



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: September 9, 2015

REPORT NO. HO-15-108

ATTENTION: Hearing Officer

SUBJECT: JAMAICA COURT RESIDENCES  
PROJECT NUMBER: 383126

LOCATION: 837, 839, 841, and 843 Jamaica Court

APPLICANT: Tim Barzal, FMRE, LLC

OWNER: Tim Barzal, FMRE, LLC (Attachment 14)

SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit to demolish existing residences on two lots and construct a total of four three-story residential units (two 1,105 square-foot units, one 1,814 square-foot unit, and one 1,846 square-foot unit) at 837, 839, 841, and 843 Jamaica Court in the Mission Beach Precise Plan?

Staff Recommendation: APPROVE Coastal Development Permit (CDP) No. 1340663.

Community Planning Group Recommendation: On January 20, 2015, the Mission Beach Precise Planning Board voted 9-0-0 to recommend approval of this project (Attachment 13).

Environmental Review: This project was determined to be exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines, §15332 (Infill Development Projects). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 27, 2015, the Notice of Right to Appeal (NORA) was prepared and posted, and the opportunity to appeal the determination ended August 10, 2015 (Attachment 11).

BACKGROUND/DISCUSSION

Jamaica Court Residences is an application for a Coastal Development Permit (CDP), Process Three. The project proposes to demolish an existing 1,154 square-foot two-unit residential building (Lot C) and two one-unit residential buildings, totaling 1,236 square-feet (Lot B). The

new development would consist of a total of four units (two 1,105 square-foot units, one 1,814 square-foot unit, and one 1,846 square-foot unit), located within three three-story buildings, built on both lots. The 4,800 square-foot lot area is located at 837-843 Jamaica Court. The property is surrounded by residential uses and is located between Bayside Lane and Mission Boulevard. (Attachments 1, 2, and 3)

The project site is within the Mission Beach Planned District (MBPD) R-S zone, the Airport Influence Area (Review Area 2 - SDIA), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program Area. Since the project is located in the Coastal Overlay Zone, Appealable Area, a CDP, Process 3, is required for the proposed development.

This project is being processed as part of the Sustainable Buildings Expedite Program. A requirement of this program is that 50% of the on-site energy use be provided by a roof-mounted photovoltaic system. Condition 23 of the permit (Attachment 8) requires that construction documents, illustrating this system, be submitted and approved prior to building permit issuance.

The Mission Beach Precise Plan designates this site for residential development, with a maximum density of 36 dwelling unit per acre (du/acre). The proposed project is consistent with the designated use and density identified by the Mission Beach Precise Plan. No deviations are requested as part of this project. As such, the project conforms to the intent of the MBPD-R-S zone, which is to "allow the improvement or development of the standard Mission Beach lots with little or no need for variances." The project is located within the Coastal Height Limit Overlay Zone (Proposition "D") and does not exceed the 30-foot height limit.

A historic review of the existing buildings on site was conducted by the Planning Department's Historic Review Staff. Through that review, the structures on the property were determined to not meet local historic designation criteria as individually significant resources under the adopted criteria of the Historic Resources Board (HRB).

## CONCLUSION

Staff has reviewed the application for the Coastal Development Permit and determined the project is consistent with the applicable Coastal Development Regulations, the Mission Beach Precise Plan and Local Coastal Program, and the Land Development Code. Staff recommends that the Hearing Officer approve this project.

## ALTERNATIVES

1. Approve Coastal Development Permit No. 1340663, with modifications.
2. Deny Coastal Development Permit No. 1340663, if the findings required to approve the project cannot be affirmed.



## Aerial Photo

Jamaica Court Residence – 383126  
837-843 Jamaica Court

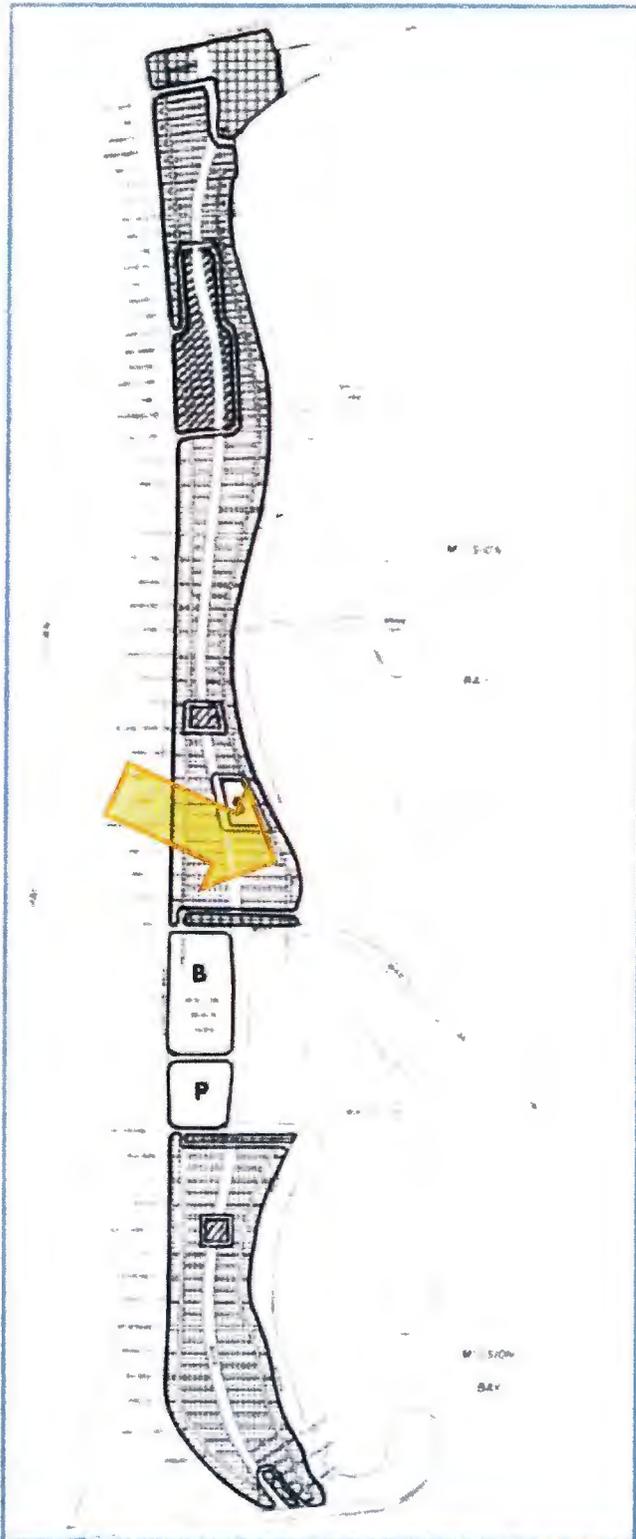




## Location Map

**Jamaica Court Residence – 383126**  
 837-843 Jamaica Court

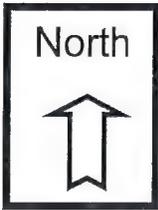




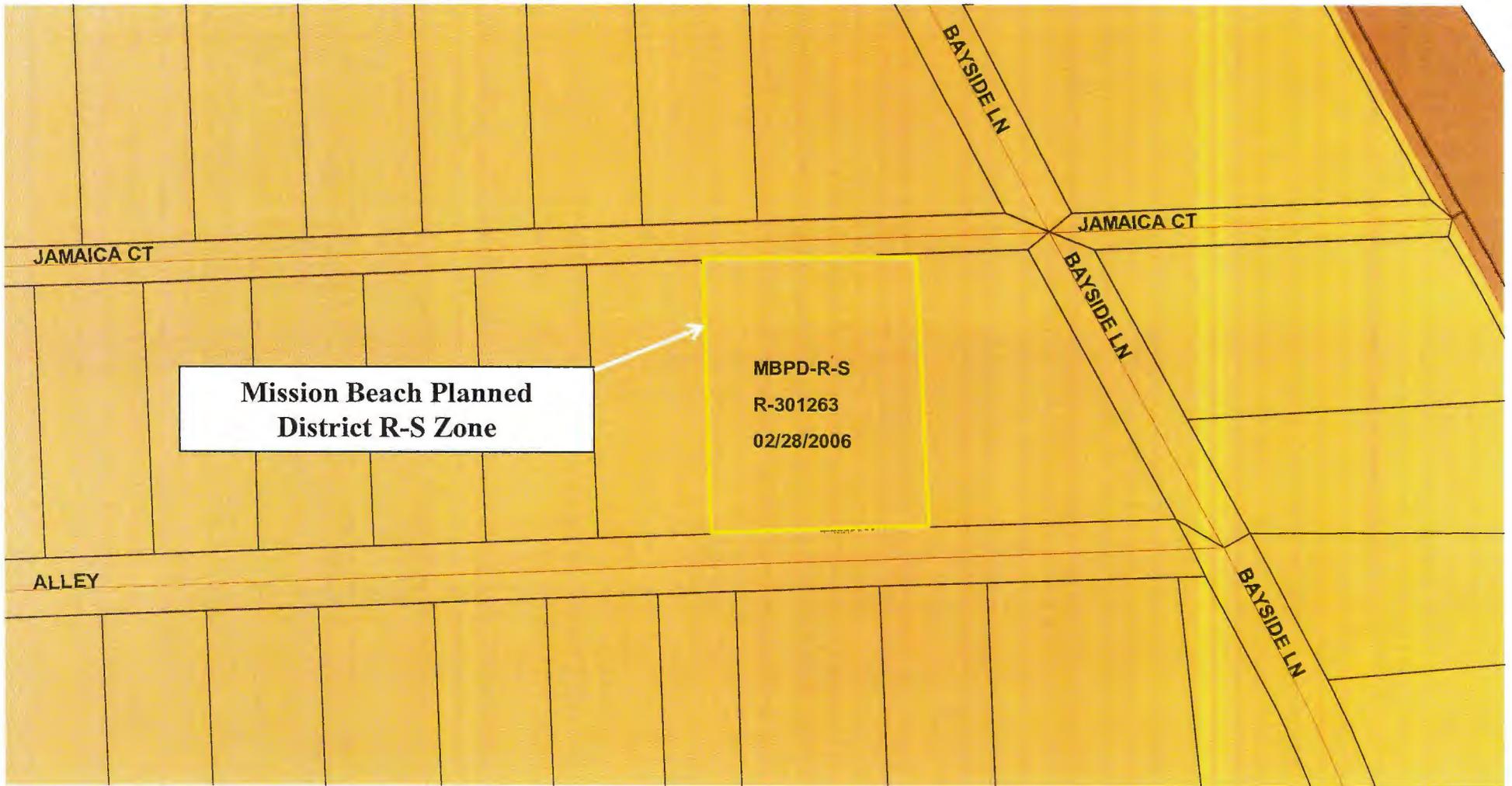
Designated as  
"Residential – 36  
units per acre"

legend

-  residential (36 units per acre)
-  neighborhood commercial
-  commercial recreation
- public facilities
-  parking
-  belmont amusement park
-  school



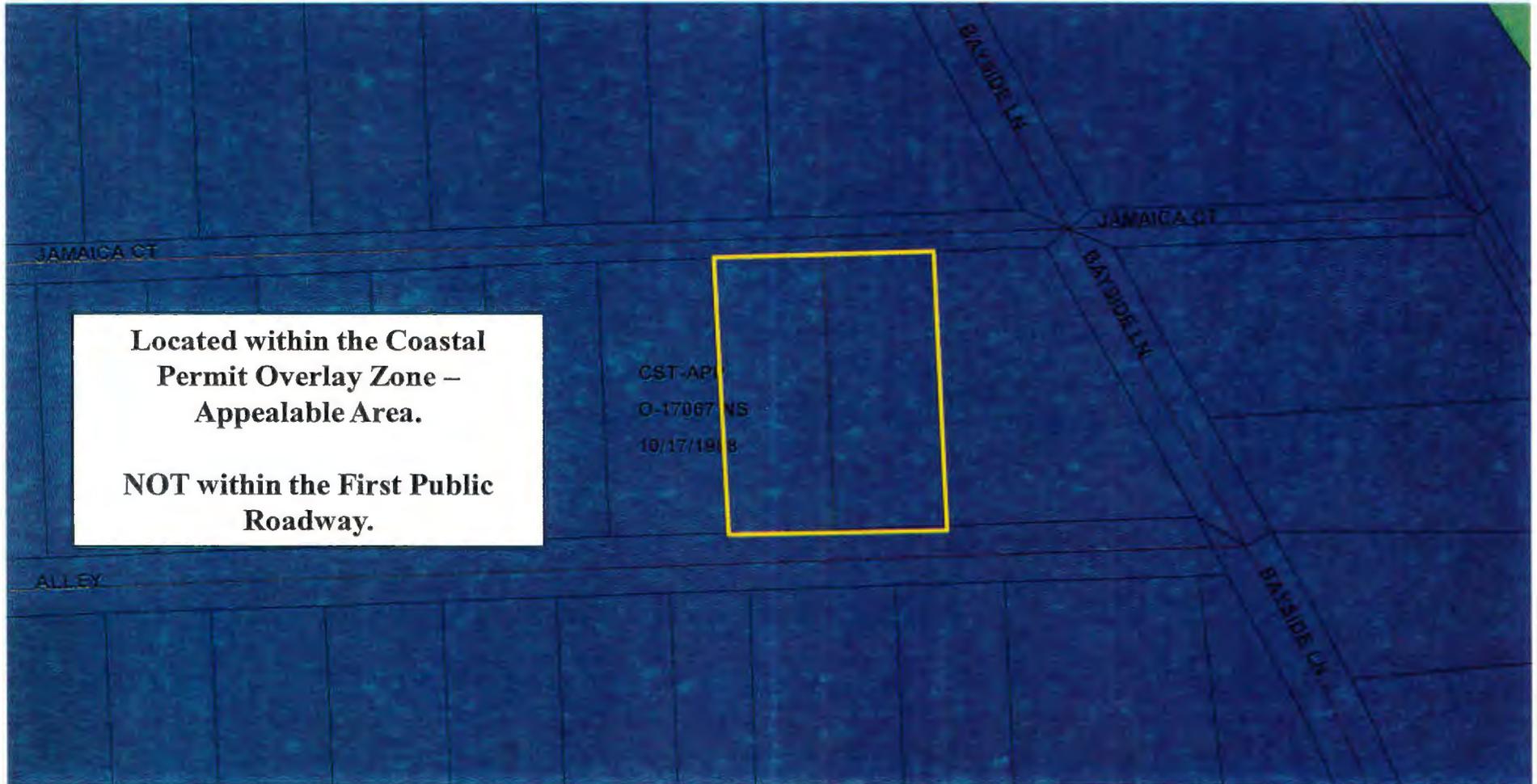
**Land Use Map**  
Jamaica Court Residence – 383126  
837-843 Jamaica Court



## Zoning Map

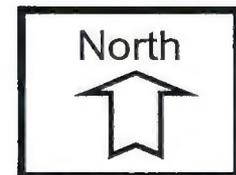
Jamaica Court Residence – 383126  
837-843 Jamaica Court





## Coastal Map

Jamaica Court Residence – 383126  
837-843 Jamaica Court



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Jamaica Court Residence	
<b>PROJECT DESCRIPTION:</b>	Demolition of an existing 1,154 square-foot two-unit residential building on Lot "C," the demolition of two one-unit residential buildings on Lot "B," and the construction of a new 3-story four-unit 5,166 square-foot residential building.	
<b>COMMUNITY PLAN AREA:</b>	Mission Beach	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit (CDP), Process 3	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential – 36 dwelling units per acre	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> MBPD-R-S zone of the Mission Beach Planned District <b>HEIGHT LIMIT:</b> 30 feet <b>LOT SIZE:</b> 4,800 square feet <b>FLOOR AREA RATIO:</b> 1.1 max <b>FRONT SETBACK:</b> 15 feet <b>SIDE SETBACK:</b> 6 feet <b>REAR SETBACK:</b> 0 <b>PARKING:</b> 8 parking spaces required / 8 parking spaces provided		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential; MBPD-R-S	Residential
<b>SOUTH:</b>	Residential; MBPD-R-S	Residential
<b>EAST:</b>	Residential; MBPD-R-S	Residential
<b>WEST:</b>	Residential; MBPD-R-S	Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On January 20, 2015, the Mission Beach Precise Planning Board voted 9-0-0 to recommend approval of the project, with the condition that the cornices be reduced in size per the PDO regulations.	

**HEARING OFFICER RESOLUTION NO. HO-XXXX  
COASTAL DEVELOPMENT PERMIT NO. 1340663  
JAMAICA COURT RESIDENCES - PROJECT NO. 383126**

WHEREAS, FMRE, LLC, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish a two-unit residential building on Lot "C" and two one-unit residential buildings on Lot "B" and the construction of three new 3-story buildings with a total of four units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1340663), on portions of a 4,800 square-foot site;

WHEREAS, the project site is located at 837, 839, 841, and 843 Jamaica Court within the Mission Beach Planned District (MBPD) R-S zone, the Airport Influence Area (Review Area 2 - SDIA), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program Area;

WHEREAS, the project site is legally described as Lot "B" and Lot "C" of Block 104 Mission Beach, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1651, filed in the Office of the County Recorder of San Diego County, December 14, 1914;

WHEREAS, on September 9, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1340663 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on July 27, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline §15332 (Infill Development Projects); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520.

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 9, 2015.

FINDINGS:

Coastal Development Permit - Section 126.0708

**A. Findings for all Coastal Development Permits**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;**

storm water runoff will not increase, the proposed project will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed project is located at 837, 839, 841, and 843 Jamaica Court, approximately 280 feet from Mission Bay and 879 feet from the Pacific Ocean. The proposed project is located in an urbanized, developed residential neighborhood in the Mission Beach Precise Plan and Local Coastal Program plan area. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The proposed development is designated for residential development, with a maximum density of 36 dwelling units per acre (du/acre) as identified in the Mission Beach Precise Plan. The project proposes four dwelling units on a 4,800 square-foot lot for a density of approximately 36 dwelling units per acre. The project is consistent with the designated use and density in the plan. Therefore, the proposed residential project conforms to the identified land use in the Mission Beach Precise Plan, the Local Coastal Program and the certified Implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The proposed project is located at 837, 839, 841, and 843 Jamaica Court, approximately 280 feet from Mission Bay and 879 feet from the Pacific Ocean. The proposed project is located in an urbanized, developed residential neighborhood in the Mission Beach Precise Plan and Local Coastal Program plan area. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

This project is not located within the first public roadway boundary area. The first public roadway in this case is Bayside Lane. This project is to the west of Bayside Lane. The California Coastal Act (CCA) states that access to the shore should not be prevented. In this case, Mission Bay would be considered the nearest shore, located approximately 280 feet to the east of this project and separated from this project by Bayside Lane, Bayside Walk, and other residential development. This development does not preclude public access to Mission Bay, nor does it preclude recreational activities from occurring in Mission Bay Park. The development is consistent with the surrounding development pattern, conforms to the Mission Beach Planned District, and conforms with the Mission Beach Precise Plan and Local Coastal Program. No deviations are requested as part of this project. Based on these considerations, the project is in conformance with the public access and public recreation policies of Chapter 3 of the CCA.

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**

**PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004968

**COASTAL DEVELOPMENT PERMIT NO. 1340663  
JAMAICA COURT RESIDENCES, PROJECT NO. 383126  
HEARING OFFICER**

This COASTAL DEVELOPMENT PERMIT (CDP) NO. 1340663 is granted by the HEARING OFFICER of the City of San Diego to FMRE, LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] §126.0708. The 0.11-acre site is located at 837-843 Jamaica Court in the Mission Beach Planned District R-S zone of the Mission Beach Precise Plan, Airport Influence Area (Review Area 2 - SDIA), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. The project site is legally described as: Lot "B" and Lot "C" of Block 104 Mission Beach, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1651, filed in the Office of the County Recorder of San Diego County, December 14, 1914.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a two-unit residential building on Lot "C" and two one-unit residential buildings on Lot "B" and the construction of three new 3-story buildings with a total of four units described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 9, 2015, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing 1,154 square-foot two-unit residential building on Lot "C," the demolition of two one-unit residential buildings on Lot "B," and the construction of three new 3-story four-unit 5,166 square-foot residential buildings;

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to,

20. The Owners/Permittees shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

21. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owners/Permittees shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

**PLANNING/DESIGN REQUIREMENTS:**

22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

23. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS:**

25. Owner/Permittee shall maintain a minimum of 8 off-street automobile parking spaces (8 provided) shall be permanently maintained on the property within the approximate locations shown on the Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

**GEOLOGY REQUIREMENTS:**

26. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

APPROVED by the Hearing Officer of the City of San Diego on September 9, 2015 and HO-XXXX.

DRAFT



THE CITY OF SAN DIEGO

DATE OF NOTICE: August 25, 2015

# NOTICE OF PUBLIC HEARING HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

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<b>DATE OF HEARING:</b>	September 9, 2015
<b>TIME OF HEARING:</b>	8:30 A.M.
<b>LOCATION OF HEARING:</b>	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
<b>PROJECT TYPE:</b>	COASTAL DEVELOPMENT PERMIT, PROCESS THREE
<b>PROJECT NO:</b>	<u>383126</u>
<b>PROJECT NAME:</b>	<u>JAMAICA COURT RESIDENCES CDP</u>
<b>APPLICANT:</b>	SCOT FRONTIS, FRONTIS STUDIO
<b>COMMUNITY PLAN AREA:</b>	MISSION BEACH
<b>COUNCIL DISTRICT:</b>	2
<b>CITY PROJECT MANAGER:</b>	Alex Hempton, Development Project Manager
<b>PHONE NUMBER/E-MAIL:</b>	(619) 446-5349 / ahempton@sandiego.gov

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As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a Coastal Development Permit (CDP) to demolish existing residences on two lots and construct a total of four three-story (29'-11" tall) residential units (two 1,105 square-foot units, one 1,814 square-foot unit, and one 1,846 square-foot unit) at 837, 839, 841, and 843 Jamaica Court. The 0.1-acre site is located within the Mission Beach Planned District R-S zone and Coastal Overlay Zone (Appealable). This application was filed on October 8, 2014.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 business days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services) or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

## DEVELOPMENT SERVICES

**Project Chronology**  
**Jamaica Court Residences – Project No. 383126**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response</b>
10/8/2014	First Submittal	Project Deemed Complete		
11/20/2014	First Assessment Letter		43	
12/9/2014	Second Submittal			19
1/23/2015	Second Assessment Letter		45	
3/11/2015	Third Submittal			47
3/25/2015	Third Assessment Letter		14	
4/22/2015	Fourth Submittal			28
5/5/2015	Fourth Assessment Letter		13	
7/1/2015	Fifth Submittal			57
7/23/2015	All Issues Resolved		22	
7/27/2015	Environmental Determination -- Exemption (NORA prepared)		4	
9/9/2015	Hearing Officer - Public Hearing		44	
<b>TOTAL STAFF TIME</b>			<b>142 days</b>	
<b>TOTAL APPLICANT TIME</b>				<b>151 days</b>
<b>TOTAL PROJECT RUNNING TIME</b>			<b>293 days = 9.77 months</b>	



THE CITY OF SAN DIEGO

Date of Notice: July 27, 2015

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24004968

**PROJECT NAME/NUMBER:** JAMAICA COURT RESIDENCES /383126

**COMMUNITY PLAN AREA:** Mission Beach

**COUNCIL DISTRICT:** 2

**LOCATION:** 837 and 843 Jamaica Court, San Diego, CA 920109

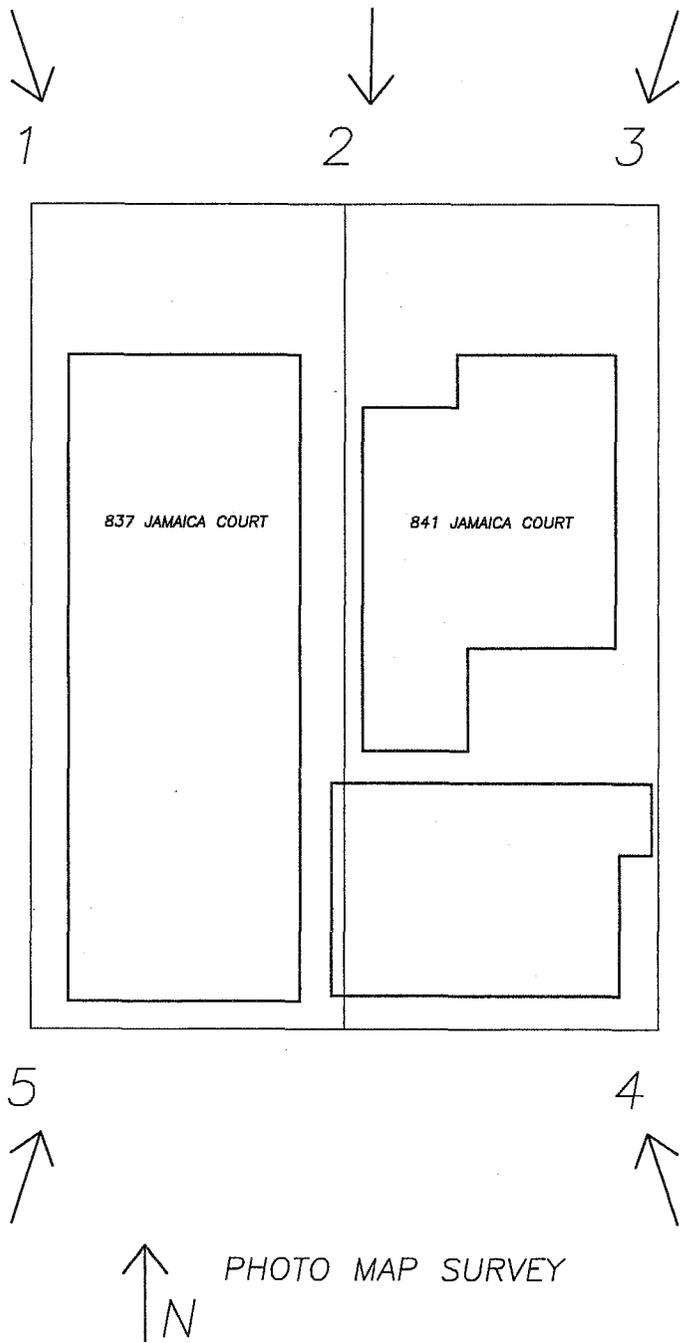
**PROJECT DESCRIPTION:** A COASTAL DEVELOPMENT PERMIT is being requested for the demolition of a 1,154-square-foot, two-unit structure and a 1,236-square-foot two existing residences on two lots and subsequent construction of four residential units (two 1,478 square foot units, one 1,687 square foot unit, and one 1,697 square foot unit) within two duplex buildings and two detached garages. The project would also construct various associated site improvements (e.g. hardscape, retaining walls, and landscaping). The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50-percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The developed 4,800-square-foot project site is located at 837 and 843 Jamaica Court. The land use designation is residential (with a maximum density of 36 dwelling units per acre) within the Mission Beach Precise Plan and Local Coastal Program area. Additionally, the project is within the MBPD-R-S zone of the Mission Beach Planned District, Airport Influence Area (Review Area 2 – San Diego International Airport), Federal Aviation Administration Part 77 Notification Area, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Appealable Area), Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332 (Infill Development Projects).

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. The development occurs within the City of San Diego jurisdiction and the project site is less than five acres (0.1-acre) and is surrounded by urban uses; the project site does not contain any habitat for endangered, rare or threatened species; the project



1

ATTACHMENT 12



2



3.0

ATTACHMENT



3.1



4

ATTACHMENT 12



5

ATTACHMENT 12



**Mission Beach Precise Planning Board**  
**Tuesday, January 20, 2015 @ 7 PM**  
**Belmont Park Coaster Terrace – Community Room**

**Minutes of Meeting**

**Board Members Present:**

Peggy Bradshaw	Bob Craig	Carole Havlat	Dennis Lynch
Mike Meyer	Bob Ondeck	John Ready	Gernot Trof
Debbie Watkins	Jenine Whittecar		

**Absent:** Tim Cruickshank; Mary Saska

**OPENING FUNCTIONS**

Meeting was called to order by Chair Debbie Watkins at 7:03 PM.

- **Approval of Minutes** for November, 2014  
The Board was dark in December 2014. Copies of the draft November 18, 2014 Minutes of Meeting were distributed and reviewed. There were no changes. The Minutes were approved by unanimous consent as written.

**ADMINISTRATIVE ITEMS**

- **Revisions to Agenda**  
Copies of the January 20, 2015 Agenda were distributed and reviewed. There were no additions or subtractions.
- **Chair's Report**
  1. **Former Mission Beach Elementary School Development Update** - The first Draft of the Master Environment Impact Report ("MEIR") by consultants for the developers was submitted to the City for review and comments. The City submitted its comments to the consultants who will have to respond to the City's comments. After that has been accomplished, a copy of the Draft MEIR will be distributed and posted on the City's website for public comment sometime in April. Those who attended the Scoping Meeting in September 2014 at the Santa Clara Recreation Center and signed in with their address will receive a copy of the draft MEIR.
  2. **Mission Beach Planned District Ordinance ("PDO")** – Former Chair Peggy Bradshaw recommended a New Year's Resolution in light of the major typo in the PDO, which will be corrected in the 9th Land Development Code Update, that Board Members read the PDO again from beginning to end to make sure there are no additional typos. A sheet will be provided to sign when Board Members have completed their review of the PDO. Typos and questions regarding regulations in the PDO can be brought up at a meeting for clarification.

**Secretary's Report**

None.

**PUBLIC COMMENT (limited to 3 minutes per speaker)**

John Ready gave an update on the Citizen's Utility Undergrounding Advisory Committee. He noted there will be one more Friday meeting and recommendations that were promulgated by the Committee will be given to the utility providers to follow.

Carole Havlat commented she was surprised to learn that 24-hour parking is allowed at Bonita Cove and suggested that parking should be limited between Memorial Day and Labor Day in accordance with the time restrictions at other lots.

Mike Meyer commented undergrounding utilities in South Mission has been delayed because the design for cable and telephone utilities is not completed, and easements are still needed from property owners to move forward.

#### REPORTS FROM GOVERNMENT OFFICIALS

- **Ernie Navarro, Community Representative for Councilmember Lori Zapf, San Diego City Council District 2**

Ernie Navarro introduced himself as the new community liaison. Mr. Navarro commented that he will handle customer service for the community and can be reached by telephone or email.

#### OTHER

##### Action Item:

- **Mission Boulevard Maintenance Assessment District ("MAD")** – Discuss and approve proposed Budget for FY 2016 (July 1, 2015 – June 30, 2016)

**Present:** Rosa Lopez, Supervising Management Analyst, Maintenance Assessment Districts, Park and Recreation; Bob Smith, Grounds Maintenance Manager, Open Space, Maintenance Assessment District

Rosa Lopez distributed the "Revised Final Draft For Distribution January 20, 2015 Summary of Fiscal Year 2016 (07-01-15 to 06-30-16) Budget" for review and comments. Ms. Lopez explained that annual assessments are collected from homeowners and businesses for the MAD, which funds the maintenance of 191 trees and planter boxes along Mission Boulevard from the southern end near the jetty north to Pacific Beach Drive, including two (2) wells on West Mission Bay Drive. The summary includes District Year End Operating Reserves and Target Reserves.

It was pointed out that the \$25,000 line item reserved for a re-ballot to expand the services rendered beyond tree maintenance was put on hold because of a lawsuit filed against the City regarding all MAD's and BID's, which has settled. A line item for lawsuit mitigation of \$6,878.78 was added. Board members commented that the line item for re-ballot should remain for now. In addition, Board members noted that some of the tree wells posed safety hazards and could be improved to beautify the area along Mission Boulevard housing these trees. One Board member suggested adding solar lighting to palm trees. Ms. Lopez noted that the current assessment is \$14.58 per year and can be increased to \$19.58 per year, the maximum allowed, to take care of improving the tree wells and adding solar lighting to palm trees, if possible, where appropriate along Mission Boulevard..

After discussion, a motion was duly made as follows:

**Motion 1 was made by Peggy Bradshaw and seconded by Gernot Trolf TO INCREASE the current assessment from \$14.58 per year to \$19.58 per year to take care of improving the tree wells for safety and beauty, and adding solar lighting to palm trees, if possible, where appropriate along Mission Boulevard.**

**VOTE For: 8 Against: 0 Abstain: 1**

**Motion passes.** [Abstain: C.Havlat]

Ms. Lopez pointed out the timeline for community approval of the budget is February 1, 2015, and asked that a vote to approve the FY16 Budget be considered.

After further discussion, the following motion was duly made to approve the FY 16 Budget:

**Motion 2 was made by Peggy Bradshaw and seconded by Mike Meyer TO APPROVE the Mission Boulevard Maintenance Assessment Budget for FY 2016 (07-01-15 to 06-30-16) with the AMENDMENT discussed above in Motion 1.**

**VOTE For: 9 Against: 0 Abstain: 0**

**Motion passes.**

#### **OTHER**

##### **Information Item:**

- **Belmont Park Construction Update:** Dan Hayden, Director of Engineering of Pacifica Enterprises, Inc.

Dan Hayden reported the Belmont Park Lease Extension matter was pulled from the January 20, 2015 City Council Agenda because more review time was needed. Mr. Hayden commented that Building 5 is wrapped up, and there are design problems with the elevator near *Draft* that he hopes will be resolved soon.

#### **BUILDING PLAN REVIEWS**

- **Jamaica Court Residences (837 and 843 Jamaica Court): Project No. 383126 – Sustainable Expedite Program (Process 3) Coastal Development Permit to demolish existing residences on two lots and construct a total of four residential units**

Present: Scott Frontis, Frontis Studio represented the property owner.

Architect Scott Frontis presented the project plans. He noted the square footage of the units has been reduced and the four units will have roof decks and individuality. Architect Frontis was asked about the location of the trash receptacles and he noted there was a designated area for them.

Plan Reviewers Dennis Lynch and Mike Meyer reviewed the project plans for the Board. Plan Reviewer Lynch pointed out City Staff reviewed this project and requested that the cornices be reduced to 1-foot high and a maximum 6-inch encroachment as provided by §1513.0364(d) (1) of the PDO regulations on the two (2) rear units and the west side yard of the front unit. He noted the revised plans indicate this still has not been done on the front unit. In addition, he pointed out the City's landscape review stated palm trees were not allowed in front yards because they were not canopy-type trees. He noted the Board has allowed palm trees in the front yard setback provided they meet position and height requirements of the PDO.

After further discussion, the following motion was duly made:

**Motion 3 was made by Dennis Lynch and seconded by Peggy Bradshaw TO APPROVE Project No. 383126 - Jamaica Court Residences (837 and 843 Jamaica Court) with the CONDITION that the cornices be reduced in size as discussed above to meet §1513.0364(d) (1) of the PDO regulations.**

**VOTE For: 9 Against: 0 Abstain: 0**

**Motion passes.**

**Board Communications**

None.

Chair Debbie Watkins noted Agenda Items need to be submitted to the Chair 10 days **PRIOR** to the scheduled Board meeting. Chair Watkins noted the **next meeting will be held on Tuesday, February 17, 2015, in the Belmont Park Community Room at 7 PM.**

**ADJOURNMENT**

Motion 4 was made by Peggy Bradshaw and seconded by Gernot Trolf TO

ADJOURN the meeting.

VOTE

For: 9

Against: 0

Abstain: 0

Motion passes.

Submitted by: Debbie Watkins, Secretary



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

Project Title: 837-843 Jamaica Ct Project No. For City Use Only: 383126

Project Address: 837-843 Jamaica Ct. San Diego CA 92109

**Part I - To be completed when property is held by individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: <u>Jamaica</u>	Project No. (For City Use Only)
-------------------------------	---------------------------------

**Part II - To be completed when property is held by a corporation or partnership**

Legal Status (please check):

Corporation  Limited Liability -or-  General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached  Yes  No

Corporate/Partnership Name (type or print):  
FMRE LLC

Owner  Tenant/Lessee

Street Address:  
2437 Marina Blvd. 3rd floor

City/State/Zip:  
San Diego CA 92116

Phone No: 619-291-2229 Fax No: 619-291-2236

Name of Corporate Officer/Partner (type or print):  
Jim Barzal

Title (type or print):  
Managing Member

Signature :  Date: 8/4/14

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

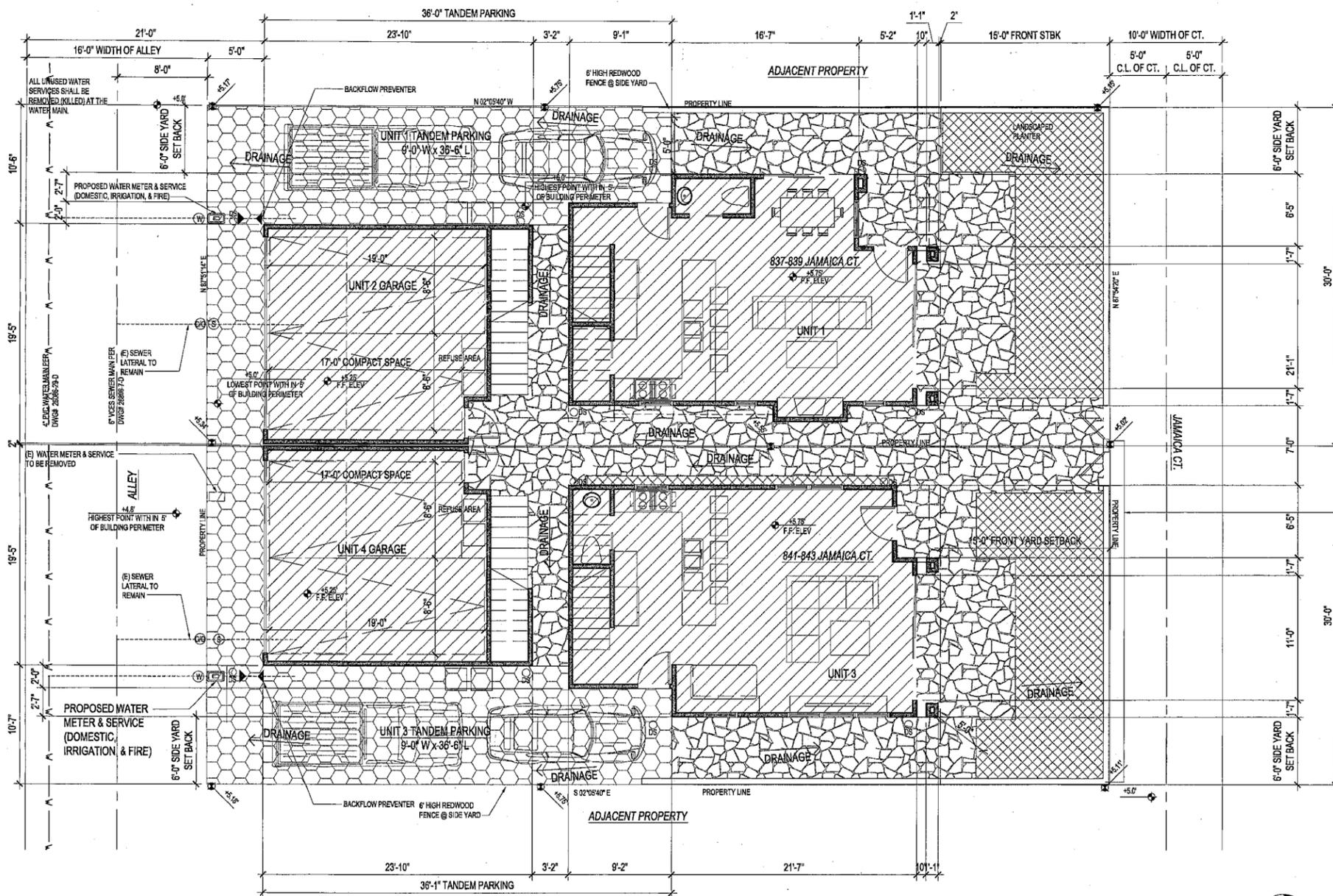
City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:



**PROPOSED SITE PLAN**  
3/16" = 1'-0"

NO STRUCTURE OR LANDSCAPE SHALL EXCEED 3' IN HEIGHT IN THE FRONT SETBACK. VIEWS TO THE BAY & OCEAN SHALL NOT BE OBSTRUCTED.

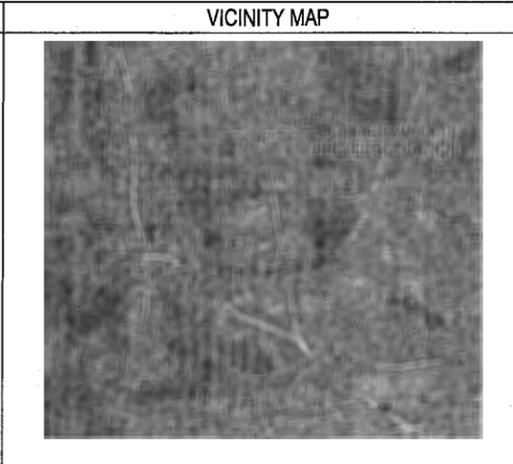
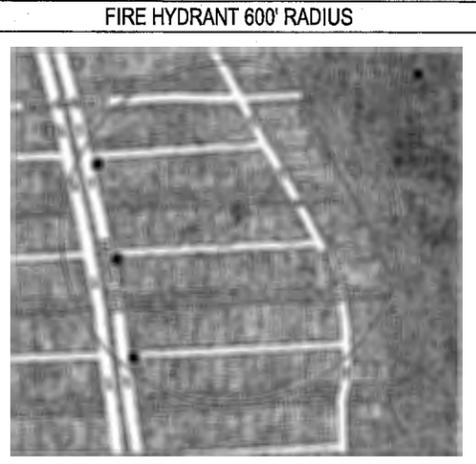
NO GRADING IS PROPOSED FOR THE SITE.

PROJECT INFORMATION	
PROJECT ADDRESS:	837, 839, 841, 843 Jamaica Ct, San Diego, CA 92109
ASSESSOR'S PARCEL NUMBER:	423-071-09-00
LEGAL DESCRIPTION:	Lot 9 & 10 of Block 104 of Mission Beach in San Diego, Map No. 1891
YEAR BUILT:	1964
BUILDING CODE:	CALIFORNIA BUILDING CODE (CBC), 2013 EDITION
OCCUPANCY TYPE:	City of San Diego Municipal Code, BFR 1-6.3
CONSTRUCTION TYPE:	TYPE V-B SPRINKLERED
NUMBER OF STORIES:	3 STORIES PROPOSED
BUILDING HEIGHT:	29'-11"
REQUIRED PERMITS:	SAN DIEGO BUILDING PERMIT
LOT AREA:	4,800 S.F.
	5,160 S.F.
ZONING INFORMATION	
ZONE:	MFRD-RS
NUMBER OF DWELLINGS:	4
NUMBER OF STORIES:	3
SETBACKS:	City of San Diego
Front:	10'-0"
Side:	6'-0"
Rear:	0'-0"
MAXIMUM ALLOWABLE HEIGHT:	30'
ACTUAL BUILDING HEIGHT:	29'-11"
MAXIMUM FLOOR AREA RATIO:	1:1
MAXIMUM LOT COVERAGE:	95%
PROPOSED LOT COVERAGE:	95%
LOT AREA:	4,800 S.F.
ALLOWABLE GFA:	4,560 S.F.
ACTUAL GFA:	5,160 S.F.
NEW AREA TOTAL:	
UNIT 1	New Total Area
837 JAMAICA CT	542.00 S.F.
FIRST FLOOR AREA:	542.00 S.F.
SECOND FLOOR AREA:	529.00 S.F.
THIRD FLOOR AREA:	381.00 S.F.
GARAGE (EXCLUDED FROM GFA):	352.00 S.F.
DECK (EXTENDING):	329.00 S.F.
UNIT 2	New Total Area
839 JAMAICA CT	528.00 S.F.
FIRST FLOOR AREA:	528.00 S.F.
SECOND FLOOR AREA:	517.00 S.F.
THIRD FLOOR AREA:	347.00 S.F.
GARAGE (EXCLUDED FROM GFA):	352.00 S.F.
DECK (EXTENDING):	329.00 S.F.
UNIT 3	New Total Area
841 JAMAICA CT	548.00 S.F.
FIRST FLOOR AREA:	548.00 S.F.
SECOND FLOOR AREA:	537.00 S.F.
THIRD FLOOR AREA:	351.00 S.F.
GARAGE (EXCLUDED FROM GFA):	352.00 S.F.
DECK (EXTENDING):	344.00 S.F.
UNIT 4	New Total Area
843 JAMAICA CT	528.00 S.F.
FIRST FLOOR AREA:	528.00 S.F.
SECOND FLOOR AREA:	517.00 S.F.
THIRD FLOOR AREA:	347.00 S.F.
GARAGE (EXCLUDED FROM GFA):	352.00 S.F.
DECK (EXTENDING):	329.00 S.F.
NEW AREA TOTAL:	1,995.0 S.F. Total Area

PARKING REQUIREMENTS				
837-843 JAMAICA CT.	UNIT 1	UNIT 2	UNIT 3	UNIT 4
REQUIRED	2 SPACES	2 SPACES	2 SPACES	2 SPACES
PROVIDED	2 SPACES	2 SPACES	2 SPACES	2 SPACES

SITE PLAN LEGEND	
	AREA OF PROPOSED BUILDING
	GRASS CRETE PER WQS
	LANDSCAPE AREA- SEE LANDSCAPE DEVELOPMENT PLAN
	STONE ENTRYWAY PAVERS
	SITE DRAINAGE PATTERN
	ODS
	DOWNSPOUT LOCATION: TO BE DISCHARGED INTO LANDSCAPED PLANTERS
	EXISTING CONTOURS
	PROPOSED CONTOURS



**SCOPE OF WORK**

COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING 1,194 SQ. FT. TWO UNIT RESIDENTIAL BUILDING (LOT C) AND TWO UNIT RESIDENTIAL BUILDINGS TOTALING 1,233 SQ. FT. (LOT B). PROPOSE TO CONSTRUCT A NEW 3 STORY 4 UNIT BUILDING, EACH BEING SEPARATE 1 UNIT RESIDENTIAL APARTMENT BUILDINGS COVERING LOTS B & C. UNIT 1 IS A 1,482 SQ. FT. APARTMENT WITH A TWO CAR GARAGE. UNITS 2 AND 4 ARE 1,105 SF WITH 2 TANDEM PARKING SPACES EACH. UNITS 3 IS A 1,494 SQ. FT. APARTMENT WITH A TWO CAR GARAGE. EACH UNIT WILL HAVE A ROOF DECK. ALSO PROPOSED IS ALL NEW LANDSCAPING. PROJECT IS TO INTEGRATE PHOTOVOLTAIC PANELS CONSISTENT WITH COUNCIL POLICY 805-14. OTHER GREEN BUILDING TECHNIQUES INCLUDE THE PLANTING OF NATIVE DROUGHT TOLERANT LANDSCAPING, EFFICIENT IRRIGATION TECHNOLOGY.

**GENERAL NOTES**

- NEAREST EXISTING BUS STOP TO PROJECT SITE IS LOCATED AT MISSION BLVD.
- PROVIDE BUILDING ADDRESS THAT IS VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER PHPS POLICY P-004 (LFC 801.4.4)
- ALL OUTDOOR LIGHTING SHALL BE SHADED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED.
- DOWN SPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE FEASIBLE.
- THERE ARE NO EXISTING OR PROPOSED EASEMENTS FOR THIS SITE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

SHEET#	SHEET TITLE	ADDITIONAL INFORMATION
A1.1	TITLE SHEET / SITE PLAN	<b>CHECK EACH APPLICABLE OVERLAY ZONE</b> <input type="checkbox"/> AIRPORT APPROACH <input type="checkbox"/> AIRPORT ENVIRONS <input type="checkbox"/> COASTAL DEVELOPMENT PERMIT <input type="checkbox"/> COASTAL HEIGHT LIMIT <input type="checkbox"/> SENSITIVE COASTAL <input type="checkbox"/> MOBILE HOME PARK <input type="checkbox"/> PARKING IMPACT <input checked="" type="checkbox"/> RESIDENTIAL TANDEM PARKING <input type="checkbox"/> TRANSIT AREA <input type="checkbox"/> URBAN VILLAGE <input type="checkbox"/> MISSION TRAILS DESIGN DISTRICT <input type="checkbox"/> CLAIREMONT MESA HEIGHT LIMIT <input type="checkbox"/> COMMUNITY PLAN IMPLEMENTATION <b>CHECK IF PROPOSED SITE IS ON OR ADJACENT TO ...</b> <input type="checkbox"/> SENSITIVE BIOLOGICAL RESOURCES <input type="checkbox"/> STEEP HILLSIDES <input type="checkbox"/> COASTAL BEACHES <input type="checkbox"/> SENSITIVE COASTAL BLUFFS <input type="checkbox"/> 100 YEAR FLOODPLAIN <input checked="" type="checkbox"/> GEOLOGICAL HAZARD CATEGORY 52
C1	TOP	
C2	LANDSCAPE DEVELOPMENT PLAN	
A2.1	FIRST LEVEL	
A2.2	SECOND LEVEL	
A2.3	THIRD LEVEL	
A2.4	ROOF LEVEL	
A3.1	EXTERIOR ELEVATIONS	
A3.2	EXTERIOR ELEVATIONS	
A4.1	BUILDING SECTIONS	

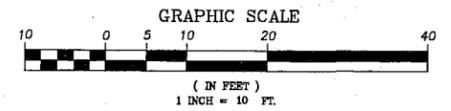
PROJECT TEAM	TITLE SHEET/SITE PLAN
<b>DESIGN:</b> FRONTIS STUDIO 830 MISSION BLVD, SUITE #2 SAN DIEGO CA 92109 CONTACT: SCOT FRONTIS PH: 619.837.2078 EMAIL: scot@frontisstudio.com	<b>TITLE SHEET/SITE PLAN</b> PREPARED BY: FRONTIS STUDIO 830 MISSION BLVD, SUITE #2 SAN DIEGO CA 92109 PH: 619.837.2078 EMAIL: info@frontis.com
<b>SURVEY:</b> SAN DIEGO LAND SURVEYING & ENGINEERING 9065 CHESAPEAKE DR., SUITE 445 SAN DIEGO CA 92123 PH: 619.555.6382 EMAIL: info@sdsla.com	
<b>APPROVALS:</b> DATE: _____ PROJECT NAME: JAMAICA CT RESIDENCES SHEET TITLE: SITE PLAN SHEET COUNT: 1 OF 11 PLS# _____	SUBMITTAL: _____ REVISION 1: _____ REVISION 2: _____ REVISION 3: _____

**EXPEDITE**

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
**FRONTIS STUDIO**  
 830 MISSION BLVD, SUITE #2  
 SAN DIEGO CA 92109  
 PH: 619.837.2078  
 EMAIL: info@frontis.com

**Jamaica Ct Residences**  
 837 / 839 / 841 / 843 Jamaica Ct.  
 San Diego Ca 92109

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 All Plans, designs, and drawings are prepared by Frontis Studio and are the property of Frontis Studio.  
 Development Plans  
 Version 7  
 (Project Manager)  
 3386947



**LEGAL DESCRIPTION:**

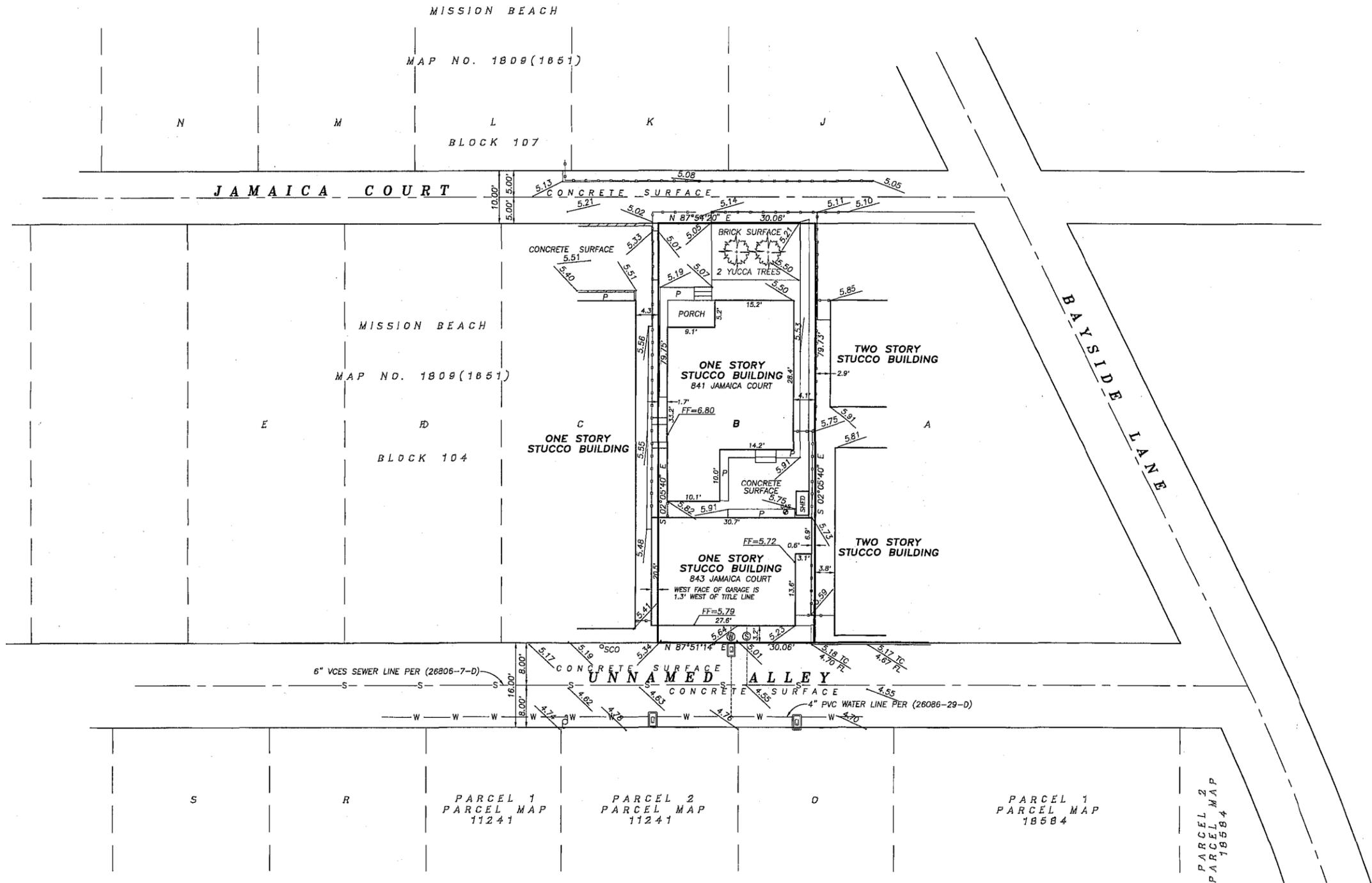
LOT "B" IN BLOCK 104 OF MISSION BEACH IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1651, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 14, 1914.

**BENCH MARK:**

CITY OF SAN DIEGO BENCH MARK: STANDARD STREET SURVEY MONUMENT ON THE EASTERLY 4 FOOT LINE AT THE INTERSECTION OF MISSION BOULEVARD AND JAMAICA COURT. ELEVATION = 4.885 M.S.L.

**LEGEND:**

- INDICATES WATER METER
- INDICATES UTILITY POLE
- INDICATES GAS VALVE/METER
- INDICATES PLANTER
- INDICATES FINISHED FLOOR
- INDICATES TOP OF CURB
- INDICATES TOP OF FLOOR LINE
- INDICATES SEWER LATERAL
- INDICATES WATER SERVICE
- INDICATES WOOD FENCE
- INDICATES WALL
- INDICATES PROPERTY LINE

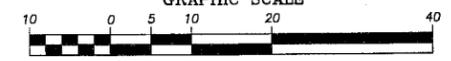


*Robert J. Bateman*  
ROBERT J. BATEMAN, P.L.S. 7046

TOPOGRAPHICAL SURVEY		
For the exclusive use of: <b>MARC CICCHETTO</b> 3365 Ibis Street San Diego, California 92103		
<b>San Diego Land Surveying &amp; Engineering, Inc.</b>		
9665 Chesapeake Drive, Suite 445, San Diego, California 92123-1354 Phone: (658) 565-8362 Fax: (658) 565-4354		
Date: 7-23-2014	Revised:	Revised:
Scale: 1"=10'	Drawn by: G.H.G.	Sheet 1 of 1 Sheet
Drawing: Jamaica Ct 841 Topo	A.P.N. 423-671-10	



GRAPHIC SCALE



( IN FEET )  
1 INCH = 10 FT.

**LEGAL DESCRIPTION:**

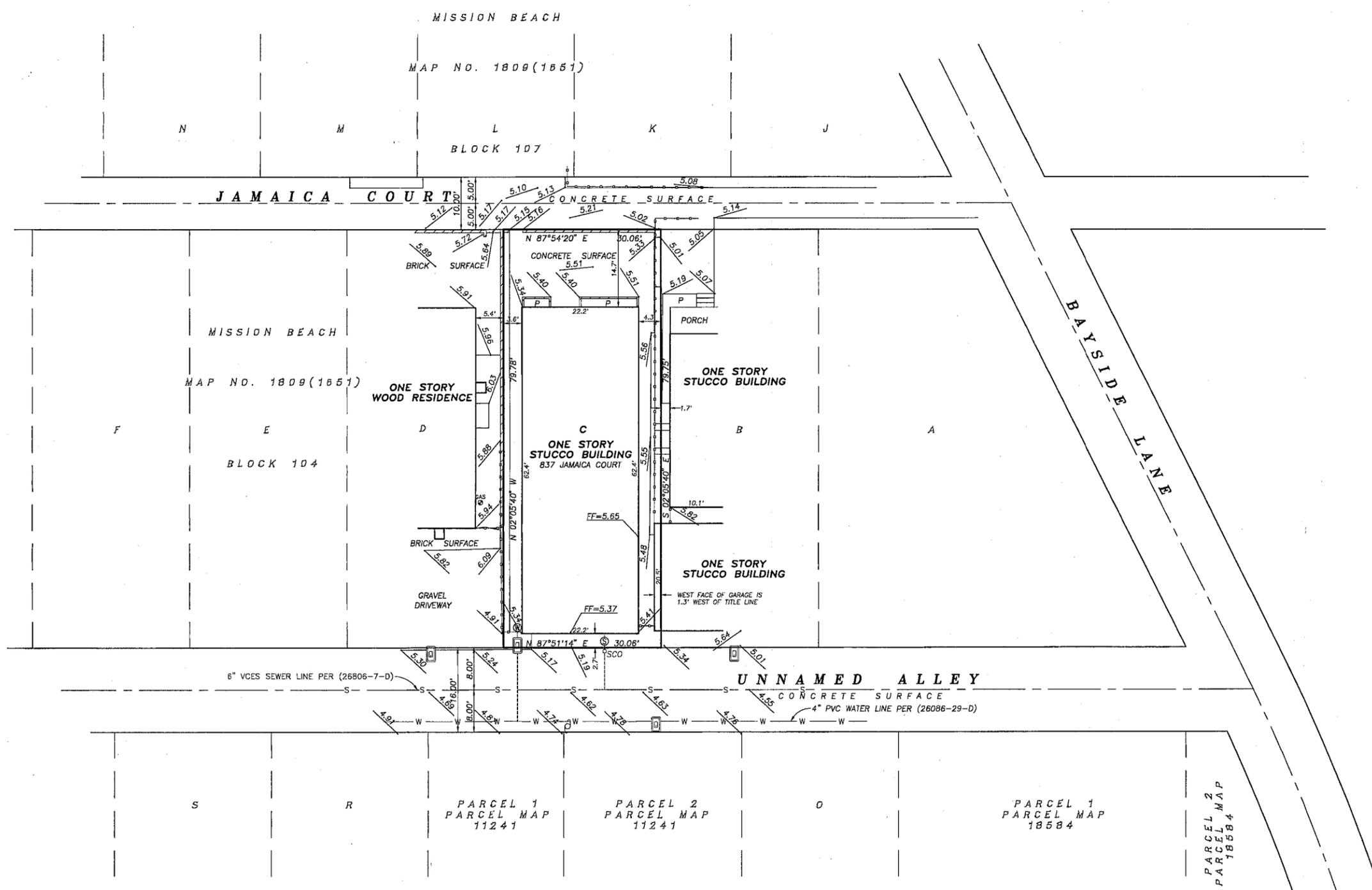
LOT "C" IN BLOCK 104 OF MISSION BEACH IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1851, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 14, 1914.

**BENCH MARK:**

CITY OF SAN DIEGO BENCH MARK:  
STANDARD STREET SURVEY MONUMENT ON THE EASTERLY 4 FOOT LINE AT THE INTERSECTION OF MISSION BOULEVARD AND JAMAICA COURT. ELEVATION = 4,885 M.S.L.

**LEGEND:**

- INDICATES WATER METER
- INDICATES UTILITY POLE
- INDICATES GAS VALVE/METER
- INDICATES PLANTER
- INDICATES FINISHED FLOOR
- INDICATES SEWER LATERAL
- INDICATES WATER SERVICE
- INDICATES WOOD FENCE
- INDICATES WALL
- INDICATES PROPERTY LINE



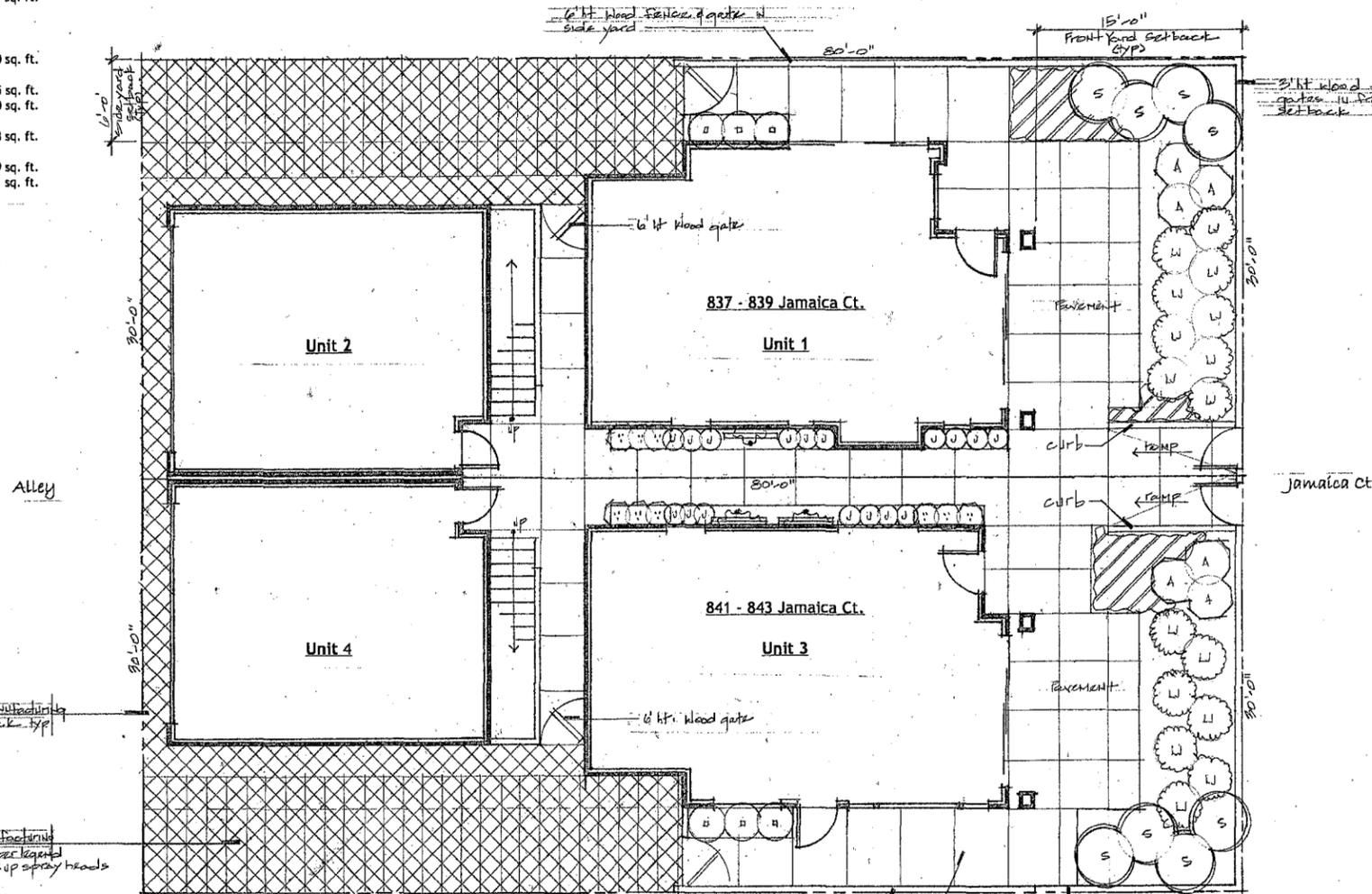
TOPOGRAPHICAL SURVEY		
For the exclusive use of: <b>MARC CICHETTO</b> 3365 Ibis Street San Diego, California 92103		
<b>San Diego Land Surveying &amp; Engineering, Inc.</b>		
9885 Chesapeake Drive, Suite 445, San Diego, California 92123-1854 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 7-23-2014	Revised:	Revised:
Scale: 1"=10'	Drawn by: G.H.G.	Sheet 1 of 1 Sheet
Drawing: Jamaica Ct 837 Topo		A.P.N. 423-671-09

**YARD AREA (837-839 Jamaica Ct.)**

Front Yard (set-back) Area	450 sq. ft.
Planting Area Required (50%)	225 sq. ft.
Planting Area Provided	229 sq. ft.
Side Yard (set-back) Area	378 sq. ft.
Planting Area Required (50%)	189 sq. ft.
Planting Area Provided	251 sq. ft.

**YARD AREA (841-843 Jamaica Ct.)**

Front Yard (set-back) Area	450 sq. ft.
Planting Area Required (50%)	225 sq. ft.
Planting Area Provided	230 sq. ft.
Side Yard (set-back) Area	378 sq. ft.
Planting Area Required (50%)	189 sq. ft.
Planting Area Provided	251 sq. ft.



**PLANTING NOTES**

- PREPARE ALL PLANTING AREAS AS FOLLOWS, ALL QUANTITIES ARE BASED ON 1000 SQ. FT.: SCARIFY EXISTING SOIL TO A DEPTH OF 8"; REMOVE ALL DEBRIS, WEEDS AND ROCKS LARGER THAN 2" DIA.; APPLY 2 CU. YDS. NITRIFIED WOOD SHAVINGS, 150 LBS. AGRICULTURAL GYPSUM, 10 LBS. IRON SULPHATE, 50 LBS. TRI-C HUMATE AND 15 LBS. 6-20-20 FERTILIZER (EXCLUDING SLOPES TO BE HYDROSEEDED OR SLOPES EQUAL TO OR GREATER THAN 2:1). ROTOTILL IN TWO DIRECTION ALL AMENDMENTS INTO THE TOP 8" OF EXISTING SOIL, RAKE TO GRADE AND IRRIGATE THOROUGHLY.
- FERTILIZER/SOIL AMENDMENT TREATMENT ABOVE IS FOR BIDDING PURPOSES ONLY. SOILS TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE. ADJUSTMENTS (PLUS OR MINUS) MAY BE NECESSARY. CONTRACTOR SHALL OBTAIN A SOILS ANALYSIS TEST WITH AT LEAST TWO SOILS SAMPLES OF FINAL ROUGH GRADE AT SITE AND SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR INTERPRETATION AND RECOMMENDATIONS. COST OF LAB TEST SHALL BE PAID BY OWNER. SOIL TEST KITS ARE AVAILABLE BY CALLING 1-800-927-3311. CONTRACTOR TO SUBMIT MODIFIED SOIL PREPARATION BID TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO STARTING SOIL PREPARATION WORK.
- GROUND COVERS INCLUDING BERMUDA GRASS AND OTHER NOXIOUS WEEDS SHALL BE SPRAYED W/ 'ROUND-UP'. WAIT TWO WEEKS MIN. AND SPRAY A SECOND TIME IF NECESSARY AND THEN REMOVE. WEED EXADIATION SHALL TAKE PLACE DURING ACTIVE GROWING PERIOD (JUNE-OCTOBER) AND SHALL BE COMPLETED AT LEAST 10 DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING AND/OR IRRIGATION WORK.
- EVERY PLANT DELIVERED TO THE JOB SITE SHALL BE IN GOOD CONDITION, WITH A LEGIBLE PLANT TAG IDENTIFYING THE BOTANICAL GENUS, SPECIES AND VARIETY OF PLANT FOR VERIFICATION BY LANDSCAPE ARCHITECT WITH APPROVED PLANS AND OR PLANT LEGEND. PLANT MATERIAL WITHOUT TAGS WILL BE REJECTED AND RETURNED TO THE NURSERY AT THE CONTRACTORS COST.
- GROUND COVER IS NOT SHOWN UNDER SHRUBS AND SMALLER TREES FOR GRAPHIC CLARITY. GROUND COVERS ARE TO CONTINUE TO DRIPLINE (AT TIME OF PLANTING) OF ALL SHRUBS AND TO BASE OF TRUNK ON TREES.
- ALL PLANTING AREAS EXCLUDING LAWN AREAS AND SLOPES SHALL BE COVERED WITH A 2" LAYER OF 1 1/2" MINUS FOREST FINES FROM AGRISERVICE, 760-295-6255.
- ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHOWING SIGNS OF DEFOLIATION, LEANING, CHLOROSIS (YELLOWING), OR SETTLING PRIOR TO, OR AT THE END OF MAINTENANCE SHALL BE REPLACED BY THE CONTRACTOR, INCLUDING GROUND COVER.
- LANDSCAPE CONTRACTOR TO PROVIDE GUARANTEES NORMAL TO THE TRADE FOR LONGEVITY OF ALL PLANT MATERIALS; THREE MONTHS FOR SHRUBS AND GROUND COVERS, AND ONE YEAR FOR TREES.
- LANDSCAPE CONTRACTOR TO PROVIDE A 90 DAY MAINTENANCE PERIOD AFTER COMPLETION OF JOB.
- CONTRACTOR TO INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS.
- PLANT QUANTITIES ARE FOR CONVENIENCE PURPOSES ONLY. CONTRACTOR TO VERIFY PLANT COUNTS AND SUPPLY QUANTITY OF PLANT MATERIAL TO IMPLEMENT THE INTENT OF THE DESIGN AS SHOWN.
- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE CURRENT UNIFORM BUILDING CODE.
- OWNER TO LOCATE AND STAKE PROPERTY LINES. NO DEMOLITION, CONSTRUCTION OR PLANTING SHALL OCCUR OUTSIDE OF PROPERTY LINE WITHOUT PROPERTY OWNERS CONSENT.
- CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ANY AND ALL WORK WITHIN THE RIGHT OF WAY (OUTSIDE THE PROPERTY LINES).
- CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ALL CONSTRUCTION WITHIN THE BOUNDS OF THE PROPERTY.
- OWNER TO INSURE NEWLY INSTALLED PLANT MATERIAL RECEIVES ENOUGH WATER TO MAINTAIN GOOD HEALTH AND VIGOROUS GROWTH WITHOUT OVER WATERING. PLANT MATERIAL SHALL BE WATERED PERIODICALLY AT SUCH TIME JUST PRIOR TO LEAF WILTING. ADJUST WATERING TO ACCOMMODATE FOR VARIATIONS IN RAIN FALL, TEMPERATURE, SOLAR EXPOSURE AND SEASONAL CHANGES FOR EACH PLANT.
- OWNER TO MAINTAIN AND KEEP CLEAR ALL DRAINAGE SWALES AND INSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS TOWARDS SUBSURFACE DRAINAGE OR OFF SITE STORM DRAIN SYSTEMS AT A MINIMUM OF 2% SLOPE.
- MAINTENANCE OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- ALL PLANTING AREAS PREVIOUSLY COVERED WITH CONCRETE, ASPHALT OR ANY OTHER IMPERVIOUS MATERIAL SHALL BE RIPPED TO A DEPTH OF 12", AMENDED AS PER APPROVED SOILS REPORT AND TREATED WITH SARVON SOIL TREATMENT PER MANUFACTURERS SPECIFICATIONS.
- IF ANY EXISTING HARDSCAPE (ON OR OFF-SITE) INDICATED ON THE APPROVED PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED OR REPLACED IN KIND WITH EQUIVALENT SIZE PER THE APPROVED PLANS.
- SHRUBS SHALL BE LOCATED AND MAINTAINED TO PRESERVE A CLEAR ZONE OF AT LEAST TEN FEET FROM FIRE HYDRANTS, UTILITY POLES, AND ABOVE GROUND UTILITY STRUCTURES SUCH AS TRANSFORMER ENCLOSURES.
- POST FERTILIZATION FOR ALL PLANTING AREAS (16-6-8) SHALL OCCUR 45 DAYS AFTER PLANTING AT A RATE OF 15 LBS. PER 1,000 SQ. FT.

**PLANT LEGEND**

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE
<b>SHRUBS</b>				
A	Agave attenuata	Soft Tail Agave	6	15 Gal.
W	Callistemon viminalis 'Little John'	Little John Bottle Brush	16	5 Gal.
Q	Carissa macrocarpa 'Boxwood Beauty'	Boxwood Beauty Natal Plum	6	5 Gal.
J	Juncus patens	California Gray Rush	17	1 Gal.
Y	Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo	9	5 Gal.
S	Salvia leucantha 'Santa Barbara'	Santa Barbara Mexican Sage	8	15 Gal.
<b>VINES/ESPALIER</b>				
C	Macfadyena unguis-cati	Cats Claw (on rack)	3	15 Gal.
<b>GROUND COVERS</b>				
D	Dymondia margaretae	NCN	3" OC	Flats
E	Echeveria 'Ruffles'	Ruffles Echeveria	12 OC	6" Pots

**GENERAL NOTES**

- ALL LANDSCAPING SHALL BE DROUGHT-TOLERANT AND NATIVE OR NON-INVASIVE PLANT SPECIES. ALL PROPOSED LANDSCAPING IN THE REQUIRED YARD AREA FOR JAMAICA COURT SHALL BE MAINTAINED AT A HEIGHT OF THREE FEET OR LOWER (INCLUDING RAISED PLANTERS) TO PRESERVE PUBLIC VIEWS.
- MATURE TREES WITHIN THE REQUIRED YARD ALONG JAMAICA COURT SHALL BE MAINTAINED SO THAT BRANCHES DO NOT ENCRoACH BELOW A HEIGHT OF 8 FEET ABOVE THE FINISH SURFACE OR FINISHED GRADE, AS MEASURED AT THE TRUNK.
- ANY TREE PROPOSED IN THE REQUIRED YARD AREA ALONG JAMAICA COURT SHALL BE LIMITED TO NO MORE THAN TWO TREES WHICH SHALL BE PLANTED WITHIN 4 AND 5 FEET OF THE PRIMARY STRUCTURE.

24. THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT AS A PORTION OF THE SUPPORT DOCUMENTATION AS PROVIDED IN THE CONTRACT DOCUMENTS. GARNER WICHMANN DEAN LANDSCAPE ARCHITECTS, INC. IS NOT RESPONSIBLE FOR VERIFYING THE INFORMATION AS SUPPLIED, AND THE INCLUSION ON THESE DRAWINGS DOES NOT IMPLY ANY WARRANTY OF THE ACCURACY OR CORRECTNESS OF THE SUPPORT DOCUMENTATION. THE SUPPORT INFORMATION IS SHOWN FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK.

25. **NOTICE TO OWNER/CLIENT:** ANY CHANGE TO THE EXISTING SITE INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING, CONSTRUCTION OR PLANTING MAY DISRUPT CURRENT SURFACE DRAINAGE PATTERNS. IT MAY BE NECESSARY TO ADJUST OR INSTALL SURFACE AND/OR SUBSURFACE DRAINAGE SYSTEMS NOT ILLUSTRATED ON PLAN.

26. **NOTICE TO GENERAL CONTRACTOR:** PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL COORDINATE ALL 110 ELECTRICAL SERVICE FOR IRRIGATION CONTROLLER.



**LANDSCAPE DEVELOPMENT PLAN**

Scale: 3/16" = 1'-0"



JAMAICA COURT RESIDENCES

837 - 843 JAMAICA COURT  
San Diego, CA 92109-7724

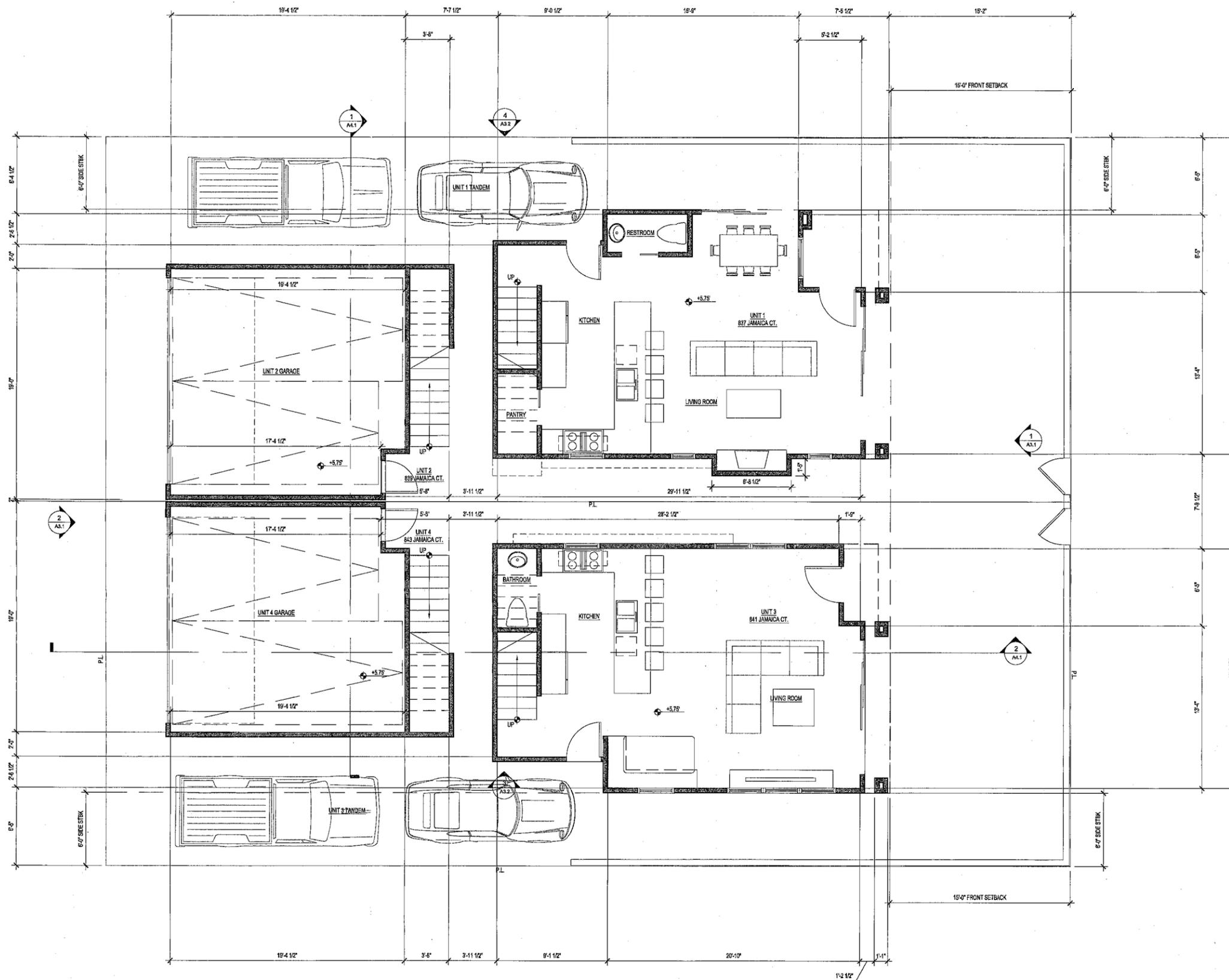
Landscape Architects

G W D

GARNER WICHMANN DEAN  
1405 VIA DEL NORTE, SUITE D, LAYOLA, CA 92027-9501  
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Date	10.18.14
Drawn By	SJM
Checked By	SW
Job #	14100

Sheet  
OF ONE



**FIRST LEVEL**  
1/4" = 1'-0"



**FIRST LEVEL**

**PREPARED BY:**

Frontis Studio  
630 MISSOURI ST. #2  
SAN DIEGO CA 92109  
P. 655.837.2078

**LEGAL DESCRIPTION:**

Lot 18 & 19 Block 104 of Mission Beach in San Diego Map 1651

APN:  
423-671-09 / 423-671-10

**PROJECT NAME:**  
JAMAICA CT RESIDENCES

**SHEET TITLE:**  
FIRST LEVEL

**SHEET COUNT:**  
5 OF 11

**PTS #:**

**SUBMITTAL:**  
09.05.14

**REVISION 1:**

**REVISION 2:**

**REVISION 3:**

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Date: 08.05.14

Job:

Title:

FIRST LEVEL

Sheet:

A2.1

DATE	REVISIONS
	1
	2
	3
	4
	5
	6
	7
	8
	9
	10

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San Diego Ca 92109



**SECOND LEVEL**

1/4" = 1'-0"



**SECOND LEVEL**

**PREPARED BY:**

Frontis Studio  
 830 MISSOURI ST. #2  
 SAN DIEGO CA 92109  
 P: 858.837.2078

**LEGAL DESCRIPTION:**

Lot 'B' & 'C' Block 104 of Mission Beach in San Diego Map 1651

**APN:**

423-671-09 / 423-671-10

**PROJECT NAME:**

JAMAICA CT RESIDENCES

**SHEET TITLE:**

SECOND LEVEL

**SHEET COUNT:**

8 OF 11

**PTS #:**

**SUBMITTAL:**

08.05.14

**REVISION 1:**

**REVISION 2:**

**REVISION 3:**

REVISIONS	DATE

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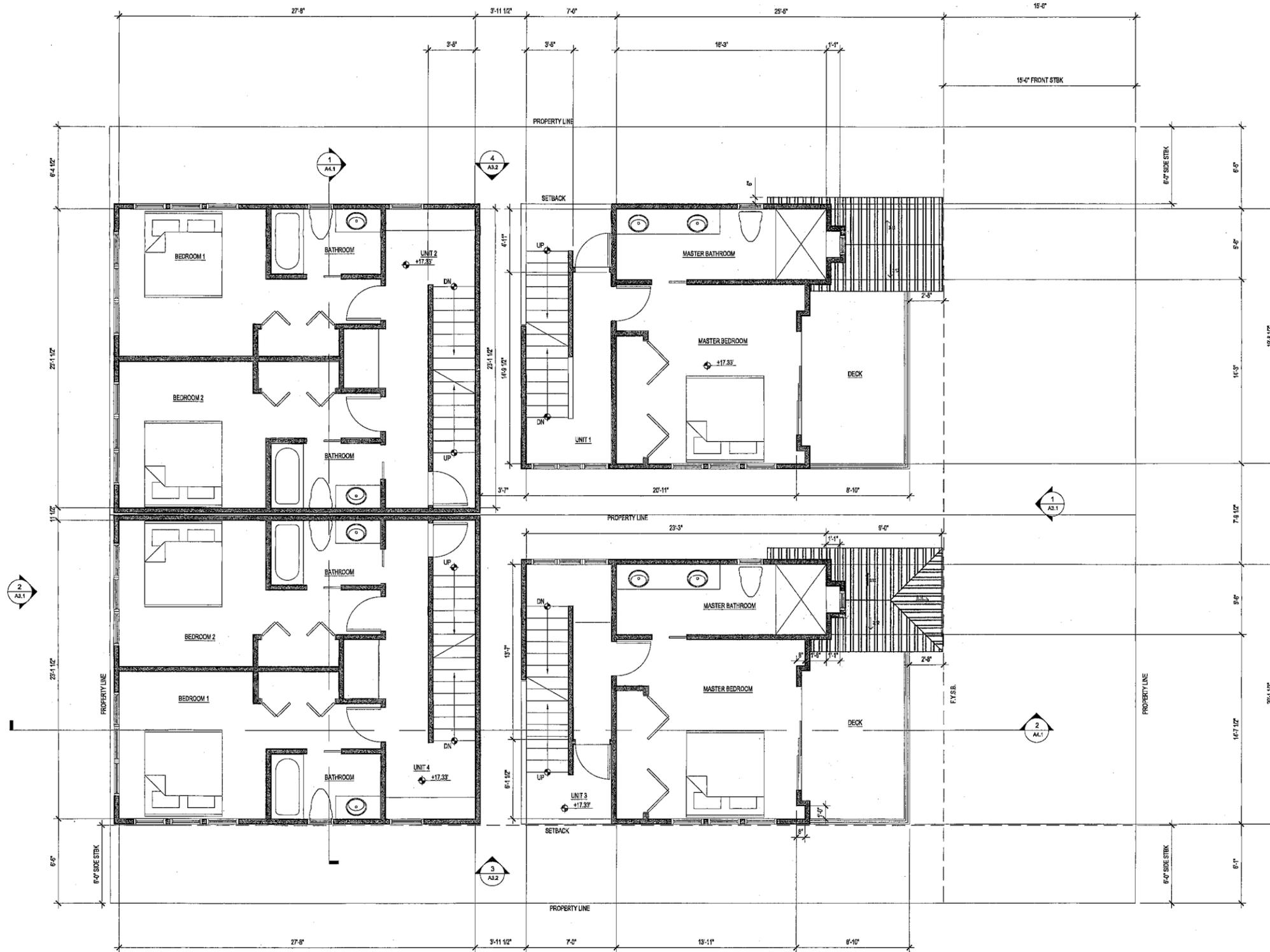
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Title:

SECOND LEVEL

Sheet:

**A2.2**



**THIRD LEVEL**  
1/4" = 1'-0"



**THIRD LEVEL**

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APN:  
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PROJECT NAME:  
JAMAICA CT RESIDENCES

SHEET TITLE:  
3RD LEVEL

SHEET COUNT:  
7 OF 11

PTS #:

SUBMITTAL:  
08.05.14

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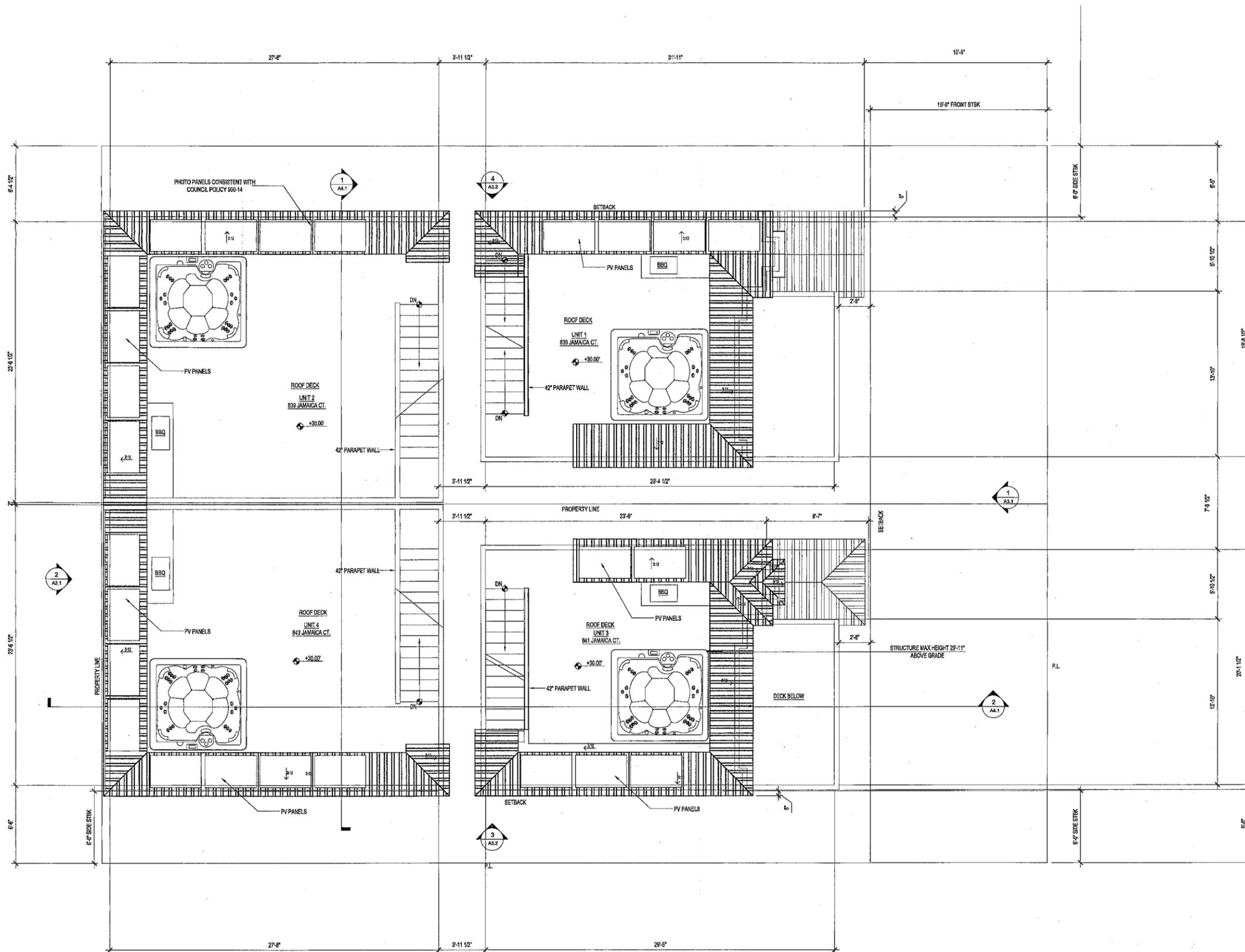
Date: 08.05.14

Job: THIRD LEVEL

Title:

Sheet:

**A2.3**



**ROOF LEVEL**  
1/4" = 1'-0"



**ROOF LEVEL**

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P: 619.837.2276

**LEGAL DESCRIPTION:**  
Lot 19 & 10 Block 104 of Mission Beach in San Diego Map 1651

**APN:**  
423-671-09/423-671-10

**PROJECT NAME:**  
JAMAICA CT RESIDENCES

**SHEET TITLE:**  
ROOF LEVEL

**SHEET COUNT:**  
8 OF 11

**PTS #:**

**SUBMITAL:**  
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Job: ROOF LEVEL

Title:

Sheet:

**A2.4**



**FRONT (NORTH) ELEVATION**  
1/4" = 1'-0"

1



**BACK (SOUTH) ELEVATION**  
1/4" = 1'-0"

2

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**LEGAL DESCRIPTION:**  
Lot: 'B' & 'C' Block 104 of Mission Beach in San Diego Map 1651

**APN:**  
423-071-09 / 423-071-10

**PROJECT NAME:**  
JAMAICA CT RESIDENCES

**SHEET TITLE:**  
ELEVATIONS

**SHEET COUNT:**  
9 OF 11

**PTS #:**

**SUBMITTAL:**  
08.05.14

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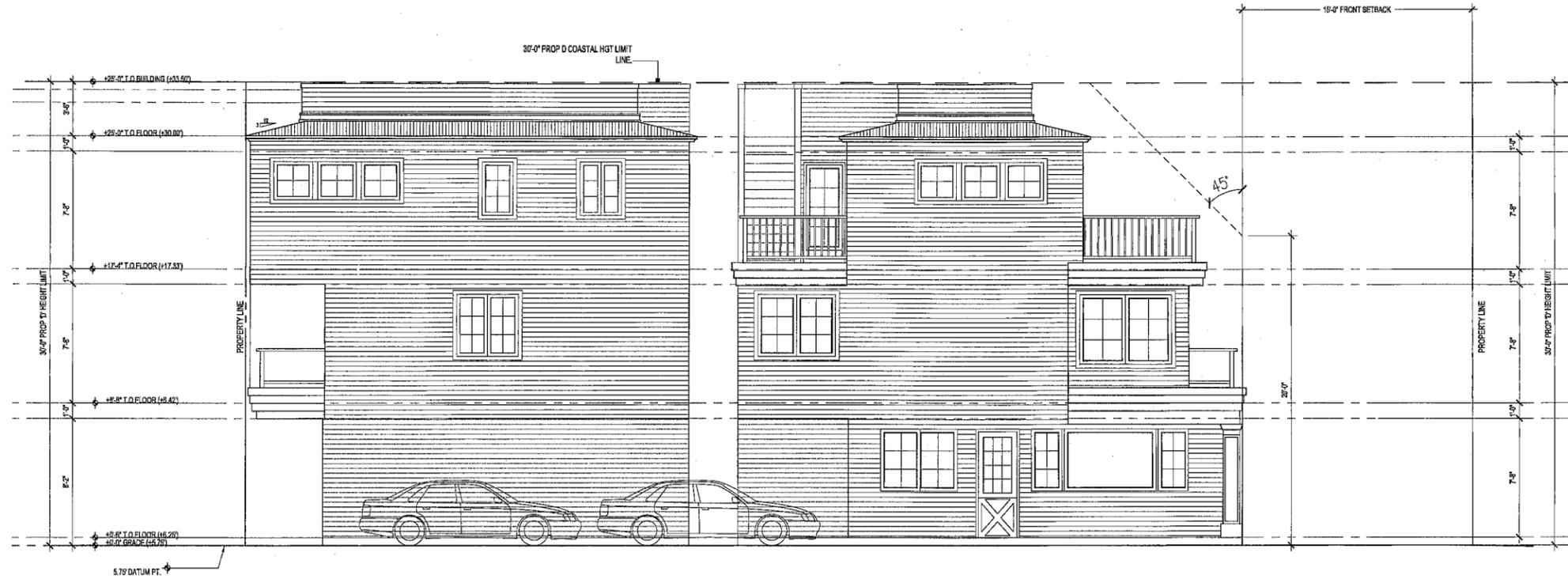
Date: 08.05.14

Job: SOUTH AND NORTH ELEVATIONS

Title: SOUTH AND NORTH ELEVATIONS

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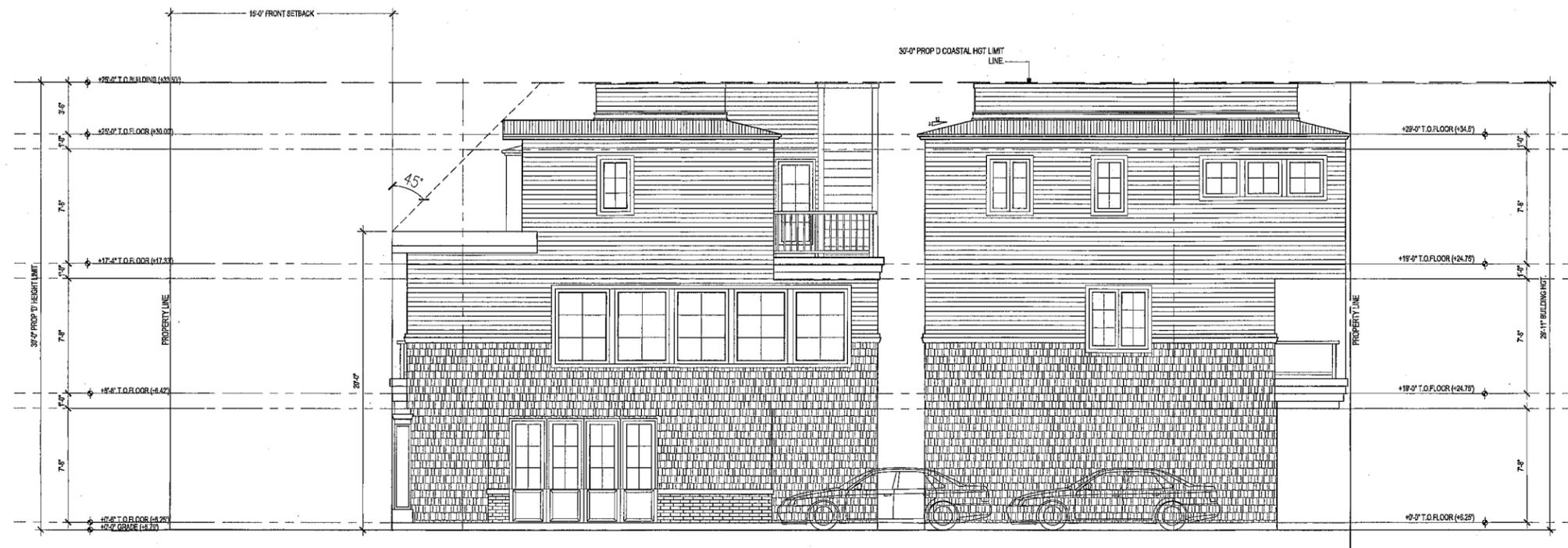
A3.1



**EAST ELEVATION**

1/4" = 1'-0"

3



**WEST ELEVATION**

1/4" = 1'-0"

4

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APN:  
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PROJECT NAME:  
JAMAICA CT RESIDENCES

SHEET TITLE:  
ELEVATIONS

SHEET COUNT:  
10 OF 11

PTS #:

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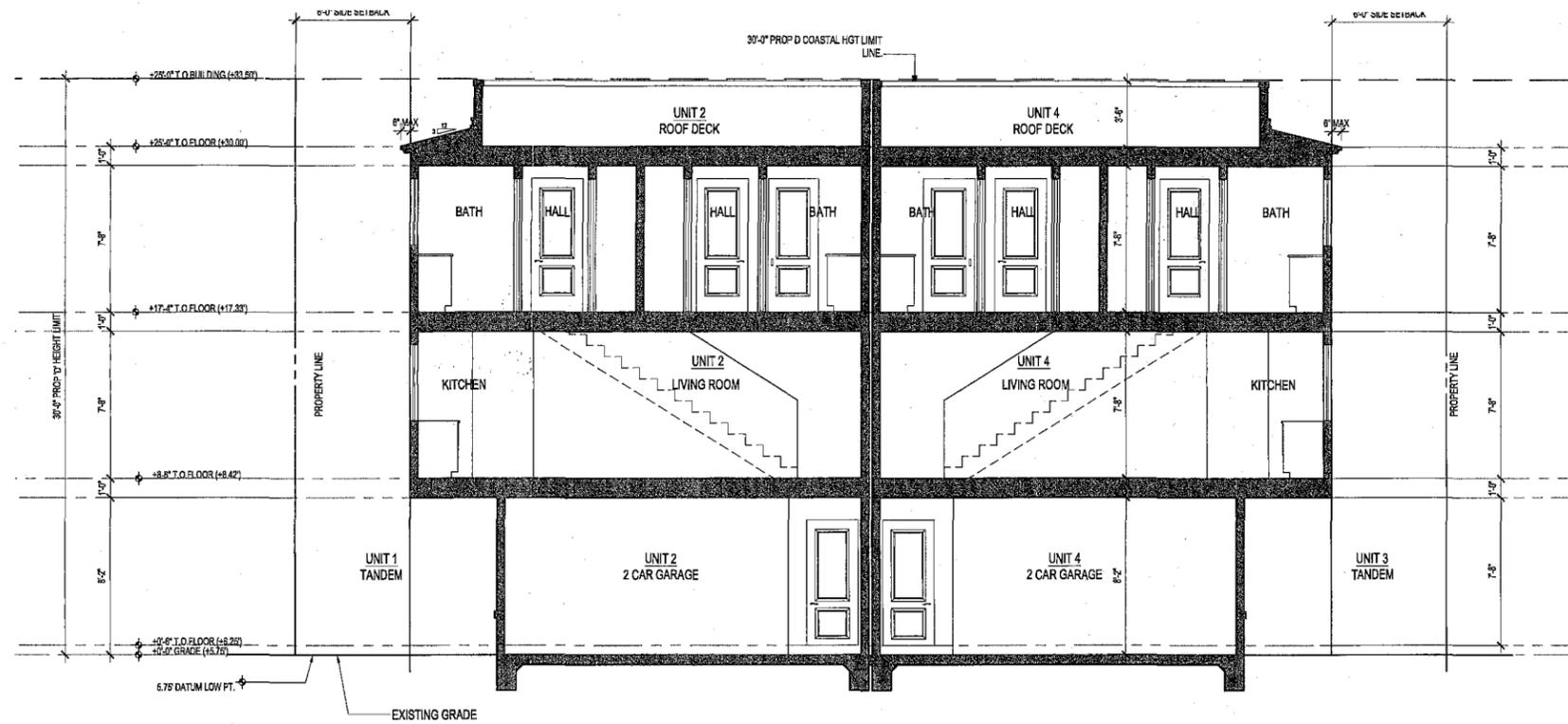
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Job:

Title: EAST AND WEST ELEVATIONS

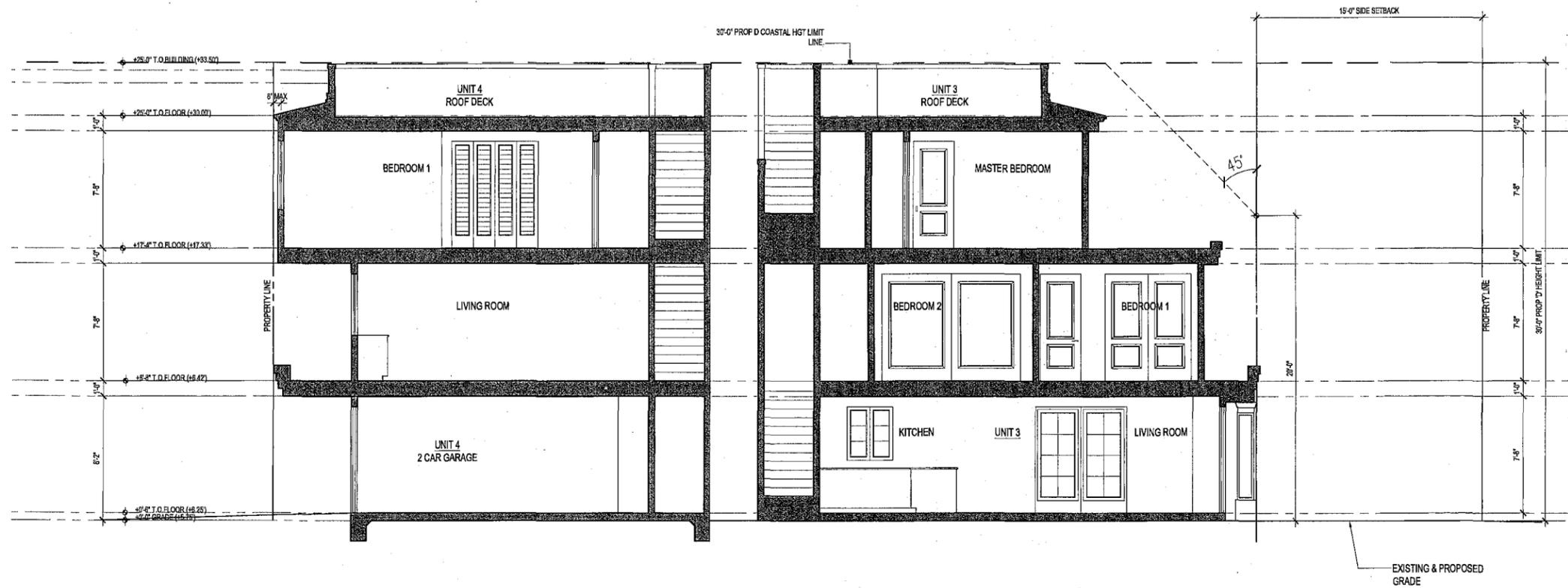
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A3.2



**SITE SECTION**  
1/4" = 1'-0"

1



**SITE SECTION**  
1/4" = 1'-0"

2

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LEGAL DESCRIPTION:  
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APN:  
423-671-09 / 423-671-10

PROJECT NAME:  
JAMAICA CT RESIDENCES

SHEET TITLE:  
SECTIONS

SHEET COUNT:  
11 OF 11

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Title:

SITE SECTIONS

Sheet:

A4.1