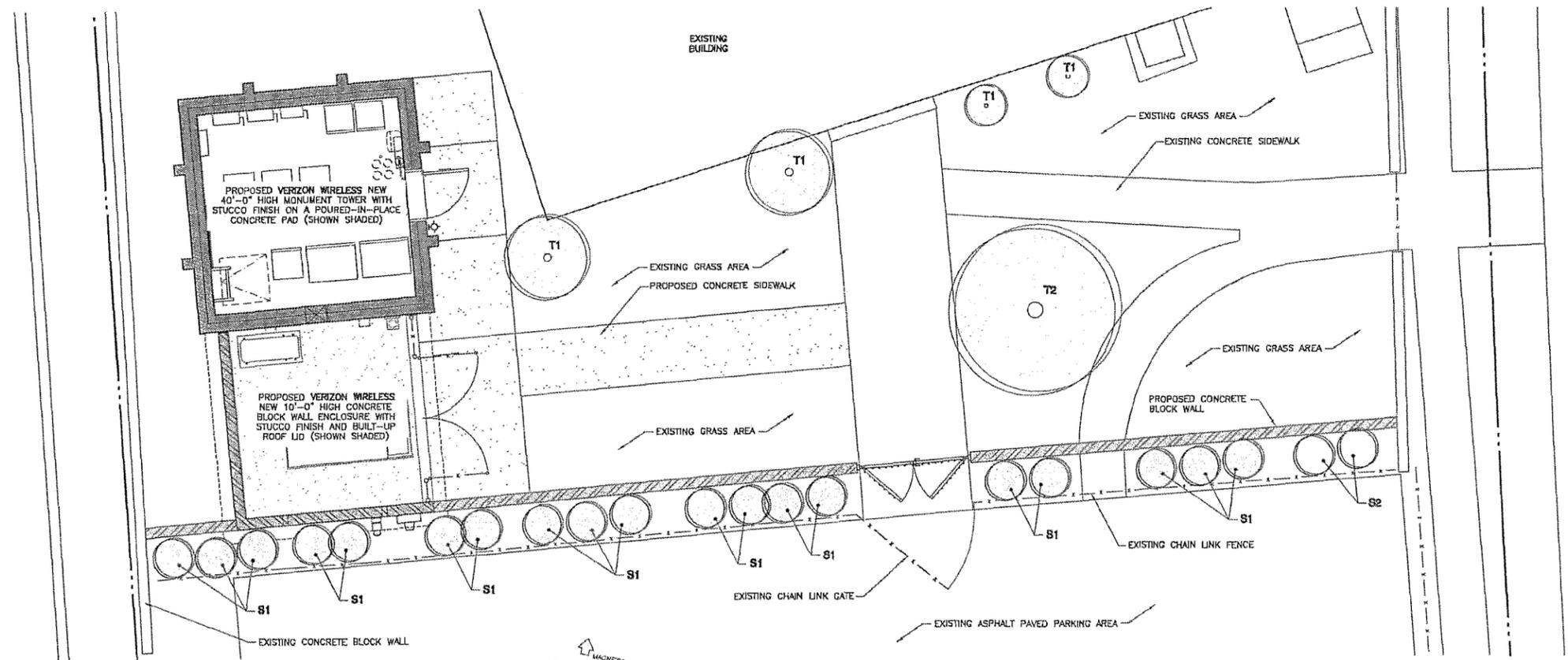
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04/13/15	100% ZD REVISION 4 (ic)

SHEET TITLE
EQUIPMENT FLOOR PLAN

PROJECTS\VERIZON\14146

L-1



LANDSCAPE DEVELOPMENT PLAN
 SCALE: 1/4" = 1'-0"

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MDW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWERS)
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
12. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
13. REMOVE WEEDS AND PROVIDE A WEED BARRIER. PROVIDE A MINIMUM 2-INCH THICK BARK MULCH ABOVE THE WEED BARRIER.

WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR
13. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.0411(c)].
14. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. LANDSCAPE AREAS ARE TO BE IRRIGATED BY OWNER.

IRRIGATION NOTE:
 CONTRACTOR IS TO COORDINATE MODIFICATIONS TO EXISTING ON SITE IRRIGATION SYSTEM TO PROVIDE PROPER PROPOSED LANDSCAPE COVERAGE. PROVIDE MATCHING IRRIGATION SPRINKLERS. COORDINATE ALL WORK WITH OWNER.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	FORM / FUNCTION	MATURE HEIGHT & SPREAD
T1	JUNIPERUS CHINENSIS	HOLLYWOOD JUNIPER	EXISTING	4	TREE	45' HEIGHT 25' SPREAD
T2	CHINESE ELM	ULMUS PARVIFOLIA	EXISTING	1	TREE	60' HEIGHT 50' SPREAD
S1	CEANOTHUS ARBOREUS	CALIFORNIA ULAC 'TREWITHEEN BLUE'	5 GALLON	19	SHRUB	10' HEIGHT 10' SPREAD
S2	CRASSULA ARGENTEA	JADE PLANT	EXISTING	2	SHRUB	6' HEIGHT 3' SPREAD

LANDSCAPE NOTES:

1. NO EXISTING TREES OR SHRUBS WILL BE REMOVED AS A PART OF THIS PROJECT.
2. AREAS DISTURBED DURING CONSTRUCTION FROM EQUIPMENT, TRENCHING WILL BE REVEGETATED TO EXISTING CONDITION
3. FOR AREAS OF BARE SOIL, NOT REVEGETATED WITH GROUND COVER, PROVIDE A 3 INCH LAYER OF BARK MULCH

Booth & Suarez
 ARCHITECTURE & PLANNING
 WILLIAM H. BOOTH, ARCHITECT ROBERT J. SUAREZ, ARCHITECT
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 SUITE 107
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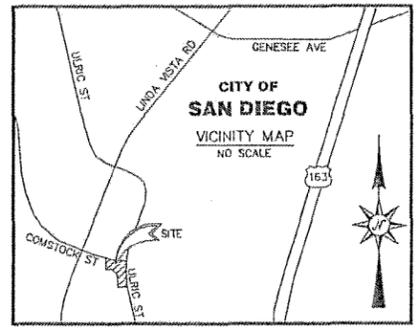
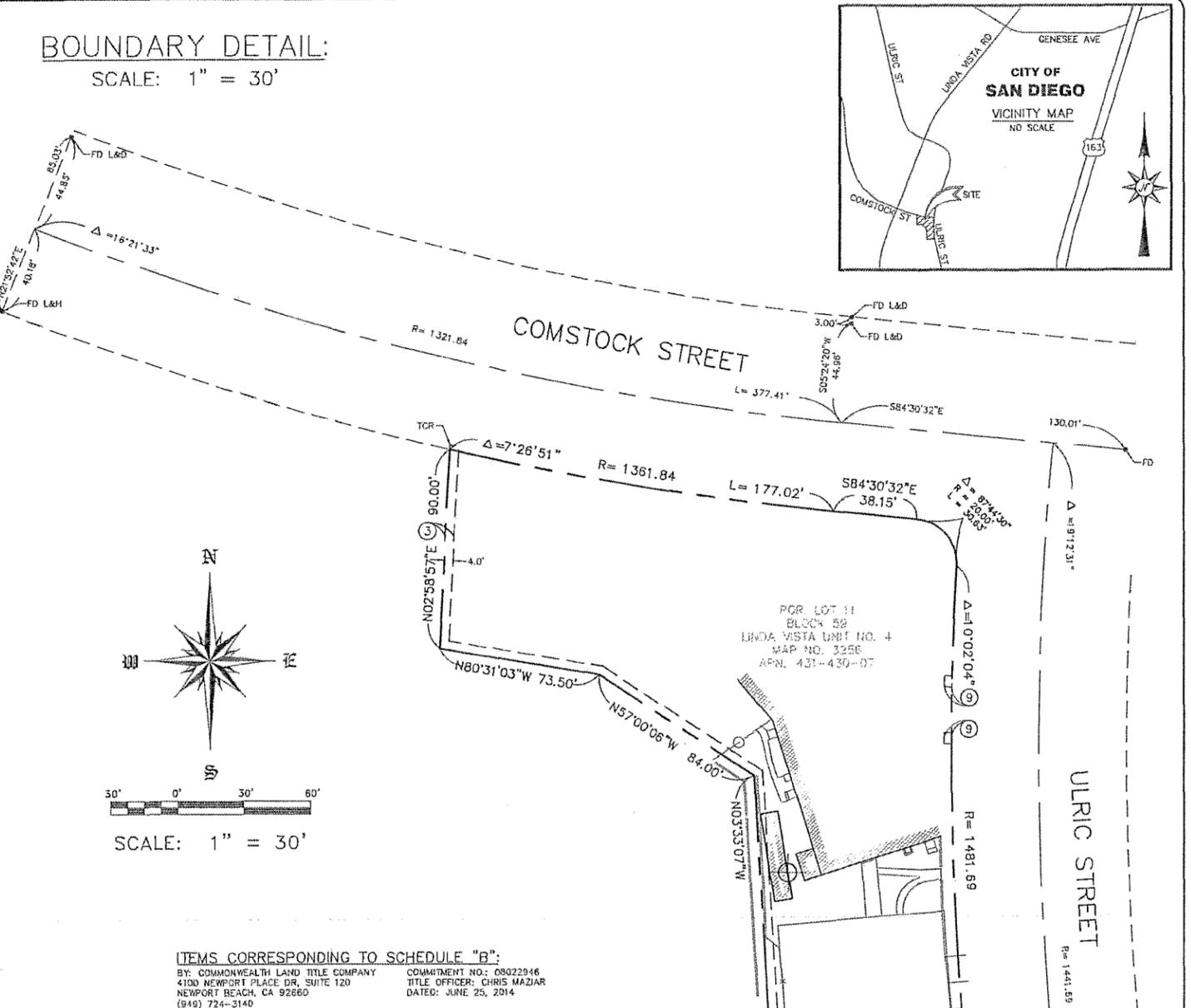
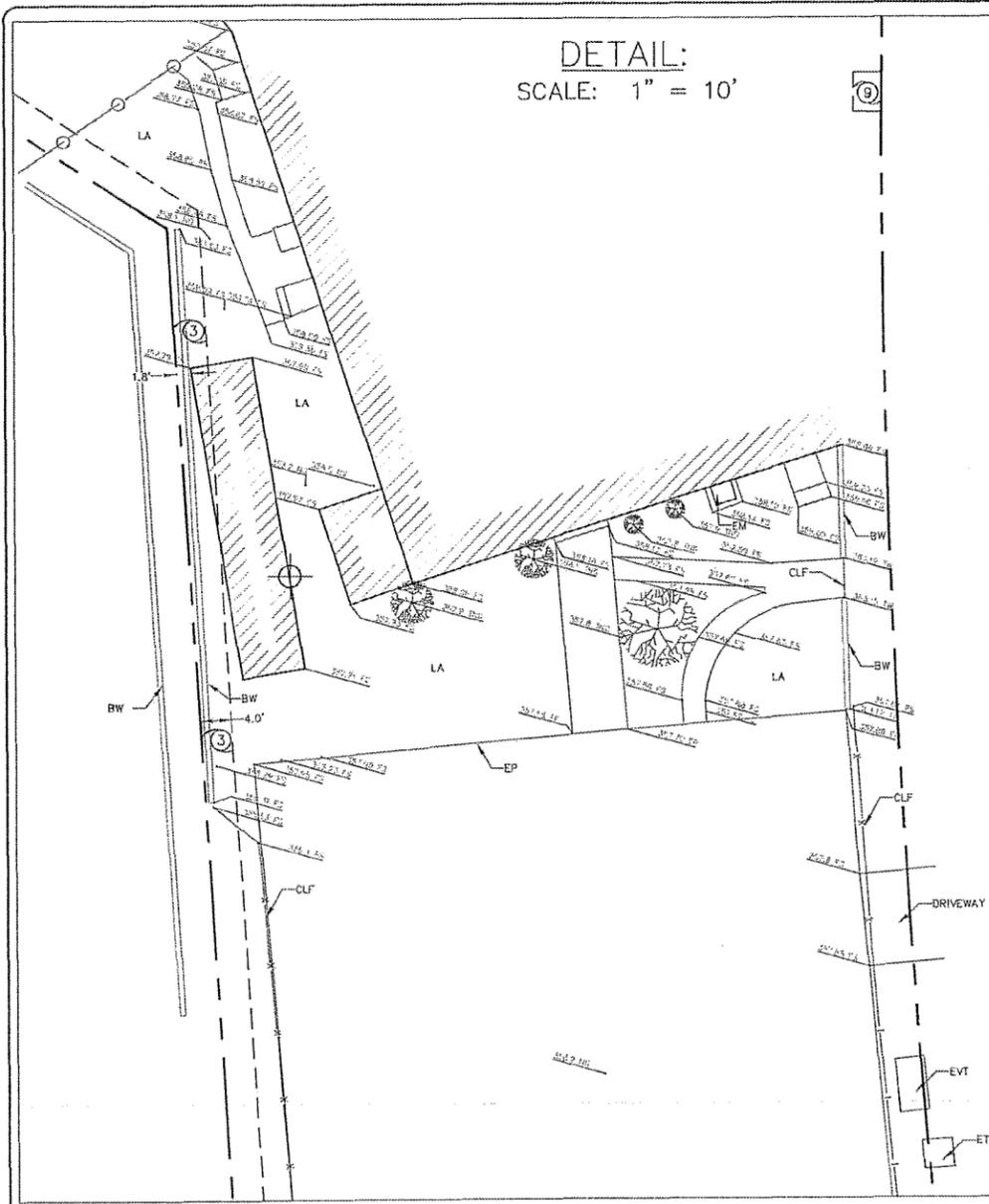
PROJECT NAME
VERIZON COMSTOCK
 2130 ULRIC STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES
 7/22/2014

SHEET TITLE
 TOPOGRAPHIC SURVEY

PROJECTS \ VERIZON \ 13970

C1



LEGAL DESCRIPTION:
 ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 LOT 11, BLOCK 59 OF LINDA VISTA UNIT NO. 4, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3256, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 24, 1955.
 EXCEPTING THAT PORTION DESCRIBED AS FOLLOWS:
 BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 11, BEING A POINT ON A 1491.59 FOOT RADIUS CURVE, CONCAVE EASTERLY THE RADIAL LINE OF SAID CURVE BEARING SOUTH 81° 01' 05" WEST TO SAID CORNER;
 THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT AND ALONG SAID CURVE A DISTANCE OF 43.41 FEET THROUGH AN ANGLE OF 1° 41' 52";
 THENCE SOUTH 84° 31' 01" WEST 90.10 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 11;
 THENCE ALONG THE SOUTHERLY LINE OF SAID LOT SOUTH 70° 01' 14" EAST 102.03 FEET TO THE POINT OF BEGINNING.
 ASSESSOR'S PARCEL NUMBER: 431-430-07

DATE OF SURVEY:
 JULY 23, 2014

ASSESSOR'S PARCEL NUMBER:
 APN: 431-430-07

COORDINATES:
 LATITUDE: 32°46'56.548" N
 LONGITUDE: 117°10'12.456" W
 DATUM: NAD83

DATUM STATEMENT:
 BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1991.35 ADJUSTED, GRID BEARING BETWEEN SECOND ORDER STATIONS '943' AND '949' AS SHOWN ON RECORD OF SURVEY NO. 14492.
 BENCHMARK:
 THE BENCHMARK USED FOR THIS SURVEY BM #19185, BEING A BRASS PLUG ON THE CURB RETURN OF THE INTERSECTION OF ULRIC STREET AND TAIT STREET AS PUBLISHED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK, OCTOBER 2011.
 ELEVATION: 339.843
 DATUM: MEAN SEA LEVEL

LEGEND:
 BW - BLOCK WALL
 CLF - CHAIN LINK FENCE
 EM - ELECTRIC METER
 EP - EDGE OF PAVEMENT
 ET - ELECTRIC TRANSFORMER
 EVT - ELECTRIC VAULT
 FS - FINISH SURFACE
 LA - LANDSCAPE AREA
 N - NORTH
 NG - NATURAL GROUND
 S - SOUTH
 TNG - TREE NATURAL GROUND
 TW - TOP OF WALL

ITEMS CORRESPONDING TO SCHEDULE "B":
 BY: COMMONWEALTH LAND TITLE COMPANY COMMITMENT NO.: 08022946
 4100 NEWPORT PLACE DR, SUITE 120 TITLE OFFICER: CHRIS MAZIAR
 NEWPORT BEACH, CA 92660 DATED: JUNE 25, 2014
 (949) 724-3140

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS, THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
- 2 EASEMENTS AND RIGHTS OF WAY FOR SEWER PIPE, PIPE LINES AND INCIDENTAL PURPOSES EXISTING OVER SAID LAND AS DISCLOSED BY RECORD OF SURVEY MAP NO. 3430, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, AUGUST 25, 1954. THIS ITEM MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY BUT THE EXACT LOCATION CANNOT BE DETERMINED AND IS NOT PLOTTED HEREON.
- 3 EASEMENTS FOR UNNAMED EASEMENT AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT MAP NO. 3256 RECORDED JUNE 24, 1955 AS INSTRUMENT NO. 82248 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 4 EASEMENTS FOR AERIAL AND UNDERGROUND COMMUNICATION STRUCTURES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED AUGUST 5, 1955 AS INSTRUMENT NO. 101566, IN BOOK 5744, PAGE 345 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY, IT AFFECTS NEIGHBORING PARCELS AND IS NOT PLOTTED HEREON.
- 5 EASEMENTS FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF A PUBLIC SEWER, WATER PIPE LINE, STORM DRAIN AND PUBLIC UTILITIES RECORDED JANUARY 30, 1957 IN BOOK 6437, PAGE 256 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 6 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS SHOWN ON RECORD OF SURVEY MAP NO. 4172 RECORDED FEBRUARY 5, 1957 AS INSTRUMENT NO. 18731 RECORD OF SURVEY. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE, AND IS NOT PLOTTED HEREON.
- 7 EASEMENTS FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED JUNE 6, 1972 AS INSTRUMENT NO. 3569 OF OFFICIAL RECORDS. THIS ITEM MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CANNOT BE DETERMINED AND IS NOT PLOTTED HEREON.
- 8 EASEMENTS FOR INSTALL AND MAINTAIN TREES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED APRIL 21, 1959 AS INSTRUMENT NO. 88-185041 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 9 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT RECORDED MAY 28, 2014 AS INSTRUMENT NO. 2014-021767 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

ITEMS #S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.


 MIGUEL A. MARIN
 I. C. 7443
