



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: October 28, 2015 REPORT NO. HO 15-121

ATTENTION: Hearing Officer

SUBJECT: HUDSON RESIDENCE  
PTS PROJECT NUMBER: 412226

LOCATION: 6435 Camino De La Costa

OWNER/  
APPLICANT: Ariane Hudson, Trustee of Drew T. and Arian Hudson  
Revocable Trust, Owner (Attachment 12)  
Caitlin Kelley, Architect/Agent

### SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing single-family dwelling unit and construction of a single-family dwelling unit on a 0.239-acre site located at 6435 Camino De La Costa in the La Jolla Community Plan and Local Coastal Program Land Use Plan Area?

Staff Recommendation: Approve Coastal Development Permit No. 153478.

Community Planning Group Recommendation: On June 4, 2015, the La Jolla Community Planning Association voted 12-0-1 to recommend approval of the project. No conditions were included with this recommendation (Attachment 11).

Environmental Review: The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15303, "New Construction." This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 17, 2015, and the opportunity to appeal that determination ended October 1, 2015 (Attachment 7).

### BACKGROUND

The proposed project site is located at 6435 Camino De La Costa (Attachment 1), on the east side of Camino De La Costa, between Winamar and Palomar Avenues. The property is in the RS-1-7 Zone, and the Coastal (Appealable Area) Overlay, Coastal Height Limitation Overlay, Parking Impact (Coastal and Beach) Overlay, Transit Area Overlay, and the Residential Tandem Parking Overlay zones within the La Jolla Community Plan and Local Coastal Program Land

Use Plan (Attachment 2). The RS-1-7 zone is a single family residential zone, which allows for the development of a single dwelling unit on each legal lot. The La Jolla Community Plan (LJCP) designates the site for Low Density Residential land use at 5-9 dwelling units per acre (DU/AC). The 0.239-acre project site could accommodate one dwelling unit based on the underlying zone, and 1-2 dwelling units based on the community plan. Surrounding properties are developed with one- and two-story single-family dwelling units, and designated for Low Density Residential land use at 5-9 DU/AC. Properties to the north, south, and east of the project site are zoned RS-1-7. The properties across the project site, west of Camino De La Costa, are zoned RS-1-5, which is also a single-family residential zone that allows the development of one dwelling unit on each legal lot.

The project site slopes down in a westerly direction with an approximate grade differential of 20 feet. The lot is currently improved with a two-story single-family dwelling unit built in the 1990s, a pool/spa, site walls and planters, with an approximate 7-foot high retaining wall near the rear (east) property line.

## DISCUSSION

A Process 3 Coastal Development Permit (CDP) is required to demolish the existing single-family dwelling unit, and to construct a new single-family dwelling unit within the appealable area of the Coastal Overlay Zone pursuant to San Diego Municipal Code (SDMC) Sections 126.0702(a) and 126.0707(b).

### Project Description:

The project proposes to demolish an existing 4,847 square-foot two-story single-family dwelling unit and two-car garage, and construct a 5,570 square-foot two-story single-family dwelling unit over a 2,961 square-foot basement (not included in gross floor area), that includes a four car garage. The proposed single-family dwelling unit would consist of a foyer, four bedrooms and baths, a laundry room, two covered loggias, a deck, and a balcony on the first floor. The second floor would consist of the master bedroom suite, a yoga room, a half bath, a kitchen, family room, dining room, two decks and a balcony. The basement would consist of the four-car garage, a bedroom / bath, home theater, wine cellar, a crafts room, and a storage area. Also included in the scope of work is a roof-mounted photovoltaic solar panel system, an elevator, pool/spa, pool bath, a covered outdoor entertaining area, site walls and other accessory improvements. Access to the site will be provided via a new 12-foot wide driveway. The existing driveway will be replaced with current City standard curb, gutter, and sidewalk (Attachment 6, Condition No. 13).

The project's maximum building height of 29.5 feet is in conformance with the maximum 30-foot height limit allowed by the Coastal Height Limitation Overlay Zone and the underlying zone. The project site is within a subdivision that has an established front yard setback of 20 feet. The project has been designed in compliance with the development regulations of the RS-1-7 Zone, including but not limited to, required setbacks, floor area ratio, height, and all other

sections of the SDMC in effect and applicable to the site. The project is not requesting, nor does it require any deviations or variances, from the applicable regulations and policy documents. The project site is located within geologic hazards zones 12 and 53 as shown on the City's Seismic Safety Study Geologic Hazards Maps. Zone 12 is characterized by potentially active faulting. Zone 53 is characterized by level or sloping terrain, unfavorable geologic structure, with low to moderate risk. The geotechnical reports for the subject project were reviewed by staff. Based on that review, the project's geotechnical consultant has adequately addressed the soil and geologic conditions potentially affecting the proposed project. The project has been conditioned to require a geotechnical investigation report or update letter that further addresses the proposed construction plans prior to issuance of any construction permits, and an as-graded geotechnical report following completion of the grading (Attachment 6, Permit Conditions 17 and 18).

#### Community Plan and Local Coastal Program Analysis:

The La Jolla Community Plan (LJCP) designates the site and surrounding areas to the north, south, east, and west as Low Density Residential (5-9 dwelling units/acre). The proposed single-family residence is consistent with the underlying land use designation. The residential element of the LJCP includes recommendations to maintain and enhance the existing neighborhood character, and to promote visual harmony in the transitions between new and existing structures (Page 76). The neighborhood is developed with one- and two-story custom homes of various architectural styles and size. The project proposes Mediterranean style architecture, and incorporates various horizontal and vertical off setting planes, architectural projections and details. Exterior building materials will consist of Santa Barbara finish stucco and stone, with the use of carved stone, glass, and wrought iron railings, and limestone cladding and trim. The proposed use of offsetting planes, architectural projections and details, and variations in building materials help to reduce the perceived structure bulk and scale, facilitate the transition of the new structure with the diverse architecture in the neighborhood, and implement the neighborhood character recommendations within the LJCP.

The project site is located approximately 300 feet from the Pacific Ocean on Camino De La Costa, which is identified as the first public roadway paralleling the ocean. The project site is located east of Camino De La Costa, and therefore, it is not located between the ocean and the first public roadway paralleling the ocean. Camino De La Costa is not designated as a physical access way or view corridor, and does not contain viewsheds, or scenic overlooks at this location as identified in the adopted LJCP and Local Coastal Program Land Use Plan (Attachment 10). Camino De La Costa is identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP and Local Coastal Program Land Use Plan. The development is proposed on private property east of Camino De La Costa, and designed in conformance with all applicable development regulations. Due to its location east of Camino De La Costa, the project would not be impacting public views of the Pacific Ocean from the right-of-way of Camino De La Costa looking west.

## Conclusion

Staff has reviewed the application for the Coastal Development Permit and has determined that the project complies with all applicable regulations and policy documents. The project is consistent with the recommended land use and development standards in effect for this site per the adopted LJCP and Local Coastal Program Land Use Plan, SDMC, and the General Plan. Therefore, staff recommends to the Hearing Officer to approve the Coastal Development Permit as presented.

## ALTERNATIVES

1. Approve Coastal Development Permit No. 1534781, with modifications.
2. Deny Coastal Development Permit No. 1534781, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Firouzeh Tirandazi, Development Project Manager

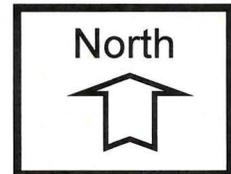
## Attachments:

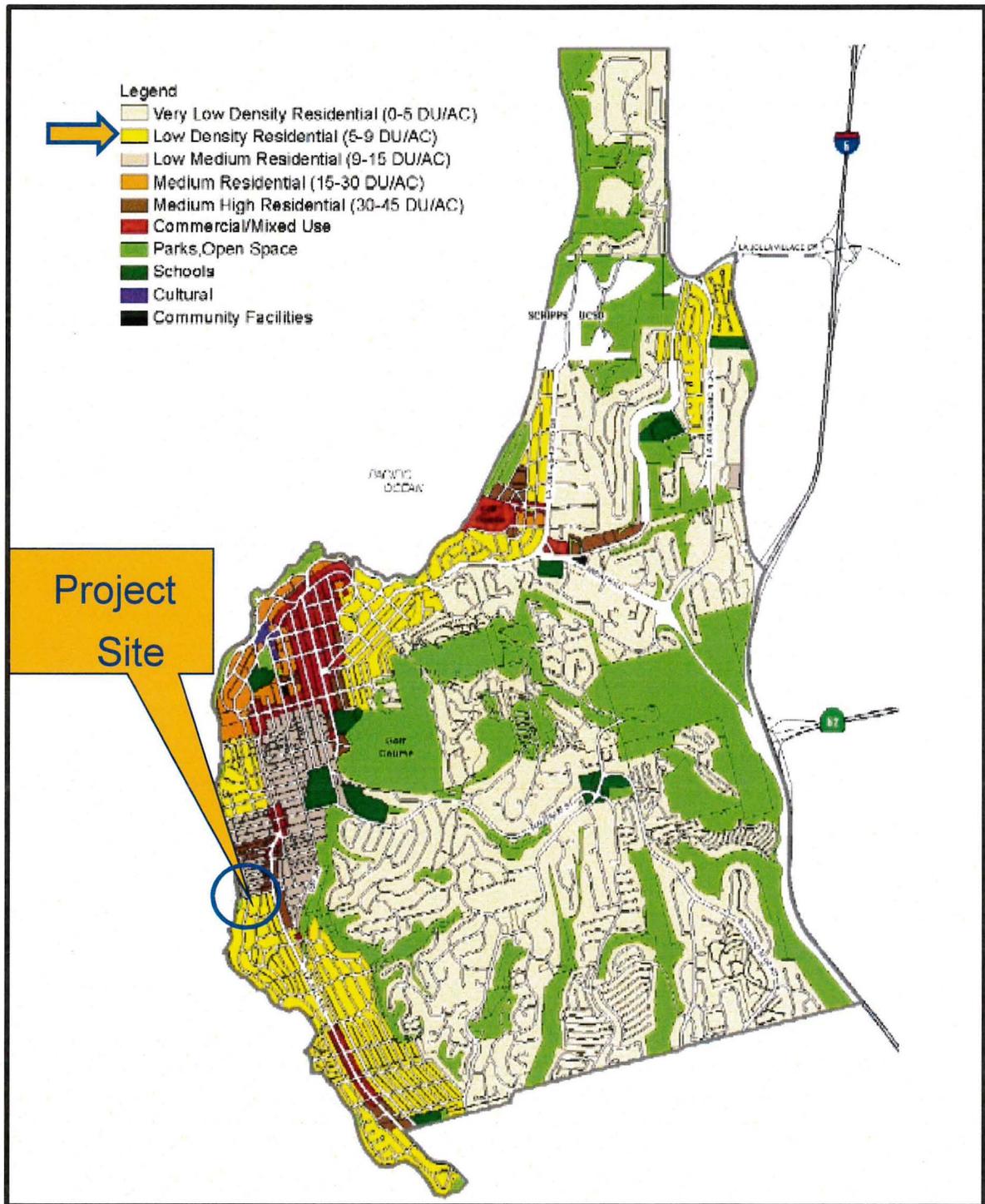
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Site Plan
9. Project Plans
10. Identified Public Vantage Points – Figure 9
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement



## Aerial Photograph

**HUDSON RESIDENCE— Project No. 412226**  
**6435 Camino De La Costa**



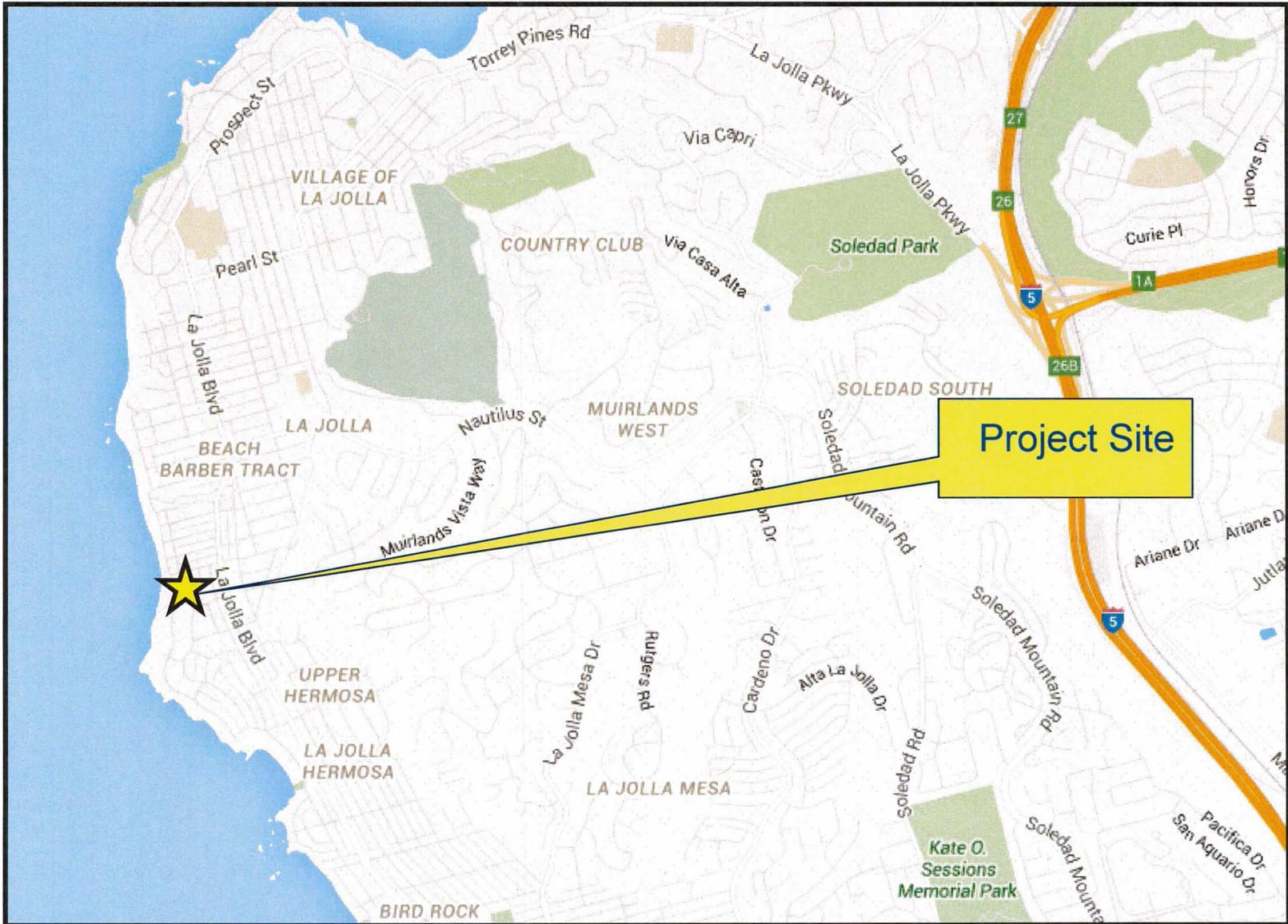


## Land Use Map

HUDSON RESIDENCE— Project No. 412226

6435 Camino De La Costa





## Location Map

**HUDSON RESIDENCE – Project No. 412226**  
**6435 Camino De La Costa**



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Hudson Residence	
<b>PROJECT DESCRIPTION:</b>	Demolition of an existing two-story 4,847 square-foot single-family dwelling unit and construction of a new two-story 5,570 square-foot single-family dwelling unit over a 2,961 square-foot basement on a 0.239-acre site.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla	
<b>DISCRETIONARY ACTION:</b>	Coastal Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Low Density Residential (5-9 dwelling units per acre)	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> RS-1-7 (single-family zone)		
<b>HEIGHT LIMIT:</b> 30-Foot maximum height limit		
<b>LOT SIZE:</b> minimum 5,000 square feet		
<b>FLOOR AREA RATIO:</b> .54		
<b>FRONT SETBACK:</b> 20-foot established setback		
<b>SIDE SETBACK:</b> 6 foot, 5 inches (.08 x lot width)		
<b>STREETSIDE SETBACK:</b> N/A		
<b>REAR SETBACK:</b> 13 feet		
<b>PARKING:</b> Two (2) parking spaces required		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Low Density Residential; RS-1-7	Single-Family Residential
<b>SOUTH:</b>	Low Density Residential; RS-1-7	Single-Family Residential
<b>EAST:</b>	Low Density Residential; RS-1-7	Single-Family Residential
<b>WEST:</b>	Low Density Residential; RS-1-5	Single-Family Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On June 4, 2015, the La Jolla Community Planning Association voted 12-0-1 to recommend approval of the project with no conditions.	

HEARING OFFICER RESOLUTION NO. HO-\_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 1534781  
**HUDSON RESIDENCE - PROJECT NO. 412226**

WHEREAS, ARIANE HUDSON, TRUSTEE OF THE DREW T. HUDSON AND ARIANE HUDSON REVOCABLE TRUST dated March 5, 2013, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single-family dwelling unit and construct a 5,570 square-foot two-story single-family dwelling unit over a 2,961 square-foot basement, including a four-car garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1534781), on portions of a 0.239-acre site;

WHEREAS, the project site is located at 6435 Camino De La Costa in the RS-1-7 Zone, and the Coastal (Appealable), Coastal Height Limitation, Parking Impact (Coastal and Beach Impact Areas), Transit Area, and Residential Tandem Parking Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan;

WHEREAS, the project site is legally described as Lot 3 in Block 2 of Hermosa Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2353, filed in the Office of the County Recorder of San Diego County, September 20, 1946;

WHEREAS, on October 28, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1534781 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on September 17, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guidelines Section 15303 "New Construction"; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated October 28, 2015.

FINDINGS:

**Coastal Development Permit – Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.239 project site is an interior lot located approximately 300 feet from the Pacific Ocean. The project has been designed to comply with all applicable development regulations, including the maximum permitted 30-foot height limit of the RS-1-7 Zone and the Coastal Height

Limitation Overlay Zone. There is no existing or proposed public accesway to the beach on or adjacent to the project site as identified in the La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan. Although Camino De La Costa is not designated as having view corridors, viewsheds, or scenic overlooks at this location as identified in the adopted LJCP and Local Coastal Program Land Use Plan, it is identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP and Local Coastal Program Land Use Plan. The development is proposed on private property east of Camino De La Costa, and designed in conformance with all applicable development regulations. Due to its location, the project would not be impacting public views of the Pacific Ocean from the right-of-way of Camino De La Costa, and will not affect any viewsheds, view corridors, scenic overlooks, or public access, as identified within the LJCP and Local Coastal Program Land Use Plan. Therefore, the project will have no effect upon any existing physical access way legally used by the public or any proposed public accesway, and will have no affect on public views to and along the ocean and other scenic coastal areas as specified in the LJCP and Local Coastal Program Land Use Plan.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site has been previously graded and developed. The site is currently improved with a single dwelling unit and located within a fully developed residential neighborhood. The project site does not contain any environmentally sensitive lands as defined in San Diego Municipal Code (SDMC) Section 113.0103. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed project conforms to the underlying land use designation of Low Density Residential use at 5-9 dwelling units per acre (DU/AC) per the LJCP and Local Coastal Program Land Use Plan. The project site is located approximately 300 feet from the Pacific Ocean, and it is not located in an area identified as containing any form of public access to the beach. Although Camino De La Costa is not designated as having view corridors, viewsheds, or scenic overlooks at this location as identified in the adopted LJCP and Local Coastal Program Land Use Plan, it is identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP and Local Coastal Program Land Use Plan. The development is proposed on private property east of Camino De La Costa, and designed in conformance with all applicable development regulations. Due to its location, the project would not be impacting public views of the Pacific Ocean from the right-of-way of Camino De La Costa, and will not affect any viewsheds, view corridors, scenic overlooks, or public access, as identified within the LJCP and Local Coastal Program Land Use Plan. The project is not requesting nor does it require any deviations or variances from the applicable regulation and policy documents, and is consistent with the recommended land use designation, and development standards in effect for this site. Therefore, the development is in conformity with the certified LJCP and Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

4. **For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is a 0.239-acre interior lot located at 6435 Camino De La Costa. The project site is located approximately 300 feet from the Pacific Ocean on Camino De La Costa, which is the first public roadway paralleling the ocean. However, the project site is located east of Camino De La Costa, and therefore, it is not located between the ocean and the first public roadway paralleling the ocean within the Coastal Overlay Zone. Therefore, the proposed development and approval of the coastal development will have no effect upon the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1534781 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1534781, a copy of which is attached hereto and made a part hereof.

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Firouzeh Tirandazi  
Development Project Manager  
Development Services

Adopted on: October 28, 2015

Internal Order No.: 24005657

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005657

**COASTAL DEVELOPMENT PERMIT NO. 1534781**  
**HUDSON RESIDENCE - PROJECT NO. 412226**  
**HEARING OFFICER**

This Coastal Development Permit No. 1534781 is granted by the Hearing Officer of the City of San Diego to Ariane Hudson, Trustee of the Drew T. Hudson and Ariane Hudson Revocable Trust dated March 5, 2013, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.239-acre site is located at 6435 Camino De La Costa in the RS-1-7 Zone, and the Coastal (Appealable Area), Coastal Height Limitation, Parking Impact (Coastal and Beach Impact Areas), Transit Area, and Residential Tandem Parking Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan. The project site is legally described as: Lot 3 in Block 2 of Hermosa Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2353, filed in the Office of the County Recorder of San Diego County, September 20, 1946.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of an existing single family dwelling unit and construction of a new, two-story single family dwelling unit over basement described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 28, 2015 on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single family dwelling unit, and construction of an approximately 5,570 square-foot two-story single family dwelling unit over a 2,961 square-foot basement (not included in Gross Floor Area), with a four-car garage;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Construction of associated site improvements (i.e. pool, spa, hardscape, and site walls);
- e. Roof-mounted solar panels; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 12, 2018.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

11. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private decorative walkway adjacent to the site, on Camino De La Costa.

12. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct a current City Standard 12-foot wide concrete driveway, adjacent to the site on Camino De La Costa.
13. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of non-utilized driveway with current City Standard curb, gutter, and sidewalk, adjacent to the site on Camino De La Costa.
14. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

**GEOLOGY REQUIREMENTS:**

17. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
18. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**PLANNING/DESIGN REQUIREMENTS:**

19. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

21. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 28, 2015, and Resolution No. \_\_\_\_\_.

Permit Type/PTS Approval No.: CDP No. 1534781

Date of Approval: \_\_\_\_\_

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Firouzeh Tirandazi  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

DREW T. HUDSON and ARIANE HUDSON  
REVOCABLE TRUST  
Owner/Permittee

By \_\_\_\_\_

Ariane Hudson  
Trustee of the Drew T. Hudson and Ariane  
Hudson Revocable Trust

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

## NOTICE OF EXEMPTION

(Check one or both)

TO:  RECORDER/COUNTY CLERK  
 P.O. BOX 1750, MS A-33  
 1600 PACIFIC HWY, ROOM 260  
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES DEPARTMENT  
 1222 FIRST AVENUE, MS 501  
 SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH  
 1400 TENTH STREET, ROOM 121  
 SACRAMENTO, CA 95814

PROJECT TITLE/ No.: HUDSON RESIDENCE/412226

PROJECT LOCATION-SPECIFIC: 6435 Camino De La Costa, San Diego CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: This project consists of a COASTAL DEVELOPMENT PERMIT (CDP) to demolish an existing two story single family residence and garage, and construct a new 5,570 square-foot two-story single family dwelling unit over a 2,961 basement (not included in GFA), with a four-car garage. The project also proposes to demolish the existing pool and remove old plants and construct a new pool with associated hardscape and new landscape as well as reworking existing retaining walls to accommodate new hardscape and landscape design. The 0.239 acre site is located at 6435 Camino De La Costa in the RS-1-7 zone and Coastal Overlay Zone (Appealable) within the La Jolla Community Plan Area, Council District 1.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Caitlin Kelley Architect, 2865 North Park Way, San Diego, California 92104, Caitlin Kelley (858)344-2404

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL: (SEC. 21080 (b) (1); 15268)  
 DECLARED EMERGENCY: (SEC. 21080 (b) (3); 15269 (a))  
 EMERGENCY PROJECT: (SEC. 21080 (b) (4); 15269 (b) (c))  
 CATEGORICAL EXEMPTION: 15303 (New Construction)  
 STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures; examples include, but are not limited to one single-family residence, or a second dwelling unit in a residential zone. Furthermore, the exceptions listed in 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: Morgan Dresser

TELEPHONE: (619)446-5404

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
 YES  NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

 Sr. Planner  
 SIGNATURE/TITLE

10/1/2015  
 DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY  
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: September 17, 2015

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No.: 24005657

**PROJECT NAME/NUMBER:** Hudson Residence/Project No. 412226  
**COMMUNITY PLAN AREA:** La Jolla  
**COUNCIL DISTRICT:** 1  
**LOCATION:** 6435 Camino De La Costa, San Diego, CA 92037

**PROJECT DESCRIPTION:** This project consists of a COASTAL DEVELOPMENT PERMIT (CDP) to demolish an existing two story single family residence and garage to construct a new 5,606 square foot two story single family residence with a basement and attached four car garage and storage. The project also proposes to demolish the existing pool and remove old plants and construct a new pool with associated hardscape and new landscape as well as reworking existing retaining walls to accommodate new hardscape and landscape design. The 0.239 acre site is located at 6435 Camino De La Costa in the RS-1-7 zone and Coastal Overlay Zone (Appealable) within the La Jolla Community Plan Area, Council District 1.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer (Process 3).

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction).

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego Development Services Staff.

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures; examples include, but are not limited to one single-family residence, or a second dwelling unit in a residential zone. Furthermore, the exceptions listed in 15300.2 would not apply.

**CITY CONTACT:** Firouzeh Tirandazi, Project Manager  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**CONTACT INFORMATION:** (619) 446-5325/ FTirandazi@sandiego.gov

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On September 17, 2015, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City of San Diego Planning Commission. If you have any questions about this determination, contact the Project Manager above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (by October 1, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

# ARCHITECTURAL PLANS FOR A COASTAL DEVELOPMENT PERMIT

## THE HUDSON RESIDENCE

### 6435 CAMINO DE LA COSTA LA JOLLA, CA 92037

#### STORM WATER & BMP'S

GENERAL  
REFER TO CIVIL ENGINEER'S DRAWINGS C.1-C.5 THIS SET  
THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01, NPDES NO. CAS01876 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.  
REFER TO DRAWING C.4. THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01, NPDES NO. CAS020875 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.  
REFERENCES:  
http://www.sandag.ca.gov/water-issues/programs/Stormwater/cons/permits.shtml  
http://www.sandag.gov/development-services/industry/stormwater.shtml  
NOTES 1-4 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S:

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

#### WATER & SEWER

- EXISTING LATERAL FOR ALL SEWER SHALL BE USED WHERE POSSIBLE. PROVIDE NEW 2" LATERAL AND 1 1/2" METER BY CITY FORCES WHERE INDICATED ON PLAN.
- UTILIZE PROPOSED 1 1/2" WATER METER. WATER METER FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- HOUSE SHALL BE 100% SPRINKLERED.
- HOUSE SEWER SHALL CONNECT TO EXISTING 4" STUB @ PROPERTY LINE.
- AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT.

#### OWNER SIGNATURE

#### ELECTRICAL SERVICE

- PROVIDE 400 AMP SERVICE PER ELECTRICAL U.N.O., PER D.B. CONTRACTOR.

#### PROJECT SUMMARY:

SCOPE:  
- DEMOLISH AN EXISTING 2 STORY S.F.R. AND GARAGE  
- CONSTRUCT A NEW 2 STORY S.F.R. WITH BASEMENT AND ATTACHED FOUR CAR GARAGE AND STORAGE  
- DEMOLISH (E) POOL AND HARDSCAPE, REMOVE OLD PLANTS.  
- CONSTRUCT NEW POOL, HARDSCAPE AND NEW LANDSCAPE  
- REWORK EXISTING RETAINING WALLS TO ACCOMMODATE NEW HARDSCAPE AND LANDSCAPE DESIGN.  
DEVELOPMENT PERMIT REQUIRED: COASTAL DEVELOPMENT PERMIT  
CURRENT CODES:  
2013 CALIFORNIA BUILDING STANDARDS CODE CDR TITLE 24  
2013 CALIFORNIA RESIDENTIAL

#### AREA DATA:

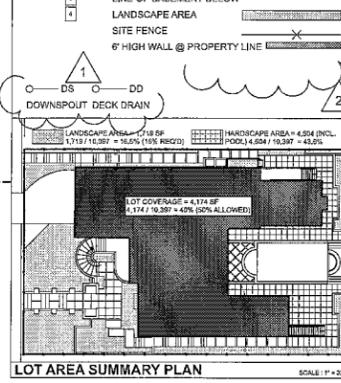
SITE AREA (SQ. FT.) (ACRES)	10,397 (0.239 AC)
EXISTING SFR AND 2 CAR GARAGE TO BE 100% DEMOLISHED	4,447 SQ. FT + 400 SQ. FT. GARAGE
FAR	.54 (10,387 x .54 = 5,614 SF)
ALLOWABLE	5,614 SF
ACTUAL	5,670 SF
LOT COVERAGE	54%
FLOOR AREA RATIO (FAR)	.54
PARKING (ON SITE)	2
PARKING (ON STREET)	0
CALCULATION: LOT WIDTH = 80.00' 80 X .08 = 6.4' TOTAL V.S.B. = 2 X 6.5' = 12.10'	6.5' 14' 13'
NO. OF STORIES	2
BUILDING HEIGHT	28.5'

#### AREA SUMMARY:

SITE NEW RESIDENCE	10,397 SF
HARDSCAPE AREA	2,453 SF
LEVEL 1	2,453 SF
LOGGIA (INCL. IN FAR)	300 SF
GARAGE (INCL. IN FAR)	294 SF
TOTAL	5,670 SF
AREA EXEMPT FROM F.A.R.	2,226 SF
BASEMENT	2,226 SF
TOTAL EXEMPT FROM F.A.R.	2,961 SF
FAR = 5.14 ALLOWABLE (54%)	5,676 ACTUAL (53%)

#### SYMBOL LEGEND:

- BUILDING FOOTPRINT
- EXISTING BLDG TO BE DEMOLISHED
- SITE WALL
- HARDSCAPE AREA
- ROOF OVERHANG
- VISIBILITY TRIANGLE
- PROPERTY LINE
- SETBACK LINE
- EXISTING GRAD CONTOUR
- FIRE HYDRANT W/100'
- LINE OF BASEMENT BELOW
- LANDSCAPE AREA
- SITE FENCE
- 6" HIGH WALL @ PROPERTY LINE



#### CDP FINDINGS PER SECTION 126.0708

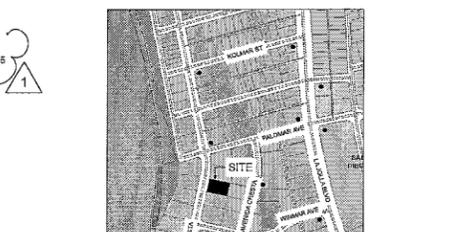
- THE PROPOSED DEVELOPMENT IS TO DEMOLISH AN EXISTING AND BUILD A NEW SINGLE FAMILY RESIDENCE ON THE SAME LOT IN KEEPING WITH THE SURROUNDING NEIGHBORHOOD. THE PROPOSED COASTAL DEVELOPMENT WILL NOT ENDOUR UPON ANY EXISTING PHYSICAL ACCESSWAY THAT IS LEGALLY USED BY THE PUBLIC OR ANY PROPOSED PUBLIC ACCESSWAY IDENTIFIED IN THE LOCAL COASTAL PROGRAM LAND USE PLAN. THE PROPOSED NEW RESIDENCE WILL NOT IMPED VIEWS AND WILL ENHANCE AND PROTECT PUBLIC VIEWS TO AND ALONG THE OCEAN IN KEEPING WITH THE CURRENT DWELLING.
- THE PROPOSED DEVELOPMENT WILL BE BUILT WITHIN THE BUILDING ENVELOPE OF THE CURRENT RESIDENCE AND WILL NOT ADVERSELY AFFECT ENVIRONMENTALLY SENSITIVE LANDS.
- THE PROPOSED COASTAL DEVELOPMENT CONFORMS WITH THE CERTIFIED LOCAL COASTAL PROGRAM LAND USE PLAN AND COMPLIES WITH ALL REGULATIONS OF THE CERTIFIED IMPLEMENTATION PROGRAM IN THAT IT MEETS AND ADDRESSES ALL BUILDING REQUIREMENTS FOR SFD PROGRAM AS REQUIRED THROUGH THE CDP PROCESS THROUGH THE CITY OF SAN DIEGO.
- THE PROPOSED DEVELOPMENT IS IN COMPLIANCE WITH THE PUBLIC ACCESS AND PUBLIC RECREATION POLICIES OF CHAPTER 3 OF THE CALIFORNIA COAST ACT IN THAT IT DOES NOT HINDER ACCESS TO PUBLIC LANDS AND IS IN KEEPING WITH THE SURROUNDING USE.

#### SITE NOTES:

- RESIDENTIAL TRASH RECEPTACLES TO BE LOCATED IN WALLED RUBBISH AREA
- NO BUS OR TRANSIT STOPS ADJACENT TO SITE
- ALL PRIVATE OUTDOOR LIGHTING FIXTURES SHALL BE UNOBTRUSIVE, SHIELDED AND ADJUSTED TO FALL ON THE SAME PERIMETER WHERE SUCH LIGHTS ARE LOCATED.
- BUILDING ADDRESS NUMBER SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (UPC 901.4)
- THIS PROJECT PROPOSES EXPORT OF SOIL MATERIAL FROM THE PROJECT SITE. SEE CIVIL PLANS. ALL EXPORT MATERIAL MUST BE DISPOSED INTO LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALVAGE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
- THIS PROJECT SHALL COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC SECTIONS 151.0444 & 152.0503), HIGHEST POINT ON THE ROOF EQUIPMENT PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE.

#### CONDITIONS

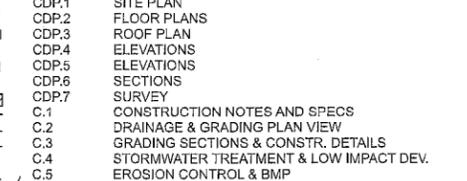
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.



#### SHEET INDEX

- CDP.1 SITE PLAN
- CDP.2 FLOOR PLANS
- CDP.3 ROOF PLAN
- CDP.4 ELEVATIONS
- CDP.5 ELEVATIONS
- CDP.6 SECTIONS
- CDP.7 SURVEY
- C.1 CONSTRUCTION NOTES AND SPECS
- C.2 DRAINAGE & GRADING PLAN VIEW
- C.3 GRADING SECTIONS & CONSTR. DETAILS
- C.4 STORMWATER TREATMENT & LOW IMPACT DEV.
- C.5 EROSION CONTROL & BMP

#### KEY MAP



#### PROJECT DATA:

CONSTRUCTION TYPE:	VB 100% SPRINKLERED
OCCUPANCY:	R-3 S.F.R.
CODE:	CRC 2013 EDITION
ZONE:	RS-17
SETBACKS:	FRONT: 20' REAR: 15'
NO. OF STORIES:	(2) OVER BASEMENT
GROSS SITE AREA:	10,397 SQ. FT.
LIVING SQ. FT.:	5,670 SQ. FT.
F.A.R.:	0.535
LANDSCAPE AREA:	18.5%
EXISTING BUILDING:	4,447 SQ. FT.
GARAGE:	400 SQ. FT.
STATUS:	DEMOL 100%
OCCUPANCY:	R-3 S.F.R.
CONSTRUCTED:	NON-HISTORIC
SOIL CONDITION:	EXISTING
PREV. DEV. SITE:	

#### LEGAL DESCRIPTION:

LOT 3 BLOCK 2 HERMOSA TERRACE, MAP TR 2363, COUNTY OF SAN DIEGO.

#### BENCHMARK:

CITY OF SAN DIEGO BENCHMARK MARK AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE, ELEVATION = 28.50' DATUM = MSL.

#### OVERLAY ZONES:

CITY COASTAL (APPEARABLE) OVERLAY ZONE  
COASTAL HEIGHT LIMIT OVERLAY ZONE  
COASTAL PARKING IMPACT ZONE  
BEACH PROTECT IMPACT ZONE  
RESIDENTIAL TANDEM SPACING OVERLAY ZONE  
TRANSIT AREA OVERLAY ZONE

#### GEO HAZARD AREA:

53

#### ZONING:

RS-1-7

#### COMMUNITY PLAN:

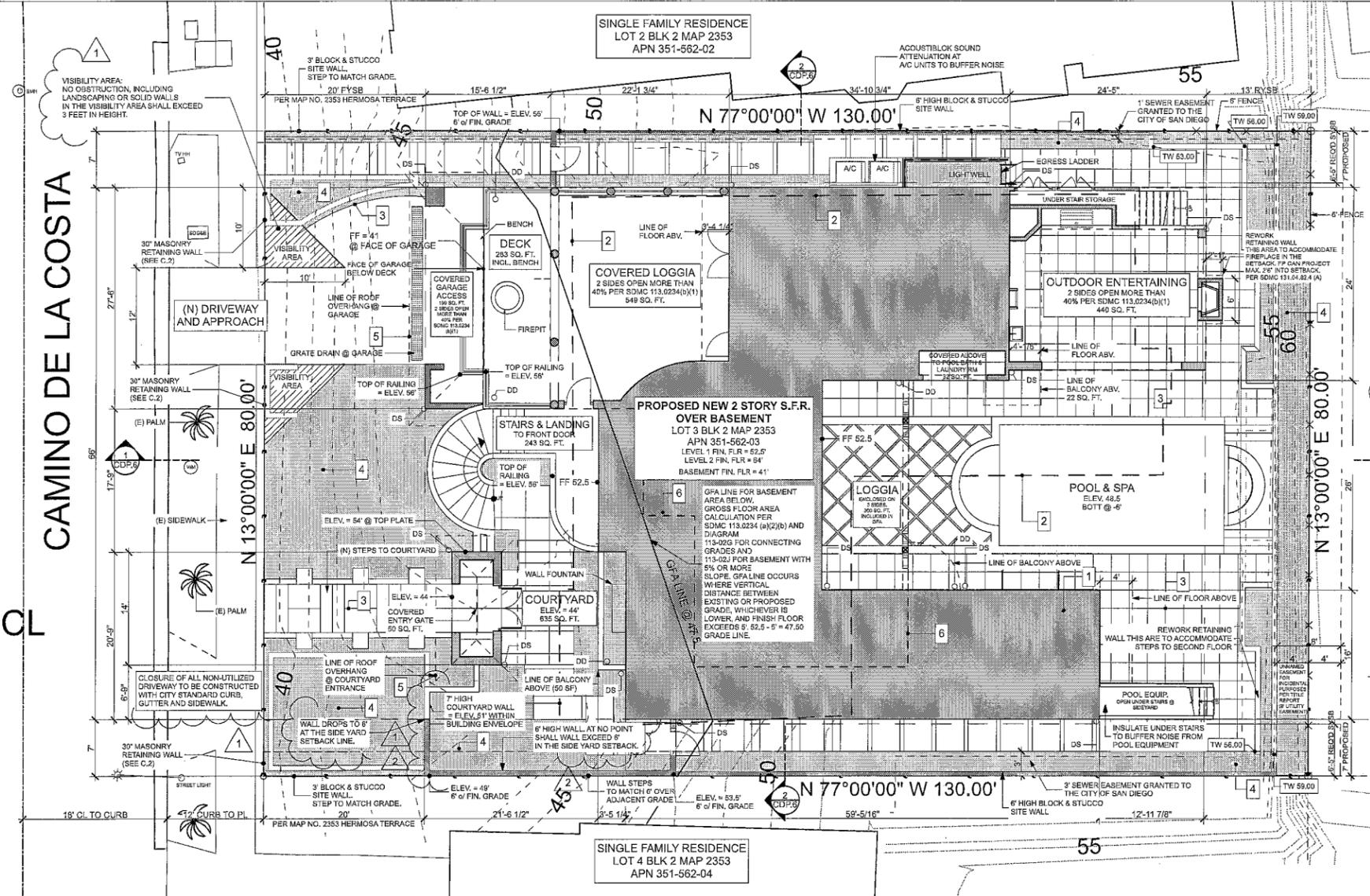
LA JOLLA

#### PERMITS REQUIRED:

COASTAL DEVELOPMENT PERMIT

#### PROJECT TEAM:

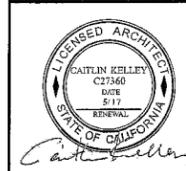
ARCHITECT | PREPARED BY:  
CATILIN KELLEY ARCHITECT  
CONTACT: CATILIN KELLEY  
2965 NORTH PARKWAY  
SAN DIEGO, CA 92104  
TEL: 619-442-2054  
FAX: 619-442-3808  
EMAIL: CATILINKELLEY@GMAIL.COM  
SURVEYOR & CIVIL ENGINEER:  
BARTH WIND WATER CIVIL ENGINEERING  
CONTACT: DAN BIGGERS  
1141 WEST BERNARDO SUITE 300  
HUNTINGTON BEACH, CA 92647  
TEL: 949-786-1947  
EMAIL: DAN@BTH-WIND-WATER.COM  
GEOTECHNICAL ENGINEER:  
TERRA PACIFIC SOLUTIONS, INC.  
CONTACT: CRISTOPHER C. OYER  
2965 NORTH PARKWAY  
SAN DIEGO, CA 92104  
TEL: 619-442-2054  
FAX: 619-442-3808  
EMAIL: CRISO@TERRAPAC.NET  
LANDSCAPE ARCHITECT:  
STONE GROVE LANDSCAPE ARCHITECTS  
CONTACT: BRIAN GEVINE  
200 NORTH CEDROS AVE  
SOLANA BEACH, CA 92075  
TEL: 858-345-1469  
EMAIL: BRIAN@STONE-GROVE.COM



#### SITE PLAN

SCALE: 1/8" = 1'-0"

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CATILIN KELLEY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON WITHOUT THE WRITTEN PERMISSION OF CATILIN KELLEY ARCHITECT.



HUDSON RESIDENCE  
OWNER: ARIANE HUDSON  
PROJECT ADDRESS: 6435 CAMINO DE LA COSTA LA JOLLA, CALIFORNIA 92037

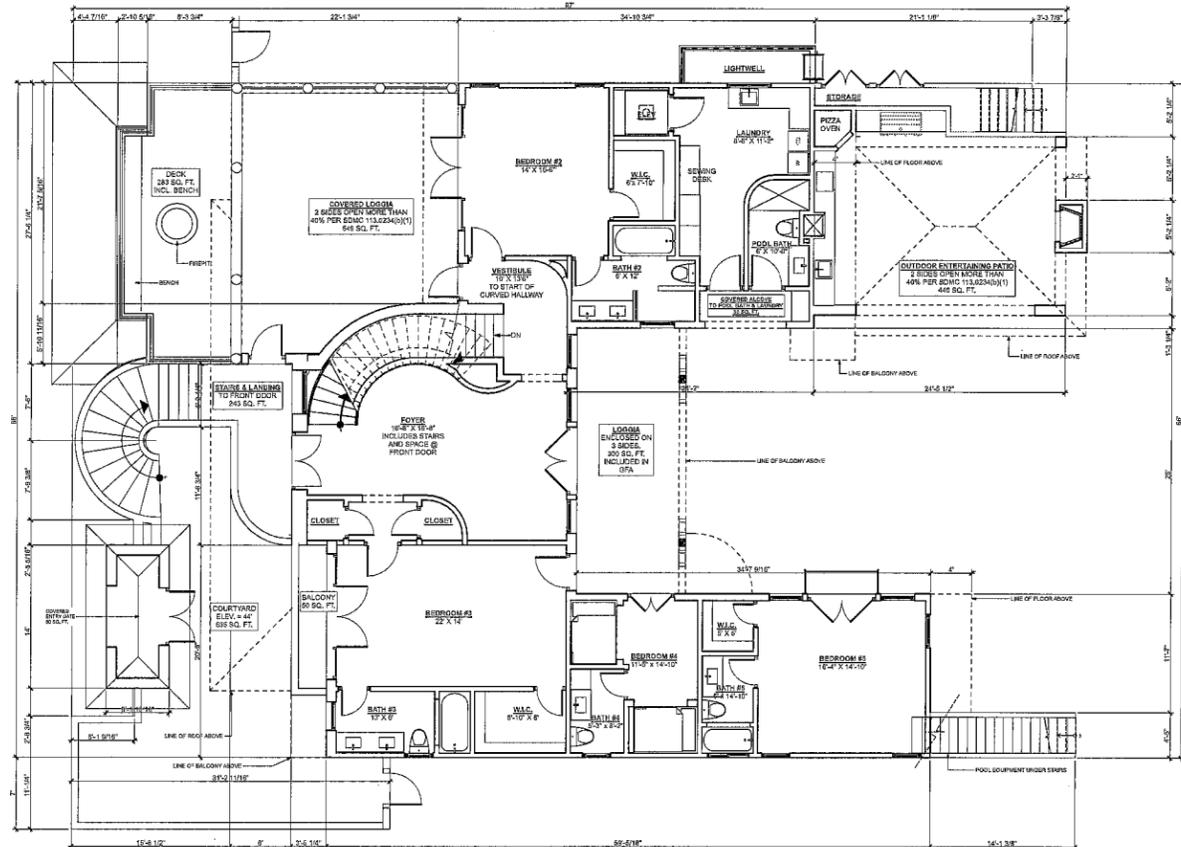
BY	REVISIONS	DATE
CK	CDP	6.18.15
CK	CDP	8.31.15

Date: 9/18/2015  
Orig. Date: 2.25.2015  
Scale: AS NOTED  
Drawn: CK  
Job: 1404  
City Project No: 412226

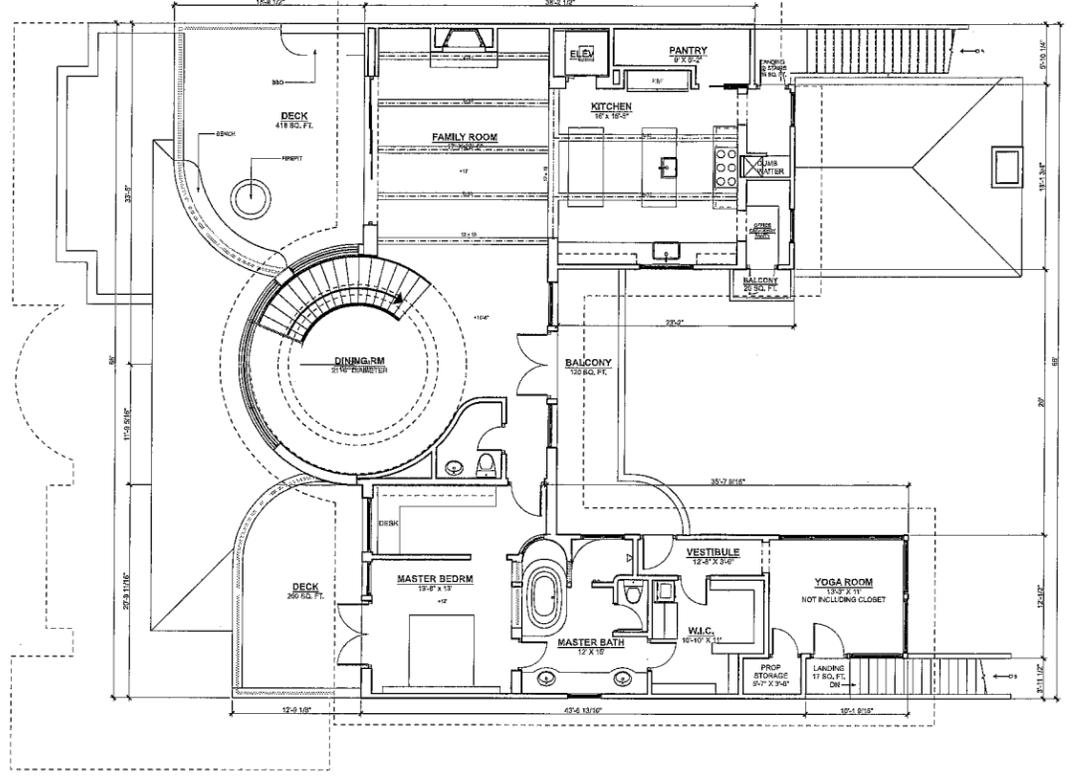
# CDP.1

Plotted On: 9/18/2015

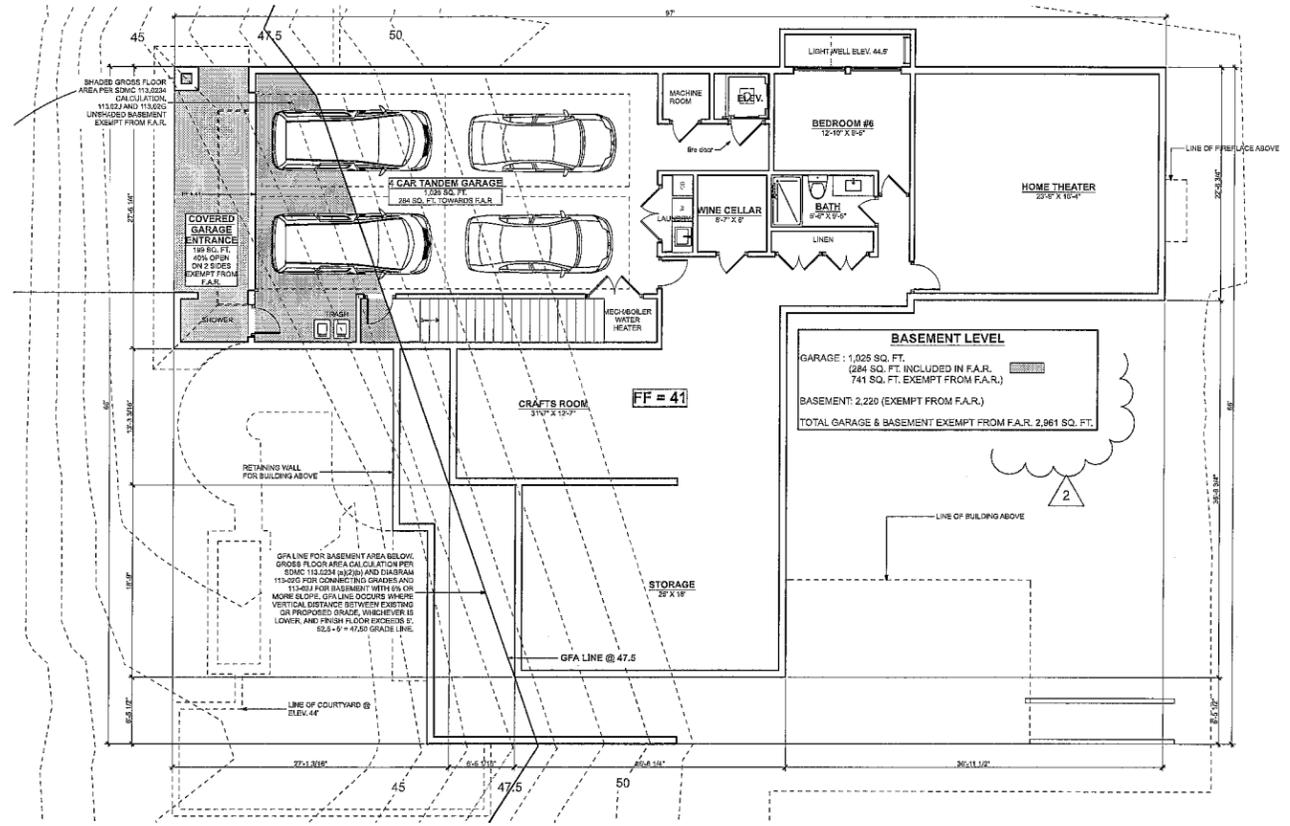
SITE PLAN | CDP 2ND CYCLE REVIEW 8.31.2015



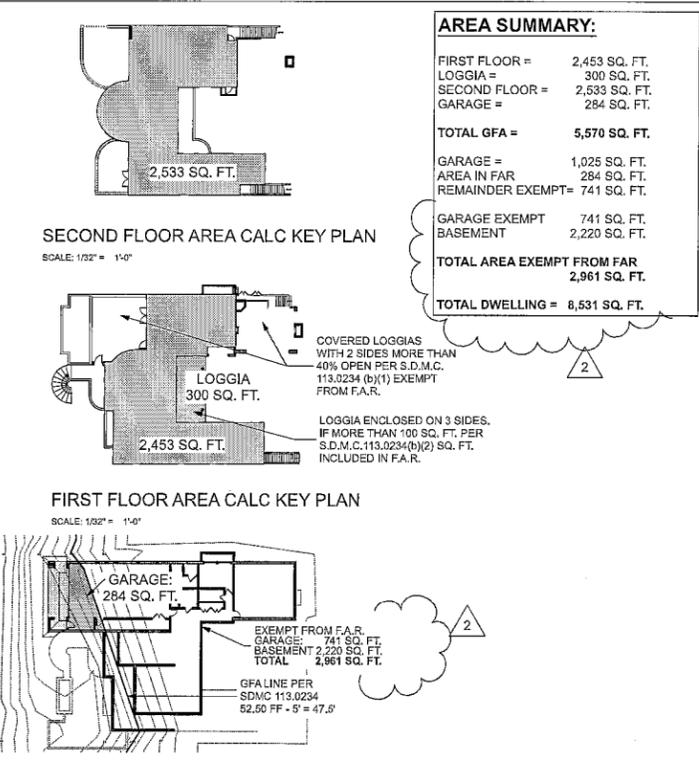
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



SECOND FLOOR - LOWER ROOF PLAN  
SCALE: 1/8" = 1'-0"



BASEMENT PLAN  
SCALE: 1/8" = 1'-0"



**KEY MAP** SCALE: 1/40

**PROJECT DATA:** APN: 351-562-03-00

**CONSTRUCTION TYPE:** V8-100% SPRINKLERED

**OCCUPANCY:** R-3 S.F.R.

**CODE:** CRC 2013 EDITION

**ZONE:** RS-1-7

**SETBACKS:** FRONT: 20', REAR: 7', SIDE: 13'

**NO. OF STORIES:** (2) OVER BASEMENT

**GROSS SITE AREA:** 10,397 SQ. FT.

**LIVING SQ. FT.:** 5,570 SQ. FT.

**F.A.R.:** 0.535

**LANDSCAPE AREA:** 16.6%

**EXISTING BUILDING:** 4,447 SQ. FT.

**LIVING AREA:** 491 SQ. FT.

**GARAGE:** 284 SQ. FT.

**STATUS:** DEMO 100%

**OCCUPANCY:** R-3 S.F.R.

**CONSTRUCTED:** 1990 NON-HISTORIC

**SOIL CONDITION:** EXISTING PREV. DEV. SITE

**LEGAL DESCRIPTION:** LOT 3 BLOCK 2 HERMOSA TERRACE, MAP TR 2383, COUNTY OF SAN DIEGO.

**BENCHMARK:** CITY OF SAN DIEGO BENCHMARK NEBP AT NEPTUNE PLACE, ELEVATION = 28.59', DATUM = MSL

**OVERLAY ZONES:** CITY COASTAL (APPEALABLE) OVERLAY ZONE, COASTAL HEIGHT LIMIT OVERLAY ZONE, COASTAL PARKING IMPACT ZONE, RESIDENTIAL TANDEM PARKING OVERLAY ZONE, TRANSIT AREA OVERLAY ZONE

**GEO HAZARD AREA:** 53

**ZONING:** RS-1-7

**COMMUNITY PLAN:** LA JOLLA

**PERMITS REQUIRED:** COASTAL DEVELOPMENT PERMIT

**PROJECT TEAM:**

**ARCHITECT | PREPARED BY:** CAITLIN KELLEY ARCHITECT, CONTACT: CAITLIN KELLEY, 3885 NORTH PARK WAY, SAN DIEGO, CA 92104, TEL: 858-544-2004, FAX: 858-488-3888, EMAIL: CAITLIN@KELLEYARCHITECT.COM

**GEOTECHNICAL ENGINEER:** TERRA PACIFIC SOLUTIONS, INC., CONTACT: CHRISTOPHER C. O'BRIEN, 4910 MOREMA BLVD, SUITE 108, SAN DIEGO, CA 92127, TEL: 858-542-1190, EMAIL: CROSO@TERRAPAC.NET

**SURVEYOR & CIVIL ENGINEER:** EARTH WIND WATER CIVIL ENGINEERING, CONTACT: DAN BIGGS, 1140 WEST BERNARDO COUNTRY SUITE 300, RANCHO BERNARDO, CA 92127, TEL: 858-788-1847, EMAIL: DAN@EARTH-WIND-WATER.COM

**LANDSCAPE ARCHITECT:** STONE GROVE LANDSCAPE ARCHITECTS, CONTACT: BRIAN GROVE, 200 NORTH CEDROS AVE, SOLANA BEACH, CA 92075, TEL: 858-365-1459, EMAIL: BRIAN@STONE-GROVE.COM

**REVISIONS:**

BY	REVISIONS	DATE
CK	CDP	6.16.15
CK	CDP	8.31.15

**HUDSON RESIDENCE**

**OWNER:** ARIANE HUDSON

**PROJECT ADDRESS:** 6435 CAMINO DE LA COSTA LA JOLLA, CALIFORNIA 92037

**Date:** 9/16/2015

**Orig. Date:** 2.25.2015

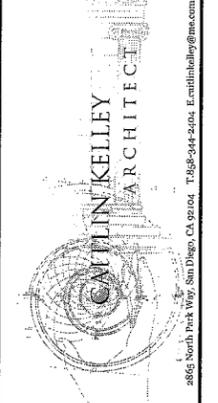
**Scale:** AS NOTED

**Drawn:** CK

**Job:** 1404

**City Project No:** 412226

**Plotted On:** 9/16/2015



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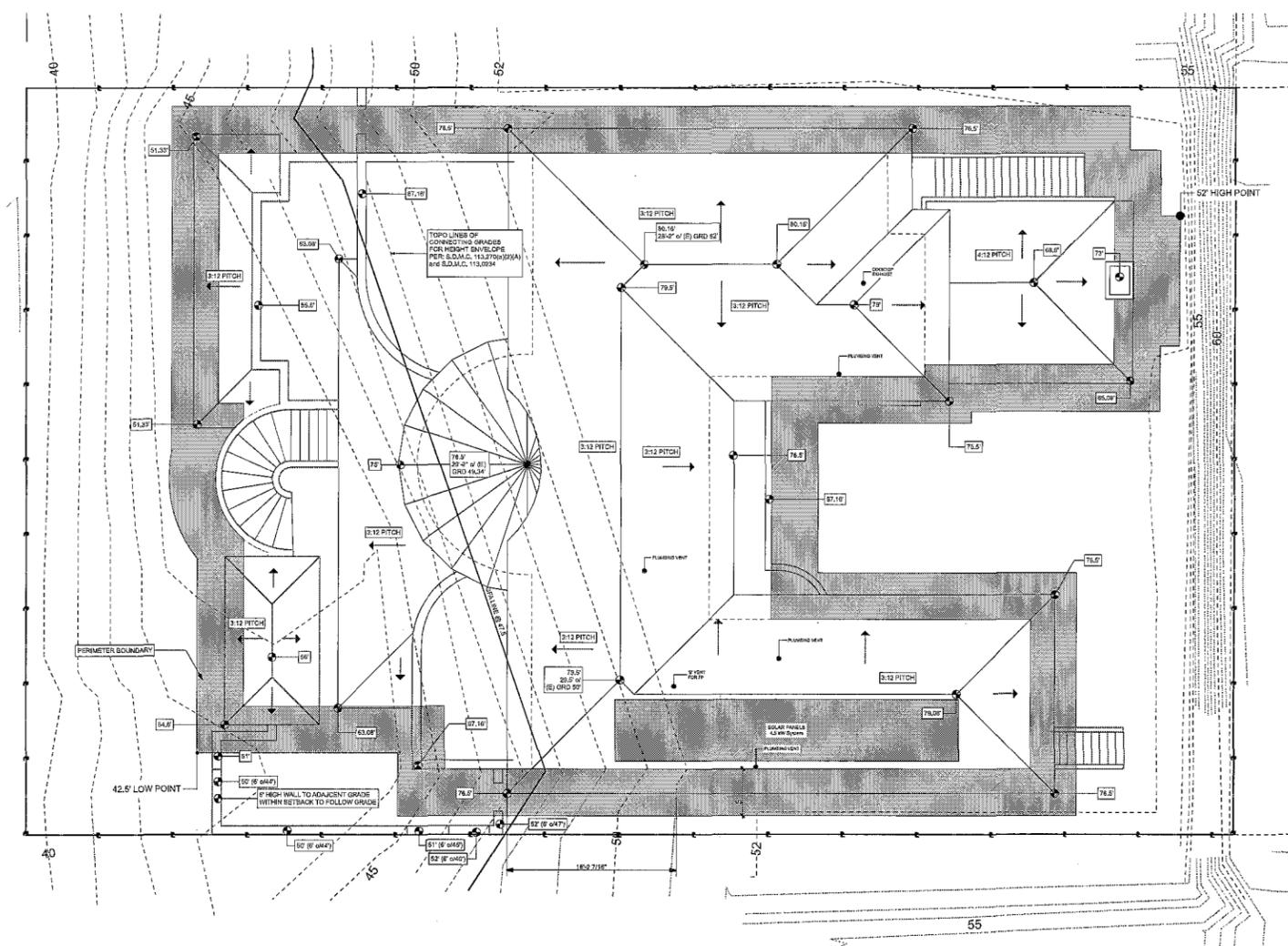


SYMBOL LEGEND	
PERIMETER BOUNDARY FOR DATUM MEASUREMENT	
HEIGHT ELEVATION	
DIRECTION OF ROOF SLOPE	
ROOF PITCH	

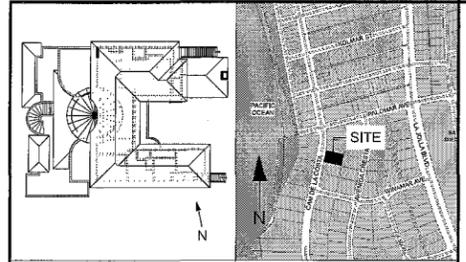
ROOF MATERIAL	
2 PIECE CLAY TILE ROOF: REDLANDS' CLAY TILE 2231, 2231, 2231, 2231	2231 WHITE OAK BURNED AND DOBBED
EXPOSED 4 X 8 BATTEN TALK	
STAIN: SHERWIN WILLIAMS COLOR	
OVER: 1/2 OSB	
OVER ROOF TRUSSES AND CONVENTIONAL FRAMING	
R-30 CEILING INSULATION	

**DETERMINATION OF BUILDING HEIGHT IN THE COASTAL HEIGHT LIMITATION OVERLAY ZONE:**

MAXIMUM ROOF HEIGHT IS 30' (PROP D)  
 METHOD OF DETERMINATION PER TECHNICAL BULLETIN BLDG-5-4  
 DETERMINATION OF REFERENCE DATUM:  
 ESTABLISH HIGH AND LOW POINTS 8' FROM EXTERIOR WALL OF BUILDING  
 HIGH POINT = 52'  
 LOW POINT = 42.5'  
 DIFFERENCE = 9.5' (LESS THAN 10')  
 DATUM CAN BE TAKEN FROM HIGH POINT PER FIGURE 2.  
 DATUM = 52' + 30' = 82' MAX HEIGHT OF BUILDING.



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



KEY MAP		VICINITY MAP	
SCALE: 1:40		NTS	
<b>PROJECT DATA:</b>	APN: 351-562-03-00	<b>HUDSON RESIDENCE</b>	
CONSTRUCTION TYPE: VB 100% SPRINKLERED	<b>LEGAL DESCRIPTION:</b>	OWNER: ARIANE HUDSON	
OCCUPANCY: R-3 S.F.R.	LOT 3 BLOCK 2 HERMOSA TERRACE, MAP TR 2393, COUNTY OF SAN DIEGO.	PROJECT ADDRESS: 6435 CAMINO DE LA COSTA	
CODE: CRC 2013 EDITION	<b>BENCHMARK:</b>	LA JOLLA, CALIFORNIA 92037	
ZONE: RS-1-7	CITY OF SAN DIEGO BENCHMARK NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE.		
SETBACKS: FRONT: 20', REAR: 13'	ELEVATION = 28.99'		
NO. OF STORIES: (2) OVER BASEMENT	DATUM = MSL		
GROSS SITE AREA: 10,397 SQ. FT.	<b>OVERLAY ZONES:</b>		
LIVING SQ. FT. 5,570 SQ. FT.	CITY COASTAL (APPEALABLE) OVERLAY ZONE		
F.A.R. 0.635	COASTAL HEIGHT LIMIT OVERLAY ZONE		
LANDSCAPE AREA: 16.5%	COASTAL PARKING IMPACT ZONE		
EXISTING BUILDING: 4,447 SQ. FT.	BEACH PARKING IMPACT ZONE		
GARAGE: 400 SQ. FT.	RESIDENTIAL TANDEM PARKING OVERLAY ZONE		
STATUS: DEMO 100%	TRANSIT AREA OVERLAY ZONE		
OCCUPANCY: R-3 S.F.R.			
CONSTRUCTED: 1936 NON-HISTORIC	<b>GEO HAZARD AREA: 53</b>		
EXISTING SOIL CONDITION:	<b>ZONING: RS-1-7</b>		
	<b>COMMUNITY PLAN: LA JOLLA</b>		
	<b>PERMITS REQUIRED:</b>		
	COASTAL DEVELOPMENT PERMIT		

PROJECT TEAM:	
ARCHITECT   PREPARED BY: CAITLIN KELLEY ARCHITECT CONTACT: CAITLIN KELLEY 2865 NORTH PARK WAY SAN DIEGO, CA 92104 TEL: 858-344-2004 FAX: 858-408-3888 EMAIL: CAITLIN@KELLEYARCH.COM	GEOTECHNICAL ENGINEER TERRA PACIFIC SOLUTIONS, INC. CONTACT: CHRISTOPHER C. O'HEARN 4510 MORENA BLVD, SUITE 108 SAN DIEGO, CA 92117 TEL: 858-521-1190 EMAIL: CRISO@TERRAPAC.NET
SURVEYOR & CIVIL ENGINEER: EARTH WIND WATER ENGINEERING CONTACT: DAN BIGGS 1940 WEST BERNARDO COURT SUITE 300 RANCHO BERNARDO, CA 92127 TEL: 858-759-1947 EMAIL: DAN@EARTH-WIND-WATER.COM	LANDSCAPE ARCHITECT: STONE GROVE LANDSCAPE ARCHITECTS CONTACT: BRIAN GROVE 200 NORTH CEDROS AVE. SOLANA BEACH, CA 92075 TEL: 949-345-1189 EMAIL: BRIAN@STONE-GROVE.COM

REVISIONS	
BY	DATE
CK	6.16.15
CK	8.31.15

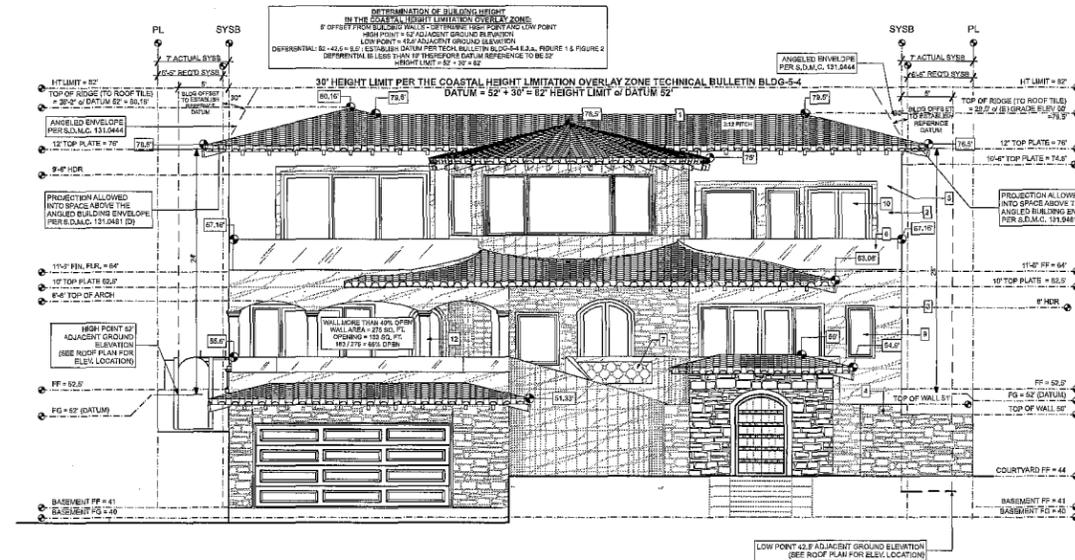
  

Date:	9/16/2015
Orig. Date:	2.25.2015
Scale:	AS NOTED
Drawn:	CK
Job:	1404
City Project No:	412226

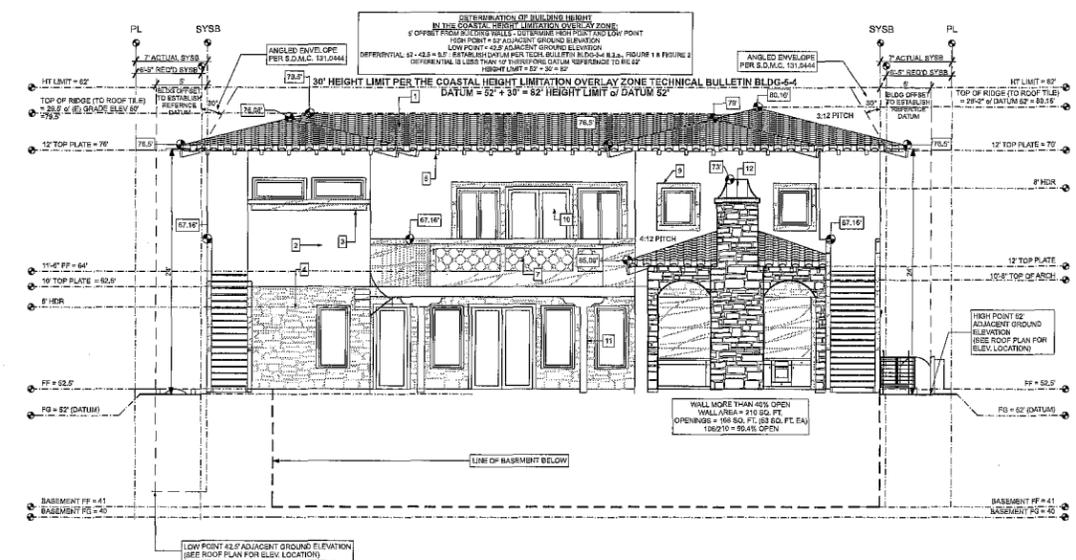
**CDP.3**  
 Plotted On: 9/16/2015



ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CAITLIN KELLEY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CAITLIN KELLEY ARCHITECT.



WEST ELEVATION  
SCALE: 1/8" = 1'-0"



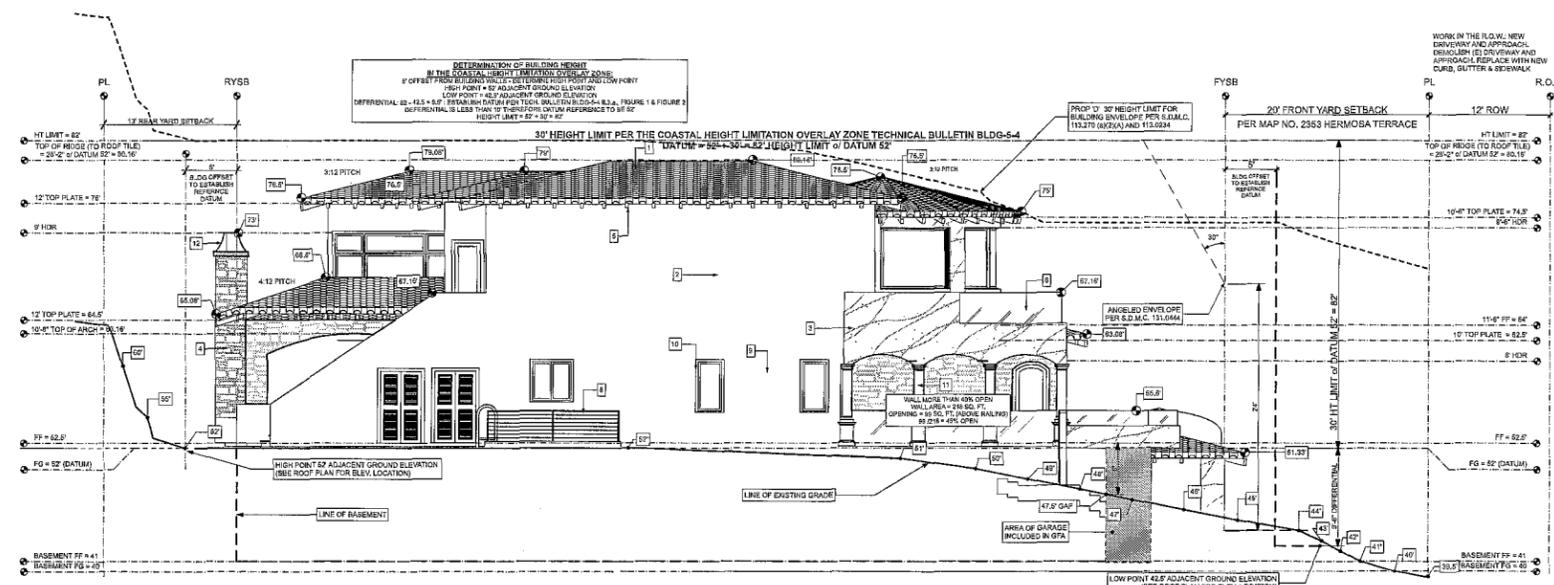
EAST ELEVATION  
SCALE: 1/8" = 1'-0"

**MATERIAL LEGEND**

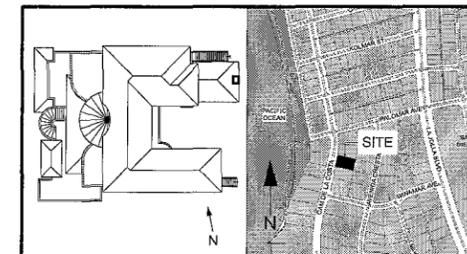
- 2 FINE CLAY TILE
- STUCCO - SANTA BARBARA FINISH
- LIMESTONE CLADDING & TRIM
- STONE
- 4X6 RAFTER TAILS
- GLASS RAILING
- CARVED STONE RAILING
- WROUGHT IRON RAILING
- ALUM. CLAD WOOD WINDOWS
- WOOD DOOR (FRENCH)
- DECORATIVE COLUMN
- COPPER CHIMNEY SHROUD
- SOLAR PANELS

**SYMBOL LEGEND**

- STONE
- LIMESTONE
- CARVED STONE
- MATERIAL CALL-OUT
- ELEVATION CALL-OUT



NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**KEY MAP** SCALE: 1/40' NTS

**PROJECT DATA:**

CONSTRUCTION TYPE: VB 100% SPRINKLERED  
 OCCUPANCY: R-3 S.F.R.  
 CODE: CRG 2010 EDITION  
 ZONE: RS-4-7  
 SETBACKS: FRONT: 20', SIDE: 7', REAR: 13'  
 NO. OF STORIES: (2) OVER BASEMENT  
 GROSS SITE AREA: 10,397 SQ. FT.  
 LIVING SQ. FT.: 6,571 SQ. FT.  
 F.A.R.: 0.535  
 LANDSCAPE AREA: 16.5%

**LEGAL DESCRIPTION:**  
 LOT 3 BLOCK 2 HERMOSA TERRACE, MAP TR 2383, COUNTY OF SAN DIEGO.  
**BENCHMARK:**  
 CITY OF SAN DIEGO'S BENCHMARK NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE. ELEVATION = 26.99' DATUM = MSL.

**OVERLAY ZONES:**  
 CITY COASTAL (APPLICABLE) OVERLAY ZONE  
 COASTAL HEIGHT LIMIT OVERLAY ZONE  
 COASTAL PARKING IMPACT ZONE  
 BEACH PARKING IMPACT ZONE  
 RESIDENTIAL TANDEM PARKING OVERLAY ZONE  
 TRANSIT AREA OVERLAY ZONE

**GEO HAZARD AREA:** 53  
**ZONING:** RS-1-7  
**COMMUNITY PLAN:** LA JOLLA

**PERMITS REQUIRED:**  
 COASTAL DEVELOPMENT PERMIT

**PROJECT TEAM:**

**ARCHITECT | PREPARED BY:**  
 CAITLIN KELLEY ARCHITECT  
 CONTACT: CAITLIN KELLEY  
 2925 NORTH PARK WAY  
 SAN DIEGO, CA 92117  
 TEL: 858-544-2424  
 FAX: 858-468-3888  
 EMAIL: CAITLIN@KELLEYARCH.COM

**GEOTECHNICAL ENGINEER:**  
 TERRA PACIFIC SOLUTIONS, INC.  
 CONTACT: CHRISTOPHER O. CYBERN  
 4910 MORENA BLVD., SUITE 109  
 SAN DIEGO, CA 92117  
 TEL: 858-521-1150  
 EMAIL: CHRIS@TERRAPAC.NET

**SURVEYOR & CIVIL ENGINEER:**  
 SARTH WINE-WATER CIVIL ENGINEERING  
 CONTACT: SAN BIGGS  
 1140 WEST BERNARDO COURT SUITE 500  
 RANCHO BERNARDO, CA 92127  
 EMAIL: DAN@SARTH-WINE-WATER.COM

**LANDSCAPE ARCHITECT:**  
 STONE GROVE LANDSCAPE ARCHITECTS  
 CONTACT: BRIAN GROVE  
 300 NORTH GARDENS AVE.  
 SOLANA BEACH, CA 92175  
 TEL: 858-943-1499  
 EMAIL: BRIAN@STONES-GROVE.COM

**HUDSON RESIDENCE**

**OWNER:** ARIANE HUDSON  
**PROJECT ADDRESS:** 6435 CAMINO DE LA COSTA  
 LA JOLLA, CALIFORNIA 92037

**REVISIONS**

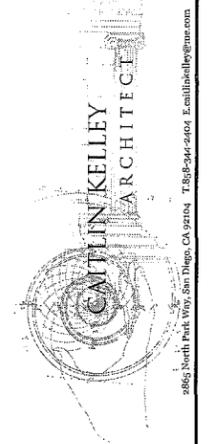
NO.	BY	REVISIONS	DATE
1	CK	CDP	8.16.16

**DATE:** 7/6/2015  
**ORIG. DATE:** 2.25.2015  
**SCALE:** AS NOTED  
**DRAWN:** CK  
**JOB:** 1404  
**CITY PROJECT NO.:** 412226

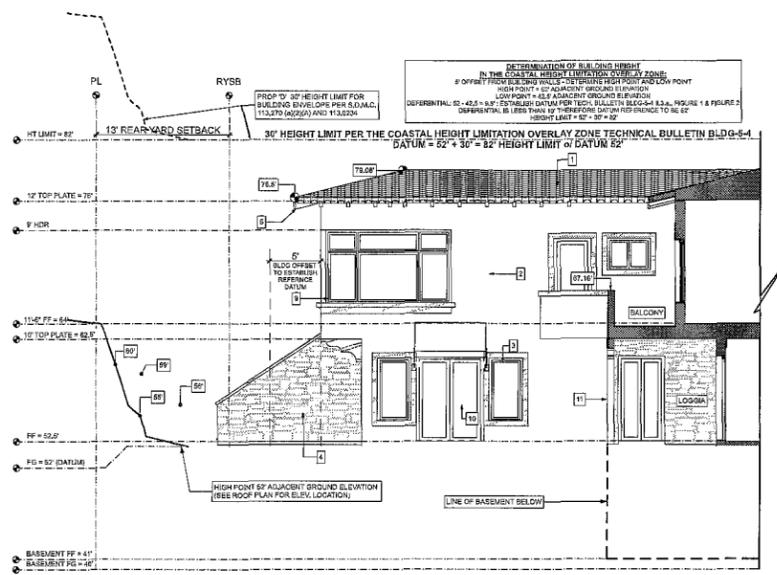
**CDP.4**

**ELEVATIONS | CDP 2ND CYCLE REVIEW 7.7.2015**

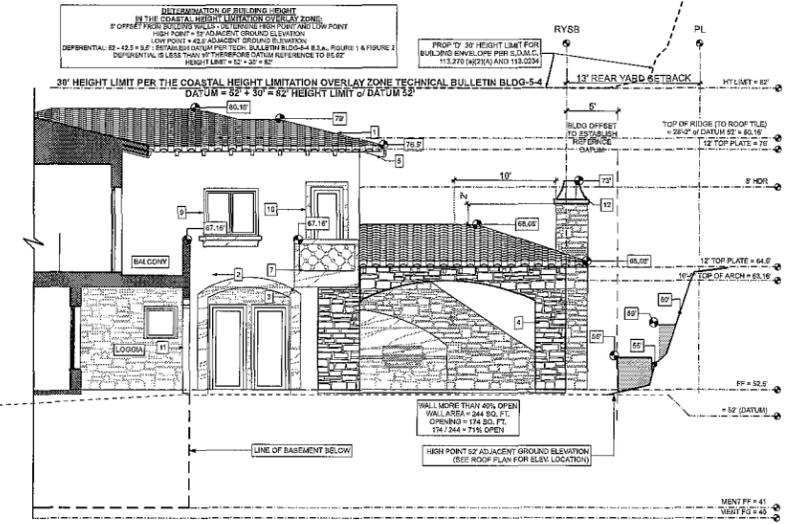
Plotted On: 7/6/2015



3685 North Park Way, San Diego, CA 92104 TEL: 619-594-9400 FAX: 619-594-9401



COURTYARD NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



COURTYARD SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

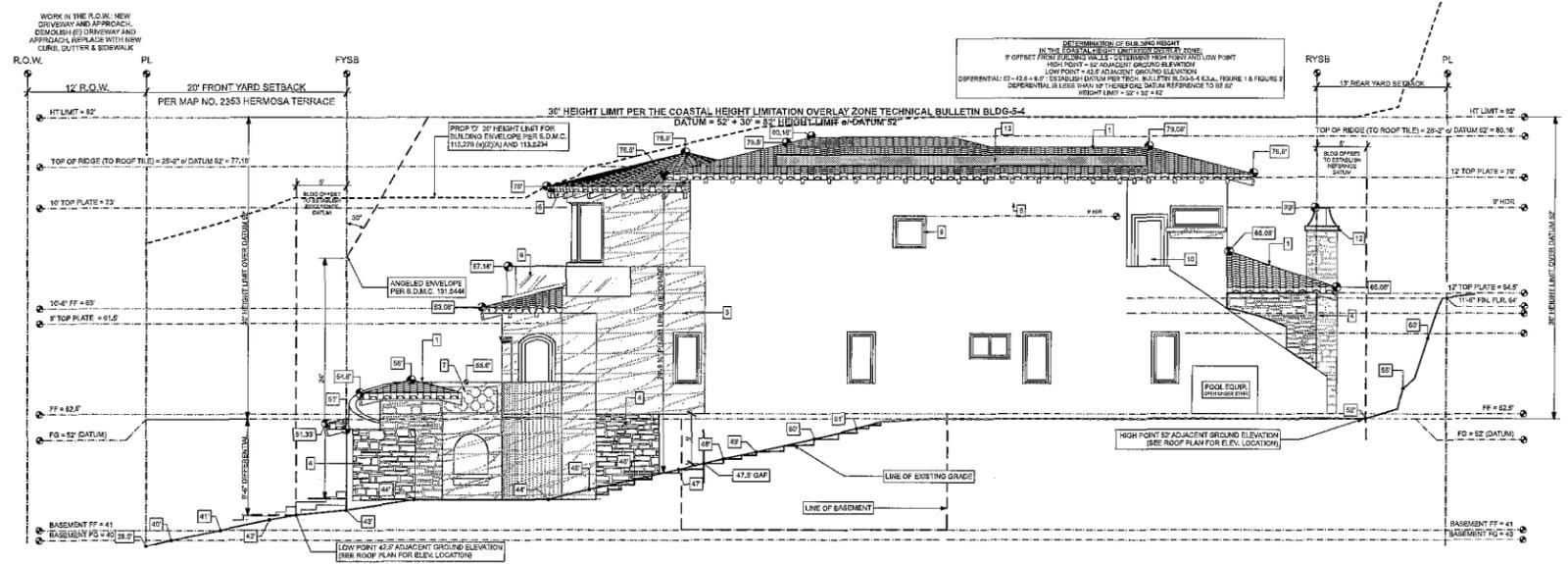
**MATERIAL LEGEND**

1	2 PIECE CLAY TILE
2	STUCCO - SANTA BARBARA FINISH
3	LIMESTONE CLADDING & TRIM
4	STONE
5	4X6 RAFTER TAILS
6	GLASS RAILING
7	CHARRED STONE RAILING
8	WROUGHT IRON RAILING
9	ALUM. CLAD WOOD WINDOWS
10	WOOD DOOR (FRONTS)
11	DECORATIVE COLUMN
12	COPPER CHIMNEY SHROUD
13	SOLAR PANELS

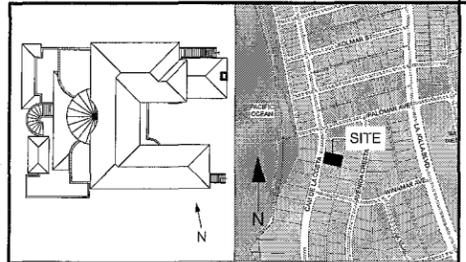
**SYMBOL LEGEND**

[Symbol]	STONE
[Symbol]	LIMESTONE
[Symbol]	CHARRED STONE
[Symbol]	MATERIAL CALL-OUT
[Symbol]	ELEVATION CALL-OUT

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CAITLIN KELLEY ARCHITECT AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE ON PROJECTS OF SUCH LIKE NATURE. SUCH ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CAITLIN KELLEY ARCHITECT.



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**KEY MAP** SCALE: 1:40

**VICINITY MAP** NTS

**PROJECT DATA:** APN: 351-562-03-00

**CONSTRUCTION TYPE:** V8 100% SPRINKLERED

**OCCUPANCY:** R-3 S.F.R.

**LEGAL DESCRIPTION:** LOT 3 BLOCK 2 HERMOSA TERRACE, MAP TR 2353, COUNTY OF SAN DIEGO.

**CODE:** CRC 2013 EDITION

**ZONE:** RS-1-7

**BENCHMARK:** CITY OF SAN DIEGO BENCHMARK NE8P AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE, ELEVATION = 28.59', DATUM = MSL.

**SETBACKS:** FRONT: 29', REAR: 13'

**NO. OF STORIES:** (2) OVER BASEMENT

**GROSS SITE AREA:** 10,367 SQ. FT.

**LIVING SQ. FT.:** 6,571 SQ. FT.

**F.A.R.:** 0.555

**LANDSCAPE AREA:** 16.5%

**EXISTING BUILDING:** LIVING AREA 4,447 SQ. FT., GARAGE 400 SQ. FT., STATUS: DEMO 100%

**OCCUPANCY:** R-3 S.F.R.

**CONSTRUCTED:** EXISTING

**SOIL CONDITION:** PREV. DEV. SITE

**OVERLAY ZONES:** CITY COASTAL (APPEALABLE) OVERLAY ZONE, COASTAL HEIGHT LIMIT OVERLAY ZONE, COASTAL PARKING IMPACT ZONE, BEACH PARKING IMPACT ZONE, RESIDENTIAL TANDEM PARKING OVERLAY ZONE, TRANSIT AREA OVERLAY ZONE

**GEO HAZARD AREA:** 53

**ZONING:** RS-1-7

**COMMUNITY PLAN:** LA JOLLA

**PERMITS REQUIRED:** COASTAL DEVELOPMENT PERMIT

**HUDSON RESIDENCE**

**OWNER:** ARIANE HUDSON

**PROJECT ADDRESS:** 6435 CAMINO DE LA COSTA LA JOLLA, CALIFORNIA 92037

**REVISIONS**

NO.	DATE	DESCRIPTION
1	7/6/2015	DATE
2	2/25/2015	ORIG. DATE
3	AS NOTED	SCALE
4	CK	DRAWN
5	1404	JOB
6	412226	CITY PROJECT NO.

**DATE:** 7/6/2015

**ORIG. DATE:** 2/25/2015

**SCALE:** AS NOTED

**DRAWN:** CK

**JOB:** 1404

**CITY PROJECT NO.:** 412226

**CDP.5**

Plotted On: 7/6/2015

**PROJECT TEAM:**

**ARCHITECT | PREPARED BY:** CAITLIN KELLEY ARCHITECT  
CONTACT: CAITLIN KELLEY  
2865 NORTH PARK WAY  
SAN DIEGO, CA 92104  
TEL: 619-594-9400  
FAX: 619-594-9401  
EMAIL: CAITLIN@KELLEYARCH.COM

**GEOTECHNICAL ENGINEER:** TERRA PACIFIC SOLUTIONS, INC.  
CONTACT: CHRISTOPHER C. DYEREN  
4015 MORENA BLVD., SUITE 109  
SAN DIEGO, CA 92117  
TEL: 619-592-1190  
EMAIL: CHRIS@TERRAPAC.NET

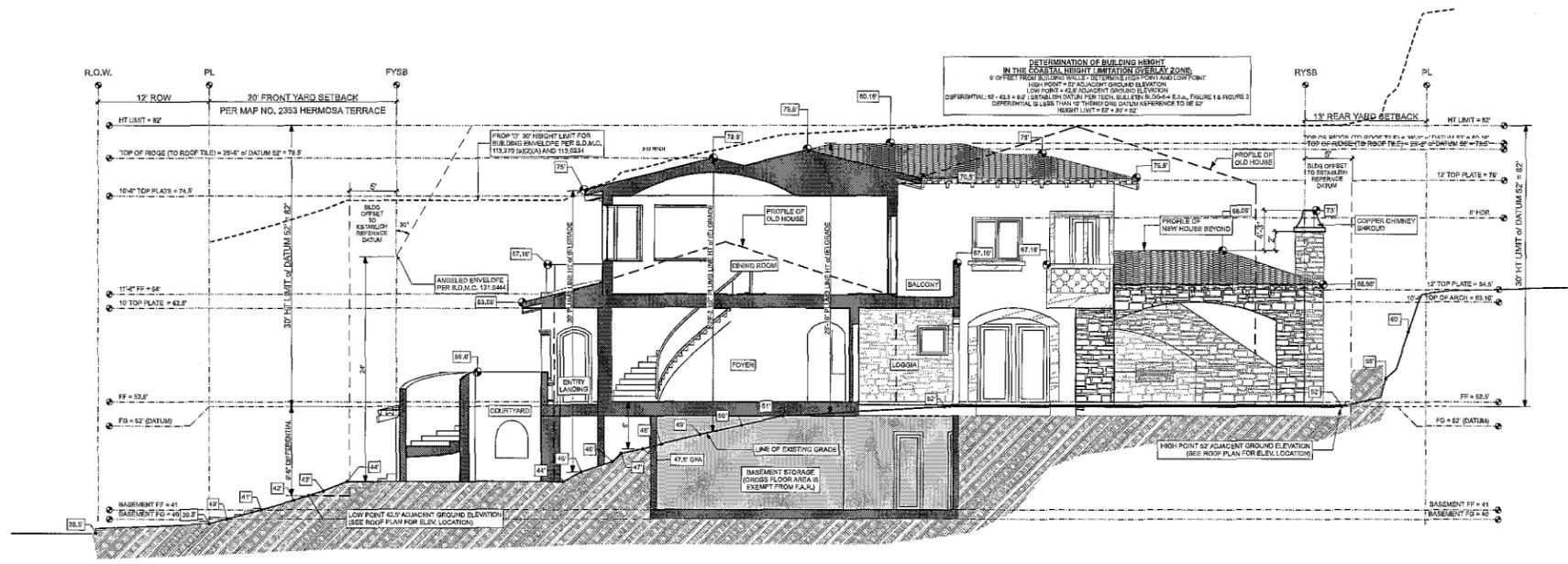
**SURVEYOR & CIVIL ENGINEER:** EARTH WIND WATER CIVIL ENGINEERING  
CONTACT: DAN BIGGS  
11440 WEST BISHOP COURT SUITE 300  
RANCHO BERNARDO, CA 92127  
TEL: 858-738-1817  
EMAIL: DAN@EARTH-WIND-WATER.COM

**LANDSCAPE ARCHITECT:** STONE GROVE LANDSCAPE ARCHITECTS  
CONTACT: BRIAN GROVE  
300 NORTH GARDENS AVE.  
SOLANA BEACH, CA 92755  
TEL: 949-345-1189  
EMAIL: BRIAN@STONE-GROVE.COM

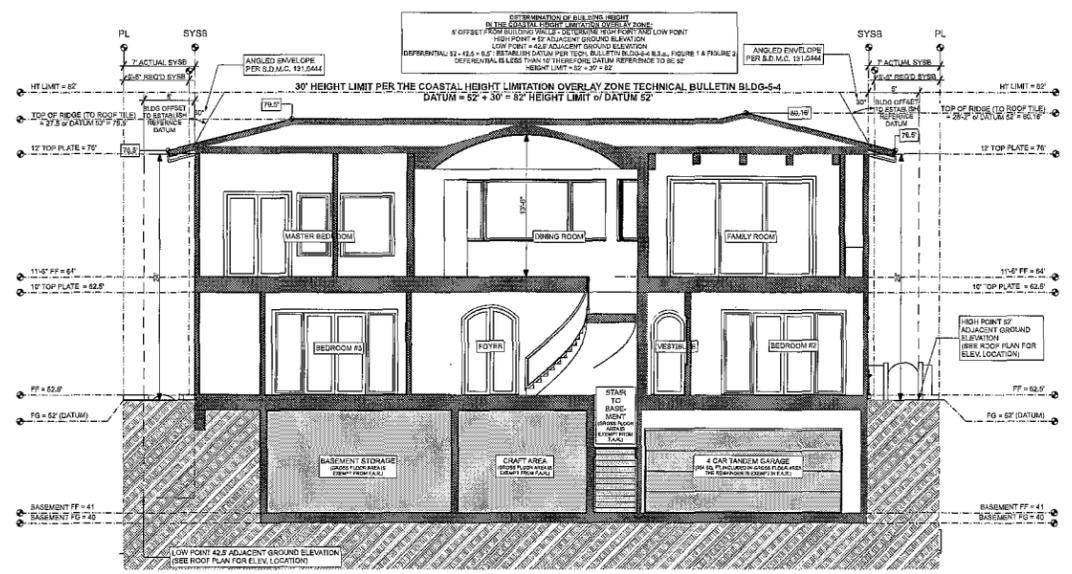
ELEVATIONS | CDP 2ND CYCLE REVIEW 7.7.2015



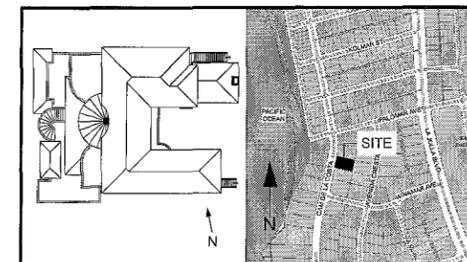
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CAITLIN KELLEY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON PROJECT NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CAITLIN KELLEY ARCHITECT.



1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



<b>KEY MAP</b>	SCALE: 1:40	<b>VICINITY MAP</b>	NTS
<b>PROJECT DATA:</b>	APN: 351-562-03-00	<b>LEGAL DESCRIPTION:</b>	CITY OF SAN DIEGO BENCHMARK: NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE. ELEVATION = 25.99' DATUM = MSL
<b>CONSTRUCTION TYPE:</b>	VB 100% SPRINKLERED	<b>BENCHMARK:</b>	CITY OF SAN DIEGO BENCHMARK: NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE. ELEVATION = 25.99' DATUM = MSL
<b>OCCUPANCY:</b>	R-3 S.F.R.	<b>OVERLAY ZONES:</b>	CITY COASTAL APPEALABLE (C) OVERLAY ZONE COASTAL HEIGHT LIMIT OVERLAY ZONE COASTAL PARKING IMPACT ZONE BEACH PARKING IMPACT ZONE RESIDENTIAL TANDDEM PARKING OVERLAY ZONE TRANSIT AREA OVERLAY ZONE
<b>CODE:</b>	GRC 2013 EDITION	<b>LANDSCAPE AREA:</b>	16.5%
<b>ZONE:</b>	RS-1-7	<b>EXISTING BUILDING:</b>	LIVING AREA: 4,447 SQ. FT. GARAGE: 400 SQ. FT.
<b>SETBACKS:</b>	FRONT: 20' SIDE: 7' REAR: 15'	<b>STATUS:</b>	DEMOL 100%
<b>NO. OF STORIES:</b>	(2) OVER BASEMENT	<b>OCCUPANCY:</b>	R-3 S.F.R.
<b>GROSS SITE AREA:</b>	10,387 SQ. FT.	<b>CONSTRUCTED:</b>	1980 NON-HISTORIC
<b>LIVING SQ. FT.:</b>	5,571 SQ. FT.	<b>SOIL CONDITION:</b>	EXISTING PREV. DEV. SITE
<b>F.A.R.:</b>	0.535	<b>PERMITS REQUIRED:</b>	COASTAL DEVELOPMENT PERMIT
<b>LANDSCAPE AREA:</b>	16.5%	<b>COMMUNITY PLAN:</b>	LA JOLLA
<b>EXISTING BUILDING:</b>	LIVING AREA: 4,447 SQ. FT. GARAGE: 400 SQ. FT.	<b>ZONING:</b>	RS-1-7
<b>STATUS:</b>	DEMOL 100%	<b>PERMITS REQUIRED:</b>	COASTAL DEVELOPMENT PERMIT
<b>OCCUPANCY:</b>	R-3 S.F.R.	<b>PROJECT TEAM:</b>	
<b>CONSTRUCTED:</b>	1980 NON-HISTORIC	<b>ARCHITECT   PREPARED BY:</b>	CAITLIN KELLEY ARCHITECT CONTACT: CAITLIN KELLEY 2355 NORTH PARK WAY SAN DIEGO, CA 92117 TEL: 858-345-2101 FAX: 858-408-3888 EMAIL: CAITLIN@CKA.COM
<b>SOIL CONDITION:</b>	EXISTING PREV. DEV. SITE	<b>GEOTECHNICAL ENGINEER:</b>	TERRA PACIFIC SOLUTIONS, INC. CONTACT: CHRISTOPHER C. O'NEILL 4000 MORENA BLVD, SUITE 103 SAN DIEGO, CA 92117 TEL: 858-521-1199 EMAIL: CROSO@TERRAPAC.NET
		<b>SURVEYOR &amp; CIVIL ENGINEER:</b>	BARTH WIND WATER CIVIL ENGINEERING CONTACT: DAN BRIGGS 11445 WEST BERNARDO COURT SUITE 300 RANCHO BERNARDO, CA 92127 TEL: 858-755-1947 EMAIL: DAN@BARTH-WIND-WATER.COM
		<b>LANDSCAPE ARCHITECT:</b>	STONE GROVE LANDSCAPE ARCHITECTS CONTACT: BRIAN GROVE 200 NORTH CEDROS AVE SOLAN BEACH, CA 90707 TEL: 858-345-1499 EMAIL: BRIAN@STONE-GROVE.COM

<b>HUDSON RESIDENCE</b>	<b>OWNER:</b>	ARIANE HUDSON	
	<b>PROJECT ADDRESS:</b>	6435 CAMINO DE LA COSTA LA JOLLA, CALIFORNIA 92037	
<b>REVISIONS</b>	<b>BY</b>	<b>REVISIONS</b>	<b>DATE</b>
	CK	CDP	6.16.15
<b>Date:</b>	7/6/2015		
<b>Orig. Date:</b>	2.25.2015		
<b>Scale:</b>	AS NOTED		
<b>Drawn:</b>	CK		
<b>Job:</b>	1404		
<b>City Project No.:</b>	412226		
<b>CDP.6</b>			
<b>Rollout On:</b>	7/6/2015		

BUILDING SECTIONS | CDP 2ND CYCLE REVIEW 7.7.2015

**BENCH MARK:**

BENCH MARK FOR THIS SURVEY IS A NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PL.  
 ELEVATION: 28.99  
 DATUM: MEAN SEA LEVEL

TOPOGRAPHIC SURVEY OF  
**6435 CAMINO DE LA COSTA**  
 SAN DIEGO, CA 92037  
 JANUARY 2, 2014

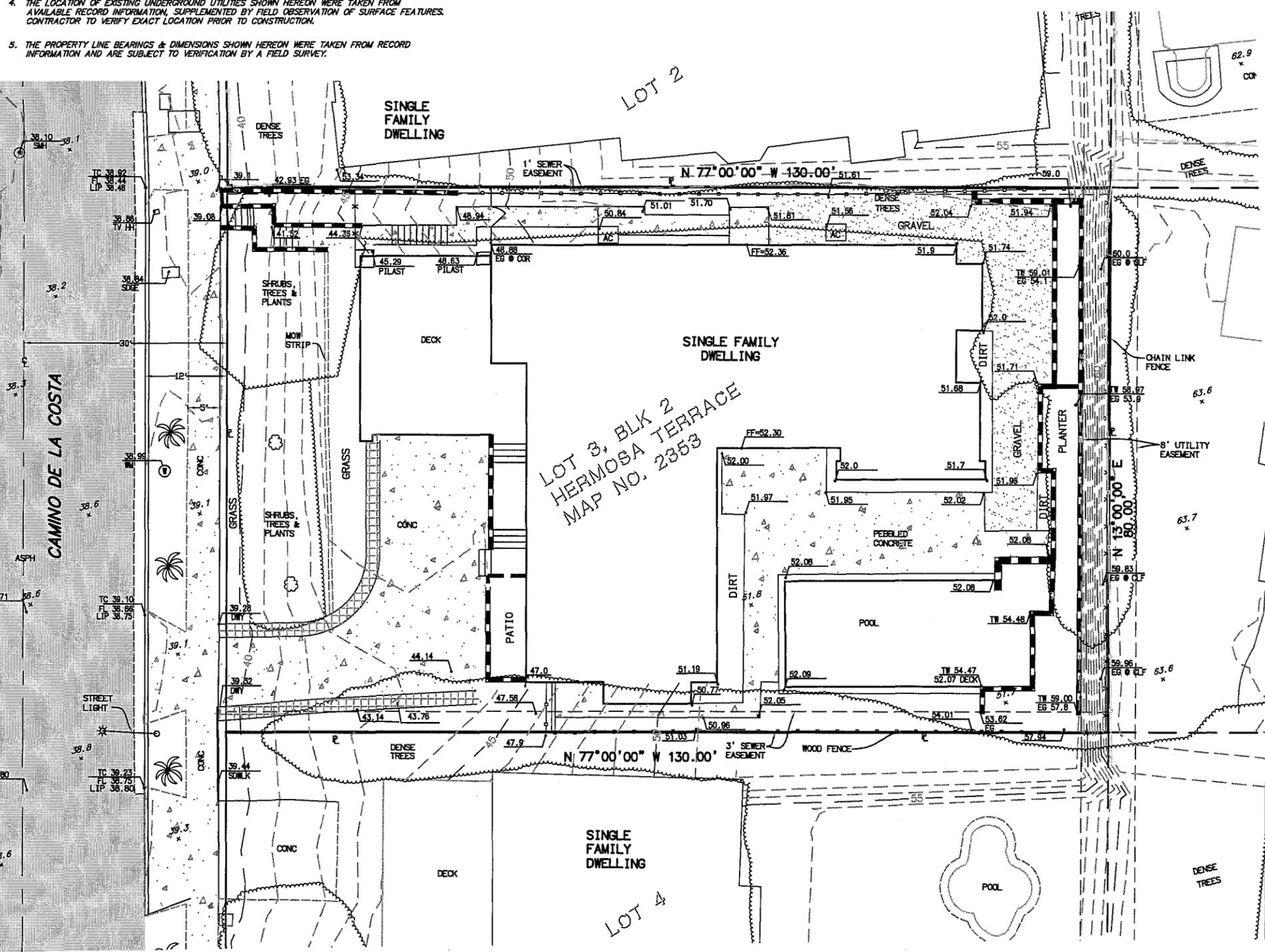
**NOTES:**

1. SITE ADDRESS: 6435 CAMINO DE LA COSTA, LA JOLLA
2. LEGAL DESCRIPTION: LOT 3, BLOCK 2 OF HERMOSA TERRACE MAP NO. 2353, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA
3. ASSESSOR'S PARCEL NO. 351-562-03
4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM AVAILABLE RECORD INFORMATION, SUPPLEMENTED BY FIELD OBSERVATION OF SURFACE FEATURES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
5. THE PROPERTY LINE BEARINGS & DIMENSIONS SHOWN HEREON WERE TAKEN FROM RECORD INFORMATION AND ARE SUBJECT TO VERIFICATION BY A FIELD SURVEY.

SCALE 1" = 8'

**LEGEND**

- 158.2 — SPOT ELEVATION
- 150 — CONTOUR ELEVATION
- WM — WATER METER
- FC — FACE OF CURB
- TC — TOP OF CURB
- GM — GAS METER
- SMH — SEWER MANHOLE
- FL — FLOW LINE
- CONC. — CONCRETE PAVING
- AC — ASPHALT PAVING
- WV — WATER VALVE
- X — EXISTING CHAIN LINK FENCE
- — EXISTING MASONRY BLOCK WALL



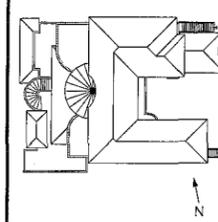
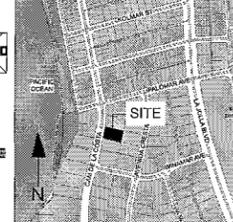
Allen R. A. Turner III PLS DATE

**PREPARED FOR:**

DREW & ARIANA HUDSON  
 6435 CAMINO DE LA COSTA  
 LA JOLLA, CA 92037

KAPPA Surveying & Engineering, Inc.  
 8707 La Mesa Blvd., La Mesa, CA 91942  
 Phone: 619-465-8948 Fax: 619-465-6410

6707 La Mesa Blvd  
 La Mesa, Calif. 91942 (619) 465-8948  
 FAX (619) 465-6410

 KEY MAP SCALE 1:40	 VICINITY MAP NTS	<p><b>PROJECT DATA:</b> APN: 351-562-03-00</p> <p>CONSTRUCTION TYPE: VB 100% SPRINKLERED</p> <p>OCCUPANCY: R-3 S.F.R.</p> <p>CODE: CRC 2013 EDITION</p> <p>ZONE: RS-1-7</p> <p>SETBACKS: FRONT: 20'                  SIDE: 5'                  REAR: 15'</p> <p>NO. OF STORIES: (2) OVER BASEMENT</p> <p>GROSS SITE AREA: 10,387 SQ. FT.</p> <p>LIVING SQ. FT.: 5,571 SQ. FT.</p> <p>F.A.R.: 0.535</p> <p>LANDSCAPE AREA: 16.5%</p> <p>EXISTING BUILDING: LIVING AREA 4,447 SQ. FT.                  GARAGE 400 SQ. FT.                  STATUS: DEMO 100%</p> <p>OCCUPANCY: R-3 S.F.R.</p> <p>CONSTRUCTED: 1990 NON-HISTORIC</p> <p>SOIL CONDITION: EXISTING PREV. DEV. SITE</p>															
<p><b>LEGAL DESCRIPTION:</b>                  LOT 3, BLOCK 2 HERMOSA TERRACE, MAP TR 2353, COUNTY OF SAN DIEGO.</p> <p><b>BENCHMARK:</b>                  CITY OF SAN DIEGO BENCHMARK NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE.                  ELEVATION = 28.99'                  DATUM = MSL</p> <p><b>OVERLAY ZONES:</b>                  CITY COASTAL (APPELLABLE) OVERLAY ZONE                  COASTAL HEIGHT LIMIT OVERLAY ZONE                  COASTAL PARKING IMPACT ZONE                  BEACH PARKING IMPACT ZONE                  RESIDENTIAL TANDEM PARKING OVERLAY ZONE                  TRANSIT AREA OVERLAY ZONE</p> <p><b>GEO HAZARD AREA:</b> 53</p> <p><b>ZONING:</b> RS-1-7</p> <p><b>COMMUNITY PLAN:</b> LA JOLLA</p> <p><b>PERMITS REQUIRED:</b>                  COASTAL DEVELOPMENT PERMIT</p>		<p><b>HUDSON RESIDENCE</b></p> <p><b>OWNER:</b> ARIANE HUDSON</p> <p><b>PROJECT ADDRESS:</b> 6435 CAMINO DE LA COSTA                  LA JOLLA, CALIFORNIA 92037</p> <p><b>BY REVISIONS DATE</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>Date: 7/6/2015                  Orig. Date: 2.25.2015                  Scale: AS NOTED                  Drawn: CK                  Job: 1404                  City Project No: 412226</p>	NO.	DATE	DESCRIPTION												
NO.	DATE	DESCRIPTION															
<p><b>PROJECT TEAM:</b></p> <p><b>ARCHITECT   PREPARED BY:</b>                  CATLIN KELLEY ARCHITECT                  CONTACT: CATLIN KELLEY                  2985 NORTH PARKWAY                  SAN DIEGO, CA 92104                  TEL: 619-544-2084                  FAX: 619-458-3568                  EMAIL: CATLIN@KELLEYARCH.COM</p> <p><b>SURVEYOR &amp; CIVIL ENGINEER:</b>                  EARTH WIND WATER CIVIL ENGINEERING                  CONTACT: DAN BRIGGS                  1140 WEST BERNARDO COURT SUITE 300                  SAN DIEGO, CALIFORNIA 92107                  TEL: 619-758-1917                  EMAIL: DAN@EARTH-WIND-WATER.COM</p>		<p><b>GEOTECHNICAL ENGINEER:</b>                  TERRA PACIFIC SOLUTIONS, INC.                  CONTACT: CHRISTOPHER C. O'BRIEN                  6710 MORNING BLVD., SUITE 100                  SAN DIEGO, CA 92121                  TEL: 619-521-1189                  EMAIL: CPOB@TERRAPACNET</p> <p><b>LANDSCAPE ARCHITECT:</b>                  STONE GROVE LANDSCAPE ARCHITECTS                  CONTACT: BRIAN GROVE                  200 NORTH CEDROS AVE.                  SOLANA BEACH, CA 92075                  TEL: 619-245-1459                  EMAIL: BR@STONEGROVE.COM</p>	<p style="text-align: center; font-size: 2em; font-weight: bold;">CDP.7</p> <p style="text-align: right; font-size: 0.8em;">Printed On: 7/6/2015</p>														

SURVEY | CDP 2ND CYCLE REVIEW 7.7.2015

**EROSION AND SEDIMENT CONTROL NOTES**

TEMPORARY EROSION / SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL", "STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING / IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PLAN (SWPPP) AND / OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL. BMP'S AND FOR PERMANENT POST-CONSTRUCTION TREATMENT CONTROL. PERMANENT BMP'S AND THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
- FOR STORM INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLETS AS INDICATED ON DETAILS.
- FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' OF FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND THE STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE ALL EROSION / SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION / SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION / SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION / SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION / SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER / DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION / SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

# DRAINAGE AND GRADING PLANS FOR THE HUDSON RESIDENCE

## 6435 CAMINITO DE LA COSTA LA JOLLA, CA. 92037

**MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN**

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION:** ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ONE HALF INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION ("NOT") IS FILED.
- STRUCTURAL PRACTICES:** DE-SILTING BASINS, DIVERSION DITCHES, DOWN-DRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ONE HALF INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING:** POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND / OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

**PERMANENT POST-CONSTRUCTION BMP NOTES**

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT ("SWMDCMA"), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE "LAND DEVELOPMENT MANUAL STORM WATER STANDARDS".
- PERMANENT POST-CONSTRUCTION BMP DEVICES SHOWN ON THIS PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

**DRAWING SHEET INDEX**

NOTES AND SPECIFICATIONS.....	SHT C.1
DRAINAGE (AND GRADING) PLAN VIEW.....	SHT C.2
GRADING CROSS-SECTIONS AND CONSTRUCTION DETAILS.....	SHT C.3
STORM WATER TREATMENT AND LID NOTES AND DETAILS.....	SHT C.4
EROSION CONTROL BMP PLAN.....	SHT C.5

**STANDARD ABBREVIATIONS**

FINISHED GRADE (ELEVATION OF GROUND).....	FG=
FINISHED SURFACE (ELEVATION OF FINISHED SURFACE).....	FS=
TOP OF RETAINING WALL.....	TW=
BOTTOM OF RETAINING WALL (WHERE GROUND MEETS RETAINING WALL).....	BW=
TOP OF RETAINING WALL FOOTING.....	TF=
MASONRY RETAINING WALL.....	CMU WALL
SEGMENTAL (CRIB TYPE) RETAINING WALL.....	CRIB WALL
PAD ELEVATION (ELEVATION OF THE ROUGH PAD BENEATH THE HOME).....	PAD EL=
GARAGE FLOOR (ELEVATION OF FRONT LIP OF GARAGE FLOOR SLAB).....	GF=
CONCRETE OR OTHER STAIRWAY-UP FROM GRADE.....	STAIR-UP
CONCRETE OR OTHER STAIRWAY-DOWN FROM GRADE.....	STAIR-DN
LANDSCAPE PLANTINGS.....	PLANTS
RECORD PROPERTY BOUNDARY.....	(REC)
SILT FENCE (A BMP SILT FENCE).....	SF
GRAVEL BAGS (A BMP GRAVEL BAG).....	GB
CONSTRUCTION ENTRANCE (A GRAVEL BMP AREA AT PROJECT ENTRANCE).....	CONST ENT

**LEGEND PROPOSED IMPROVEMENTS**

IMPROVEMENT	STD DWGS	SYMBOL
FINISHED GRADE ELEVATION .....	FG=123.45	.....
TOP / BOTTOM OF RETAINING WALLS (BUILT PER BLDG PERMIT) .....	TW=123.45 BW=678.90	.....
TOP OF GRATE / FLOW LINE (OF PRIVATE CATCH BASIN).....	TG=123.45 FL=578.90	.....
CATCH BASIN (SEE DETAILS ON SHT 04) .....		.....
PLASTIC PIPE (NON-PERFORATED) .....		.....
PLASTIC PIPE (PERFORATED WITH HOLES DOWN) .....		.....
6" MASONRY (CMU) FENCE (BUILT PER BLDG PERMIT) .....		.....
ENERGY DISSIPATER (SEE DETAILS ON SHT 04) .....		.....
PERMANENT BIO-FILTRATION IMP DEVICES (SEE SHEET 05) .....		.....
PRIVATE PLASTIC STORM DRAIN PIPE .....		.....
CONCRETE (IMPERMEABLE) .....		.....
STONE SURFACING (IMPERMEABLE) .....		.....
PROPOSED RESIDENCE .....		.....
PERMEABLE PAVERS .....		.....
FIBER GLASS TANK.....	TANK	.....
ROOF DRAIN / DOWNSPOUTS (ALL ROOF DRAINS AND DOWNSPOUTS MUST BE CONNECTED TO THE CLOSEST PRIVATE DRAIN PIPE) .....		.....
RETAINING WALL SUB-DRAINS (ALL WALL DRAINS SHALL BE CONNECTED TO THE CLOSEST PRIVATE DRAIN PIPE) .....		.....

**TOPOGRAPHY SOURCE**

THE TOPOGRAPHY USED ON THESE PLANS IS FROM A TOPOGRAPHIC SURVEY PERFORMED BY KAPPA SURVEYING AND ENGINEERING, INC. PERFORMED ON JANUARY 2, 2014.

**BENCH MARK**

BENCH MARK FOR THIS SURVEY IS A N.E.B.P. AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE.  
ELEVATION: 28.99  
DATUM: MEAN SEA LEVEL, NGVD 29

**TOTAL DISTURBED AREA**

THE TOTAL SITE DISTURBED AREA IN ACRES IS REQUIRED FOR STORM WATER PURPOSES. THE AREA OF THIS SITE BEING DISTURBED IN ACRES IS: 0.239 ACRES (10,400 SQ FT)

**GRADING QUANTITIES**

TOTAL SITE AREA	0.239 ACRES
DISTURBED AREA	0.239 ACRES
MAX CUT DEPTH	2 FEET, OUTSIDE OF THE BLDG ENVELOPE (13 FEET, GRADING WITHIN THE BLDG ENVELOPE)
CUT QUANTITIES	400 CY, OUTSIDE OF THE BLDG ENVELOPE (1,200 CY, INCLUDING GRADING WITHIN BLDG ENVELOPE)
MAX CUT SLOPE RATIO	2:1
FILL QUANTITIES	400 CY, OUTSIDE OF BLDG ENVELOPE (1,200 CY, INCLUDING GRADING WITHIN BLDG ENVELOPE)
MAX FILL DEPTH	1 FEET, OUTSIDE OF THE BLDG ENVELOPE (5 FEET, GRADING WITHIN THE BLDG ENVELOPE)
IMPORT / EXPORT	0 CY (OF EXPORT)
MAX FILL SLOPE RATIO	2:1

THIS PROJECT PROPOSES TO EXPORT NO CUBIC YARDS OF MATERIAL FROM THIS SITE. SPECIAL GRADING FOR FOOTINGS AND TRENCHES WILL ONLY GENERATE ABOUT 50 CY.

**EXISTING AND PROPOSED LEGAL DESCRIPTION**

LOT 3, BLOCK 3 OF HERMOSA TERRACE MAP NO. 2353, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

ASSESSOR'S PARCEL NO: 351-562-03-00

WDID # (NOT REQUIRED)

**STORM WATER PROTECTION NOTES**

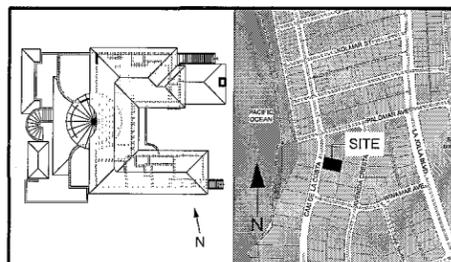
THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO: R9-2007-1; AND RISK LEVEL / TYPE: CHECK ONE BELOW

- WPCP
- CCP RISK LEVEL 1       CUP LUP TYPE 1
- CCP RISK LEVEL 2       CCP LUP TYPE 2
- CCP RISK LEVEL 3       CCP LUP TYPE 3

CHECK ONE:

- THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED LIMIT, THEREFORE A WEATHER TRIGGERED ACTION PLAN (WTAP) IS REQUIRED.
- THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
- NOT APPLICABLE.

THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WPCP OR SWPPP AS APPLICABLE.



**KEY MAP** SCALE 1:40      **VICINITY MAP** NTS

**PROJECT DATA:** APN: 351-562-03-00

CONSTRUCTION TYPE: VB 100% SPRINKLERED

OCCUPANCY: R-3 S.F.R.

CODE: CRC 2013 EDITION

ZONE: RS-1-7

SETBACKS: FRONT: 20'      NEPTUNE PLACE, ELEVATION = 28.99'      DATUM = MSL.

NO. OF STORIES: (2) OVER BASEMENT

GROSS SITE AREA: 10,397 SQ. FT.

LIVING SQ. FT.: 5,570 SQ. FT.

F.A.R.: 0.535

LANDSCAPE AREA: 16.5%

EXISTING BUILDING: 4,447 SQ. FT.

GARAGE: 400 SQ. FT.

STATUS: DEMO 100%

OCCUPANCY: R-3 S.F.R.

CONSTRUCTION: 1980 NON-HISTORIC EXISTING PREV. DEV. SITE

SOIL CONDITION: EXISTING

**LEGAL DESCRIPTION:** LOT 3 BLOCK 3 HERMOSA TERRACE, MAP TR 2353, COUNTY OF SAN DIEGO.

**BENCHMARK:** CITY OF SAN DIEGO BENCHMARK NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE, ELEVATION = 28.99' DATUM = MSL.

**OVERLAY ZONES:** CITY COASTAL (APPLICABLE) OVERLAY ZONE COASTAL HEIGHT LIMIT OVERLAY ZONE COASTAL PARKING IMPACT ZONE BEACH PARKING IMPACT ZONE RESIDENTIAL TANDEM PARKING OVERLAY ZONE TRANSIT AREA OVERLAY ZONE

**GEO HAZARD AREA:** 53

**ZONING:** RS-1-7

**COMMUNITY PLAN:** LA JOLLA

**PERMITS REQUIRED:** COASTAL DEVELOPMENT PERMIT

**PROJECT TEAM:**

ARCHITECT / PREPARED BY: CAELIN KELLEY ARCHITECT CONTACT: CAELIN KELLEY 2865 NORTH PARKWAY SAN DIEGO, CA 92104 TEL: 619-546-2864 FAX: 619-408-3368 EMAIL: CAELINKELLEY@ME.COM

GEOTECHNICAL ENGINEER TERRAPAC SOLUTIONS, INC. CONTACT: CHRISTOPHER C. O'NEEN 4010 MORNING BLDG, SUITE 100 SAN DIEGO, CA 92121 TEL: 619-521-1100 EMAIL: CROSO@TERRAPAC.NET

SURVEYOR & CIVIL ENGINEER: STONE & WIND WATER ENGINEERS CONTACT: DAN BIGGS 11440 WEST BERNARDO COURT SUITE 300 RANCHO BERNARDO, CA 92127 TEL: 619-798-1947 EMAIL: DAN@EARTH-WIND-WATER.COM

LANDSCAPE ARCHITECT: STONE & WIND LANDSCAPE ARCHITECTS CONTACT: BRIAN GROVE 200 NORTH CEDROS AVE. 800 ANA BEACH, CA 92025 TEL: 619-345-1489 EMAIL: BRIAN@STONE-GROVE.COM

Date: 9/17/2015  
Orig. Date: 2.25.2015  
Scale: AS NOTED  
Drawn: CK  
Job: 1404  
City Project No: 412226

**C.1**

Plotted On: 9/17/2015

POST-CONSTRUCTION PERMANENT BMP OPERATION & MAINTENANCE PROCEDURE DETAILS				
STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO.:				
O&M RESPONSIBLE PARTY DESIGNEE: PROPERTY OWNER				
BMP DESCRIPTION	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	SHEET NUMBER(S)
CATCH-BASINS	6 MONTHS	6 MONTHS	VISUALLY INSPECT AND CLEAN	
STORM DRAIN PIPE	6 MONTHS	6 MONTHS	VISUALLY INSPECT AND CLEAN	
ENERGY DISSIPATER	6 MONTHS	6 MONTHS	VISUALLY INSPECT AND CLEAN	
VEGETATED AREA	6 MONTHS	6 MONTHS	VISUALLY INSPECT AND CLEAN	
HMP FACILITY				

NOTE TO SURVEYOR: DO NOT USE THESE PLANS FOR STAKING OF ANYTHING BUT THE DRAINAGE ELEMENTS SHOWN. USE THE ARCHITECTURAL PLANS FOR BUILDING AND OTHER IMPROVEMENT LOCATIONS

ADMINISTRATIVE OFFICES  
11440 WEST BERNARDO COURT  
RANCHO BERNARDO, CALIFORNIA 92127  
EMAIL: INFO@EARTH-WIND-WATER.COM

PROJECT: 2015-051  
CONTACT: DAN S. BIGGS  
CITY PIS#: 412226

**EARTH WIND WATER**  
CIVIL ENGINEERING

REGISTERED PROFESSIONAL ENGINEER  
DANIEL S. BIGGS  
No. 26112  
CIVIL  
STATE OF CALIFORNIA

**CONSTRUCTION NOTES AND SPECIFICATIONS**

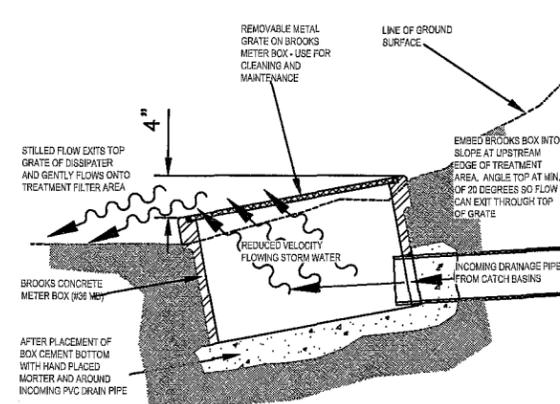
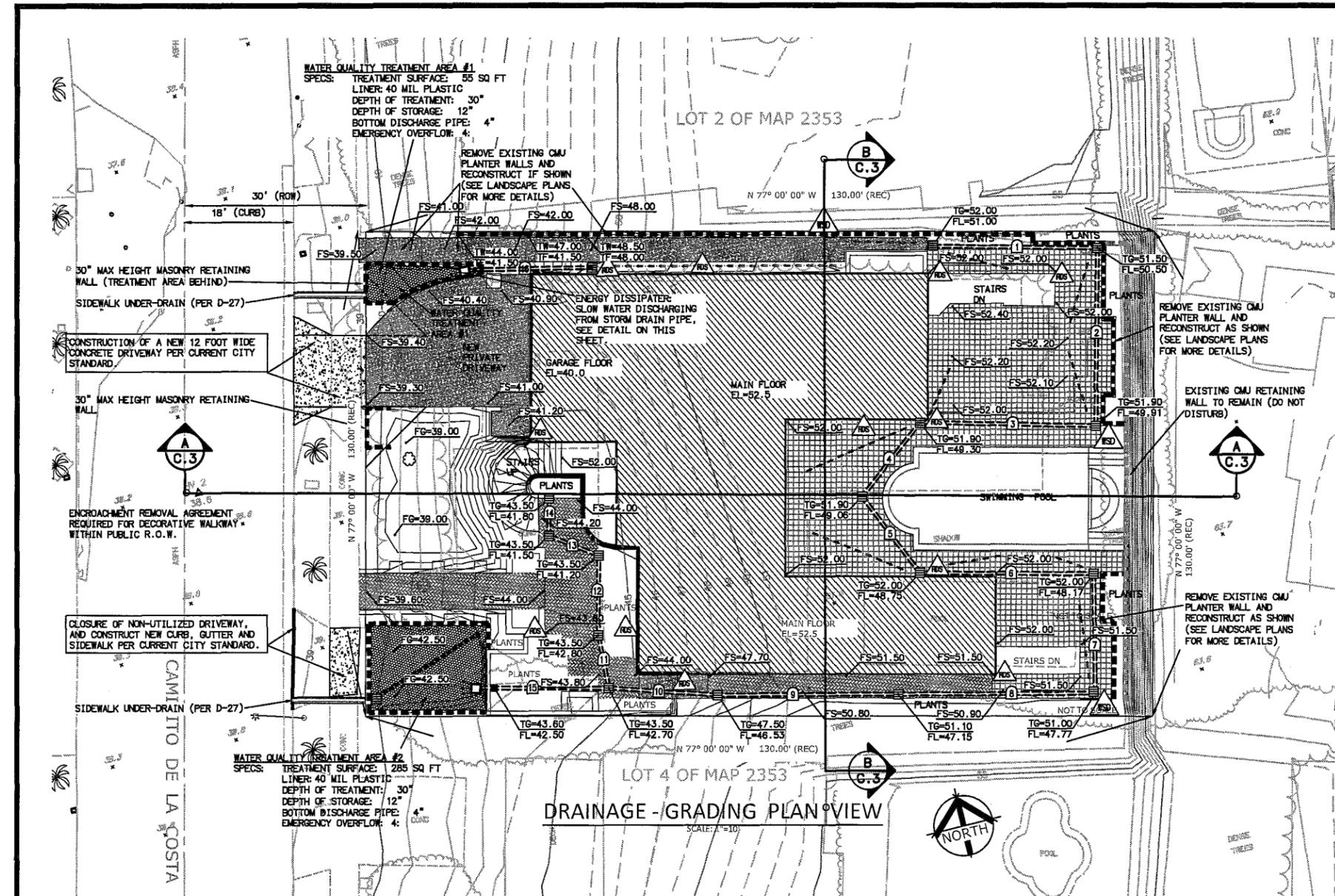
HUDSON RESIDENCE

OWNER: ARIANE HUDSON  
PROJECT ADDRESS: 6435 CAMINO DE LA COSTA LA JOLLA, CALIFORNIA 92037

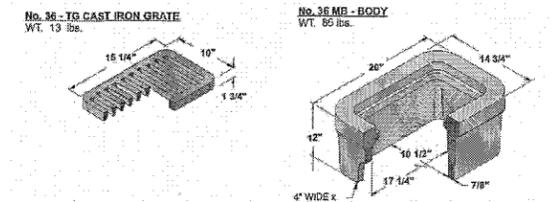
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED AFFECTING ALL LABELED SCALES.

BY REVISIONS DATE  
DB CDP REVISIONS 7.16.2015

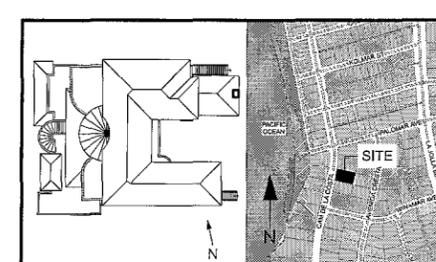
CONSTRUCTION NOTES & SPECIFICATIONS | CDP 2ND CYCLE REVIEW 8.31.2015



CROSS-SECTION OF ENERGY DISSIPATER AT ENTRANCE TO BIO-FILTER TREATMENT AREAS



DETAILS OF ENERGY DISSIPATER AT ENTRANCE TO BIO-FILTER TREATMENT AREAS



<b>PROJECT DATA:</b>		<b>APN:</b> 351-562-03-00			
<b>CONSTRUCTION TYPE:</b> V8 100% SPRINKLERED		<b>LEGAL DESCRIPTION:</b> LOT 3 BLOCK 2 HERMOSA TERRACE MAP TR 2353, COUNTY OF SAN DIEGO.			
<b>OCCUPANCY:</b> R-3 S.F.R.		<b>BENCHMARK:</b> CITY OF SAN DIEGO BENCHMARK NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE. ELEVATION = 28.99' DATUM = MSL.			
<b>CODE:</b> CRC 2013 EDITION		<b>OVERLAY ZONES:</b> CITY COASTAL (APPEALABLE) OVERLAY ZONE COASTAL HEIGHT LIMIT OVERLAY ZONE COASTAL PARKING IMPACT ZONE BEACH PARKING IMPACT ZONE RESIDENTIAL PANDEM PARKING OVERLAY ZONE TRANSIT AREA OVERLAY ZONE			
<b>ZONE:</b> RS-1-7		<b>GEO HAZARD AREA:</b> 53			
<b>SETBACKS:</b> FRONT: 20' SIDE: 7' REAR: 15'		<b>ZONING:</b> RS-1-7			
<b>NO. OF STORIES:</b> (2) OVER BASEMENT		<b>COMMUNITY PLAN:</b> LA JOLLA			
<b>GROSS SITE AREA:</b> 10,387 SQ. FT.		<b>PERMITS REQUIRED:</b> COASTAL DEVELOPMENT PERMIT			
<b>LIVING SQ. FT.:</b> 5,571 SQ. FT.		<b>ARCHITECT [PREPARED BY]:</b> CATIL INKELLEY ARCHITECT CONTACT: CATIL INKELLEY 2805 NORTH PARK WAY SAN DIEGO, CA 92104 TEL: 858-344-2404 FAX: 858-498-3388 EMAIL: CATILINKELLEY@GMAIL.COM		<b>DATE:</b> 7/6/2015	
<b>F.A.R.:</b> 0.535		<b>GEOTECHNICAL ENGINEER:</b> STONE GROVE LANDSCAPE ARCHITECTS 4000 MIDWAY BLVD. SUITE 100 SAN DIEGO, CA 92121 TEL: 858-421-1190 EMAIL: CHRIS@STONEGROVE.COM		<b>ORIG. DATE:</b> 2.25.2015	
<b>LANDSCAPE AREA:</b> 16.5%		<b>SURVEYOR &amp; CIVIL ENGINEER:</b> EARTH WIND WATER CIVIL ENGINEERING CONTACT: BRIAN GROVE 11440 WEST BERNARDO COURT SUITE 300 RANCHO BERNARDO, CA 92127 TEL: 858-758-1947 EMAIL: BR@EARTH-WIND-WATER.COM		<b>SCALE:</b> AS NOTED	
<b>EXISTING BUILDING:</b> 4,447 SQ. FT.		<b>STATUS:</b> DEMO 100%		<b>DRAWN:</b> CK	
<b>GARAGE:</b> 400 SQ. FT.		<b>OCCUPANCY:</b> R-3 S.F.R.		<b>JOB:</b> 1404	
<b>CONSTRUCTED:</b> EXISTING PREV. DEV. SITE		<b>CITY PROJECT NO.:</b> 412226		<b>PLOTTED ON:</b> 7/8/2015	

**STORM DRAIN PIPING TABLE**

THE FOLLOWING IS INFORMATION FOR THE ON-SITE STORM DRAINAGE SYSTEM WHICH IS PRIVATE. ALL PIPING IS PLASTIC. SIZE AND TYPE AS NOTED IN THE TABLE. ALL CATCH-BASINS ARE PLASTIC AS PRODUCED BY "NDS" WITH PRODUCT NUMBERS PROVIDED AS NEEDED (APPROVED EQUAL PRODUCTS MAY BE USED). WHERE CATCH-BASINS ARE SHOWN IN CONCRETE AREAS, THE TOP GRATE SHALL BE METAL, MOUNTED FLUSH WITH ADJACENT SURFACES. WHERE CATCH-BASINS ARE SHOWN IN PLANTABLE AREAS, THE TOP WILL BE AN "ATRIUM" DRAIN RISING ABOVE THE GROUND SURFACE, WITH THE ENTRY LEVEL OF THE CATCH-BASIN BEING SET AT 1.5 INCHES ABOVE THE ADJACENT SURFACE (TO FORM A SELF RETAINING PLANTER AREA).

PIPE ID	PIPE SIZE	LENGTH	GRADE	PIPE DESCRIPTION
1	4"	28'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
2	4"	30'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
3	4"	29'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
4	4"	16'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
5	4"	16'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
6	4"	29'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
7	4"	20'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
8	4"	30'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
9	4"	33'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
10	4"	18'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
11	4"	9'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
12	4"	14'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
13	4"	9'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
14	4"	6'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE
15	4"	20'	2% MIN.	SCHEDULE 40 PVC (OR HDPE) PLASTIC PIPE

**ROOF DRAINS AND DOWN-SPOUTS SHALL BE CONNECTED TO PRIVATE STORM DRAINAGE PIPING SYSTEM**

ALL DRAINS AND DOWNSPOUTS CARRYING STORM WATER MUST BE EXTENDED BELOW THE GROUND SURFACE AND CONNECTED TO THE CLOSEST PRIVATE STORM DRAIN PIPELINE. THE MINIMUM GRADE OF THE PIPE WILL BE 2%. CONNECTION CAN BE MADE EITHER AT A CATCH BASIN / INLET, OR IN A PIPE LINE RUN BETWEEN INLETS. MINIMUM PIPE SIZE FOR THE CONNECTING ROOF DRAINS IS 4". WHEN CONNECTING ROOF DRAINS AT LOCATIONS WHERE AN INLET OR CATCH BASIN EXISTS, THE CONNECTION MUST BE AT LEAST 12" BELOW THE FINISHED SURFACE ELEVATION.



**RETAINING WALL SUB-DRAINS SHALL BE CONNECTED TO PRIVATE STORM DRAINAGE PIPING SYSTEM**

ALL DRAINS FROM BEHIND ALL RETAINING WALLS SHALL BE CONNECTED TO THE PRIVATE STORM DRAINAGE PIPING SYSTEM. MAKE THE CONNECTION TO THE CLOSEST DRAINAGE PIPE OR INLET. WHERE CONNECTIONS ARE MADE AT THE POINT OF AN INLET / CATCH BASIN, MAKE THE CONNECTION AT LEAST 12" BELOW THE FINISHED SURFACE AT THE INLET.



NOTE TO SURVEYOR: DO NOT USE THESE PLANS FOR STAKING OF ANYTHING BUT THE DRAINAGE ELEMENTS SHOWN. USE THE ARCHITECTURAL PLANS FOR BUILDING AND OTHER IMPROVEMENT LOCATIONS

ADMINISTRATIVE OFFICES  
11440 WEST BERNARDO COURT  
RANCHO BERNARDO, CALIFORNIA 92127  
PH: 858-753-1947  
EMAIL: INFO@EARTH-WIND-WATER.COM

PROJECT: 2015-051  
CONTACT: DAN S. BIGGS

EARTH WIND WATER CIVIL ENGINEERING

DRAINAGE & GRADING PLAN VIEW

HUDSON RESIDENCE

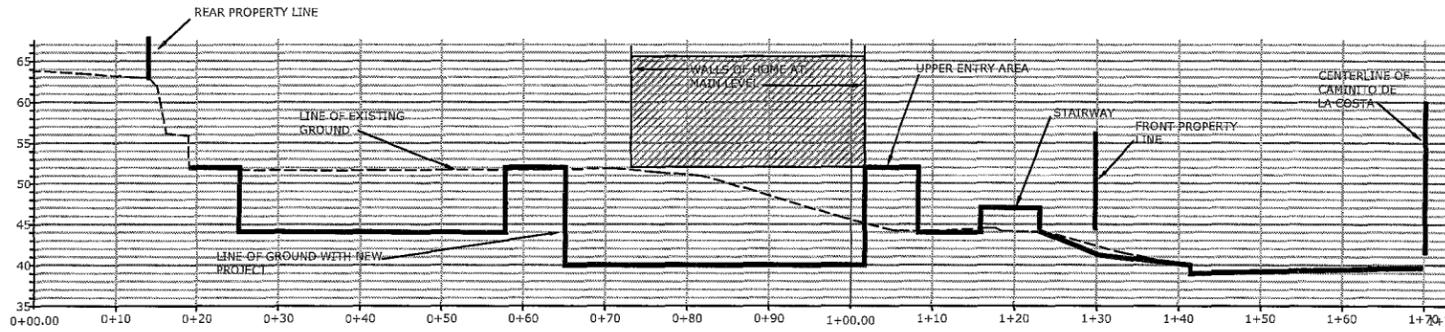
OWNER: ARIANE HUDSON  
PROJECT ADDRESS: 6435 CAMINO DE LA COSTA  
LA JOLLA, CALIFORNIA 92037

DATE: 7/6/2015  
ORIG. DATE: 2.25.2015  
SCALE: AS NOTED  
DRAWN: CK  
JOB: 1404  
CITY PROJECT NO: 412226

C.2

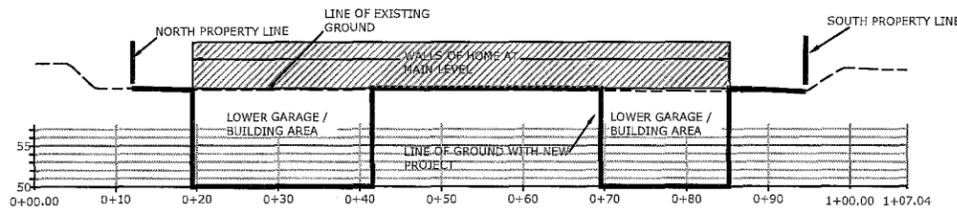
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DRAINAGE & GRADING PLAN VIEW | CDP 2ND CYCLE REVIEW 7.7.2015



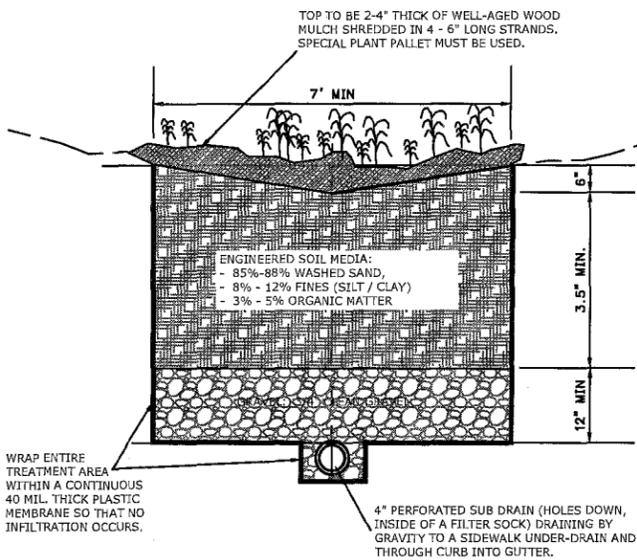
GRADING CROSS-SECTION "A - A" (EAST - WEST CUT)

SCALE: HORIZ = VERT: 1"=10'



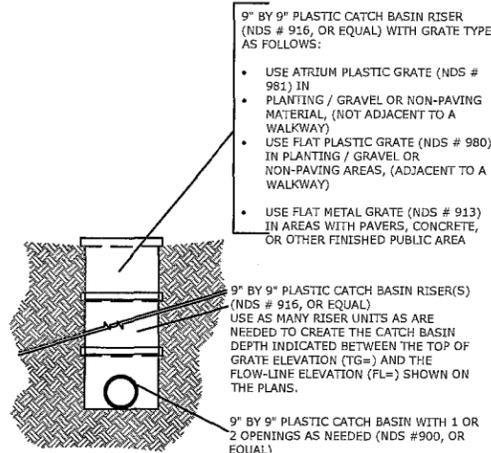
GRADING CROSS-SECTION "B - B" (NORTH - SOUTH CUT)

SCALE: HORIZ = VERT: 1"=10'



TYPICAL SECTION THROUGH "BIOFILTRATION BMP"

NOT TO SCALE



TYPICAL SECTION AT PLASTIC CATCH BASIN

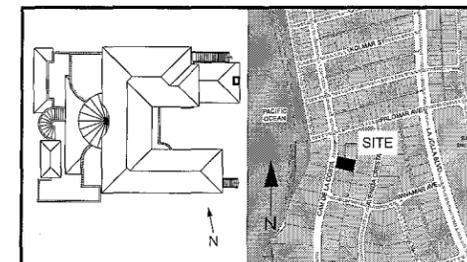
NOT TO SCALE

NOTE TO SURVEYOR:  
DO NOT USE THESE PLANS FOR STAKING OF ANYTHING BUT THE DRAINAGE ELEMENTS SHOWN. USE THE ARCHITECTURAL PLANS FOR BUILDING AND OTHER IMPROVEMENT LOCATIONS

ADMINISTRATIVE OFFICES  
SAN DIEGO COUNTY  
RANCHO BERNARDO, CALIFORNIA 92127  
PH: 858-753-1947  
EMAIL: INFO@EARTH-WIND-WATER.COM  
PROJECT: 2015-051  
CONTACT: DAN S. BIGGS



GRADING SECTIONS & CONSTRUCTION DETAILS



<b>PROJECT DATA:</b>		<b>APN:</b> 351-562-03-00	
CONSTRUCTION TYPE: VB 100% SPRINKLERED	<b>LEGAL DESCRIPTION:</b>	LOT 3 BLOCK 7 HERMOSA TERRACE MAP TR 2253, COUNTY OF SAN DIEGO.	
OCCUPANCY: R-3 S.F.R.	<b>BENCHMARK:</b>	CITY OF SAN DIEGO BENCHMARK NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE. ELEVATION = 28.99' DATUM = MSL	
CODE: CRC 2013 EDITION	<b>OVERLAY ZONES:</b>	CITY COASTAL (APPEALABLE) OVERLAY ZONE COASTAL HEIGHT LIMIT OVERLAY ZONE COASTAL PARKING IMPACT ZONE BEACH PARKING IMPACT ZONE RESIDENTIAL TANDEM PARKING OVERLAY ZONE TRANSIT AREA OVERLAY ZONE	
ZONE: RS-1-7	<b>GEO HAZARD AREA:</b> 53	<b>ZONING:</b> RS-1-7	
SETBACKS: FRONT: 20' SIDE: 7' REAR: 15'	<b>COMMUNITY PLAN:</b> LA JOLLA	<b>PERMITS REQUIRED:</b> COASTAL DEVELOPMENT PERMIT	
NO. OF STORIES: (2) OVER BASEMENT	<b>PERMITS REQUIRED:</b>	COASTAL DEVELOPMENT PERMIT	
GROSS SITE AREA: 10,397 SQ. FT.	<b>REVISIONS</b>	DATE	
LIVING SQ. FT.: 5,571 SQ. FT.	CK	CDP	6.16.16
F.A.R.: 0.536			
LANDSCAPE AREA: 16.5%			
EXISTING BUILDING: 4,447 SQ. FT.			
GARAGE: 400 SQ. FT.			
STATUS: DEMO 100%			
OCCUPANCY: R-3 S.F.R.			
CONSTRUCTED: 1980 NON-HISTORIC			
SOIL CONDITION: EXISTING PREV. DEV. SITE			

<b>PROJECT TEAM:</b>	<b>ARCHITECT   PREPARED BY:</b> CATLIN KELLEY ARCHITECT CONTACT: CATLIN KELLEY 285 NORTH PARK WAY SAN DIEGO, CA 92104 TEL: 858-344-2404 FAX: 858-455-9655 EMAIL: CATLIN@EARTH-WIND-WATER.COM	<b>GEOTECHNICAL ENGINEER:</b> STONE GROVE SOLUTIONS, INC. CONTACT: CHRISTOPHER C. O'HERN 4010 MORRIS BLVD, SUITE 100 SAN DIEGO, CA 92121 TEL: 858-621-1190 EMAIL: CHRIS@STONE-GROVE.COM	<b>LANDSCAPE ARCHITECT:</b> STONE GROVE LANDSCAPE ARCHITECTS CONTACT: BRIAN GROVE 1140 WEST BERNARDO COURT SUITE 300 SAN ANTONIO, CA 92107 TEL: 858-758-1947 EMAIL: DAN@EARTH-WIND-WATER.COM
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HUDSON RESIDENCE  
OWNER: ARIANE HUDSON  
PROJECT ADDRESS: 6435 CAMINO DE LA COSTA  
LA JOLLA, CALIFORNIA 92037

Date: 7/6/2015  
Orig. Date: 2.25.2015  
Scale: AS NOTED  
Drawn: CK  
Job: 1404  
City Project No: 412226

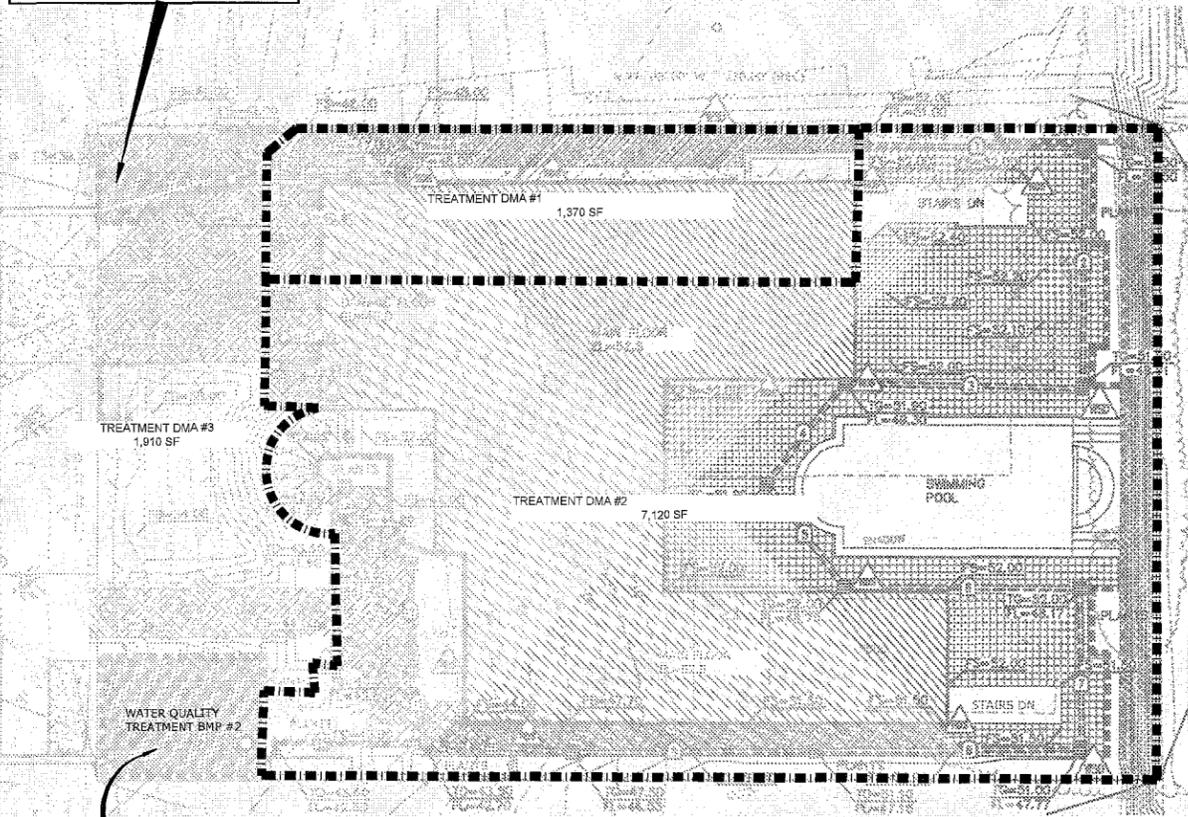
**C.3**

Plotted On: 7/6/2015

GRADING SECTIONS & CONSTRUCTION DETAILS | CDP 2ND CYCLE REVIEW 7.7.2015

**WATER QUALITY TREATMENT AREA #1**  
 SPECS: TREATMENT SURFACE: 55 SQ FT  
 LINER: 40 MIL PLASTIC  
 DEPTH OF TREATMENT: 30"  
 DEPTH OF STORAGE: 12"  
 BOTTOM DISCHARGE PIPE: 4"  
 EMERGENCY OVERFLOW: 4"

**WATER QUALITY TREATMENT AREA #2**  
 SPECS: TREATMENT SURFACE: 285 SQ FT  
 LINER: 40 MIL PLASTIC  
 DEPTH OF TREATMENT: 30"  
 DEPTH OF STORAGE: 12"  
 BOTTOM DISCHARGE PIPE: 4"  
 EMERGENCY OVERFLOW: 4"



**SUMMARY OF REQUIRED PERMANENT STORM WATER TREATMENT**

**TREATMENT AREA #1**  
 LOCATED AT THE NORTHWESTERN CORNER OF THE PROPERTY RECEIVES STORM WATER ONLY FROM THE NORTHERLY SIDE OF THE HOME AND THE NORTH FACING ROOF. THE TOTAL IMPERVIOUS SURFACE AREA FLOWING TO THIS LOCATION IS 1,370 S.F. THE REQUIRED SURFACE AREA FOR LOW IMPACT DEVELOPMENT (LID) TREATMENT IS 4% OF THIS AREA OR 55 S.F.

**TREATMENT AREA #2**  
 LOCATED AT THE SOUTHWESTERN CORNER OF THE PROPERTY RECEIVES THE MAJORITY OF STORM WATER RUNOFF FROM THE PROPERTY INCLUDING ALL OF THE REAR YARD, MOST OF THE ROOFED AREA OF THE HOME AND THE SOUTH SIDE OF THE HOME. IT RECEIVES 7,120 S.F. OF IMPERVIOUS SURFACE AREA. THE REQUIRED SURFACE AREA FOR LID TREATMENT IS 4% OF THIS AREA OR 285 S.F.

**TREATMENT AREA #3**  
 THIS IS A PLANTED AREA AND IS CONSIDERED BY LID AS A "SELF TREATING" AREA, SO NO TREATMENT BEYOND THE PLANTINGS PER THE LANDSCAPE PLAN ARE REQUIRED.

City of San Diego Development Services 1222 First Ave., 168-302 San Diego, CA 92101 (619) 446-8000

**Storm Water Requirements Applicability Checklist** FORM DS-560 JANUARY 2011

Project Address: 6435 Camino de la Costa, La Jolla, CA 92037 Project Number (for City Use Only):

**SECTION 1. Permanent Storm Water BMP Requirements:**  
 Additional information for determining the requirements is found in the Storm Water Standards Manual.

**Part A: Determine if Exempt from Permanent Storm Water BMP Requirements.**  
 Projects that are considered maintenance or are otherwise not categorized as "development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not required to install permanent storm water BMPs. If "Yes" is checked for any line in Part A, proceed to Part C and check the box labeled "Exempt Project." If "No" is checked for all of the lines, continue to Part B.

- The project is not a Development Project as defined in the Storm Water Standards Manual for example habitat restoration projects, and construction inside an existing building.  Yes  No
- The project is only the construction of underground or overhead linear utilities.  Yes  No
- The project qualifies as routine maintenance or replaces or renews existing surface materials because of failed or deteriorating condition. This includes road replacement, pavement spot repairs and resurfacing treatments such as asphalt overlay or slurry seal, and replacement of damaged pavements.  Yes  No
- The project only installs sidewalks, bike lanes, or pedestrian ramps on an existing road, and does not change street flow conditions to a concentrated flow condition.  Yes  No

**Part B: Determine if Subject to Priority Development Project Requirements.**  
 Projects that match any of the definitions below are subject to additional requirements including preparation of a Water Quality Technical Report. If "Yes" is checked for any line in Part B, proceed to Part C and check the box labeled "Priority Development Project." If "No" is checked for all of the lines, continue to Part C and check the box labeled "Standard Development Project."

- Residential development of 10 or more units.  Yes  No
- Commercial development and similar non-residential development greater than one acre. Hospitals, laboratories and other medical facilities; educational institutions; recreational facilities; municipal facilities; commercial nurseries; multi-apartment buildings; car wash facilities; auto-wells and other business complexes; shopping malls; hotels; office buildings; public warehouses; automotive dealerships; and other light industrial facilities.  Yes  No
- Heavy industrial development greater than one acre. Manufacturing plants, food processing plants, metal working facilities, printing plants, and fleet storage areas.  Yes  No
- Automotive repair shop. Facilities categorized in any one of Standard Industrial Classification (SIC) codes 8000, 8100, 8200, 8300, 8400, 8500, 8600, or 7200-7300.  Yes  No
- Restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC code 5812), and where the land area for development is greater than 5,000 square feet.  Yes  No
- Hillside development greater than 5,000 square feet. Development that creates 5,000 square feet of impervious surface and is located in an area with known, erodible soil conditions and where the development will grade on any natural slope that is twenty-five percent or greater.  Yes  No
- Water Quality Sensitive Area. Developments located within, directly adjacent to, or discharging directly to a Water Quality Sensitive Area (as depicted in Appendix C) in which the project either creates 2,000 square feet of impervious surface on a proposed project site or increases the area of imperviousness of a proposed project site to 1% or more of its naturally occurring condition. "Directly adjacent" is defined as being situated within 200 feet of the Water Quality Sensitive Area. "Discharging directly to" is defined as discharging from a drainage conveyance system that is composed entirely of flows from the subject development or redevelopment site, and not commingled with flows from adjacent lands.  Yes  No
- Parking lot with a minimum area of 5,000 square feet or a minimum of 15 parking spaces and potential exposure to urban runoff (unless it meets the exclusion for parking lot reconfiguration on line 11).  Yes  No

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services). Upon request, this information is available in alternative formats for persons with disabilities. (DS-560) (01-25-11)

Page 2 of 2 City of San Diego - Development Services Department - Storm Water Requirements Applicability Checklist

- Street, road, highway, or freeway. New paved surface in extent of 5,000 square feet used for the transportation of automobiles, motorcycles and other vehicles (unless it meets the exclusion for road reconfiguration on line 11).  Yes  No
- Retail Gasoline Outlet (RGO) that is: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.  Yes  No
- Significant Redevelopment. Project involves either replacing 5,000 square feet or more of impervious surface and the existing use of the project is in the category above. The project is not considered Significant Redevelopment if reconfiguring an existing road or parking lot without a change in developed land or parking lot. The existing footprint is defined as the outside curb or the outside edge of pavement when there is no curb.  Yes  No
- Other Pollutant Generating Project. Any other project not covered in the categories above, that disturbs one acre or more and is not studied by the criteria below.  Yes  No

Projects creating less than 5,000 sq ft of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilizers using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with porous surfaces or if they abut flow to surrounding porous surfaces.

**Part C: Select the appropriate category based on the outcome of Parts A & B.**

- If "Yes" is checked for any line in Part A, then check this box.  Exempt Project
- If "No" is checked for all lines in Part A, and Part B, then check this box.  Standard Development Project
- If "No" is checked for all lines in Part A, and "Yes" is checked for at least one of the lines in Part B, then check this box. Continue to Section 2. See the Storm Water Standards Manual for guidance on determining if Hydrologic Management Plan requirements apply.  Priority Development Project

**SECTION 2. Construction Storm Water BMP Requirements:**  
 For all projects, complete Part D. If "Yes" is checked for any line in Part D, then continue to Part E.

**Part D: Determine Construction Phase Storm Water Requirements.**

- Is the project subject to California's statewide General NPDES Permit for Storm Water Discharges Associated with Construction Activities? (See State Water Resources Control Board Order No. 2009-0008-DWC for rules on enrollment).  Yes  No
- Does the project propose grading or soil disturbance?  Yes  No
- Would storm water or urban runoff have the potential to contact any portion of the construction area, including waiting and staging areas?  Yes  No
- Would the project use any construction materials that could negatively affect water quality if discharged from the site (such as paints, solvents, concrete, and stucco)?  Yes  No
- Check this box if "Yes" is checked for line 1. Continue to Part E.  SWPPP Required
- Check this box if "No" is checked for line 1, and "Yes" is checked for any line 2-4. Continue to Part E.  WQCP Required
- Check this box if "No" is checked for all lines 1-4. Part D does not apply.  No Document Required

**Part E: Determine Construction Site Priority**  
 This prioritization must be completed with this form, noted on the plans, and included in the SWPPP or WQCP. The City reserves the right to adjust the priority of the projects both before and during construction. Note: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by City staff.

- High Priority:**
  - Projects where the site is 10 acres or more and grading will occur during the wet season.
  - Projects 1 acre or more and will be in a riparian valley (only for sediment only). (Palms and water/waterhead)
  - Projects 1 acre or more within or directly adjacent to or discharging directly to a coastal lagoon or other receiving water within a Water Quality Sensitive Area.
  - Projects subject to phased grading or phased treatment requirements.
- Medium Priority:** Projects 1 acre or more but not subject to a high priority designation.
- Low Priority:** Projects requiring a Water Pollution Control Plan but not subject to a medium or high priority designation.

Name of Owner or Agent (Please Print): Dan S. Riggs Title: Engineer (agent for owner)  
 Signature: [Signature] Date: 07/28/2015

**KEY MAP** SCALE 1:40 **VICINITY MAP** NTS

**PROJECT DATA:** APN: 351-562-03-00  
 CONSTRUCTION TYPE: V8 100% SPRINKLERED  
 OCCUPANCY: R-3 S.F.R.  
 CODE: CRC 2013 EDITION  
 ZONE: RS-17  
 SETBACKS: FRONT: 20' SIDE: 7' REAR: 13'  
 NO. OF STORES: (2) OVER BASEMENT  
 GROSS SITE AREA: 10,397 SQ. FT.  
 LIVING SQ. FT.: 5,570 SQ. FT.  
 F.A.R.: 0.55  
 LANDSCAPE AREA: 16.5%  
 EXISTING BUILDING: LIVING AREA 4,447 SQ. FT. GARAGE 400 SQ. FT. STATUS: DEMO ROOM  
 OCCUPANCY: R-3 S.F.R.  
 CONSTRUCTED: 1990 NON-HISTORIC  
 SOIL CONDITION: EXISTING PREV. DEV. SITE

**LEGAL DESCRIPTION:** LOT 3 BLOCK 2 HERMONA TERRACE MAP TR 263, COUNTY OF SAN DIEGO.  
**BENCHMARK:** CITY OF SAN DIEGO BENCHMARK NEBP AT THE INTERSECTION OF PALOMAR AVENUE AND NEPTUNE PLACE. ELEVATION = 28.39' DATUM = MSL.  
**OVERLAY ZONES:** CITY COASTAL APPEALABLE OVERLAY ZONE COASTAL HEIGHT LIMIT OVERLAY ZONE COASTAL PARKING IMPACT ZONE BEACH PARKING IMPACT ZONE RESIDENTIAL FANDEY PARKING OVERLAY ZONE TRANSIT AREA OVERLAY ZONE  
**GEO HAZARD AREA:** 53  
**ZONING:** RS-1-7  
**COMMUNITY PLAN:** LA JOLLA  
**PERMITS REQUIRED:** COASTAL DEVELOPMENT PERMIT

**PROJECT TEAM:**  
 ARCHITECT | PREPARED BY: CATLIN KELLEY ARCHITECT  
 CATLIN KELLEY ARCHITECT  
 2815 NORTH PARKWAY  
 SAN DIEGO, CA 92114  
 TEL: 619-544-2484  
 TEL: 619-541-1195  
 FAX: 619-458-3858  
 EMAIL: CATLIN@KELLEYME.COM  
 GEOTECHNICAL ENGINEER: TERRA PACIFIC SOLUTIONS, INC.  
 CONTACT: CHRISTOPHER C. O'NEEN  
 4010 MORONA BLVD., SUITE 100  
 SAN DIEGO, CA 92117  
 TEL: 619-521-1195  
 EMAIL: CRIS@TERRAPAC.NET  
 SURVEYOR & CIVIL ENGINEER: JATCH WIND WATER CIVIL ENGINEERING  
 CONTACT: DAN BIGGS  
 1140 WEST BERNARDO COURT SUITE 300  
 RANCHO BERNARDO, CA 91271  
 TEL: 858-758-1947  
 EMAIL: DAN@JATCH-WIND-WATER.COM  
 LANDSCAPE ARCHITECT: STONE GROVE LANDSCAPE ARCHITECTS  
 CONTACT: DAN BIGGS  
 200 NORTH CEDROS AVE.  
 601 ANA BEACH, CA 92025  
 TEL: 619-345-1499  
 EMAIL: DAN@STONE-GROVE.COM

**HUDSON RESIDENCE**  
 OWNER: ARIANE HUDSON  
 PROJECT ADDRESS: 6435 CAMINO DE LA COSTA  
 LA JOLLA, CALIFORNIA 92037

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED AFFECTING ALL LABELLED SCALES.

BY REVISIONS DATE

Date: 9/22/2015  
 Orig. Date: 2.25.2015  
 Scale: AS NOTED  
 Drawn: [Signature]  
 Job: 1404  
 City Project No: 412226

**C.4**  
 Plotted On: 9/22/2015

STORMWATER TREATMENT | CDP 2ND CYCLE REVIEW 7.7.2015

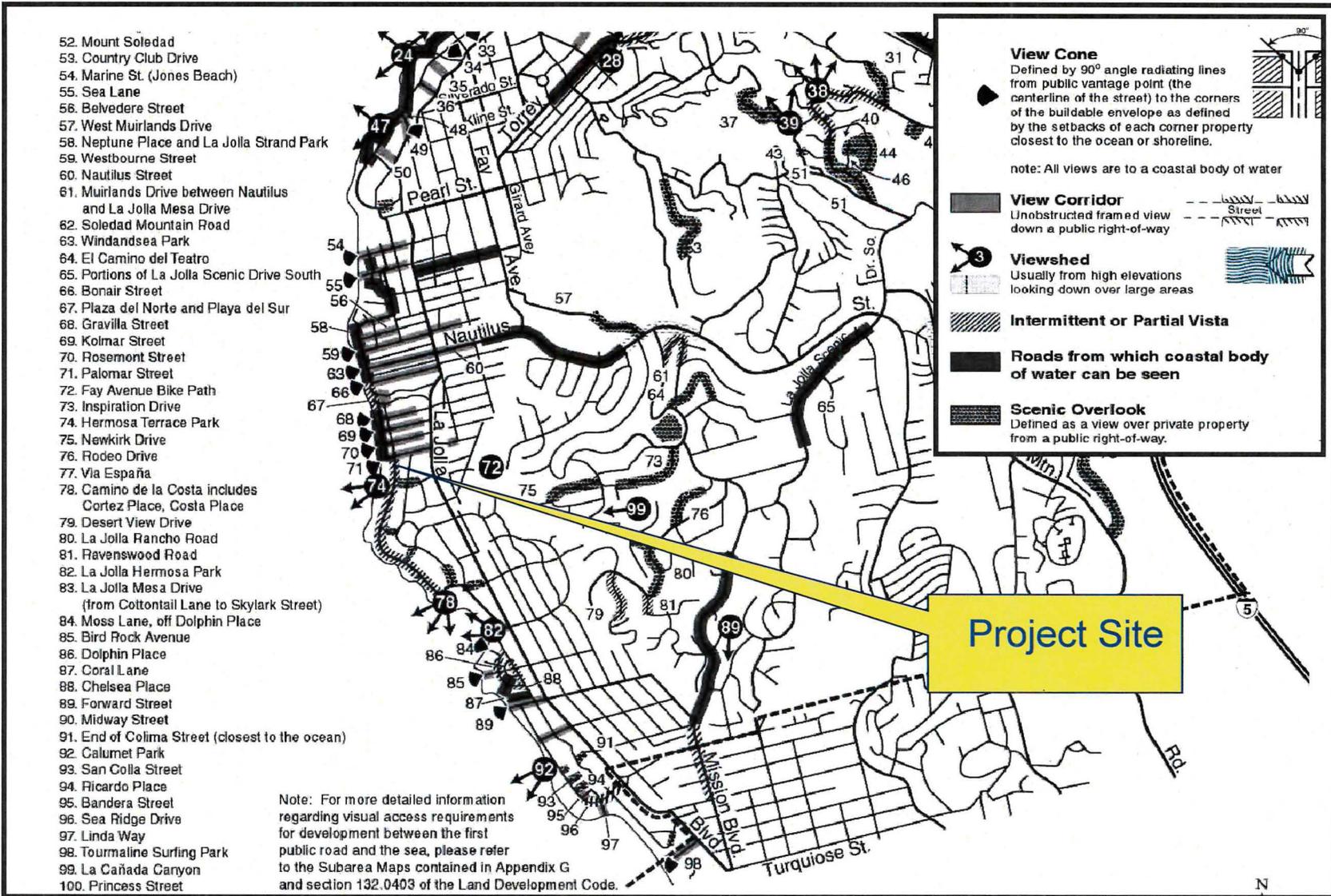
ADMINISTRATIVE OFFICES  
 100 COURT  
 RANCHO BERNARDO, CALIFORNIA 92127  
 PH: 858-753-1947  
 EMAIL: INFO@EARTH-WIND-WATER.COM  
 PROJECT: 2015-051  
 CONTACT: DAN S. BIGGS

**EARTH WIND WATER**  
 CIVIL ENGINEERING

**REGISTERED PROFESSIONAL ENGINEER**  
 DANIEL S. BIGGS  
 NO. 28112  
 CIVIL  
 STATE OF CALIFORNIA

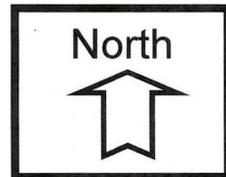
NOTE TO SURVEYOR:  
 DO NOT USE THESE PLANS FOR STAKING OF ANYTHING BUT THE DRAINAGE ELEMENTS SHOWN. USE THE ARCHITECTURAL PLANS FOR BUILDING AND OTHER IMPROVEMENT LOCATIONS





## Identified Public Vantage Points (Figure 9)

Hudson Residence– Project No. 412226  
 6435 Camino De La Costa



**9.1 Community Planners Committee** <http://www.sandiego.gov/planning/community/cpc/index.shtml>  
recommended that naming rights to trolley stations not be sold but that names should reflect the community or neighborhood.

**9.2 Coastal Access & Parking Board** <http://www.lajollacpa.org/cap.html> No report.

## 10.0 Consent Agenda – Action Item

**The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.**

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4:00 pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Interim Chair Phil Merten, 4th Tues, 4:00 pm

T&T – Traffic & Transportation Board, Chair Todd Lesser, 4th Thurs, 4:00 pm

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

→ See Committee minutes and/or agenda for description of projects, deliberations, and vote.

→ Anyone may request a consent item be pulled for full discussion by the LJCPA.

→ Items “pulled” from Consent Agenda are automatically trailed to the next LJCPA meeting.

T&T – No meeting in May

### 10.1 Jooste Wines, 5621 La Jolla Boulevard

PDO Recommendation: Project meets PDO requirements. 6-0-0.

### 10.2 401-403-405 Nautilus TM, 401, 403, and 405 Nautilus Street

DPR Recommendation: Findings CAN be made that the proposed project conforms to the La Jolla Community Plan for a Tentative Parcel Map Waiver and Coastal Development Permit, an Amendment to Coastal Development Permit No. 263494 to convert an existing duplex and an under construction residence located at 401, 403, and 405 Nautilus Street to condominium ownership. 4-1-3.

### \* 10.3 Hudson Residence, 6435 Camino De La Costa

DPR Recommendation: Finding CAN be made that the proposed project conforms to the La Jolla Community Plan and that approval is recommended of the Coastal Development permit to demolish an existing residence and construct a new 5,606 sq ft residence and pool located at 6435 Camino De La Costas. 4-1-1.

### 10.4 Cottages at 8010, 8010 La Jolla Shores Drive

PRC Recommendation: Findings can be made for a CDP and SDP to demolish 3 dwelling units with detached garages and construct 6 total residential units with garages (two 1,633 sq. ft. units, two 1,569 sq. ft units, and two 1,417 sq. ft. units) on a 12,107 sq. ft. lot located in the MF-1 zone of the La Jolla Shores Planned District, at 8010 La Jolla Shores Drive. 6-0-0.

### 10.5 Colony Hill Emergency Slope Repair, 7525 Caminito Avola

PRC Recommendation: Findings can be made for a CDP and SDP for emergency repair of 0.03 acres of failed slope on a vacant HOA lot. 5-1-0.

### 10.6 8389 El Paseo Grande CDP/SDP (Pulled by Peggy Davis)

PRC Recommendation: Findings can be made for a CDP and SDP to demolish an existing residence, and construct a new 5,499 sq. ft. two-story single family residence with attached garage on an 8,613 sq. ft. property in the Single Family Residence Zone of the La Jolla Shores Planned District, Coastal (non-appealable) Overlay Zone, Coastal Height Limit, with the proviso that the street trees must conform to the public view corridor requirement. 6-0-1.

**10.7 T-Mobile Rose Canyon, 7660 Gilman Court**

PRC Recommendation: Findings can be made for issuance of a Neighborhood Use Permit (NUP) and Site Development Permit (SDP) to install a faux shrub to screen existing wireless telecommunication antennas mounted on a 15 foot pole. 6-0-1.

Item 10.6 8389 El Paseo Grande CDP/SDP was pulled by Peggy Davis and will be scheduled for a de novo hearing at the next or subsequent meeting of the LJCPA.



**Approved Motion:** To accept the recommendation of the PDO Committee for 10.1 Jooste Wines, 5621 La Jolla Boulevard that the project meets PDO requirements; and to accept the recommendations of the DPR Committee for 10.2 401-403-405 Nautilus TM, 401, 403, and 405 Nautilus Street that the findings CAN be made that the proposed project conforms to the La Jolla Community Plan for a Tentative Parcel Map Waiver and Coastal Development Permit, an Amendment to Coastal Development Permit No. 263494 to convert an existing duplex and an under construction residence located at 401, 403, and 405 Nautilus Street to condominium ownership; for 10.3 Hudson Residence, 6435 Camino De La Costa that the finding CAN be made that the proposed project conforms to the La Jolla Community Plan and that approval is recommended of the Coastal Development permit to demolish an existing residence and construct a new 5,606 sq ft residence and pool located at 6435 Camino De La Costa; and to accept the recommendations of the LJSRPC for 10.4 Cottages at 8010, 8010 La Jolla Shores Drive that the findings can be made for a CDP and SDP to demolish 3 dwelling units with detached garages and construct 6 total residential units with garages (two 1,633 sq. ft. units, two 1,569 sq. ft units, and two 1,417 sq. ft. units) on a 12,107 sq. ft. lot located in the MF-1 zone of the La Jolla Shores Planned District, at 8010 La Jolla Shores Drive; for 10.5 Colony Hill Emergency Slope Repair, 7525 Caminito Avola that the findings can be made for a CDP and SDP for emergency repair of 0.03 acres of failed slope on a vacant HOA lot; and for 10.7 T-Mobile Rose Canyon, 7660 Gilman Court that the findings can be made for issuance of a Neighborhood Use Permit (NUP) and Site Development Permit (SDP) to install a faux shrub to screen existing wireless telecommunication antennas mounted on a 15 foot pole and forward the recommendations to the City. (LaCava, Steck: 12-0-1)

In favor: Ahern, Boyden, Brady, Costello, Emerson, Fitzgerald, LaCava, Ragsdale, Rasmussen, Steck, Weiss  
Zimmerman  
Abstain: Greatrex, (Chair)

**11.0 HLJH Residence, 820 Rushville – Action Item**

Consider a re-vote of the previous "Consent Agenda" action in light of Development Permit Review Committee's amendment of the minutes of their December 2014 action. Furthermore, to consider what action LJCPA should take at the June 11<sup>th</sup> Planning Commission appeal hearing.

A Coastal Development Permit and Site Development Permit to demolish an existing single family residence and detached accessory structure and construct a 3,007 sq ft, 2-story single family residence with an 458 sq ft attached garage.

DPR (May '15): Corrected the minutes of Dec 2014 hearing with motion now reading:

"Findings CAN NOT be made for a Coastal Development Permit and Site Development Permit to demolish an existing single family residence and detached accessory structure and construct a 3,007 sq ft, 2-story single family residence with an 458 sq ft attached garage at 820 Rushville St."

See [http://www.lajollacpa.org/minutes/dpr14\\_12report.pdf](http://www.lajollacpa.org/minutes/dpr14_12report.pdf)

See also [http://www.lajollacpa.org/minutes/ljcpa15\\_0105min.pdf](http://www.lajollacpa.org/minutes/ljcpa15_0105min.pdf) (Item 10.3)

DPR (May '15): Amended minutes of Dec '14. 5-0-1.

LJCPA (Jan '15): Motion to accept DPR recommendation on consent. 11-0-1.

DPR (Dec '14): Findings cannot be made. 5-4.

Trustee LaCava stated that there had been a complaint about the appeal and the DPR minutes on which the appeal was based and so the LJCPA appeal had been withdrawn. The project was also appealed by a private party. In response to a query by Kim Whitney, he stated that an appeal can be withdrawn, but the item still has to be calendared by the Planning Commission. The DPR amended its December 2014 minutes in May 2015. This action provided additional information so that the LJCPA can decide to rehear the project.

Matt Peterson, representing the applicant, presented some arguments in favor of the project as well as some modifications he wished the LJCPA to consider. Ed Comartin and Trustees LaCava and Costello spoke, saying that any changes to the project should go back to the DPR Committee, but the applicant was unwilling to do this.



City of San Diego  
**Development Services**  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

**Project Title** **Project No. For City Use Only**  
 HUDSON RESIDENCE 412226

**Project Address:**  
 6435 CAMINO DE LA COSTA, LA JOLLA, CA 92037

**Part 1 - To be completed when property is held by individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached**  Yes  No

Name of Individual (type or print):  
 ARIANE HUDSON

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:  
 13398 DEVON DRIVE

City/State/Zip:  
 JAMUL, CA 91935

Phone No: 619-888-0664 Fax No: 619-334-6318

Signature: *Ariane Hudson* Date: 2-24-15

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date: