

BACKGROUND

The project proposes to remodel an existing single family home by expanding the basement and first floor and adding a second story. The site is located at 1890 Viking Way, within the SF zone of the La Jolla Planned District within the Coastal Overlay Zone (non-appealable), Coastal Height Overlay Zone, within La Jolla Community Plan area. The site is developed with an existing single family home built in 1951. The site is designated as a historical resource in accordance with Report No. HRB-15-020 (attachment 11) as the property is a special element of the City's archaeological and cultural development associated with the Mut kula xuy/Mut lah hoy ya site known to be of cultural significance to the Kumeyaay tribes of San Diego. The existing home is not an historic structure.

The project requires a La Jolla Shores Development Permit (Process 3) for development pursuant to San Diego Municipal Code (SDMC) section 1510.0201 for remodeling and alteration to an existing single family home within the La Jolla Shores Planned District, which is processed as a Site Development Permit pursuant to SDMC section 151.0201(c).

DISCUSSION

Project Description:

The project proposes a Site Development Permit to remodel an existing 3,426 square-foot single family home by modifying the basement and first floor and adding a 1,957 square-foot second story. The project includes a 148 square-foot basement expansion, a 556 square-foot first floor expansion to a bedroom and proposed new laundry room, and a 1,957 square-foot second story addition to include new bedrooms, bathrooms, and 496 square-foot deck. Additionally the project includes the removal of existing landscape to be replaced with new landscape and hardscape. The new landscaping includes new succulents, shrubs, specimen trees, stone paths, retaining walls, and raised planter beds.

Community Plan Analysis:

The site is designated Single Family residential with a density range of 5-9 dwelling units per acre. The proposed new residence is consistent with this land use designation as the project retains an existing single family home with modifications to the basement, first floor, and the addition of a second story. The project site is not designated as a view corridor within the La Jolla Community Plan (LJCP) and does not contain intermittent or partial vistas nor does the property contain a view shed or scenic overlook.

The La Jolla Community Plan recommends that community character be maintained through several measures reducing bulk and scale. The plan also recommends that single family neighborhoods be preserved and coastal resources protected. The proposed home incorporates these recommendations as the home is articulated by stepping back walls at various levels to soften the bulk and scale. Building materials are consistent with existing homes in the area which include stucco finish with earthtone colors and the proposed landscape is consistent with the surrounding neighbors. The project proposes no deviations or variances from the applicable regulations and is consistent with the goals and recommendations within the applicable policy documents.

Environmental Analysis:

An archaeology resources survey report was prepared for the project dated February 19, 2015 which concluded that the site is within proximity to numerous buried historical resources. As such, the report recommended that ground disturbing activities be monitored. The project required the preparation of Mitigated Negative Declaration (MND) for potential impacts to Historical Resources (Archaeology) necessitating mitigation measures for a qualified archaeologist monitor and Native American monitor to be on site during grading activities. Because mitigation measures are required to be applied to the project in accordance with Section V of the MND, the project now avoids or mitigates any potentially significant environmental impacts to historical resources in accordance with the California Environmental Quality Act.

Historical Resource:

The site is located in an area with known archaeological and cultural significance, within an urbanized community. The site was reviewed by City Historic Staff and it was determined that the above-ground structure was not eligible for historic designation under any adopted Historic Resource Board (HRB) criteria. However, the project site in general is an Important Archeological Site, designated as HRB Mut kula xuy/Mut lah hoy ya Site No. 8, is significant under HRB Criterion A and is within the significant archaeological site know as the Spindrift Site, (CA-SD-39/17,372, SDMM-W-1). Although the project proposes minimal excavation for new hardscape and two retaining walls, field investigation shovel test resulted in a collection of 11 prehistoric artifacts. The cultural material found indicates the presence of elements of a large prehistoric village complex. Because of the positive yield of prehistoric artifacts, the project will require mitigation monitoring during construction.

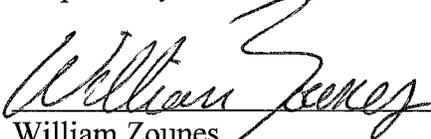
Conclusion:

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. City staff is recommending approval of the project.

ALTERNATIVES:

1. **Approve Site Development Permit No. 1223966 with modifications.**
2. **Deny Site Development Permit No. 1223966 if the finding required to approve the project cannot be affirmed.**

Respectfully submitted,



William Zounes,
Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Draft Environmental Resolution with MMRP
8. Ownership Disclosure Statement
9. Community Planning Group Recommendation
10. La Jolla Shores Planned District Advisory Board Recommendation
11. Report No. HRB-15-020
12. Project Plans

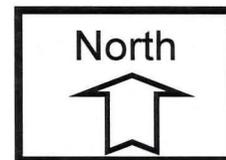


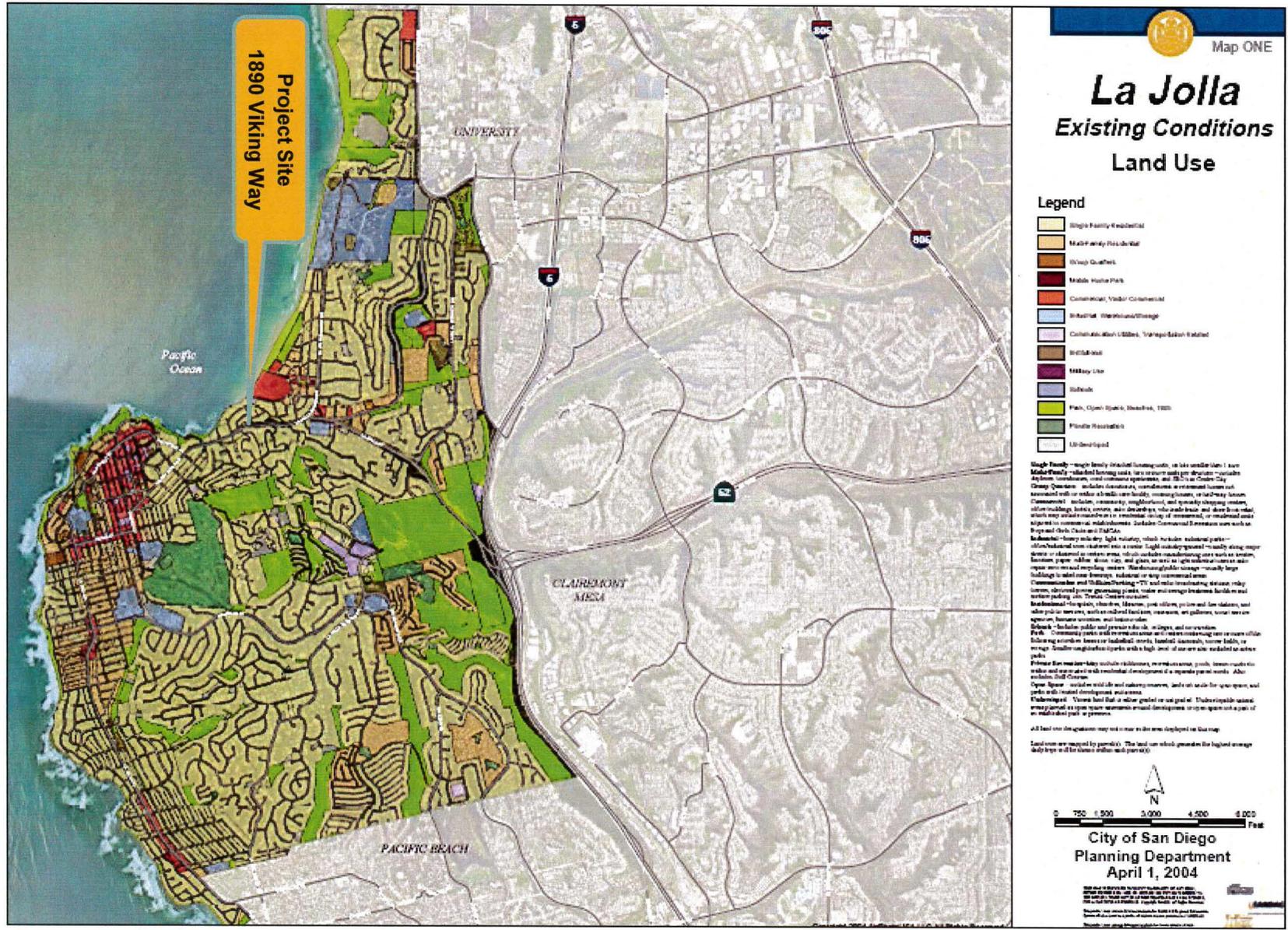
Attachment 1
Aerial Photograph of Site



Aerial Photograph (Birds Eye)

Arthofer Residence CDP Project No. 349880
1890 Viking Way



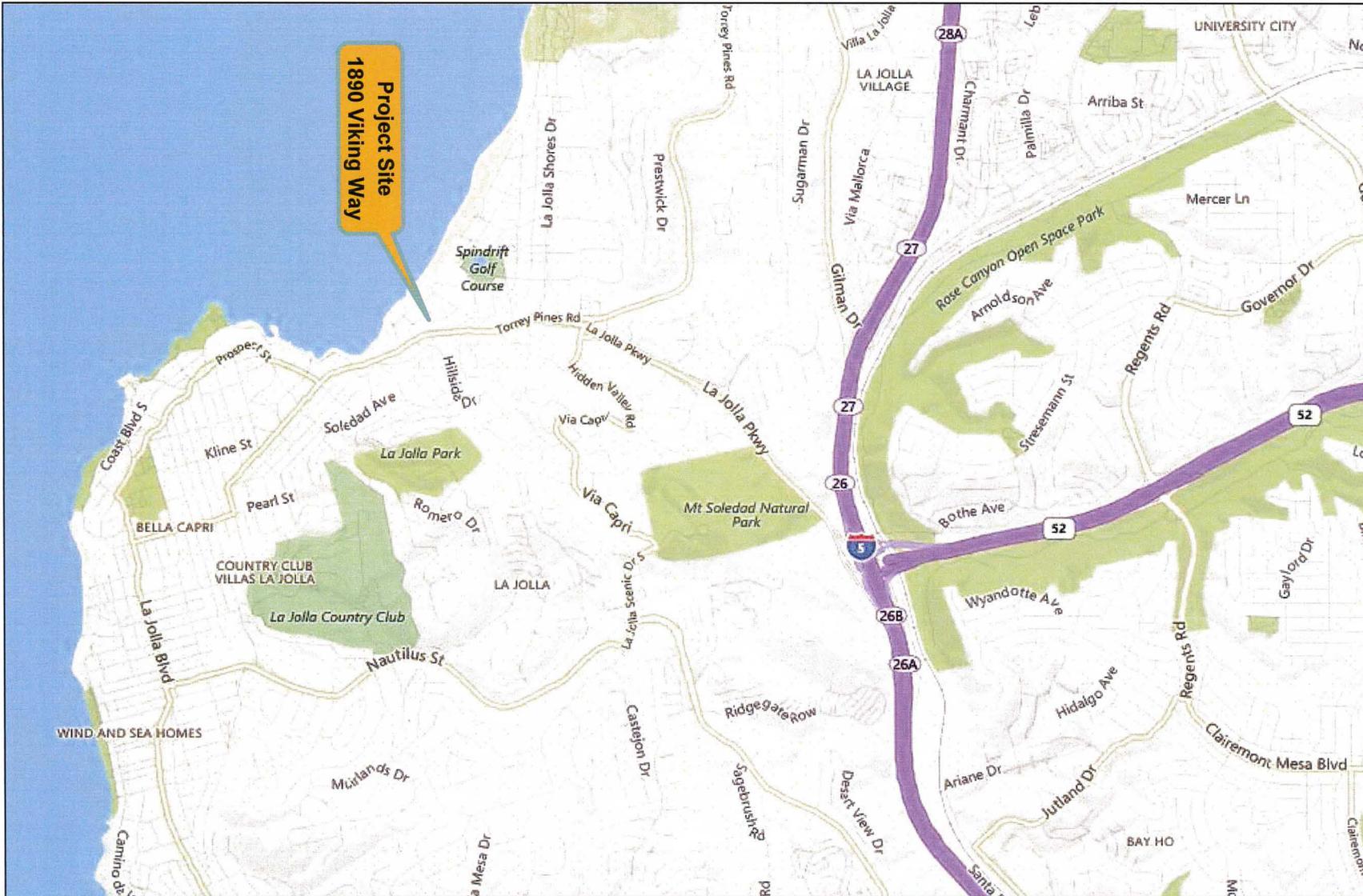


Attachment 2
Community Plan Land Use Map



La Jolla Community Planning Area

Arthofer Residence CDP Project No. 349880
 1890 Viking Way

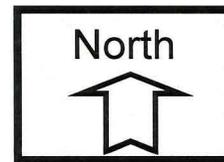


Attachment 3
Project Location Map



La Jolla Community Planning Area

Arthofer Residence CDP Project No. 349880
1890 Viking Way



PROJECT DATA SHEET																
PROJECT NAME:	Arthofer Residence SDP															
PROJECT DESCRIPTION:	Site Development Permit to remodel an existing single family home by expanding the basement and first floor and adding a second story															
COMMUNITY PLAN AREA:	La Jolla															
DISCRETIONARY ACTIONS:	Site Development Permit															
COMMUNITY PLAN LAND USE DESIGNATION:	Low Density Residential (5-9 du/ac)															
ZONING INFORMATION: ZONE: Single Family (SF) HEIGHT LIMIT: 30 feet LOT SIZE: 12,426 square feet FLOOR AREA RATIO: N/A (lot coverage = 60-percent) FRONT SETBACK: General Conformity with those in the Vicinity SIDE SETBACK: General Conformity with those in the Vicinity STREETSIDE SETBACK: General Conformity with those in the Vicinity REAR SETBACK: General Conformity with those in the Vicinity PARKING: 2 spaces required																
ADJACENT PROPERTIES:	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;"></th> <th style="width: 35%; text-align: center;">LAND USE DESIGNATION & ZONE</th> <th style="width: 35%; text-align: center;">EXISTING LAND USE</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">NORTH:</td> <td style="text-align: center;">Single Family/SF</td> <td style="text-align: center;">Single Family Homes</td> </tr> <tr> <td style="text-align: center;">SOUTH:</td> <td style="text-align: center;">Single Family/SF</td> <td style="text-align: center;">Single Family Homes</td> </tr> <tr> <td style="text-align: center;">EAST:</td> <td style="text-align: center;">Single Family/SF</td> <td style="text-align: center;">Single Family Homes</td> </tr> <tr> <td style="text-align: center;">WEST:</td> <td style="text-align: center;">Single Family/SF</td> <td style="text-align: center;">Single Family Homes</td> </tr> </tbody> </table>		LAND USE DESIGNATION & ZONE	EXISTING LAND USE	NORTH:	Single Family/SF	Single Family Homes	SOUTH:	Single Family/SF	Single Family Homes	EAST:	Single Family/SF	Single Family Homes	WEST:	Single Family/SF	Single Family Homes
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EAST:	Single Family/SF	Single Family Homes														
WEST:	Single Family/SF	Single Family Homes														
DEVIATIONS OR VARIANCES REQUESTED:	None															
COMMUNITY PLANNING GROUP RECOMMENDATION:	On May 1, 2014, the La Jolla Community Planning Association voted 7-0-3 to recommend approval of the project . On September 21, 2010 the La Jolla Shores Planned District Ordinance Advisory Board voted 4-1 to approve the project.															

HEARING OFFICER
RESOLUTION NO.
SITE DEVELOPMENT PERMIT NO. 1223966
ARTHOFFER RESIDENCE SDP
PROJECT NO. 348880 [MMRP]

WHEREAS, FRANK ARTHOFFER and SHARON ARTHOFFER, Owner/Permittee, filed an application with the City of San Diego for a permit to remodel an existing 3,426 square-foot single family home by modifying the basement and first floor and adding a 1,957 square-foot second story on a site designated as a historic resource. (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval) for the associated Permit No. 1223966, on portions of a 0.29-acre site;

WHEREAS, the project site is located at 1890 Viking Way in the SF Zone of the La Jolla Shore Planned District of the La Jolla Community Plan, Coastal Overlay Zone (non-appealable), Coastal Height Limit Overlay Zone, Coastal Beach Parking Overlay Zone, Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and designated as Historical Resource Board (HRB) Site No. 1175;

WHEREAS, the project site is legally described as Lots 48-50 excluding the westerly 40 feet of Lot 50 of La Jolla Vista, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 1762 filed in the office of the county recorder of San Diego County August 1, 1923;

WHEREAS, on July 22, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1223966 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated July 22, 2015.

FINDINGS:

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The site is designated Single Family Residential in the La Jolla Community Plan area with a density range of 5-9 dwelling units per acre. The proposed new residence is consistent with this land use designation as the project replaces an existing single family home with another. The project site is not designated as a view corridor within the La Jolla Community Plan (LJCP) and does not contain intermittent or partial vistas nor does the property contain a view shed or scenic overlook.

The La Jolla Community Plan recommends that community character be maintained through several measures reducing bulk and scale. The plan also recommends that single family neighborhoods be preserved and coastal resources protected. The proposed home incorporates these recommendations as the home is articulated by stepping back walls at various levels to soften the bulk and scale. Building materials are consistent with existing homes in the area which include stucco finish with earthtone colors and the proposed landscape is maintaining consistency with the surrounding neighbors. The project proposes no deviations or variances from the applicable regulations and is consistent with the goals and

recommendations within the applicable policy documents. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The City of San Diego conducted a California Environmental Quality Act (CEAQ) Initial Study, which determined that the proposed project could have a significant environmental effect on Historical Resources (Archeology). Impacts to this issue area was identified however implementation of the proposed Mitigation, Monitoring and Reporting Program (MMRP) would reduce the environmental effects of the project in these issue areas to below a level of significance.

The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, public improvement repairs, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project proposes catch basins and Best Management Practice (BMP) filters to collect all run-off and avoid any potential drainage on to public areas from private improvements. Therefore, the proposed project conforms to the development regulations and will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project is consistent with the development regulations of the SF zone and all other pertinent regulations of the Land Development Code (LDC) which includes setbacks, height, grading, landscaping and architectural design. Therefore, the proposed use will comply with the relevant regulations of the San Diego Municipal Code in effect for this site.

Supplemental Findings-Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project site contains Environmentally Sensitive Lands in the form of historic resources. The existing site was previously graded in 1951 and is currently developed with a single family home and landscaping. The site is located in an area with known archaeological and cultural significance. The project required the preparation of Mitigated Negative Declaration (MND) for potential impacts to Historical Resources (Archaeology) necessitating mitigation measures for a qualified archaeologist monitor and Native American monitor to be on site during grading activities. The project site is identified as an Important Archeological Site, designated as Historical Resource Board Mut kula xuy/Mut lah hoy ya Site No. 8 and is significant under Historic Resource Board (HRB) Criterion A and is within the significant archaeological site know as the Spindrift Site, (CA-SD-39/17,372, SDMM-W-1). Although the project proposes minimal excavation (inches) to account for new hardscape and two retaining walls, field investigation shovel tests resulted in a collection of 11 prehistoric artifacts. The cultural material found indicates the presence of elements of a large prehistoric village complex.

Attachment 5
Draft permit Resolution with Findings

Because of the positive yield of prehistoric artifacts, the project will require mitigation monitoring during construction. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The project site is located within geologic hazards zones 11 and 27 as shown on the City's Seismic Safety Study Geologic Hazards Maps. Zone 11 is characterized by Active, Alquist-Priolo Earthquake Fault Zone. Zone 27 is characterized by slide prone formations and is generally considered to be stable and there is no undue risk. The project is not within a flood overlay zone or a potentially sensitive area for fire hazards. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project site contains Environmentally Sensitive Lands in the form of a historical resource. The project required the preparation of Mitigated Negative Declaration (MND) for potential impacts to Historical Resources (Archaeology) necessitating mitigation measures for a qualified archaeologist monitor and Native American monitor to be on site during grading activities. No work will be conducted off site. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project is adding BMP filters to collect all run off and avoid any potential drainage from spilling on to the public areas from private improvements. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). Therefore the project is not inconsistent with the City's MSCP.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The proposed development takes place entirely within private property. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project is adding catch basins and BMP filters to collect all runoff and avoid any potential drainage from happening on to the public areas from private

improvements. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

An archaeology resources survey report was prepared for the project dated February 19, 2015 which concluded that the site is within proximity to numerous buried historical resources. As such, the report recommended that ground disturbing activities be monitored. The project required the preparation of a Mitigated Negative Declaration (MND) for potential impacts to Historical Resources (Archaeology) necessitating mitigation measures for a qualified archaeologist monitor and Native American monitor to be on site during grading activities. Because mitigation measures are required to be applied to the project in accordance with Section V of the MND the project now avoids or mitigates any potentially significant environmental impacts to historical resources in accordance with the California Environmental Quality Act. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1223966 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1223966, a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: July 23, 2015

SAP Number: 24004251

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004251

SITE DEVELOPMENT PERMIT NO. 1223966
ARTHOFFER RESIDENCE SDP PROJECT NO. 349880 [MMRP]
HEARING OFFICER

This Site Development Permit No. 1223966 is granted by the Hearing Officer of the City of San Diego to FRANK ARTHOFFER and SHARON ARTHOFFER, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 143.0210 and 1510.0201. The 0.29 -acre site is designated Historical Resources Board Site No. 1175 and is located at 1890 Viking Way in the SF Zone of the La Jolla Shore Planned District of the La Jolla Community Plan. The project site is legally described as: Lots 48-50, excluding the westerly 40 feet of Lot 50 of La Jolla Vista, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 1762 filed in the office of the county recorder of San Diego County August 1, 1923;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to remodel an existing single family home by modifying the basement, first floor, adding a second floor, and adding new landscape and hardscape as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 23, 2015, on file in the Development Services Department.

The project shall include:

- a. Remodel and expansion to an existing single family home by adding 148 square-feet to the basement, 556 square feet to the first floor, and adding a 1,957 square-foot second story and associated 496 square-foot deck;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Retaining walls; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 5, 2018.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

Attachment 6
Draft Permit with Conditions

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 349880 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 349880 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue area: **Historical Resources (Archeology)**

ENGINEERING REQUIREMENTS:

14. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

17. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit "A", satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

21. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

22. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

23. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

24. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

25. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

26. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

28. The Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

HISTORIC REQUIREMENTS:

30. As a designated historic resource, all work on the parcel requires a building permit and must be reviewed by Plan-Historic staff for conformance with the City's Historic Resources Regulations (SDMC Chapter 14, Article 3 Division 2) prior to issuance of the construction permit.

GEOLOGY REQUIREMENTS:

31. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 22, 2015.

Permit Type/PTS Approval No.: SDP No. 1223966

**Attachment 6
Draft Permit with Conditions**

Date of Approval: July 23, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____

Frank Arthofer

Owner/Permittee

By _____

Sharon Arthofer

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-
ADOPTED ON JULY 22, 2015

WHEREAS, on February 12, 2015 , Bill Hayer submitted an application to Development Services Department for a Site Development Permit for the Arthofer SDP Project; and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on July 23, 2015; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigated Negative Declaration No. 349880 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

Attachment 7
Draft Environmental Resolution

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED:

By: _____
William Zounes, Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Attachment 8
Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 ARTHOFER RESIDENCE 349880

Project Address:
 1890 VIKING WAY, LA JOLLA, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 MR. AND MRS. FRANK ARTHOFER
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 805 SAN MARINO
 City/State/Zip:
 SAN MARINO, CA. 91108
 Phone No: Fax No:
 626 568-0991
 Signature: Date:
 [Signature]

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

PO Box 889, La Jolla, CA 92038
http://www.LaJollaCPA.org
Voicemail: 858.456.7900
info@LaJollaCPA.org

Second Vice President: Patrick Ahern
Secretary: Helen Boyden
Treasurer: Nancy Manno

La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month
La Jolla Recreation Center, 615 Prospect Street

Thursday, 1 May 2014

FINAL MINUTES – REGULAR MEETING

Trustees Present: Patrick Ahern, Helen Boyden, Bob Collins, Janie Emerson, Gail Forbes, Joe LaCava, Nancy Manno, Robert Mapes, Jim Ragsdale, Bob Steck, Frances O'Neill Zimmerman
Absent: Cynthia Bond, Dan Courtney, Phil Merten, Alex Outwater, Ray Weiss, Rob Whittemore

1.0 Welcome and Call To Order: Joe LaCava, President, at 6:05 PM

President LaCava, having been absent from the April meeting, made opening remarks regarding the March election, the Election Challenge, the 2013-2014 Officers' Response, the finality of the LJCPA's actions in April regarding same, and his election.

2.0 Adopt the Agenda

Approved Motion: Motion to adopt the posted agenda (Emerson, Forbes: 9-0-1)

In favor: Ahern, Boyden, Collins, Emerson, Forbes, Manno, Mapes, Ragsdale, Steck
Abstain: LaCava (Chair)

3.0 Meeting Minutes Review and Approval – 3 April 2014

Approved Motion: To accept the minutes of April 3, 2014 as posted on the LJCPA website (i.e. including the Election Challenge and Officers' Response) with corrections as proposed by Trustee Zimmerman. (Emerson, Manno: 10-0-1)

In favor: Ahern, Boyden, Collins, Emerson, Forbes, Manno, Mapes, Ragsdale, Steck, Zimmerman
Abstain: LaCava (Chair)

Member Bob Whitney commented.

4.0 Elected Officials Report - Information Only

4.1 Council District 1 – City Council President Pro Tem Sherri Lightner Rep: Justin Garver, 619.236.7762, jgarver@sandiego.gov

CCPPT Lightner presented certificates of appreciation to retiring trustees Tom Brady and Tony Crisafi, newly reelected Trustees Joe LaCava and Bob Collins and thanked them for their service as did members present. She presented certificates for retiring trustees Jim Fitzgerald, David Little, and Myrna Naegle who were not present.

She introduced new CD1 Council rep for La Jolla, Justin Garver, a native San Diegan, who spent six years as a lifeguard in La Jolla and received a Master's degree from SIO.

Mayor Faulconer's proposed FY15 budget prioritizes street repair, public safety and increased funding for libraries and rec centers. CCPPT Lightner will be advocating for budget additions to support a La Jolla Shores Park Ranger, continuing odor reduction treatment at La Jolla Cove and creation of a Coastal Management Plan to help handle future issues that arise from the continued proliferation of marine mammal and bird species.

Budget hearings are open to the public to provide feedback; see the City's website <sandiego.gov> for the schedule.

City staff will be providing an update on the Torrey Pines Corridor project at the May 22nd 4PM meeting of the T & T board. Phase 1, including sidewalks, will be discussed as well as a separate project for a retaining wall on the south side of TPR near Little Street. Future phases will be discussed.

Approved Motion: To ratify President LaCava's appointees to the Joint Committees and Boards. (Emerson, Ragsdale: 10-0-1)

In favor: Ahern, Boyden, Collins, Emerson, Forbes, Manno, Mapes, Ragsdale, Steck, Zimmerman
Abstain: LaCava (Chair)

8.5 Proposal to move T&T meetings to 3rd Thursday of the month –

This was proposed so that there would be more time for the actions and minutes of the Board to be prepared and reported to the LJCPA. Other agencies with members on the board are being consulted and the Rec Center Room is available

Approved Motion: To approve the proposed change of the T&T meetings to the 3rd Thursday of the month. (Manno, Boyden: 9-1-1)

In favor: Ahern, Boyden, Collins, Emerson, X Manno, Mapes, Ragsdale, Steck, Zimmerman
Opposed: Forbes
Abstain: LaCava (Chair)

8.6 Member & Trustee Attendance posted on-line – Information Only

In addition to the March 2014-February 2015 and July 2013-June 2014 membership/attendance lists posted on the LJCPA website, a rolling list of trustee attendance for the last twelve months featuring the number of absences in the current period is posted on the trustee tab of the website.

8.7 Torrey Pines Road Sidewalks Update (Weiss) – Information Only

The TPR update will be heard by T& T at its May 22nd meeting.

8.8 Rock 'n Roll Marathon is seeking volunteers SanDiego@RNRRaceCrew.com

9.0 REPORTS FROM AD HOC and NON-LJCPA COMMITTEES - Information only

9.1 Ad Hoc Committee on Short-term Vacation Rentals

Chair, Trustee Boyden, reported that the committee had agreed on the list of problems caused by short-term vacation rentals and had prepared lists of proposed, but not debated, solutions to the CAPP problem and possible modifications to the San Diego Municipal Code. The details are in minutes posted online. The next meeting will be Wednesday, May 28 at 5 PM at the Rec Center. In the absence of **Trustee Boyden, Trustee and Committee Member Steck** will chair the meeting and **Trustee Manno** will prepare the minutes.

9.2 Community Planners Committee <http://www.sandiego.gov/planning/community/cpc/index.shtml> **President LaCava** reported that the CPC discussed alcohol licensing at its April meeting.

9.3 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html> See item 15.0 below.

10. Consent Agenda – Ratify or Reconsider Committee Action

Consent Agenda allows the Trustees to ratify actions of our joint committees and boards in a single vote with no presentation or debate. The public may comment on consent items. Anyone may request that a consent item be pulled for reconsideration and full discussion. Items pulled from this Consent Agenda are automatically trailed to the next CPA meeting.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4pm

PRC – LJ Shores Permit Review Committee, Chair Helen Boyden, 4th Tues, 4pm

T&T – Traffic & Transportation Board, Chair Todd Lesser, 4th Thurs, 4pm

No T & T meetings in April

President LaCava recused himself and left the room to return after the vote took place. **Vice President Steck** chaired the item.

10.1 HERSCHEL RESIDENCES, 7452 Herschel Avenue

DPR Motion: Findings **CAN** be made for a Coastal Development Permit to allow the proposed development to construct a two-unit, three-story condominium building on a 3,200 square foot property at 7452 Herschel Ave. **4-1-2.**

10.2 SCHULTZ RESIDENCE, 1650 La Jolla Rancho Road

DPR Motion: Findings **CAN** be made for a Coastal Development Permit to demolish an existing residence with garage, and construct a new [2-story 8,625 sf] residence with garages, pool, and site walls/fencing [on 1.2 acres]. The site is at 1650 La Jolla Rancho Road. **5-0-1.**



10.3 ARTHOFER RESIDENCE, 1890 Viking Way

PRC Motion: Findings **CAN** be made for a Site Development Permit (SDP) for Project No. 349880. **5-0-0**

Project Description: PROCESS 3 - Site Development Permit (SDP), to remodel and add a second story and additions totaling 2,661 sq. ft. to an existing 4,601 square foot (including basement) one-story over basement single family residence located at 1890 Viking Way. The 0.28 acre lot is in the SF Zone of the La Jolla Shores Planned District, Coastal (non-appealable), Coastal Height and Parking Impact Overlay Zones.

10.4 CABUCHON AWNING, 7646 Girard Avenue

PDO Motion: Proposed awning conforms to the PDO: 7-0-0

Approved Motion: To accept the recommendations of the DPR Committee for (10.1) Herschel Residences, 7452 Herschel Avenue that the findings CAN be made for a Coastal Development Permit to allow the proposed development to construct a two-unit, three-story condominium building on a 3,200 square foot property at 7452 Herschel Ave. 4-1-2; and (10.2) Schultz Residence, 1650 La Jolla Rancho Road that the findings CAN be made for a Coastal Development Permit to demolish an existing residence with garage, and construct a new [2-story 8,625 sf] residence with garages, pool, and site walls/fencing [on 1.2 acres]. The site is at 1650 La Jolla Rancho Road. 5-0-1; and to accept the recommendation of the PRC for (10.3) Arthofer Residence, 1890 Viking Way that the findings CAN be made for a Site Development Permit (SDP) for Project No. 349880. 5-0-1; and to accept the recommendation of the PDO Committee that (10.4) Cabuchon Awning, 7646 Girard Avenue that the Proposed awning conforms to the PDO: 7-0-0; and forward the recommendations to the City. (Zimmerman, Ahern: 7-0-3)

In favor: Ahern, Boyden, Collins, Manno, Mapes, Ragsdale, Zimmerman

Abstain: Emerson (did not remember item 10.3), Forbes (personal connection), Steck, (Chair)

Recused: LaCava

11.0 La Jolla Shores, Children's Pool, and Cove Lifeguard Stations Update – Information Only –heard at 6:30 PM

Jihad Sleiman, Public Works, provided a brief update on the construction status of these three projects. Work at the Children's Pool Lifeguard Station will restart on June 1st, having been stopped during the pupping season since December 15, 2013. They expect to receive the renewal of their permit, needed as of June 30. They are also awaiting judicial approval of their proposed mitigation measures. They hope to finish by December 15, 2014. Trustee Zimmerman requested better signage and access for pedestrians. Mr. Sleiman said that access to that beach will remain open. Trustee Collins inquired about lifeguard staffing. There is different staffing for peak and off-peak times of year.

At La Jolla Cove, demolition has been completed and work is underway on grading, utilities, ramp, and lower level. If summer moratorium is not waived, they do not expect completion until Memorial Day 2015.

The La Jolla Shores Lifeguard Station, completed in summer 2013 had problem with glare and distortion. They plan to replace the glazing and its supports with glazing angled outward at an angle ≥ 10 degrees. They are processing these plans with an accelerated job order contract and are requesting a waiver from the summer moratorium to finish the work early this summer.

12.0 La Jolla Shores & Cove Lifeguard Stations: Request to Waive Summer Moratorium – heard at 6:30 PM

The City is requesting a waiver of the Summer Moratorium for each lifeguard station project.

Approved Motion: To defer to the La Jolla Shores Association the consideration of the request for waiving the Summer Moratorium for the La Jolla Shores Lifeguard Tower (Emerson, Manno: 8-2-1)



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

February 17, 2015

615 Prospect Street, Room 1

La Jolla, California 92037

Trustee	Attendance	Trustee	Attendance
Dolores Donovan	No	Jane Potter	Yes
Nathaniel Fisher	Yes	Susan Starr	Yes
Dan Goese	Yes	Susanne Weissman	Yes

Project Review

- A. 403336 Paseo Del Ocaso, 7967 Paseo Del Ocaso APN 346-512-0900**

Motion: Fisher/Starr. Major Project-Process 3. Project conforms to the LJSPD as adopted by City Council. Conditioned that all structures be outside of the required setback (trellis). 4/0/0

- B. 403427 Gergurich Addition, 8850 La Jolla Scenic North APN 344-182-1500**

Motion: Fisher/Starr. Major Project-Process 3. Project conforms to the LJSPD as adopted by City Council. 4/0/0

- C. 349880 Arthofer Residence SDP, 1890 Viking Way APN 346-451-1600**

Motion: Potter/Starr. Major Project-Process 3. Project conforms to the LJSPD as adopted by City Council. 4/0/0



THE CITY OF SAN DIEGO
Historical Resources Board

DATE ISSUED: March 12, 2015 REPORT NO. HRB-15-020

ATTENTION: Historical Resources Board
Agenda of March 26, 2015

SUBJECT: **ITEM #7 – Mut kula xuy/Mut lah hoy ya Site #8**

APPLICANT: Frank and Sharon Arthofer represented by Brian F. Smith and Associates

LOCATION: Address Restricted, La Jolla Community, Council District 1

DESCRIPTION: Consider the designation of the property above as a historical resource.

STAFF RECOMMENDATION

Designate the Mut kula xuy/Mut lah hoy ya Site #8 as a historical resource under HRB Criterion A. The designation applies to the site only and excludes the 1951 one-story residence and all other above-ground structures currently located on the premises. This recommendation is based on the following finding:

The resource is a special element of the City's archaeological and cultural development associated with the Mut kula xuy/Mut lah hoy ya site known to be of cultural significance to the Kumeyaay tribes of San Diego.

BACKGROUND

This item is being brought before the Historical Resources Board in conjunction with a proposed building modification or demolition of a structure of 45 years or more, consistent with San Diego Municipal Code Section 143.0212. The site is located in an area with known archaeological and cultural significance, within the urbanized community of La Jolla. The existing on-site residence was constructed in 1951 in a style approximating the Colonial Revival style. The structure was previously reviewed on November 8, 2013 by Historical Resources staff through a Single Discipline Preliminary Review PTS #345874. During that review, it was determined that the above-ground structure was not eligible for historic designation under any adopted HRB Criteria and the applicant was advised of the archaeologically sensitive nature of the property.

The historic name of the resource, the Mut kula xuy/Mut lah hoy ya Site #8, has been identified consistent with the Board's adopted naming policy and reflects the Kumeyaay name for the area.

ANALYSIS

A cultural resources study was prepared by Brian F. Smith & Associates which concludes the property lies within an area of La Jolla with known significant cultural sensitivity associated with the Mut kula xuy/Mut lah hoy ya site and that the resource is significant under HRB Criterion A. Staff concurs that the property is a significant historical resource under HRB Criterion A. This determination is consistent with the *Guidelines for the Application of Historical Resources Board Designation Criteria*, as follows.

CRITERION A - Exemplifies or reflects special elements of the City's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

The subject property is located within the mapped boundaries of a regionally significant archaeological site known as the Spindrift Site, (CA-SDI-39/17,372, SDMM-W-1). This site encompasses a large habitation area known to its Kumeyaay inhabitants as *Mut kula xuy/Mut lah hoy ya* (place of many caves). The area is composed of several large midden areas, temporary camps, pottery and lithic scatters, various shell scatters, and burials found throughout multiple, consecutive layers representative of different cultural phases found in the San Diego region. The 20-acre knoll, historically known as the Richards Tract and the La Jolla Vista Tract, was originally investigated and recorded by Malcolm Rogers during the late 1920s, and by James Moriarty in the 1960s, and has been associated with occupations by groups from the La Jolla Complex and the Late Prehistoric Kumeyaay.

The HRB's first designation of a portion of the Mut kula xuy/Mut lah hoy ya site was in 1999 (HRB #390). Other portions of the site (HRB #638, #813, #818, 885, 891, and 976) were designated between 2003 and 2010. Previously, the HRB considered whether to develop a policy of pre-designating the entire Spindrift site so that property owners would be informed before they embark on projects with the potential to adversely impact the significant site. Administrative issues associated with this approach resulted in a continuation of parcels being considered on a case-by-case basis as projects are processed through the Development Services Department.

The archaeological assessment program for the project site included a field investigation and subsurface excavations to evaluate resource significance. The initial subsurface excavations included six shovel tests (STPs). The positive test results of three of the shovel tests triggered the need to add a single test unit (TU) to the sampling program. The investigations were conducted using standard archaeological protocol and were carried out between April 18 and May 30, 2014. Given the sensitive nature of the site, a Native American monitor from Red Tail Monitoring & Research, Inc. was present for all archaeological investigations.

The surface investigation in which areas of bare soil on less than five percent of the property were closely inspected for artifacts and ecofacts yielded a collection of 11 prehistoric artifacts to include manos, a metate fragment, pottery, flakes, and a flaked tool. These cultural materials indicated the presence of elements of the large prehistoric village complex referred to as the Spindrift Archaeological District.

The limited subsurface investigation consisted of six shovel tests and one test unit. Four shovel tests resulted in the recovery of cultural material, two of which produced a substantial quantity and variety of prehistoric materials. Investigation results demonstrated a pattern characteristic to areas previously disturbed by grading, whereby intact cultural deposits were present at lower levels, with disturbed or mixed midden soil in the upper levels. Recovered materials from the subsurface investigation included a range of habitation debris such as lithic artifacts, pottery, shell beads, ground stone, marine shell, faunal bone, fire-affected rock, and traces of charcoal. Lithic tools included a hammerstone, manos, metate fragments, a core, and flake tools. The identified taxa of recovered marine shell are normally from shallow to moderately shallow rocky shores, which are adjacent to the prehistoric site boundaries. The faunal bone was too small to identify as to species, and none of the bone appeared to be human. All the pottery recovered from the investigations appeared to be Tizon Brown Ware, commonly associated with the Late Prehistoric Kumeyaay occupation of SDI-39.

The surface survey and subsurface investigation identified elements of SDI-39 within the boundaries of the subject property. Both disturbed and intact cultural deposits were discovered, both of which are common patterns within the Spindrift neighborhood due to the grading of lots between 1930 and 1950.

Significance Statement: In summary, the project area overlies a portion of a regionally significant prehistoric archaeological site, SDI-39. This previously recorded site has documented research potential, human remains, and has been determined to be significant by the City. The recent archaeological program conducted at the project site, indicates the cultural deposit contains both disturbed levels associated with previous grading of the lot and intact deposits that have been capped by the disturbed levels and the existing residence. Due to the significant nature of Site SDI-39, cultural deposits throughout this La Jolla neighborhood, coupled with the discovery of a range of habitation debris within the property, the site has been determined to be eligible for designation as a Historical Resource under HRB Criterion A.

OTHER CONSIDERATIONS

Because the historical resource does not include any above-ground buildings or structures, this property, should it be designated, would not at this time qualify for the Mills Act Program.

CONCLUSION

Based on the information submitted and staff's field check, it is recommended that the Mut kula xuy/Mut lah hoy ya Site #8 be designated under HRB Criterion A. The designation applies to the

site only and excludes the 1951 one-story residence and all other above-ground structures currently located on the premises. Designation brings with it the responsibility of maintaining the site in accordance with the Secretary of the Interior's Standards.



Camille Pekarek
Associate Planner



Kelley Stanco
Senior Planner/HRB Liaison

CP/ks

Attachments:

1. Draft Resolution
2. Updated SDI-39 DPR Form Continuation Sheets
3. Confidential Appendix to Applicant's Cultural Resources Study (under separate cover and deleted from publically accessible report)
4. Applicant's Cultural Resources Study (under separate cover)

RESOLUTION NUMBER N/A
ADOPTED ON 3/26/2015

WHEREAS, the Historical Resources Board of the City of San Diego held a noticed public hearing on 3/26/2015, to consider the historical designation of the **Mut kula xuy/Mut lah hoy ya Site #8** (owned by Frank and Sharon Arthofer, *Not permitted to list*) located at *Not permitted to list*, APN: **000-000-00-00**, further described as in the City of San Diego, County of San Diego, State of California; and

WHEREAS, in arriving at their decision, the Historical Resources Board considered the historical resources report prepared by the applicant, the staff report and recommendation, all other materials submitted prior to and at the public hearing, inspected the subject property and heard public testimony presented at the hearing; and

WHEREAS, the property would be added to the Register of Designated Historical Resources as **Site No. 0**, and

WHEREAS, designated historical resources located within the City of San Diego are regulated by the Municipal Code (Chapter 14, Article 3, Division 2) as such any exterior modifications (or interior if any interior is designated) shall be approved by the City, this includes but is not limited to modifications to any windows or doors, removal or replacement of any exterior surfaces (i.e. paint, stucco, wood siding, brick), any alterations to the roof or roofing material, alterations to any exterior ornamentation and any additions or significant changes to the landscape/ site.

NOW, THEREFORE,

BE IT RESOLVED, the Historical Resources Board based its designation of the Mut kula xuy/Mut lah hoy ya Site #8 on the following finding:

(1) The property is historically significant under CRITERION A as a special element of the City's archaeological and cultural development associated with the Mut kula xuy/Mut lah hoy ya site known to be of cultural significance to the Kumeyaay tribes of San Diego. This finding is further supported by the staff report, the historical research report, and written and oral evidence presented at the designation hearing.

BE IT FURTHER RESOLVED, in light of the foregoing, the Historical Resources Board of the City of San Diego hereby approves the historical designation of the above named property. The designation includes the parcel and applies to the archaeological site only as Designated Historical Resource **Site No. 0**.

BE IT FURTHER RESOLVED, the designation shall exclude the one-story 1951 residence and all other above-ground structures.

BE IT FURTHER RESOLVED, the Secretary to the Historical Resources Board shall cause this resolution to be recorded in the office of the San Diego County Recorder at no fee, for the benefit of the City of San Diego, and with no documentary tax due.

Vote: N/A

BY: _____
JOHN LEMMO, Chair
Historical Resources Board

APPROVED: JAN I. GOLDSMITH,
CITY ATTORNEY

BY: _____
HEATHER FERBERT,
Deputy City Attorney

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI#
Trinomial CA-SDI-39

Page 1 of 3

*Resource Name or #: SDI-39

*Recorded by: Brian F. Smith and Jennifer R. Kraft

*Date: 1/8/15

Continuation Update

The subject property is located within the boundary of the Spindrift Site (SDI-39), a previously recorded prehistoric occupation complex spanning the Early Archaic to the Late Prehistoric cultural periods. The Spindrift Site has been determined to be significant according to California Environmental Quality Act (CEQA) and City of San Diego criteria and encompasses a large area known to its Kumeyaay inhabitants as *Mut kula xuy/Mut lah hoy ya* (place of many caves). An important element of the significance of the Spindrift Site is the numerous human burials discovered and the abundance of human bone encountered in graded lots and streets within this neighborhood. The subject property lies within this highly sensitive archaeological area. Site SDI-39 has been identified as an important, significant site since it was first recorded by Welty in 1912, when he noted that the site stretched for as long as 1,000 feet along the shore and up to 1,200 feet inland. He noted depths from one to eight feet, a dense black midden, shell, charcoal, and fragments of human remains.

The early documentation, large quantity, and wide range of materials identified for SDI-39 clearly indicates that the site served a habitation function. To date, radiocarbon analysis from the site has been limited to only identifying the Late Prehistoric Period component. Despite this, previous studies clearly indicate the presence of a large Archaic component that has yet to be ratified through conventional C-14 methods.

Within the Spindrift neighborhood, segments of prehistoric Site SDI-39 have been encountered beneath existing streets, landscaping, and residences. These residential elements of SDI-39 represent surviving parts of the large prehistoric village complex, which encompassed land surrounding the location of the La Jolla Beach and Tennis Club and southward toward La Jolla Cove. The area of SDI-39 is tentatively identified as the Spindrift Archaeological District, a designation that reflects the abundance of cultural materials associated with the large Native American population that occupied this site for approximately 8,000 years. Although SDI-39 has been substantially disturbed by land development over the past 80 years, the site is generally considered to be CEQA-significant due to the presence of human remains and associated cultural materials/features that represent a substantial human occupation at this location.

On April 18, 2014, Brian F. Smith and Associates, Inc. (BFSA) conducted a preliminary survey and shovel test pit (STP) program at the subject property. A Native American monitor from Red Tail Monitoring & Research, Inc. was present for all archaeological investigations. The property was revisited on May 29 and 30, 2014 to complete the significance testing with the excavation of a test unit. Previous grading and construction activities disturbed the majority of the property when the neighborhood was graded prior to the 1950s. Ground visibility was obscured over much of the project area due to the existing residential structure, hardscape, and landscaping. Limited subsurface investigation of the property through the excavation of six shovel tests identified subsurface cultural deposits within the backyard area (western half of the lot), while the front yard adjacent to the subject property did not appear to have any remaining cultural soil. With the authorization of the City of San Diego, a single one-square-meter test unit was excavated in the backyard at a location corresponding to the planned excavation of a footing for a new patio cover and second-story deck. This test unit resulted in the confirmation that within the backyard, evidence of prehistoric Site SDI-39 was noted by a 70-centimeter soil horizon of disturbed midden soil mixed with fill dirt, below which an intact cultural deposit between 70 and 120 centimeters in depth was identified. The test unit contained recoveries of shell, pottery, lithic production waste, ground stone, hammerstones, shell beads, and faunal bone.

The intact elements of SDI-39 noted on the western portion of the subject property can be designated as a historic resource under City of San Diego Historical Resources Board (HRB) Criterion A. This designation reflects the characteristics of the Spindrift Archaeological Site (SDI-39), which contains numerous human burials, thousands of artifacts, features, ecofacts (shell and bone), and trade material. Whether or not the portion of SDI-39 that is present within the subject property reflects all aspects of the prehistoric village could not be confirmed, particularly whether or not human remains are present. However, intact midden was documented at a depth of 70 to 120 centimeters, which highlights the potential for important cultural materials to be present.

City of San Diego HRB Evaluation

City of San Diego HRB Criterion A:

The key distinction provided by the City in HRB Criterion A for cultural resources exhibiting significant archaeological development is that the resource "must exemplify archaeological development through subsurface deposits and may include associated surface features."

Consideration for designation is therefore established based upon whether or not the resource reflects special elements of archaeological development as listed under Criterion A.

When evaluating an archaeological resource, integrity is the authenticity of the resource's physical identity clearly indicated by the retention of characteristics that existed during its period of significance. It is important to note that integrity is not the same as condition. Integrity directly relates to the presence or absence of historic materials and character-defining features, while condition relates to the relative state of physical deterioration of the resource. In most instances, integrity is more relevant to the significance of a resource than condition; however, if a resource is in such poor condition that original materials and features may no longer be salvageable, then the resource's integrity may be adversely impacted. The seven aspects of integrity used in evaluating a historic resource are:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI#
Trinomial CA-SDI-

Page 2 of 3

*Resource Name or #: SDI-39

*Recorded by: Brian F. Smith and Jennifer R. Kraft

*Date: 1/8/15

 Continuation Update

1. **Location** is the place where a resource was constructed or where an event occurred.
2. **Design** results from intentional decisions made during the conception and planning of a resource. Design includes form, plan, space, structure, and style of a property.
3. **Setting** applies to a physical environment, the character of a resource's location, and a resource's relationship to the surrounding area.
4. **Materials** comprise the physical elements combined or deposited in a particular pattern or configuration to form a property.
5. **Workmanship** consists of the physical evidence of crafts employed by a particular culture, people, or artisan, which includes traditional, vernacular, and high styles.
6. **Feeling** relies on present physical features of a property to convey and evoke an aesthetic or historic sense of past time and place.
7. **Association** directly links a property with a historic event, activity, or person of past time and place, and requires the presence of physical features to convey the property's character.
8. **Depositional Integrity** addresses whether or not the archaeological deposit has retained its overall integrity.

In order to assess each aspect of integrity when evaluating the portion of SDI-39 present at the subject property, the following steps were taken, as recommended in the City of San Diego *Guidelines for the Application of Historical Resources Board Designation Criteria*, Land Development Manual, Historical Resources Guidelines, Appendix E, Part 2, adopted August 27, 2009:

1. **Integrity of location** was assessed through the implementation of archaeological excavations of the portion of SDI-39 located within the subject property boundaries. Intact deposits were encountered in the western portion of the property at depths of 50 to 70 centimeters below the surface. These intact deposits indicate that this portion of SDI-39 has remained undisturbed in its present location since its period of significance.
2. **Integrity of design** was assessed by evaluating the spatial arrangement of the portion of SDI-39 located within the property boundaries, as well as the arrangement of any features present within the property boundaries. It was discovered through archaeological investigations that the intact portion of SDI-39 located in the western portion of the property boundaries does not contain any features or specific site use areas, and therefore, integrity of design could not be determined.
3. **Integrity of setting** was assessed by inspecting the elements of the property, which included topographic features, open space, views, landscapes, vegetation, man-made features, and relationships between buildings and other features. While many of the topographic features and ocean views are still intact, integrity of setting has been significantly reduced due to the residential development of the property.
4. **Integrity of materials** is normally assessed by determining the presence or absence of original materials used in the construction of features, as well as the possible introduction of materials, which may have altered any features of the resource. Because no features were discovered during archaeological investigations of this portion of SDI-39, integrity of materials could not be determined.
5. **Integrity of workmanship** is normally assessed by evaluating the quality of the features present within the resource boundaries. Because no features were located within this portion of SDI-39, integrity of workmanship could not be determined.
6. **Integrity of feeling** is normally assessed by evaluating whether or not the resource's features, in combination with its setting, convey a historic sense of the property during its period of significance. Because no features were identified within this portion of SDI-39, integrity of feeling could not be determined.
7. **Integrity of association** was assessed by evaluating the resource's data or information and its ability to answer any research questions relevant to the history of the city of San Diego or the state of California. Since the subject property involves a portion of a single site, the research questions are more focused, rather than intended to answer wide-reaching theories regarding the prehistoric settlement and subsistence of southern San Diego County, or even the San Diego coastal area. Research questions, which this portion of SDI-39 may provide answers for, include questions regarding cultural chronology, subsistence strategies and the environment, and the trade and procurement of lithic materials. Some of these questions are provided below:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI#
Trinomial CA-SDI-39

Page 3 of 3

*Resource Name or #: SDI-39

*Recorded by: Brian F. Smith and Jennifer R. Kraft

*Date: 1/8/15

Continuation Update

Cultural Chronology:

- When did the occupation/utilization of Site SDI-39 occur? What culture group is represented at this portion of Site SDI-39?
- What type of activities occurred at the site? Do the remains from Site SDI-39 represent a wide resource base that might suggest a habitation or temporary camp, or are the remains more typical of a task-specific resource extraction site?
- Did the utilization of Site SDI-39 occur during a similar time period as the occupation of regional sites such as the Village of La Rinconada de Jamo, Ystagua, Torrey Pines, Mesa, and W-20?
- How does the occupation of Site SDI-39 compare to other sites in the area? How does it relate to these sites spatially and temporally?
- Are the previously accepted culturally diagnostic artifact types (marine shell, ground stone tools, and cobble-based tools for La Jolla; ceramics, small projectile points, and bedrock milling for Late Prehistoric) accurate cultural markers for this site?

Subsistence Strategies and Environment:

- What activities were undertaken at Site SDI-39 and what resources were exploited?
- Do the faunal remains from the deposit at Site SDI-39 reflect a narrow range of animals taken in keeping with the predicted narrow resource breadth at Archaic sites, or do they represent a more widespread subsistence base suggestive of the Late Prehistoric?
- How important were coastal resources (fish and mollusks) to the inhabitants of the site?
- Can faunal and plant residue remains provide information about the seasonality of use of the sites?
- In what manner were subsistence resources processed and prepared?
- How does subsistence and settlement data from Site SDI-39 compare to other La Jolla and Late Prehistoric sites in the area?
- If contemporary, how does the evidence for subsistence at Site SDI-39 compare to that from nearby sites in Rose Canyon?
- Is there evidence of changes in subsistence strategies, as observed in faunal and marine shell assemblages, either over time or through seasonal use of the site?
- How does Site SDI-39 fit existing models of local settlement and subsistence?
- What types of environments were exploited by the occupants of Site SDI-39?
- Are there changes in the artifact assemblage of Site SDI-39 that can be related to environmental or cultural change?

Lithic Materials – Trade and Procurement:

- What types of non-local items are present at Site SDI-39?
- What fine-grained lithic materials were utilized at Site SDI-39? Are these materials found in La Jolla or Late Prehistoric contexts?
- What are the sources for these materials, and what do these sources imply in terms of group interactions? How were they transported to the site, as raw material or as finished tools?
- What procurement range is indicated by the source of the non-local items? What intergroup relations are implied by the presence of these items?
- What is the role of Site SDI-39 in the exchange system? How does that role vary over the occupation of the site?
- What kinds of tools are made from fine-grained materials?

8. **Depositional Integrity** was assessed by evaluating whether or not intact deposits exist within the property boundaries. Intact midden was documented in the western portion of the property boundaries through shovel test and test unit excavations. The midden was located at a depth of 50 to 120 centimeters.

The area of SDI-39 within the western portion of the lot of the subject property meets the basic criteria to be considered as a HRB-significant cultural resource. Specifically, the subject property portion of the site meets the listing requirements in City of San Diego HRB Criterion A as containing significant archaeological deposits linked to the larger prehistoric village complex identified throughout the Spindrift neighborhood. Impacts to HRB-significant cultural deposits within the western area of the property can be mitigated through data recovery and mitigation monitoring.

STORM WATER QUALITY & CONSTR. BMP'S

GENERAL
REFER TO DRAWINGS C1 AND C2. THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGIONAL ORDER NO. 2001-01, NPDES NO. CAS010878 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.

REFERENCES: <http://www.nrc.no.gov/water/learn/programs/comwater/cover/pamr/01e.shtml>
<http://www.sandiego.gov/development-services/industry/stormwater.shtml>

- NOTES 1-8 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S:**
- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET OR STORM WATER CONDUIT SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORAGE EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
 - ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROL. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
 - A CONCRETE WALKOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
 - ALL EROSION / SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
 - ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
 - THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

ENVIRONMENTAL REQUIREMENTS

- THE ARTHOPFER RESIDENCE SITE IS LOCATED ON SAN DIEGO HISTORICAL RESOURCES SENSITIVITY MAP AND REQUIRES SPECIAL CONSIDERATIONS DUE TO ARCHAEOLOGICAL SENSITIVITY OF THE AREA WITH RESPECT TO THE SPINDRIFT ARCHAEOLOGICAL SITE AND THE HIGH POTENTIAL FOR PROJECT GRADING TO IMPACT KNOWN PREHISTORIC RESOURCES INCLUDING HUMAN REMAINS.
- THE ARTHOPFER RESIDENCE PROJECT IS SUBJECT TO MITIGATION, MONITORING AND REPORTING PROGRAM (MMRP) AND SHALL CONFORM TO THE MITIGATION CONDITIONS AS REQUIRED BY THE CITY.
- THIS PROJECT SHALL REQUIRE ARCHAEOLOGICAL MONITORING DURING ALL GRADING ACTIVITIES.
- A NATIVE AMERICAN REPRESENTATIVE MUST BE CONSULTED PRIOR TO ANY GEOTECHNICAL OR ARCHAEOLOGICAL WORK ON THE PROPERTY.

GRADING QUANTITIES

THE FOLLOWING QUANTITIES FOR GRADING HAVE BEEN CALCULATED FOR THIS PROJECT:

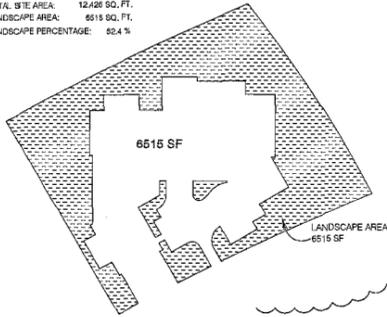
AMOUNT OF CUT:	35 CYD
MAXIMUM DEPTH OF CUT:	1 FT
FILL (EMBANKMENT):	36 CYD
MAXIMUM DEPTH OF FILL:	1 FT
AMOUNT OF IMPORT / EXPORT SOIL:	0 CYD

LANDSCAPE NOTES

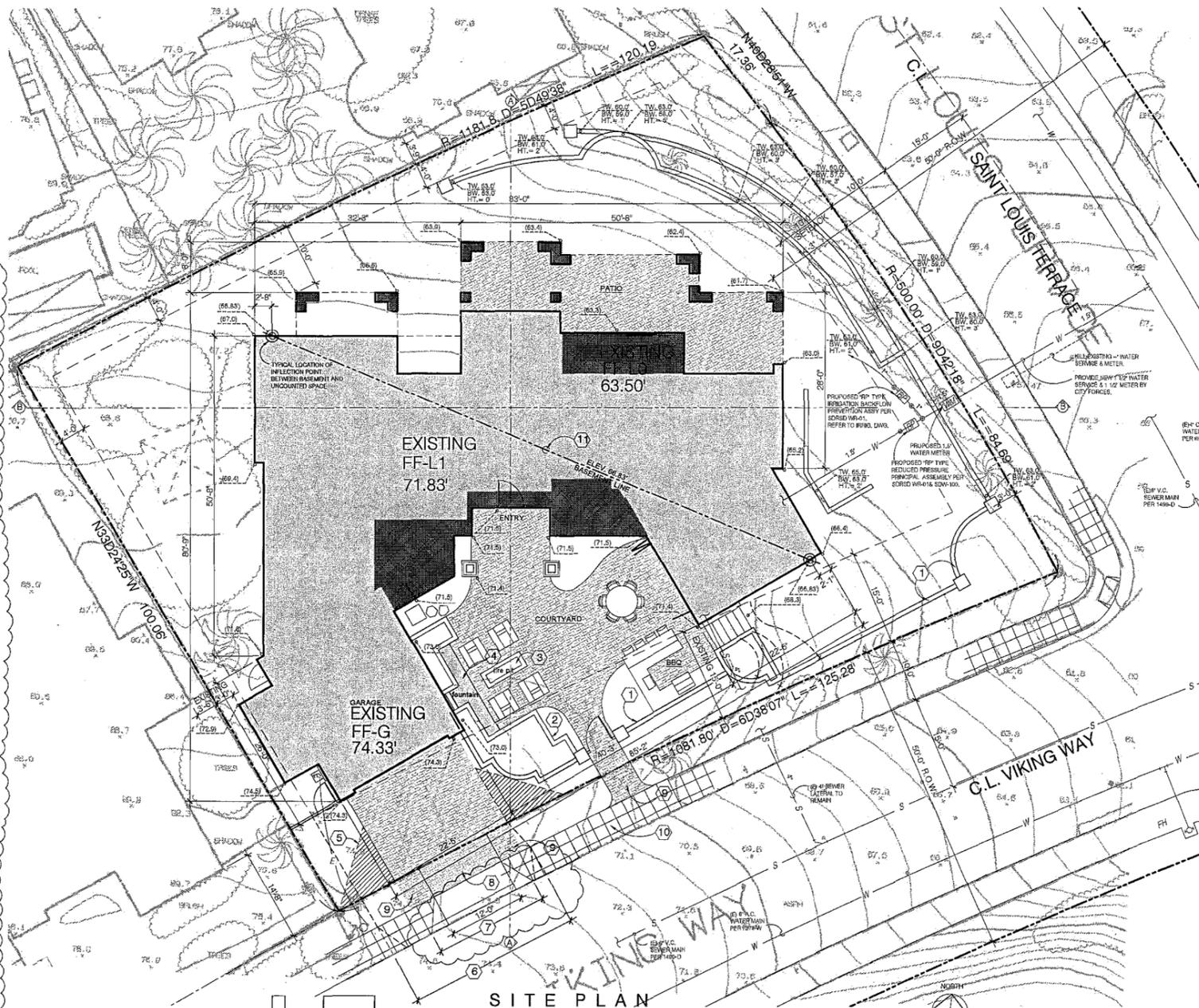
- IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS. AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL ARTICLE 10: LA JOLLA SHORES PLANNED DISTRICT, (SDMC 1510.0304)(1)(2)
- ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE. (SDMC 1510.0304)(1)(2)
- ALL LANDSCAPED MATERIAL SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL. (SDMC 1510.0304)(1)(3)
- ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE PRIOR TO FINAL INSPECTION.
- ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR TOPPING OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.

LANDSCAPE AREA SUMMARY

TOTAL SITE AREA: 12,426 SQ. FT.
LANDSCAPE AREA: 6,615 SQ. FT.
LANDSCAPE PERCENTAGE: 52.4%



600' HYDRANT MAP



SITE PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES

- PROPOSED CMU / STONE CLAD SITE WALL - 3' WITH 75% OPEN WOOD FENCE ABOVE TO 6' MAX. HEIGHT.
- PROPOSED 18" HIGH PLANTER WALL.
- PROPOSED GAS FIRE PIT.
- PROPOSED WATER FEATURE.
- VEHICLE ZONE: NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
- CLOSE NON-UTILIZED PORTIONS OF THE EXISTING DRIVEWAY WITH CURRENT CITY STANDARD CURB, GUTTER AND SIDEWALK.
- PROPOSED 18" CURB CUT FOR 12 FT. WIDE DRIVEWAY PER CITY STANDARD SDG-150.
- BRICK PAVERS OVER ASPHALTIC CONCRETE AT LEAST 2 INCHES IN DEPTH OR ITS EQUIVALENT. (SDMC 142.0405)(1)
- PERMEABLE AREA OF UNATTACHED BRICK PAVERS. (SDMC 142.0405)(1)(1))
- TYPICAL EXISTING MATCH SIDEWALK & INTEGRAL CURB. NEW WORK TO CONCH EXISTING GRID PATTERN ON EXISTING SIDEWALK.
- LINE WHICH DETERMINES AREA CALLED "BASEMENT" FOR GROSS AREA CALCULATION PER SDMC #113.0234(1)(2)(B).

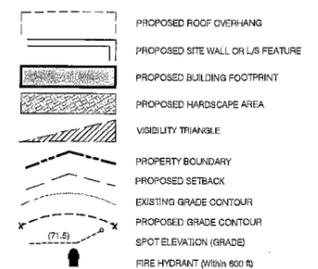
AREA SUMMARY

	EXISTING (SF)	PROPOSED (SF)
LEVEL ZERO / BASEMENT		
HABITABLE	346.2	705.3
STOR. & MECH.	307.3	257.0
CRAWL SPACE INCLUDED PER SDMC	522.0	381.4
OPEN ROOFED PATIO	441.2	628.2
LEVEL ONE		
HABITABLE	2757.1	3313.1
GARAGE & STORAGE	665.0	665.0
EXT. DECK	415.8	571.5
LEVEL TWO		
HABITABLE		1067.4
EXT. DECK		496.8
HABITABLE SUBTOTAL	3103.3	5078.0
S.D.M.C. GROSS TOTAL	4601.6	7263.4
(Land Development Procedure #113.0234)		
GARAGE & STORAGE SUBTOTAL	976.3	925.0
OPEN COVERED PATIO TOTAL	441.2	628.2
EXTERIOR DECK TOTAL	415.8	1068.3

BUILDING NOTES

- SCOPE:**
DEMOLISH LESS THAN 50% OF EXISTING PERIMETER WALLS, LEVEL ONE AND LEVEL ZERO, REMODEL LEVEL ZERO AND AND LEVEL ONE, CONSTRUCT NEW LEVEL TWO, CONSTRUCT ASSOCIATED SITE WALLS & ASSOCIATED LANDSCAPE.
- DEVELOPMENT PERMIT:**
THE 2013 CALIFORNIA BUILDING STANDARDS CODE, OCR TITLE 24
THE 2013 CALIFORNIA RESIDENTIAL CODE
- CODES IN EFFECT:**
- OCCUPANT CLASS: R-3 RESIDENTIAL
 - CONSTRUCTION TYPE: V-S - RESIDENCE U - GARAGE
 - FIRE PROTECTION: 100% SPRINKLERED
 - ALLOW. FLOOR AREA: NOT LIMITED
 - BUILDING HEIGHT: LIMITED TO 30 FT. (PROP. D)
 - NO. OF STORIES: 2 OVER WALK-OUT BASEMENT
 - CLIMATE ZONE: 7
- ZONING DATA**
- ZONE: SINGLE FAMILY RESIDENTIAL (LRP-SF OF LA JOLLA COMMUNITY PLAN)
 - OVERLAY ZONES: COASTAL OVERLAY ZONE (NON-APPEALABLE AREA) COASTAL HEIGHT LIMITATION OVERLAY ZONE COASTAL AND BEACH PARKING IMPACT OVERLAY ZONE RESIDENTIAL TOWNHOMES PARKING OVERLAY ZONE TRANSIT AREA OVERLAY ZONE
 - SITE AREA: 12,426 SF, 0.285 ACRE
- REQUIRED VS. ACTUAL PROVIDED:**
- | | | | |
|--------------------------------|-----|---------|-----|
| 4. L.P.R. BUILDING GROSS AREA: | 60% | 3706 SF | 60% |
| 7. LANDSCAPE AREA: | 30% | 6616 SF | 52% |
| 8. HARDSCAPE AREA: | - | - SF | <1% |
| 9. PARKING: | 2 | 2 | |
- GENERAL CONFORMITY W/ STRUCTURES IN VICINITY:**
- | | |
|-----------------------------|--------|
| FRONT YARD: | 10' |
| REAR YARD: | 10' |
| STREET SIDE YARD: | 15' |
| SIZE YARD: | 4'-0" |
| 11. STRUCTURE HEIGHT: | 35'-0" |
| 12. OVERALL PROJECT HEIGHT: | 40'-0" |

SYMBOLS



DRAWING INDEX

- SITE PLAN AND NOTES
- DRAINAGE PLAN
- EROSION CONTROL PLAN
- DEMOLITION PLAN & MATRIX
- FLOOR PLANS
- ROOF PLAN
- BUILDING ELEVATIONS
- PROJECT SECTIONS
- NEIGHBOR SETBACKS
- PRELIMINARY LANDSCAPE PLAN
- EXISTING PLANTING PLAN
- TIDE LINE MAP
- ENCROACHMENT IMPACT STUDY

SITE NOTES

- GENERAL**
- RESIDENTIAL TRASH RECEPTACLES TO BE LOCATED IN WALLED RUBBERH GEAR AREA.
 - NO BUS OR TRANSIT STOPS ADJACENT TO SITE.
 - NO BIKE RACKS OR LOCKERS OTHER THAN OWNERS GARAGE STORAGE.
 - EXISTING EASEMENTS: N/A.
 - ALL EXTERIOR LIGHTING FIXTURES SHALL BE UNDISTURBED AND SHIELDED SUCH THAT NO LIGHT SPILL SHALL EXCEED BEYOND SITE BOUNDARIES.
 - BUILDING ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (LIC# 9014.4)
 - THIS PROJECT PROPOSES EXPORT OF 2 CUBIC YARDS OF MATERIAL FROM THE PROJECT SITE. ALL EXPORT MATERIAL MUST BE DEPOSITED INTO LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SAL OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONSTRUCTION PERMIT.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2 DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - THIS PROJECT SHALL COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET. SDMC SECTIONS 151.04.4 & 151.05.0. HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE Ongoing PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPPCL). THE WPPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
 - ALL PARKING SPACES, PARKING AREAS, LOADING AREAS, AND DRIVEWAYS SHALL BE SURFACED WITH ASPHALTIC CONCRETE AT LEAST 2 INCHES IN DEPTH OR ITS EQUIVALENT AS DETERMINED BY THE CITY MANAGER ACCORDING TO ACCEPTED ENGINEERING PRACTICES. (SDMC #10.0606)

WATER & SEWER

- EXISTING LATERALS FOR WATER AND SEWER SHALL BE USED WHERE POSSIBLE. PROVIDE NEW 2" LATERAL IF REQUIRED FOR CAPACITY.
- UTILIZE PROPOSED 1 1/2" WATER METER, WATER METER FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- HOUSE SHALL BE 100% SPRINKLERED.
- HOUSE SEWER SHALL CONNECT TO EXISTING 4" STUB @ PROPERTY LINE.
- AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT.

OWNER SIGNATURE: _____

ELECTRICAL SERVICE

- PROVIDE 400 AMP SERVICE PER ELECTRICAL U.N.O. PER D.B. CONTRACTOR.

STORM WATER QUALITY & CONSTRUCTION BMP'S
REFER TO DRAWINGS PREPARED BY CIVIL ENGINEER (C1-C2)

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001-01, NPDES NO. CAS010878 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.

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PROJECT CONSULTANTS:
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4555 Cass Street, Suite 404
San Diego, CA 92109
(619) 605-0937

Surveyor & Civil Engineer:
KAPPA SURVEYING & ENGINEERING, INC.
6707 La Mesa Boulevard
La Mesa, CA 91941
(619) 485-8948

Historic Consultant:
SCOTT A. MOULDER, Attorney at Law
5173 Wierling Road, Ste 145
San Diego, CA 92120
(619) 520-1770

Building Surveyor:
LASERTECH Floor Plans
(858) 593-6555

Landscaping Architect:
GARY STONE Landscape Architect, A.S.L.A.
135 Lanyon Blvd., C
Carroll, CA 92007
(760) 949-9488

Soils Engineer:
GEOLOGIC CONSULTANTS, INC.
12448 Woods Drive, Suite G
San Diego, CA 92128
(619) 521-1190

COMMUNITY PLAN:
La Jolla Community Plan
La Jolla Shores Planning District

OVERLAY ZONES:
Coastal Overlay Zone (Non-Applicable Area)
Coastal Height Limitation Overlay Zone
Coastal and Beach Parking Impact Overlay Zone
Residential Townhomes Parking Overlay Zone
Transit Area Overlay Zone

APPROVALS:
Non-Hazardous Determination
P.L. 34574

PERMITS REQUIRED:
Site Development Permit

ORIGINAL DATE: 11-20-2013
REVISIONS: 01-09-2014

KEY PLAN

PROJECT DATA

Construction: VB 100% Sprinklered
Occupancy: R-3 S.F.R.
Code: 2010 Edition-C.R.C.
Zoning: LRPD-SF
No. of Stories: 2
Stories over Partial Basement: 1

PROJECT ADDRESS:
1850 Viking Way
La Jolla, CA 92037

PROJECT OWNER:
Frank and Shari Arthofer

ASSESSOR'S PARCEL NO.:
346-451-16-00

LEGAL DESCRIPTION:
Lot 46-25 including the westerly 40 feet of lot 50 of La Jolla Vista, in the city of San Diego, county of San Diego, state of California, according to map thereof no. 1762 filed in the office of the county recorder of San Diego county August 1, 1923

BENCHMARK:
City of San Diego benchmark brass plug located at the south-westerly corner of Spinnell drive and Roseland Drive.
Elevation = 29.57'
Datum: NGVD1929

EXISTING BUILDING:
Status: Over 50% Exterior Walls to Remain
Occupancy: R-3 S.F.R.
Constructed: 1950
Not-Eligible for Historic Landmark Designation (Developed SRA)

PROJECT NO.:
3 4 9 B 0

PROJECT NAME:
ARTHOPFER RESIDENCE

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
01 of 13



Storm Water Requirements Applicability Checklist FORM DS-560

City of San Diego Development Services
1225 F Street, Suite 200
San Diego, CA 92101
619-448-8000

Project Address: 1890 VIKING WAY, LA JOLLA, CA

SECTION 1. Permanent Storm Water BMP Requirements

Part A: Determine if Exempt from Permanent Storm Water BMP Requirements

SECTION 2. Construction Storm Water BMP Requirements

Part B: Determine if Subject to Priority Development Project Requirements

Part C: Determine Construction Site Priority

Page 2 of 2 City of San Diego - Development Services Department - Storm Water Requirements Applicability Checklist

9. Street, road, highway, or driveway. New paved surface in excess of 5,000 square feet used for the transportation of automobiles, trucks, motorcycles, and other vehicles. Yes No

10. Storm Drainage Outlet (SDO) that is (a) 5,000 square feet or more on the lot or a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No

11. Significant redevelopment project, including but not limited to: 5,000 square feet or more of impervious surface and the resulting site specific storm water runoff. The project is not considered significant redevelopment if it involves an existing road or parking lot without a change to the footprint of an existing developed road or parking lot. The existing footprint is defined as the outside curb or the outside edge of pavement when there is no curb. Yes No

12. Other Pollutant Generating Project. Any other project not covered by the categories above that discharges any water or material to be not contained by the lot or lot area. Projects creating less than 5,000 sq. ft. of impervious surface and where additional landscaping does not require regular use of pesticides and fertilizers such as slope stabilization using native plants. Calculation of the square footage of impervious surface used not include linear pathways that are for pedestrian bicycle use, such as emergency maintenance access or bicycle protection use, if they are built with pervious surface or if they meet the requirements for permeable pavement. Yes No

SECTION 2. Construction Storm Water BMP Requirements

Part B. Determine Construction Phase Storm Water Requirements

1. Is the project subject to California's statewide General Order 970001 for the Storm Water Discharge Associated with Paving or Seal Applications? (See State Water Resources Control Board Order No. 2008-0029-0195 for rules and regulations.) Yes No

2. Does the project propose paving or seal applications? Yes No

3. Would storm water or other runoff have the potential to contact any portion of the construction area, including existing and proposed areas? Yes No

4. Would the project use any construction materials that could negatively affect water quality if discharged from the site (such as, paints, solvents, oils, and fuels)? Yes No

5. Check this box if "No" is checked for line 1, and "Yes" is checked for any line 2-4. SWPPP Required No Treatment Required

6. Check this box if "No" is checked for line 1, and "Yes" is checked for any line 2-4. SWPPP Required No Treatment Required

7. Check this box if "No" is checked for all lines 1-4. Part B does not apply. No Treatment Required

Part C: Determine Construction Site Priority

1. High Priority

a) Projects where the site is in a flood zone or subject to erosion during the wet season.

b) Projects that are near or directly adjacent to an impaired water body for sediment load. Projects that discharge directly to a Water Quality Sensitive Area (WQSA) or discharge directly to a Water Quality Sensitive Area (WQSA) or discharge directly to a Water Quality Sensitive Area (WQSA) or discharge directly to a Water Quality Sensitive Area (WQSA).

c) Projects that are near or directly adjacent to or discharge directly to a coastal lagoon or other receiving water body.

d) Projects subject to ground grading or advanced treatment requirements.

2. Medium Priority

Projects 1 acre or more but not subject to a high priority designation.

3. Low Priority

Projects requiring a Water Pollution Control Plan but not subject to a medium or high priority designation.

EROSION CONTROL NOTES AND PROVISIONS

- TEMPORARY EROSION / SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW.
- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS MUST BE INCORPORATED IN THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSISTENT WITH THE APPROVED WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S AND THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
 - FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF THE INLET AS INDICATED ON THIS PLAN.
 - FOR INLETS LOCATED AT SUMPS, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND A MINIMUM OF 1' OF FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES (I.E. GRAVEL BAGS FOR DIKES).
 - THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEMS DUE TO CONSTRUCTION ACTIVITY.
 - THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
 - THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH RAINFALL.
 - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR SHALL RESTORE ALL EROSION / SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR INSPECTOR AFTER EACH RUN-OFF PRODUCING RAINFALL.
 - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION / SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE CITY ENGINEER OR INSPECTOR DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
 - ALL EROSION / SEDIMENT CONTROL MEASURES PROVIDED FOR THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREIN. ALL EROSION / SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE INSPECTOR.
 - GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE ADJOINING LOTS (INTO THE PROJECT) AT THE CONCLUSION OF EACH WORKING DAY.
 - ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION / SEDIMENT CONTROL MEASURES.
 - THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO MAY 1ST (THE RAINY SEASON) FOR THE PROJECT TEAM INCLUDING, BUT NOT LIMITED TO, THE GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR, AND THE OWNER / DEVELOPER TO EVALUATE THE ADEQUACY OF THE EROSION / SEDIMENT CONTROL MEASURES AND THE OTHER RELATED CONSTRUCTION ACTIVITIES.

WATER POLLUTION CONTROL PLAN NOTES

- NEAREST BODY OF WATER IS THE PACIFIC OCEAN.
- THIS PROJECT DOES NOT FLOW TO A WATER-BODY LISTED ON THE 303(d) LIST.
- THE ENTIRE AREA OF THIS PROJECT IS SUBJECT TO EROSION BY STORMWATER DURING CONSTRUCTION. APPROPRIATE BMP'S HAVE BEEN STIPULATED ON THESE PLANS TO PREVENT STORMWATER POLLUTION FROM LEAVING THE CONSTRUCTION SITE.
- THERE ARE NO KNOWN LOCATIONS WHERE TOXIC OR HAZARDOUS MATERIALS HAVE SPILLED IN THE PAST.
- ALL AREAS SHOWN ON THE BMP PLAN ON THIS SHEET FLOW TOWARD ST. LOUIS TERRACE.
- THERE ARE NO VISIBLE AREAS ON THIS LOT WHERE EROSION HAS TAKEN PLACE IN THE PAST.

MAINTENANCE DETAILS

PERMEABLE PAVERS
THE JOINT MATERIAL FOR THESE PAVING UNITS MUST BE CHECKED QUARTERLY TO SEE IF THEY ARE BLOCKED WITH DEBRIS OR OILY MATERIALS. IF THIS IS FOUND THEN THE SOILED SANDY MATERIAL MUST BE REMOVED WITH A STEEL CHISEL (SCREW DRIVER BLADE) AND REPLACED WITH CLEAN COURSE SAND.

PERFORATED SUB-DRAIN PIPING
THESE PIPES MUST BE CHECKED AT LEAST ONCE EACH YEAR (JUST PRIOR TO THE START OF THE RAINY SEASON) TO SEE THAT FLOW FROM THEM ENTERS THE VAULT (TANK). IF WATER DOES NOT FLOW FROM EACH PIPE INTO THE TANK, THEN THE LINE WILL BE CLEANED "SNAKED" TO REMOVE ANY OBSTRUCTIONS.

SPECIAL RAINY SEASON PROVISIONS

DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

- THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO MAY 1ST.
- ALL EROSION CONTROL FEATURES (BMP'S) SHALL BE INSPECTED AT LEAST ONCE EACH WEEK.
- SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED.

EROSION CONTROL LEGEND

TEMPORARY BMP NAME	BMP DWG. NO.	SYMBOL
SOIL STABILIZATION		
SCHEDULING	SS-1	
TEMPORARY SOIL STABILIZATION	SS-5	
TEMPORARY PLASTIC COVERS	SS-7	
SEDIMENT CONTROL		
SILT FENCE	SC-1	
GRAVEL BAGS	SC-8	
STREET SWEEPING	SC-7	
WIND EROSION CONTROL		
WIND EROSION CONTROL	WE-1	
TRACKING CONTROL		
STABILIZED CONSTRUCTION ENTRANCE / EXIT	TC-1	
STREET SWEEPING	SC-7	
NON-STORM WATER MANAGEMENT		
WATER CONSERVATION PRACTICES	NS-1	
EJECT CONNECTION / ILLEGAL DISCHARGE DETECTION AND REPORTING	NS-8	
POTABLE WATER / IRRIGATION	NS-7	
VEHICLE AND EQUIPMENT CLEANING (NO LOCATION DESIGNATED YET)	NS-8	
VEHICLE AND EQUIPMENT FUELING (NO LOCATION DESIGNATED YET)	NS-9	
VEHICLE AND EQUIPMENT MAINTENANCE (NO LOCATION DESIGNATED YET)	NS-10	
CONCRETE CURING / TREATMENT	NS-12	
CONCRETE FINISHING	NS-14	
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
MATERIAL DELIVERY AND STORAGE (NO LOCATION DESIGNATED YET)	WM-1	
MATERIAL USE (NO LOCATION DESIGNATED YET)	WM-2	
STOCKPILE MANAGEMENT (NO LOCATION DESIGNATED YET)	WM-3	
SPILL PREVENTION	WM-4	
SOLID WASTE MANAGEMENT (NO LOCATION DESIGNATED YET)	WM-5	
CONCRETE WASTE MANAGEMENT (NO LOCATION DESIGNATED YET)	WM-6	
SANITARY / SEPTIC WASTE MANAGEMENT (NO LOCATION DESIGNATED YET)	WM-9	

ARTHOFFER Residence

1890 VIKING WAY
LA JOLLA, CA 92037

A.P.N. 346-451-16

NOT FOR CONSTRUCTION

- Concept
- Preliminary
- Design Dev.
- Review
- As-Built
- Other

FOR CONSTRUCTION

- Plan Check
- Construction
- Other

key map

sheet 10E

sheet 10F

sheet 10G

sheet 10H



DAN S. BIGGS
R.C.E. 26112
EXP: 3-31-2016

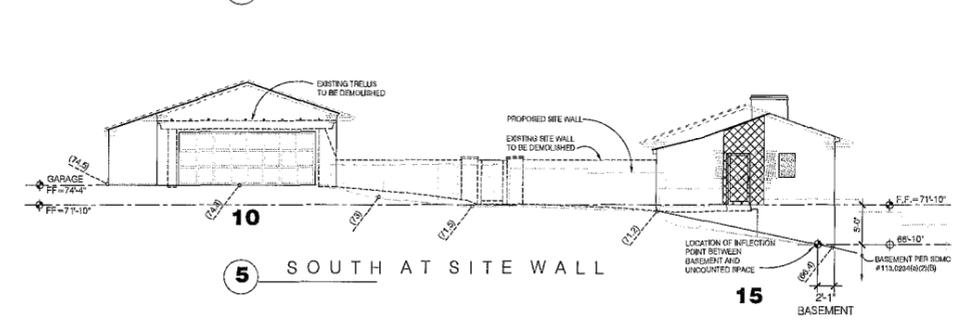
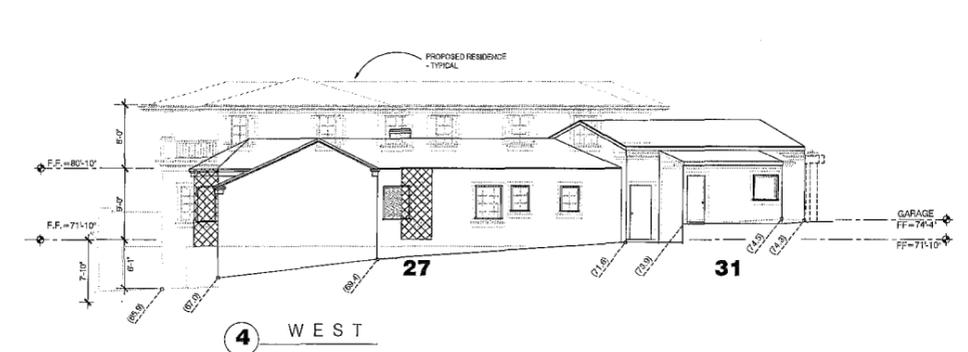
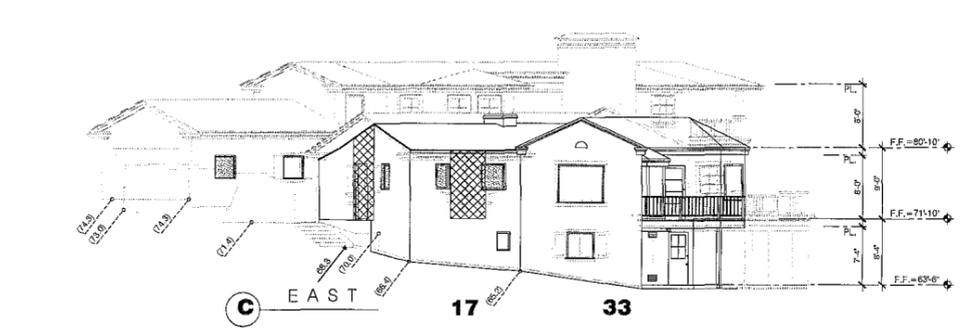
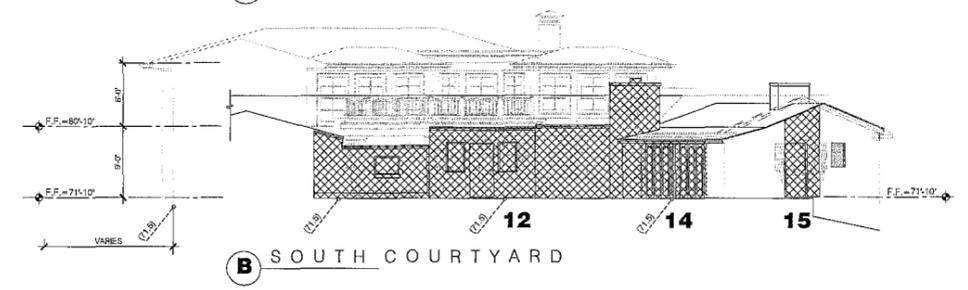
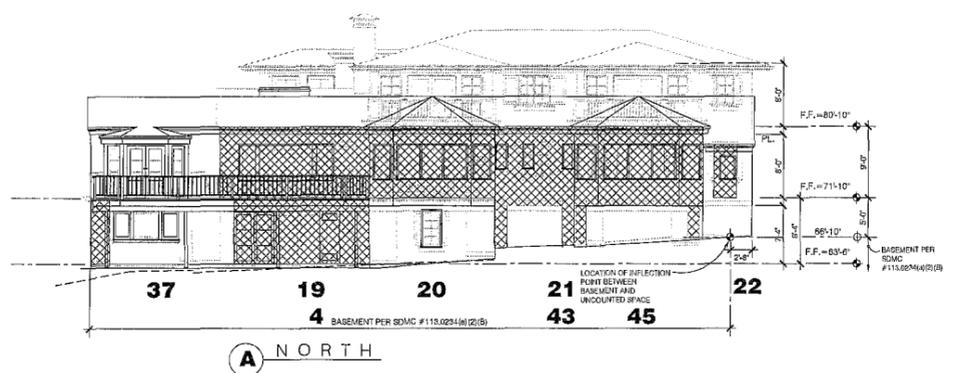
C2 DRAINAGE PLAN NOTES

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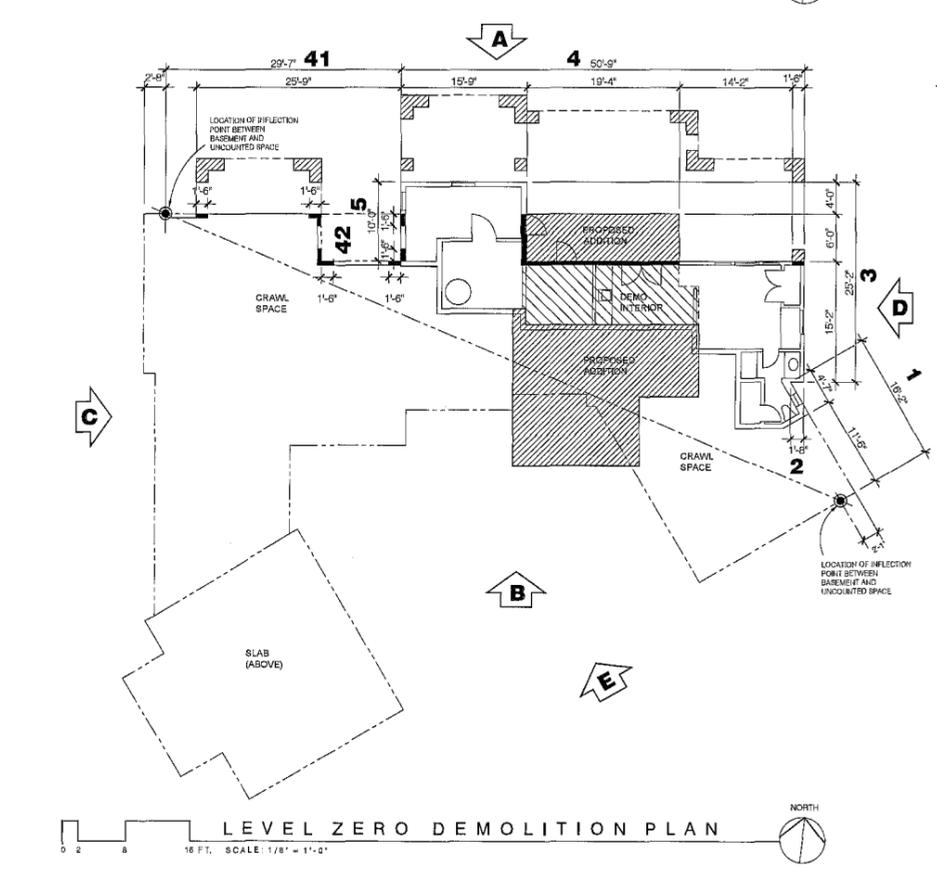
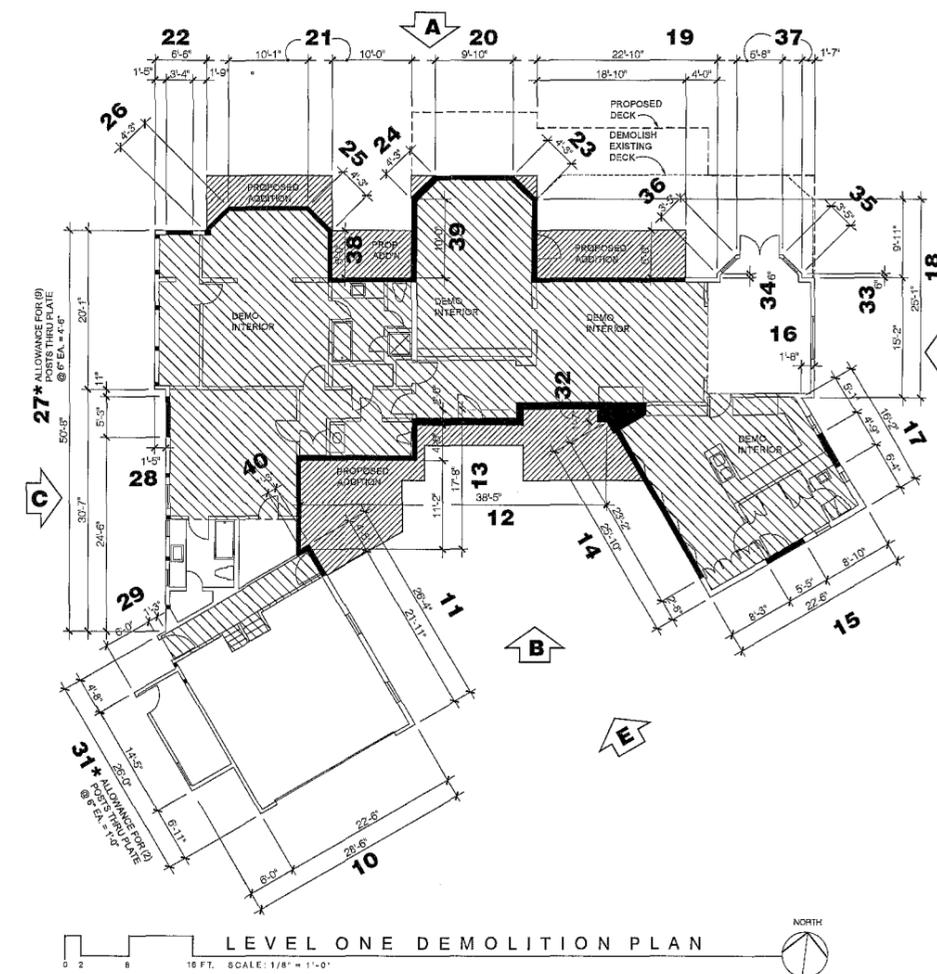


Arthofer Residence
1890 Viking Way
La Jolla, CA 92037

Completeness 11-25-2013
Submittal One 12-20-2013
Submittal Two 05-05-2014



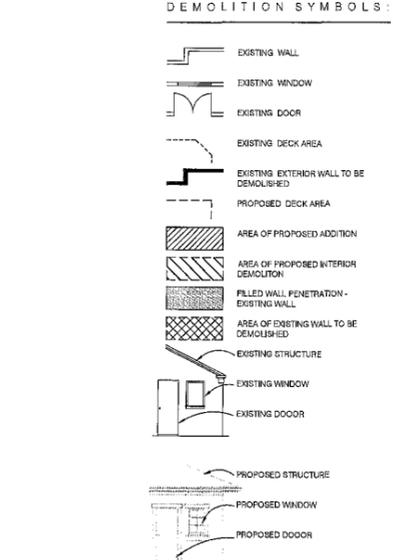
WALL ELEVATION DEMOLITION PLAN
16 FT. SCALE: 1/8" = 1'-0"



WALL MATRIX:

WALL NUMBER	EXISTING WALL LENGTH (FEET)	REMOVED WALL LENGTH (FEET)	REMAINING WALL LENGTH (FEET)
1	16.17	0.00	16.17
2	1.67	0.00	1.67
3	25.17	6.00	19.17
4	50.75	20.83	29.92
5	10.00	3.00	7.00
10	28.50	0.00	28.50
11	26.38	4.42	21.92
12	38.42	38.42	0.00
13	17.67	17.67	0.00
14	25.83	23.17	2.66
15	22.50	5.42	17.08
16	1.67	0.00	1.67
17	16.17	4.75	11.42
18	25.06	9.92	15.16
19	22.83	18.83	4.00
20	9.83	9.83	0.00
21	20.08	20.08	0.00
22	6.50	3.33	3.17
23	4.25	4.25	0.00
24	4.25	4.25	0.00
25	4.25	4.25	0.00
26	4.25	4.25	0.00
27	50.67	9.75	40.92
28	1.42	0.00	1.42
29	7.25	0.00	7.25
31	26.00	1.00	25.00
32	1.58	1.58	0.00
33	0.50	0.00	0.50
34	0.50	0.00	0.50
35	3.42	0.00	3.42
36	3.42	0.00	3.42
37	7.25	0.00	7.25
38	6.00	6.00	0.00
39	10.00	10.00	0.00
40	1.25	1.25	0.00
41	29.58	6.00	23.58
42	6.00	3.00	3.00
TOTALS:	537.01	241.25	295.76
	100.0%	44.92%	55.08%

CONFORMS



04

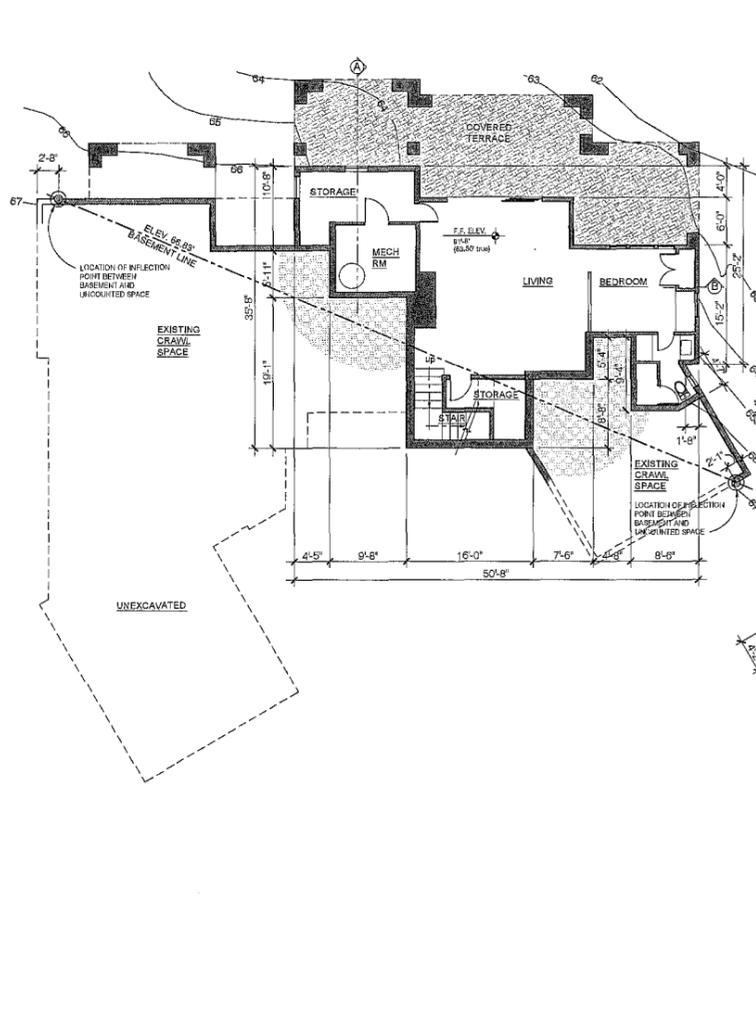
DEMOLITION NOTE:
DEMOLITION PLANS HAVE INCLUDED ALL SUPPORTING MEMBERS WHICH WOULD PENETRATE THE TOP/BOTTOM SILL PLATES

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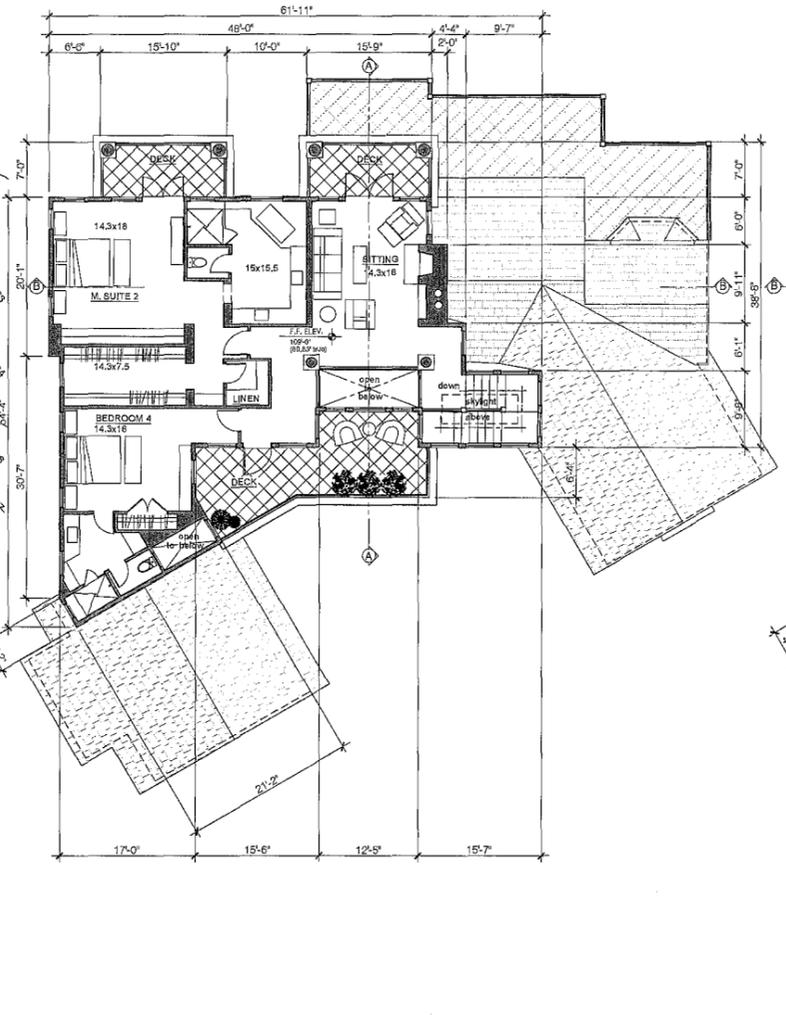


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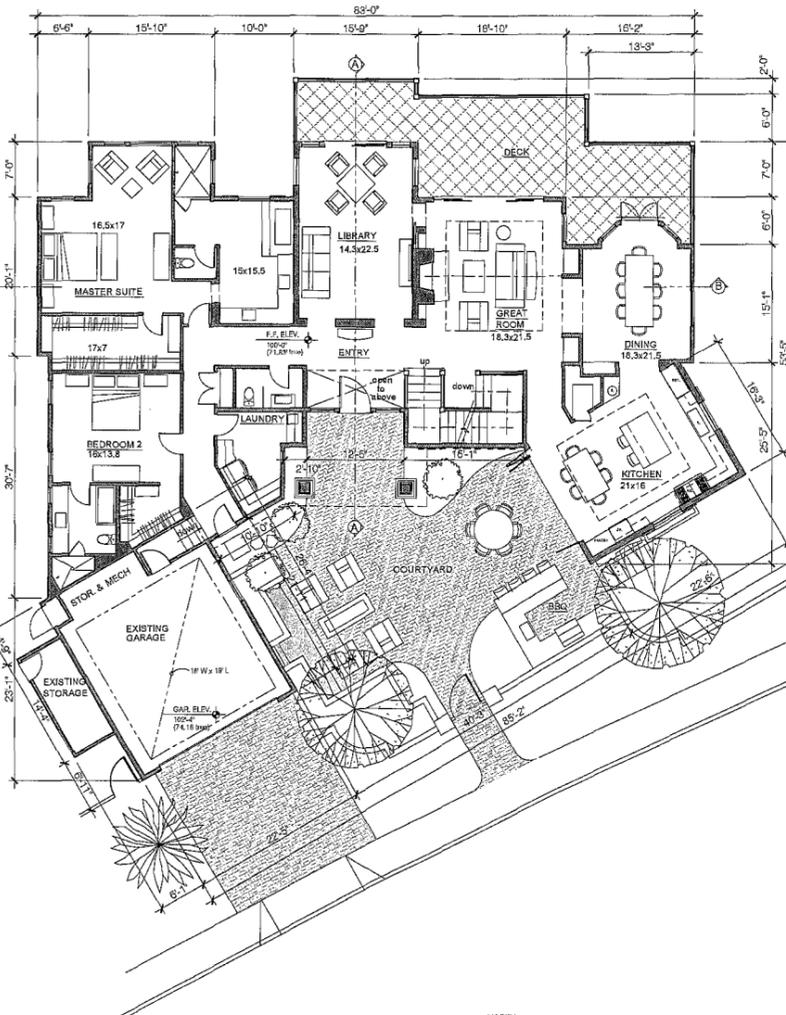
Completeness 11-25-2013
Submittal One 12-20-2013
Submittal Two 05-29-2014



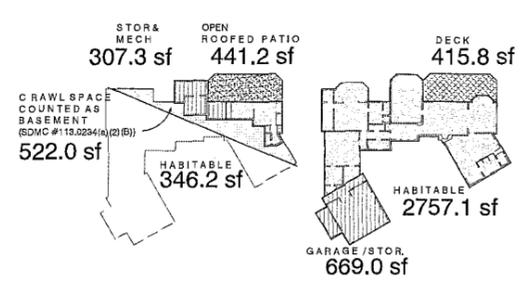
BASEMENT PLAN



LEVEL TWO PLAN

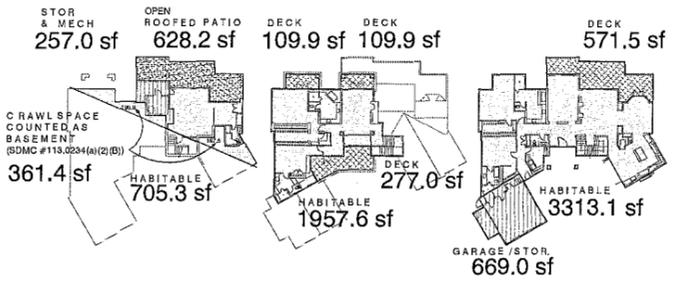


LEVEL ONE PLAN



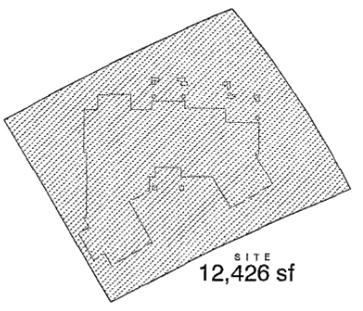
EXISTING RESIDENCE

LEVEL ZERO & BASEMENT		
HABITABLE	346.2 SF	
MECH & STOR.	307.3 SF	
COUNTED AS BASEMENT (per SDMC #113.0234(a)(2)(B))	522.0 SF	
ROOFED PATIO	441.2 SF	
LEVEL ONE		
HABITABLE	2757.1 SF	
GARAGE & STOR.	669.0 SF	
DECK	415.8 SF	
GROSS AREA per SDMC	4601.6 SF	
HABITABLE AREA	3103.3 SF	



PROPOSED RESIDENCE

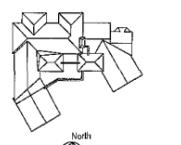
LEVEL ZERO & BASEMENT		
HABITABLE	705.3 SF	
MECH & STOR.	257.0 SF	
COUNTED AS BASEMENT (per SDMC #113.0234(a)(2)(B))	361.4 SF	
ROOFED PATIO	628.2 SF	
LEVEL ONE		
HABITABLE	3313.1 SF	
GARAGE & STOR.	669.0 SF	
DECK	571.5 SF	
LEVEL TWO		
HABITABLE	1957.6 SF	
DECK	495.8 SF	
GROSS AREA per SDMC	7263.4 SF	
HABITABLE AREA	5975.0 SF	



SITE

AREA	12,426 SF	.285 ACRE
EXISTING		
COVERAGE	26.7%	30.0%
F.A.R.	0.37	0.68
LANDSCAPE AREA	6615 SF	52.4%

- NOT FOR CONSTRUCTION
 - Concept
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 - Review
 - Bl
 - Other
- FOR CONSTRUCTION
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FLOOR PLANS

05

349880
Arthofer Residence

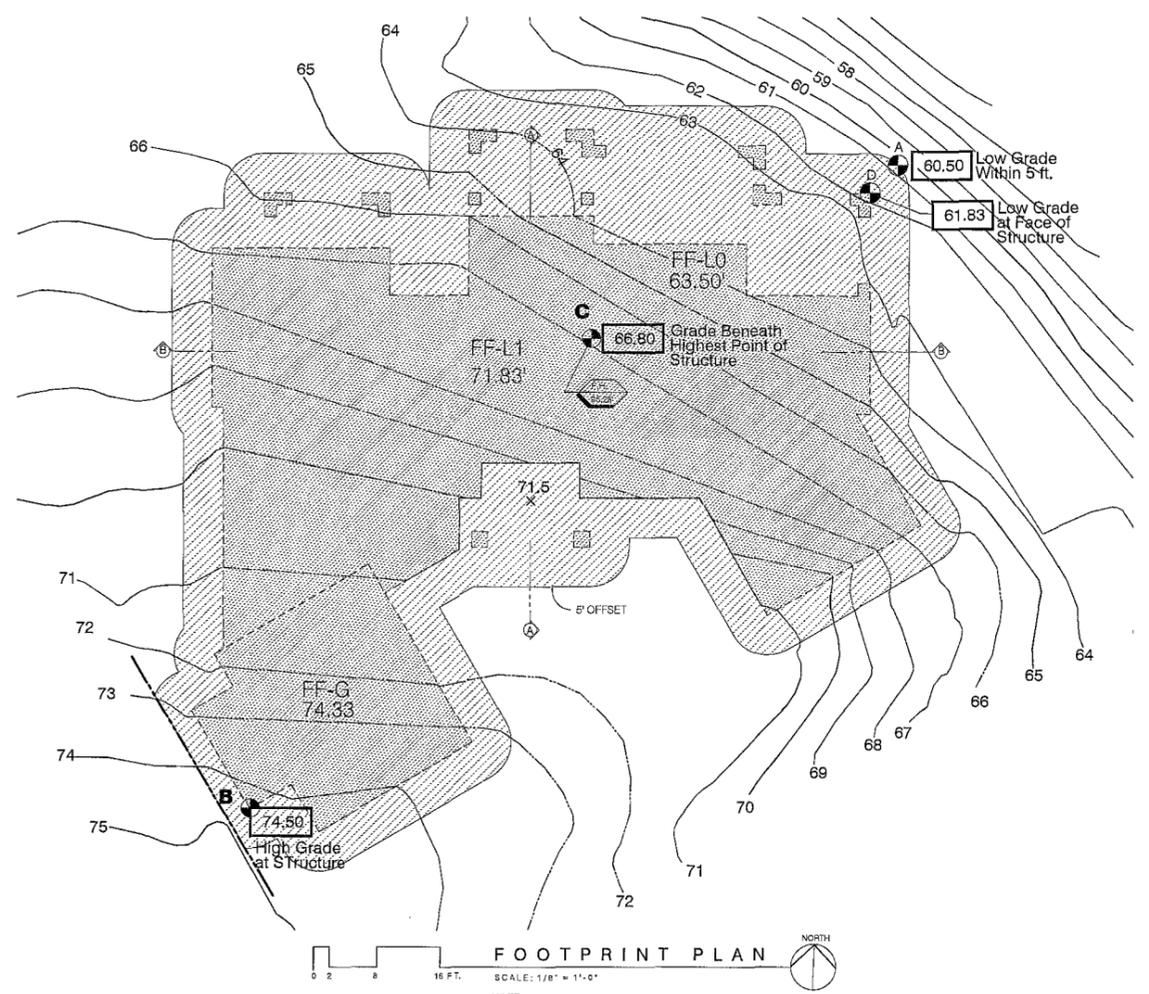
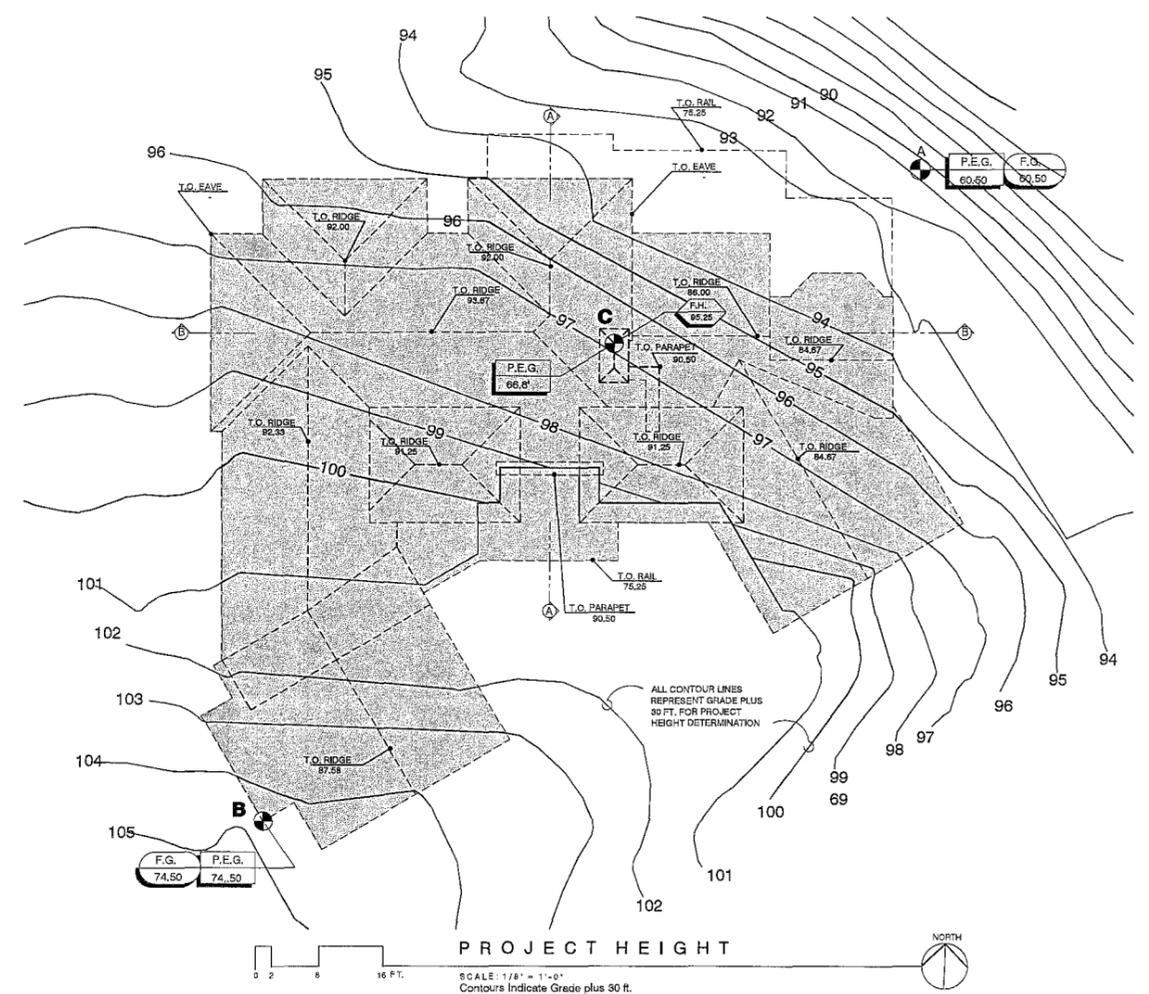
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Completion: 11-25-2013
Submittal One: 12-20-2013
Submittal Two: 09-29-2014

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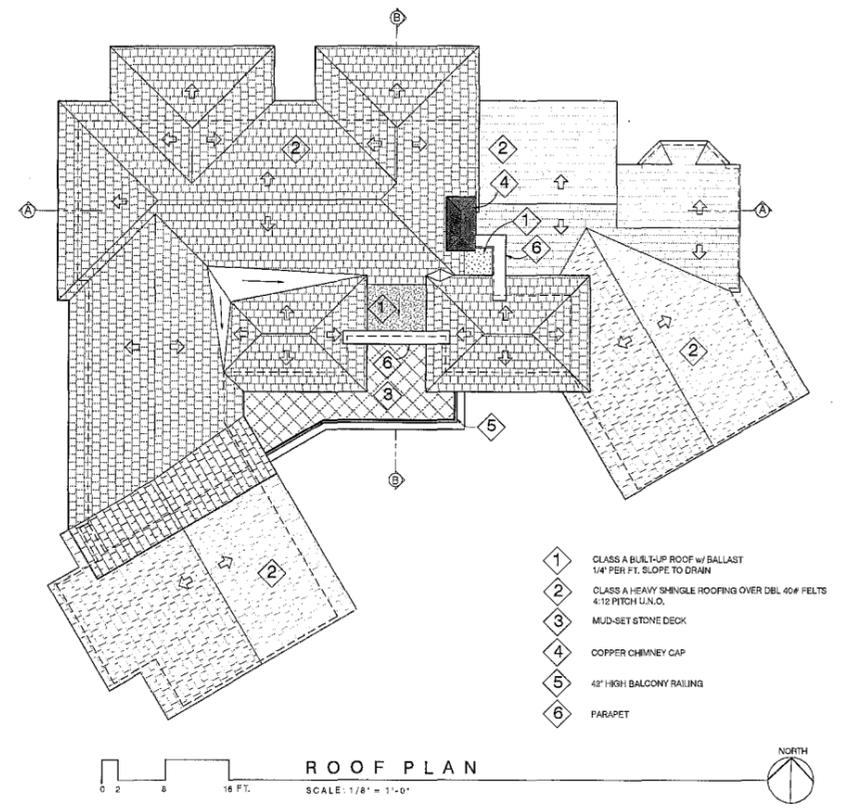


NOTES:

CONTOURS ARE INTERPOLATED WITHIN STRUCTURE WHERE INACCESSIBLE (SDMC # 113.0228)

ALL GRADE ELEVATION DATA BASED ON SURVEY PERFORMED FOR OWNER BY CHRISTENSEN ENGINEERING & SURVEYING, DATE APRIL 4, 2013.

BENCHMARK: CITY OF SAN DIEGO BENCHMARK BRASS PLUG LOCATED AT THE SOUTHEASTERLY CORNER OF SPINDRIFT DRIVE AND ROSELAND DRIVE. ELEVATION = 23.91' MEAN SEA LEVEL (N.G.V.D. 1929).



- 1 CLASS A BUILT-UP ROOF w/ BALLAST 1/4" PER FT. SLOPE TO DRAIN
- 2 CLASS A HEAVY SHINGLE ROOFING OVER DBL 40# FELTS 4:12 PITCH U.N.O.
- 3 MUD-SET STONE DECK
- 4 COPPER CHIMNEY CAP
- 5 42" HIGH BALCONY RAILING
- 6 PARAPET

KEY

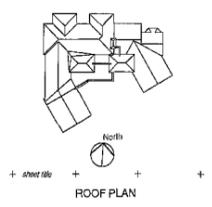
- 8 PERIMETER BOUNDARY
- A REFERENCE POINT
- P.E.G. FINISH GRADE ELEV. @ POINT INDICATED
- F.G. FINISH GRADE ELEVATION AT POINT INDICATED
- F.H. FINISH HEIGHT ELEVATION AT POINT OR LINE INDICATED
- EXISTING / PROPOSED GRADE CONTOURS
- PROPOSED SPOT ELEVATION
- T.O. PARAPET

PROJECT HEIGHT DETERMINATION

METHOD A-PLUMB LINE MEASUREMENT: (SDMC 113.270 (a)(2)(A))
Note: Existing Interpolated Grade beneath pre-existing building is 66.8' at point 'C'
(HT OF BLDG @ 'C'=95.25')-(LOWEST GRADE @ 'C'= 66.8') = 28.45 FT.

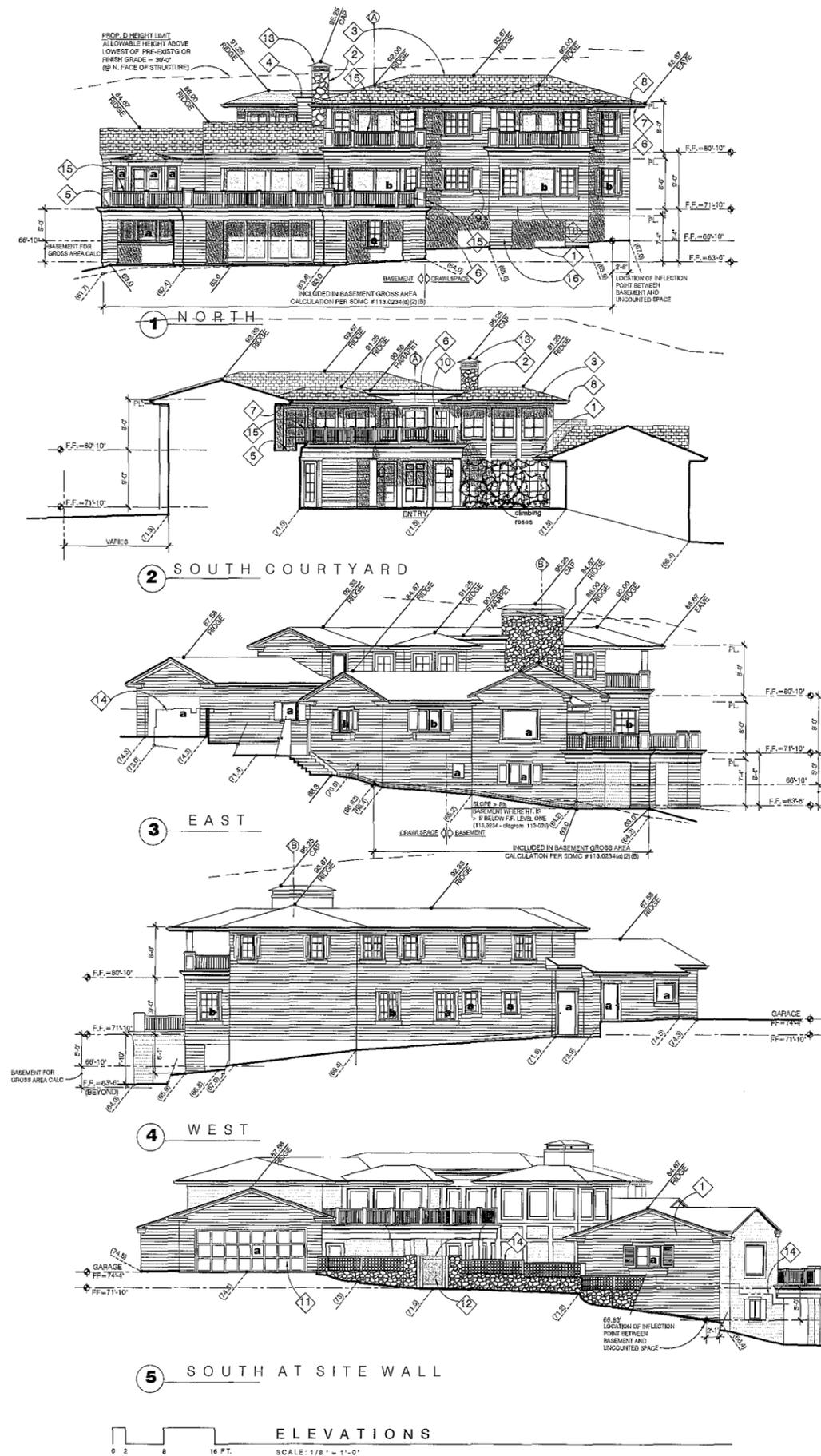
MAXIMUM ALLOWABLE OVERALL STRUCTURE HEIGHT:
(HIGHEST GRADE WITHIN 5 FT. OF STRUCTURE)-(LOWEST GRADE WITHIN 5 FT. OF STRUCTURE)
= 74.5' @ B - 60.5' @ A > 10' ; ADD 10'
MAXIMUM ALLOWABLE STRUCTURE HEIGHT = 90 FT + 10 FT = 40 FT

METHOD B-OVERALL STRUCTURAL HEIGHT MEASUREMENT: (SDMO 113.270 (a)(2)(B))
(HIGHEST FT OF BLDG @ 'C'=95.25')-(LOWEST FIN. GRADE @ 'A'= 60.50') = 34.85 FT.



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349880
Arthofer Residence



NOTES

- PROPOSED STRUCTURE SHALL OBSERVE PROPOSITION 13 30 FT. HEIGHT LIMIT AND S.D.M.C. SECTION 01.021 HEIGHT LIMIT.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 10 FT. ABOVE GRADE. (ORD. 119334B)
- FINISH FLOOR ELEVATION IS TAKEN AS TOP SURFACE OF FLOOR FINISH MATERIAL AND MAY BE INDICATED ON THIS DRAWING AS 100'-0" OR 100.00'
- EQUVALENT TO SURVEYORS ELEVATION OF 71'-10" OR 71.83'
- CONTRACTOR SHALL VERIFY TOP OF SLAB OR FLOOR FRAMING ELEVATION BY ORDER TO PROVIDE CORRECT FINISH FLOOR ELEVATION FOR SURFACES INDICATED BY ARCHITECT AND/OR INTERIOR DESIGNER PRIOR TO START OF CONSTRUCTION.

KEYNOTES

- EXTERIOR WALLS: SHIP-LAP SIDING - PAINT FINISH - COLOR WHITE
- CHIMNEY: STONE VENEER IN TYPE, COLOR & PATTERN BY ARCHITECT
- ROOF: CLASS A ASSEMBLY HEAVY ASPHALT SHINGLES - COLOR BY ARCHITECT 4:12 PITCH
- FLAT ROOF: CLASS A ASSEMBLY 5-PLY, WOODFIBER INSUL. ROOFING w/ STONE BALLAST
- EXTERIOR DECK: MUD SET STONE TILES OVER W.P. MEMBRANE
- RAILS & TRIM: WOOD - PAINTED - WHITE
- SOFFITS: WOOD TAG BOARDS - COLOR WHITE
- GUTTERS: ALUMINUM PROFILE PER ARCHITECT. MFRS WHITE FINISH
- SHUTTERS: WOOD - PAINTED - BLACK
- WINDOWS & DOORS: CUSTOM WOOD UNITS w/ CLEAR, LOW E, INSUL. UNITS TEMPERED GLASS ALL DOORS TEMPERED GLASS WINDOWS AS SCHEDULED EXTERIOR COLOR - WHITE
- GARAGE DOORS: CUSTOM WOOD SECTIONAL DOOR - COLOR WHITE
- GATES: WOOD - PAINT FINISH - WHITE
- CHIMNEY CAP: ALUMINUM - MFR COLOR - BY ARCHITECT
- SITE WALL: 6 FT MAXIMUM HEIGHT LOWER TRAIL & PLASTERS: STONE CLAD CALU WALL PATTERN TO MATCH RESIDENCE UPPER HALF: WOOD GRID PATTERN BY ARCHITECT - 75% OPEN COLOR-WHITE
- DECK RAILING: 3'-6" HEIGHT ABV. DECK WOOD WITH PAINT FINISH - COLOR WHITE
- EXT. FOUNDATION WALL: EXTERIOR CEMENT PLASTER - COLOR BY ARCHITECT

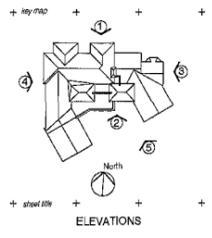
SYMBOLS

- LINE OF PRE-EXISTING GRADE PRE-EXISTING SPOT ELEVATION
- LINE OF PRE-EXISTING GRADE TO REMAIN PRE-EXISTING SPOT ELEVATION
- LINE OF PROPOSED GRADE PROPOSED SPOT ELEVATION
- PROPOSED SPOT ELEVATION @ STRUCTURAL ELEMENT
- a** NEW WINDOW or DOOR IN EXISTING ROUGH OPENING. NO WALL DEMOLITION REQUIRED
- b** NEW WINDOW or DOOR IN EXISTING WALL DEMOLITION REQUIRED
- (no mark) ALL OTHER WINDOWS and DOORS ARE IN NEW (PROPOSED) WALLS

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 445 Marine View Ave
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Arthofer Residence
 1890 Viking Way
 La Jolla, CA 92037

Completion: 11-25-2013
 Submittal One: 12-20-2013
 Submittal Two: 02-25-2014



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 Arthofer Residence



Arthofer Residence
1880 Viking Way
La Jolla, CA 92037

Complete/Issue 11-25-2013
Submittal One 12-20-2013
Submittal Two 09-29-2014
Submittal Three 01-12-2015

NOTES

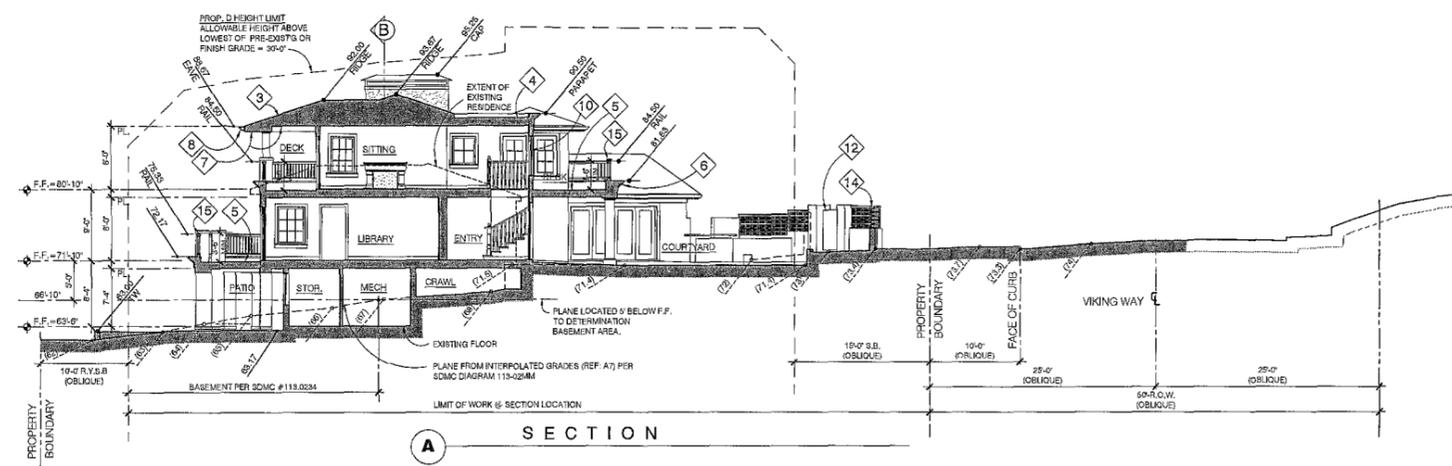
1. PROPOSED STRUCTURE SHALL OBSERVE PROPOSITION 13 HEIGHT LIMIT AND S.D.M.C. SECTION 101.0214 HEIGHT LIMIT.
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT. ABOVE GRADE. (S.D.M.C. 113.0418)
3. FINISH FLOOR ELEVATION IS TAKEN AS TOP SURFACE OF FLOOR FINISH MATERIAL AND MAY BE INDICATED ON THIS DRAWING AS 100'-0" OR 100.00'
4. CONTRACTOR SHALL VERIFY TOP OF SLAB OR FLOOR FRAMING ELEVATION IN ORDER TO PROVIDE CORRECT FINISH FLOOR ELEVATION FOR SURFACES INDICATED BY ARCHITECT AND / OR INTERIOR DESIGNER PRIOR TO START OF CONSTRUCTION.

KEYNOTES

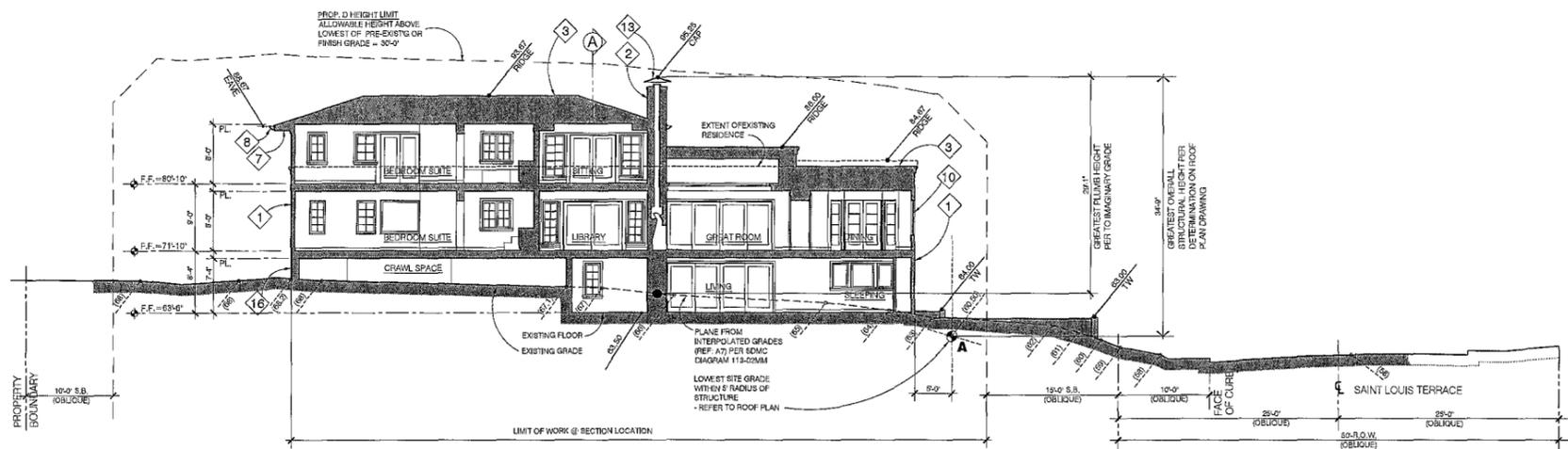
- 1 EXTERIOR WALL: SHIPLAP SIDING - PAINT FINISH - COLOR WHITE
- 2 CHIMNEY: STONE VENEER IN TYPE, COLOR & PATTERN BY ARCHITECT
- 3 ROOF: CLASS A ASSEMBLY, HEAVY ASPHALT SHINGLES - COLOR BY ARCHITECT 4:12 PITCH
- 4 FLAT ROOF: CLASS A ASSEMBLY 3-PLY, MODIFIED BIT./S.U. ROOFING w/ STONE BALLAST
- 5 EXTERIOR DECK: WOOD SET STONE TILES OVER W.P. MEMBRANE.
- 6 SAWS & TRIM: WOOD - PAINTED - WHITE
- 7 SOFFITS: WOOD, 1/2" BOARDS - COLOR WHITE
- 8 SHUTTERS: ALUMINUM, PROFILE PER ARCHITECT, MFRS WHITE FINISH
- 9 SHUTTERS: WOOD - PAINTED - BLACK
- 10 WINDOWS & DOORS: CUSTOM WOOD UNITS w/ CLEAR, LOW E, INSUL UNITS TEMPERED GLASS ALL DOORS TEMPERED GLASS WINDOWS AS SCHEDULED EXTERIOR COLOR - WHITE
- 11 GARAGE DOORS: CUSTOM WOOD SECTIONAL DOOR - COLOR WHITE
- 12 GATES: WOOD - PAINT FINISH - WHITE
- 13 CHIMNEY CAP: ALUMINUM - BRN COLOR - BY ARCHITECT
- 14 SITE WALL: 6 FT MAXIMUM HEIGHT LOWER HALF: PLASTER STONE CLAD CALU WALL PATTERN TO MATCH RESIDENCE UPPER HALF: WOOD GRID PATTERN BY ARCHITECT - 75% OPEN COLOR: WHITE
- 15 DECK RAILINGS: 3/4" HEIGHT ABV. DECK WOOD WITH PAINT FINISH - COLOR WHITE
- 16 EXT. FOUNDATION WALL: EXTERIOR CEMENT PLASTER - COLOR BY ARCHITECT

SYMBOLS

- LINE OF PRE-EXISTING GRADE
 - PRE-EXISTING SPOT ELEVATION
 - LINE OF PRE-EXISTING GRADE TO REMAIN
 - PRE-EXISTING SPOT ELEVATION
 - LINE OF PROPOSED GRADE
 - PROPOSED SPOT ELEVATION
 - PROPOSED SPOT ELEVATION @ STRUCTURAL ELEMENT
 - PROPERTY BOUNDARY LOCATION
 - SETBACK AND/OR ENVELOPE
- NOT FOR CONSTRUCTION
 - Concept
 - Preliminary
 - Design Dev.
 - Review
 - Bid
 - Other
 - FOR CONSTRUCTION
 - Plan Check
 - Construction
 - Other

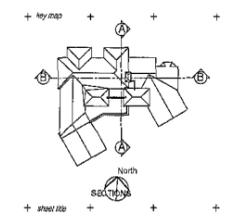


A SECTION



B SECTION

PROJECT SECTIONS
SCALE: 1/8" = 1'-0"

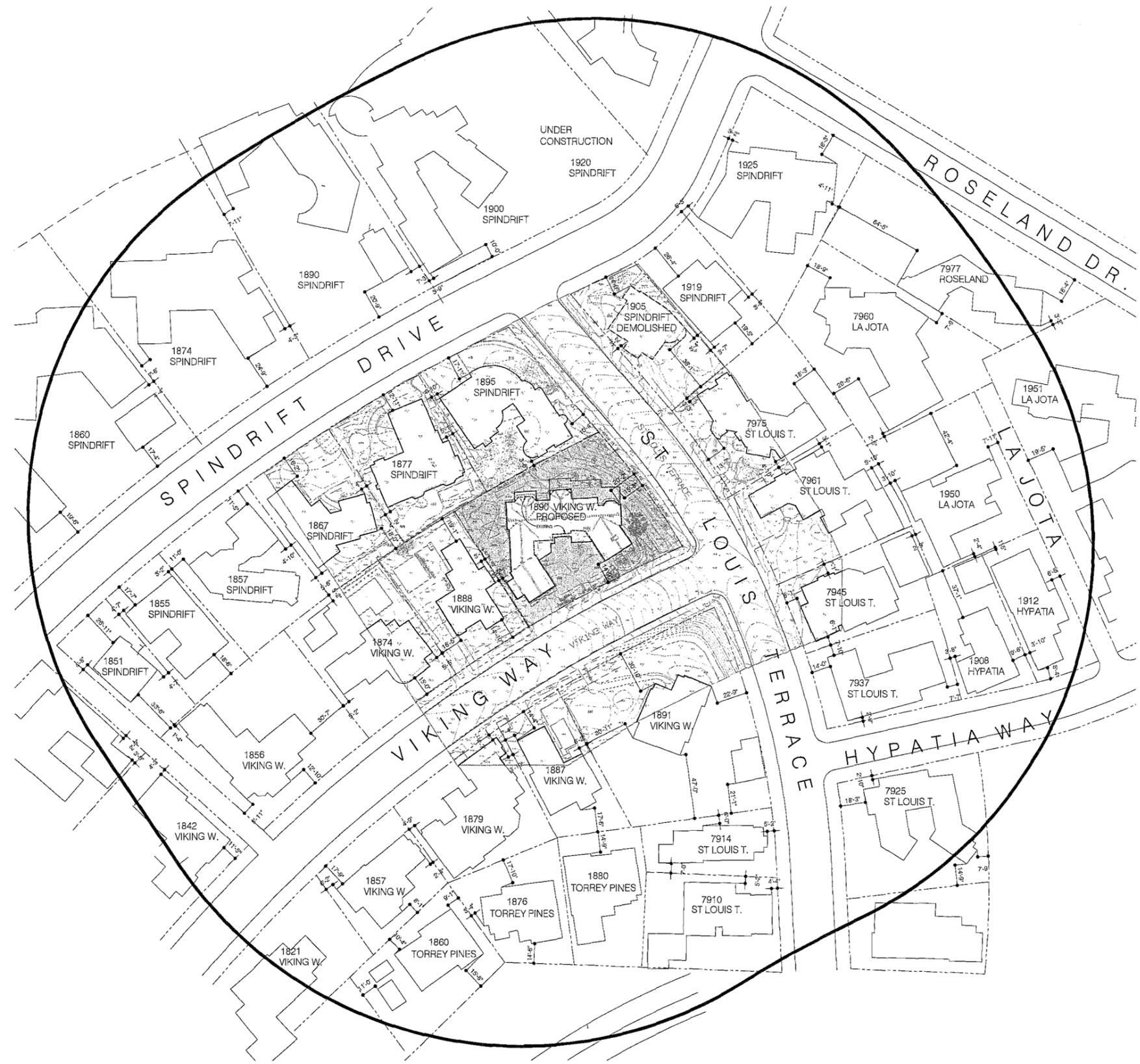


SITE NOTES

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- BUILDING SETBACKS MEASURED FROM AERIAL SURVEY DATA WHERE AVAILABLE.
- SETBACKS FROM TAKEN AERIAL SURVEY ARE INDICATED FROM FACE OF ROOF SURFACE TO ADJACENT PROPERTY BOUNDARY PER DWG. A3.
- WHERE FACE OF BUILDING DATA IS AVAILABLE, SETBACKS ARE MEASURED FROM FACE OF BUILDING TO PROPERTY BOUNDARY.

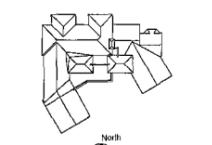


Arthofer Residence

1890 Viking Way
La Jolla, CA 92037

Completion: 11-25-2013
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Submittal Two: 09-25-2014

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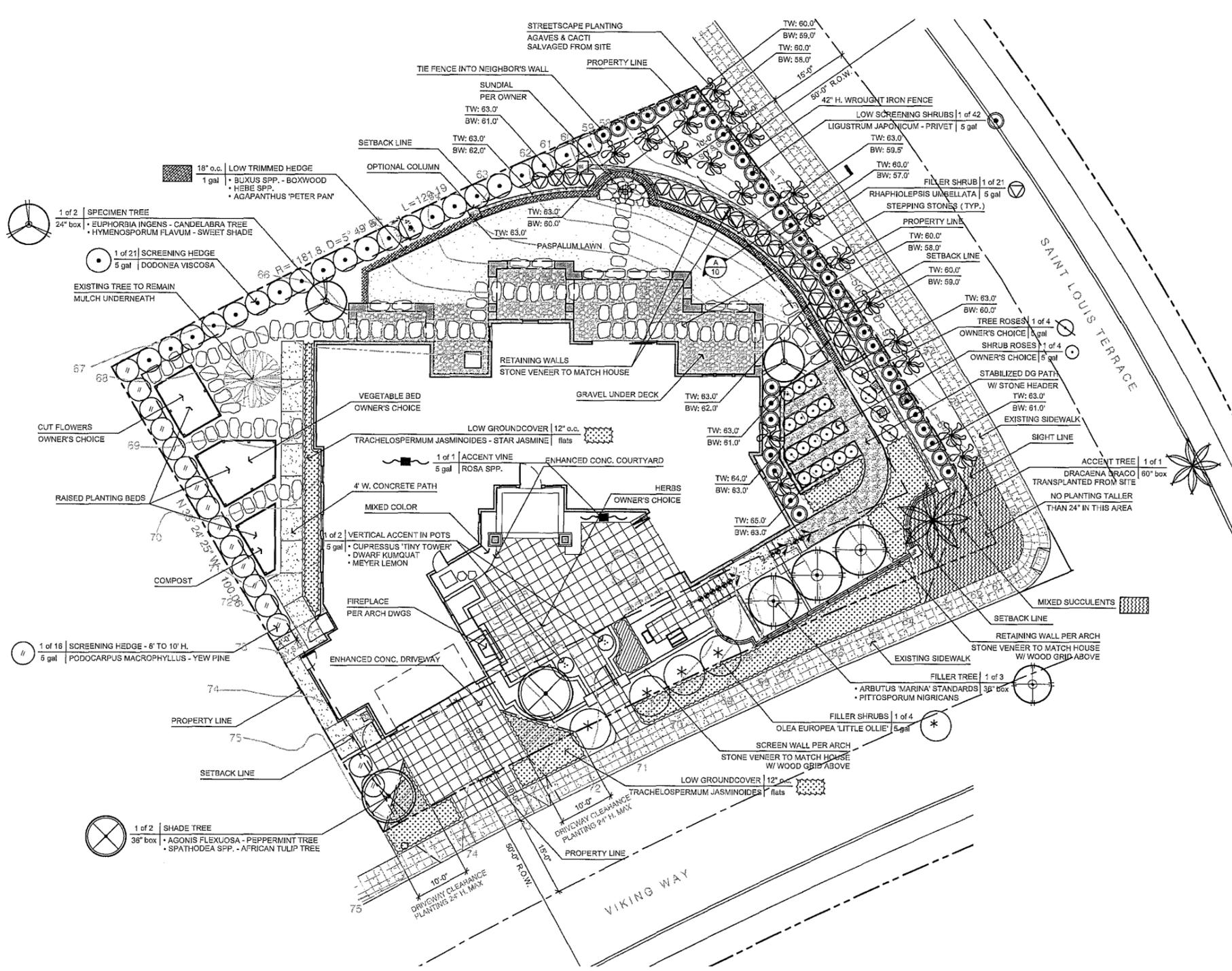


NEIGHBORHOOD SURVEY & PHOTO KEY

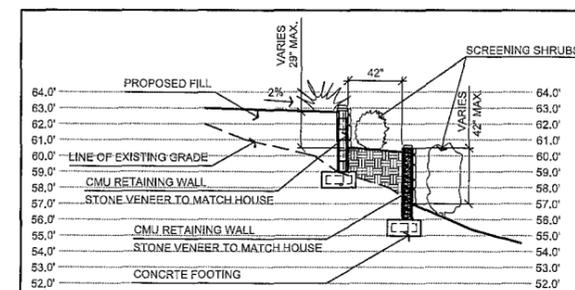
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project no. 349880
Arthofer Residence





LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



A RETAINING WALLS
1/4" = 1'-0"

CITY REQUIRED NOTES

- MINIMUM TREE SEPARATION DISTANCE:
IMPROVEMENT/ MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS, STOP SIGN 20 FEET
UNDERGROUND UTILITY LINES 5 FEET (EVERY - 10 FEET)
ABOVE GRADE UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, POLES, ETC.) 10 FEET
DRIVEWAYS 10 FEET
INTERSECTIONS 25 FEET
- ROOT BARRIERS:
TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 3 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALLS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS SHALL NOT BE WRAPPED AROUND THE ROOTBALL.
- CANOPY TREES:
ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FT. ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION OF THIS AREA SHALL BE FIVE FEET.
- MAINTENANCE NOTE:
ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- STANDARDS:
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE MOST CURRENT VERSION OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- IRRIGATION:
IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- BLUFF REVEGETATION:
PLANT MATERIAL USED ON OR ADJACENT TO COASTAL BLUFFS SHALL BE NATIVE OR NATURALIZED TO MINIMIZE THE NEED FOR IRRIGATION BEYOND INITIAL PLANT ESTABLISHMENT. PERMANENT IRRIGATION IS NOT PERMITTED ON COASTAL BLUFFS.

GENERAL NOTES

- LANDSCAPE NOTES:
- ALL SHRUB/GROUND COVER AREAS TO RECEIVE 2" DEPTH SHEEDWOOD BARK MULCH OR 2" DEPTH TUMBLE PEA GRAVEL.
 - ALL LANDSCAPE AREAS TO HAVE POSITIVE DRAINAGE TOWARDS CATCH BASINS/DRAINAGE SWALES.
 - GRADE ALL LANDSCAPE AREAS AWAY FROM BUILDINGS AT 2% FOR FINE MINIMUM.
 - AMEND ALL PLANTING AREAS IN ACCORDANCE WITH A HORTICULTURAL SOIL ANALYSIS.
 - ALL PLANTED AREAS TO RECEIVE 100% IRRIGATION COVER.
 - THE DOWNSPROUTS INTO DRAINAGE SYSTEM.
 - INSTALL 10' LENGTH OF 3/8" BARRIER ROD/QUARD ALONG FENCE OF ALL FENCING WALLS/PROPERTY LINE WITHIN 2' OF ANY TREE.
 - ROOT BARRIERS: A MINIMUM ROOT ZONE OF 40SQ FT AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET PER 142.0403(b).
 - THIS PLAN IS PRELIMINARY IN NATURE AND FOR CONCEPTUAL PURPOSES ONLY. IT IS NOT FOR CONSTRUCTION PURPOSES.
 - ALL GRADED, DISTURBED OR BROODS AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.0403 AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL 142.0410(b).
 - IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE PROPOSED IRRIGATION SYSTEM SHALL USE A COMBINATION OF SPRAY HEADS AND DRIP TUBING CONNECTED TO AUTOMATIC VALVES, A CONTROLLER, AND MOISTURE SENSING DEVICES.

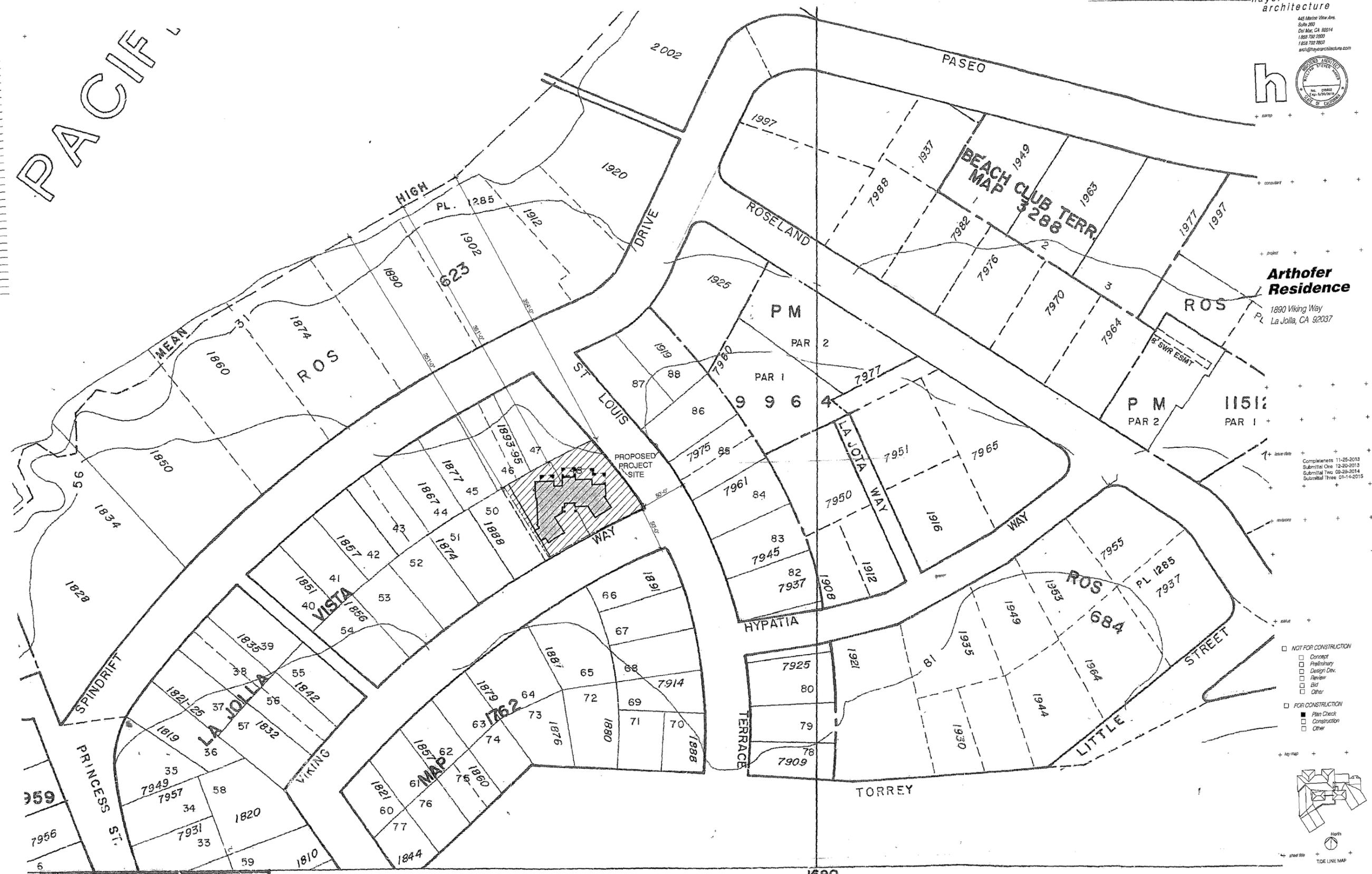
NOTE:
ALL TREES BEING REMOVED SHALL LEAVE THE ROOTS REMAINING IN THE GROUND AND SHALL NOT BE DUG UP.
ALL PROPOSED PLANTING, WITH THE EXCEPTION OF 24" & 36" BOX TREES, DO NOT REQUIRE EXCAVATION DEEPER THAN 12".

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LANDSCAPE ARCHITECTS
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<p>PREPARED BY HAYER Architecture Contact: William S. Hayer 445 Marine View Avenue, Ste. 200 Del Mar, CA 92014 (858) 782-2800 whayer@hayerarchitecture.com</p> <p>PROJECT CONSULTANTS PATTERSON ENGINEERING 4805 Cass Street, Ste. 404 San Diego, CA 92108 (619) 608-0997</p> <p>Surveyor & Civil Engineer: KAPPA SURVEYING & ENGINEERING, INC. 6707 La Mesa Boulevard La Mesa, CA 91941 (619) 455-6948</p> <p>Historic Consultant: SCOTT A. MOULDER, Attorney at Law 1173 Weing Road, Ste 145 San Diego, CA 92121 (619) 521-1700</p> <p>Building Designer: LASERTECH Floor Plans (619) 383-6225</p> <p>Landscape Architect: STONE-GROVE LANDSCAPE ARCHITECTS 200 North Cedros Avenue Solana Beach, CA 92078 (858) 345-1499</p> <p>Soils Engineer: TERRA PACIFIC CONSULTANTS, INC. 12248 World Trade Drive, Suite G San Diego, CA 92128 (619) 521-1190</p> <p>COMMUNITY PLAN La Jolla Community Plan La Jolla Street Planning District</p> <p>OVERLAY ZONES Coastal Overlay Zone (Non-Applicable, Area2) Coastal Height Limitation Overlay Zone Coastal and Beach Fronting Impact Overlay Zone Residential Transit Area Overlay Zone Transit Area Overlay Zone</p> <p>APPROVALS: Non-Hazardous Determination: P.N. 18874</p> <p>PERMITS REQUIRED: Site Development Permit</p>	<p>KEY PLAN NTS</p> <p>PROJECT ADDRESS 1850 Viking Way La Jolla, CA 92037</p> <p>PROJECT OWNER Frank and Sharon Amador</p> <p>ASSESSORS PARCEL NO.: 346-451-16-00</p> <p>LEGAL DESCRIPTION: Lot 18-20 including the westerly 40 feet of lot 80 of La Jolla Vista, in the city of San Diego, county of San Diego, state of California, according to map recorded no. 1782 filed in the office of the county recorder of San Diego county August 1, 1993.</p> <p>BENCHMARK: City of San Diego benchmark brass plug located at the southeasterly corner of Sparhawk drive and Rowland Drive. Elevation = 23.91' Datum = NGVD1929</p> <p>EXISTING BUILDING Status: Over 50% Structure Walls in Remnant</p> <p>PROJECT NO.: 3 4 9 8 8 0</p> <p>PROJECT NAME: ARTHOFER RESIDENCE</p> <p>SHEET TITLE: PRELIMINARY LANDSCAPE PLAN COASTAL DEVELOPMENT PERMIT</p> <p>SHEET NUMBER: 10 of 11</p>
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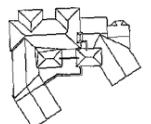
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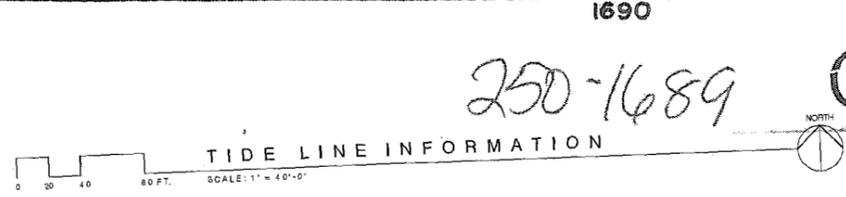
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 - Other



BASE MAP
DATE DRAWN 2-28-61
REVISED:
8-17-82 KN
9-16-82 JL
10-25-82 JL



CITY OF SAN DIEGO 12

349880
Arthofer Residence