



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: November 18, 2015 REPORT NO. HO-15-125

ATTENTION: Hearing Officer

SUBJECT: CHEVRON MESA CUP
PROJECT NUMBER: 364095

LOCATION: 7611 Linda Vista Road

OWNER/
APPLICANT: GTF Properties /
Paris Hagman

SUMMARY

Issue(s): Should the Hearing Officer approve a Conditional Use Permit to allow the sales of beer and wine in accordance with a Type 20 liquor license within an existing convenience store located at 7611 Linda Vista Road within the Linda Vista Community Plan area?

Staff Recommendation - **APPROVE** Conditional Use Permit No. 1273425.

Community Planning Group Recommendation – On July 27, 2015, the Linda Vista Planning Group voted 10-1-1 to deny the Conditional Use Permit for alcohol sales and to approve the expansion (Attachment 9).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section (15301 – Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 25, 2015, and the opportunity to appeal that determination ended October 09, 2015 (Attachment 8).

BACKGROUND

The project proposes a Conditional Use Permit (CUP) for an alcohol beverage outlet, a type 20 ABC beer and wine license, to allow the sales of beer and wine within a 1,740-square-foot convenience store. The 0.47-acre site is located at 7611 Linda Vista Road within the CN-1-2 and CC-1-1 zones in the Linda Vista Community Plan area. The CN-1-2 and CC-1-1 zones allow for commercial retail and personal service uses to accommodate an auto orientation. The existing

commercial retail and personal service uses to accommodate an auto orientation. The existing service station is a previously conforming use established in 1969 prior to the requirement for a discretionary permit. The CN-1-1 zone does not allow service stations. The CC -1-1 zone allows service stations with a Neighborhood Use Permit. The project does not propose any additions to the service station use. The existing 1,146-square-foot automobile repair component will be converted to convenience store space as part of the project scope. The converted convenience store space and the addition of 80-square-foot of office space provide for a total of 1,740 square feet- where 514 square feet of convenience store currently exist.

DISCUSSION

The project proposes a Conditional Use Permit for a Type 20 beer and wine license. Sales of alcohol would be permitted between 8:00 a.m. and 12:00 a.m. each day of the week. The service station / convenience store will operate between the hours of 6:00 a.m. and 12:00 a.m. The Conditional Use Permit includes a 20-year expiration.

The Alcohol Beverage Control (ABC) license (Type 20) is defined as "off sales" which would require retail sales of alcohol sold at the market to be consumed off the premises. Alcoholic beverage outlets are permitted by right as a "Limited Use" pursuant to SDMC section 141.0502(b) of the Land Development Code (LDC) if they meet all of the development regulations and location criteria. Alcoholic beverage outlets that do not comply with the development regulations and location criteria of section 141.0502(b) may still be permitted with a Conditional Use Permit pursuant to SCMC section 141.0502(c). Section 141.0502(b) determines when the limited sale of alcohol is permitted by right or, when a Conditional Use Permit is required in accordance with a Process Three (Hearing Officer) decision. The limited sale of alcohol requires a Conditional Use Permit in the following instances:

- Within a census tract, or within 600 feet of a census tract, where the general crime rate exceeds the citywide average general crime rate by more than 20 percent;
- Within a census tract, or within 600 feet of a census tract, where the ratio of alcohol beverage outlets exceeds the standards established by California Business and Professional Code section 23958.4;
- Within a Redevelopment Area;
- Within 600 feet of a public or private accredited school, a public park, playground or recreational area, a church, hospital or a San Diego County Welfare District Office;
- Within 100 feet of residentially zoned property;

The premise is located within 600 feet of the Kearny Mesa High School and cannot be permitted by right as a limited use. (SDMC section 141.0502(b)(1)(D).) The project therefore requires a Conditional Use Permit, which requires a recommendation by the San Diego Police Department (SDPD). (SDMC section 141.0502(c).)

The San Diego Police Department (SDPD) recommends approval of the requested Conditional Use Permit to allow the sale of alcohol of off-site consumption at this location. Their support for this request is based on several factors including the commercial location of the site. The proposed development will increase the number of alcohol licenses within census tract number 00087.01 to two, where only one exists. The census tract allows for two licenses. There is not an over concentration of licenses within this census tract. Other factors considered by the SDPD in evaluation of this request are that the crime rate was determined to be below the threshold to be considered a high crime area. The crime rate for the census tract is 64.4 percent where section 23958.4 of the Business and Professions Code defines a high crime rate as 120 percent over the district average. Requirements within the draft permit include restriction for hours of alcohol sales, lighting requirements, and sign requirements.

On July 27, 2015, the Linda Vista Planning Group voted 10-1-1 to deny the Conditional Use Permit for the sale of alcohol but approve the conversion of the mechanic shop and the 80-square-foot addition. The community group correspondence and the meeting minutes did not identify a basis for the denial (Attachment 9).

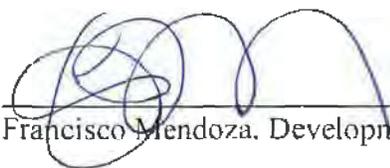
CONCLUSION

Staff has determined that the project complies with the development regulations of all applicable sections of the Land Development Code. Staff has considered the number of alcoholic beverage outlets and crime rate in the area. Staff has determined that the required findings can be made as the project meets the applicable San Diego Municipal Code regulations and requirements. Staff recommends approval of the project as proposed.

ALTERNATIVES

1. **Approve** Conditional Use Permit No. 1273425, **with modifications.**
2. **Deny** Condition Use Permit No. 1273425, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Francisco Mendoza, Development Project Manager

Attachments:

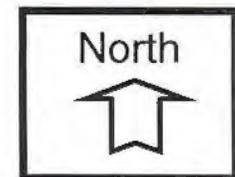
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map

4. Project Data Sheet
5. Draft Permit with Conditions
6. Draft Permit Resolution with Findings
7. SDPD Recommendations
8. Environmental Exemption
9. Ownership Disclosure Statement
10. Community Planning Group Recommendation
11. Project Plans



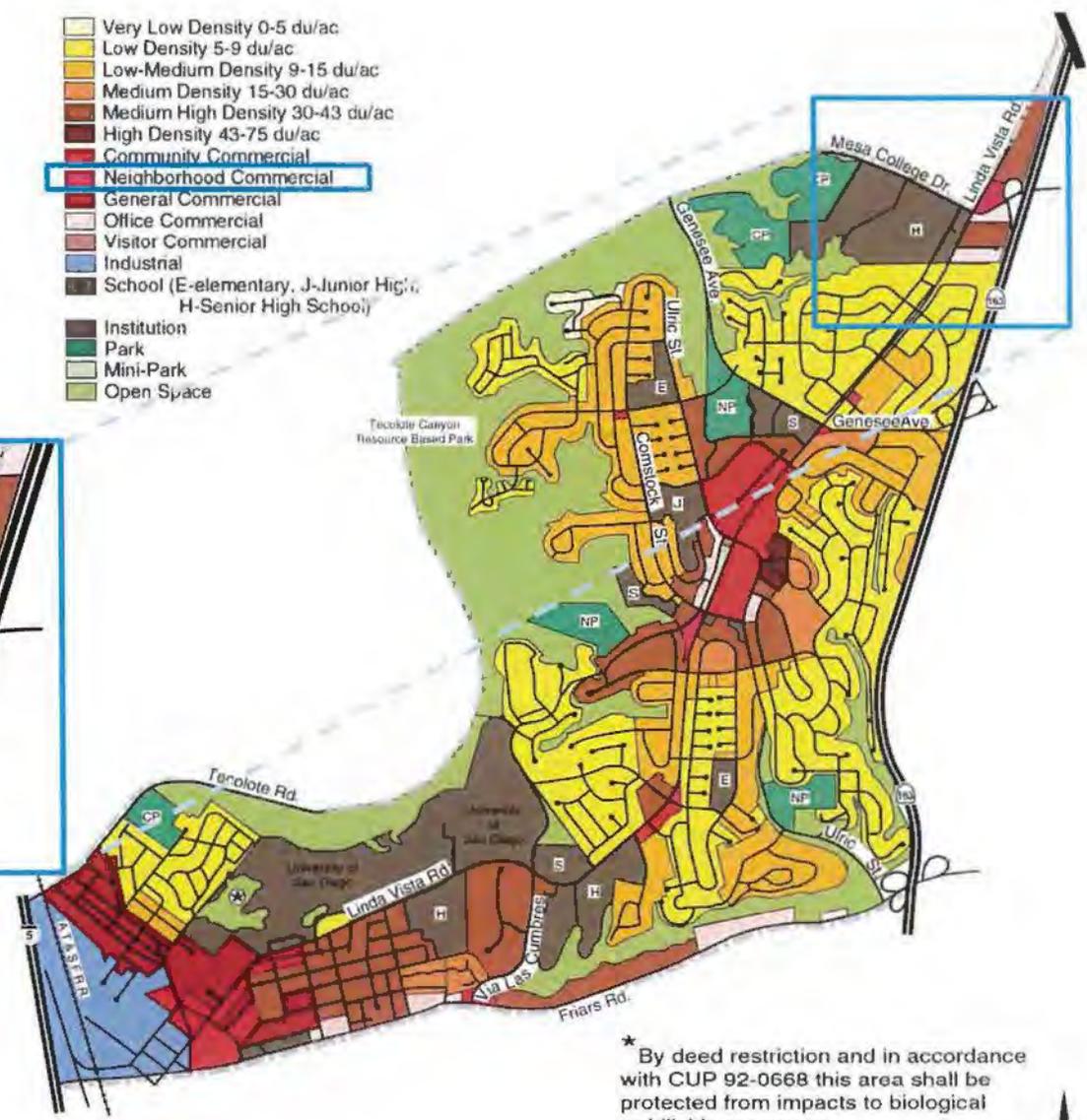
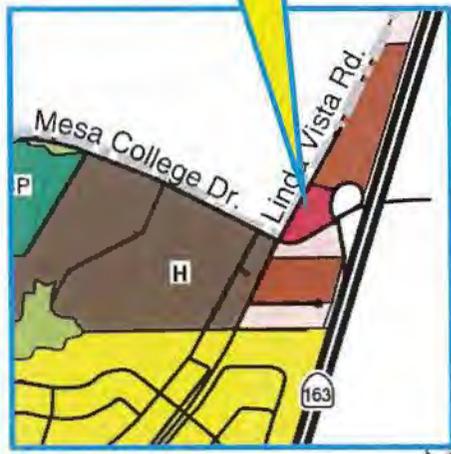
Location Aerial Photo

Chevron Mesa CUP - 7611 Mesa College Drive
PROJECT NO. 364095



- Very Low Density 0-5 du/ac
- Low Density 5-9 du/ac
- Low-Medium Density 9-15 du/ac
- Medium Density 15-30 du/ac
- Medium High Density 30-43 du/ac
- High Density 43-75 du/ac
- Community Commercial
- Neighborhood Commercial**
- General Commercial
- Office Commercial
- Visitor Commercial
- Industrial
- School (E-elementary, J.-Junior High, H-Senior High School)
- Institution
- Park
- Mini-Park
- Open Space

Project Site

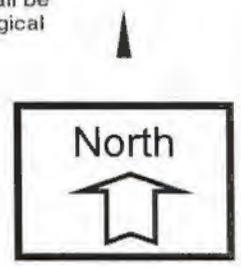


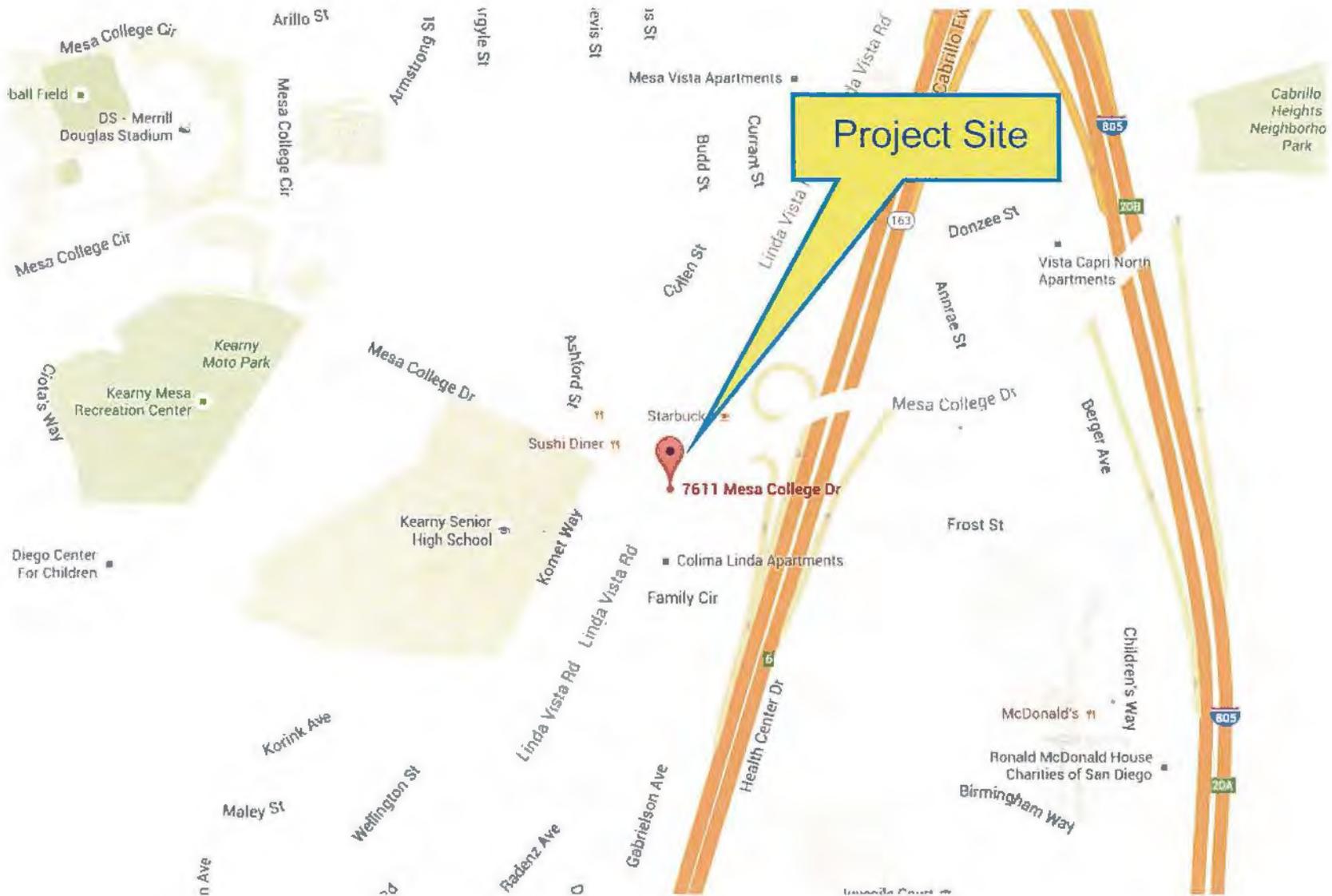
* By deed restriction and in accordance with CUP 92-0668 this area shall be protected from impacts to biological or hillside resources



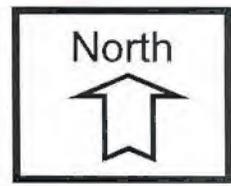
Land Use Map

Chevron Mesa CUP - 7611 Mesa College Drive
PROJECT NO. 364095





Project Location Map
Chevron Mesa CUP - 7611 Mesa College Drive
PROJECT NO. 364095



PROJECT DATA SHEET

PROJECT NAME:	Mesa Chevron CUP / 364095	
PROJECT DESCRIPTION:	Type 20 Beer and Wine Alcohol Beverage Outlet (CUP)	
COMMUNITY PLAN AREA:	Linda Vista	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Neighborhood Commercial	
<u>ZONING INFORMATION:</u> ZONE: CN-1-2 && CC-1-1 HEIGHT LIMIT: 30-Foot maximum height limit. LOT SIZE: 0.47 acres. FLOOR AREA RATIO: 1.0 maximum FRONT SETBACK: -- SIDE SETBACK: 10' or 0. STREETSIDE SETBACK: -- REAR SETBACK: 10' or 0. PARKING: 7 parking spaces required (9 PROVIDED)		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Neighborhood Commercial; CC-1-1	Commercial
SOUTH:	Office Commercial; CO-1-2	Medical Office
EAST:	Interstate 163	Interstate 163
WEST:	Neighborhood Commercial; CN-1-2	Commercial Strip Corner / Kearny Mesa High School
DEVIATIONS OR VARIANCES REQUESTED:	None; CUP required due to 600' proximity to Kearny Mesa High School.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On July 27, 2015, the Linda Vista Planning Group voted 10-1-1 to deny the Conditional Use Permit for alcohol sales, but approve the expansion and remodel.	

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004543

**CONDITIONAL USE PERMIT NO. 1273425
CHEVRON MESA CUP - PROJECT NO. 364095
HEARING OFFICER**

This Conditional Use Permit No. 1273425 is granted by the Hearing Officer of the City of San Diego to GTF PROPERTIES, a California Limited Partnership, Owner and KEVIN ATTIQ, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0502 and 126.0305. The 0.47-acre site is located at 7611 Linda Vista Road in the CC-1-2 and CN-1-2 zone(s) of the Linda Vista Community Plan. The project site is legally described as: Lot 2 of Artillery Square Unit No. 2, Map No. 6266;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate an alcoholic beverage outlet conditioned upon the issuance of a license from the State Department of Alcoholic Beverage Control and subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 18, 2015, on file in the Development Services Department.

The project shall include:

- a. Conditional Use Permit for the operation of an alcoholic beverage outlet, within a proposed convenience store remodel, conditioned upon the issuance of a license from the State Department of Alcoholic Beverage Control;
- b. Sales of alcoholic beverages shall be permitted between the hours of 8:00 a.m. and 12:00 midnight each day of the week;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 03, 2018.
2. This Conditional Use Permit [CUP] for the alcoholic beverage outlet shall expire on December 03, 2035.
3. The utilization of this CUP is contingent upon the approval of a license to sell alcohol at this location by the California Department of Alcoholic Beverage Control [ABC]. The issuance of this CUP does not guarantee that the ABC will grant an alcoholic beverage license for this location.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 60 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct two driveways adjacent to the site on Linda Vista Road and reconstruct one driveway adjacent to the site on Mesa College Drive with current City Standard SDG-163 commercial concrete driveways, satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on Mesa College Drive, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private storm drain connection to the Public storm drain system in the Linda Vista Road Right-of-Way.
18. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
20. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of public improvement plans, landscape construction plans consistent with this development permit shall be submitted for approval. Improvement plans shall take into account a 40 sq-ft area around each required tree which is unencumbered by utilities.

22. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees. In the event that the Landscape Plan and the Public Improvement Plan conflict, the Public Improvement Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit 'A' Landscape Development Plan.

23. Prior to building permit issuance, landscape and irrigation plans substantially conforming to Exhibit "A," (Landscape Development Plan) shall be submitted to the Development Services Department for approval.

24. Any existing landscape to remain, as indicated on the approved plans, that is damaged during construction shall be replaced in kind to the satisfaction of the Development Services Department within 30 days of damage or final inspection.

TRANSPORTATION REQUIREMENTS

25. A minimum of seven (7) automobile spaces including one (1) van accessible space (9 provided), and two (2) motorcycle spaces, are required by the Land Development Code. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

26. The Owner/Permittee shall provide 10 foot x 10 foot visibility triangle area along the property line on both sides of the driveway on Mesa College Drive. No obstruction higher than 36 inches shall be located within this area (e.g. landscape, signs, hardscape, walls, shrubs etc.).

27. The Owner/Permittee shall provide 10 foot x 10 foot visibility triangle area along the property line on both sides of the two driveways on Linda Vista Road. No obstruction higher than 36 inches shall be located within this area (e.g. landscape, signs, hardscape, walls, shrubs etc.).

28. The Owner/Permittee shall provide 25 foot x 25 foot visibility triangle area along the property line at the intersection of Mesa College Drive and Linda Vista Road. No obstruction higher than 36 inches shall be located within this area (e.g. landscape, signs, hardscape, walls, shrubs etc.).

29. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond, the reconstruction of the two existing driveways on Linda Vista Road and one existing driveway on Mesa College Drive along the project's frontage with current City Standard commercial concrete driveways, satisfactory to the City Engineer.

30. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond, the closure of the under-utilized driveway on Mesa College Drive along the project's frontage with current City Standard curb, gutter and sidewalk, satisfactory to the City Engineer.

POLICE DEPARTMENT REQUIREMENTS:

31. The sales of alcoholic beverage shall be permitted between the hours of 8:00 a.m. and 12:00 a.m. midnight each day of the week.
32. The Owner/Permittee shall post and maintain a professional quality sign facing the premises parking lot(s) that reads as the following: NO LOITERING, NO LITTERING, NO DRINKING OF ALCOHOLIC BEVERAGES. VIOLATORS SUBJECT TO ARREST. The sign shall be at least two feet square with two inch block lettering. The sign shall be in English and Spanish.
33. Any graffiti painted or marked upon the premises or any adjacent area under the control of the Owner/Permittee shall be removed or painted over within 48 hours of being applied.
34. There shall be no amusement machines or video game devices on the premises at any time.
35. No pay telephone will be maintained on the interior or exterior of the premises.
36. Proper illumination will be maintained in the parking lot.
37. Video surveillance system shall be provided that monitors, records and stores for a minimum of 15 days, the interior, exterior and parking lot area in control of the Owner/Permittee and is readily accessible to law enforcement.
38. No more than 15% of floor space shall be allocated for the display of alcohol.

POLICE DEPARTMENT RECOMMENDATIONS FOR ABC LICENSE:

- Beer, malt beverages or wine cooler products, regardless of container size, must be sold in manufacturer pre-packaged, multi-unit quantities of 3 or greater (no single items).
- Malt beverages shall not be sold in less than six-pack containers per sale.
- Wine shall not be sold in bottles or containers smaller than 750 ml and shall not have an alcoholic content greater than 15 percent by volume, except for “Dinner Wines” which have been aged two years or more.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 18, 2015 and Resolution Number HO-XXXX.

Permit Type/PTS Approval No.: CUP / 1273425
Date of Approval: November 18, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Francisco Mendoza
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

GTF PROPERTIES

Owner

By _____
Gordon T. Frost
Trustee

KEVIN ATTIQ

Permittee

By _____
Kevin Attiq

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. HO - XXXX
CONDITIONAL USE PERMIT NO. 1273425
MESA CHEVRON CUP - PROJECT NO. 364095

WHEREAS, GTF PROPERTIES, Owner/Permittee, filed an application with the City of San Diego for a permit to operate an alcoholic beverage outlet (Type 20 beer and wine) within an existing convenience store (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1273425), on portions of a 0.47-acre site; and

WHEREAS, the project site is located at 7611 Linda Vista Road in the CN-1-2 and CC-1-1 zones of the Linda Vista Community Plan; and

WHEREAS, the project site is legally described as Lot 2 of Artillery Square Unit No. 2, Map No. 6266; and

WHEREAS, on November 18, 2015, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1273425 pursuant to the Land Development Code of the City of San Diego; and

WHEREAS, on September 25, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15301 – Existing Facilities; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated November 18, 2015:

FINDINGS FOR CONDITIONAL USE PERMIT – SECTION 126.0305

1. The proposed development will not adversely affect the applicable land use plan;

The project proposes the operation of an alcoholic beverage outlet for off-site beer and wine sales (type 20 Alcohol Beverage Control (ABC) license) within a proposed remodel and addition of a 1,740-square-foot convenience store on a lot with an existing automobile service station. The existing service station is a previously conforming use established in 1969 prior to the requirement for a discretionary permit. The CN-1-1 zone does not allow service stations. The CC -1-1 zone allows service stations with a Neighborhood Use Permit. The project does not propose any additions to the service station use. The existing automobile repair component will be removed as part of the project scope. The proposed remodel will convert the existing repair shop space into a convenience store, with an addition of 80 square-feet of office space area. Surrounding developments include single-family developments and a shopping center across Linda Vista Road to the west, additional commercial and multi-family development to the north, offices across Mesa College Drive to the south, and interstate 163 abutting to the east.

The property is zoned CN-1-2 and CC-1-1, a community and neighborhood-serving commercial zone that allows for a mix of convenient retail and personal service uses to accommodate developments with an auto orientation. The site is designated as Neighborhood Commercial within the Linda Vista Community Plan. The commercial element of the Plan states that sites designated as Neighborhood Commercial should permit convenience goods and services for surrounding residential neighborhoods. The project would increase the area of the existing convenience store and provide for a broader range of retail products. Therefore, the proposed development would not adversely impact the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The San Diego Police Department (SDPD) recommended approval of the CUP and provided conditional use requirements for the proposed operation of the alcohol beverage outlet (type 20 ABC license). The proposed development will increase the number of alcohol licenses within census tract 00087.01 to two, where only one exists. The census tract allows for two licenses. There is not an over concentration of licenses within this census tract. Other factors considered by the SDPD in evaluation of this request are that the crime rate was determined to be below the threshold to be considered a high crime area. The crime rate for the census tract is 64.4 percent where section 23958.4 of the Business and Professions Code defines a high crime rate as 120 percent over the district average.

The SDPD conditions include restrictions on hours of operation, illumination to the parking lot, and limitations on the size and packaging of beer and wine. The SDPD's Vice Unit will work with the applicant and the Department of Alcoholic Beverage Control to place additional conditions on the alcohol license to minimize the law enforcement concerns, if necessary.

The project was determined to be exempt from CEQA 15301 (Existing Facilities). The project is in compliance with the applicable separately regulated use regulations of SDMC section 141.0502, including parking requirements, signage allowances, and litter and graffiti control. The permit for this project includes conditions that ensure compliance with the San Diego Municipal Code. These conditions include a time limit on the alcohol beverage outlet with an expiration date of 20 years. In addition, the retail establishment must comply with all Federal, State, and Local codes. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the land development code including any allowable deviations pursuant to the land development code; and

The proposed sale of alcohol (type 20 ABC license) limited to beer and wine for off-site consumption at this convenience store requires the approval of a Conditional Use Permit pursuant to Section 141.0502(c) of the Land Development Code. The existing service station is a previously conforming use established in 1969 prior to the requirement for a discretionary permit. The CN-1-1 zone does not allow service stations. The CC -1-1 zone allows service stations with a Neighborhood Use Permit. The project does not propose any additions to the service station use. The existing automobile repair component will be removed as part of the project scope. The proposed remodel will convert the existing repair shop space into a convenience store, with an addition of 80 square-feet of office space area. The permit for this project includes conditions that ensure compliance with the San Diego Municipal Code. These conditions include parking requirements, signage allowances, and litter and graffiti control. No deviations are requested as a part of this application. Therefore, the proposed development would comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location;

The proposed sale of alcohol (type 20 ABC license) limited to beer and wine for off-site consumption is located at 7611 Linda Vista Road within the CN-1-2 and CC-1-3 zones of the Linda Vista Community Plan. The site is designated for neighborhood commercial uses with the community plan which allow commercial developments and related uses. The commercial element of the plan states sites designated as neighborhood commercial should permit convenience goods and services for surrounding residential neighborhoods. The project increases the floor area of the existing convenience store and provides for a broader range of retail products.

The sale of alcohol limited to beer and wine for off-site consumption at this convenience store may be permitted through a Conditional Use Permit to ensure compliance with all relevant regulations of the City of San Diego effective for this site. The alcohol license will be regulated by the California Department of Alcoholic Beverage Control and enforced by the City of San Diego. With specific conditions permitting the proposed use to sell alcohol limited to beer and wine for off-site consumption within the expanded convenience store, the proposed use is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1273425 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1273425, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on: November 18, 2015

SAP No. 24004543

**SAN DIEGO POLICE DEPARTMENT
CONDITIONAL USE PERMIT RECOMMENDATION**

PREMISE ADDRESS: 7611 Linda Vista Road
TYPE OF BUSINESS: Gas Station/ Conveence Market
FEDERAL CENSUS TRACT: 87.01

NUMBER OF ALCOHOL LICENSES ALLOWED: 2

NUMBER OF ALCOHOL LICENSES EXISTING: 1

CRIME RATE IN THIS CENSUS TRACT: 64.4%
(Note: Considered High Crime If Exceeds 120% of City-wide Average)

THREE OR MORE REPORTED CRIMES AT THIS PREMISE WITHIN PAST YEAR YES NO

IS THE PREMISE WITHIN 600 FEET OF INCOMPATIBLE FACILITY YES NO

IS THE PREMISE WITHIN 100 FEET OF RESIDENTIALLY ZONED PROPERTY YES NO

ABC LICENSE REVOKED AT THIS PREMISE WITHIN PAST YEAR YES NO

HAS APPLICANT BEEN CONVICTED OF ANY FELONY YES NO

WILL THIS BUSINESS BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY,
AND WELFARE OF THE COMMUNITY AND CITY YES NO

COMMENTS/OTHER FACTORS CONSIDERED:

The applicant is applying for a Conditional Use Permit for a Convenience Store with a Type 20 Beer & Wine license at 7611 Linda Vista Road. The census tract allows for two (2) off-sale licenses and there is only one (1) existing. It appears that the proposed business will benefit the area.

SUGGESTED CONDITIONS:

The San Diego Police Department agrees to the issuance of this license requesting the following conditions are included in the Alcoholic Beverage Control License:

1. Sales of alcoholic beverages shall be permitted only between the hours of 8:00 AM and 12:00 Midnight each day of the week.
2. Beer, malt beverages or wine cooler products, regardless of container size, must be sold in manufacturerers, pre-packaged, multi-unit quantities of 3 or greater (No single items).
3. Wine shall not be sold in bottles or containers smaller than 750 ml and shall not have an alcoholic content greater than 15% by volume, except for "Dinner Wines" which have been aged two years or more.
4. The petitioner(s) shall post and maintain a professional quality sign facing the premises parking lot(s) that reads as the following: NO LOITERING, NO LITTERING, NO DRINKING OF ALCOHOLIC BEVERAGES. VIOLATORS ARE SUBJECT TO ARREST. The sign shall

be at least two feet square with two inch block lettering. The sign shall be in English and in Spanish.

5. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the licensee(s) shall be removed or painted over within 48 hours of being applied.
6. There shall be no amusement machines or video game devices on the premises at any time.
7. No pay telephone will be maintained on the interior or exterior of the premises.
8. Proper illumination will be maintained in the parking lot.
9. Video surveillance system that monitors, records and stores for a minimum of 15 days, the interior, exterior and parking lot area in control of Hazard Automart and is readily accessible to law enforcement.
10. No more than 15% of floor space shall be allocated for the display of alcohol.

SAN DIEGO POLICE DEPARTMENT RECOMMENDATION:

APPROVE

DENY

ROBERTO A. CASILLAS

Name of SDPD Vice Sergeant (Print)

619-531-2349

Telephone Number

[Signature]

Signature of SDPD Vice Sergeant

2/3/15

Date of Review

NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT NO.: 364095

PROJECT TITLE: Mesa Chevron CUP

PROJECT LOCATION-SPECIFIC The project is located at 7611 Linda Vista Road, San Diego, California.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) for a Type 20 alcohol beverage outlet to sell beer and wine and to amend C-9175 for the expansion of an existing convenience store. Modifications under the proposed CUP would include the conversion of the existing mechanic shop to the convenience store and the addition of 80 square feet of office space for a total store area of 1,740 square feet. The .47 acre project site is located at 7611 Linda Vista Road in the CN-1-2 & CC-1-1 zone. The proposed expansion and conversion complies with height and bulk regulations and is located on a previously developed project site that is currently developed with the public utilities to serve the business.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Mesa Chevron, 7611 Linda Vista Road, San Diego, California 92111. (619) 559-1656.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)).
 CATEGORICAL EXEMPTION: SECTION 15301 (Existing Facilities)
 STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the Mesa Chevron CUP project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) which allows for the permitting and expansion of existing facilities where all public services and facilities are available on a site with no sensitive resources and where the expansion would exceed 10,000 square feet. Since the project is located in an area where public services exist and is devoid of sensitive resources and would not exceed 10,000 square feet the project qualifies to be categorical exempt from CEQA and the exceptions listed in CEQA Section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

- ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM

CEQA

 SIGNATURE/TITLE

9/25/2015
 DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: MESA CHEYRON, NEW ADDITION & HOUR CHANGE Project No. For City Use Only _____

Project Address: 7611 LINDA VISTA RD. SAN DIEGO, CA. 92111 PTS 364095

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): KEVIN ATTIR
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 7611 LINDA VISTA RD
 City/State/Zip: SAN DIEGO CA 92111
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

PLEASE SEE NEXT PAGE →

Project Title: MESA CHEVRON Project No. (For City Use Only) 564095

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): GTF Properties, A CA Limited Partnership
 Owner Tenant/Lessee
 Street Address: P.O. Box 919065
 City/State/Zip: SAN DIEGO CA 92191-9065
 Phone No: 858-455-0448 Fax No: 858-455-0437
 Name of Corporate Officer/Partner (type or print): Gordon T. Frost, Jr., Trustee
 Title (type or print): General Partner
 Signature: [Signature] Date: 3/13/14

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print): _____
 Title (type or print): _____
 Signature: _____ Date: _____

Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print): _____
 Title (type or print): _____
 Signature: _____ Date: _____

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print): _____
 Title (type or print): _____
 Signature: _____ Date: _____

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print): _____
 Title (type or print): _____
 Signature: _____ Date: _____

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print): _____
 Title (type or print): _____
 Signature: _____ Date: _____

OWNERSHIP DISCLOSURE SUPPLEMENTAL INFORMATION
PROJECT NO. 214348
KEARNY MESA MARKET

OWNER: GTF Properties, a California Limited Liability Partnership.

General Partner: Gordon T. Frost, Jr.

The Limited Partners are:

Jeanne L. Frost

Alison Frost Gildred

Susan Frost Ahlering



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Mesa Chevron CUP		Project Number: 364095	Distribution Date: 08/06/2014
Project Scope/Location: LINDA VISTA Conditional Use Permit (Process 3) for a Type 20 off-sale of beer and wine and amendment to C-9175 for an expansion to an existing 532 sf convenience store by converting/adding an existing 3-bay mechanic shop (1,128 sf) into the convenience store and adding a new 632 square-foot addition for a total convenience store of 2,292 sf. The project is located at 7611 Linda Vista Road. The .47 acre lot is in the CN-1-2 & CC-1-1 zone within the Linda Vista Community Plan, CD 7 Notice Card =3			
Applicant Name: Paris Hagman		Applicant Phone Number: (619) 298-8058	
Project Manager: Will Zounes	Phone Number: (619) 687-5942	Fax Number: (619) 446-5245	E-mail Address: wzounes@sandiego.gov
Committee Recommendations (To be completed for Initial Review): <i>Approve building but not alcohol license permit.</i>			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes <i>10</i>	Members No <i>1</i>	Members Abstain <i>1 (Chair)</i>
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: <i>Tom Cleary</i>		TITLE: <i>Chair, LVPG</i>	
SIGNATURE: <i>Tom Cleary</i>		DATE: <i>7/28/15</i>	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



LINDA VISTA PLANNING GROUP

Post Office Box 710174, San Diego, CA 92171

www.LindaVista.org/lvpg



Minutes of the July 27, 2015 Meeting

Meeting opened at 5:32 pm by Tom Cleary, Chair. The Pledge of Allegiance was led by Howard Wayne.
Roll Call by Tom Cleary.

Members present: Tom Cleary, Tisha Rocha, Doug Beckham, Rick Bussell, Jo-Ann Carini, Margarita Castro, Guadalupe Flores, John Pinzini, Dotty Perez, Ralph Perez, Keith Warner, Howard Wayne, Kimberly Weber.

Members absent: L. Camarato, D. Corley, O. Marin, V. Van Dyk and 4 vacancies.

13 members present. 28 visitors present. Total in attendance: 41

Approval of Draft Agenda:

Motion by Beckham to approve the July 27, 2015 draft agenda, second by D. Perez. Agenda approved with a vote of 9-0-1.

Approval of May 2015 Meeting Minutes:

Motion by D. Beckham to approve the meeting minutes with any needed corrections, second by R. Perez. Approved by vote of 10-0-2.

Reports by Government Representatives:

- Congresswoman Davis – Armita Pedramrazi: Provided copies of the Davis Dispatch and info on two upcoming workshops on retirement and grants.
- Office of the City Attorney Jan Goldsmith- Julio DeGuzman: Reported on unintended consequences from Prop 47 and misdemeanors that can be resolved through community counts.
- Councilwoman Lorie Zapf's representative - Ernie Navarro: Spoke on the homeless living in the canyons, height issue in Bay Park is affirmed, and distributed copies of the Frequently Ask Questions.
- Councilman Scott Sherman's representative – Sheldon Zemen: Skate park design is 90% complete.
- Planning Dept. – Michael Prinz: There will be a CATS update at next LVPG meeting.

Announcements & Public Comment on Non-Agenda Items:

- William Puenta spoke on the need for city to have a better short-term (vacation) rental policy.
- Valerie Sanfilippo voice opposition to Verizon Comstock (#391457) wireless communication facility heard at LVPG at June meeting, which was approved but she can appeal to Planning Commission.
- Doug Beckham reminded people about the LV Family Reunion on Aug. 1 to benefit to Rec Center. Also, there is no town council meeting in July.

Chairman's Report: Cleary attended city council's Public Safety & Livable Neighborhoods Committee hearing on July 29th to speak in support of the city's Geographic Targeting Initiative, which would focus CDBG funding to nonprofits serving Linda Vista in order to help develop economy. Presentation will be made at Aug. LVPG meeting.

Committee Reports & Updates:

- **Community Planners Committee:** J. Pinzini reports on City Gate and the need for new fire stations in the city, including a new planned one on Genesee Ave near Osler.
- **Linda Vista Collaborative:** K. Heinle reported on lights for Kelly Park and Bayside garden produce.
- **Graffiti:** J. Pinzini – commented on the damaged block wall along Hanford Drive.

- **Transportation:** J. Pinzini – Update on bus stop benches at Ulric & Tate, LV Road & Genesee, Ulric & Comstock
- **Morena Blvd Ad Hoc Committee:** R. Bussell – attended Clairemont Town Council’s ad hoc committee meeting to observe. Ad Hoc committee members (LVPG) are not finalized yet, as are needed prepping materials and potential meeting location(s).

Information Items:

- 1.) **Update from Civic San Diego on former redevelopment agency properties:** Jeff Zinner and John Anderson share information on the management of the Skateworld parcel and associated leases, night patrols, vandalism, and utilities. Tenants have left and those interested in leasing space find the process is not easy or convenient.
- 2.) **Sewer Group 743:** Paula Roberts of Humanability Communications gave a presentation on a design-build sewer job that includes a segment in Linda Vista. Francis Marquez from City Public Works and Jason Danks from Orion Construction were also present.

Action Items:

- 1) **Mesa Chevron (#364095):** Conditional Use Permit for a Type 20 off-sale of beer and wine and amendment to C-9175 for an expansion to an existing 532 SF convenience store by converting or adding an existing 3-bay mechanic shop (1,128 SF) into the convenience store and adding a new 80 SF addition for a total convenience store of 1,740 SF. The project is located at 7611 Linda Vista Road and is zoned CN-1-2 and CC-1-1. Motion by Castro to deny the CUP for a Type 20 ABC license but approve the remodel for a convenience store, seconded by Beckham. Passed 10-1-1.
- 2) **Langmuir Street Storm Drain Replacement (#391556):** Process CIP-2 (WBS # B-12091.02.06) proposes to replace and install 326 LF of RCP storm drains at two locations: 2308 Langmuir Street: replace 83 LF and 6264 Osler Street: replace 120 LF of storm drain. Project includes construction of new clean outs, cutoff walls, energy dissipaters, rip rap pad. Motion to approve by Beckham, seconded by Castro. Passed 11-0-1.
- 3.) **Tecolote Canyon 8-inch CI Sewer Main Replacement (CIP #B-11111):** the project replaces an existing cast iron sewer line spanning Tecolote Creek, but was deemed to be in the Clairemont Planning area and was referred to that planning group for review and comment.
- 4.) **Appointment of non-board members to Ad Hoc Committee:** Motion by Bussell to appoint Rolando Ogot, Stephen or Virginia Mergener, Mark Sukinek and Eloise Battle to serve with LVPG board members Rick Bussell, Howard Wayne, Margarita Castro, Tisha Rocha, and Keith Warner. Seconded by Wayne. Passed 11-0-1.

Suggested Items for Next Month’s Agenda:

- CATS update is scheduled
- Francis Parker master plan update
- New apartment project on Friars Road
- Trolley station update

Meeting adjourned at 7:37 pm

Respectfully submitted,

Tom Cleary (on behalf of Lauree Camarato, Secretary)

MESA CHEVRON



BAY CONVERSION AND MINOR ADDITION

7611 LINDA VISTA RD.
SAN DIEGO, CA. 92111



HAGMAN & ASSOCIATES
ARCHITECTURE & PLANNING
1516 W. REDWOOD ST.
SAN DIEGO, CA. 92101
(619) 298-8958



MESA CHEVRON
BAY CONVERSION & MINOR ADDITION
7611 LINDA VISTA RD. SAN DIEGO, CA. 92111

PROJECT DIRECTORY	VICINITY MAP	PROJECT DATA	SCOPE OF WORK																				
<p>ARCHITECT: HAGMAN & ASSOCIATES 1516 W. REDWOOD ST. # 205 SAN DIEGO, CA. 92101 TEL: (619) 298-8058 CONTACT: PARIS HAGMAN, ARCHITECT</p> <p>CIVIL ENGINEER: K & S ENGINEERING 7801 MISSION CENTER CT. SUITE 100 SAN DIEGO, CA. 92108 TEL: (619) 296-5565 CONTACT: HOSSEIN ZOMORRODI</p> <p>LANDSCAPE ARCHITECT: ANGELINA SOTELO, ASLA 2643 4TH. AVE. SAN DIEGO, CA. 92103 (619) 719-6766</p> <p>PROJECT PUBLIC UTILITIES</p> <p>WATER & SEWER: CITY OF SAN DIEGO WATER DEPT. SAN DIEGO, CA. 92187 (619) 515-3500</p> <p>GAS AND ELECTRIC: SAN DIEGO GAS & ELECTRIC (800) 227-2600</p> <p>TELEPHONE: A T & T (800) 750-2355</p> <p>CABLE: COX COMMUNICATION CENTER (800)</p>	<p style="text-align: center;">north NOT TO SCALE</p>	<p>PROJECT NAME: MESA CHEVRON PROJECT ADDRESS: 7611 LINDA VISTA RD. SAN DIEGO, CA. 92111 ASSESSOR'S PARCEL NO: 427-02-04</p> <p>LEGAL DESCRIPTION: LOT 2 OF 'ARTILLERY SQUARE UNIT NO. 2' IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIF., ACCORDING TO THE MAP THEREOF NO. 6266 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.</p> <p>OWNER: GTF PROPERTIES, A CALIFORNIA LIMITED PARTNERSHIP GORDON T. FROST JR. OWNER & GENERAL PARTNER P.O. BOX 519065 SAN DIEGO, CA. 92191-9065</p> <p>ARCHITECT: HAGMAN & ASSOCIATES 1516 W. REDWOOD ST. SAN DIEGO, CA. 92101 (619) 298-8958 PARISHAG@PACBELL.NET</p> <p>ZONING: CN-1-2 & CC-1-1 COMMUNITY PLANNING GROUP: LINDA VISTA PLANNING GROUP</p> <p>GEOLOGICAL HAZARD CATEGORY: S1 F.A.R. PROPOSED: MAX. ALLOWED: 1.0 0.25 (DCL. FUEL CANOPY)</p> <p>EXISTING USE: SERVICE STATION 3-BAY MECHANIC SHOP SMALL CONVENIENT STORE</p> <p>PROPOSED USE: SERVICE STATION 7-11 FOOD MART</p> <p>HOURS OF OPERATION: 6:00 AM TO 12:00 MID-NIGHT</p> <p>OCCUPANCY CLASSIFICATION: STORE M SERVICE STATION M</p> <p>TYPE OF CONSTRUCTION: VB</p> <p>AREAS: LOT AREA 0.47 AC (20,473.2 SF) FLOOR AREAS: EXISTING BUILDING 1,600 SF PROPOSED NEW ADDITION 80 SF EXISTING AREA AFTER ADD. 1,740 SF</p> <p>OCCUPANT LOAD: 47 PARKING CALCULATION: PARKING REQ'D. FOR CN-1-2 3/1000 SF GROSS BUILDING AREA 1,740 SF REQUIRED PARKING 1,740 X 3/1000 = 5 SERVICE STATION = 2 PARKING REQUIRED 7 spaces PARKING PROVIDED (8- STANDARD + 1 H.C.) 9 spaces MOTORCYCLE PARKING PROVIDED 1 LANDSCAPING: PER LANDSCAPE DEVELOPMENT PLAN, SHEET 'L'</p>	<p>CONDITIONAL USE PERMIT FOR A PROPOSED 7-ELEVEN CONVENIENCE STORE AND 80 SF ADDITION TO EXISTING 1,146 SF AUTO REPAIR SHOP & EXISTING 514 SF EXISTING C-STORE, FOR A TOTAL STORE AREA OF 1,740 SF.</p> <p>CONDITIONAL USE PERMIT FOR TYPE 20 OFF-SITE SALE OF BEER & WINE.</p>																				
<p>FIRE HYDRANTS WITHIN 600' RADIUS</p>	<p>PARCEL MAP</p> <p>LEGAL DESCRIPTION LOT 2 OF 'ARTILLERY SQUARE UNIT NO. 2' IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIF. ACCORDING TO MAP NO. 6266 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.</p>	<p>OCCUPANCY AREA CALCULATION</p> <table border="1"> <thead> <tr> <th>USE</th> <th>AREA (SF)</th> <th>CLF</th> <th>OCCUPANT LOAD</th> </tr> </thead> <tbody> <tr> <td>SALES AREA</td> <td>907 SF</td> <td>30</td> <td>30</td> </tr> <tr> <td>CASHER</td> <td></td> <td></td> <td></td> </tr> <tr> <td>COOLERS, BACKROOM</td> <td>833 SF</td> <td>200</td> <td>4</td> </tr> <tr> <td>TOTAL OCCUPANT LOAD</td> <td></td> <td></td> <td>34</td> </tr> </tbody> </table>	USE	AREA (SF)	CLF	OCCUPANT LOAD	SALES AREA	907 SF	30	30	CASHER				COOLERS, BACKROOM	833 SF	200	4	TOTAL OCCUPANT LOAD			34	<p>SHEET INDEX</p> <ul style="list-style-type: none"> TS TITLE SHEET C1 TOPOGRAPHICAL SURVEY MAP C2 GRADING & IMPROVEMENT PLAN C3 EROSION CONTROL PLAN C4 BMP-STORM WATER MANAGEMENT PLAN A1 PROPOSED NEW SITE PLAN A2 EXISTING FLOOR PLAN/DEMOLITION PLAN A3 PROPOSED NEW FLOOR PLAN & SITE SECTIONS A4 ELEVATIONS & PERSPECTIVES A5 SECTIONS & ROOF PLAN L1.0 CONCEPTUAL LANDSCAPING <div style="border: 1px solid black; padding: 10px; text-align: center;"> <p>TITLE BLOCK</p> <p>REQUEST: CONDITIONAL USE PERMIT FOR A SERVICE STATION, C-STORE ADDITION, & TYPE 20 OFF-SALE OF BEER & WINE</p> <p>TITLE SHEET</p> <p>ORIGINAL APPLICATION DATE: _____</p> <p>REVISION DATE: _____</p> <p>REVISION DATE: _____</p> <p>REVISION DATE: _____</p> </div>
USE	AREA (SF)	CLF	OCCUPANT LOAD																				
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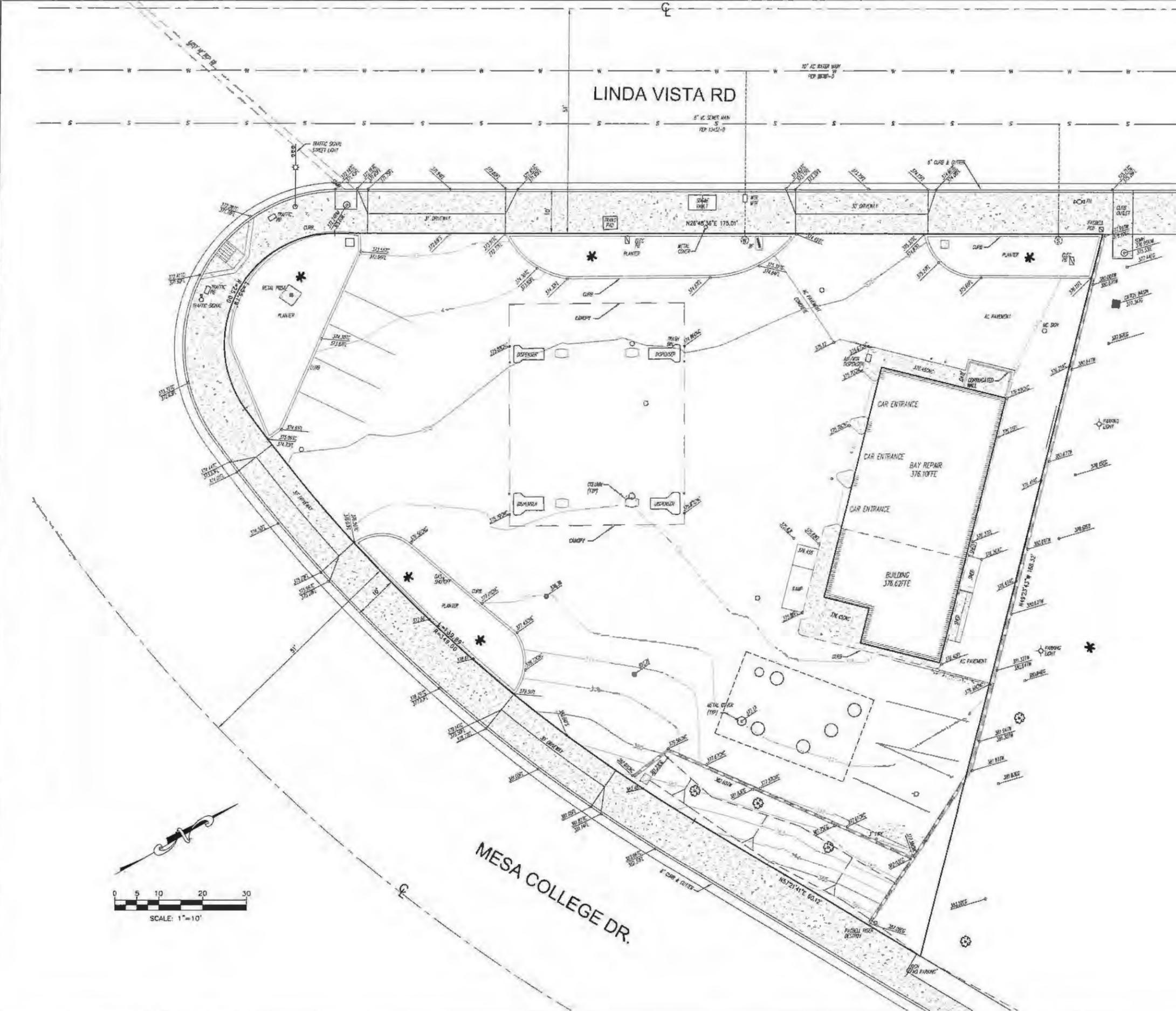
Date _____

Scale _____

Drawn _____

Job _____

TS



- LEGEND:**
- EXISTING IMPROVEMENTS
 - ITEM
 - PROJECT BOUNDARY
 - CONCRETE
 - TRAFFIC/STREET LIGHT
 - FIRE HYDRANT
 - TREE/PALM
 - CONTOUR
 - DRAINAGE FLOW
 - CURB AND GUTTER
 - DRIVEWAY
 - RETAINING WALL
 - WATER SERVICE
 - SEWER LATERAL



LEGAL DESCRIPTION
LOT 2 OF MAP 6266

ASSESSORS PARCEL NUMBER
427-082-04-00

BENCH MARK
CITY OF SAN DIEGO BENCH MARK
DESCRIPTION: BRASS PLUG
LOCATION: SOUTH WEST LINDA VISTA DRIVE AND MESA COLLEGE DRIVE
ELEVATION: 371.135
DATUM: MEAN SEA LEVEL

TOPOGRAPHY
SURVEY BY: K&S ENGINEERING, INC.
7801 MISSION CENTER COURT, STE 100
SAN DIEGO CA. 92108
TELEPHONE (619) 296-5565
SURVEY DATE: APRIL 27, 2015

SITE AREA
20,554 S.F.

DISTURBED AREA
1,840 S.F. = 9% OF TOTAL SITE

K & S ENGINEERING, INC.
Planning - Engineering - Surveying

7801 Mission Center
San Diego, CA 92108
(619) 296-5565



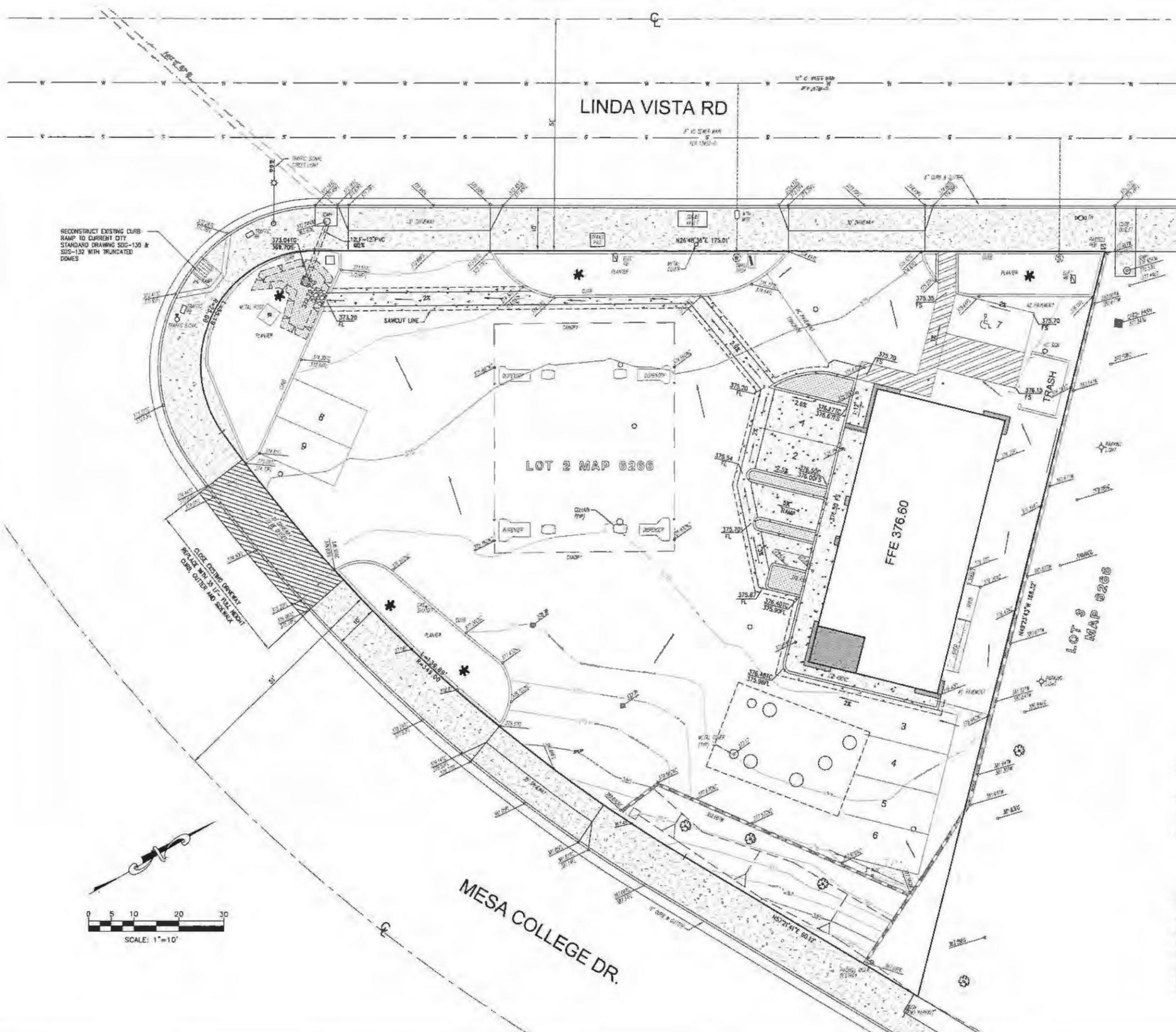
MESA CHEVRON
BAY CONVERSION & MINOR ADDITION
7611 LINDA VISTA RD, SAN DIEGO, CA. 92111

TOPOGRAPHICAL SURVEY MAP

Date: 05-11-2015
Scale: 1"=10'
Drawn: JVA
Check: JVA

C1

REV	BY



LEGEND:

EXISTING IMPROVEMENTS

ITEM **SYMBOL**

PROJECT BOUNDARY

CONCRETE

TRAFFIC/STREET LIGHT

FIRE HYDRANT

TREE/PALM

CONTOUR

DRAINAGE FLOW

CURB AND GUTTER

DRIVEWAY

RETAINING WALL

WATER SERVICE

SEWER LATERAL

PROPOSED IMPROVEMENTS

ITEM **SYMBOL**

CONCRETE

LANDSCAPE

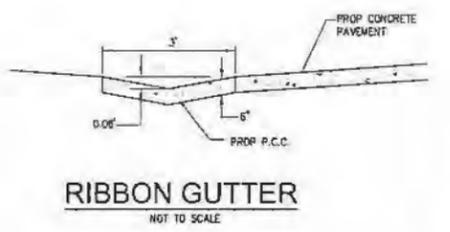
24"X24" CATCH BASIN BROOKS OR EQ

12" STORM DRAIN RCP PIPE

PCC RIBBON GUTTER 3' WIDE

RIP RAP ENERGY DISSIPATER

BIORETENTION- LID



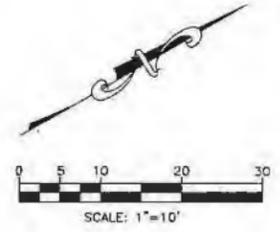
SPECIAL NOTES

- 1- EXISTING WATER AND SEWER LATERAL WILL BE USED.
- 2- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER AND SEWER FACILITIES.
- 3- EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- 4- ALL EXISTING DRIVEWAYS THAT WILL REMAIN SHALL BE RECONSTRUCTED TO BE ADA COMPLIANT AND TO CURRENT CITY STANDARDS.

GRADING QUANTITIES

GRADED AREA	1840 SF	0.042 [ACRES]	MAX. CUT DEPTH	1.0 [FT]
CUT QUANTITIES	70	XXXX [CYD]	MAX. CUT SLOPE RATIO	(2:1)MAX
FILL QUANTITIES	10	XXXX [CYD]	MAX. FILL DEPTH	0.3 [FT]
EXPORT	60	XXXX [CYD]	MAX. FILL SLOPE RATIO	(2:1)MAX

THIS PROJECT PROPOSES TO EXPORT 60 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.



GRADING & IMPROVEMENT PLAN

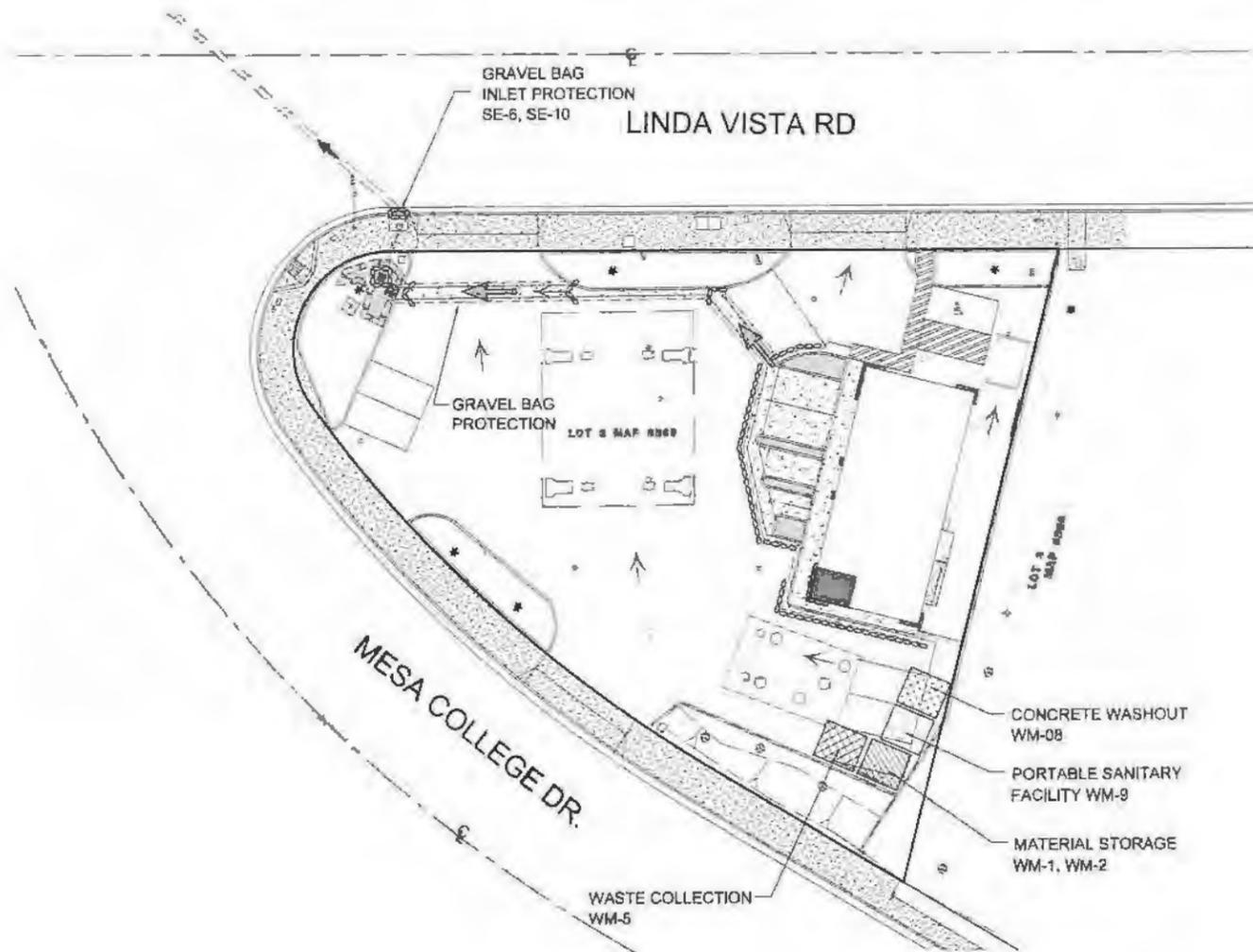
K & S ENGINEERING, INC.
 Planning Engineering Surveying
 7800 Mission Center
 San Diego, CA 92108
 (619) 296-5565



MESA CHEVRON
BAY CONVERSION & MINOR ADDITION
 7611 LINDA VISTA RD, SAN DIEGO, CA. 92111

Date: 04-11-2016
Scale: 1"=10'
Sheet: 1A
Job: 15-015

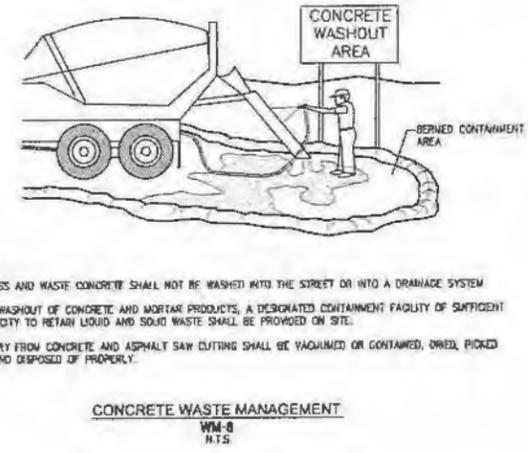
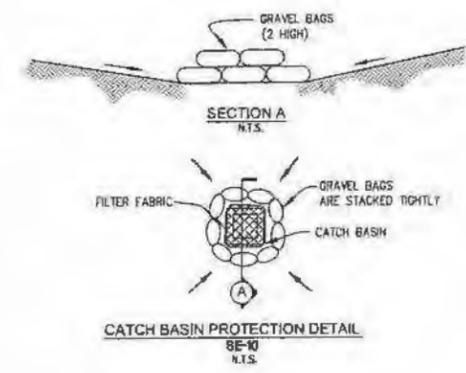
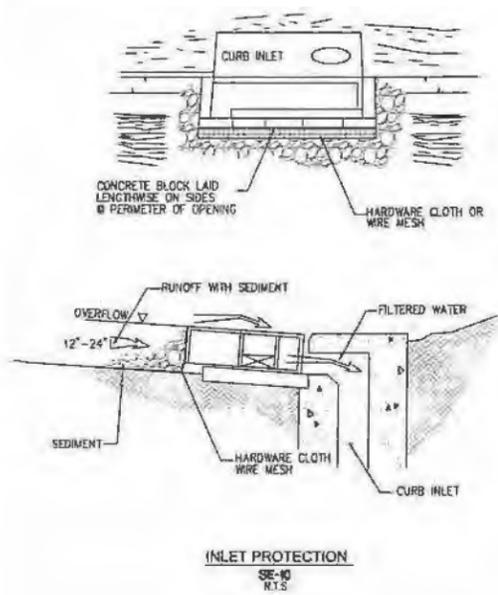
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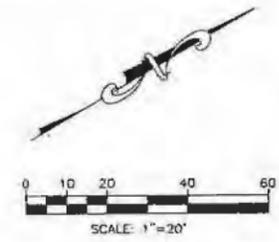
BMP LEGEND

DESCRIPTION	CODE	SYMBOL
CONSTRUCTION BMP'S		
GRAVEL BAGS	SE-6, SE-10 (CASQA)	[Symbol: Dashed line]
MATERIAL STORAGE	WM-1, WM-2 (CASQA)	[Symbol: Diagonal lines]
WASTE COLLECTION	WM-5 (CASQA)	[Symbol: Cross-hatch]
CONCRETE WASHOUT	WM-8 (CASQA)	[Symbol: Dotted]
PORTABLE SANITARY FACILITY	WM-9 (CASQA)	[Symbol: Solid rectangle]
DIRECTION OF FLOW	-	[Symbol: Arrow]
DRAINAGE STRUCTURE FLOW	-	[Symbol: Arrow]

- EROSION AND SEDIMENT CONTROL NOTES**
- TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:
- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
 - FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASH IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
 - FOR INLETS LOCATED AT SWMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SWMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
 - THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
 - THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL UNLINED AND UNLINED DITCHES AFTER EACH RAINFALL.
 - THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
 - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RAIN-OFF PRODUING RAINFALL.
 - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 - ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 - GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
 - ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
 - THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL, SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.



- NOTES:**
- EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
 - FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
 - SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.



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San Diego, CA 92108
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MESA CHEVRON
BAY CONVERSION & MINOR ADDITION
7611 LINDA VISTA RD. SAN DIEGO, CA. 92111

EROSION CONTROL PLAN

Plan: C3-F203
Scale: 1"=10'
Date: 10/15/18
BY: C3

PERVIOUS AND IMPERVIOUS AREA COMPARISON

	EXISTING CONDITION	PROPOSED CONDITION
PERVIOUS AREA (SF)	2,758	2,891
IMPERVIOUS AREA (SF)	17,796	17,663
TOTAL AREA (SF)	20,554	20,554

**IMP AREA CALCULATION
BIORETENTION FACILITY (FOR WATER QUALITY ONLY)**

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	SOIL TYPE		IMP NAME	
					"D"	BIORETENTION FACILITY	(WM ONLY) MINIMUM AREA	PROPOSED AREA
LID 1	1,840	CONCRETE/ASPHALT/ROOF	1.0	1,840	IMP SIZING FACTOR			
					0.04	73.60	81	IMP AREA

LEGEND:

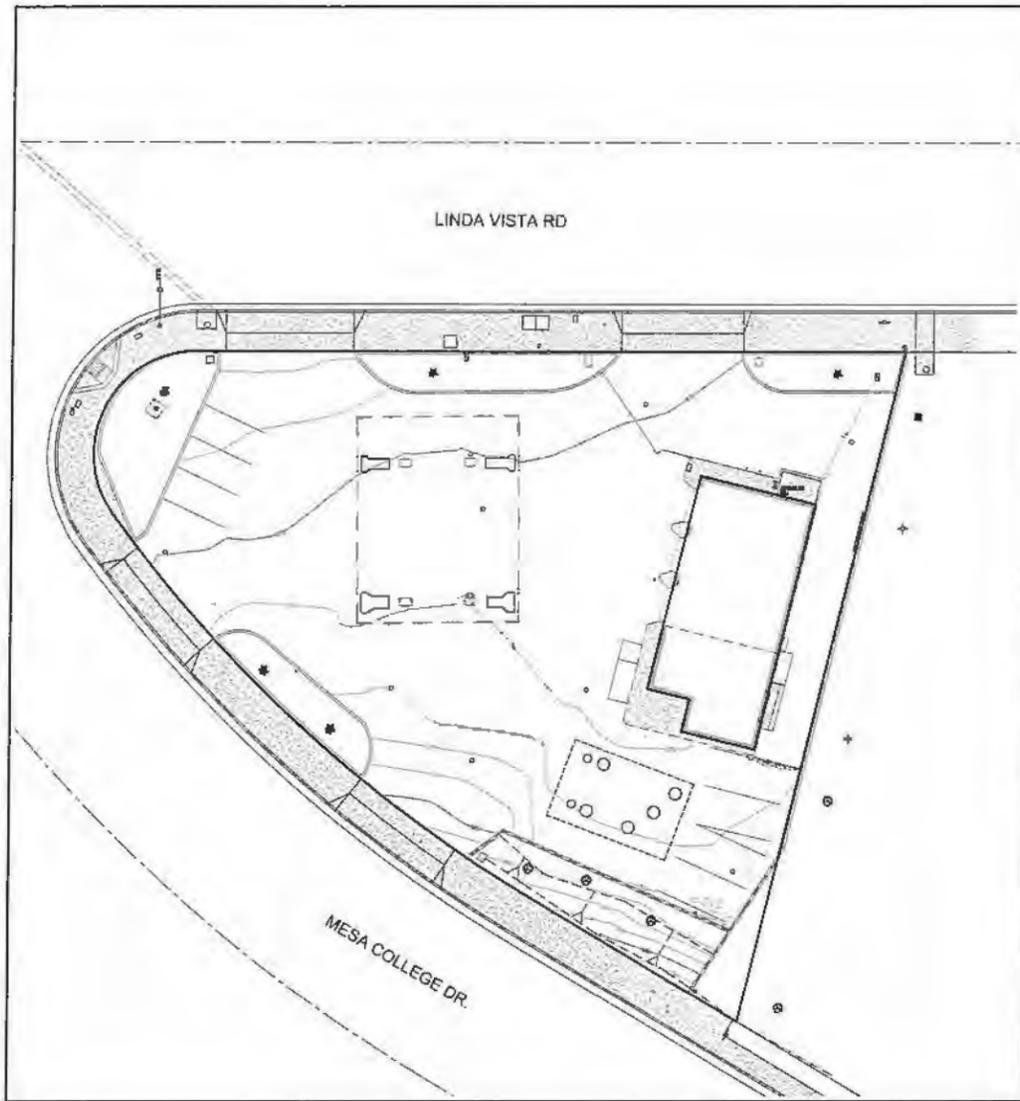
ITEM	SYMBOL
PROJECT BOUNDARY	— — — — —
DRAINAGE AREA LIMIT	— — — — —
PROPOSED BIORETENTION/LANDSCAPE	▨
PROPOSED CONCRETE	▩
DRAINAGE AREA	▫

SITE AREA

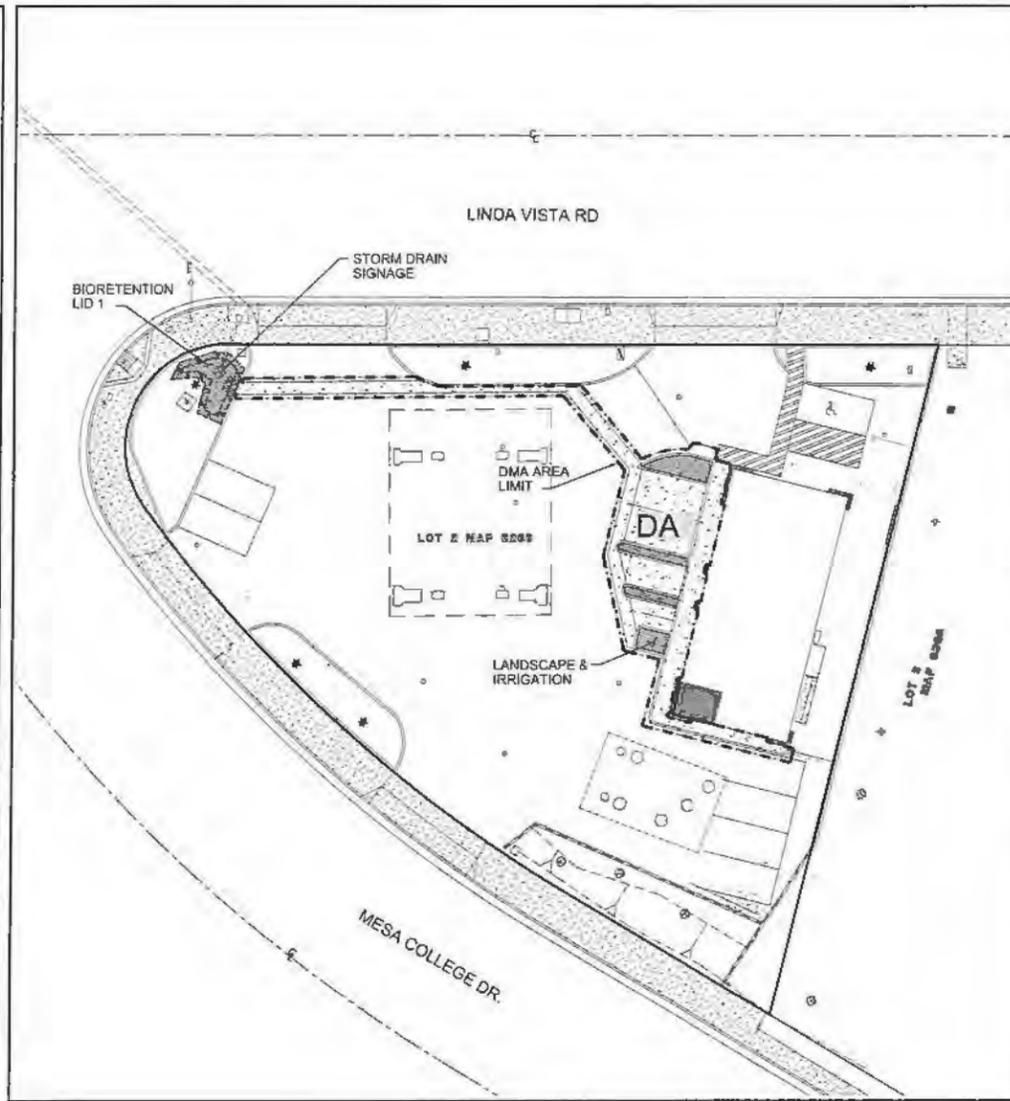
20,554 S.F.

DISTURBED AREA

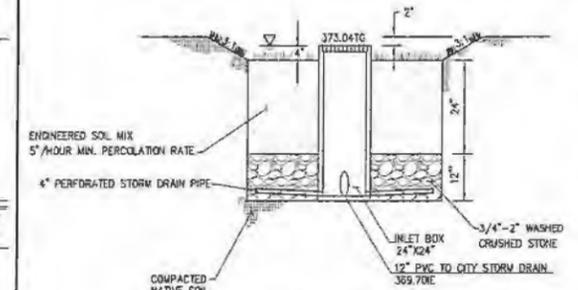
1,840 S.F. = 9 % OF TOTAL SITE



EXISTING CONDITION



PROPOSED CONDITION

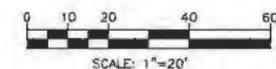


**BIORETENTION
LID-1
N.T.S.**



- NOTES:**
1. THESE ARE SAMPLE TILES AND SIGNS.
 2. CITY ENGINEER TO DESIGNATE OR APPROVE SIGNS, TILES OR STENCILS.
 3. OR PROVIDE LABELING WITH PROHIBITIVE LANGUAGE ("NO DUMPING - LINE DOWNSTREAM AND TIRE DESECHOS HABITO EN EL AGUA")

**STORM DRAIN SIGNAGE
NOT TO SCALE**



REVISIONS	BY

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 Planning · Engineering · Surveying
 7801 Mission Center Road, Suite 100, San Diego, CA 92108
 (619) 296-5665 Fax: (619) 296-5664



MESA CHEVRON
 BAY CONVERSION & MINOR ADDITION
 7611 LINDA VISTA RD., SAN DIEGO, CA. 92111

BMP-STORM WATER MANAGEMENT PLAN

Plan 08-11-2011
 Scale 1" = 20'
 Drawn: LA
 Date: 11-15-11

C4

SITE NOTES:

1. NO CURBS OR TREES MAY BE LOCATED WITHIN TEN FEET OF ANY SEWER FACILITIES, NOR SHEDS EXCEEDING THREE FEET IN HEIGHT. UTILITY MAINS MAY BE LOCATED WITHIN 10 FEET OF ANY PUBLIC SEWER MAIN.
2. THERE ARE NO BUS-SLOPS @ THE SITE FRONTAGE ON WASHINGTON ST. OR FOURTH AVE.
3. NO OBSTRUCTION INCLUDING LANDSCAPING OR WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
4. THERE ARE NO KNOWN EASEMENTS ON THIS SITE.
5. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE & LEGIBLE FROM STREET PER PHPS POLICY P-00-6

NOTE:
THE OPERATION OF THE ALCOHOLIC BEVERAGE OUTLET INSIDE THE PROPOSED 7-11 STORE SHALL COMPLY WITH THE CONDITIONAL USE PERMIT REGULATIONS SPECIFIED IN SEC. 141.0502.C. THE OPERATION SHALL ALSO COMPLY WITH THE PERMIT CONDITIONS THAT ARE REQUIRED BY THE SAN DIEGO POLICE DEPARTMENT.

SAN DIEGO POLICE DEPT. CONDITIONAL USE PERMIT RECOMMENDATIONS

THE SAN DIEGO POLICE DEPARTMENT AGREES TO THE ISSUANCE OF THIS LICENSE REQUESTING THE FOLLOWING CONDITIONS ARE INCLUDED IN THE ALCOHOLIC BEVERAGE CONTROL LICENSE:

1. SALES OF ALCOHOLIC BEVERAGES SHALL BE PERMITTED ONLY BETWEEN THE HOURS OF 8:00 AM AND 12:00 MIDNIGHT EACH DAY OF THE WEEK.
2. BEER, MALT BEVERAGES OR WINE COOLER PRODUCTS, REGARDLESS OF CONTAINER SIZE, MUST BE SOLD IN MANUFACTURERS, PRE-PACKAGED, MULTI-UNIT QUANTITIES OF 3 OR GREATER (NO SINGLE ITEMS)
3. WINE SHALL NOT BE SOLD IN BOTTLES OR CONTAINERS SMALLER THAN 750 ML AND SHALL NOT HAVE AN ALCOHOLIC CONTENT GREATER THAN 15% BY VOLUME, EXCEPT FOR "DINNER WINES" WHICH HAVE BEEN AGED TWO YEARS OR MORE.
4. THE PETITIONER(S) SHALL POST AND MAINTAIN A PROFESSIONAL QUALITY SIGN FACING THE PREMISES PARKING LOT(S) THAT READS AS THE FOLLOWING: NO LOITERING, NO LITTERING, NO DRINKING OF ALCOHOLIC BEVERAGES. VIOLATORS ARE SUBJECT TO ARREST. THE SIGN SHALL BE AT LEAST TWO FEET SQUARE WITH TWO INCH BLOCK LETTERING. THE SIGN SHALL BE IN ENGLISH AND IN SPANISH.
5. ANY GRAFFITI PAINTED OR MARKED UPON THE PREMISES OR ON ANY ADJACENT AREA UNDER THE CONTROL OF THE LICENSEE(S) SHALL BE REMOVED OR PAINTED OVER WITHIN 48 HOURS OF BEING APPLIED.
6. THERE SHALL BE NO AMUSEMENT MACHINES OR VIDEO GAME DEVICES ON THE PREMISES AT ANY TIME.
7. NO PAY TELEPHONE WILL BE MAINTAINED ON THE INTERIOR OR EXTERIOR OF THE PREMISES.
8. PROPER ILLUMINATION WILL BE MAINTAINED IN THE PARKING LOT.
9. VIDEO SURVEILLANCE SYSTEM THAT MONITORS, RECORDS AND STORES FOR A MINIMUM OF 15 DAYS, THE INTERIOR, EXTERIOR AND PARKING LOT AREA IN CONTROL OF HAZARD AUTOMART AND IS READILY ACCESSIBLE TO LAW ENFORCEMENT.
10. NO MORE THAN 15% OF FLOOR SPACE SHALL BE ALLOCATED FOR THE DISPLAY OF ALCOHOL.

TITLE BLOCK

REQUEST:
CONDITIONAL USE PERMIT FOR A SERVICE STATION, C-STORE ADDITION, & TYPE 20 OFF-SALE OF BEER & WINE

SITE PLAN

ORIGINAL APPLICATION DATE: _____
REVISION DATE: _____
REVISION DATE: _____
REVISION DATE: _____

REVISIONS	BY

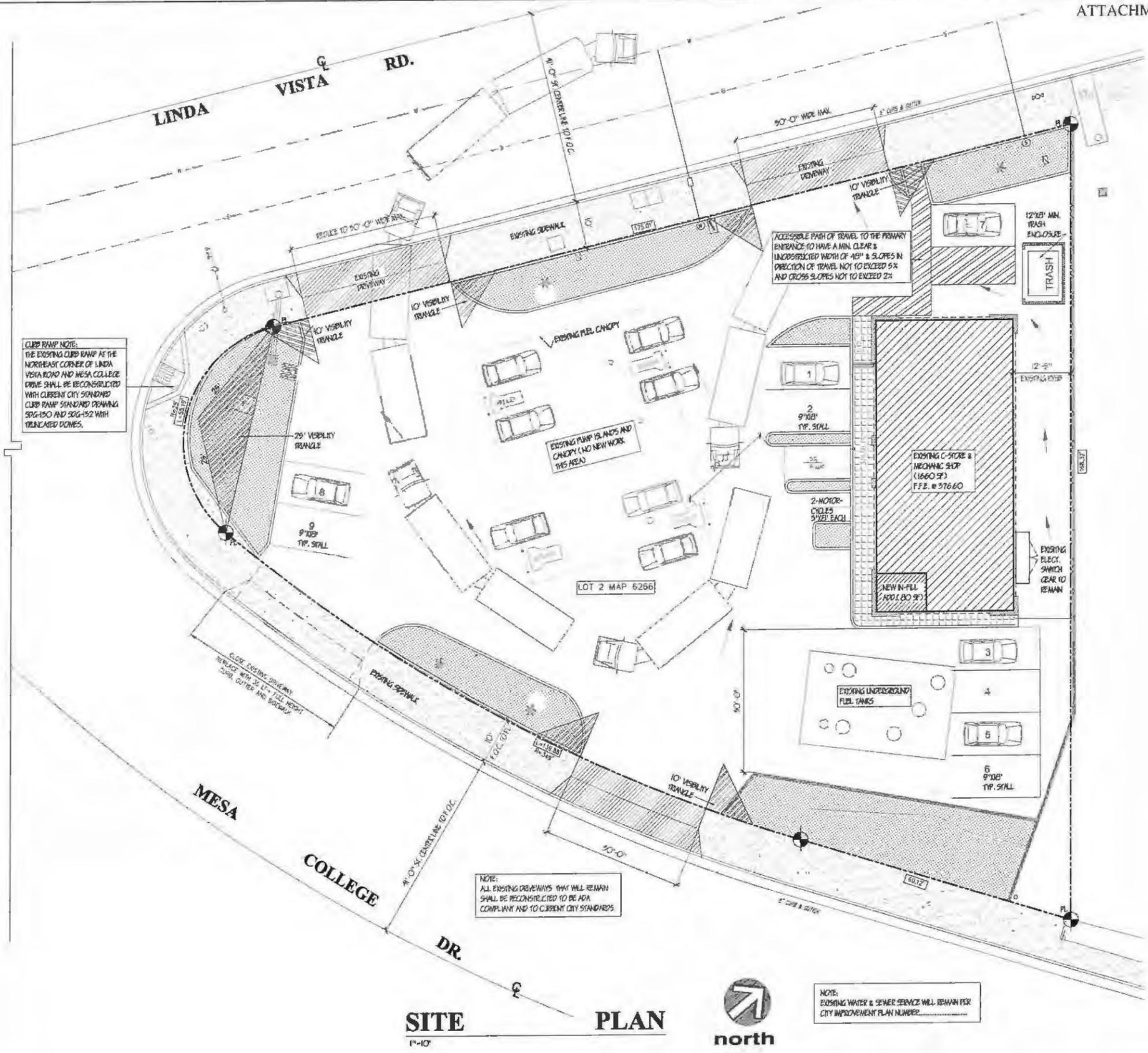
HAGMAN & ASSOCIATES
ARCHITECTURE & PLANNING
1100 N. KENNEDY ST., SUITE 100, SAN DIEGO, CA 92111
(619) 295-0000



MESA CHEVRON
BAY CONVERSION & MINOR ADDITION
7611 LINDA VISTA RD., SAN DIEGO, CA, 92111

Date: _____
Scale: _____
Drawn: _____
By: _____

A1



CURB RAMP NOTE:
THE EXISTING CURB RAMP AT THE NORTHEAST CORNER OF LINDA VISTA ROAD AND MESA COLLEGE DRIVE SHALL BE RECONSTRUCTED WITH CURRENT CITY STANDARD CURB RAMP STANDARD DRAWING SDG-150 AND SDG-152 WITH TRUNCATED DOMES.

ACCESSIBLE PATH OF TRAVEL TO THE PRIMARY ENTRANCE TO HAVE A MIN. CLEAR & UNOBSTRUCTED WIDTH OF 48" & SLOPES IN DIRECTION OF TRAVEL NOT TO EXCEED 5% AND CROSS SLOPES NOT TO EXCEED 2%

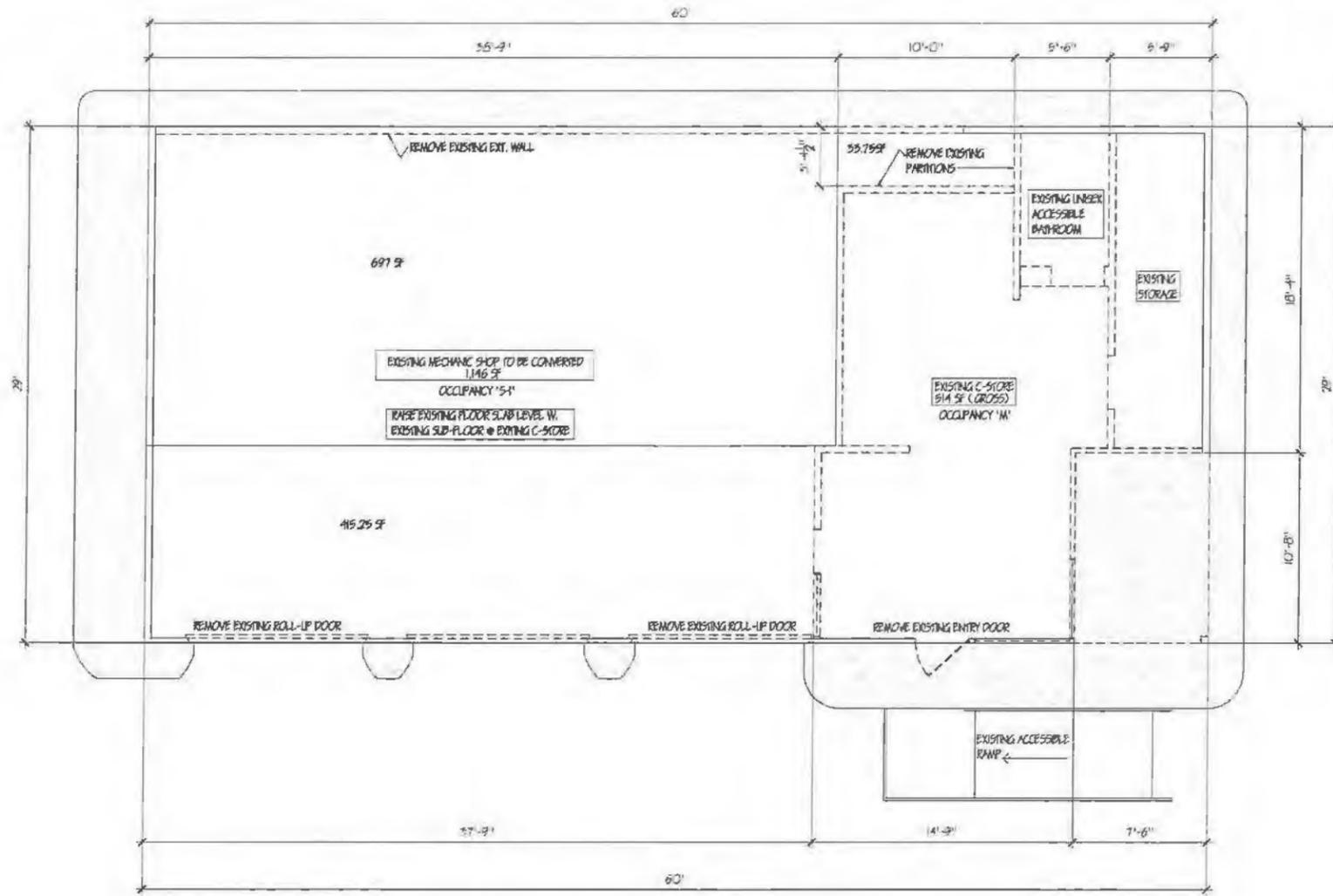
NOTE:
ALL EXISTING DRIVEWAYS THAT WILL REMAIN SHALL BE RECONSTRUCTED TO BE ADA COMPLIANT AND TO CURRENT CITY STANDARDS

NOTE:
EXISTING WATER & SEWER SERVICE WILL REMAIN PER CITY IMPROVEMENT PLAN NUMBER _____

SITE PLAN



1"=10'



EXISTING FLOOR PLAN/ DEMOLITION PLAN

1/4"=1'-0"



north

WALL LEGEND:	
	EXISTING STL. STUD WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

TITLE BLOCK
REQUEST:
 CONDITIONAL USE PERMIT FOR A
 SERVICE STATION, C-STOR ADDITION,
 & TYPE 20 OFF-SALE OF BEER & WINE

**DEMOLITION PLAN/
 EXISTING FLOOR PLAN**

ORIGINAL APPLICATION DATE: _____

REVISION DATE: _____
 REVISION DATE: _____
 REVISION DATE: _____

REVISIONS	BY

HAGMAN & ASSOCIATES
 ARCHITECTURE & PLANNING
 1916 W. BROADWAY, SAN PABLO, CA. 94201
 (415) 299-8018



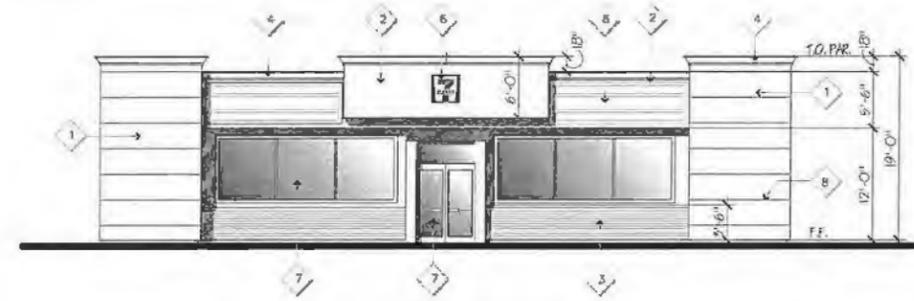
MESA CHEVRON
 BAY CONVERSION & MINOR ADDITION
 7611 LINDA VISTA RD., SAN DIEGO, CA. 92111

Date	
Scale	
Drawn	
Check	

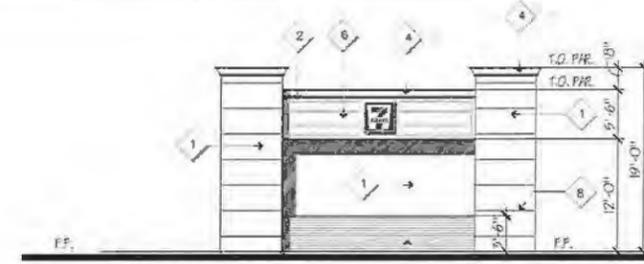
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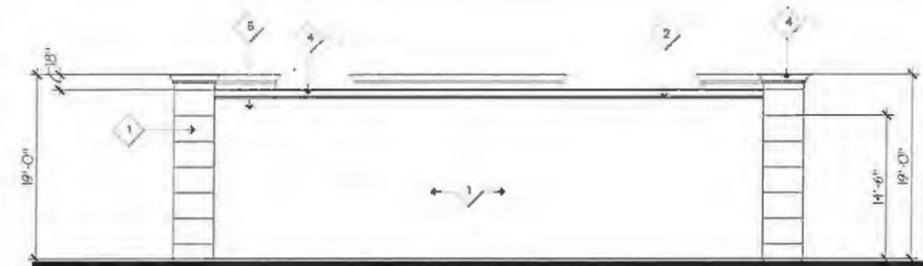
VIEW FROM SOUTH-EAST



SOUTH ELEVATION
1/8"=1'-0"



WEST ELEVATION
1/8"=1'-0"

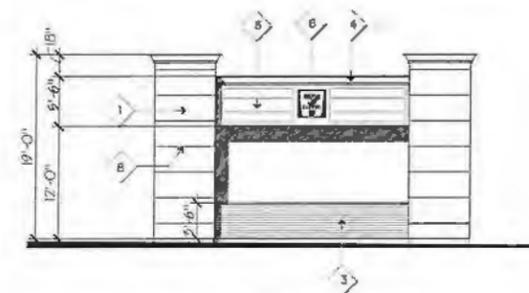


NORTH ELEVATION
1/8"=1'-0"

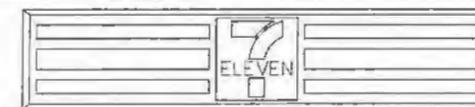
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VIEW FROM NORTH-WEST

ELEVATION KEY NOTES	
1	INTEGRAL COLORED STUCCO-EXPO STUCCO PRODUCTS -51 PANAMA IVORY
2	INTEGRAL COLORED STUCCO-EXPO STUCCO PRODUCTS -338 MOCHA
3	'EL DORADO' STONE VENEER PER ICC# ESR-1215
4	FOAM CORNICE, PLASTER, PAINT TO MATCH COLOR OF WALL 2
5	EXISTING CANOPY (NEW NEW WORK) SIGNAGE (BY OTHERS)
6	7-ELEVEN STOREFRONT FASCIA, FACTORY FIN. PER MANUFACTURER SPECS.
7	KAWNEER STOREFRONT POWDER FIN. CUSTOM COLOR TO MATCH 'FRAZEE'. COLOR #7721W LIGHT HONEY.
8	REVEAL PAINT/MATCH STUCCO MATCH COLOR OF INDIVIDUAL WALL
9	CONC. MASONRY UNIT, UNFINISHED



EAST ELEVATION
1/8"=1'-0"



7-11 SIGNAGE UNDER SEPARATE PERMIT

TITLE BLOCK
REQUEST:
 CONDITIONAL USE PERMIT FOR A
 SERVICE STATION, FOOD MART, & CAR WASH.
ELEVATIONS & PERSPECTIVES

ORIGINAL APPLICATION DATE: _____
 REVISION DATE: _____
 REVISION DATE: _____
 REVISION DATE: _____

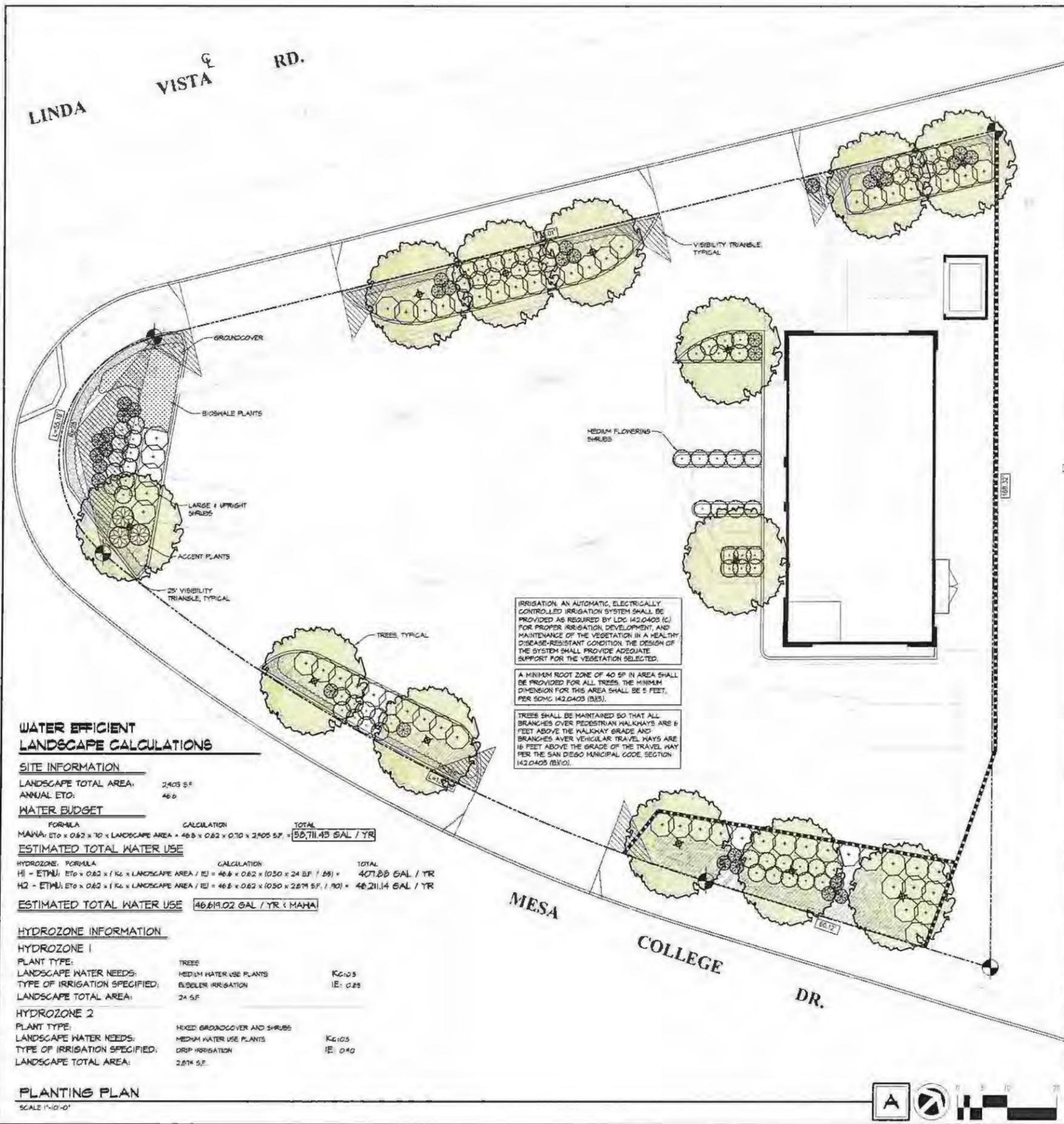
HAGMAN & ASSOCIATES
 ARCHITECTURE & PLANNING
 1916 W. KENNEDY ST., SAN DIEGO, CA. 92101
 (619) 294-0048



MESA CHEVRON
 BAY CONVERSION & MINOR ADDITION
 7611 LINDA VISTA RD., SAN DIEGO, CA. 92111

Date: _____
 Scale: _____
 Drawn: _____
 Lt: _____

A4



WATER EFFICIENT LANDSCAPE CALCULATIONS

SITE INFORMATION

LANDSCAPE TOTAL AREA: 2,403 SF
 ANNUAL ETO: 46.0

WATER BUDGET

FORMULA: $ET_0 \times 0.62 \times 12 \times \text{LANDSCAPE AREA} = 46.0 \times 0.62 \times 0.10 \times 2,403 \text{ SF} = 55,711.43 \text{ GAL / YR}$

ESTIMATED TOTAL WATER USE

HYDROZONE FORMULA: $H1 - ET_{M1} \times ET_0 \times 0.62 \times 12 \times \text{LANDSCAPE AREA} / 12 = 46.0 \times 0.62 \times (0.50 \times 2,403 \text{ SF} / 12) = 407.88 \text{ GAL / YR}$
 $H2 - ET_{M2} \times ET_0 \times 0.62 \times 12 \times \text{LANDSCAPE AREA} / 12 = 46.0 \times 0.62 \times (0.50 \times 2,403 \text{ SF} / 12) = 46,211.4 \text{ GAL / YR}$

ESTIMATED TOTAL WATER USE: 46,619.02 GAL / YR (MAHA)

HYDROZONE INFORMATION

HYDROZONE	PLANT TYPE	TREES	MEDIUM WATER USE PLANTS	KG:0.5
HYDROZONE 1	LANDSCAPE WATER NEEDS:			
	TYPE OF IRRIGATION SPECIFIED:			IE: 0.25
	LANDSCAPE TOTAL AREA:	24 SF		
HYDROZONE 2	LANDSCAPE WATER NEEDS:	MIXED GROUND COVER AND SHRUBS		
	TYPE OF IRRIGATION SPECIFIED:	MEDIUM WATER USE PLANTS		KG:0.5
	LANDSCAPE TOTAL AREA:	DRIP IRRIGATION		IE: 0.40

PLANTING PLAN
 SCALE 1"=10'-0"

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403 (C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMG 142.0403 (B)(3).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE SECTION 142.0403 (B)(10).

LANDSCAPE DESIGN STATEMENT

TREES AND SHRUBS SOFTEN THE HARD SURFACES AND ANGULAR FORMS IN AN URBAN SETTING. THEY PROVIDE SHADE, COLOR, FRAGRANCE AND HELP CLEAN THE AIR. TYPE OF PLANTING, ITS LOCATION, AND THE AMOUNT SHOULD BE DISCUSSED AS AN INTEGRAL PART OF ANY DEVELOPMENT. LANDSCAPING SHOULD ALSO COMPLEMENT STREETSCAPE IMPROVEMENTS IN THE ADJACENT PUBLIC RIGHT-OF-WAY. EXTERIOR ROOMS, WITH LANDSCAPING ACCENT SHOULD BE INTEGRATED INTO PROJECTS WHERE FEASIBLE. PROJECT LANDSCAPING SHOULD BE COMPLEMENTARY TO EXISTING AND PLANNED STREETSCAPE IMPROVEMENTS. THOSE IMPROVEMENTS SHOULD CONTINUE THE APPROPRIATE THEME. ALL STREETSCAPE AREAS SHOULD BE PEDESTRIAN FRIENDLY, AND SHOULD ALSO MAKE ACCOMMODATIONS FOR BICYCLE AND PUBLIC TRANSIT.

NOTES

- ALL LANDSCAPE AND IRRIGATION AREAS SHALL CONFORM WITH THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND THE LAND DEVELOPMENT LANDSCAPE STANDARD, THE SAN DIEGO PLANNED DISTRICT, AND ALL OTHER CITY AND REGIONAL STANDARDS.
- MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO MIN. DEPTH OF 2". EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCH TO THIS MIN. DEPTH.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE PERMITTEE OR SUBSEQUENT OWNER IS RESPONSIBLE TO REPAIR AND / OR REPLACE ANY LANDSCAPE IN A KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR PRIOR TO A CERTIFICATE OF OCCUPANCY.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT HURDLE AROUND THE ROOT BALL.
- THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE RESPONSIBILITY OF LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. IN THIS CASE, A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE SUBMITTED FOR REVIEW BY A LANDSCAPE PLANNER.

PLANT PALETTE

TREES	COMMON NAME	SIZE
SUCH AS:		
ULMUS PARVIFOLIA	CHINESE EVERGREEN ELM	100% - 24" BOX
JACARANDA ACUTIFOLIA	JACARANDA	DEC. 100% - 24" BOX
TRISTANIA CONFERTA	BRISBANE BOX	EVER. 100% - 24" BOX
GELERA PARVIFLORA	AUSTRALIAN HELLBONE	EVER. 100% - 24" BOX
PYRUS CALLERYANA	BRADFORD PEAR	SEMIDEC. 100% - 24" BOX
FRAXINUS KRAUTER VESUVIUS	PURPLE LEAF PLUM	DEC. 100% - 24" BOX
ACCENT PLANTS	COMMON NAME	SIZE
SUCH AS:		
PHOENIX ROBELENTI	PHOENIX DATE PALM	100% - 15 GAL
PHOENIX TEXAS	NEW ZEALAND PALM	100% - 55 GAL
AGAVE AMERICANA	CENTURY PLANT	100% - 35 GAL
AGAVE ATTENUATA	FOX TAIL AGAVE	100% - 35 GAL
AGAVE DESMETIANA	SMOOTH AGAVE	100% - 35 GAL
MEDIUM FLOWERING SHRUBS	COMMON NAME	SIZE
SUCH AS:		
ESCALLONIA SP.	ESCALLONIA	100% - 15 GAL
GREVILLEA SP.	GREVILLEA	100% - 15 GAL
RAPHANOLEPIS SPECIES	INDIA HAWTHORN	100% - 15 GAL
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	100% - 15 GAL
DIETES VESUSTA	FORTNIGHT LILY	100% - 15 GAL
PHYTOSPERM SPECIES	HOCK ORANGE	100% - 15 GAL
MYRTUS COMPACTA COMPACTA	COMPACT MYRTLE	100% - 5 GAL
LARGE UPRIGHT SHRUBS	COMMON NAME	SIZE
SUCH AS:		
LEUCOSTRUM TERNANUM	MAX-LEAF PRIVET	100% - 55 GAL
PHOTINIA FRAZERI	RED-LEAF PHOTINIA	100% - 15 GAL
RAPHANOLEPIS SPECIES	INDIA HAWTHORN	100% - 15 GAL
GROUND COVER	COMMON NAME	SIZE
SUCH AS:		
ASIPAPTALIS AFRICANUS	LELY-OF-THE-WILE	100% FROM FLATS
RELAXINUM BALSALON	BALCON VY GERANIUM	100% FROM FLATS
HEMEROCALLIS HYBRID	DAYLILY	100% FROM FLATS
GAZANIA SPECIES	GAZANIA	100% FROM FLATS
HYPOPHORUM PARVIFOLIUM	TRAILING HYPOPHORUM	100% FROM FLATS
DIANELLA CASSIA BLUE	CASSIA BLUE FLAX LILY	100% FROM FLATS
LANTANA NEW GOLD	NEW GOLD LANTANA	100% FROM FLATS
BIOSHALE PLANTS	COMMON NAME	SIZE
SUCH AS:		
CAREX PANSA	CALIFORNIA MEADOW SAGE	100% FROM FLATS
CHONOROPETALUM TESTICULUM	SMALL CAPE RUSH	100% - 15 GAL

SITE NOTES:

- NO CURBS OR TREES MAY BE LOCATED WITHIN TEN FEET OF ANY SEWER FACILITIES. NOR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY MAY BE LOCATED WITHIN 10 FEET OF ANY PUBLIC SEWER MAIN.
- THERE ARE NO BUS-STOPS @ THE SITE FRONTAGE ON WASHINGTON ST. OR FOURTH AVE.
- NO FENCES, SHRUBS, OR OTHER OBJECTS HIGHER THAN 36" ARE PERMITTED IN THE VISIBILITY TRIANGLE AREAS.
- THERE ARE NO KNOWN EASEMENTS ON THIS SITE.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE & LEGIBLE FROM STREET PER FHPS POLICY P-00-6

TITLE BLOCK

REQUEST:
 SITE DEVELOPMENT PERMIT & CONDITIONAL USE PERMIT TO AMEND CUP # _____ FOR A SERVICE STATION, C-STOR ADDITION, & TYPE 20 OFF-SALE OF BEER & WINE

CONCEPTUAL LANDSCAPING PLAN

ORIGINAL APPLICATION DATE: _____
 REVISION DATE: _____
 REVISION DATE: _____
 REVISION DATE: _____



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 www.sotelo-la.com



MESA CHEVRON
 7611 LINDA VISTA RD.
 SAN DIEGO, CA 92111

SUBMIT TO CLIENT	03.20.20XX

PLANTING PLAN

SHEET
L1.0