



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: October 14, 2015

REPORT NO. HO-15-122

ATTENTION: Hearing Officer

SUBJECT: **NEPTUNE**
PTS NUMBER 385899

LOCATION: 6715 Neptune Place

APPLICANT: Claude-Anthony Marengo

SUMMARY

Issue(s): Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to allow the remodel of an existing single family structure and addition of 2,738 square feet located at 6715 Neptune Place located in the RM-1-1 and RM-4-10 zones of the La Jolla Community Plan area in Council District 1?

Staff Recommendation(s) - **Approve** Coastal Development Permit No. 1353913 and Site Development Permit No. 1553473.

Community Planning Group Recommendation - On March, 5, 2015 the La Jolla Community Planning Association voted 12:0:1 to recommend approval.

Environmental Review – The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (Existing Facilities). This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15303 on September 15, 2015. The opportunity to appeal that determination ended September 29, 2015.

BACKGROUND

The site is designated by the La Jolla Community Plan Land Use map for residential development at a medium high density range of 30-45 dwelling units per acre (Attachment 1). The site is located at 6715 Neptune Place in the Windansea neighborhood of the La Jolla community (Attachment 2). The site is surrounded by similar single family and multi-family development (Attachment 3). The site extends from Neptune Place to Vista del Mar. The property was originally developed in 1921 with additions and remodels occurring in 1941, 1946 and 1962. Based on the information provided by the applicant reviewed by city staff, the

property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. An existing five car garage fronts on Vista del Mar Avenue with the attendant full width driveway in front of all five garages.

DISCUSSION

Project Description

The Neptune project (Project) proposes to remodel an existing single family structure and add approximately 2,738 square feet to the structure (Attachment 4). The addition includes approximately 968 square feet first floor, approximately 1,692 square feet second floor, approximately 1,332 square feet basement and approximately 977 square feet subterranean garage. The basement would consist of parking for four cars, a vehicle elevator, an auto turntable carousel, gym, steam room, bathroom, elevator, storage and equipment room. The ground floor would include parking for three cars (two single-car garages and one carport), game room, kitchen, living room, laundry room, one and a half baths and an open courtyard with a built-in barbeque area/cabana. The second floor would consist of three bedrooms and three baths.

Removing two of the five existing single-car garages would reduce the width of the existing driveway leading to the existing five single-car garages from forty-nine feet to approximately twenty-nine feet. The resulting two single-car garages and one carport would reduce the width of the existing driveway, restore twenty feet of curb, gutter and sidewalk while also creating an additional parking space within the public right-of-way.

The site is designated by the La Jolla Community Plan for residential uses. The property is located in an area identified as Medium High Residential for residential development at a density of 30-45 dwelling units per acre in the La Jolla Community Plan. The site is previously conforming as it relates to density. The proposed Project is consistent with the La Jolla Community Plan as to the policy goals and objectives for residential development.

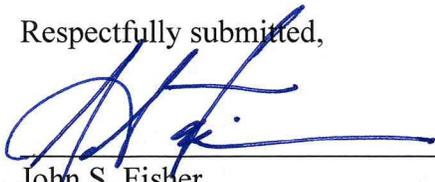
Conclusion

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project (Attachment 5) and draft conditions of approval (Attachment 6). Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. **Approve** Coastal Development Permit No. 1353913 and Site Development Permit No. 1553473, **with modifications.**
2. **Deny** Coastal Development Permit No. 1353913 and Site Development Permit No. 1553473, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



John S. Fisher
Development Project Manager

Attachments:

1. Community Plan Land Use Map
2. Project Location Map
3. Aerial Photograph
4. Project Site Plan
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Remaining Project Plans
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Data Sheet



- Legend
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities
- E* Elementary School
 - J* Junior High School
 - H* High School
 - S* School
 - L* Library
 - F* Fire Station
 - PO* Post Office



Community Land Use Map



La Jolla Community Plan
City of San Diego · Planning Department



Figure 1





SITE

HEARING OFFICER RESOLUTION NO.
COASTAL DEVELOPMENT PERMIT NO. 1353913 and
SITE DEVELOPMENT PERMIT NO. 1553473
NEPTUNE PROJECT NO. 385899

WHEREAS, CARDENAS FAMILY INVESTORS, LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to remodel of an existing single family structure and addition of 2,738 square feet to the building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1353913 and 1553473), on portions of a 0.13 acre site;

WHEREAS, the project site is located at 6715 Neptune Place located in the RM-1-1 and RM-4-10 zones of the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 2, excepting therefrom the southwesterly 22.475 feet thereof (measured along the easterly and westerly lines of said Lot) and all of Lots 3 and 4, Block 4 of La Jolla Strand, according to Map thereof No. 1216, filed October 18, 1909 in the San Diego County Recorder's Office;

WHEREAS, on October 14, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1353913 and Site Development Permit No. 1553473 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated October 14, 2015.

FINDINGS:

Coastal Development Permit - Section 126.0708

A.

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan. The Neptune project will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The 5,818 square foot lot is located in the RM-1-1 and RM-4-10 zones of the La Jolla Community Plan area. The Project will be developed entirely within the private property and will not encroach upon any existing physical access way legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan in as much as there is no existing physical access way legally used by the public or any proposed public accessways located on the private property. The Project will be constructed completely within the boundaries of the private property. The proposed coastal development will have no

effect upon public views to and/or along the ocean and/or other scenic coastal areas as specified in the Local Coastal Program land use plan. Furthermore, there are no public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan from this site or across this site to these visual resources. As such the Project will have no effect upon any existing physical access way legally used by the public or any proposed public accessway and will have no affect on public views to and along the ocean.

2. The proposed coastal development will not adversely affect environmentally sensitive lands. The Neptune project will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The 5,818 square foot lot is located in the RM-1-1 and RM-4-10 zones of the La Jolla Community Plan area. The site is a developed suburban property. The site does not contain any environmentally sensitive lands or environmentally sensitive resources and as such the proposed coastal development will not adversely affect any environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program. The Neptune project will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The 5,818 square foot lot is located in the RM-1-1 and RM-4-10 zones of the La Jolla Community Plan area. The adopted La Jolla Community Plan designates this site for residential use and the Project is consistent with this use. The Project complies with all regulations of the certified Implementation Program for the adopted La Jolla Community Plan.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act. The Neptune project will located at 6715 Neptune Place. The 5,818 square foot lot is located in the RM-1-1 and RM-4-10 zones of the La Jolla Community Plan area. The site is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. As such the Project and approval of the coastal development permit will have no effect upon the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

- 1. The proposed development will not adversely affect the applicable land use plan.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The site is designated by the La Jolla Community Plan for residential uses. The property is located in an area identified as Medium High Residential for residential development at a density of 30-45 dwelling units per acre in the La Jolla Community Plan. The site is previously conforming as it relates to density. The proposed Project has been designed to be similar in scale, height and form of the existing surrounding single family development and incorporates similar color and building materials so as to blend with existing development. As designed, the proposed project would be consistent with the main objectives for infill development within the La Jolla community. The proposed

Project is consistent with the La Jolla Community Plan as to the policy goals and objectives for residential development. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. **The proposed development will not be detrimental to the public health, safety, and welfare.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and the final construction will comply with all regulations. These requirements will assure the continued health, safety and general welfare of persons residing or working in the area.
3. **The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The Project is consistent with all relevant development regulations of the RM-1-1 and RM-4-10 zones, any relevant supplemental regulations and no deviations or variances are required to approve the Project. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

B. Supplemental Findings--Environmentally Sensitive Lands

1. **The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The site is less than one hundred feet from the top of a sensitive coastal bluff and between Neptune Place and Vista del Mar. The Project will have no impact upon the sensitive resources located on the coastal bluff located between the beach and Neptune Place. The site is developed with an existing single family structure, five car garage and landscaping. There are no environmentally sensitive lands present on the site and as such there will be no disturbance to any environmentally sensitive lands. The applicant submitted a Report of Preliminary Geotechnical Investigation, Proposed Cardenas Residence, 6715 Neptune Place, La Jolla, California, prepared by Christian Wheeler Engineering, dated January 31, 2015, which concludes the site is physically suitable for the proposed development. The geotechnical consultant has indicated the proposed construction will not destabilize or result in settlement of adjacent property or the right of way, and there are no active or potentially active faults cross the site of the proposed development. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The site is developed with an existing single family structure, five car garage and landscaping. There are no natural land forms present on the site. The applicant submitted a Report of Preliminary Geotechnical Investigation, Proposed Cardenas Residence, 6715 Neptune Place, La Jolla, California, prepared by Christian Wheeler Engineering, dated January 31, 2015, which concludes the site is physically suitable for the proposed development. The geotechnical consultant has indicated the proposed construction will not destabilize or result in settlement of adjacent property or the right of way, and there are no active or potentially active faults cross the site of the proposed development. There will be no grading of the site and all excavation will be to create a basement within the building footprint, therefore there will be no risks associated with erosional forces. The site is not located within any floodway or floodplain and will not result in any risks from any flood hazards created by precipitation and runoff from rainfall. The site is not located adjacent to any natural fire fuel source which would require a brush management plan or fire prevention architectural measures. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.
- 3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The site is located on the landward side of Neptune Place which is landward of the sensitive coastal bluff located above the Pacific Ocean. Between the site and the sensitive coastal bluff there are no adjacent environmentally sensitive lands. Neptune Place is a public right-of-way developed as a local residential street with curb, gutter, sidewalk, parking on both sides and two-way single travel lanes. In that there are no adjacent environmentally sensitive lands, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.
- 4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The site is not within nor adjacent to the Multi-Habitat Planning Area, the preserve of the Multiple Species Conservation Program Subarea Plan. In that the site is not within nor adjacent to the Multi-Habitat Planning Area, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program Subarea Plan.
- 5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The site is located between Neptune Place and Vista del Mar. All drainage will be directed to the public storm drain system located within the public right-of-way and directed to the public system. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. **The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.** The Neptune project (Project) will remodel an existing single family structure and will include an addition of 2,738 square feet to the building located at 6715 Neptune Place. The project was determined to be exempt pursuant to California Environmental Quality Act Guidelines Section 15303 (Existing Facilities). Therefore, there is no mitigation required of the project.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1353913 and Site Development Permit No. 1553473 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1353913 and 1553473, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: October 14, 2015
Job Order No. 24005047

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005047

COASTAL DEVELOPMENT PERMIT NO. 1353913 and
SITE DEVELOPMENT PERMIT NO. 1553473
NEPTUNE PROJECT NO. 385899 [MMRP]
HEARING OFFICER

This Coastal Development Permit No. 1353913 and Site Development Permit No. 1553473 is granted by the Hearing Officer of the City of San Diego to CARDENAS FAMILY INVESTORS, LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 and 126.0708. The 0.13-acre site is located at 6715 Neptune Place located in the RM-1-1 and RM-4-10 zones of the La Jolla Community Plan area. The project site is legally described as Lot 2, excepting therefrom the southwesterly 22.475 feet thereof (measured along the easterly and westerly lines of said Lot) and all of Lots 3 and 4, Block 4 of La Jolla Strand, according to Map thereof No. 1216, filed October 18, 1909 in the San Diego County Recorder's Office.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to remodel an existing single family structure and addition of 2,738 square feet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 14, 2015, on file in the Development Services Department.

The project shall include:

- a. Remodel of an existing single family structure and addition of 2,738 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [TBD].
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

12. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, including the Coastal Height Overlay Zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

13. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

ENGINEERING REQUIREMENTS:

14. This project proposes to export 1,039 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional four feet on Neptune Place to provide a ten foot curb-to-property-line distance, satisfactory to the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private planter in the Vista Del Mar Avenue right-of-way.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of a portion of the existing non-utilized driveway with current City Standards curb, gutter and sidewalk, adjacent to the site on Vista Del Mar Avenue, satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing driveway with a 29 feet -1 inch wide concrete driveway per current City Standard driveway, adjacent to the site on Vista Del Mar Avenue, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

23. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Owner/Permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.

PLANNING/DESIGN REQUIREMENTS:

24. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

25. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 14, 2015 by Hearing Officer Resolution No. HO-XX-CCC.

Permit Type/PTS Approval No.: Coastal Development Permit No. 1353913 and
Site Development Permit No. 1553473
Date of Approval: October 14, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

CARDENAS FAMILY INVESTORS, LLC,
an Arizona Limited Liability Corporation
Owner/Permittee

By _____
Joseph A. Ramirez-Cardenas
Manager

CARDENAS FAMILY INVESTORS, LLC,
an Arizona Limited Liability Corporation
Owner/Permittee

By _____
Machelle I. Ramirez-Cardenas
Manager

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

6715 NEPTUNE PLACE LA JOLLA, CA 92037



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

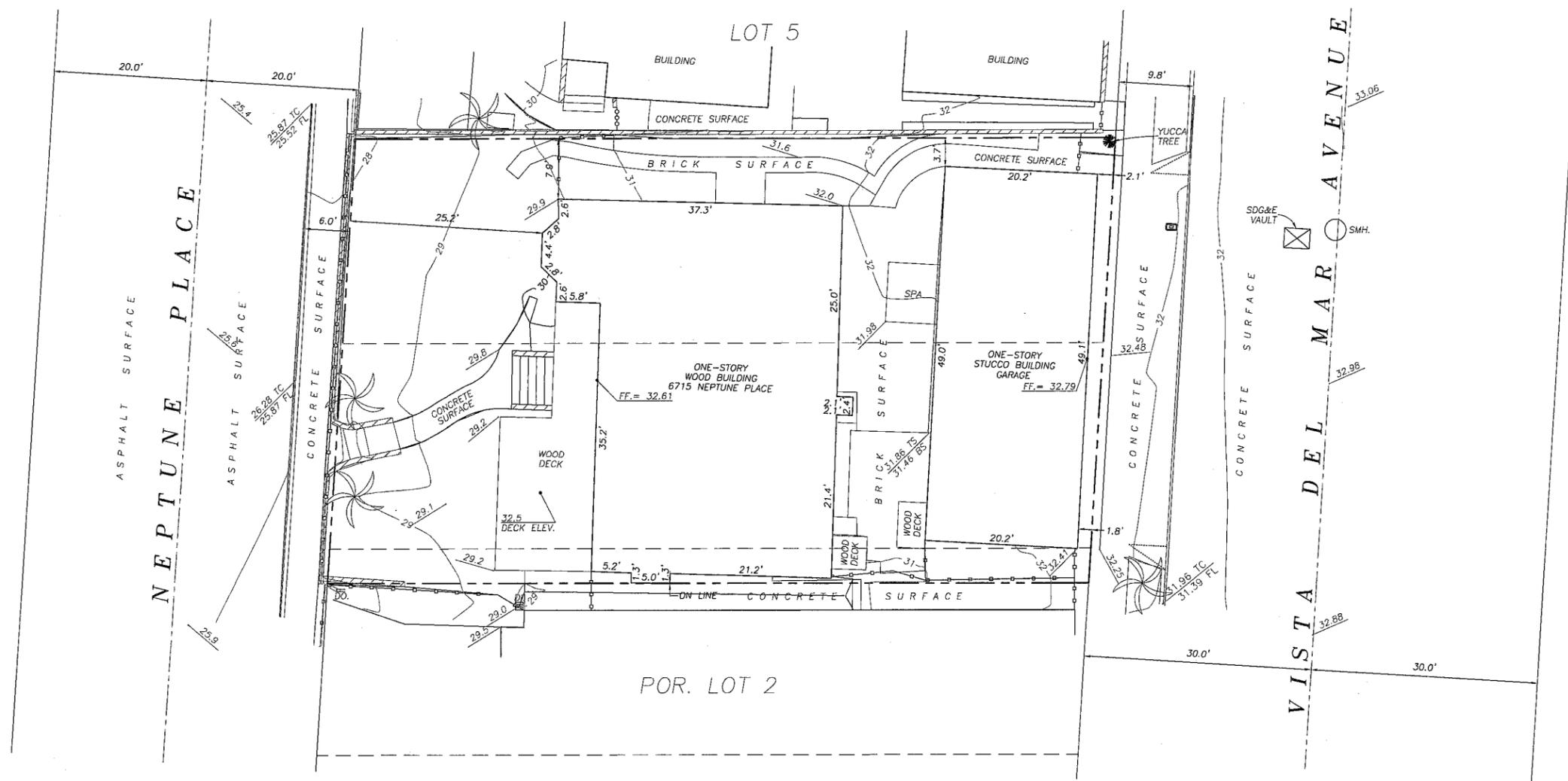
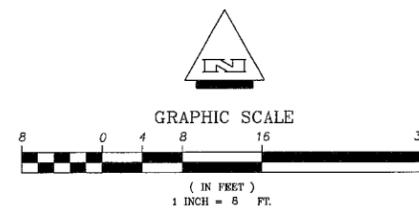
6715 NEPTUNE PLACE
LA JOLLA, CA, 92037

REVISIONS	
06-17-14 1st COASTAL SUBMITTAL	
01-19-15 COMPLETION PRESENTATION	
02-23-15 COASTAL RESUBMITTAL	
07-06-15 COASTAL RESUBMITTAL	
PHASE	COASTAL
PROJECT NO.	2014-17
REVIEWED BY	CAM
DRAWN BY	GR, JRL
DATE	07/06/2015

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, professional architectural services. The drawings and information contained on or attached to these drawings are the property of Marengo Morton Architects, Inc. and are not to be used for any other project without the written consent of Marengo Morton Architects, Inc. All drawings are provided to the parties for informational purposes only and are not to be used for construction or any other purpose without the written consent of Marengo Morton Architects, Inc. The user of these drawings and information is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these drawings and information is also responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these drawings and information is also responsible for obtaining all necessary permits and approvals from the appropriate authorities.

SHEET TITLE
T-1
SHEET OF

<p>BASIS FOR STRUCTURAL DESIGN</p> <p>FOUNDATIONS / SOILS CRITERIA: <input type="checkbox"/> SOILS ENGINEER: REPORT NO.:</p>	<p>SPECIAL INSPECTION & OFF-SITE FABRICATION</p> <p>SPECIAL INSPECTION: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>1. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION. OFF-SITE FABRICATION: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>1. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.</p> <p>2. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.</p>	<p>VICINITY MAP</p>	<p>SCOPE OF WORK</p> <p>REMODEL AND ADDITION TO AN EXISTING ONE-STORY 2,617.6 S.F. SINGLE FAMILY RESIDENCE AND GARAGE. ADDITION INCLUDES 967.7 FIRST FLOOR, 1,691.8 S.F. SECOND FLOOR, 1,331.8 S.F. BASEMENT AND 977.0 S.F. SUBTERRANEAN GARAGE.</p> <p>REQUESTING NEIGHBORHOOD DEVELOPMENT PERMIT TO INCREASE THE HEIGHT OF PREVIOUSLY CONFORMING STRUCTURES TO ADD SLOPED ROOF.</p>	<p>PROJECT DATA</p> <p>PROJECT INFORMATION PROJECT ADDRESS: 6715 NEPTUNE PLACE La Jolla, California 92037 ASSESSORS PARCEL NUMBER: 351-384-02 LEGAL DESCRIPTION: BLK 4 LOTS 3 & 4 LOT 2 OF LA JOLLA STRAND IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1234 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 18, 1989 AND AS MORE PARTICULARLY DESCRIBED IN THE ATTACHED LEGAL DESCRIPTION. YEAR BUILT: BUILDING CODE: CALIFORNIA BUILDING CODE (CBC), 2013 EDITION CALIFORNIA ELECTRICAL CODE (CEC), 2013 EDITION CALIFORNIA MECHANICAL CODE (CMC), 2013 EDITION CALIFORNIA PLUMBING CODE (CPC), 2013 EDITION OCCUPANCY TYPE: R-3 (SINGLE FAMILY RESIDENCE) CONSTRUCTION TYPE: V (PRIVATE GARAGE) CONSTRUCTION TYPE: VB (SPRINKLERED)</p> <p>ZONING INFORMATION ZONE: RM-4-10 GEOLOGIC HAZARD CATEGORIES: 12 - FAULT ZONE 43 AND 53 SENSITIVE OVERLAY ZONE: COASTAL APPLICABLE COASTAL HEIGHT LIMIT NUMBER OF STOREYS: 1 2</p> <p>LOT INFORMATION LOT WIDTH: 50'-3" LOT DEPTH: 80'-11 1/2" SETBACKS: FRONT: 17'-0" (max) 17'-0" (min) SIDE 1: 17'-0" 17'-0" SIDE 2: 7'-0" 7'-0" REAR: 17'-0" 17'-0" MAX STRUCTURE HEIGHT: 24'-0" 30'-0" 24'-0" 30'-0" LOT COVERAGE FOR SLOPING LOTS: MAXIMUM FLOOR AREA RATIO: 0.75 RM-4-10 ACCESSORY USES & STRUCTURES: GARAGE REGULATIONS: BUILDING SPACING: LOT AREA: ALLOWABLE BUILDING COVERAGE: ACTUAL BUILDING COVERAGE: ALLOWABLE FAR: ACTUAL FAR: BUILDING HEIGHT LIMITATIONS: BUILDING AREAS: FIRST FLOOR AREA: SECOND FLOOR AREA: RESIDENTIAL AREA: GARAGE AREA: NON-RESIDENTIAL AREA: PROJECT TOTAL: PARKING: 8 REQUIRED</p>																																								
<p>DEFERRED SUBMITTALS</p> <p>Notes: The submittal of residential fire sprinkler plans required by Section R313 of the 2010 California Residential Code or when required by Section 903 of the 2010 California Building Code has been deferred.</p> <p>To avoid delays in construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection when the submittal of fire sprinkler plans is deferred. A framing rough inspection shall not be requested prior to approval of the fire sprinkler plans.</p> <p>1. NFPA 13D Automatic Sprinkler System in Dwelling and Garage</p>	<p>NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.</p> <p>NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.</p>	<p>PROJECT TEAM</p> <p>OWNER'S Cardenas Family Investors, LLC 3370 W 13th Place Yuma, AZ 85364</p> <p>ARCHITECT Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo cmarengo@san.fr.com Cell: (619) 417-1111</p> <p>GEOTECHNICAL Christian Wheeler 4925 Mercury St. San Diego, CA 92111 Telephone: (858) 496-9760 Fax: (858) 496-9758</p>	<p>SHEET INDEX</p> <table border="1"> <tr><th>NAME</th><th>CONTENT</th></tr> <tr><td>T-1</td><td>TITLE SHEET</td></tr> <tr><td>T-1.1</td><td>CODE COMPLIANCE</td></tr> <tr><td>SP-1</td><td>SPECIFICATIONS</td></tr> <tr><td>SP-2</td><td>SPECIFICATIONS</td></tr> <tr><td>SP-3</td><td>SPECIFICATIONS</td></tr> <tr><td>L-1.1</td><td>LANDSCAPE PLAN</td></tr> <tr><td>TOPO</td><td>CIVIL SURVEY</td></tr> <tr><td>P-1</td><td>AERIAL VIEW</td></tr> <tr><td>A-1.1</td><td>SITE PLAN</td></tr> <tr><td>A-2.0</td><td>DEMO PLAN</td></tr> <tr><td>A-2.1</td><td>PROPOSED BASEMENT FLOOR PLAN</td></tr> <tr><td>A-2.2</td><td>PROPOSED MAIN LEVEL FLOOR PLAN</td></tr> <tr><td>A-2.3</td><td>PROPOSED UPPER LEVEL FLOOR PLAN</td></tr> <tr><td>A-4.1</td><td>ROOF PLAN</td></tr> <tr><td>A-5.1</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5.2</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5.3</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5.4</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A-6.1</td><td>BUILDING SECTION</td></tr> </table>	NAME	CONTENT	T-1	TITLE SHEET	T-1.1	CODE COMPLIANCE	SP-1	SPECIFICATIONS	SP-2	SPECIFICATIONS	SP-3	SPECIFICATIONS	L-1.1	LANDSCAPE PLAN	TOPO	CIVIL SURVEY	P-1	AERIAL VIEW	A-1.1	SITE PLAN	A-2.0	DEMO PLAN	A-2.1	PROPOSED BASEMENT FLOOR PLAN	A-2.2	PROPOSED MAIN LEVEL FLOOR PLAN	A-2.3	PROPOSED UPPER LEVEL FLOOR PLAN	A-4.1	ROOF PLAN	A-5.1	EXTERIOR ELEVATIONS	A-5.2	EXTERIOR ELEVATIONS	A-5.3	EXTERIOR ELEVATIONS	A-5.4	EXTERIOR ELEVATIONS	A-6.1	BUILDING SECTION	<p>STRUCTURAL NOTES</p> <p>1. PROP "D" HEIGHT LIMIT AREA <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO SHEETS A-5.1, A-5.2 FOR BUILDING HEIGHT DOCUMENTATION.</p>
NAME	CONTENT																																											
T-1	TITLE SHEET																																											
T-1.1	CODE COMPLIANCE																																											
SP-1	SPECIFICATIONS																																											
SP-2	SPECIFICATIONS																																											
SP-3	SPECIFICATIONS																																											
L-1.1	LANDSCAPE PLAN																																											
TOPO	CIVIL SURVEY																																											
P-1	AERIAL VIEW																																											
A-1.1	SITE PLAN																																											
A-2.0	DEMO PLAN																																											
A-2.1	PROPOSED BASEMENT FLOOR PLAN																																											
A-2.2	PROPOSED MAIN LEVEL FLOOR PLAN																																											
A-2.3	PROPOSED UPPER LEVEL FLOOR PLAN																																											
A-4.1	ROOF PLAN																																											
A-5.1	EXTERIOR ELEVATIONS																																											
A-5.2	EXTERIOR ELEVATIONS																																											
A-5.3	EXTERIOR ELEVATIONS																																											
A-5.4	EXTERIOR ELEVATIONS																																											
A-6.1	BUILDING SECTION																																											
	<p>STRUCTURAL OBSERVATION</p> <p>STRUCTURAL OBSERVATION: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS: 1. REFER TO SHEET S1A FOR "STRUCTURAL OBSERVATION PROGRAM".</p> <p>STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, AS OUTLINED IN THE STRUCTURAL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.</p>																																											



- LEGEND:**
- INDICATES WATER METER
 - INDICATES POWER POLE
 - INDICATES SEWER MANHOLE
 - INDICATES DRAIN INLET
 - INDICATES WOOD FENCE
 - INDICATES BLOCK WALL

BENCH MARK:
 NORTHEAST BRASS PLUG
 NEPTUNE PLACE AND PLAYA DEL SUR STREET
 ELEVATION= 27.469 M.S.L.



ROBERT J. BATEMAN, P.L.S. 7046

TOPOGRAPHICAL SURVEY		
For the exclusive use of KNOKE TRUST 7910 IVANHOE AVENUE LA JOLLA, CALIFORNIA 92037		
San Diego Land Surveying & Engineering, Inc.		
9619 Chesapeake Drive, Suite 204, San Diego, California 92123-1329 (658) 565-8362 FAX (658) 565-4354		
Date: 4-4-02	Revised:	Revised:
Scale: 1"=8'	Drawn by: M.S.S.	Sheet 5 of 14 Sheet
Drawing: NeptuneTS		A.P.N. 351-384-02



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

6715 NEPTUNE PLACE
 LA JOLLA, CA, 92037

REVISIONS
 06-14-14 COASTAL SUBMITTAL
 01-19-15 COASTAL PRESENTATION
 02-27-15 COASTAL RESUBMITTAL
 07-06-15 COASTAL RESUBMITTAL

△
 △
 △

PHASE COASTAL

PROJECT NO. 2014-17

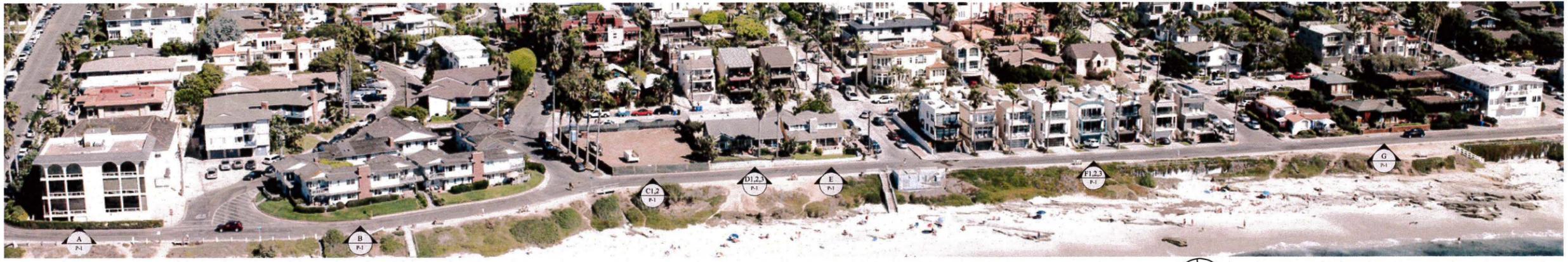
REVIEWED BY CAM

DRAWN BY GR, JRL

DATE 07/06/2015

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials prepared electronically. The parties hereto agree that data, plans, specifications, reports, documents, or other information recorded or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to the same limitations, restrictions, and conditions as their printed counterparts. Due to the nature of electronic media, reproduction, modification, deletion, or other alteration is possible. Accordingly, all such documents are provided to the parties for informational purposes only and are not to be used as a record document. Any reliance thereon is deemed to be the responsibility and responsibility of the user and not the responsibility of Marengo Morton Architects, Inc. The user agrees to indemnify and hold Marengo Morton Architects, Inc. harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising from the use of such documents.

SHEET TITLE
 LANDSCAPE AERIAL VIEW
P-1
 SHEET 6 OF 14



LANDSCAPE AERIAL VIEW 1



A



B



C1



C2



D1



D2



D3



E



F1



F2



F3



G

BENCH MARK

NEPTUNE PLACE AND GRAVILLA STREET, NORTHEAST BRASS PLUG, ELEVATION: 26.915 M.S.L.

GRADING QUANTITIES

GRADING AREA	0.50 ACRES
CUT QUANTITIES	1,180.5 C.Y.
MAX. CUT DEPTH	9'-11 1/2"
FILL QUANTITIES	142.0 C.Y.
MAX. FILL DEPTH	3'-4 1/2"
MAX. FILL SLOPE RATIO (2:1 MAX.)	2:1

THIS PROJECT PROPOSED TO EXPORT 1,038.5 CUBIC YARDS OF MATERIAL FROM THIS SITE

NOTES:

- 1) ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.
- 2) THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL; ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

GENERAL SITE NOTES

- A. THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- B. THIS IS AN INTERIOR TENANT IMPROVEMENT PLAN ONLY. ONLY NEW OR RELOCATION OF NON-BEARING WALLS ARE INVOLVED. MINOR ALTERATIONS TO EXISTING ELECTRICAL, WATER, PHONE AND OTHER EXISTING UTILITIES TO THE TENANT SPACE ARE PROPOSED.
- C. BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- D. ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
- E. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT OFFICE.
- F. PROTECT AND MARK ALL EXISTING BUILDING STRUCTURE INCLUDING WALLS, BEAMS, COLUMNS, AREA SEPARATION WALLS, AND OTHER ITEMS THAT ARE PART OF THE EXISTING STRUCTURE AND NOT PART OF THE SCOPE OF THE TENANT IMPROVEMENT, AND MARK PERIMETER OF CONSTRUCTION ZONE.
- G. COORDINATE WITH OTHER TENANTS THE TEMPORARY SHUT-OFF OF ANY SITE UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL SERVICE, GAS SERVICE, WATER SERVICE, SEWER SERVICE, TELEPHONE SERVICE, CABLE OR OTHER DATA LINKS WITH ARE CONNECTED TO THE BUILDING. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- H. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- I. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-8 (UFC 901.4.4).
- J. VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS, WHICH WILL NOT BE CHANGED, SO THAT ANY ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
- K. THE STRUCTURE SURROUNDING THE TENANT IMPROVEMENT ARE EXISTING AS ARE THE EXTERIOR, WINDOWS, DOORS, HVAC SYSTEM, SITE UTILITIES, WALKWAYS AND SIDEWALK CONDITIONS. THE ARCHITECT HAS NOT TAKEN ANY RESEARCH INTO THE CONDITION OF THE EXISTING STRUCTURE AS TO ITS CONDITION, CONSTRUCTION OR SUITABILITY.
- L. ALL GRADES SHOWN / PROPOSED ARE EXISTING.

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) AND MUNICIPAL WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007 http://www.swrcb.ca.gov/water_issues/programs/stormwater/construction.shtml AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE <http://docs.sandiego.gov/municode/MuniCodeChapter14/Ch14Ar02Division02.pdf> AND STORM WATER MANUAL <http://www.sandiego.gov/development-services/pdf/news/stormwatermanual.pdf>.

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

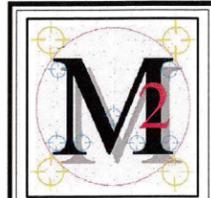
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S), A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
- 2) ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40 %.
- 3) A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
- 4) THE CONTRACTOR SHALL RESTORE ALL EROSION / SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
- 5) ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- 6) THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

LANDSCAPE CALCULATIONS

LOT AREA	5,818.2 SF
PROPOSED HOUSE FOOTPRINT	2,729.93 SF (46.92% OF LOT AREA)
PROPOSED HARDSCAPE AREA	1,442.04 SF (24.78% OF LOT AREA)
PROPOSED LANDSCAPE AREA	1,237.19 SF (19.67% OF LOT AREA)

LANDSCAPE LEGEND

-  LANDSCAPING
-  HARDSCAPE
-  PATIO



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DE SA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

6715 NEPTUNE PLACE
6715 NEPTUNE PLACE
LA JOLLA, CA, 92037

REVISIONS
06-17-14 1st COASTAL SUBMITTAL
01-19-15 COMMUNITY PRESENTATION
02-27-15 COASTAL RESUBMITTAL
07-06-15 COASTAL RESUBMITTAL



PHASE COASTAL

PROJECT NO. 2014-17

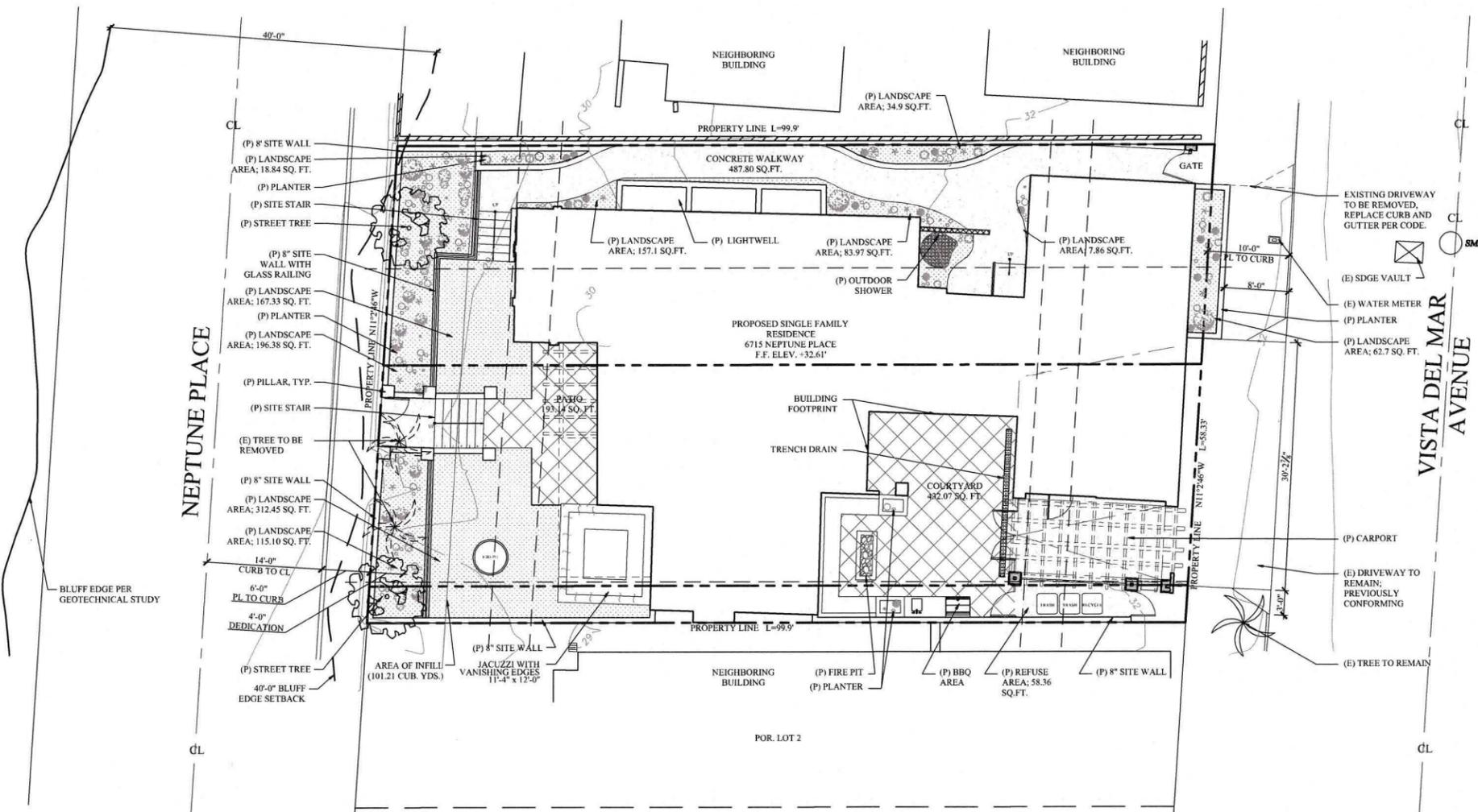
REVIEWED BY CAM

DRAWN BY GR, JRL

DATE 07/06/2015

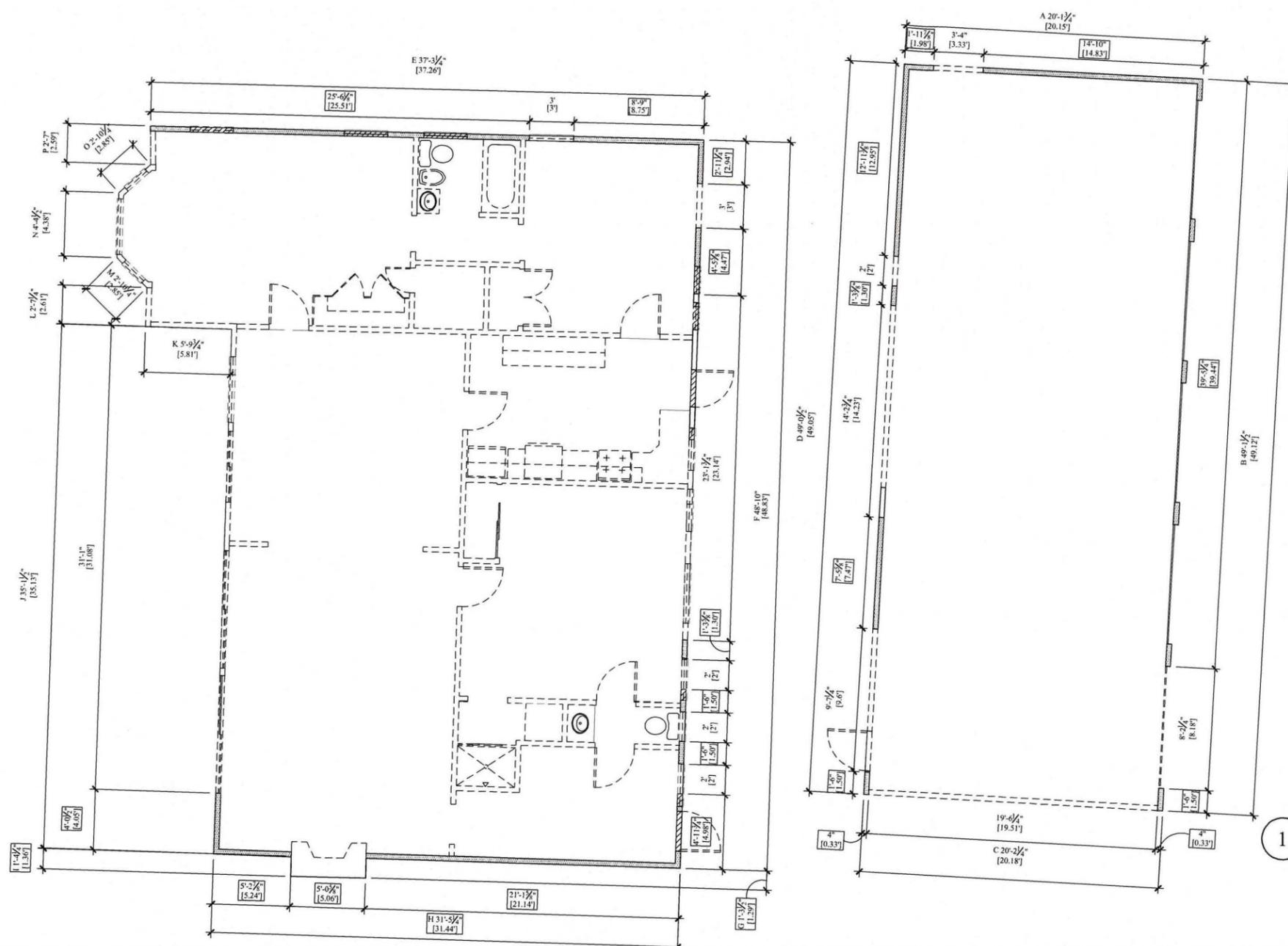
Marengo Morton Architects, Inc. is providing this agreement with certain parties, materials used electronically. The parties acknowledge that this plan, specifications, reports, drawings, or other information recorded on or transmitted in electronic media including but not necessarily limited to "CAD documents" are subject to verifiable alteration, either intentional or unintentional, due to using other means, transmission, storage, or retrieval. Accordingly, all such documents are provided to the parties in both electronic and hard copy format. Any reference herein is deemed to be unambiguous and verifiable. The signed and stamped hard copies with the signature of the Architect of Record are the Architect's final documents of record and are the only true contract documents of record.

SHEET TITLE
PROPOSED
LANDSCAPE PLAN
L-1.1
SHEET 6 OF 14



1 PROPOSED LANDSCAPE PLAN

Y:\2014 Project\2014-17 Gardens Neptune - CADD Drawings - Architectural Design Phase_Sheet L-1.1 PROPOSED LANDSCAPE PLAN.dwg, Jul 06, 2015, 4:58pm



Main Structure Perimeter Calculation Worksheet

Project Name: Candarus-Neptune
Project Address: 6715 Neptune Place, La Jolla, CA 92037

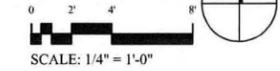
Existing Residence Perimeter Lengths			
Direction	Existing Length	Length Remaining	Length Removed
E- North	37.25 LF	34.26 LF	3.00 LF
F- East	43.83 LF	16.69 LF	27.14 LF
G- East	1.25 LF	1.25 LF	0.00 LF
H- South	31.44 LF	31.44 LF	0.00 LF
I- West	1.36 LF	1.36 LF	0.00 LF
J- West	35.13 LF	4.05 LF	3.08 LF
K- South	5.81 LF	0.00 LF	5.81 LF
L- West	2.61 LF	0.00 LF	2.61 LF
M- West	2.82 LF	0.00 LF	2.82 LF
N- West	4.38 LF	0.00 LF	4.38 LF
O- West	2.82 LF	0.00 LF	2.82 LF
P- West	2.29 LF	0.00 LF	2.29 LF
Total Existing Main Level Perimeter Length	176.40 LF	89.69 LF	87.41 LF
Existing Perimeter Wall Remaining	89.69 LF		
Total Existing Building Perimeter Length	176.40 LF		
51% Percentage of Existing Perimeter Wall Which Remains			
50% of existing wall must remain to qualify for coastal exemption			
Cumulative Perimeter Wall Remaining	147.51 LF		
Total Cumulative Building Perimeter	165.55 LF		
55% Percentage of Cumulative Perimeter Wall Which Remains			
50% of existing wall must remain to qualify for coastal exemption			

Garage Perimeter Calculation Worksheet

Project Name: Candarus-Neptune
Project Address: 6715 Neptune Place, La Jolla, CA 92037

Existing Residence Perimeter Lengths			
Direction	Existing Length	Length Remaining	Length Removed
A- North	23.15 LF	16.62 LF	6.53 LF
B- East	49.12 LF	40.54 LF	8.58 LF
C- South	23.15 LF	0.66 LF	22.49 LF
D- West	49.05 LF	23.23 LF	25.82 LF
Total Exist. Lower Floor Perimeter Length	89.45 LF	58.42 LF	31.03 LF
Existing Perimeter Wall Remaining	58.42 LF		
Total Existing Building Perimeter Length	89.45 LF		
65% Percentage of Existing Perimeter Wall Which Remains			
50% of existing wall must remain to qualify for coastal exemption			
Cumulative Perimeter Wall Remaining	147.51 LF		
Total Cumulative Building Perimeter	165.55 LF		
55% Percentage of Cumulative Perimeter Wall Which Remains			
50% of existing wall must remain to qualify for coastal exemption			

1 FIRST FLOOR DEMOLITION PLAN



DEMOLITION NOTES FOR COASTAL EXEMPTION

- A. At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure.
- B. The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall)
- C. Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- D. The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption) and is not to be done.
- E. Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- F. The "existing" walls are those walls, which were in existence on March 17, 1990 (the date of when the ordinance adding the 50% provision became effective). Any walls added after that date will not count towards the required 50% for any remedies.
- G. Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill.
- H. Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4 going through the top plate will deduct that amount)

- I. Cripple walls are permitted (Placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- J. Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
- K. A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- L. Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to the interior & verified by the Architect.

DEMOLITION NOTES

- 1. Architect shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
- 2. Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- 3. Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences.
- 4. Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.

DEMOLITION NOTES CONTIN.

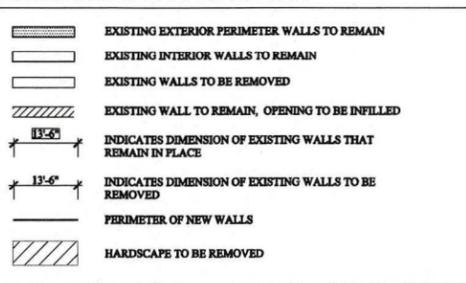
- 5. All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
- 6. Contractor to verify Dumpster location with Architect before demolition commences.
- 7. Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- 8. Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- 9. Contractor shall notify Architect if any of the exposed wood show evidence of active water leaks, termites or dry rot.
- 10. Prepare existing window framing openings (to remain) to receive new window units. See new floor plan and elevations for new window size.
- 11. When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- 12. Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- 13. Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
- 14. Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
- 15. Should any portion of the structure being removed produce unstable or unsafe conditions the contractor shall provide shoring and bracing.
- 16. Existing FAU & Water Heater shall be turned off and salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- 17. Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- 18. Please be advised this is a remodel project. Concealed conditions of all types shall be taken into account and/or verified prior to completion of final project bid.
- 19. Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
- 20. Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled upon notification to the Architect and a written approval has been documented. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- 21. Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify the Architect to make modifications and/or other corrective measures.
- 22. If soils report or survey not included with this set of documents, the Architect will not be held responsible for any changes, modifications, ordered reports or survey or other additional issues caused by lack of information from those documents.

COASTAL PROJECTS ADDITIONAL NOTES

A. This is a COASTAL PROJECT. No exterior walls shall be demolished other than those specified on the demolition sheet without prior written instruction from Architect.

B. It is the General Contractors sole responsibility that all existing wall shown to remain shall be protected and maintained at all times during the project construction.

DEMOLITION LEGEND



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

6715 NEPTUNE PLACE
6715 NEPTUNE PLACE
LA JOLLA, CA, 92037

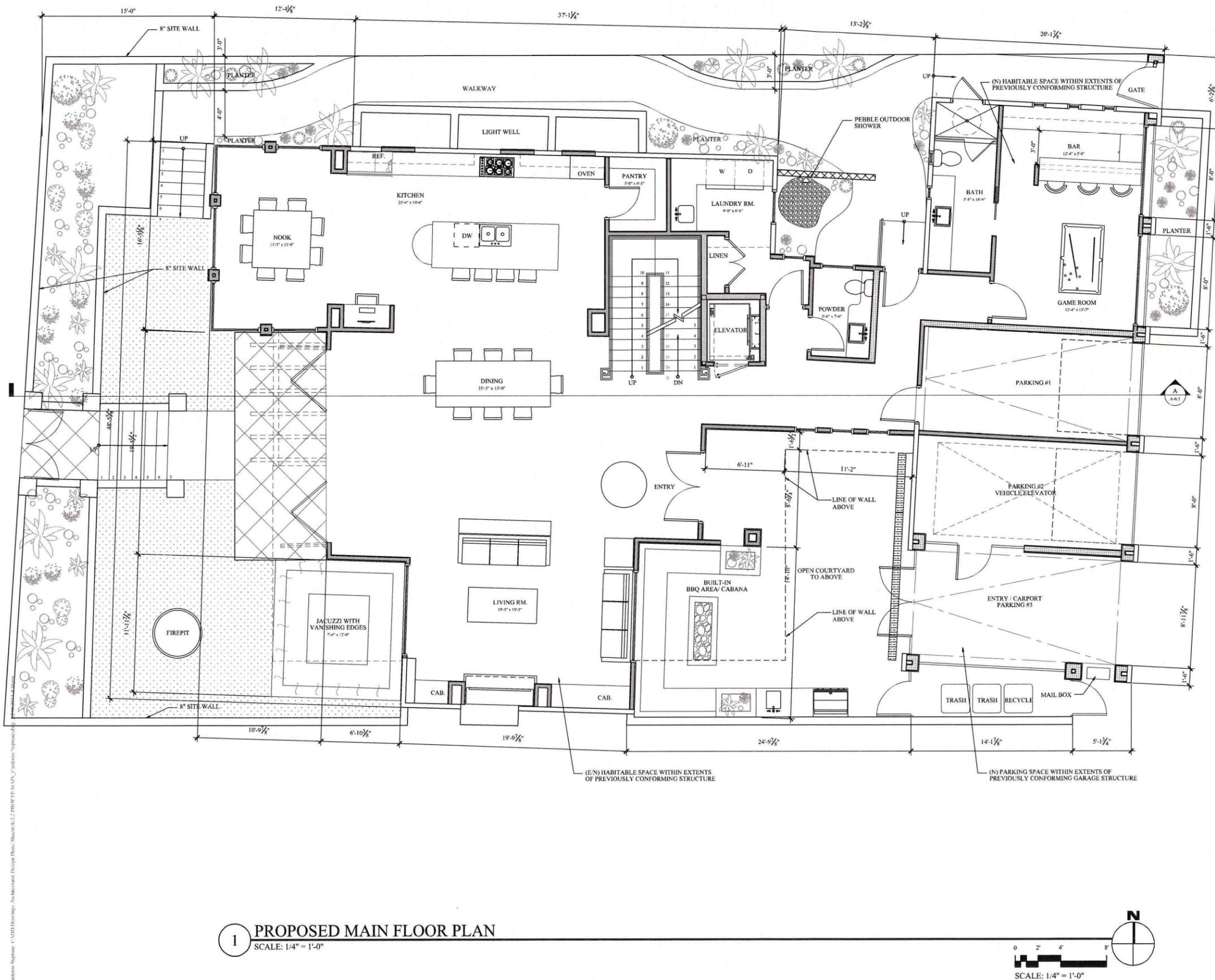
REVISIONS

08-17-14	1st COASTAL SUBMITTAL
01-09-15	COMBINED PRESENTATION
02-27-15	COASTAL RESUBMITTAL
07-06-15	COASTAL RESUBMITTAL

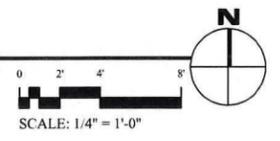
PHASE	COASTAL
PROJECT NO.	2014-17
REVIEWED BY	CAM
DRAWN BY	GR, JRL
DATE	07/06/2015

Marengo Morton Architects, Inc. is providing this agreement with certain parties, materials used electronically. The parties consent that this agreement, specifications, reports, documents, and other information recorded in or generated by electronic media (including but not necessarily limited to "CAD documents") are subject to applicable electronic signature laws, either electronic or non-electronic, and that the parties agree to be bound by the terms of this agreement. All work documents are prepared in the metric system. For international projects only and not as an end product use as a record document. Any reference therein is deemed to be made in good faith and confidence. The original and stamped hard copies with the signature of the Architect of Record are the Architect's documents of record and are the only true and correct documents of record.

SHEET TITLE
1ST FLOOR
DEMO PLAN
A-2.0
SHEET 7 OF 14



1 PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

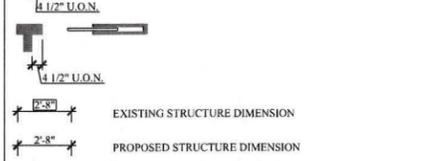


FLOOR PLAN NOTES

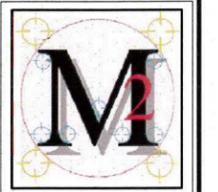
- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1 and A-8.2
- D. For Interior Finish See Schedule On Sheet A-8.3
- E. For lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For demolition, see sheets A-2.0
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.3
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at Ceiling & Roof Areas.
R-4.5 Insulation Wrap On All New Hot Water Piping.
R-4.5 Insulation Wrap On All New Supply Ducts.
- I. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- L. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquastar 240Kng instant gas water heater, 81 EF (or eq) typ of 1, TANKLESS
- N. HVAC: New Rheem RGP10NAMES, 80,000 BTU gas FAU, .80 AFUE (or eq) typ of 1
- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC)
- P. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- Q. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate of 120 cfm.
- S. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- T. Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2

FLOOR PLAN LEGEND

- 2 X 4 EXISTING EXTERIOR WALL - GYP, STUCCO EXTERIOR
- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
- NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
- NEW 8" THICK CMU WALL
- NEW 8" THICK CMU WALL WITH 2 X 4 INTERIOR FURRED WALL - GYP, STUD, CMU
- ONE HOUR CONSTRUCTION**
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE.
- NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON AS.1
- NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON AS.1
- SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
- PROPOSED EXTERIOR LIGHTING
- NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED



EXTERIOR WALL DIMENSIONS TO FACE OF STUD/BDN. WALL.
INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.
FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo D.ESA



All ideas, design and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

715 NEPTUNE PLACE
6715 NEPTUNE PLACE
LA JOLLA, CA, 92037

REVISIONS
06-17-14 COASTAL SUBMITTAL
01-04-15 COMMUNITY PRESENTATION
02-27-15 COASTAL REE/BMITTAL
07-06-15 COASTAL REE/BMITTAL

PHASE
COASTAL

PROJECT NO. 2014-17

REVIEWED BY CAM

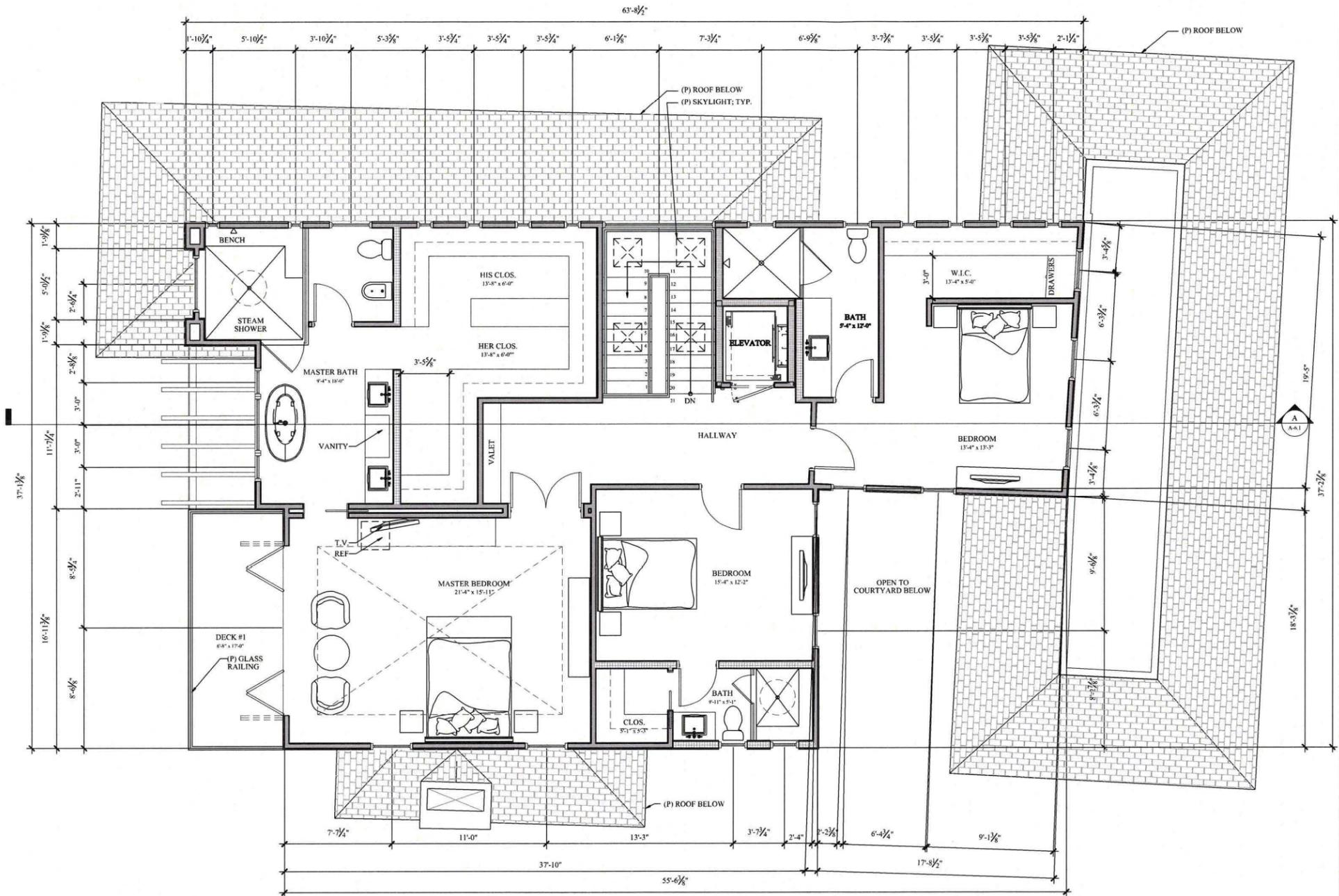
DRAWN BY GR, JRL

DATE 07/06/2015

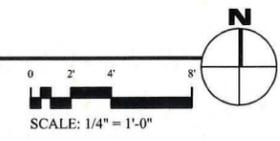
Marengo Morton Architects, Inc. is providing this agreement with certain parties, and shall remain confidential. The parties hereto agree that this plan, specification, report, document, or other information recorded or transmitted in electronic media (including but not limited to "CAD documents") are subject to applicable laws, rules, regulations, or other restrictions, and shall remain confidential. Any release hereof is deemed to be unauthorized and prohibited. This agreement shall be enforceable and binding. The signed and stamped hard copies with the wet signature of the Architect of Record and the Architect's Representative of use and are the only true contract documents of record.

SHEET TITLE
PROPOSED MAIN FLOOR PLAN

A-2.2
SHEET 9 OF 14



1 PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN NOTES

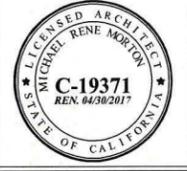
- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1 and A-8.2
- D. For Interior Finish See Schedule On Sheet A-8.3
- E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For demolition, see sheets A-2.0
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.3
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at Ceiling & Roof Areas.
R-4.5 Insulation Wrap On All New Hot Water Piping.
R-4.5 Insulation Wrap On All New Supply Ducts.
HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- I. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- L. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquastar 240fmg instant gas water heater, .81 EF (or eq) typ of 1, TANKLESS
- N. HVAC: New Rheem RGP10NAMER, 80,000 BTU gas FAU, .80 AFUE (or eq) typ of 1
- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC)
- P. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- Q. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate of 120 cfm.
- S. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- T. Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2

FLOOR PLAN LEGEND

- 2 X 4 EXISTING EXTERIOR WALL - GYP., STUCCO EXTERIOR
 - NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
 - NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
 - NEW 8" THICK CMU WALL
 - NEW 8" THICK CMU WALL WITH 2 X 4 INTERIOR FURRED WALL - GYP. STUD, CMU
 - ONE HOUR CONSTRUCTION**
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE.
 - NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
 - NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
 - SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
 - FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
 - FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
 - PROPOSED EXTERIOR LIGHTING
 - NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
 - EXISTING STRUCTURE DIMENSION
 - PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD/PTN. WALL.
INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DE SA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

6715 NEPTUNE PLACE
6715 NEPTUNE PLACE
LA JOLLA, CA, 92037

REVISIONS
09-17-14 1st COASTAL SUBMITTAL
01-15-15 COMMENT PRESENTATION
02-27-15 COASTAL RESUBMITTAL
07-06-15 COASTAL RESUBMITTAL

PHASE COASTAL
PROJECT NO. 2014-17
REVIEWED BY CAM
DRAWN BY GR, JRL
DATE 07/06/2015

SHEET TITLE PROPOSED UPPER FLOOR PLAN
A-2.3
SHEET 10 OF 14

Y:\2014 Project\2014-17 Candens Neptune - CAD\Drawings - Architectural\Design Phase\Sheet\A-2.3 PROPOSED UPPER FLOOR PLAN.dwg, 06/06/2015, 1:54:50pm



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo Desa



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

6715 NEPTUNE PLACE
6715 NEPTUNE PLACE
LA JOLLA, CA, 92037

REVISIONS
08-17-14 1st COASTAL SUBMITTAL
01-19-15 COMMUNITY PRESENTATION
02-27-15 COASTAL RESUBMITTAL
07-06-15 COASTAL RESUBMITTAL



PHASE: COASTAL

PROJECT NO. 2014-17

REVIEWED BY: CAM

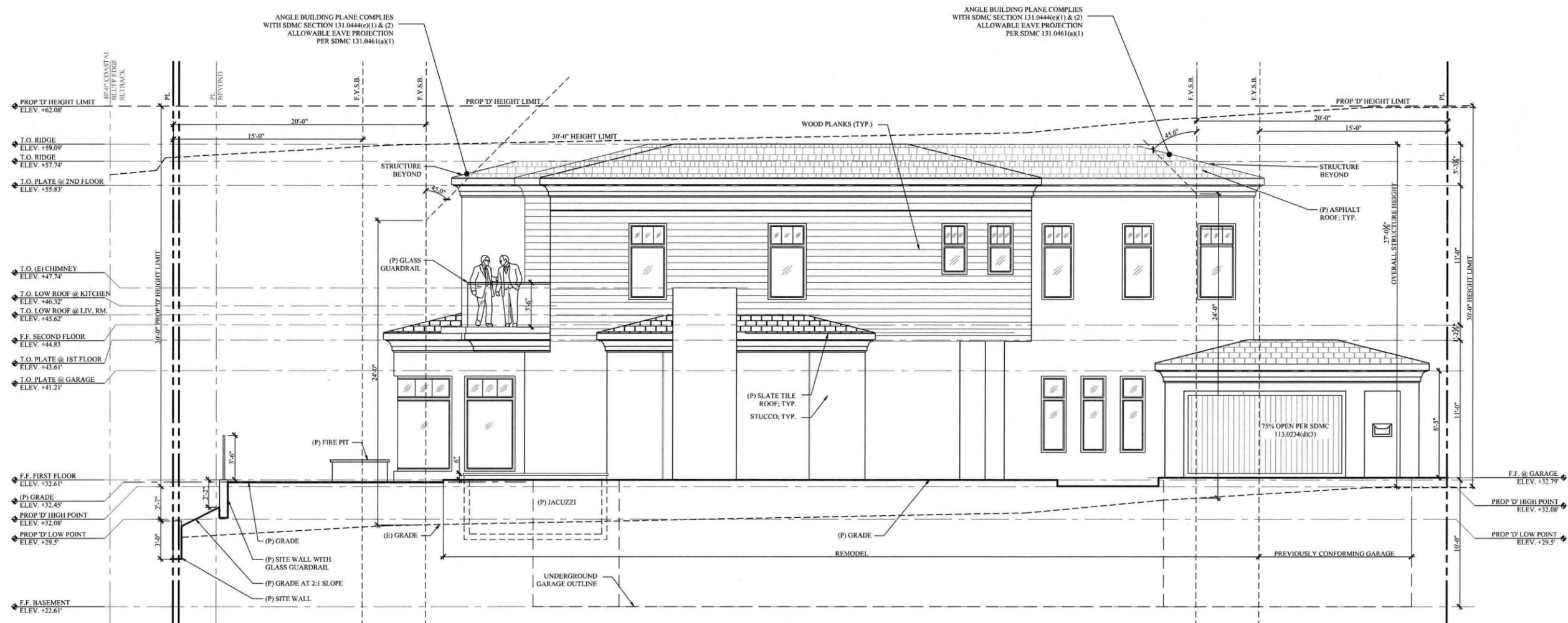
DRAWN BY: GR, JRL

DATE: 07/06/2015

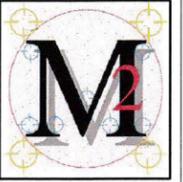
Marengo Morton Architects, Inc. is providing this agreement with certain parties, materials, standard drawings. The parties responsible for this plan, specifications, approvals, contracts, or other information recorded or transmitted in electronic media including but not necessarily limited to "CAD documents" are subject to applicable alteration, either intentional or unintentional, due to, among other causes, transmission, compression, media degradation, software error, or human error. Accordingly, all such documents are provided as the basis for informational purposes only and shall not be used as a record document. Any reliance thereon is limited to the non-representational and non-contractual. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's instruments of service and are the only true, correct documents of record.

SHEET TITLE: PROPOSED ELEVATIONS

A-5.1
SHEET OF



1 SOUTH ELEVATION



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768

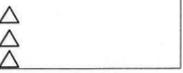
Michael Morton AIA
Claude Anthony Marengo DASA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

6715 NEPTUNE PLACE
6715 NEPTUNE PLACE
LA JOLLA, CA, 92037

REVISIONS
06-17-14 COASTAL SUBMITTAL
01-19-15 COMMUNITY PRESENTATION
02-27-15 COASTAL RESUBMITTAL
07-06-15 COASTAL RESUBMITTAL



PHASE COASTAL

PROJECT NO. 2014-17

REVIEWED BY CAM

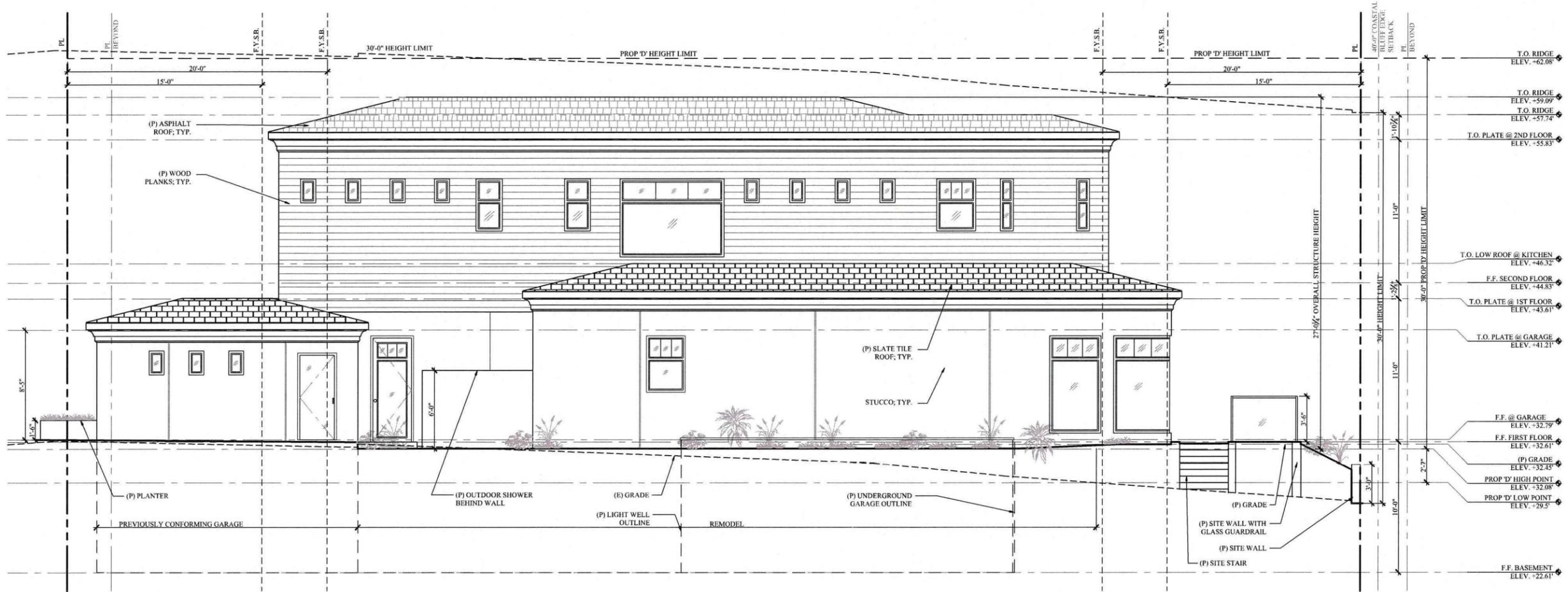
DRAWN BY GR, JRL

DATE 07/06/2015

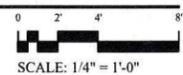
Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials (printed electronically). The parties acknowledge that this plan, specifications, reports, documents, and other information recorded on or transmitted by electronic media (including but not necessarily limited to "CAD documents") are subject to the same legal treatment as their printed counterparts. It is understood, due to, among other causes, transmission, copy errors, media degradation, software error, or human alteration. Accordingly, all such documents are provided in this format for informational purposes only and are not to be printed or used as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The original and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

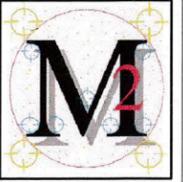
SHEET TITLE PROPOSED ELEVATIONS

A-5.2
SHEET OF



2 NORTH ELEVATION





Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo D.E.S.A.



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

6715 NEPTUNE PLACE
6715 NEPTUNE PLACE
LA JOLLA, CA, 92037

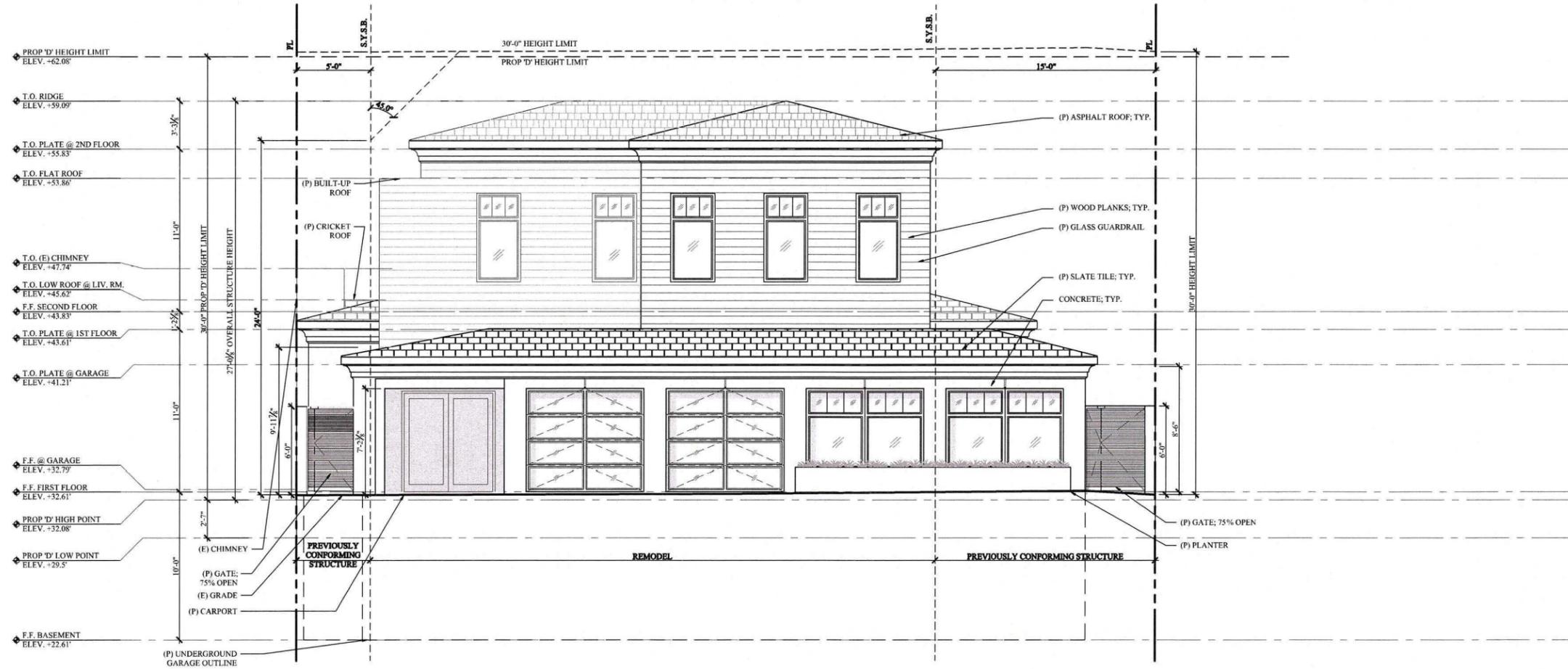
REVISIONS
08-17-14 1st COASTAL SUBMITTAL
01-15-15 COMMUNITY PRESENTATION
02-27-15 COASTAL RESUBMITTAL
07-06-15 COASTAL RESUBMITTAL



PHASE	COASTAL
PROJECT NO.	2014-17
REVIEWED BY	CAM
DRAWN BY	GR, JRL
DATE	07/06/2015

Marengo Morton Architects, Inc. is providing this agreement to you for your information only. This agreement is not intended to constitute an offer of any services. The project is subject to the terms and conditions of the contract documents. The project is subject to the terms and conditions of the contract documents. The project is subject to the terms and conditions of the contract documents.

SHEET TITLE PROPOSED ELEVATIONS
A-5.4
SHEET OF



1 EAST ELEVATION

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us
 Mail: PO Box 889, La Jolla, CA 92038
 Web: <http://www.LaJollaCPA.org>
 Voicemail: 858.456.7900
 Email: info@LaJollaCPA.org

President: Joe LaCava
 Vice President: Bob Steck
 2nd Vice President: Patrick Ahern
 Secretary: Helen Boyden
 Treasurer: Nancy Manno

FINAL MINUTES | Thursday, 5 March 2015

Regular Meeting of the La Jolla Community Planning Association

Trustees Present: Patrick Ahern, Cynthia Bond, Helen Boyden, Bob Collins, Mike Costello, Janie Emerson, Cindy Greatrex, Joe LaCava, Nancy Manno, Robert Mapes, Alex Outwater, Jim Ragsdale, Bob Steck, Ray Weiss, Fran Zimmerman

Trustee Absent: Phil Merten

1.0 Joe LaCava, President, called the meeting to order at 6:16pm immediately following the Annual Member Meeting. He asked those present to turn off their mobile phones and announced that the meeting was being recorded in audio by the LJCPA and in video by a person who does not wish to identify himself.

2.0 Adopt the Agenda

Approved Motion: To adopt the agenda as posted (Steck, Collins: 12-0-0)

In favor: Ahern, Bond, Boyden, Collins, Costello, Emerson, LaCava, Mapes, Outwater, Ragsdale, Steck, Weiss, Zimmerman

3.0 Meeting Minutes Review and Approval: 5 February 2015

Approved Motion: To approve the February 5, 2015 minutes as distributed. (Outwater, Steck: 9-1-3)

In favor: Ahern, Bond, Boyden, Collins, Emerson, Outwater, Ragsdale, Steck, Weiss

Opposed: Costello

Abstain: LaCava (Chair), Mapes and Zimmerman (both absent)

4.0 Elected Officials – Information Only

4.1 Council District 1 – Council President Sherri Lightner

Rep: **Justin Garver**, 619-236-6611, JGarver@sandiego.gov stated that CP Lightner plans to reintroduce a plastic bag reduction ordinance that had previously passed through a Council committee because the state legislation is being held up by a referendum. No timeline has been established. CD2 Lorie Zapf is bringing forth a STVR issue recently discussed by the Pacific Beach Planning Group to the Smart Growth and Land use Committee on April 22. A community meeting will be held March 18th from 6 to 8 pm at the SIO Sumner Auditorium to discuss the Utilities Undergrounding block 1J phase 1 and 2.

4.2 Mayor's Office – Mayor Kevin Faulconer

Rep: **Francis Barraza**, 619-533-6397, FBarraza@sandiego.gov was not present.

4.3 39th Senate District – State Senator Marty Block

Rep: **Hilary Nemchik** Hilary.Nemchik@sen.ca.gov, 619-645-3133 was not present.

4.4 78th Assembly District – Speaker of the Assembly Toni Atkins

Rep: **Toni Duran**, 619-645-3090, Toni.Duran@asm.ca.gov was not present.

5.0 Non-Agenda Comment

Public may speak on matters not on the agenda & within LJCPA jurisdiction, 2 minutes or less.

5.1 UCSD - Planner: Anu Delouri, adelouri@ucsd.edu, <http://commplan.ucsd.edu/> **President LaCava** spoke for Ms. Delouri who was helping at the Election, calling attention to the 45-day review period for the EIR for the Center for Novel Therapeutics ending April 16. A public hearing will be held on

Tuesday March 31 at 6pm at the UCSD Faculty Club. More information can be found at the above website.

5.2 Others

Member Ed Comartin encouraged those present to join the LJCPA so they could participate in the community planning process. It was noticed that 34 members were dropped as of February 28, 2015, but two had rejoined.

Member Sally Fuller announced that the La Jolla Woman's Club was holding a meeting on Women in Legislation at the club on Friday, April 3rd at 5:30 pm. CP Sherri Lightner will speak.

6.0 Trustee Comment

Trustees may comment on matters not on the agenda & within LJCPA jurisdiction, 2 min or less.

Trustee Emerson announced she was collecting signature for a referendum on the City Council passed One Paseo project.

Trustee Zimmerman stated that she thought the property at 7411 Olivetas (at Marine) had a chimney that was too tall. **President LaCava** suggested that she contact **Gary Geiler** at DSD, newly assigned to La Jolla who had been right on the Boffo Cinema height issue.

7.0 Officers' Reports

7.1 Secretary: Helen Boyden - given at member meeting

7.2 Treasurer: Nancy Manno – given at member meeting

8.0 President's Report – Information only unless otherwise noted.

8.1 Report out on Closed Session –The trustees agreed to sign the waiver of conflict of interest letter with respect to current litigation.

8.2 Whale Watch Way – Appeal Hearing continued, date uncertain but likely April 16th. Because the date was given as uncertain, there will be a new public notice for the Planning Commission hearing. It is believed changes to the project will be made; however, it is not known if the project will return to PRC/LJCPA.

8.3 Sacido Residence – Appeal Hearing: March 26th at Planning Commission

8.4 Whitney Mixed Use – Final EIR issued; Hearing: March 26th at Planning Commission [*Note: LJCPA was subsequently informed that the project would not be heard on March 26th date and has not yet been rescheduled.*]

8.5 Preservation Committee – Open discussions with LJHS for a joint or standalone committee to respond to city requests for local information on buildings going through a “45-year review.” This is a planning group responsibility but has been assigned over the years to LJHS.

8.6 Annual Elections Tonight: 7 seats to be filled. Polls close at 7:00pm.

9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

9.1 Election Committee

9.1.1 Upon the close of the polls at 7:00 pm all the ballots will be collected and counted by the Election Committee.

9.1.2 Upon final verification of the vote count, the Election Committee shall report the results to the LJCPA President who shall certify and immediately announce the results.

9.1.3 The election becomes final one week later if no challenge to the election results has been filed.

9.1.4 Newly elected Trustees will be seated at the start of the April meeting.

9.2 Community Planners Committee <http://www.sandiego.gov/planning/community/cpc/index.shtml> approved the provisions of the 9th Land Development Code Update.

9.3 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html> Sheila Fortune announced that the committee would now meet quarterly instead of monthly.

10.0 Consent Agenda – Action Item

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to forward the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

→ Anyone may request a consent item be pulled for full discussion by the LJCPA.

→ Items “pulled” from Consent Agenda are automatically trailed to the next LJCPA meeting.

→ See Committee minutes and/or agenda for description of projects, deliberations, and vote.

→ The public is encouraged to attend and participate in Community Joint Committee & Board meetings.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4:00 pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4:00 pm

PRC – LJ Shores Permit Review Committee, Interim Chair Phil Merten, 4th Tues, 4:00 pm

T&T – Traffic & Transportation Board, Chair Todd Lesser, 4th Thurs, 4:00 pm

PDO – No recommendations to LJCPA

PRC – No Meeting in February

T&T – No report from February meeting

10.1 T-Mobile Mt. Soledad Presbyterian Church, 6551 Soledad Mountain Road

DPR Action: Findings CAN be made for a Coastal Development Permit and Site Development Permit to renew an expired permit for an existing Wireless Communication Facility. The property site is located at 6551 Soledad Mountain Road. 9-0-1.

10.2 Bucknell Retaining Wall, 5805 & 5817 Bucknell Avenue – Pulled by applicant

DPR Action: Findings CANNOT be made for a Site Development Permit to construct a 6-foot retaining wall above a 9-foot retaining wall in the rear portion of a vacant 1.44-acre site and on the adjacent lot with an existing single family residence located at 5805 & 5817 Bucknell Avenue. This is based upon the findings that: The walls will disturb the visual quality of the canyon. 5-4-1

10.3 Neptune CDP, 6715 Neptune Place

DPR Action: Findings CAN be made for a Coastal Development Permit to remodel and 2,738 square foot addition to an existing residence located at 6715 Neptune Place. 6-0-1.

10.4 Silver Street Village Homes, 7601 Draper Ave & 720 Silver Street --pulled by Trustee Costello on behalf of member Dave Little because the project does not adhere to PDO requirement for retail.

DPR ACTION: Findings CAN be made for a Coastal Development Permit and Site Development

DPR ACTION: Findings CAN be made for a Coastal Development Permit and Site Development Permit, Vesting Tentative Map and Easement Vacation to demolish two structures and construct (18) eighteen attached single family residential condominium units located at 720 Silver St and 7601 Draper Ave. 5-1-1.

Items 10.2 Bucknell Retaining Wall, and 10.4 Silver Street Village Homes were pulled for full hearings at the April 2015 LJCPA meeting.

Approved Motion: To accept the DPR recommendations for: 10.1 T-Mobile Mt. Soledad Presbyterian Church, 6551 Soledad Mountain Road: that the findings CAN be made for a Coastal Development Permit and Site Development Permit to renew an expired permit for an existing Wireless Communication Facility. The property site is located at 6551 Soledad Mountain Road and for: 10.3 Neptune CDP, 6715 Neptune Place: that the findings CAN be made for a Coastal Development Permit to remodel and 2,738 square foot addition to an



existing residence located at 6715 Neptune Place and forward the recommendations to the City. (Ragsdale, Steck: 12-0-1)

In favor: Ahern, Bond, Boyden, Collins, Costello, Emerson, Mapes, Outwater, Ragsdale, Steck, Weiss, Zimmerman

Abstain: LaCava (Chair)

Items 10.2 (Bucknell) and 10.4 (Silver Street) were pulled for a full hearing next month.

11.0 La Jolla View Reservoir – Action Item

Process 3. Demolish existing La Jolla View Reservoir (1748 1/3 Upper Hillside Drive) and existing La Jolla Exchange Place reservoir (Country Club Drive at Pepita Way.) Construction of new 3.1 million gallon La Jolla View Reservoir, and replace the existing Muirlands Pipeline along Country Club Drive with larger 30-inch pipeline. Coastal (Non-appealable) Overlay Zone.

See: <http://www.sandiego.gov/cip/projectinfo/featuredprojects/ljreservoir.shtml>

DPR Action (Feb '15): Findings CAN be made for a Coastal Development Permit and Site Development Permit to demolish the existing La Jolla View Reservoir and existing La Jolla Exchange Place reservoir. Construction of new 3.1 million gallon La Jolla View Reservoir. Replace the existing Muirlands Pipeline along Country Club Drive with larger 30-inch pipeline. 5-1-1.

Presented by: Parita Ammerlahn, Project Manager, City of San Diego – Department of Public Works/Engineering & Capital Projects. She answered several questions from below listed individuals.

The current reservoir was built in 1949 and it and the pipeline to be replaced are not up to current standards for the current population and emergencies. The 30" pipeline will also serve as emergency storage and with the reservoir will triple the water storage in La Jolla. It is not possible to build in another location as the reservoir must fit in with the various city reservoirs in La Jolla and is part of the North City Pressure Zone. Temporary access will be from Country Club Drive to avoid heavy truck traffic on the narrow streets now accessing the area; this will be removed after construction is done. No road closures are expected during construction. The new reservoir will be underground, except for two passageways and two service truck parking spaces, so there are no view issues. The property will be landscaped as a natural habitat and monitored for five years. Public access in open space is not prohibited but is discouraged as natural habitat is desirable. As to the Exchange Place Reservoir, it will be demolished and not replaced. The land encompassing the Exchange Place Reservoir is owned by City Water Utilities and would have to be sold to the city in order to be used or dedicated as parkland.. They expect to begin construction in October 2016 and finish in 2018. This will be a Process Three discretionary permit to be heard by the Hearing Officer and will follow the usual track of noticing and appeal provisions.

Members Sally Miller, Michael Morton, Sally Fuller, John Berol, Melinda Merryweather, Kim Whitney, Gail Forbes, Stan Minick and Trustees Zimmerman, Bond, Collins, Ahern and Weiss commented.

Parks and Beaches Chair Member Dan Allen noted that the EIR process has barely begun and he would like more information before the LJCPA votes on this project. The LJCP has many pages on preserving natural hillsides and this project will strip the former La Jolla Heights Park bare, and it will take 2 years to construct and five years to restore. Ms. Ammerlahn stated that she has a budget with 6 months to EIR.

Approved Motion: To table the project until the draft environmental document has been published. (Weiss, Bond: 11-1-1)

In favor: Ahern, Bond, Boyden, Collins, Emerson, Mapes, Outwater, Ragsdale, Steck, Weiss, Zimmerman

Opposed: Costello

Abstain: LaCava (Chair)

Open Discussion:

In the time until the election results were available a general Q & A session was held. **President LaCava** discussed the CDP categorical exemption: If redevelopment of a property will keep 50% of the walls then no CDP is required. However, this has resulted in remodels maximizing what is allowed under the zoning with no input from neighbors or the planning group. Additionally, until 2000 the 50% was based on the property as it stood in 1972; in 2000 the basis was changed to the current structure, often resulting in serial additions. Some suggestions have been considered in the past: get rid of the 50% and allow height to go to 90% of the allowable with the GFA restricted to 80% of the allowable under FAR standards with the second story having a smaller footprint than the first floor. A different standard applies between the beach and the first public roadway: only a 10% increase in square footage is allowed without a CDP.

The theater being developed in the old Jonathan building on Fay is not considered a change of use as the required parking is the same and therefore, it did not require community review. The project façade was reviewed by the LJ PDO committee for conformation to its standards. The over-height problem came about from a change in contractors and the City was right on it.

La Jolla Shores PDO does not have FARs, but projects are supposed to conform to others in the neighborhood; size can be limited by the 30% landscape requirement and the 60% lot coverage. Until the 1990s the staff assumed that projects in the Shores would be limited by 0.60 FARs, but they dropped that as it was not provided for in the PDO.

The City does not enforce CCRs as they are private contracts among the homeowners in the HOA.”

The City had started a program for Volunteer Code Enforcement, but that does not seem to be going anywhere. It was suggested that persons with complaints contact Gary Geiler at DSD.

Election results:

Election Committee Chair Greatrex reported that 126 members (74%) had voted

President LaCava announced and certified the results as:

Elected to 3 year terms:

Glen Rasmussen (105 votes)
Janie Emerson (102 votes)
Jim Fitzgerald (87 votes)
David Little (84 votes)
Tom Brady (78 votes)
Dolores Donovan (71 votes)

Elected to the 2-year term:

Brian Will (63 votes)

[N.B. In response to subsequent requests, all vote totals have been posted on the LJCPA website]

President La Cava thanked the election committee for its work and announced that the deadline for challenging the election was 8:00 PM on March 12, 2015 and that newly elected trustees would take office at the beginning of the April 2 LJCPA meeting and that new officers would be elected at that meeting.

13.0 Adjourned at 8:00 pm to next LJCPA Meeting, Thursday, April 2, 2015, 6:00 pm



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title

Project No. For City Use Only

Cardenas Neptune

385899

Project Address:

6715 Neptune Place La Jolla, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Project Title:

Project No. (For City Use Only)

385899

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? AZ Corporate Identification No. L-102-497-4
Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): Cardenas Family Investors, LLC
Owner Tenant/Lessee
Street Address: 4320 W El dorado road
City/State/Zip: Yuma, AZ 85364
Phone No: Fax No:

Name of Corporate Officer/Partner (type or print): Machelle I Ramirez-Cardenas
Title (type or print): Manager
Signature: Machelle Cardenas Date: 08/20/14

Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : Date:

Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : Date:

Corporate/Partnership Name (type or print): Cardenas Family Investors, LLC
Owner Tenant/Lessee
Street Address: 4320 W eldorado road
City/State/Zip: Yuma, AZ 85364
Phone No: Fax No:

Name of Corporate Officer/Partner (type or print): Joseph A Ramirez-Cardenas
Title (type or print): Manager
Signature: Joseph A Ramirez-Cardenas Date: 8/20/14

Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : Date:

Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature : Date:

Corporate Inquiry

File Number: L-1024497-4

Check Corporate Status

Corp. Name: CARDENAS FAMILY INVESTORS, L.L.C.

Domestic Address

3370 W 13TH PL

YUMA, AZ 85364

Statutory Agent Information

Agent Name: NEIL H HILLER

Agent Mailing/Physical Address:

2304 E CAMELBACK RD STE 600

PHOENIX, AZ 85016

Agent Status: APPOINTED 03/28/2002

Agent Last Updated: 06/26/2013

Additional Corporate Information

Corporation Type: DOMESTIC L.L.C.

Business Type:

Incorporation Date: 03/28/2002

Corporate Life Period: PERPETUAL

Domicile: ARIZONA

County: YUMA

Approval Date: 03/28/2002

Original Publish Date: 05/14/2002

Manager/Member Information

MACHELLE I RAMIREZ-CARDENAS
MANAGER
3370 W 13TH PL
YUMA, AZ 85364
Date of Taking Office: 03/28/2002
Last Updated: 10/28/2008

JOSEPH A RAMIREZ-CARDENAS
MANAGER
3370 W 13TH PL
YUMA, AZ 85364
Date of Taking Office: 03/28/2002
Last Updated: 10/28/2008

RAMIREZ-CARDENAS FAMILY TRUST
MEMBER
MACHELLE I R CARDENAS (TRUSTEE)
JOSEPH A R CARDENAS (TRUSTEE)
3370 W 13TH PL
YUMA, AZ 85364
Date of Taking Office: 03/28/2002
Last Updated: 04/04/2002

JOSPEH DIEGO RAMIREZ-CARDENAS
MEMBER
MICHAEL R CARDENAS (CUSTODIAN)
3370 W 13TH PL
YUMA, AZ 85364
Date of Taking Office: 03/28/2002
Last Updated: 04/04/2002

MACHELLE I RAMIREZ-CARDENAS
MEMBER
3370 W 13TH PL
YUMA, AZ 85364
Date of Taking Office: 03/28/2002
Last Updated: 04/04/2002

JOSEPH A RAMIREZ-CARDENAS
MEMBER
3370 W 13TH PL
YUMA, AZ 85364
Date of Taking Office: 03/28/2002
Last Updated: 04/04/2002

JACOB A RAMIREZ-CARDENAS
MEMBER
MICHAEL R CARDENAS (CUSTODIAN)

3370 W 13TH PL
YUMA, AZ 85364
Date of Taking Office: 03/28/2002
Last Updated: 04/10/2002

PROJECT DATA SHEET

PROJECT NAME	Neptune	
PROJECT DESCRIPTION	Remodel an existing single family structure with an addition of 2,738 square feet to the building	
COMMUNITY PLAN AREA	La Jolla	
DISCRETIONARY ACTIONS	Coastal Development Permit & Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION	Medium High Residential	
<u>ZONING INFORMATION:</u>		
ZONE: RM-1-1 and RM-4-10 Zones		
OVERLAY ZONES: Coastal Overlay Zone, Sensitive Coastal Resources Overlay Zone, Coastal Height Limitation Overlay Zone, Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone		
LOT SIZE: 5,662 square feet		
FLOOR AREA RATIO: RM-1-1: 0.75 RM-4-10: 3.60		
FRONT SETBACK: RM-1-1: 15' min. RM-4-10: Two contiguous <i>yards</i> must observe <i>setbacks</i> of at least 15 feet on the northerly and easterly elevations		
STREET SIDE SETBACK: RM-1-1: 10' min. RM-4-10: see Front Setback, above		
REAR SETBACK: RM-1-1: 15' min. RM-4-10: see Front Setback, above		
PARKING: 7 parking spaces provided where 2 spaces are required		
ADJACENT PROPERTIES	LAND USE DESIGNATION AND ZONE	EXISTING LAND USE
NORTH	Medium High Residential (30-45 du/ac) RM-3-7	Residential
SOUTH	Low Medium Residential (9-15 du/ac) RM-1-1	Residential
EAST	Low Medium Residential (9-15 du/ac) RM-1-1	Residential
WEST	Open Space OP-1-1	Pacific Ocean
COMMUNITY PLANNING GROUP RECOMMENDATION:	On 3/5/2015, the La Jolla Community Planning Association voted 12:0:1 to recommend approval with no conditions.	