



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: November 18, 2015                      REPORT NO. HO 15-128

ATTENTION:                      Hearing Officer

SUBJECT:                      CITY LIGHTS TOWNHOMES  
PROJECT NUMBER: 369887

LOCATION:                      806 27<sup>th</sup> Street

APPLICANT:                      Jason Maune

### SUMMARY

Issue(s): Should the Hearing Officer approve Site Development Permit No. 1577343 to allow the construction of an 8 unit residential complex within the Greater Golden Hill Community Plan area on a 0.29-acre site located at 806 27<sup>th</sup> Street?

Staff Recommendation - Approve Site Development Permit No. 1577343.

Community Planning Group Recommendation – On October 28, 2015 the Greater Golden Hill Community Planning Committee voted 7-0-0 to approve the project with no conditions (Attachment 8).

Environmental Review - The property is subject to Mitigated Negative Declaration (MND) No. 132506, previously certified by the Hearing Officer on August 8, 2008. This MND describes the activity for the purposes of the California Environmental Quality Act. The project is subject to a Mitigation, Monitoring and Reporting Program and shall conform to the mitigation conditions as contained in MND No. 132506 (See discussion below).

### BACKGROUND

The 12,514 square-foot project site is located at 806 27<sup>th</sup> Street within the GH-1500 Zone of the Golden Hill Planned District, Airport Influence Overlay Zone, Residential Tandem Parking Overlay Zone and Transit Area Overlay Zone, and within the Greater Golden Hill Community Plan area (Attachments 1-3). The project site is currently vacant and slopes down from 27<sup>th</sup> Street to an alley to the west with existing site elevations ranging from approximately 176-142 feet above mean sea level. The Martin Luther King Jr. Freeway (Route 94) runs immediately south of the project at a significantly lower topographical elevation. Surrounding development includes a mixture of single and multi-family residential properties of various architectural styles.

On August 20, 2008 the Hearing Officer approved Site Development Permit No. 458337 (Attachment 9) and certified Mitigated Negative Declaration No. 132506 for the construction of eight for rent residential units for the project site. Site Development Permit No. 458337 was never utilized within the allotted three year utilization period and therefore expired on September 3, 2011. Subsequent to the expiration of the Site Development Permit No. 458337, the subject project, Site Development Permit No. 1577343, was submitted and deemed complete on July 14, 2014.

A Golden Hill Development Permit (processed as a Site Development Permit/ Process Three) is required for the proposed development as it is located within the Golden Hill Planned District and is proposing more than three dwelling units. The Site Development Permit can be granted by the Hearing Officer when appropriate findings are made to support the project (Attachment 6).

## DISCUSSION

### Project Description:

The proposed project includes construction of an eight (8) unit, for rent, 2 and 3 story, townhome style housing development totaling 10,260-square-feet. The 8 units would be constructed as three duplexes and two single units in a stacked design built into the hillside, with ground level parking. Buildings "A" and "C" would include a two-car garage on the first floor, living room, dining room and kitchen on the second floor, and two bedrooms with bathrooms on the third floor. Building "B" includes two bedrooms on the first floor, two-car garage on the second floor, and the kitchen, dining room and living room on the third floor. As a component of the proposed project, the buildings will utilize renewable energy technology, self-generating at least 50% of the projected total energy consumption on site through photovoltaic technology (solar panels), thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Building Policy. The photovoltaic system will be located on the roof of each unit. Enclosed garages will provide parking for two cars for each unit, for a total of sixteen (16) off-street vehicle parking spaces. Access to the site will be through a new driveway off of 27<sup>th</sup> Street via unimproved F Street and from an alley on the west side of the site accessed from E Street. The project will include an 80-foot by 20-foot hammer head at the end of the alley adjacent to the site allowing vehicles the ability to turn around and return to E Street. Other public improvements included for the project include the paving of the unimproved portion of the alley adjacent to the site; partial paving of unimproved F Street (paper street) at 27<sup>th</sup> Street allowing paved access to the site; city standard, curb, gutter, sidewalks; and an 18-inch storm drain system.

The site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA), and does not contain any other type of Environmentally Sensitive Lands (ESL) as defined in the San Diego Municipal Code (SDMC) section 113.0103. The project proposes a maximum building height of 29 feet 6 inches making the project within the 30' maximum height limit allowed under the Golden Hill Planned District Ordinance (PDO). The project is not requesting nor does it require any deviations or variances from the applicable regulations, and the project is consistent with the recommended land use designation policy document, design guidelines, and development standards in effect for the site. Because the project utilizes renewable technologies and qualifies as a sustainable building, the

land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Community Plan Analysis:

The site is designated for Medium Density Residential (15-29 du/ac) land use within the Greater Golden Hill Community Plan, and based on the size of the site and the allowable density range, the proposed eight dwelling unit project is within the allowable range of the land use designation. The Urban Design Element of the Greater Golden Hill Community Plan (Plan) has specific recommendations for the design and placement of new development within the community. The project would implement the goals and objectives of the Plan by promoting the development of eight new for rent units in an area of the community that contains a large volume of rental property. The project incorporates the Plan recommendation that multi-family development incorporate offsetting plans, façade articulation, and texture to reduce its apparent size and scale, and reflect the pattern of the surrounding residential developments.

Environmental Review:

Mitigated Negative Declaration (MND) No. 132506 was prepared for the original City Lights Townhomes project that was before the Hearing Officer, which certified and adopted the MMRP, and approved the project on August 20, 2008, by Resolution No. HO-6050. The current project was reviewed by the Environmental Analysis Section and it was determined that in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15162(a):

- (1) No substantial changes are proposed in the project that would require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
- (2) No substantial changes have occurred with respect to the circumstances under which the project will be undertaken that would have required major revisions to the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and
- (3) There is no new information of substantial importance that was not known and could not have been known at the time the previous MND was certified that shows any of the circumstances described in CEQA Guidelines 15162(3)(A) – (D).

Therefore, no subsequent environmental document is required, in that no new additional impacts and/or mitigation measures are required beyond those that were analyzed in the original environmental document. All of the impacts were adequately addressed and disclosed in previously certified MND No. 132506. Additionally, the current project would be required to comply and/or implement all mitigation measures (Paleontological Resources and Historical Resources (Archaeology)) outlined within the previously certified MND. Mitigation is required for the project to ensure that any impacts will be mitigated to below a level of significance.

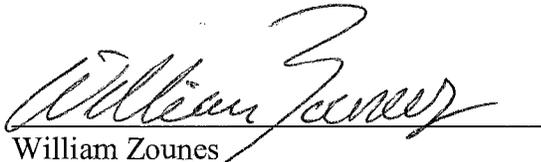
## CONCLUSION

The proposed project complies with the applicable regulations of the Land Development Code, is in conformity with the Greater Golden Hill Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council. Therefore, staff recommends approval of the project.

## ALTERNATIVES

1. Approve Site Development Permit No. 1577343, with modifications.
2. Deny Site Development Permit No. 1577343, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



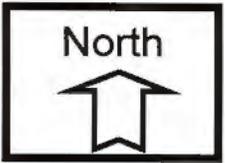
William Zounes  
Development Project Manager

### Attachments:

1. Aerial Photo
2. Project Location Map
3. Community Plan Land Use Map
4. Project Data Sheet
5. Draft Permit
6. Draft Resolution with Findings
7. Ownership Disclosure Statement
8. Community Planning Group Recommendation
9. Site Development Permit No. 458337
10. Project Plans



**Attachment 1**  
**Aerial Photograph of Site**

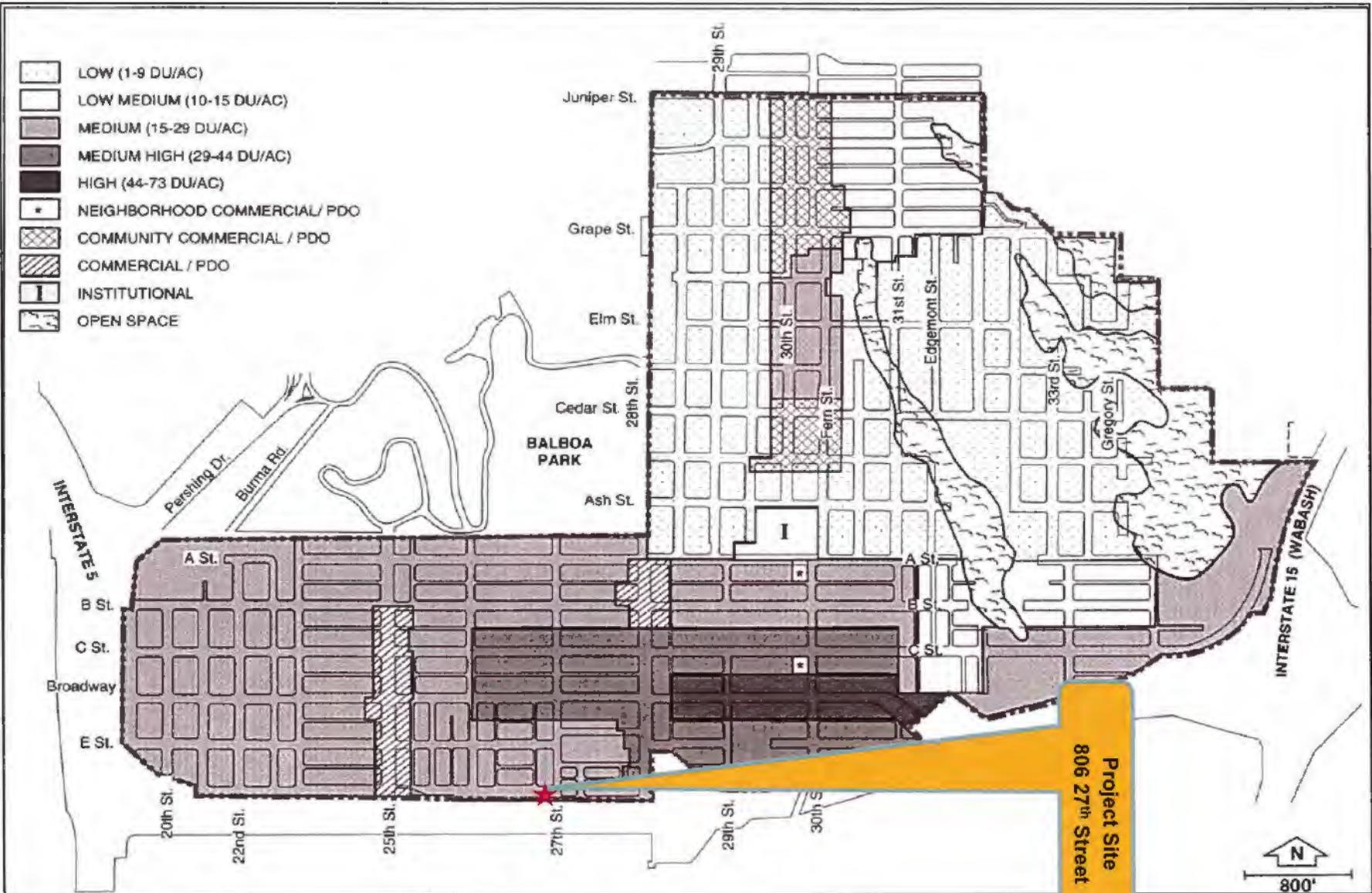


# **Aerial Photograph (Birds Eye)**

**City Lights Townhomes Project No. 369887**

**806 27<sup>th</sup> Street**

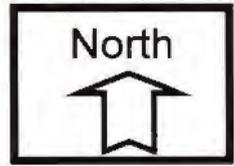


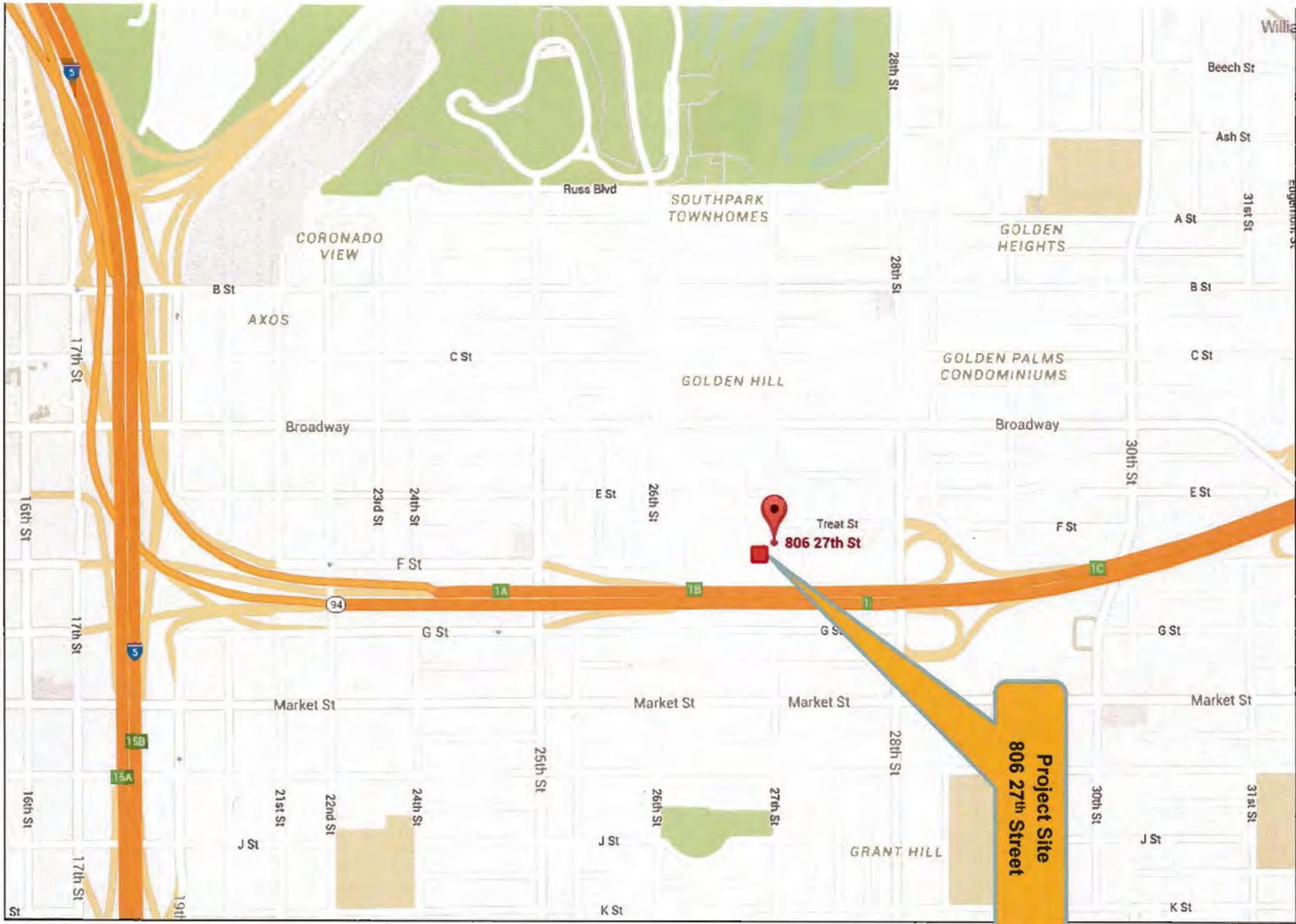


**Attachment 2**  
**Community Plan Land Use Map**



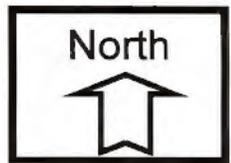
**Land Use Plan**  
 City Lights Townhomes Project No. 369887  
 806 27<sup>th</sup> Street





**Attachment 3**  
**Project Location Map**

**Project Location Map**  
**City Lights Townhomes Project No. 369887**  
**806 27<sup>th</sup> Street**



## PROJECT DATA SHEET

|   |   |                                       |
|---|---|---------------------------------------|
| <b>PROJECT NAME:</b>  | City Lights Townhomes   |                                       |
| <b>PROJECT DESCRIPTION:</b>                                       | The project proposes a Site Development Permit to allow the construction of an 8 unit residential complex within the Greater Golden Community Plan. |                                       |
| <b>COMMUNITY PLAN AREA:</b>                                       | Greater Golden Hill   |                                       |
| <b>DISCRETIONARY ACTIONS:</b>                                     | Site Development Permit   |                                       |
| <b>COMMUNITY PLAN LAND USE DESIGNATION:</b>                       | Residential   |                                       |
| <b><u>ZONING INFORMATION:</u></b>                                 |   |                                       |
| ZONE: GH-1500 zone  |   |                                       |
| HEIGHT LIMIT: 30 feet   |   |                                       |
| LOT SIZE: 0.29-acres.   |   |                                       |
| FLOOR AREA RATIO: .60   |   |                                       |
| FRONT SETBACK: 10 feet  |   |                                       |
| SIDE SETBACK: 6 feet  |   |                                       |
| STREETSIDE SETBACK: 8 feet  |   |                                       |
| REAR SETBACK: 1-foot (with alley)                                 |   |                                       |
| PARKING: Min 14 on-site parking spaces are required (16 provided) |   |                                       |
| <b><u>ADJACENT PROPERTIES:</u></b>                                | <b>LAND USE DESIGNATION &amp; ZONE</b>  | <b>EXISTING LAND USE</b>              |
| <b>NORTH:</b>   | Residential,<br>GH-1500   | Mixed single and multi-family housing |
| <b>SOUTH:</b>   | I-94  | I-94                                  |
| <b>EAST:</b>  | Residential,<br>GH-1500   | Mixed single and multi-family housing |
| <b>WEST:</b>  | Residential,<br>GH-1500   | Mixed single and multi-family housing |
| <b>DEVIATIONS OR VARIANCES REQUESTED:</b>                         | None  |                                       |
| <b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>                   | On October 28, 2015, 2015 the Greater Golden Hill Planning Committee recommended approval of the project by a vote of 7-0-0 without conditions.     |                                       |

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004705

**SITE DEVELOPMENT PERMIT NO. 1577343**  
**CITY LIGHTS TOWNHOMES PROJECT NO. 369887 [MMRP]**  
**HEARING OFFICER**

This Site Development Permit No. 1577343 is granted by the hearing officer of the City of San Diego to CITY LIGHTS PROPERTIES, LLC, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section Section 126.0504 and Section 158.0206. The 0.29-acre site is located at 806 27<sup>th</sup> Street in the GH-1500 Zone of the Golden Hill Planned District, Airport Influence Overlay Zone, Residential Tandem Parking Overlay Zone and Transit Area Overlay Zone, and within the Greater Golden Hill Community Plan area. The project site is legally described as Lots 11 and 12, Block 36 of Map No. 288.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct eight (8) for rent residential units on a vacant site described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 18, 2015 on file in the Development Services Department.

The project shall include:

- a. Construction of eight (8) for rent, 2 and 3 story residential townhomes, each unit containing two bedrooms totaling 10,260 square feet for gross floor area.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 3, 2018
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 132506 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 132506 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Paleontological Resources and Historical Resources (Archaeology)

**AFFORDABLE HOUSING REQUIREMENTS:**

14. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

**ENGINEERING REQUIREMENTS:**

15. The project proposes to export 2230 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan, is public and private and both subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 20ft wide concrete driveway, adjacent to the site on 27th Street, satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct current City Standard concrete sidewalk, maintaining the existing sidewalk scoring pattern of the adjacent properties, per approved Exhibit 'A', adjacent to the site on 27th Street, satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct current City Standard curb and gutter, adjacent to the site on 27th Street per approved Exhibit 'A', satisfactory to the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct a current City Standard full-width alley, per approved Exhibit 'A', satisfactory to the City Engineer.

22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct a current City Standard 18" RCP Public storm drain system, per approved Exhibit "A", satisfactory to the City Engineer.
23. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer for the private curbs, gutters, and retaining walls encroaching into the F Street and alley right-of-way, per approved Exhibit "A".
24. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
25. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
26. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
27. Prior to the issuance of any construction permit, the Water Quality Technical Report will be subject to final review and approval by the City Engineer.

**LANDSCAPE REQUIREMENTS:**

28. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).
29. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.
30. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be

maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

**PLANNING/DESIGN REQUIREMENTS:**

32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

33. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS**

35. Prior to the issuance of any construction permit, the applicant shall assure by permit and bond the construction of a hammerhead turnaround and new City Standard concrete alley, within the unimproved portions of the adjacent alley west of the site, as shown in the Plans, satisfactory to the City Engineer.

36. No fewer than 14 parking spaces shall be maintained on the property at all times in the approximate locations shown on Exhibit "A". All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

37. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond the design and construction of an 8" public water main within "F" Street right-of-way adjacent to the project site as shown on the approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and the City Engineer.

38. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond the design and construction of all public water and sewer facilities as shown on

the approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and the City Engineer.

39. The Owner/Permittee shall grant water easements for the proposed domestic water meters as shown on the approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and the City Engineer.
40. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer services outside of any driveway or drive aisle in a manner satisfactory to the Public Utilities Director, the City Engineer.
41. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices (BFPD's), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
42. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities or five feet of any water facilities.
43. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
44. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 18, 2015.

Permit Type/PTS Approval No.: SDP No. 1577343  
Date of Approval: November 18, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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William Zounes  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By \_\_\_\_\_  
CITY LIGHTS PROPERTIES, LLC

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

**HEARING OFFICER  
RESOLUTION NO. XXXXXX  
SITE DEVELOPMENT PERMIT NO. 1577343  
CITY LIGHTS TOWNHOMES PROJECT NO. 369887 [MMRP]**

WHEREAS, CITY LIGHTS PROPERTIES, LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to construct eight (8) for rent residential units on a vacant site (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1577343), on portions of a 0.29-acre site;

WHEREAS, the project site is located at 806 27<sup>th</sup> Street in the GH-1500 Zone of the Golden Hill Planned District within the Greater Golden Hill Community Plan area;

WHEREAS, the project site is legally described as Lots 11 and 12, Block 36 of Map No. 288;

WHEREAS, on November 18, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1577343 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated November 18, 2015.

FINDINGS:

**I. Site Development Permit - Section 126.0504**

**1. The proposed development will not adversely affect the applicable land use plan;**

The site is designated for Medium Density Residential (15-29 du/ac) land use within the Greater Golden Hill Community Plan, and based on the size of the site and the allowable density range, the proposed eight dwelling unit project is within the allowable range of the land use designation. The Urban Design Element of the Greater Golden Hill Community Plan (Plan) has specific recommendations for the design and placement of new development within the community. The project would implement the goals and objectives of the Plan by promoting the development of eight new for rent units in an area of the community that contains a large volume of rental property. The project incorporates the Plan recommendation that multi-family development incorporate offsetting plans, façade articulation, and texture to reduce its apparent size and scale, and reflect the pattern of the surrounding residential developments. Therefore the proposed development would not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

A Mitigated Negative Declaration (No. 132506) has been prepared in accordance with the State of California Environmental Quality Act (CEQA) and potentially significant environmental effects relative to Paleontology and Historical Resources (Archaeology) will be mitigated to below a level of significance. The permit for the project will include various conditions relevant

**Draft Resolution with Findings**

to achieving project compliance with the applicable regulations of the Land Development Code (LDC) in effect for this project. These conditions include the construction of public improvements to consist of city standard driveway, curb, gutter, sidewalks, 18-inch storm drain system, the construction of a hammerhead turnaround along with a City standard concrete alley adjacent to the site, and the implementation of Water Pollution Control Plan (WPCP). Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1577343, and other regulations and guidelines pertaining to the subject property per the LDC. Prior to the issuance of any construction permit for the proposed development, the plans shall be reviewed for compliance with all building, electrical, mechanical, plumbing, fire code, public improvements and grading requirements. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The proposed development complies with the applicable zoning and development regulations of the Land Development Code including land development requirements regulating multi-family development. The proposed project was reviewed for compliance with the GH-1500 zone land development requirements which include but are not limited to setbacks, density, landscape, parking, and Floor Area Ratio. No deviations are proposed with the project. Buildings "A" and "C" would include a two-car garage on the first floor, living room, dining room and kitchen on the second floor, and two bedrooms with bathrooms on the third floor. Building "B" includes two bedrooms on the first floor, two-car garage on the second floor, and the kitchen, dining room and living room on the third floor. As a component of the proposed project, the buildings will utilize renewable energy technology, self-generating at least 50% of the projected total energy consumption on site through photovoltaic technology (solar panels), thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Building Policy. The photovoltaic system will be located on the roof of each unit. Therefore, the project complies with the applicable zoning and development regulations of the Land Development Code.

## **II. Findings for the Greater Golden Hill Planned District Ordinance – Section 158.026**

**1. The proposed project design meets the purpose and intent of the Golden Hill Planned District and will be compatible with the goals and objectives of the Golden Hill Community Plan (1988), the Progress Guide and General Plan of the City of San Diego, the Golden Hill Planned District Design Criteria and guidelines as adopted by Council and the design studies listed in Section 158.0201(a).**

The project will implement the goals and objectives of the Greater Golden Hill Community Plan (Plan) and the Golden Hill Planned District Ordinance's Design Criteria and Guidelines by promoting the development of a variety of housing types. The Urban Design Element of the Greater Golden Hill Community Plan (Plan) has specific recommendations for the design and placement of new development within the community. The project would implement the goals and objectives of the Plan by promoting the development of eight new for rent units in an area of

**Draft Resolution with Findings**

the community that contains a large volume of rental property. The project incorporates the Plan recommendation that multi-family development incorporate offsetting plans, façade articulation, and texture to reduce its apparent size and scale, and reflect the pattern of the surrounding residential developments. The project meets all applicable regulations and processes, and is consistent with the recommended land use, design guidelines, and development standards in the effect for this site per the Golden Hill Planned District Ordinance and Golden Hill Planned District Design Criteria and Guidelines, the adopted Greater Golden Hill Community Plan, and the City's General Plan.

2. **The proposed development will be compatible with existing and planned land uses on adjoining properties, will not constitute a disruptive element to the neighborhood or community, and will create architectural harmony with the preferred character of the neighborhood and community.**

The site is designated for Medium Density Residential (15-29 du/ac) land use in the Greater Golden Hill Community Plan and the proposed eight dwelling unit project is within the range of the land use designation. The subject property is surrounded by multi-family development to the north and west and single-family development to the east (zoned GH-1500 allowing multi-family development at one unit per 1,500 square feet of lot area). The proposed development will be compatible with existing and planned land uses adjoining properties, and will complement the architectural character of the existing development in the neighborhood. The project will not constitute a disruptive element of the neighborhood or community, and will create architectural harmony with the preferred character of the neighborhood and surrounding Golden Hill community.

3. **The proposed development, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.**

A Mitigated Negative Declaration (No. 132506) has been prepared in accordance with the State of California Environmental Quality Act (CEQA) and potentially significant environmental effects relative to Paleontology and Historical Resources (Archaeology) will be mitigated to below a level of significance. The permit for the project will include various conditions relevant to achieving project compliance with the applicable regulations of the Land Development Code (LDC) in effect for this project. These conditions include the construction of public improvements to consist of city standard driveway, curb, gutter, sidewalks, 18-inch storm drain system, the construction of a hammerhead turnaround along with a City standard concrete alley adjacent to the site, and the implementation of Water Pollution Control Plan (WPCP). Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1577343, and other regulations and guidelines pertaining to the subject property per the LDC. Prior to the issuance of any construction permit for the proposed development, the plans shall be reviewed for compliance with all building, electrical, mechanical, plumbing, fire code, public improvements and grading requirements. Therefore the proposed development, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

**4. The proposed development complies with all other relevant regulations in the City of San Diego Municipal Code.**

City staff has reviewed this project and have determined that the proposed development complies with the applicable zoning and development regulations of the Land Development Code including land development requirements regulating multi-family development. The proposed project was reviewed in compliance with the GH-1500 zone land development requirements which include but are not limited to setbacks, density, landscape, parking, and Floor Area Ratio. No land development deviations are proposed with the project. Buildings “A” and “C” includes a two-car garage on the first floor, living room, dining room and kitchen on the second floor, and two bedrooms with bathrooms on the third floor. Building “B” includes two bedrooms on the first floor, two-car garage on the second floor, and the kitchen, dining room and living room on the third floor. As a component of the proposed project, the buildings will utilize renewable energy technology, self-generating at least 50% of the projected total energy consumption on site through photovoltaic technology (solar panels), thus meeting the requirements of Council Policy 900-14, the City Council’s Sustainable Building Policy. The photovoltaic system will be located on the roof of each unit. Therefore the proposed development complies with all other relevant regulations in the City of San Diego Municipal Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1577343 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1577343, a copy of which is attached hereto and made a part hereof.

---

William Zounes  
Development Project Manager  
Development Services

Adopted on: November 18, 2015

SAP Number: 24004705

**Project Title:** \_\_\_\_\_

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation  Limited Liability -or-  General) What State? CA Corporate Identification No. 46-5329180  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**  Yes  No

Corporate/Partnership Name (type or print):  
City Lights Properties, LLC

Owner  Tenant/Lessee

Street Address:  
3712 30th Street

City/State/Zip:  
San Diego, CA 92104

Phone No: 619-294-2500 Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
Jason Maune

Title (type or print):  
Managing Member

Signature :  Date: 05/01/2014

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_

Owner  Tenant/Lessee

Street Address:  
 \_\_\_\_\_

City/State/Zip:  
 \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_

Title (type or print):  
 \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_

Owner  Tenant/Lessee

Street Address:  
 \_\_\_\_\_

City/State/Zip:  
 \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_

Title (type or print):  
 \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_

Owner  Tenant/Lessee

Street Address:  
 \_\_\_\_\_

City/State/Zip:  
 \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_

Title (type or print):  
 \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_

Owner  Tenant/Lessee

Street Address:  
 \_\_\_\_\_

City/State/Zip:  
 \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_

Title (type or print):  
 \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_

Owner  Tenant/Lessee

Street Address:  
 \_\_\_\_\_

City/State/Zip:  
 \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_

Title (type or print):  
 \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

**Attachment 8**  
**Community Planning Group Recommendation**

**From:** richard@richardhsantiniphoto.com [mailto:richard@richardhsantiniphoto.com]  
**Sent:** Thursday, October 29, 2015 3:41 PM  
**To:** Zounes, WilliamJ.  
**Subject:** Re: City Lights Townhomes Project NO. 369887 - Greater Golden Hill Recommendation

Hi William,

The project passed 8 yes, 0 no.

The main points we approved the project was because it was conforming to our existing community plan, and the new one that we're working on for the next 30 years.

Other points were-

- We liked that they are incorporating sustainable landscaping features.
- Talked about including water on the rooftops for gardens.
- Using recycled building materials.
- Had a minimal frontage presence comparable to the other multi unit buildings already on the street.

thanks,

Richard

Richard Santini  
Owner and Photographer  
RHS Photo Inc & RHS Studios  
p. 619-252-2553  
e. info at richardsantini.com  
w. richardsantini.com

THE ORIGINAL OF THIS DOCUMENT  
WAS RECORDED ON OCT 08, 2008  
DOCUMENT NUMBER 2008-0528286  
GREGORY J. SMITH, COUNTY RECORDER  
SAN DIEGO COUNTY RECORDER'S OFFICE  
TIME: 10:28 AM

RECORDING REQUESTED BY  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-7972

**SITE DEVELOPMENT PERMIT NO. 458337**  
**CITY LIGHTS TOWNHOMES - PROJECT NO. 132506 [MMRP]**  
**HEARING OFFICER**

This Site Development Permit No. 458337 is granted by the Hearing Officer of the City of San Diego to KEITH R. ANDERSON, AS TRUSTEE OF THE KEITH R ANDERSON 2003 TRUST DATED DECEMBER 23, 2003, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0504 and Section 158.0206. The 12,514 square-foot site is located at 806 27<sup>th</sup> Street in the GH-1500 Zone of the Golden Hill Planned District, Airport Influence Overlay Zone, Residential Tandem Parking Overlay Zone and Transit Area Overlay Zone, and within the Greater Golden Hill Community Plan area. The project site is legally described as Lots 11 and 12, Block 36 of Map No. 288.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow demolition of an existing building and construction of an eight (8) unit, for rent, residential development, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 20, 2008, on file in the Development Services Department.

The project shall include:

- a. Construction of a new, eight (8) unit, for rent, 2 and 3 story, townhome style housing development (with each unit containing 2 bedrooms) totaling 9,867-square-feet, including a deviation to allow the 3<sup>rd</sup> floor level only to observe a 3 foot rear yard where 8 foot is required;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Sixteen (16) off-street vehicle parking spaces;

ORIGINAL

- d. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

12. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 132506 shall be noted on the construction

plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 132506, satisfactory to the Development Services Department and the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

- Paleontology
- Historical Resources (Archaeology)

14. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

**ENGINEERING REQUIREMENTS:**

15. Prior to the building occupancy, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.

16. Prior to the issuance of any construction permit, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

18. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.

19. Prior to the issuance of any construction permit, the applicant shall assure by permit and bond the construction of new City standard curb, gutter, and sidewalk, adjacent to the site on 27th Street, satisfactory to the City Engineer.

20. The drainage system proposed for this development is private and subject to approval by the City Engineer.

21. Prior to building occupancy, the applicant shall obtain an Encroachment Maintenance Agreement, for the private driveway, retaining wall, and private drainage structures within the 'F' Street and alley rights-of-ways.

22. Prior to the issuance of a building permit the applicant shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

23. This project proposes to export 2,230 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

24. Prior to the issuance of any construction permit, the applicant shall assure by permit and bond the construction of a hammerhead turnaround and new City Standard concrete alley, within the unimproved portions of the adjacent alley, as shown in the Conceptual Grading Plans (sheet 22), satisfactory to the City Engineer.

25. Prior to the issuance of any construction permit, the applicant shall assure by permit and bond the removal of the street light mast arm from the existing utility pole and installation of a City Standard street light, at the southwest corner of the 'F' Street and 27th Street intersection, satisfactory to the City Engineer.

26. Prior to the issuance of any construction permit, the applicant shall assure by permit and bond the construction of a City Standard 20' wide driveway, at the 'F' Street and 27th Street intersection, satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

27. Prior to issuance of construction permits for grading, the Permittee or Subsequent Owner shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

28. Prior to issuance of construction permits for public right-of-way improvements, the Permittee or Subsequent Owner shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

29. Prior to issuance of any construction permits for buildings and retaining walls; the Permittee or Subsequent Owner shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.

30. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or Subsequent Owner to install all required landscape and obtain all required landscape

inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

31. The Permittee or Subsequent Owner shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

32. The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Permittee or Subsequent Owner is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Certificate of Occupancy.

34. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15 gallon size or 60-inch box size material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15 gallon shrub or 60-inch box tree.

35. Construction Documents for grading shall include the following note: "Installation of landscaping associated with these construction documents shall require a minimum short-term establishment period of 120 days for all native/naturalized slope restoration and a minimum long-term establishment/maintenance period of 25 months. Final approval of the required landscaping shall be to the satisfaction of the Mitigation Monitoring Coordination section of the Development Services Department.

**PLANNING/DESIGN REQUIREMENTS:**

36. No fewer than 16 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.

37. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

38. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations.

39. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**WASTEWATER REQUIREMENTS:**

40. All proposed public sewer facilities shall be designed and constructed in accordance with established criteria in the most current City of San Diego Sewer Design Guide.

41. All proposed private sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

42. All on-site wastewater systems shall be private.

43. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any public sewer facilities.

44. Sewer lateral connections shall be made in accordance with Table 2-6 Of the City of San Diego sewer design guide (no manholes at the lateral connections and lateral connections through a "Y" fitting or saddle type connections).

45. If these units are converted to condominiums in the future, the developer shall provide evidence, satisfactory to the Metropolitan Wastewater Department Director, indicating that each lot will have its own sewer lateral or provide CC&R's for the operation and maintenance of on-site private sewer facilities that serve more than one lot.

**WATER REQUIREMENTS:**

46. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of a gate valves on the existing 8" water main in 27th Street at the intersection of Treat and 27th Street south of existing fire hydrant service, in a manner satisfactory to the Water Department Director and the City Engineer.

47. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of an 8" water main in 'F' Street between 27th Street and the alley west of the project to replace the existing 6" water main, in a manner satisfactory to the Water Department Director and the City Engineer.

48. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of an 8" water main in the alley west of the project from 'F' street to the northerly property boundary. All existing and new water service will be connected to

new 8" water main in a manner satisfactory to the Water Department Director and the City Engineer.

49. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water service(s) outside of any driveway, in a manner satisfactory to the Water Department Director and the City Engineer.

50. Prior to the issuance of any certificates of occupancy, all public water facilities shall be complete and operational in a manner the Water Department Director and the City Engineer.

51. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities, and associated easements, as shown on approved Exhibit "A" shall be modified at final engineering to comply with standards.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 20, 2008.



Permit Type/PTS Approval No.: SDP No. 458337  
Date of Approval: August 20, 2008

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT



Patricia J. Fitzgerald

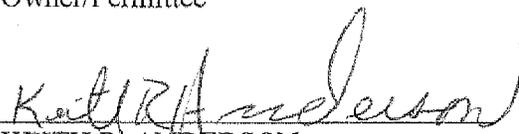
TITLE: Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

KEITH R. ANDERSON  
Owner/Permittee

By   
KEITH R. ANDERSON,  
TRUSTEE OF THE KEITH R ANDERSON  
2003 TRUST DATED DECEMBER 23, 2003

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

Rev. 02/04/08 rh

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

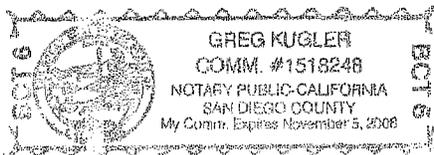
State of California

County of SAN DIEGO

On 9/15/2008 before me, GREG KUGLER, NOTARY PUBLIC  
Date Here Insert Name and Title of the Officer

personally appeared Kerth R. ANDERSON  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

**Description of Attached Document**

Title or Type of Document: Site development permit No 458337

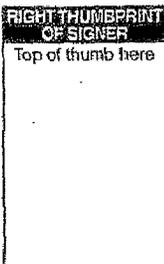
Document Date: 8/20/08 Number of Pages: \_\_\_\_\_

Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_

- Individual
- Corporate Officer — Title(s): \_\_\_\_\_
- Partner —  Limited  General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: \_\_\_\_\_



Signer Is Representing: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

- Individual
- Corporate Officer — Title(s): \_\_\_\_\_
- Partner —  Limited  General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: \_\_\_\_\_



Signer Is Representing: \_\_\_\_\_

**ORIGINAL**

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

State of California }  
County of San Diego

On October 2, 2008 before me, Raquel Herrera, Notary Public  
Date Here Insert Name and Title of the Officer

personally appeared Patricia J. Fitzgerald  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.  
Signature Raquel Herrera  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

*Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.*

**Description of Attached Document**

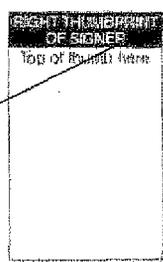
Title or Type of Document: City Lights Townhomes; Project Number 132506

Document Date: August 20, 2008 Number of Pages: 10

Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

- Signer's Name: \_\_\_\_\_
- Individual
  - Corporate Officer — Title(s): \_\_\_\_\_
  - Partner —  Limited  General
  - Attorney in Fact
  - Trustee
  - Guardian or Conservator
  - Other: \_\_\_\_\_



Signer Is Representing: \_\_\_\_\_

- Signer's Name: \_\_\_\_\_
- Individual
  - Corporate Officer — Title(s): \_\_\_\_\_
  - Partner —  Limited  General
  - Attorney in Fact
  - Trustee
  - Guardian or Conservator
  - Other: \_\_\_\_\_



Signer Is Representing: \_\_\_\_\_

**ORIGINAL**

HEARING OFFICER  
RESOLUTION NUMBER HO-6050  
SITE DEVELOPMENT PERMIT NO. 458337  
CITY LIGHTS TOWNHOMES- PROJECT NO. 132506 [MMRP]

WHEREAS, KEITH R. ANDERSON, AS TRUSTEE OF THE KEITH R ANDERSON 2003 TRUST DATED DECEMBER 23, 2003, Owner/Permittee, filed an application with the City of San Diego for a Site Development Permit (SDP) to allow for construction of an eight (8) unit, for rent, residential townhome housing development (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 458337), on portions of a 12,514 square-foot site; and

WHEREAS, the project site is located at 806 27<sup>th</sup> Street in the GH-1500 Zone of the Golden Hill Planned District, Airport Influence Area Overlay Zone, Residential Tandem Parking Overlay Zone and Transit Area Overlay Zone, and within the Greater Golden Hill Community Plan area; and

WHEREAS, the project site is legally described as Lots 11 and 12, Block 36 of Map No. 288; and

WHEREAS, on August 20, 2008, the Hearing Officer of the City of San Diego considered Site Development Permit No. 458337 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 20, 2008.

I. Findings for Site Development Permits, SDMC Section 126.0504

1. **The proposed development will not adversely affect the applicable land use plan.**

The proposed project includes construction of an 8 unit, for rent, residential townhome style development on an existing vacant lot. The site is located within the Greater Golden Hill Community Plan (GGHCP) area, the GH-1500 Zone of the Golden Hill Planned District, Transit Overlay Zone, Residential Tandem Overlay Zone, and the Airport Environs Overlay Zone. The site is designated for Medium Density Residential (15-29 du/ac) land use in the Greater Golden Hill Community Plan, and based on the size of the site and the allowable density range, the proposed 8 dwelling unit project is within the range of the land use designation.

The Urban Design Element of the Greater Golden Hill Community Plan has specific recommendations for the design and placement of new development within the community. The project would implement the goal and objectives of the community plan by promoting the

development of a variety of housing types and styles, both single-family and attached units. The project incorporates the GGHCP recommendations that multi-family development incorporate offsetting planes, façade articulation and texture to reduce its apparent size and scale, and reflect the pattern of the surrounding development. The craftsman style of the proposed development will coordinate with the existing architectural character of development in the neighborhood and incorporates single-family residential scale into the project. The proposed development would not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The Site Development Permit (SDP) prepared for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the City's Land Development Code in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. A Mitigated Negative Declaration (No. 132506) has been prepared for the proposed project in accordance with State of California Environmental Quality Act (CEQA) and potentially significant environmental effects relative to Paleontology and Historical Resources (Archaeology) will be mitigated to below a level of significance. Conditions of the development permits prepared for the project include the need to fully comply with all building code requirements. Compliance with building code will ensure all life safety issues are addressed and have been incorporated into the project. Under the terms of the aforementioned project conditions, the development will not be detrimental to the health, safety and general welfare of persons residing or working in the surrounding area.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The Site Development Permit (SDP) prepared for this development includes requirements and references exhibits of approval to achieve compliance with the applicable regulations of the Land Development Code. These conditions include minimum and maximum standards for height, landscaping, parking, setbacks, coverage, and floor area ratio limitations, and guidelines for providing architectural style and building elements.

The project includes a deviation to the Golden Hill PDO development standard for the rear yard building setback for the 3<sup>rd</sup> floor level only, and proposes a 3 foot setback where 8 foot is required. The Golden Hill PDO allows the Hearing Officer to consider deviations to development standards through the Site Development Permit process. Staff supports the deviation because the site has some unique physical characteristics which are not common in the neighborhood. The site's topography changes in elevation by 34 feet as measured from the front street to the rear property line at the alley. The northern portion of the rear yard of the property abuts a 20-foot wide public

alley; the southern portion of the rear yard of the property abuts a large sloped unimproved hillside area on an area of right-of-way which will never be developed as a public street due to its topographical constraints. The granting of the deviation provides design flexibility, is limited to the third floor and will not impact surrounding properties. No other deviations are proposed with the implementation of the project. Excepting the deviation to the rear yard setback, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Golden Hill Planned District Ordinance. The proposed development is in conformity with the Greater Golden Hill Community Plan and complies with the regulations of the Land Development Code.

**II. Findings for Golden Hill Planned District Ordinance -Section 158.0206**

**1. The proposed project design meets the general purpose and intent of the Golden Hill Planned District Ordinance and will be compatible with the goals and objective of the Golden Hill Community Plan (1988), the City's Progress Guide and General Plan, the Golden Hill Planned District Design Criteria and Guidelines (as adopted by council with this ordinance) and the design studies listed in Section 158.0201 paragraph of the Municipal Code.**

The proposed project includes construction of an 8 unit, for rent, residential townhome style development on an existing vacant lot, including a deviation to the Golden Hill PDO development standard for the rear yard building setback for the 3<sup>rd</sup> floor level only, proposing a 3 foot setback where 8 foot is required. The project will implement the goals and objectives of the Greater Golden Hill Community Plan (GGHCP) and the Golden Hill Planned District Ordinance's Design Criteria and Guidelines by promoting the development of a variety of housing types and implementing the craftsman style architectural design notable within the Golden Hill community. The project incorporates the GGHCP recommendations that multi-family development incorporate offsetting planes, façade articulation and texture to reduce its apparent size and scale, and reflects the pattern of the surrounding development. The proposed development will complement the architectural character of existing development in the neighborhood and incorporates single-family residential scale into the project. The dominant rooflines along this section of 27<sup>th</sup> Street are two-story sloped roof structures with architectural features reflected on the street facing facades. The project implements the GGHCP recommendation that new structures complement the dominant rooflines of the neighboring buildings. Excepting the rear yard setback deviation on the 3<sup>rd</sup> level of the structures abutting the rear property line, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Golden Hill Planned District Ordinance and Golden Hill Planned District Design Criteria and Guidelines, the adopted Greater Golden Hill Community Plan, and the City's General Plan.

**2. The proposed development will be compatible with existing and planned land uses on adjoining properties, will not constitute a disruptive element to the neighborhood or**

**community, and will create architectural harmony with the preferred character of the neighborhood and surrounding community.**

The site is located on the west side of 27<sup>th</sup> Street, immediately north of unimproved F Street (paper street) within the Greater Golden Hill Community Plan (GGHCP) area, the GH-1500 Zone of the Golden Hill Planned District, Transit Overlay Zone, Residential Tandem Overlay Zone, and the Airport Environs Overlay Zone. The site is designated for Medium Density Residential (15-29 du/ac) land use in the Greater Golden Hill Community Plan and the proposed 8 dwelling unit project is within the range of the land use designation. The subject property is surrounded by multi-family development to the north and west, and single-family development to the east (zoned GH-1500 to allow multi-family development). The proposed development will be compatible with existing and planned land uses on adjoining properties, and will complement the architectural character of existing development in the neighborhood. The project will not constitute a disruptive element to the neighborhood or community, and will create architectural harmony with the preferred character of the neighborhood and surrounding Golden Hill community.

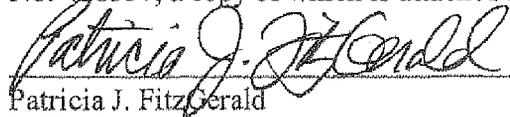
**3. The proposed development, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.**

The project required the preparation of an Initial Study to identify the potential for significant environmental impacts which could be associated with the project pursuant to CEQA Section 15063 Guidelines. Analysis concluded that a Mitigated Negative Declaration would be required with mitigation measures for reducing a potentially adverse impact to Paleontological Resources and Historical Resources (Archaeology) to below a level of significance. The Site Development Permit No. 458337 for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Site Development Permit No. 458337 and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare, and will not adversely affect other property in the vicinity.

**4. The proposed development complies with all other relevant regulations in the City of San Diego Municipal Code in effect for this site.**

The proposed project includes construction of an 8 unit, for rent, residential townhome style development on an existing vacant lot. Other than the one deviation, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted Greater Golden Hill Community Plan and the Golden Hill Planned District, and all other relevant regulations in the City of San Diego Municipal Code in effect for this site.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 458337 is hereby GRANTED by the Hearing Officer to the referenced Owner and Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 458337, a copy of which is attached hereto and made a part hereof.



Patricia J. Fitzgerald  
Development Project Manager  
Development Services

Adopted on: August 20, 2008

Job Order No. 42-7972

point of departure  
ARCHITECTURE  
3712 30TH STREET  
SAN DIEGO, CA 92104  
619.294.2500



806 27TH STREET  
SAN DIEGO, CALIFORNIA

City  
L·I·G·H·T·S  
T O W N H O M E S



SUBMITTAL: 05/05/2014

T-1.1

**PROJECT DIRECTORY**

ARCHITECT: POINT OF DEPARTURE  
3712 30TH STREET  
SAN DIEGO, CA 92104  
619.294.2500

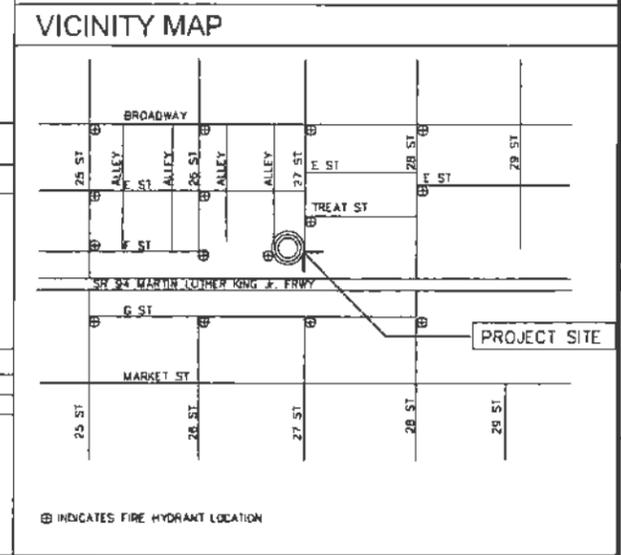
OWNER: CITYLIGHTS PROPERTIES, LLC  
3712 30TH STREET  
SAN DIEGO, CA 92104  
619.294.2500

CIVIL: BDS CIVIL ENGINEERING  
6858 FEDERAL BLVD  
LEMON GROVE, CA 91945  
619.542.4992

LANDSCAPE: LOG LANDSCAPE ARCHITECTS  
4262 CORONADO AVE.  
SAN DIEGO, CA 92107  
619.822.2100

**INDEX TO DRAWINGS**

T1.1 TITLE SHEET  
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C3 UTILITY PLAN  
C4 CIVIL DETAILS  
C5 CIVIL DETAILS  
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L1.3 LANDSCAPE CALCULATIONS  
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A1.2 HEIGHT PLAN  
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A1.5 SITE DETAILS  
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A1.7 FIRE ACCESS PLAN  
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A4.1 BUILDING C - 1ST & 2ND FLOOR PLANS  
A4.2 BUILDING C 3RD FLOOR & ROOF PLANS  
A4.3 BUILDING C ELEVATIONS



REVISION 5: \_\_\_\_\_  
REVISION 4: \_\_\_\_\_  
REVISION 3: 06-25-15  
REVISION 2: 03-05-15  
REVISION 1: 7-9-14

ORIGINAL DRAWING PREPARATION DATE: 4-7-14

SHEET #: 1 OF 26  
SHEET TITLE: TITLE SHEET

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
POINT OF DEPARTURE ARCHITECTURE

**SCOPE OF WORK**

GOLDEN HILL DEVELOPMENT PERMIT FOR EIGHT (8) NEW MULTI DWELLING 2 STORY RENTAL TOWNHOMES OVER BASEMENT GARAGES

**PROJECT DATA**

PROJECT ADDRESS: 806 27TH STREET  
SAN DIEGO, CA 92113

EXISTING USE: VACANT LOT  
ZONE: GH-1500  
OVERLAY ZONES: GOLDEN HILL PLANNED DISTRICT, RESIDENTIAL TANDEM PARKING, AIRPORT APPROACH, TRANSIT AREA  
534-412-19 AND 534-412-20

APN: 534-412-19 AND 534-412-20  
LEGAL DESCRIPTION: LOTS 11 & 12 DF BLOCK 36, MAP 000268  
TYPE OF CONSTRUCTION: V-B  
OCCUPANCY: R-3  
NUMBER OF STORIES: 2 OVER BASEMENT

LOT AREA: 12,514 S.F./ 0.29 ACRE  
LOT FRONTAGE (27TH ST.): 80'

GEOLOGIC HAZARD: 52

THERE ARE NO BUS STOPS ON OR ADJACENT TO THE SUBJECT PROPERTY  
THERE ARE NO EASEMENTS RECORDED ON THE SUBJECT PROPERTY

|   | CODE ALLOWABLE/REQUIRED           | PROPOSED           |
|---|-----------------------------------|--------------------|
|   | SDMC 158.0301(b)(4) TABLE 158-03E |                    |
| GROSS FLOOR AREA:                           | 7,508 S.F.                        | 10,260.3 S.F.      |
| ENCL. PARKING AREA:                         |                                   | 6659.8 S.F.        |
| LOT COVERAGE:                               | 35% / 4,380 S.F.                  | 388 S.F.           |
| BUILDING HEIGHT:                            | 30'                               | 30'                |
| MAX HT. W/ GRADE DIFF:                      | 40'                               | 40'                |
| FRONT SETBACK:                              | 10'                               | 10'                |
| SIDE SETBACK:                               | 6' NORTH/ 8' SOUTH                | 6' NORTH/ 8' SOUTH |
| REAR SETBACK:                               | 1' (WITH ALLEY)                   | 1'                 |
| FRONT YARD AREA FACTOR:                     | 90' X 25' = 2250 MIN. S.F.        | 2958.78 S.F.       |
| STREET YARD AREA PER SDMC 158.0301(b)(2)(A) |                                   |                    |
| LOT AREA PER DU:                            | 1500 S.F.                         | 1564 S.F.          |
| AVERAGE UNIT SIZE (2 BR):                   | 800 S.F.                          | 1327.8 S.F.        |
| TOTAL AVERAGE UNIT SIZE:                    | 700 S.F.                          | 1327.8 S.F.        |

**AREA ANALYSIS**

| UNIT:   | 1ST FLOOR: | 2ND FLOOR:   | 3RD FLOOR:   | TOTAL:        | FAR BONUS:  | GARAGE:    |
|---------|------------|--------------|--------------|---------------|-------------|------------|
| A-1     | N/A        | 707.8        | 673.9        | 1,381.7       | FAR         | 664.4      |
| A-2     | N/A        | 702.1        | 670.0        | 1,372.1       | GARAGE      | 659.7      |
| A-3     | N/A        | 702.5        | 668.9        | 1,371.4       | BONUS       | 639.8      |
| B-1     | 194.0*     | N/A          | 876.0        | 1,070         | PER SDMC    | 876.0      |
| B-2     | 194.0*     | N/A          | 876.0        | 1,070         | 158.0304(B) | 876.0      |
| C-1     | N/A        | 680.4        | 652.4        | 1,332.8       |             | 633.2      |
| C-2     | N/A        | 681.1        | 646.0        | 1,327.1       |             | 628.4      |
| C-3     | N/A        | 680.3        | 646.9        | 1,329.2       |             | 628.4      |
| TOTALS: | 388 S.F.   | 4,160.2 S.F. | 5,712.1 S.F. | 10,260.3 S.F. | 2,798 S.F.  | 5,596 S.F. |

| F.A.R.    | LOT AREA    | RATIO | AREA     | BONUS    | TOTAL     |
|-----------|-------------|-------|----------|----------|-----------|
| ALLOWABLE | 12,514 S.F. | 0.80  | 7,508 SF | 2,798 SF | 10,306 SF |
| PROPOSED  |             |       |          |          | 10,260 SF |

**FIRE NOTES**

- BUILDING NUMBERS SHALL BE EASILY LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SDMC SECTION 95.0209
- POST INDICATOR VALVES, FIRE CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ ACCESS SIDE OF THE BUILDING
- CFC 105.4.4 CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVE WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE, REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVES THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE

**SUSTAINABLE BUILDINGS EXPEDITE PROGRAM**

CITY LIGHTS PROPERTIES LLC (CITY LIGHTS), IS PROPOSING AN EIGHT UNIT FOR RENT TOWNHOME STYLE DEVELOPMENT ON THE PROPERTY DESIGNATED BY SAN DIEGO COUNTY ASSESSOR'S PARCEL NUMBERS 534-412-19-00 AND 534-412-20-00. IT IS CITY LIGHTS INTENTION TO PARTICIPATE IN THE SUSTAINABLE BUILDINGS EXPEDITE PROGRAM AS OUTLINED IN DEVELOPMENT SERVICES DEPARTMENT DOCUMENT DS-631. THE PROJECT SHALL COMPLY WITH THE SUSTAINABILITY REQUIREMENTS AS OUTLINED BY COUNCIL POLICY 900-14 WHICH WILL INCLUDE GENERATION OF ON-SITE ELECTRICITY SUFFICIENT ENOUGH TO PROVIDE 50 PERCENT OF THE REQUIRED POWER DEMAND FOR THE PROPOSED PROJECT.

**PALEONTOLOGICAL MONITORING**

APPLICANT ACKNOWLEDGES THIS PROJECT IS REQUIRED TO IMPLEMENT THE SPECIFIC HISTORIC RESOURCES MITIGATION MONITORING AND RESTORATION PROGRAM DURING GRADING OPERATIONS.

**ARCHEOLOGICAL MONITORING**

APPLICANT ACKNOWLEDGES THIS PROJECT IS REQUIRED TO IMPLEMENT ARCHEOLOGICAL MONITORING DURING GRADING OPERATIONS.

**PARKING ANALYSIS**

PROPOSED MULTI DWELLING RESIDENCES ON SITE: 8

SPACES REQ. PER S.F.R.: 8 X 1.75 = 14

SPACES REQ.: 14

PARKING SPACES PROVIDED: 16

\* THE FIRST FLOOR AREA FOR BUILDING B INCLUDES AREA CONSIDERED TO BE "BASEMENT" ACCORDING TO M113.0234 (a)(2)(B) ACTUAL AREA OF BUILDING B LEVEL 1 UNITS ARE 876.0 S.F., FOR A TOTAL OF 1752.0 S.F. OF HABITABLE NON-ENCLOSED GARAGE SPACE IN EACH BUILDING B UNIT; TOTAL UNIT AREA IRRESPECTIVE OF G.F.A. IS 2,628 S.F.

\*\*GARAGE SQUARE FOOTAGE NOT TO BE INCLUDED IN FAR/ GFA CALCULATION

**SYMBOL LEGEND**

(A100) DOOR TYPE REFER TO THE DOOR SCHEDULE SHEET

XX/45/30 DETAIL REFERENCE UPPER PORTION INDICATES DETAIL NUMBER

XX/45/30 SHEET WHERE DETAIL IS DRAWN

XX/45/30 SHEET WHERE DETAIL ORIGINALLY TAKEN

X- WALL TYPE SYMBOL

B XX/45/30 INTERIOR ELEVATION REFERENCE ELEVATED WALLS ARE SHOWN SHADED

XX/45/30 UPPER PORTION INDICATES DETAIL NUMBER

XX/45/30 SHEET WHERE INTERIOR ELEVATION IS DRAWN

XX/45/30 SHEET WHERE ELEVATION ORIGINALLY TAKEN

XX/45/30 WALL SECTION REFERENCE UPPER PORTION INDICATES DETAIL NUMBER

XX/45/30 SHEET WHERE WALL SECTION IS DRAWN

XX/45/30 SHEET WHERE SECTION ORIGINALLY TAKEN

**DEVIATION REQUEST**

NO DEVIATIONS ARE BEING REQUESTED

**GENERAL NOTES**

- SITE DEVELOPMENT PERMIT IS REQUIRED WHEN A SITE DEVELOPMENT PERMIT DECIDED IN ACCORDANCE WITH PROCESS THREE IS REQUIRED FOR RESIDENTIAL DEVELOPMENT THAT INVOLVES THE FOLLOWING: WITHIN ANY MULTIPLE UNIT RESIDENTIAL ZONE, MULTIPLE UNIT RESIDENTIAL DEVELOPMENT THAT EXCEEDS THE NUMBER OF DWELLING UNITS INDICATED IN TABLE 126-05A ON LOTS WHICH ARE CONSOLIDATED OR OTHERWISE JOINED TOGETHER FOR THE PURPOSE OF ACCOMMODATING THE DEVELOPMENT.  
PER SDMC 126.0502 (b)(4) TABLE 126-05A

FINDING FOR SITE DEVELOPMENT PERMIT APPROVAL SDMC 126.0504

- THE PROPOSED DEVELOPMENT WILL NOT AVERSELY AFFECT THE APPLICABLE LAND USE PLAN.
- THE PROPOSED DEVELOPMENTS WILL NOT BE OETRIMENTAL TO PUBLIC HEALTH, SAFETY AND WELFARE.
- THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE REGULATIONS OF THE LAND DEVELOPMENT CODE INCLUDING AN ALLOWABLE DEVIATIONS PURSUANT TO THE LAND DEVELOPMENT CODE

- EXPEDITED PERMIT RESIDENTIAL DEVELOPMENT PROJECTS WHERE AT LEAST 10% OF THE UNITS ARE SET ASIDE FOR HOUSEHOLDS WITH AT OR BELOW 65% AMI FOR RENTALS UNITS AND AT OR BELOW 100% AMI FOR FOR-SALE UNITS SET FORTH IN THE CITY'S INCLUSIONARY HOUSING ORDINANCE

- GOLDEN HILLS DEVELOPMENT PERMIT SDMC 158.0206  
AN APPLICATION FOR GOLDEN HILLS DEVELOPMENT MAY BE APPROVED, CONTINUALLY APPROVED OR DENIED BY A HEARING OFFICER IN ACCORDANCE WITH PROCESS THREE. THE FOLLOWING PROJECTS SHALL BE REQUIRED TO OBTAIN A GOLDEN HILL DEVELOPMENT PERMIT

- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS THE OWNER/PERMITTEE SHALL ASSURE, BY OBTAINING DOCUMENTATION, AN A SDG&E JOB PACKAGE HAS BEEN ISSUED TO THE SDG&E CONSTRUCTION DEPARTMENT, TO RELOCATE THE EXISTING POWER POLE IN F STREET ADJACENT SITE TO A LOCATION APPROVED BY SDG&E AND SATISFACTORY TO THE CITY ENGINEER SHOULD RELOCATION BE REQUIRED AS DETERMINED BY SDG&E

**GENERAL NOTES**

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBDIVISION AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS OR POLICIES, INCLUDING BUT NOT LIMITED TO, THE FEDERAL ENGINEERED SPECIES ACT OF 1973 AND AMENDMENTS THERE TO (16 USC SECTION 1531 ET-SEQ).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE OBTAINED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8772 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DESTROYED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED IN WRITING AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY CONSTRUCTION.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIS ALERT (NOTIFICATION NUMBER) TO BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIS ALERT ID NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
- "PUBLIC IMPROVEMENT SUBJECT TO DEDUCTIBLE OR DAMAGE" IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMITTING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (RDM) 623-3200.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDEFINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 8485 AERO DR.
- THE AREA WHICH IS DESIGNATED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH LAWS BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK. DAMAGED BOXES OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SOIL GAS, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR  $f = 0.50$ ) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOARDS AND LIDS SHALL BE INSTALLED.

**GRADING NOTES**

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND BRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OF THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDRATED MIX GRASS COVER, OR EQUIVALENT MATERIAL.

**GROUND WATER DISCHARGE NOTES**

- ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. 89-2008-0002 NPDES CAG919002.
- THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.
- ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. 89-2008-0004 NPDES NO. CAG919001.

**WPCP NOTE**

- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

# GRADING PLANS FOR: CITY LIGHTS TOWN HOMES

**MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN**

- AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:
- STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
  - STRUCTURAL PRACTICES: DESLTING BASINS, DIMENSION DITCHES, DOWNSPANS, INLETS, OUTLET PROTECTION MEASURES AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND CROSS CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
  - OPERATION AND MAINTENANCE: FINISHING, POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

**PERMANENT POST-CONSTRUCTION BMP NOTES**

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SYMOMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, FOR THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

**GRADING & GEOTECHNICAL SPECIFICATIONS**

- ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BY A QUALIFIED GEO ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT ON GEOLOGICAL/GEOTECHNICAL INVESTIGATION DATED:
  - REPORT OF LIMITED GEOTECHNICAL INVESTIGATION CITY LIGHTS TOWN HOMES BOX 27TH ST. SAN DIEGO, CA JULY 1, 2009 (PROJECT NO. 093704)
  - PREPARED BY: C.R. LO MONTE CO., INC.
- ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF U.S.T.C. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
- AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT, OR IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR GEOTECHNICAL DESIGN. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS, THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA CERTIFIED ENGINEERING GEOLOGIST.
- IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCY FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.
- THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

|                          |       |                |      |
|--------------------------|-------|----------------|------|
| CLIFFORD WESTON LO MONTE | 25241 | R.C.E. OR C.E. | DATE |
| CLIFFORD WESTON LO MONTE | 465   | C.E.C.         | DATE |

C.R. LO MONTE COMPANY INC.  
4330 PALM AVE, SUITE 20, LA MESA, CA 91941  
619-462-8061

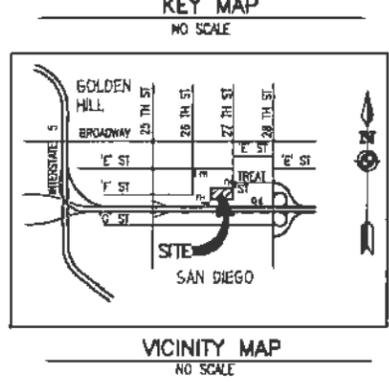
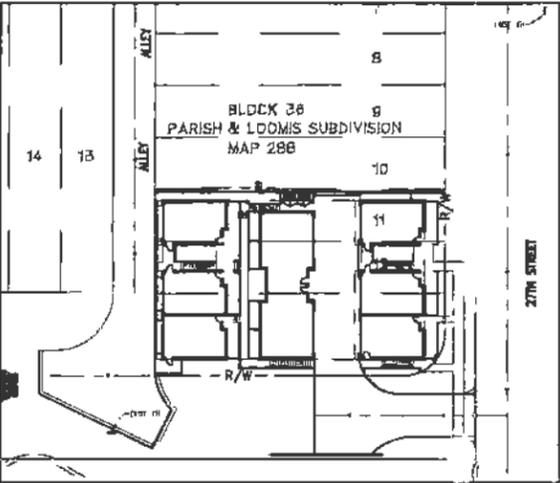
8. FOR SOIL FILE SEE CITY RECORD 5 - XXXXXX

**DECLARATION OF RESPONSIBLE CHARGE**

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE UNDER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 8750 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT MY DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

*Thomas A. Jones*  
THOMAS A. JONES, R.C.E. 34867  
5/22/15  
DATE



**SHEET INDEX**

| TITLE                                  | SHEET NO. |
|--|-----------|
| TITLE SHEET                            | 1         |
| GENERAL, SITE, FINING AND GRADING PLAN | 2         |
| UTILITY PLAN                           | 3         |
| CIVIL DETAILS                          | 4         |
| CIVIL DETAILS                          | 5         |

**ABBREVIATIONS**

|         |                  |      |                                |
|---------|------------------|------|--------------------------------|
| AL      | AREA LIGHT       | CF   | GATE POST                      |
| BLDG    | BUILDING         | CF   | CLUTTER                        |
| CB      | CATCH BASIN      | CH   | HIGH POINT                     |
| CLT     | CHAIN LINK FENCE | ICVB | IRRIGATION CONTROL VALVE BOX   |
| CONC    | CONCRETE         | ICVR | IRRIGATION CONTROL VALVE RELAY |
| CONDUIT | CONDUIT          | IE   | INVERT ELEVATION               |
| DBL     | DOUBLE           | IM   | MANHOLE                        |
| D       | DIAMETER         | POC  | POINT OF CONNECTION            |
| E       | ELECTRIC         | PP   | POWERPOLE                      |
| EC      | END OF CURVE     | RD   | ROOF DRAIN                     |
| ELEC    | ELECTRIC         | SB   | STRAND BARRED WIRE             |
| EPB     | ELECTRIC PULLBOX | SD   | STORM DRAIN                    |
| EP      | EDGE PAVEMENT    | SDMH | STORM DRAIN MANHOLE            |
| FN      | FIRE HYDRANT     | T    | TOP OF CURB                    |
| FO      | FIBER OPTIC      | TRMS | TRANSFORMER                    |
| GB      | GRADE BREAK      | VT   | VAULT                          |
|         |                  | W/   | WITH                           |

**OWNER/APPLICANT**

CITY LIGHTS PROPERTIES, LLC.  
2712 30TH ST.  
SAN DIEGO, CA 92104

**REFERENCE DRAWINGS**

|             |              |
|-------------|--------------|
| STORM DRAIN | (2544-0)     |
| WATER       | (27078-10-0) |
| WATER       | (6424-W)     |
| SEWER       | (8368-D)     |
| SEWER       | (8366-D)     |

**SITE ADDRESS**

BOX 5, 27TH STREET  
SAN DIEGO, CA 92113

**TOPOGRAPHY SOURCE**

FIELD SURVEY BY BDS ENGINEERING ON 2-07-2007

**TOTAL DISTURBED AREA**

0.58 ACRE

**GRADING QUANTITIES**

|                 |              |                                 |           |
|-----------------|--------------|---------------------------------|-----------|
| GRADED AREA     | 0.92 [ACRES] | MAX. CUT DEPTH                  | 11.5 [FT] |
| CUT QUANTITIES  | 2,300 [CY]   | MAX. CUT SLOPE RATIO (2:1 MAX)  | 2:1       |
| FILL QUANTITIES | 70 [CY]      | MAX. FILL DEPTH                 | 3 [FT]    |
| IMPORT/EXPORT   | 2,230 [CY]   | MAX. FILL SLOPE RATIO (2:1 MAX) | 2:1       |

THIS PROJECT PROPOSES TO EXPORT 2,230 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONFORMANCE USE PERMIT.

**ASSESSORS PARCEL NUMBER**

534-412-19  
534-412-20

**LEGAL DESCRIPTION**

LOTS 11 AND 12 IN BLOCK NO. 38 OF PARISH & LODDIS SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 288, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY MARCH 31, 1908, TOGETHER WITH A PORTION OF "I" STREET CLOSED AND DEDICATED TO PUBLIC USE.

**PRIVATE WATER AND WASTEWATER**

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.

**TRAFFIC CONTROL NOTE**

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (T/C PLAN) FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT DIVISION, 2ND FLOOR, ROOM 22, BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619-448-5150). CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

**NOTE:**

- UNDERGROUND UTILITIES AS SHOWN ARE FROM AVAILABLE DRAWINGS SUPPLEMENTED BY OBSERVED ALIGNMENTS WITH SURFACE MANHOLE MARKS, ETC. CONTRACTOR TO VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE TOPOGRAPHY SURVEY WAS COMPLETED ON FEBRUARY 07, 2007 BY BDS ENGINEERING. ANY OBSERVED UTILITIES FROM PLANS OR UTILITIES THAT ARE FOUND WHICH ARE NOT SHOWN ON PLANS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PROJECT MANAGER AND ENGINEER OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND/OR BENCHMARKS WHICH WILL BE DESTROYED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REPRODUCED AND INSTALLED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR A REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE LAND SURVEYORS ACT.
- A BOUNDARY SURVEY WAS NOT PERFORMED.

**WORK TO BE DONE**

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO

| STANDARD SPECIFICATIONS DOCUMENT NO. | DESCRIPTION  |
|--------------------------------------|--|
| PTS070112-01                         | STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2012 EDITION                  |
| PTS070112-02                         | CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (GREENBOOK), 2012 EDITION |
| PTS070112-04                         | CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012 EDITION  |
| PTS070112-06                         | CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2010 EDITION     |
| PTS070112-03                         | STANDARD DRAWINGS DOCUMENT NO. PTS070112-03  |
| PTS070112-05                         | DESCRIPTION: CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION     |
|                                      | CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2010 EDITION              |

**LEGEND**

| EXISTING TOPO             | SYMBOL |
|---------------------------|--------|
| EXISTING TOPOG            |        |
| EXISTING CABLE TELEVISION |        |
| EXISTING ELECTRICAL       |        |
| EXISTING GAS MAIN         |        |
| EXISTING SEWER MAIN       |        |
| EXISTING WATER MAIN       |        |
| EXISTING SEWER MANHOLE    |        |

| NEW SPOT ELEVATIONS | SYMBOL |
|---------------------|--------|
| 366.00              |        |
| 365.00              |        |
| 373                 |        |
| 2:1                 |        |
| DRYLIGHT            |        |
| PROPERTY LINE       |        |
| RIGHT OF WAY        |        |

| 6" CURB                | SYMBOL |
|------------------------|--------|
| 500-150, 500-109, 6-10 |        |
| 6" CURB & GUTTER       | SYMBOL |
| 500-151, 500-109, 6-10 |        |
| SIDEWALK               | SYMBOL |
| 500-150, 500-109, 6-10 |        |

| P.C.C. PAVEMENT   | SYMBOL |
|-------------------|--------|
| 6-10, 6-18        |        |
| CONCRETE DRIVEWAY | SYMBOL |
| 500-100           |        |

| FIRE SERVICE    | SYMBOL |
|-----------------|--------|
| 50W-100         |        |
| WATER SERVICE   | SYMBOL |
| 50W-190         |        |
| WATER METER BOX | SYMBOL |
| 50W-134         |        |

| GATE VALVE       | SYMBOL |
|------------------|--------|
| 50W-192, 50W-133 |        |
| SEWER            | SYMBOL |
| PRIVATE          |        |
| SEWER CLEANOUT   | SYMBOL |
| 50S-102          |        |
| SEWER LATERAL    | SYMBOL |
| 50S-104          |        |

| STORM DRAIN            | SYMBOL |
|------------------------|--------|
| 500-110                |        |
| ROOF DRAIN             | SYMBOL |
| 500-110                |        |
| WATER MAIN             | SYMBOL |
| 50W-110                |        |
| 24" X 24" CATCH BASIN  | SYMBOL |
| SEE DETAIL 2, SHEET C4 |        |
| AREA DRAIN             | SYMBOL |
| SEE DETAIL 1, SHEET C4 |        |

| RR R/W                                | SYMBOL |
|---------------------------------------|--------|
| 500-104                               |        |
| BROWN OTCH                            | SYMBOL |
| 500-108                               |        |
| RETAINING WALL                        | SYMBOL |
| SEE SEPARATE PERMIT 500-105, C-1, C-8 |        |

ENGINEERING PERMIT NO. \_\_\_\_\_  
DISCRETIONARY PERMIT NO. \_\_\_\_\_  
NEED NO. \_\_\_\_\_  
RETAINING WALL PROJECT NO. \_\_\_\_\_  
CONSTRUCTION SITE \_\_\_\_\_  
STORM WARE PROPHY. \_\_\_\_\_  
PRIVATE CONTRACT \_\_\_\_\_

**TITLE SHEET FOR:  
CITY LIGHTS TOWN HOMES**

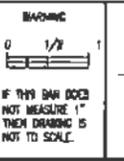
|  |                             |
|--|-----------------------------|
| CITY OF SAN DIEGO, CALIFORNIA<br>SHEET 1 OF 4 SHEETS | ALL NEW PROJECT REL. DESIGN |
|--|-----------------------------|

| DATE     | BY  | APPROVED BY | DATE | FLAVOR |
|----------|-----|-------------|------|--------|
| ORIGINAL | XXX |             |      |        |

AS-BUILT 7/5  
CONTRACTOR \_\_\_\_\_  
INSPECTOR \_\_\_\_\_

**CONSTRUCTION CHANGE TABLE**

| CHANGE | DATE | EFFECTED OR ADDED SHEET NUMBERS | APPROVAL NO. |
|--------|------|---------------------------------|--------------|
|        |      |                                 |              |



**CITY OF SAN DIEGO  
DEVELOPMENT SERVICES DEPARTMENT**



**BENCH MARK**

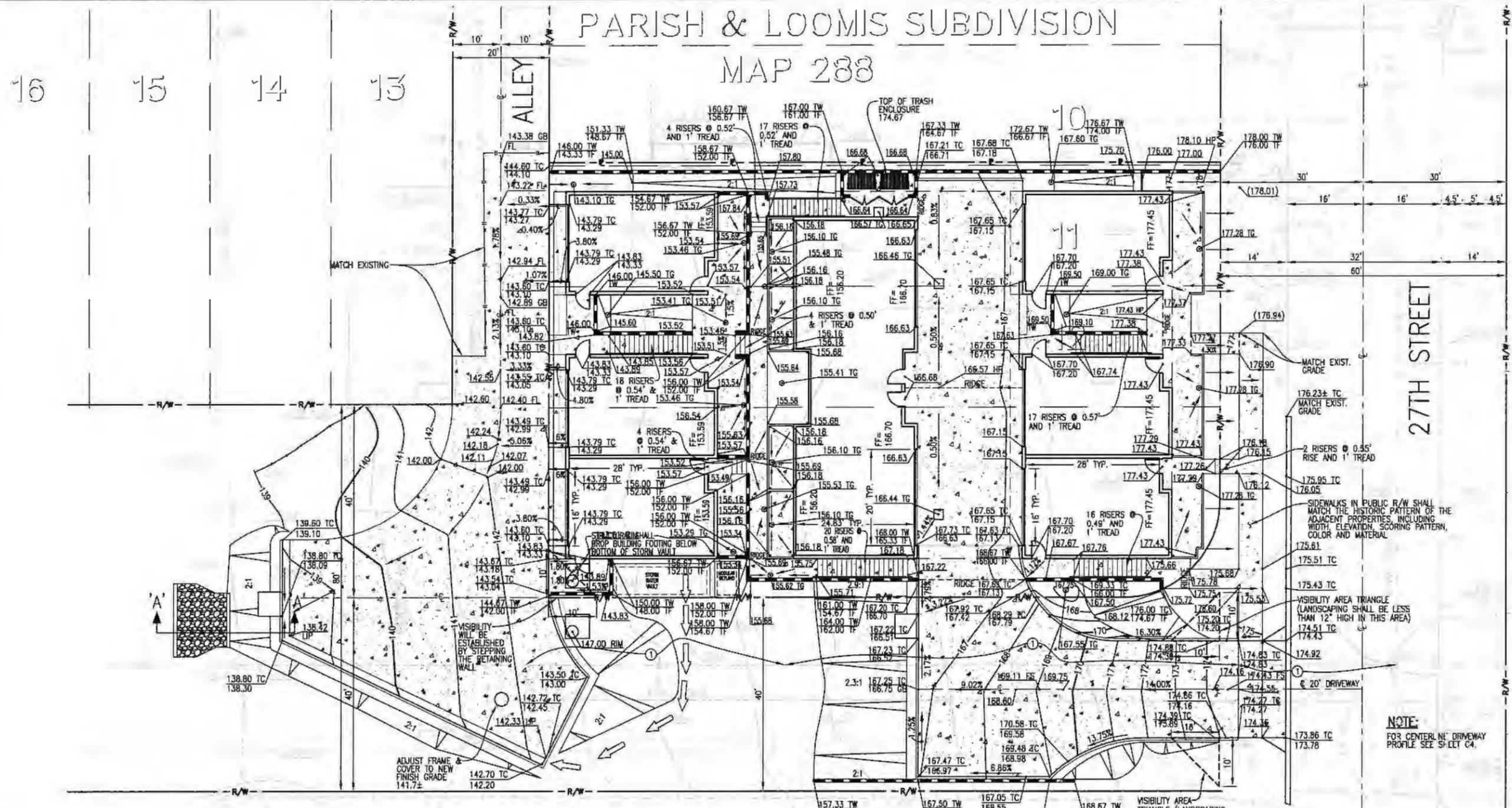
DESCRIPTION: CITY OF SAN DIEGO STANDARD BENCHMARK  
LOCATION: SOUTHWEST CURB RETURN OF 27TH STREET & 'E' STREET  
RECORDS FROM: ELEVATION: 186.130 DATE: M.S.L.

**ENGINEER OF WORK:**  
BDS ENGINEERING, INC.  
CIVIL ENGINEERING  
LAND SURVEYING  
8850 Friars Rd., San Diego, CA 92108  
(619) 582-4992  
ENC. FILE 1 - PROJECTS/7/07/15/Eng/Qual/5/22/15/017-C109  
*Thomas A. Jones*  
ENGINEER (R.C.E.)  
DATE: 5/22/15 JOB NO. 07-08

**STREET DATA TABLE**

| STREET NAME | CLASSIFICATION | SPEED (MPH) | W/T (FEET) | R/W (FT) |
|-------------|----------------|-------------|------------|----------|
| 27TH STREET | LOCAL          | 20          |            | 60       |

**C1**

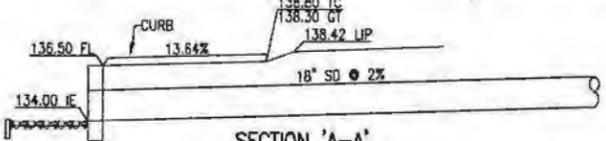
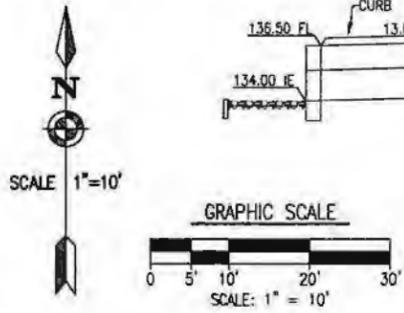


- NOTES:**
- FOR ADDITIONAL INFORMATION, LEGEND, ABBREVIATIONS, BENCHMARK, AND HORIZONTAL CONTROL, SEE SHEET C1.
  - FOR ADDITIONAL NOTES, SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE PLANS.
  - RETAINING WALLS: LENGTH 382 FEET; MAXIMUM HEIGHT 6.67 FEET.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

**LEGEND**  
ALL SCREENED ITEMS ARE EXISTING

|                    |  |
|--------------------|--|
| DAYLIGHT LINE      |  |
| NEW CONTOUR        |  |
| NEW SPOT ELEVATION |  |
| NEW SLOPES         |  |
| DIRECTION OF FLOW  |  |

**DEMOLITION NOTES:**  
CLEAR AND GRUB WITHIN PROJECT LIMITS  
① REMOVE EXISTING WATER LINE AND APPURTENANCES



**ENGINEER OF WORK:**  
BDS ENGINEERING, INC.  
CIVIL ENGINEERING  
LAND SURVEYING  
8859 Federal Boulevard  
Lemon Grove, California 91946  
(619) 682-4892  
INC. FILE: L:\PROJECTS\0708\Eng\0808\Site Development\SHI-2.dwg

ENGINEER R.C.E. DATE 5/22/15 JOB NO. 07-08



PRIVATE CONTRACT

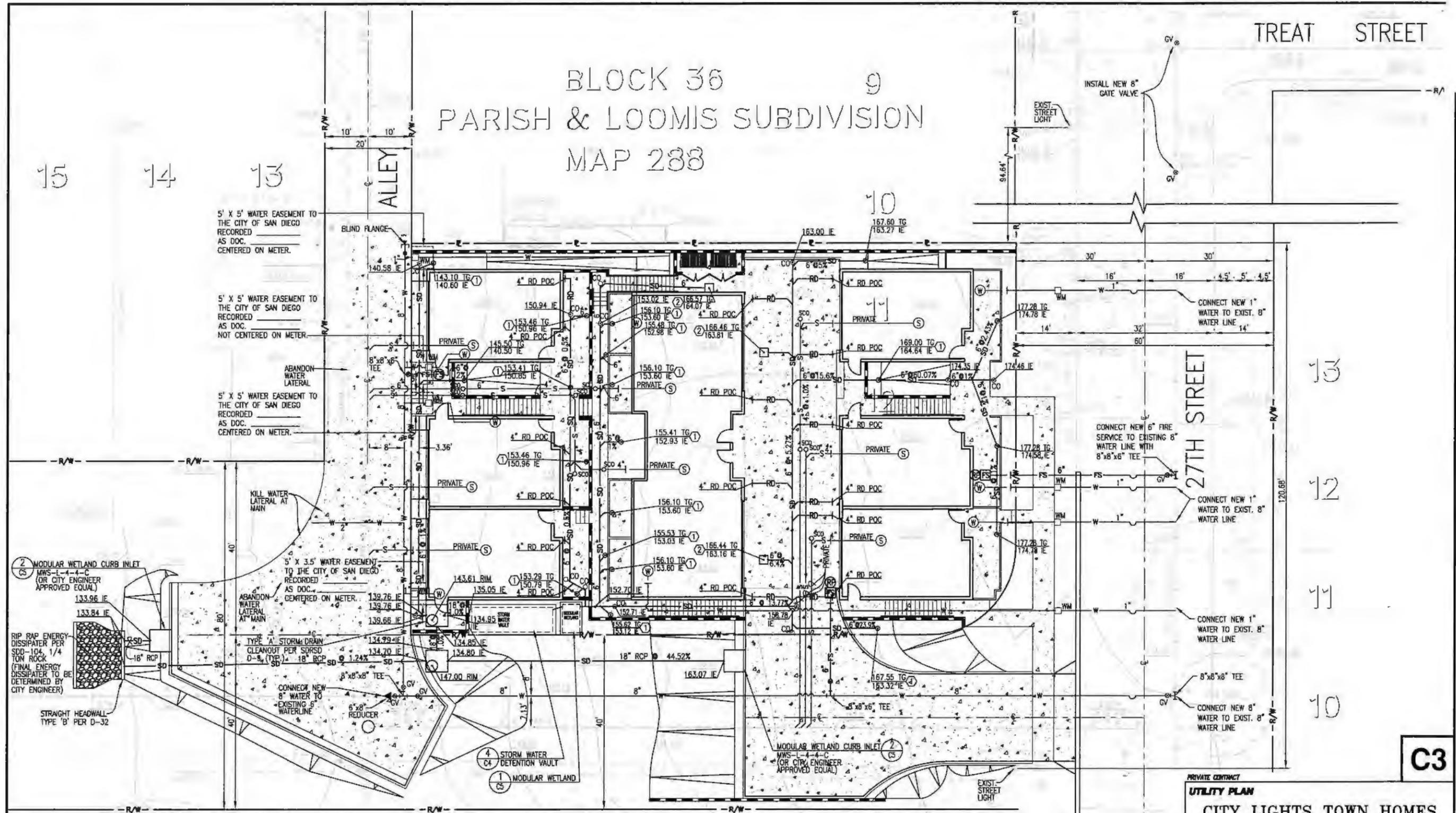
**DEMOLITION, SITE, PAVING & GRADING PLAN**

**CITY LIGHTS TOWN HOMES**

|                               |     |                     |      |                  |  |
|-------------------------------|-----|---------------------|------|------------------|--|
| CITY OF SAN DIEGO, CALIFORNIA |     | SHEET 3 OF 4 SHEETS |      | SHEET NO. 220206 |  |
| FOR CITY ENGINEER             |     | DATE                |      | V.T.R.           |  |
| DESCRIPTION                   | BY  | APPROVED            | DATE | FILED            |  |
| ORIGINAL                      | XXX |                     |      |                  |  |
| AS-BUILTS                     |     |                     |      |                  |  |
| CONTRACTOR                    |     | DATE STARTED        |      |                  |  |
| INSPECTOR                     |     | DATE COMPLETE       |      |                  |  |

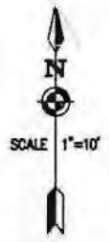
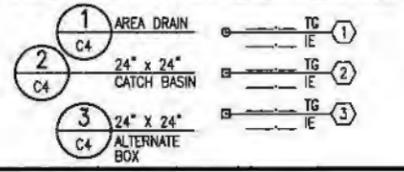
1846-6207  
NAMES COORDINATES  
200-1708  
LAWRENCE COORDINATES

**C2**



- NOTES:**
- FOR ADDITIONAL INFORMATION, LEGEND, ABBREVIATIONS, BENCHMARK, AND HORIZONTAL CONTROL, SEE SHEET C1.
  - FOR ADDITIONAL NOTES, SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE PLANS.
  - ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
  - PRIVATE SEWER LATERAL CONNECTION INTO THE EXISTING PUBLIC SEWER MAIN REQUIRES AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
  - NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.

**STORM DRAIN INLET STRUCTURE SCHEDULE**

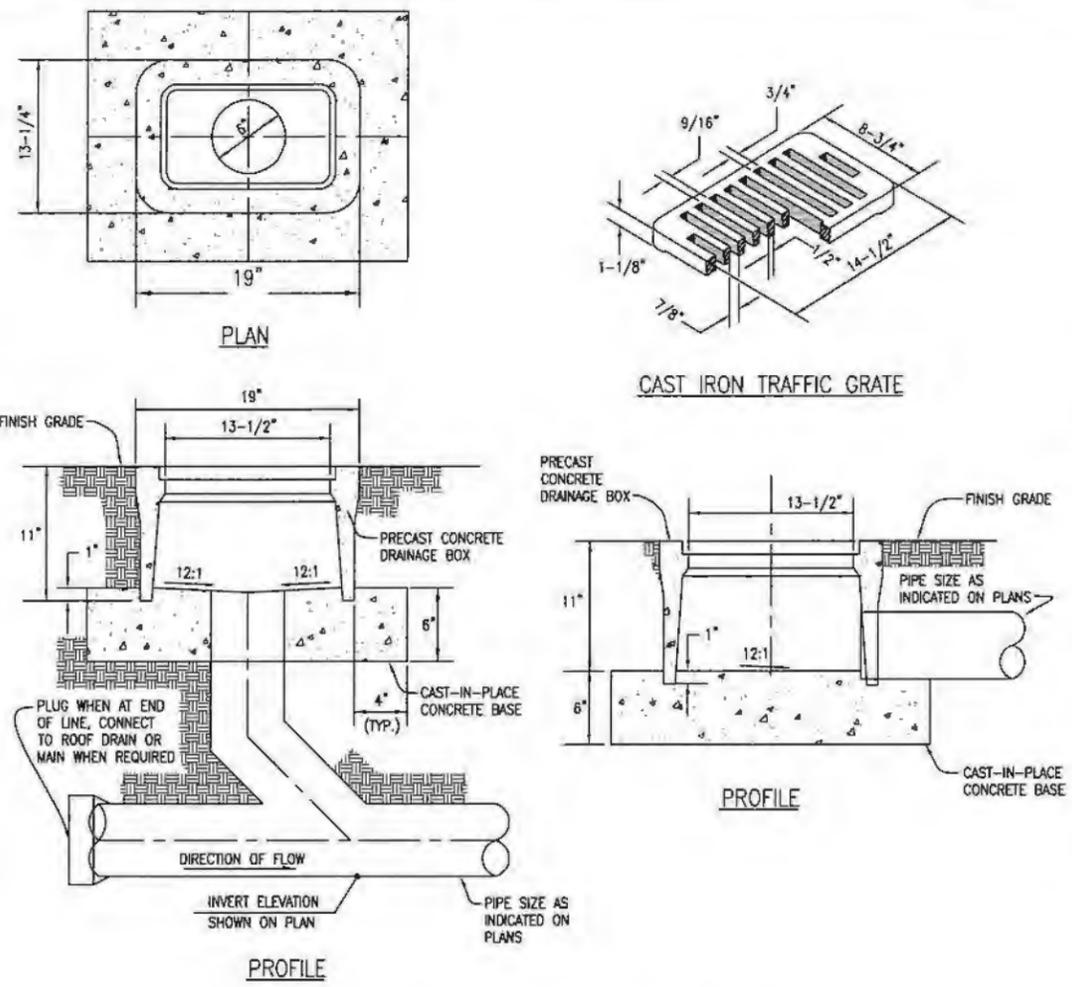


ENGINEER OF WORK:  
BDS ENGINEERING, INC.  
CIVIL ENGINEERING  
LAND SURVEYING  
8859 Federal Boulevard  
Lemon Grove, California 91945  
(619) 682-4992  
DWG. FILE: L:\PROJECTS\9708\Eng\09\04\Site Development\SD-3.dwg

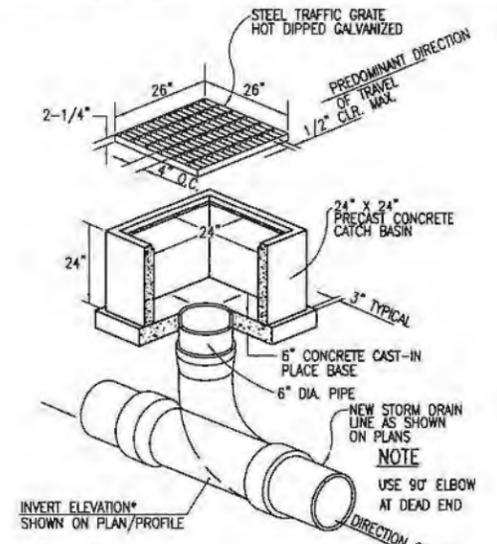


|  |              |                                    |       |
|--|--------------|------------------------------------|-------|
| PRIVATE CONTRACT                                     |              | CITY LIGHTS TOWN HOMES             |       |
| CITY OF SAN DIEGO, CALIFORNIA<br>SHEET 3 OF 4 SHEETS |              | JOB NO. _____<br>PROJECT NO. _____ |       |
| FOR CITY ENGINEER                                    | DATE         | DATE                               | FILED |
| DESCRIPTION  | BY           | APPROVED                           | DATE  |
| ORIGINAL   | XXX          |                                    |       |
| AS-BUILTS  |              |                                    |       |
| CONTRACTOR   | DATE STARTED | DATE COMPLETED                     |       |
| INSPECTOR  |              |                                    |       |

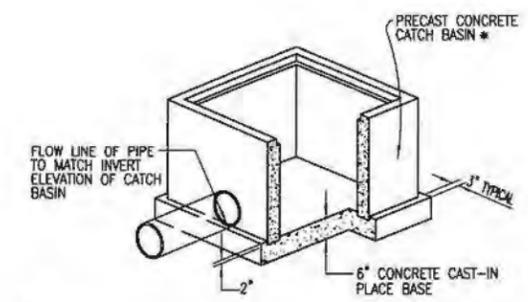
**C3**



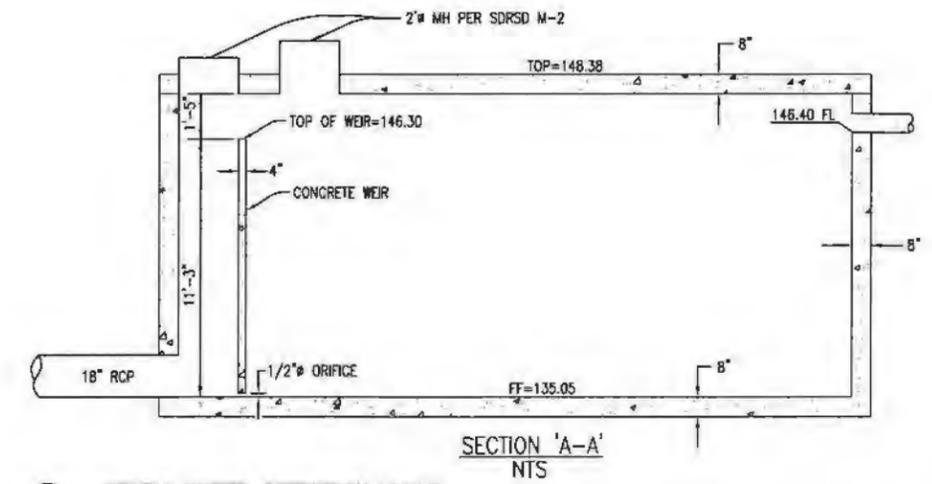
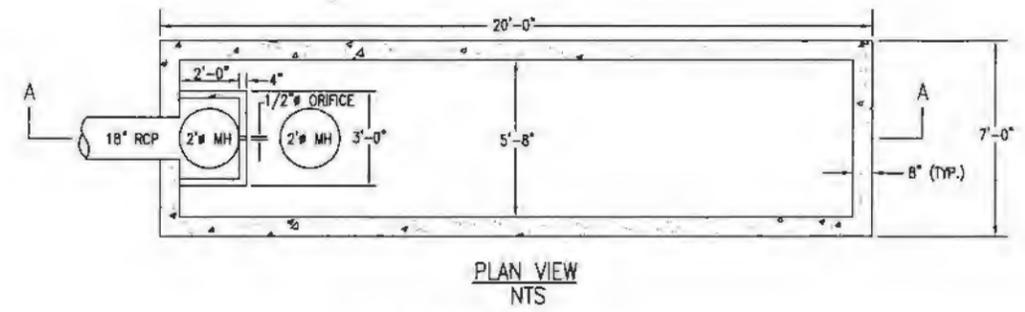
**1** AREA DRAIN  
NO SCALE



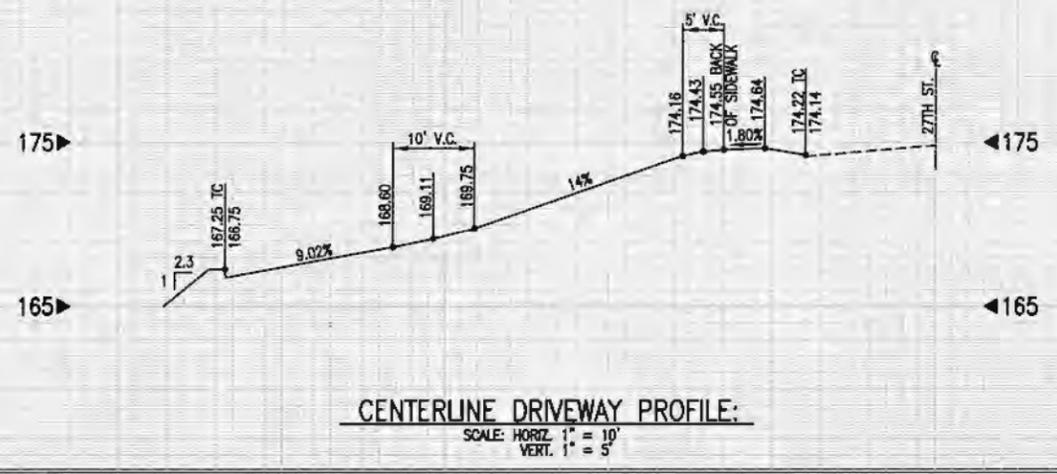
**2** 24" X 24" CATCH BASIN  
NO SCALE



**3** ALTERNATE BOX/PIPE CONFIGURATION  
NO SCALE



**4** STORM WATER DETENTION VAULT  
NO SCALE



CENTERLINE DRIVEWAY PROFILE:  
SCALE: HORIZ. 1" = 10'  
VERT. 1" = 5'

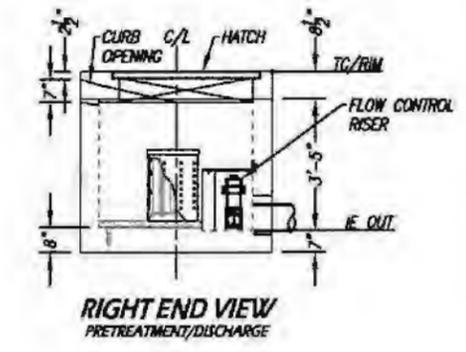
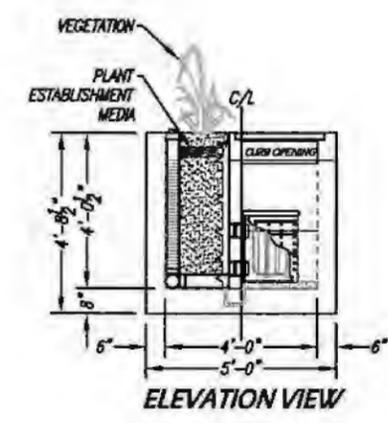
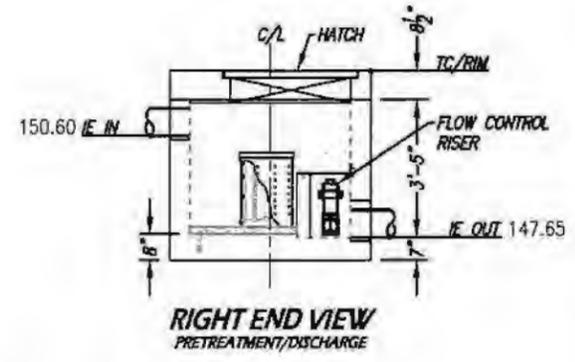
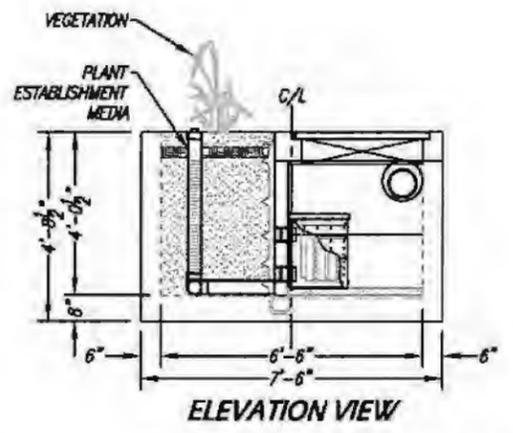
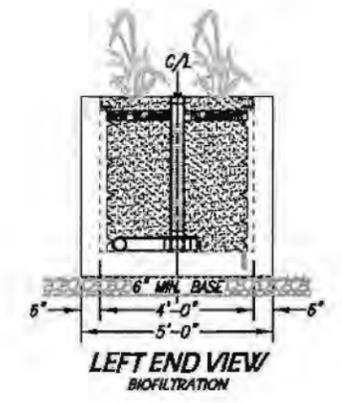
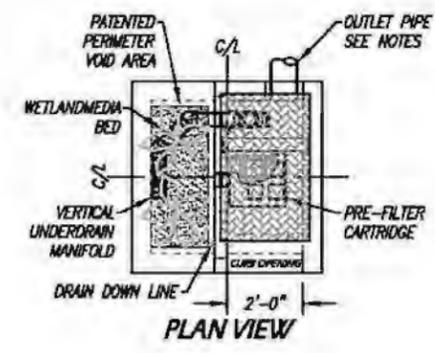
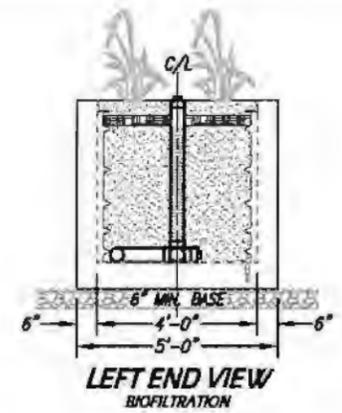
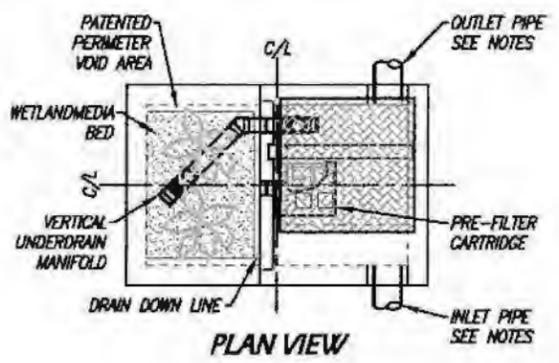
**C4**

ENGINEER OF WORK:  
BDS ENGINEERING, INC.  
CIVIL ENGINEERING  
LAND SURVEYING  
8859 Federal Boulevard  
Lemon Grove, California 91945  
(619) 582-4992  
DWG. FILE: L:\PROJECTS\0708\Exp\Onsite\Site Development\DW-4.dwg

REGISTERED PROFESSIONAL ENGINEER  
THOMAS A. JONES  
34967  
EXP. 12-31-15  
CIVIL  
STATE OF CALIFORNIA

ENGINEER R.C.E. DATE 5/22/15 JOB NO. 07-08

|  |                |                              |                                |
|--|----------------|------------------------------|--------------------------------|
| PRIVATE CONTRACT                                     |                |                              |                                |
| CIVIL DETAILS  |                |                              |                                |
| CITY LIGHTS TOWN HOMES                               |                |                              |                                |
| CITY OF SAN DIEGO, CALIFORNIA<br>SHEET 4 OF 4 SHEETS |                | LD. NO.<br>PROJECT NO. 15096 |                                |
| FOR CITY ENGINEER                                    |                | DATE                         |                                |
| DESIGNED BY  | APPROVED       | DATE                         | FILED                          |
| DRUMM  | XXX            |                              |                                |
| AS-BUILTS  |                |                              |                                |
| CONTRACTOR   | DATE STARTED   |                              |                                |
| INSPECTOR  | DATE COMPLETED |                              |                                |
|  |                |                              | 1048-6289<br>MARKS COORDINATES |
|  |                |                              | 200-1728<br>LAUREY COORDINATES |



BOX IS 7'-6" x 5'-0"

1 **MODULAR WETLAND  
MWS-L-4-6.5-V**  
NO SCALE

2 **MODULAR WETLAND CURB INLET  
MWS-L-4-4-C**  
NO SCALE

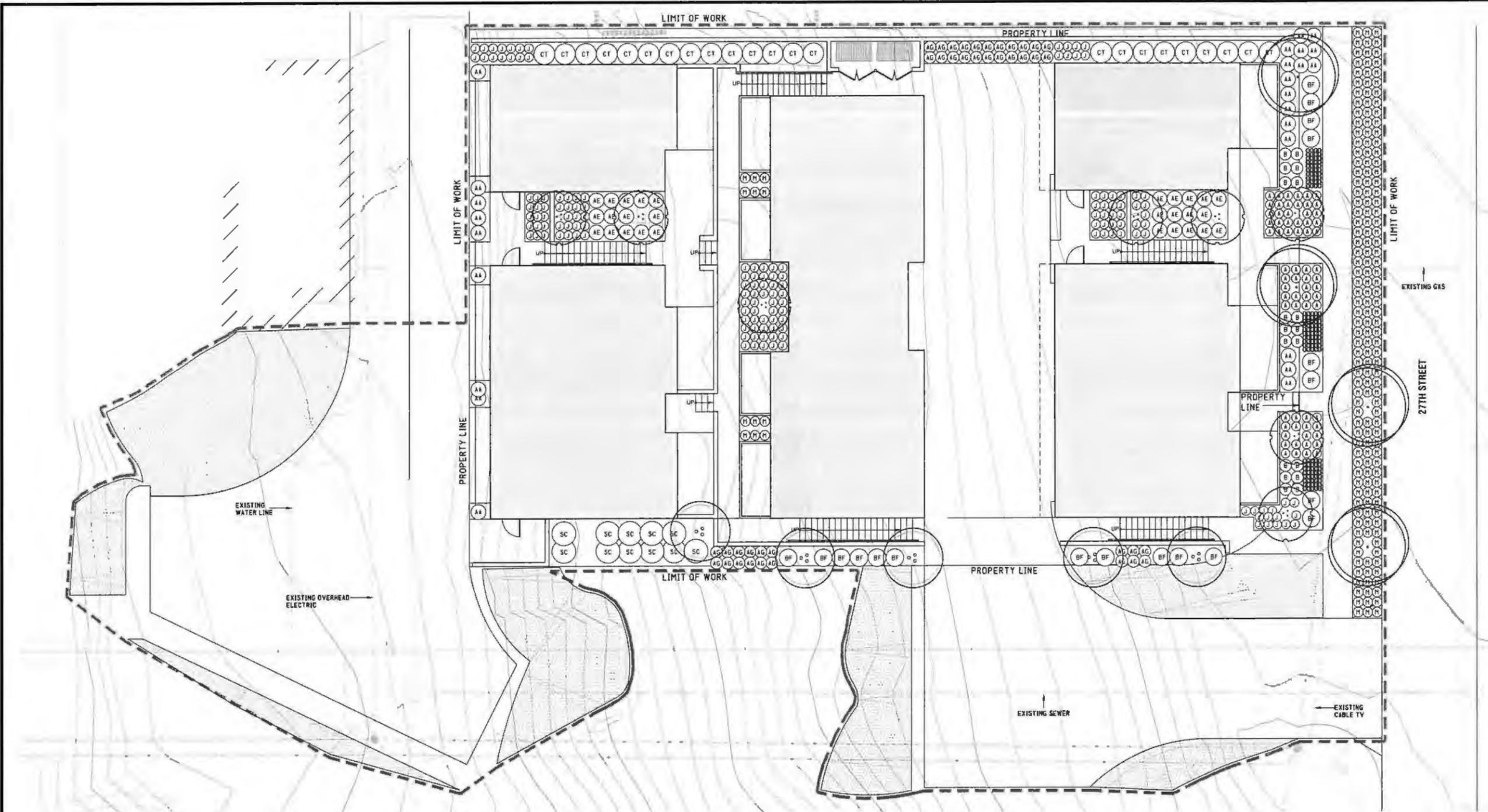
C5

ENGINEER OF WORK:  
BDS ENGINEERING, INC.  
CIVIL ENGINEERING  
LAND SURVEYING  
8859 Federal Boulevard  
Lemon Grove, California 91946  
(619) 582-4892  
DWG. FILE: L:\PROJECTS\0708\Eng\Draws\Site Development\SH1-5.dwg



ENGINEER R.C.E. DATE 5/22/15 JOB NO. 07-08

|   |                |      |                                     |
|---|----------------|------|-------------------------------------|
| PRIVATE CONTRACT                                      |                |      |                                     |
| <b>CIVIL DETAILS</b>                                  |                |      |                                     |
| <b>CITY LIGHTS TOWN HOMES</b>                         |                |      |                                     |
| CITY OF SAN DIEGO, CALIFORNIA<br>SHEET 27 OF 4 SHEETS |                |      | LD. NO. _____<br>PROJECT NO. 150206 |
| FOR CITY ENGINEER                                     |                | DATE |                                     |
| DESIGNED BY   | APPROVED       | DATE | FILED                               |
| ORIGINAL  | XXX            |      |                                     |
| AS-BUILT  |                |      |                                     |
| CONTRACTOR  | DATE STARTED   |      |                                     |
| INSPECTOR   | DATE COMPLETED |      |                                     |



| SYMBOL        | BOTANICAL NAME                       | COMMON NAME            | CONTAIN. SIZE PLANTS | ON CENTER SPACING | MATURE SIZE H X W |
|---------------|--------------------------------------|------------------------|----------------------|-------------------|-------------------|
| <b>TREES</b>  |                                      |                        |                      |                   |                   |
| (AA)          | ARBUTUS UNEDO                        | STRAWBERRY TREE        | 24" B x 15" G        | AS SHOWN          | 30" H X 26" W     |
| (AE)          | GELERA PARVIFLORA                    | AUSTRALIAN WILLOW      | 36" BOX              | AS SHOWN          | 25" H X 20" W     |
| (B)           | LAGERSTROEMIA FAURIEI 'NANCHEZ'      | WHITE CRAPE NYRTLE     | 36" BOX              | AS SHOWN          | 20" H X 18" W     |
| <b>SHRUBS</b> |                                      |                        |                      |                   |                   |
| (AA)          | AEDONIUM ARBOREUM 'ELECTRA'          | PURPLE PINWHEEL        | 1 GAL                | 30"               | 1-2' X 2-3'       |
| (AE)          | AEDONIUM CANARIENSE                  | GIANT VELVET ROSE      | 1 GAL                | 30"               | 1-2' X 2-3'       |
| (B)           | AGAVE 'BLUE GLOW'                    | BLUE GLOW AGAVE        | 5 GAL                | 18"               | 18" X 24"         |
| (J)           | ALOE STRIATA                         | CORAL ALOE             | 1 GAL                | 18"               | 2-3' X 1-2'       |
| (AG)          | ANIGOZANTHOS 'BUSH DAWN'             | YELLOW KANGAROO PAW    | 1 GAL                | 24"               | 4-8' X 1-2'       |
| (BF)          | BULBINE FRUIT, 'TINY TANGERINE'      | ORANGE STALKED BULBINE | 1 GAL                | 36"               | 1-2' X 3-4'       |
| (CT)          | CHONDROPETALUM TECTORIUM             | SMALL CAPE RUSH        | 1 GAL                | 42"               | 36" X 36"         |
| (Q)           | COTYLEDON D. VAR. OBLONGA 'UNDULATA' | SILVER RUFFLES         | 1 GAL                | 8"                | 1-2' X 4'         |

| SYMBOL       | BOTANICAL NAME                     | COMMON NAME                   | CONTAIN. SIZE PLANTS | ON CENTER SPACING | MATURE SIZE H X W |
|--------------|------------------------------------|-------------------------------|----------------------|-------------------|-------------------|
| (J)          | JUNCUS PATENS 'ELK BLUE'           | ELK BLUE CA. GRAY RUSH        | 1 GAL                | 18"               | 1-2' X 1-2'       |
| (H)          | MISCANTHUS SINENSIS 'ADAGIO'       | DWARF MAIDEN GRASS            | 1 GAL                | 20"               | 36" X 36"         |
| (SC)         | SALVIA CLEVELANDII 'WINFRED BILM'  | WINFRED GILMAN CLEVELAND SAGE | 1 GAL                | 36"               | 4-5' X 2-5'       |
| <b>OTHER</b> |                                    |                               |                      |                   |                   |
| (SC)         | HYDRASEED MIX HABITAT PRESERVATION |                               |                      |                   |                   |

ADAPTED + NATIVE GRASSES AND SHRUBS SUCH AS:  
 2.0 LB. AENOSTOMA FASCICULATUM  
 4.0 LB. ARTEMISIA CALIFORNICA  
 4.0 LB. BACCHARIS SAROTHOIDES AND/OR  
 1.0 LB. BACCHARIS PILULARIS  
 8.0 LB. ATRIPLEX CANESCENS  
 8.0 LB. CEANOTHUS CYANEUS AND/OR  
 3.0 LB. CEANOTHUS MEGACARPUS AND/OR  
 3.0 LB. CEANOTHUS TOMENTOSUS OLYVACEUS  
 0.5 LB. DENDROMECON RIGIDA  
 2.0 LB. ENCELIA CALIFORNICA  
 6.0 LB. ERIOGONUM FASCICULATUM  
 1.0 LB. ERIOPHYLLUM CONFERTIFLORUM  
 1.0 LB. FREMONTODEDRON MEXICANUM  
 2.0 LB. HETEROMELES ARBUTIFOLIA  
 6.0 LB. LOTUS SCOPARIUS  
 2.0 LB. LUPINUS LONGIFOLIUS  
 2.0 LB. MALOSMA LAURINA  
 1.0 LB. MIMULUS LONGIFOLIUS

NOTES:  
 (1) PROVIDE 2" OF 3/4"-2" DECORATIVE GRAVEL MULCH AT LEVEL SUCCULENT AREAS  
 (2) PROVIDE 3" OF BARK MULCH AT ALL OTHER AREAS  
 (3) PROVIDE ROOT BARRIER AT ALL INSTANCES WHERE TREES ARE CLOSER THAN 5' FROM PAVING OR STRUCTURES  
 (4) TREES OFFSET:  
 5' FROM UNDERGROUND UTILITIES  
 10' FROM ABOVE GROUND UTILITIES  
 10' FROM DRIVEWAYS

NOTES:  
 FOR FULL LEGEND, SEE SHEET L1.2

1.0 LB. MIMULUS PUNICEUS  
 2.0 LB. RHUS INTEGRIFOLIA  
 2.0 LB. RHUS OVATA  
 2.0 LB. SALVIA APLIANA  
 2.0 LB. SALVIA MELLIFERA  
 6.0 LB. VIGUIERA LACINIATA

SYMBOL
 BOTANICAL NAME |

NORTH  
SCALE: 1/8" = 1'-0"



LASTRAS DE GERTLER LANDSCAPE ARCHITECTS, INC.  
 Contact: Rodolfo Lastras de Gertler  
 E-mail: rger@lsg-land.com  
 T: 619.922.2100

REVISION 5: \_\_\_\_\_  
 REVISION 4: \_\_\_\_\_  
 REVISION 3: \_\_\_\_\_  
 REVISION 2: \_\_\_\_\_  
 REVISION 1: 03.05.2015

ORIGINAL DRAWING PREPARATION DATE: \_\_\_\_\_  
 SHEET #: \_\_\_\_\_ OF: \_\_\_\_\_  
 SHEET TITLE: \_\_\_\_\_

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
 POINT OF DEPARTURE ARCHITECTURE

**PLANTING LEGEND**

| SYMBOL        | BOTANICAL NAME                       | COMMON NAME                    | CONTAIN. SIZE PLANTS | ON CENTER SPACING | MATURE SIZE H X W | SPACING FROM HARDSCAPE | QTY COMMENTS | SUN / SHADE            |
|---------------|--------------------------------------|--------------------------------|----------------------|-------------------|-------------------|------------------------|--------------|------------------------|
| <b>TREES</b>  |                                      |                                |                      |                   |                   |                        |              |                        |
|               | ARBUTUS UNEDO                        | STRAWBERRY TREE                | 24" B x 15 G         | 45 SHOWN          | 30" H X 25" W     | AS SHOWN 8             | MULTI        | FULL SUN               |
|               | DELJEIA PARVIFLORA                   | AUSTRALIAN WILLOW              | 36" BOX              | 45 SHOWN          | 25" H X 20" W     | AS SHOWN 4             | STANDARD     | FULL SUN               |
|               | LAGERSTROEMIA FAURIEI 'NANCHEZ'      | WHITE CRAPE MYRTLE             | 36" BOX              | 45 SHOWN          | 20" H X 18" W     | AS SHOWN 5             | MULTI        | SUN / SHADE            |
| <b>SHRUBS</b> |                                      |                                |                      |                   |                   |                        |              |                        |
|               | AECONIUM ARBOREUM 'ELECTRA'          | PURPLE PINWHEEL                | 1 GAL                | 30"               | 1-2' X 2-3'       | 18"                    | 25           | FULL SUN               |
|               | AECONIUM CANARIENSE                  | GIANT VELVET ROSE              | 1 GAL                | 30"               | 1-2' X 2-3'       | 18"                    | 28           | FULL SUN               |
|               | AGAVE 'BLUE GLOW'                    | BLUE GLOW AGAVE                | 3 GAL                | 18"               | 18" X 24"         | 12"                    | 18           | FULL SUN               |
|               | HALDE STRIATA                        | CORAL ALOE                     | 1 GAL                | 18"               | 2-3' X 1-2'       | 12"                    | 15           | FULL SUN               |
|               | ANIGONANTHOS 'BUSH DAWN'             | YELLOW KANGAROO PAN            | 1 GAL                | 24"               | 4-6' X 1-2'       | 12"                    | 40           | FULL SUN               |
|               | BULBINE FRUIT, 'TIMY TANGERINE'      | ORANGE STALKED BULBINE         | 1 GAL                | 30"               | 1-2' X 3-4'       | 24"                    | 18           | PARTIAL SHADE/FULL SUN |
|               | CHROMOPETALUM TECTORIUM              | SMALL CAPE RUSH                | 1 GAL                | 24"               | 36" X 48"         | 24"                    | 70           | SUN / SHADE            |
|               | COTYLEDON O, VAR. OBLONGA 'UNOVLATA' | SILVER RUFFLES                 | 1 GAL                | 8"                | 1-2' X 1-2'       | 8"                     | 150          | FULL SUN               |
|               | JURDUS PATENS 'ELK BLUE'             | ELK BLUE CA. GRAY RUSH         | 1 GAL                | 18"               | 1-2' X 1-2'       | 12"                    | 100          | SUN / SHADE            |
|               | MISCANTHUS SINENSIS 'ABAGIO'         | DWARF MAIDEN GRASS             | 1 GAL                | 30"               | 36" X 36"         | 18"                    | 105          | SUN / SHADE            |
|               | SALVIA CLEVELANDI 'WINIFRED GILMAN'  | WINIFRED GILMAN CLEVELAND SAGE | 1 GAL                | 48"               | 4-5' X 4-5'       | 30"                    | 11           | FULL SUN               |

**OTHER**

HYDROSEED MIX  
 HABITAT PRESERVATION

**DESCRIPTION**

ADAPTED + NATIVE GRASSES AND SHRUBS SUCH AS:  
 Z.L.B. ACHYSTOMA FASCICULATUM  
 Z.L.B. ARTEMISIA CALIFORNICA  
 Z.L.B. BACCHARIS SARDOTHROIDES AND/OR  
 Z.L.B. BACCHARIS PILULARIS  
 Z.L.B. ATRIPLEX CANESCENS  
 Z.L.B. CEANOTHUS CYANEUS AND/OR  
 Z.L.B. CEANOTHUS MEGACARPUS AND/OR  
 Z.L.B. CEANOTHUS TOMENTOSUS OLIVACEUS  
 Z.L.B. OENONTHE RIGIDA  
 Z.L.B. ENGELIA CALIFORNICA  
 Z.L.B. ERIGONUM FASCICULATUM  
 Z.L.B. ERIOPHYLLUM CONFERTIFLORUM  
 Z.L.B. FRENCHMONTODENDRON MEXICANUM  
 Z.L.B. HE TERNOMELES ARBUTIFOLIA  
 Z.L.B. LOTUS SCOPARIUS  
 Z.L.B. LUPINUS LONGIFOLIUS  
 Z.L.B. MALOSPRA LAURINA  
 Z.L.B. MOLULUS LONGIFOLIUS  
 Z.L.B. MOLULUS PLUMICEUS  
 Z.L.B. RHUS INTEGRIFOLIA  
 Z.L.B. RHUS DYATA  
 Z.L.B. SALVIA SPIANA  
 Z.L.B. SALVIA MELLIFERA  
 Z.L.B. VIGUIERA LACINATA

**NOTES:**

- PROJECT TO BE IRRIGATED WITH AN AUTOMATIC HIGH EFFICIENT IRRIGATION SYSTEM CONSISTING IN BELOW GRADE DRIP AND SPRAY/ROTOR SYSTEMS, WHERE APPLICABLE. PROJECT WILL BE MAINTAINED BY OWNER.
- PROVIDE 2" OF 3/4"-2" DECORATIVE GRAVEL MULCH AT LEVEL SUCCULENT AREAS
- PROVIDE 3" OF BARK MULCH AT ALL OTHER AREAS
- PROVIDE ROOT BARRIER AT ALL INSTANCES WHERE TREES ARE CLOSER THAN 5' FROM PAVING OR STRUCTURES
- TREES OFFSET:
  - 5' FROM UNDERGROUND UTILITIES
  - 10' FROM ABOVE GROUND UTILITIES
  - 10' FROM DRIVEWAYS

| WATER USE CALCULATIONS                       |                 |
|--|-----------------|
| <b>WATER BUDGET</b>                          |                 |
| MAWA = (ETo) (0.8) (0.7 X L4 + 0.3 X S4.4)   |                 |
| MAWA = (48.5) (0.8) (0.7 X 1.25 + 0.3 X 0.2) | 2200 Gallons    |
|  | 7000 cubic feet |
|  | 0.03 acre-foot  |

**NOTES**

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- MINIMUM TREE SEPARATION DISTANCE IMPROVEMENTS / MINIMUM DISTANCE TO STREET TREE TRAFFIC SIGNALS / STOP SIGNS - 20 FT  
 UNDERGROUND UTILITY LINES - 5 FT (EXCEPT SEWER) SEWER LINE - 18 FT  
 ABOVE GROUND UTILITY STRUCTURES - 10 FT  
 DRIVEWAY ENTRIES - 10 FT  
 INTERSECTIONS INTERSECTING CURB LINES OF TWO STREETS - 20 FT
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FT, PER SDMC (42.200)(B)(15).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 4 FT ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 15 FT ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.000(B)(10)(L).
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

**PLANTING NOTES**

- GENERAL REQUIREMENTS**
- IF THE MOISTURE CONTENT OF THE SOIL SHOULD REACH SUCH A LEVEL THAT WORKING IT WOULD DESTROY SOIL STRUCTURE, SPREADING AND GRADING OPERATIONS SHALL BE SUSPENDED UNTIL, IN THE OPINION OF THE OWNERS REPRESENTATIVE, THE MOISTURE CONTENT IS INCREASED OR REDUCED TO ACCEPTABLE LEVELS AND THE DESIRED RESULTS ARE LIKELY TO BE OBTAINED.
  - ACTUAL PLANTING SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED HORTICULTURAL PRACTICE AS APPROVED BY THE OWNERS REPRESENTATIVE. CONTRACTOR SHALL ONLY INSTALL AS MANY PLANTS PER CAN BE PLANTED AND WATERED ON THAT SAME DAY.
  - ALL SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND SHALL IMMEDIATELY INFORM THE OWNERS REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS.
  - PLANT MATERIAL QUANTITIES SHOWN ARE FOR CONVENIENCE ONLY. VERIFY COUNT AND PROVIDE NUMBER TO FULFILL INTENT OF DRAWINGS PRIOR TO ORDERING FROM NURSERIES.
  - PROTECTION OF EXISTING TREES, SHRUBS, AND GROUND COVER!
    - THE OWNERS REPRESENTATIVE SHALL IDENTIFY EXISTING TREES AND SHRUBS OF WHICH ARE TO BE PRESERVED WITHIN THE PROJECT LIMITS, PRIOR TO THE START WORK. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH PLANT MATERIAL TO BE PRESERVED, RELOCATED, AND REMOVED.
    - ALL PLANTING TO REMAIN SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE BY STAFF AND EQUIPMENT. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TUNNELING UNDER ROOTS 2 INCH AND LARGER SHALL BE DONE AND ONLY DONE AFTER RECEIPT OF WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE. CONTRACTOR SHALL PLANT CUT ROOTS WITHIN 24 HOURS. WHERE THIS IS NOT POSSIBLE, KEEP THE SIDE OF EXCAVATION ADJACENT TO TREE SHROUD WITH RUSTY BURLAP OR CANVAS. ALL MINOR DAMAGE BY CONTRACTOR TO EXISTING TREES AND SHRUBS SHALL BE REPAIRED AT HIS EXPENSE BY A LICENSED TREE SURGEON OR OTHER APPROVED PERSONNEL.
    - DAMAGE TO A TREE OR SHRUB, WHICH RESULTS IN DEATH OR PERMANENT DISFIGURATION, SHALL RESULT IN THE CONTRACTOR'S COMPLETE REMOVAL OF SAID TREE OR SHRUB, INCLUDING ROOTS, FROM THE SITE. THE CONTRACTOR SHALL REPLACE THE TREE OR SHRUB AS ESTABLISHED BY THE OWNERS REPRESENTATIVE WITH ONE OF EQUAL VALUE AT HIS OWN EXPENSE, OR SHALL REIMBURSE TO THE OWNER THE COST OF SAID REPLACEMENT. THE OWNERS REPRESENTATIVE SHALL BE THE JUDGE OF THE CONDITION OF ANY TREE OR SHRUB.
    - ALL PLANTS TO REMAIN ON-SITE WILL BE IRRIGATED AS NECESSARY DURING THE ENTIRE CONSTRUCTION CONTRACT.

**DEEP WATER LEACHING**

- FILL IN ALL DEPRESSIONS, VOIDS, EROSION SCARS, OR SETTLED TRENCHES GENERATED BY THE DEEP LEACHING WITH CONDITIONED SOIL, LEAVING A FINAL FINISH GRADE SMOOTH AND EVEN.

**FINAL GRADES**

- MINOR MODIFICATIONS TO GRADE MAY BE REQUIRED TO ESTABLISH THE FINAL GRADES.
- CLEAR ALL PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES, REMOVING ALL WEEDS, DEBRIS, ROCKS, OR OTHER DELETERIOUS MATTER 1 INCH DIAMETER OR LARGER FROM THE SITE.
- ALL UNDULATIONS AND IRREGULARITIES IN THE PLANTING SURFACES, RESULTING FROM TILLAGE, ROTOTILLING, AND ALL OTHER OPERATIONS SHALL BE LEVELED AND FLOATED OUT BEFORE PLANTING.
- THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT AND AVOID DAMAGE TO SPRINKLER HEADS, IRRIGATION LINES, AND OTHER UNDERGROUND UTILITIES DURING GRADING AND CONDITIONING OPERATIONS.
- CONTRACTOR SHALL COORDINATE ALL DRAINAGE WORK WITH ALL OTHER TRADES. ESTABLISHED SETE DRAINAGE SHALL BE MAINTAINED BY CONTRACTOR DURING ALL PHASES OF LANDSCAPE CONSTRUCTION.
- FINAL FINISH GRADES SHALL INSURE POSITIVE DRAINAGE OF THE SITE WITH ALL SURFACE DRAINAGE AWAY FROM BUILDINGS, WALLS AND TOWARD DRAINS AND CATCH BASINS.
- FINAL GRADES SHALL BE APPROVED IN WRITING BY THE OWNERS REPRESENTATIVE BEFORE PLANTING OPERATIONS WILL BE ALLOWED TO BEGIN.

**PERCOLATION TESTING AND DRAINAGE**

- SOILS PERCOLATION TESTS SHALL BE PERFORMED PER THE SPECIFICATIONS, BY FILLING PLANTING PITS WITH WATER, WAITING 12 HOURS AND THEN COMPLETELY REFILLING. IF ALL THE WATER IS NOT ABSORBED WITHIN 12 HOURS OF THE SECOND FILLING, IF ALL THE WATER IS NOT ABSORBED WITHIN 12 HOURS OF THE SECOND FILLING, IF ALL THE WATER IS NOT ABSORBED WITHIN 12 HOURS OF THE SECOND FILLING, IF ALL THE WATER IS NOT ABSORBED WITHIN 12 HOURS OF THE SECOND FILLING, CONTACT OWNERS REPRESENTATIVE FOR REMEDIAL MEASURES.
- BID PRICE SHALL BE BASED ON TREE PLANTING DETAILS SHOWN ON THE PLANS.

**WEED CONTROL**

- PRIOR TO PLANTING, ERADICATE WEEDS WITHIN THE LIMITS OF WORK IN THE FOLLOWING ORDER:
  - IRRIGATE TWICE EACH DAY FOR APPROXIMATELY 5 TO 10 MINUTES EACH WATERING TIME (AS APPROPRIATE TO SITE CONDITIONS) FOR A PERIOD OF 30 CALENDAR DAYS.
  - APPLY POST EMERGENT HERBICIDE (SUCH AS ROUND-UP PRO) PER CALIFORNIA LICENSED PEST CONTROL ADVISOR AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. TAKE CARE TO PROTECT EXISTING PLANT MATERIAL WHICH IS TO REMAIN AS SHOWN ON THE PLANS.
  - WAIT THE REQUIRED PERIOD FOR THE HERBICIDE TO TAKE EFFECT (APPROXIMATELY 7-14 DAYS).
  - PHYSICALLY REMOVE WEEDS DEAD OR ALIVE WITHIN THE LIMITS.
- EXISTING NATIVE VEGETATION SHALL NOT BE IRRIGATED AND IRRIGATION RUN-OFF SHALL NOT SPREAD TO AREAS WITH EXISTING NATIVE PLANTS.

**SOIL CONDITIONING AND FERTILIZING**

- GRUB / CLEAN AND ROTOTILL ALL PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES, REMOVING ALL WEEDS, DEBRIS, ROCKS, OR OTHER DELETERIOUS MATTER 1 INCH DIAMETER OR LARGER FROM THE SITE UNLESS SPECIFIED OTHERWISE. THEN BLEND IN CONDITIONS PER THE SPECIFICATIONS.

**GENERAL PLANTING**

- PRUNING SHALL NOT BE DONE EXCEPT BY APPROVAL OF OWNERS REPRESENTATIVE.
- PLANT LOCATIONS SHALL BE CHECKED FOR POSSIBLE INTERFERENCE WITH EXISTING UNDERGROUND PIPING, PRIOR TO EXCAVATION OF HOLES. IF UNDERGROUND CONSTRUCTION OR UTILITY LINES ARE ENCOUNTERED IN THE EXCAVATION OF PLANTING AREAS, NOTIFY THE OWNER. EXPENSES FOR REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. MINIMUM TREE SEPARATION DISTANCES ARE AS FOLLOWS:
  - TRAFFIC SIGNALS (STOP SIGNS) - 20 FEET
  - UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
  - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
  - DRIVEWAY ENTRIES - 10 FEET
  - INTERSECTIONS INTERSECTING CURB LINES OF TWO STREETS - 20 FEET

- ALL EXCAVATED HOLES SHALL HAVE VERTICAL SIDES WITH ROUGHENED SURFACES AND SHALL BE OF THE MINIMUM SIZES INDICATED ON DRAWINGS. HOLES SHALL BE, IN ALL CASES, LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY OR BREAKAGE OF ROOT BALLS OR ROOTS.

**PLANT AVAILABILITY**

- THE ACT OF PROVIDING A BID FOR THIS PROJECT ESTABLISHES THE CONTRACTORS UNDERSTANDING THAT THE PLANTS SPECIFIED HEREIN MAY BE UNUSUAL AND MORE DIFFICULT TO LOCATE THAN THE INDUSTRY STANDARD AND THAT THE CONTRACTOR AGREES TO THE FOLLOWING:
  - THE CONTRACTOR SHALL SEARCH FOR EACH PLANT SPECIFIED, PROVIDED IN THESE DRAWINGS ARE A LIST OF PLANT NURSERY SOURCES TO BE CONTACTED DURING CONTRACTORS SEARCH. IF ANY OF THE LISTED NURSERIES, OR ANY NURSERIES IN CALIFORNIA OR ARIZONA HAVE THE SPECIFIED PLANTS IN THE CONTAINER SIZES SPECIFIED, THE CONTRACTOR SHALL BE OBLIGATED TO PURCHASE AND OBTAIN DELIVERY OF SAID PLANTS.
  - WITHIN TWENTY-ONE (21) DAYS AFTER AWARD OF CONTRACT, CONTRACTOR SHALL SUBMIT A PLANT LIST WITH NURSERY SOURCES, PLANT QUANTITIES AND PLANT SIZES; PLANT LIST SHALL INDICATE ALL UNAVAILABLE PLANTS AND WHICH NURSERIES WERE CONTACTED DURING CONTRACTORS SEARCH. LANDSCAPE ARCHITECT SHALL SUGGEST PLANT SUBSTITUTION BASED UPON INFORMATION IN CONTRACTOR SUBMITTAL.
  - UPON ACCEPTANCE OF CONTRACTOR PLANT SUBMITTAL BY LANDSCAPE ARCHITECT, CONTRACTOR SHALL SECURE PLANTS WITHIN FIVE (5) DAYS AND ARRANGE FOR DELIVERY FROM NURSERIES.

**TREES, SHRUBS, AND VINES**

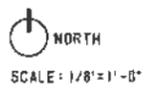
- EACH TREE AND SHRUB SHALL BE PLACED IN THE CENTER OF THE HOLE AND SHALL BE SET PLUMB AND HELD RIGIDLY IN POSITION UNTIL THE PLANTING BACKFILL HAS BEEN TAMPED DOWN AROUND EACH ROOTBALL.
- ALL PLANTS SHALL BE SET AT SUCH A LEVEL THAT AFTER SETTLING THEY BEAR THE SAME RELATIONSHIP TO THE SURROUNDING FINISH GRADE AS THEY BORE TO THE SOIL LINE GRADE IN THE CONTAINER, UNLESS OTHERWISE NOTED.
- ALL PLANTS SHALL BE THOROUGHLY WATERED INTO THE FULL DEPTH OF EACH PLANTING HOLE IMMEDIATELY AFTER PLANTING.
- ROOT BARRIERS- ROOT CONTROL BARRIERS SHALL BE INSTALLED WHERE TREE TRUNK IS WITHIN FIVE FEET OF HARDSCAPE (OR CLOSER). INSTALL ROOT BARRIERS ADJACENT AND PARALLEL TO EDGE OF HARDSCAPE (LITERARY APPLICATIONS) AND NOT ENCIRCLING ROOTBALL. BARRIERS SHALL BE 18" FT. MIN. LENGTH; CENTER STRIP OF ROOT BARRIER ON THE TREE TRUNK.

**PLANTING SOO TURF (NOT INCLUDED IN PKG 1 LIMIT OF WORK)**

- SEE SPECIFICATIONS FOR LAWN AREA SOIL PREPARATION AND SOO INSTALLATION.

**MAINTENANCE PERIOD**

- LANDSCAPE AREAS SHALL BE KEPT FREE OF WEEDS, NOXIOUS GRASS, AND ALL OTHER UNDESIRABLE VEGETATIVE GROWTH AND DEBRIS.
- PLANT MATERIALS SHALL BE KEPT IN A HEALTHY, OPTIMUM GROWING CONDITION AND IN A VISUALLY PLEASING APPEARANCE BY WATERING, PRUNING, MOWING, FERTILIZING, WEEDING, PEST AND DISEASE CONTROLLING, SPRAYING, WEEDING, CLEAN-UP AND ANY MAINTENANCE OPERATION NECESSARY TO INSURE A HEALTHY, VIGOROUS STAND OF PLANTS AT THE TIME OF FINAL INSPECTION.
- SEE SPECIFICATIONS FOR APPLICATION OF THE POST PLANTING FERTILIZER AT THE RATE SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR THE LANDSCAPE MAINTENANCE FOR ALL PLANTED AND/OR IRRIGATED AREAS SHOWN ON THE PLANS FOR THE MAINTENANCE PERIOD INDICATED IN THE SPECIFICATIONS.

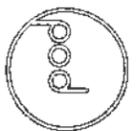


LAST PAGE OF SET FOR LANDSCAPE ARCHITECTURE AND CONSTRUCTION DOCUMENTS  
 Project Name: 1001155-0000-001  
 Date: 03/05/2019

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| REVISION 5:                        | _____      |
| REVISION 4:                        | _____      |
| REVISION 3:                        | _____      |
| REVISION 2:                        | _____      |
| REVISION 1:                        | 03.05.2019 |
| ORIGINAL DRAWING PREPARATION DATE: | _____      |
| SHEET #                            | OF _____   |
| SHEET TITLE:                       | _____      |

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
 POINT OF DEPARTURE ARCHITECTURE

point of departure  
 architecture  
 3055 La Jolla Village Drive  
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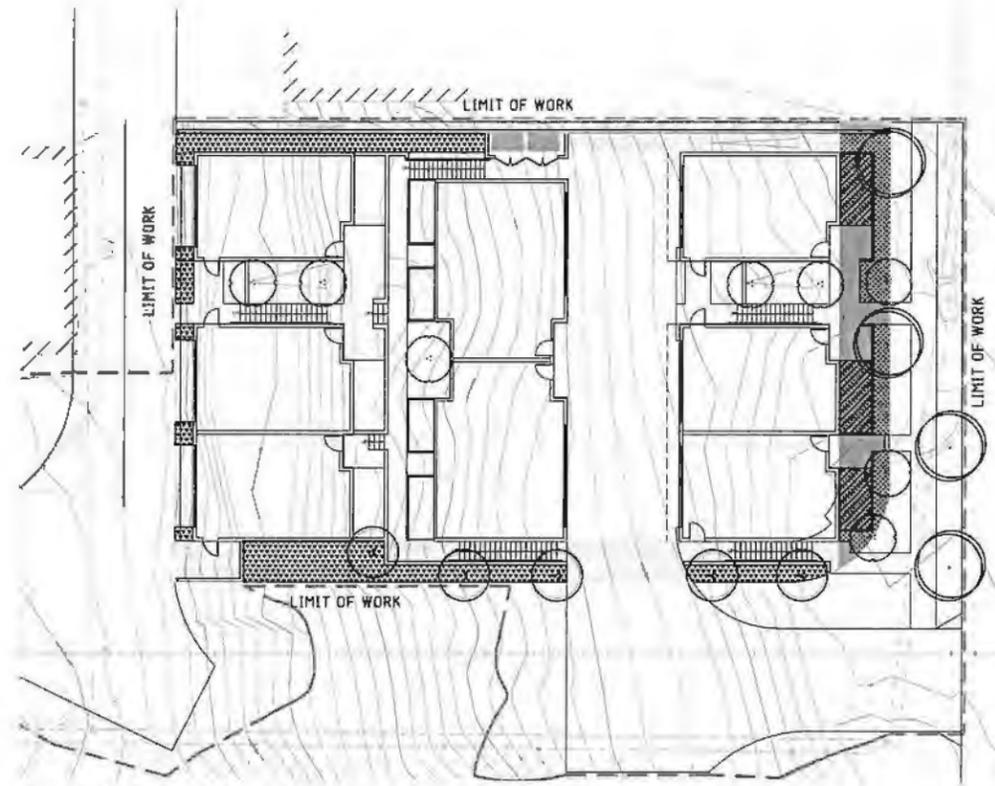


806 27TH STREET  
 SAN DIEGO, CALIFORNIA

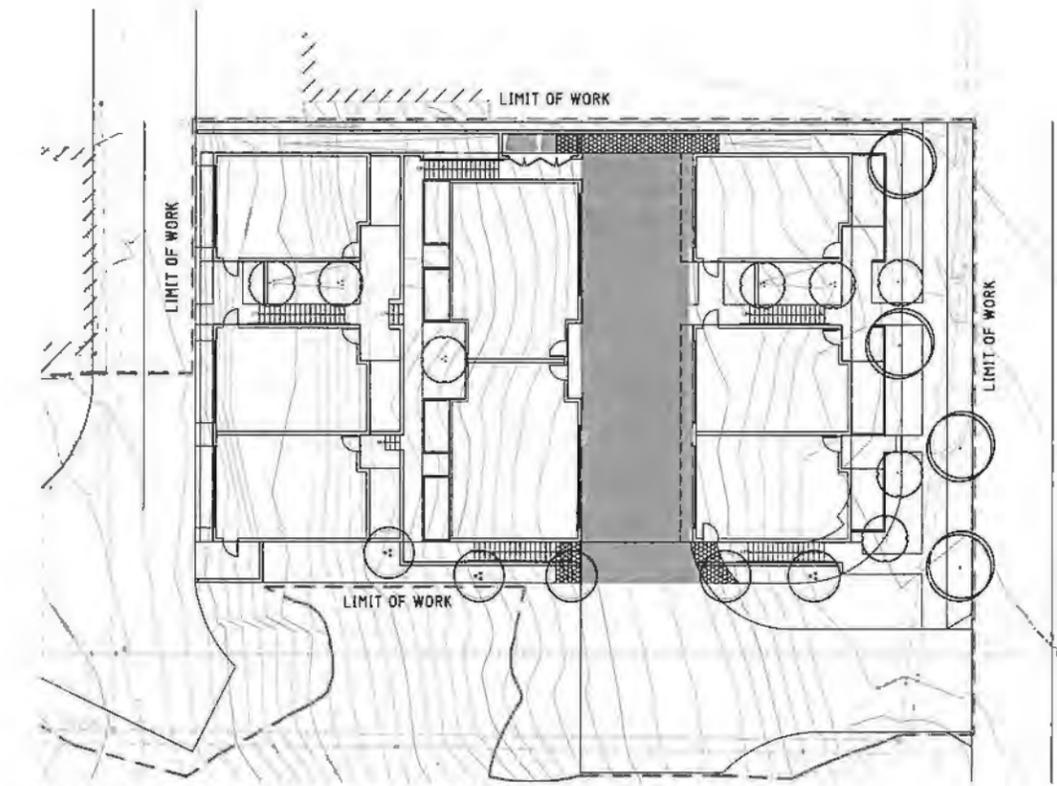
**City** L.I.G.H.T.S.  
 T O W N H O M E S

REVISIONS

SHEET 2 OF 3  
**L1.2**  
 LANDSCAPE  
 DEVELOPMENT  
 LEGEND



STREET YARD AND REMAINING YARD



VEHICULAR USE AREA AND PLANTING WITHIN VEHICULAR USE AREA

THE FOLLOWING CALCULATIONS HAVE BEEN DESIGNED INTO THE PROPOSED LANDSCAPE DEVELOPMENT PLAN IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE

|  |  |                              |  |   |
|--|--|------------------------------|--|---|
|  | <b>STREET YARD</b>   |                              |  |   |
|  | <b>STREET YARD PLANTING AREA</b>   |                              |  |   |
|  | Planting Area Req'd :<br>823   | $\times 0.50 =$              | 412  |   |
|  | Total area   |                              | Planting area required (s.f.)                                |   |
|  | Planting Points Req'd:<br>823  | $\times 0.05 =$              | 41   |   |
|  | Total area   |                              | Plant Points Required  |   |
|  |  |                              | 291 + 41 + 103 = 435   | 23  |
|  |  |                              | Planting Area Provided (s.f.)                                | Excess Planting Area Provided (s.f.)                  |
|  |  |                              | Planting Area + Pavers Area + Extra Points Area              |   |
|  |  |                              | 228  | 187   |
|  |  |                              | Planting Points Provided<br>(To be achieved with trees only) | Excess Points Provided                                |
|  | <b>STREET TREE REQUIREMENT</b>   |                              |  |   |
|  | Street Trees Required in the Parkway<br>91   | $\div 30 \text{ ft.}$        | 3  |   |
|  | Total Street Front Area (s.f.)   |                              | Total Street Trees Required                                  |   |
|  |  |                              | 7  |   |
|  |  |                              | Street Trees Provided  |   |
|  | <b>REMAINING YARD - 3 OR MORE DWELLING UNITS</b>                                     |                              |  |   |
|  | <b>REMAINING YARD PLANTING AREA</b>  |                              |  |   |
|  | Planting Points Req'd :<br>5   | $\times 60 \text{ POINTS} =$ | 300  |   |
|  | # OF Buildings   |                              | Planting Points Required (s.f.)                              |   |
|  |  |                              | 343  | 250   |
|  |  |                              | Planting Area Provided (s.f.)                                | Points Achieved with Trees<br>(1/2 of Total Required) |
|  | <b>VEHICULAR USE AREA &lt;6,000 s.f.</b>   |                              |  |   |
|  | <b>PLANTING AREA WITHIN VEHICULAR USE AREA</b>                                       |                              |  |   |
|  | PLANTING AREA REQUIRED: PROVIDE 40 SQ. FT. PER TREE (WITH NO DIMENSION LESS THAN 5') |                              |  |   |
|  | Planting Points Req'd :<br>1,839   | $\times 0.05 =$              | 92   |   |
|  | Total VUA Area (s.f.)  |                              | Plant Points Required  |   |
|  |  |                              | 132  | 40  |
|  |  |                              | Planting Points Provided                                     | Excess Planting Points Provided (s.f.)                |
|  |  |                              |  | 100   |
|  |  |                              |  | Points provided by trees<br>(1/2 of Total Required)   |

Per SDMC 142.0405 (b)(8): Up to 10 percent of the required street yard planting area located outside the vehicular use area for multiple dwelling unit residential development may consist of hardscape or unattached unit pavers.

Planting Area Req'd :  
412  $\times 0.10 =$  41  
Total area required s.f. Unit Pavers Included Towards Planting Area

Per SDMC 142.0405 (a)(3): A point score in excess of that required for a yard area may be used to reduce the planting area required for that yard area at a rate of one square foot of area reduction for each excess point provided. The maximum planting area reduction allowed by this section is 25% of that total yard area required.

Planting Area Req'd :  
412  $\times 0.25 =$  103  
Total area required s.f. from Excess Planting Points Included Towards Planting Area

NORTH  
SCALE: 1/16"=1'-0"



RODRIGO LASTARIS DE GERTLER  
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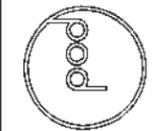
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REVISION 4: \_\_\_\_\_  
REVISION 3: \_\_\_\_\_  
REVISION 2: \_\_\_\_\_  
REVISION 1: 03.05.2015

ORIGINAL DRAWING PREPARATION DATE: \_\_\_\_\_  
SHEET #: \_\_\_\_\_ OF: \_\_\_\_\_  
SHEET TITLE: \_\_\_\_\_

NOTES:  
REFER TO L1.2 FOR FULL PLANTING LEGEND

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
POINT OF DEPARTURE ARCHITECTURE





806 27TH STREET  
 SAN DIEGO, CALIFORNIA

**City** L.I.G.H.T.S.  
 T O W N H O U S E S



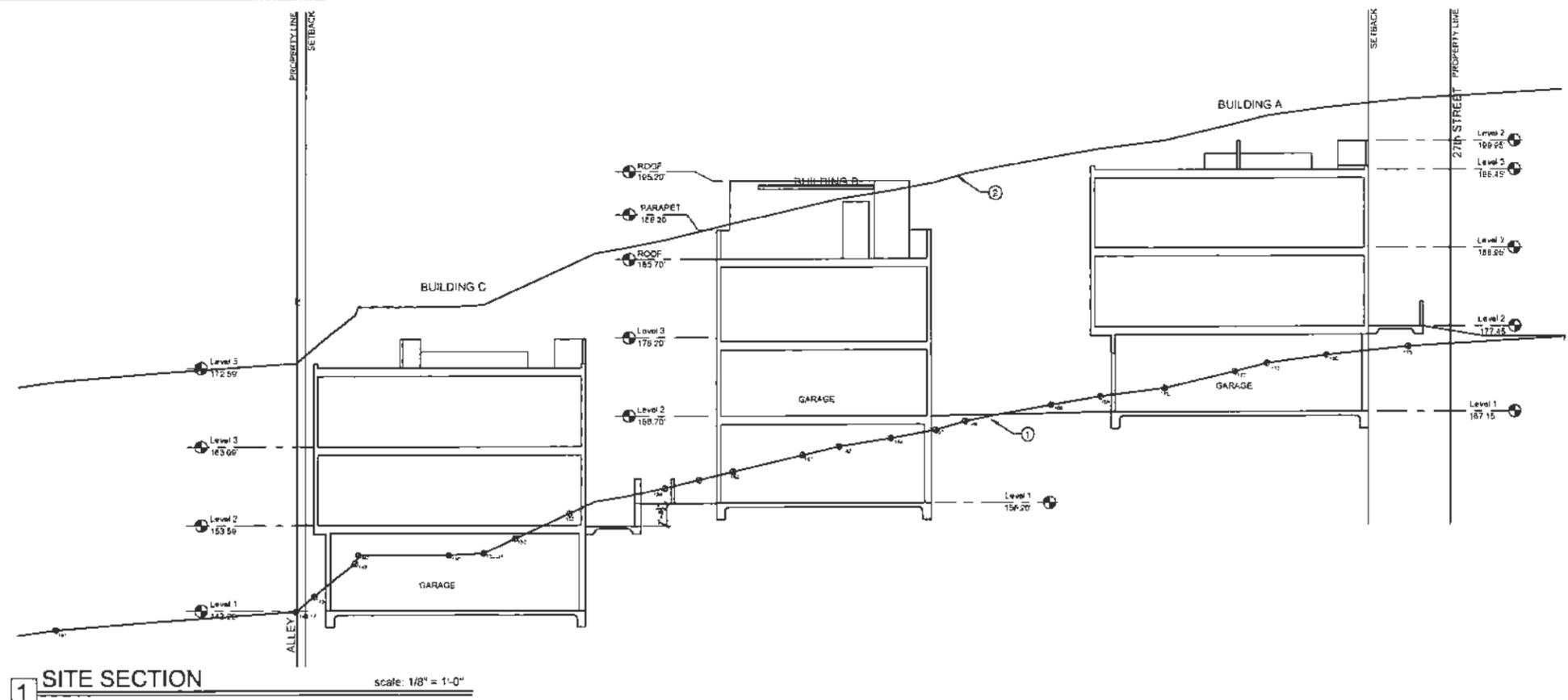
SUBMITTAL: 05/05/2014

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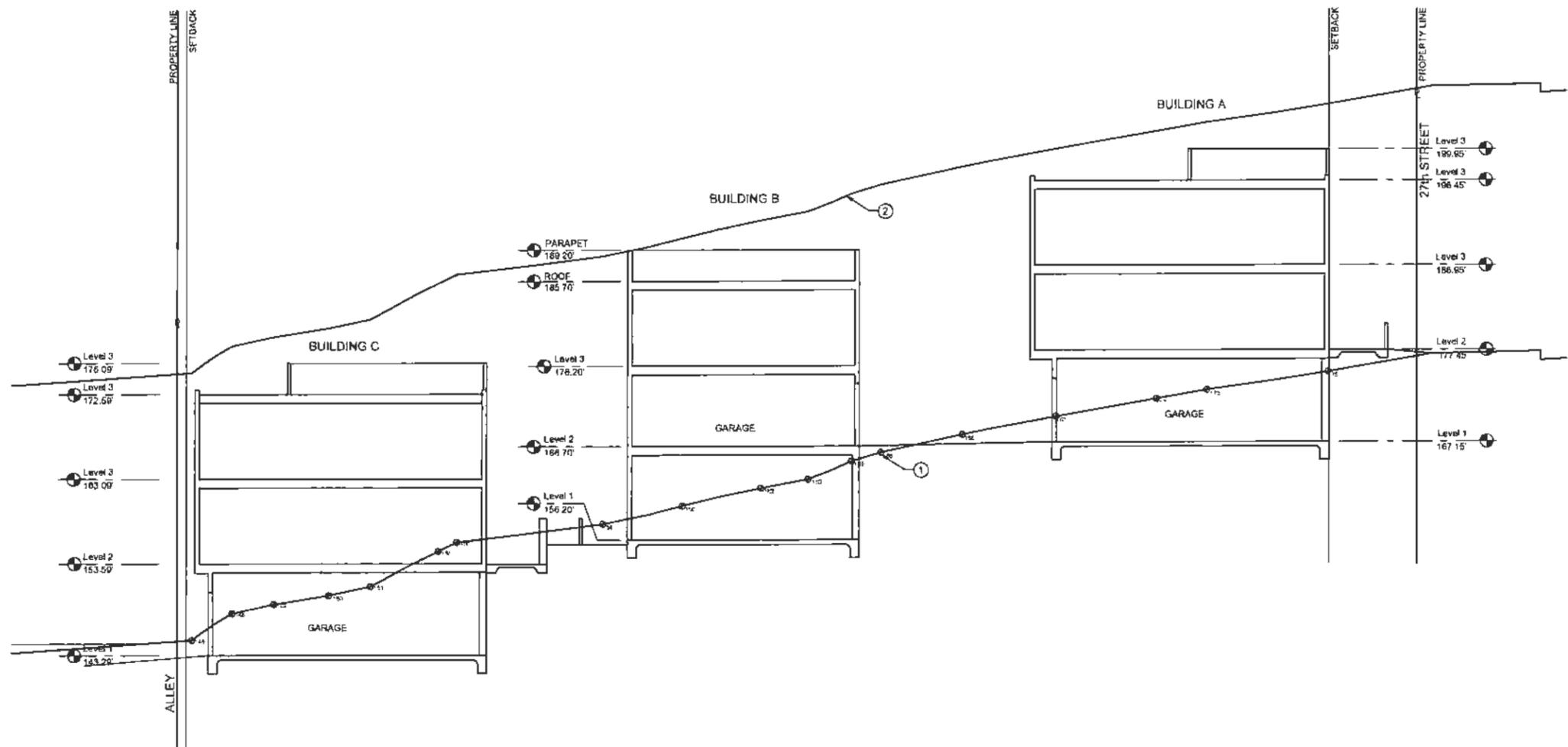
**KEY NOTES**  
 ① LINE OF EXISTING GRADE  
 ② 30 PLUMBLINE HEIGHT LIMIT

**GENERAL NOTES**

|  |               |
|--|---------------|
| REVISION 5:  |               |
| REVISION 4:  |               |
| REVISION 3:  | 06-25-15      |
| REVISION 2:  | 03-05-15      |
| REVISION 1:  | 7-9-14        |
| ORIGINAL DRAWING PREPARATION DATE:   | 4-7-14        |
| SHEET #:   | 11 OF 26      |
| SHEET TITLE:   | SITE SECTIONS |
| CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA<br>POINT OF DEPARTURE ARCHITECTURE |               |



**1 SITE SECTION** scale: 1/8" = 1'-0"



**2 SITE SECTION** scale: 1/8" = 1'-0"

point of departure  
collaborative design studio  
3712 30th street  
San Diego, CA 92104  
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806 27TH STREET  
SAN DIEGO, CALIFORNIA

City L.I.G.H.T.S  
Townhomes  
HEIGHT PLAN



SUBMITAL: 05/05/2014

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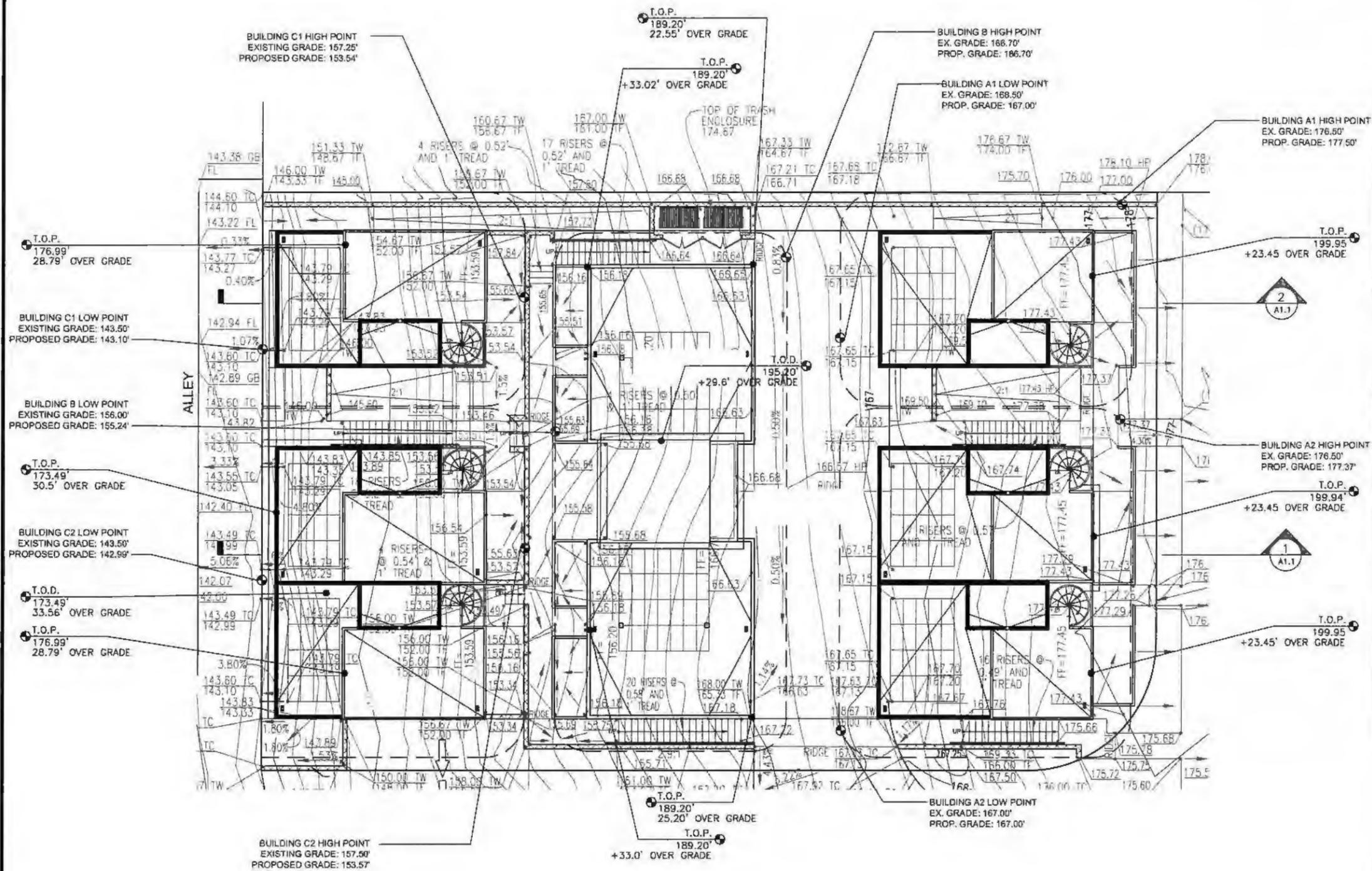
KEY NOTES

GENERAL NOTES

|             |          |
|-------------|----------|
| REVISION 5: |          |
| REVISION 4: |          |
| REVISION 3: | 06-25-15 |
| REVISION 2: | 03-05-15 |
| REVISION 1: | 7-9-14   |

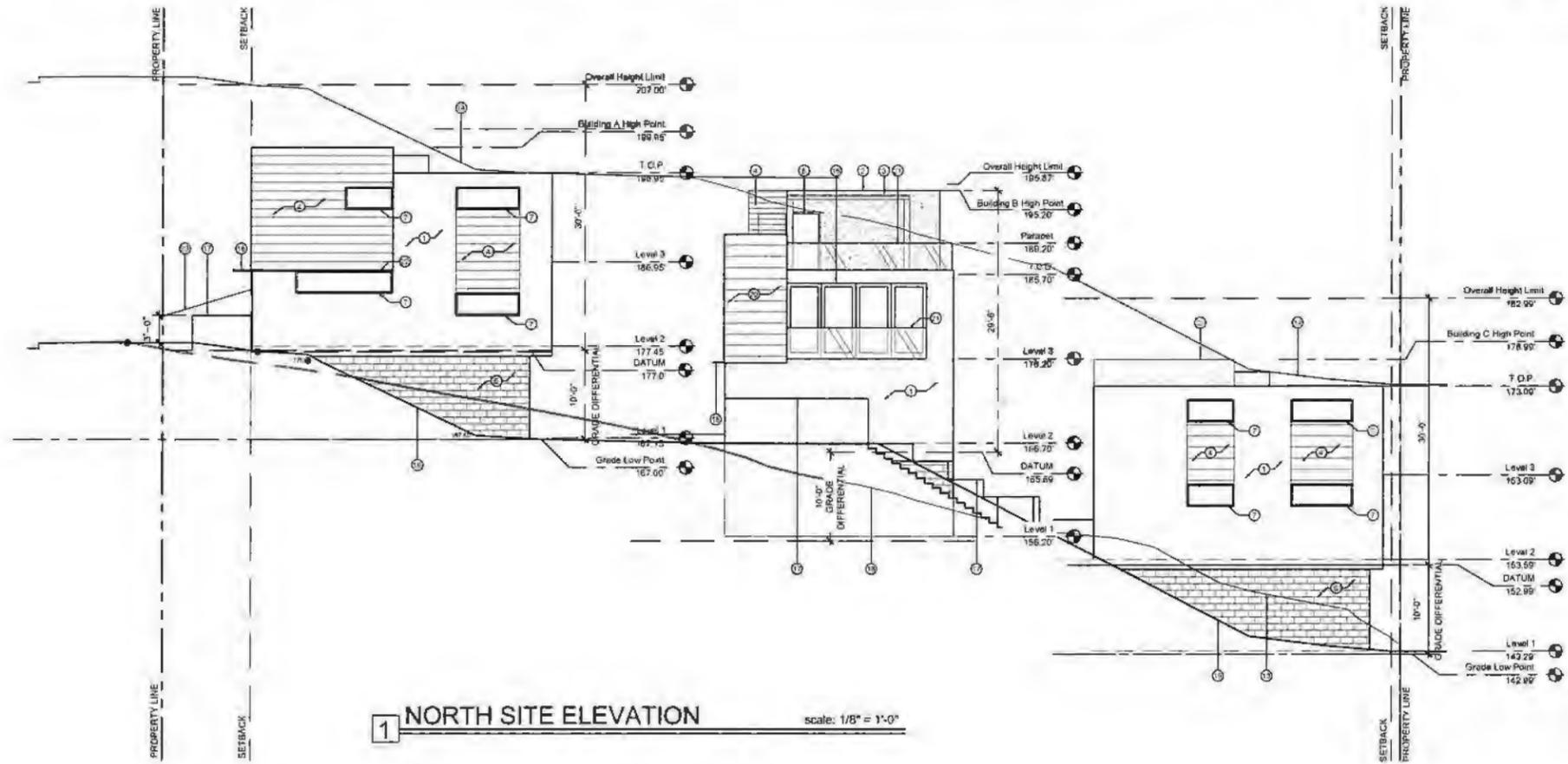
ORIGINAL DRAWING PREPARATION DATE: 4-7-14  
SHEET #: 12 OF: 26  
SHEET TITLE: HEIGHT PLAN

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
POINT OF DEPARTURE ARCHITECTURE

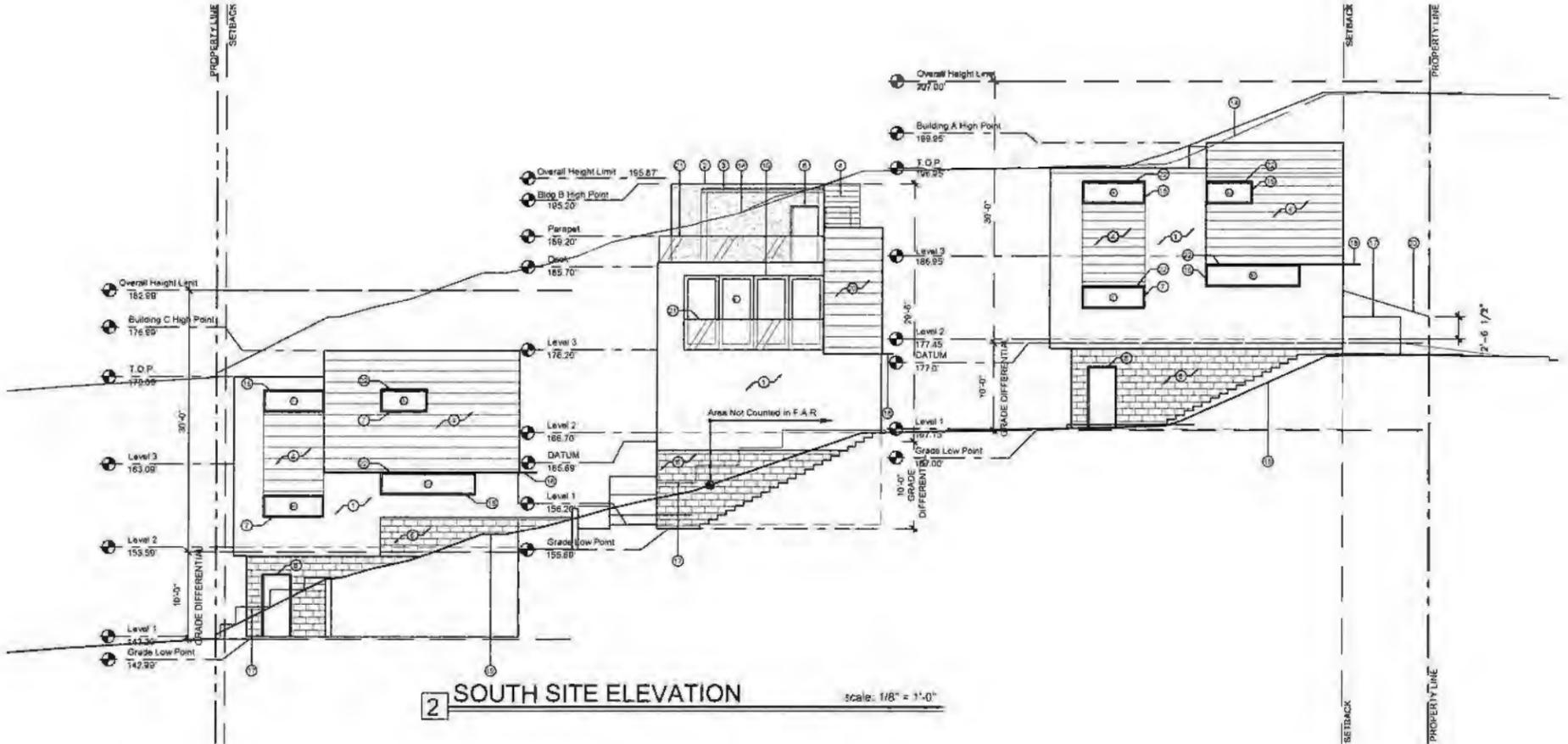


1 HEIGHT PLAN

scale: 1/8" = 1'-0"



**1 NORTH SITE ELEVATION** scale: 1/8" = 1'-0"



**2 SOUTH SITE ELEVATION** scale: 1/8" = 1'-0"

**ELEVATION KEYNOTES**

- ① STUCCO - LIGHT SAND FINISH, WHITE
- ② STUCCO - SMOOTH FINISH, GRAY
- ③ SOLAR PANELS
- ④ WOOD PANELING
- ⑤ SINGLE PLY ROOFING
- ⑥ CMU - PRECISION CUT, CHARCOAL GRAY
- ⑦ METAL FRAME WINDOW - BLACK ANODIZED (TYP)
- ⑧ METAL FRAME DOOR - BLACK ANODIZED (TYP)
- ⑨ SPIRAL STAIR W/ PERFORATED METAL RAILING
- ⑩ GLASS GARAGE DOOR -
- ⑪ METAL FASCIA PREFINISHED ALUM- BLACK
- ⑫ CONCRETE STAIR
- ⑬ LINE OF EXISTING GRADE
- ⑭ PLUMBLINE HEIGHT LIMIT
- ⑮ CLERESTORY WINDOW
- ⑯ SLIDING GLASS DOOR- BLACK ANODIZED (TYP)
- ⑰ LINE OF RETAINING WALL (SEE GOLDEN HILL DESIGN CRITERIA)
- ⑱ PROJECTING ROOFED ENTRY PORCH, MINIMUM OF 24 SOFT
- ⑲ LINE OF PROPOSED GRADE
- ⑳ METAL PANELING
- ㉑ GLASS RAILING
- ㉒ METAL SHADE CANOPY (EYEBROW)
- ㉓ ALLOWABLE FENCE HEIGHT PER SDMC DIAGRAM 142-03A

**GOLDEN HILLS DESIGN CRITERIA**

**GOLDEN HILL PLANNED DISTRICT GENERAL DESIGN CRITERIA**

- A RETAINING WALL IN VISIBILITY AREAS SHALL NOT EXCEED 3' EXCEPT THAT A RETAINING WALL MAY BE CONSTRUCTED TO MAINTAIN AN EXISTING CUT BANK ADJACENT TO A PUBLIC RIGHT OF WAY IF THE WALL FOLLOW THE CONTOURS OF THE SLOPE PER SDMC 142.0340(i)
- RETAINING WALLS LOCATED OUTSIDE REQUIRED FRONT YARDS AND STREET SIDE YARDS SHALL NOT EXCEED 12' IN HEIGHT SDMC 142.0340(i)
- THE DESIGN OF THE SIDEWALKS SHALL MATCH THE HISTORIC SIDEWALK PATTERN ON THE ADJACENT PROPERTIES INCLUDING LOCATION, WIDTH, ELEVATION, SCORING PATTERN, COLOR AND MATERIALS
- RESIDENTIAL ZONES SDMC 158.0301(i)(3):**  
 TABLE 158.0301(i)(3) PART 1  
 1) TWENTY PERCENT OF THE LENGTH OF THE BUILDING FACADE MAY EXCEED THE HEIGHT LIMIT SPECIFIED ABOVE IN ORDER TO PROVIDE ROOF-LINE AND FACADE VARIATIONS, ACCENTS, TOWER ELEMENTS AND OTHER SIMILAR ELEMENTS WHICH DO NOT INCREASE THE FLOOR AREA OF THE STRUCTURE.  
 REQUIRED DESIGN CRITERIA IS BASED ON THE REQUIREMENT SET FORTH IN THE GOLDEN HILLS DESIGN GUIDELINES FOR MULTI UNIT RESIDENT, PER SDMC 158.301(i)(2)(D)

**CONTEMPORARY STYLE (SIX SELECTED FEATURES)**

- PROVIDE LARGE RECTANGULAR WINDOWS, GROUPED IN BANDS WITH SHARP, CONTINUOUS PROJECTING WINDOW SILL ON ALL ELEVATION FACING A STREET AND ON AT LEAST THE FRONT 30 PERCENT OF THE INTERIOR SIDE ELEVATIONS PER SDMC 158.301(i)(2)(D)
- A MINIMUM OF 50% OF ALL WINDOWS ON ALL STREET ELEVATION TO BE RECESSED AT LEAST TWO INCHES PER SDMC 158.301(i)(2)(D)
- PROVIDE A MINIMUM OF ONE CLERESTORY WINDOW EVERY TWO DWELLING UNITS PER SDMC 158.301(i)(2)(D)
- PROVIDE PROJECTING ROOFED ENTRY PORCH PORCH TO BE A MINIMUM OF 24 SQUARE FEET PER ENTRY PORCH OR TWO ENTRANCE DOORS AND 10 SQUARE FEET PER ENTRANCE DOOR IF IT SERVES MORE THAN TWO PER SDMC 158.301(i)(2)(D)
- PROVIDE A MINIMUM OF ONE OPERABLE FIREPLACE FOR EVERY TWO DWELLINGS UNITS PER SDMC 158.301(i)(2)(D)

**TRANSPARENCY CALCULATIONS**

SDMC 1508.0303 (e)

|                    |                 |
|--------------------|-----------------|
| <b>FACADE AREA</b> |                 |
| BUILDING 'A'       | 696 SF          |
| BUILDING 'B'       | 506 SF          |
| BUILDING 'C'       | 676 SF          |
| <b>TOTAL</b>       | <b>1,878 SF</b> |

|                    |     |
|--------------------|-----|
| <b>WINDOW AREA</b> |     |
| (A)                | 18  |
| (B)                | 13  |
| (C)                | 18  |
| (D)                | 27  |
| (E)                | 136 |
| (F)                | 18  |
| (G)                | 13  |
| (H)                | 18  |
| (I)                | 27  |

|              |     |               |
|--------------|-----|---------------|
| <b>TOTAL</b> | 288 | / 1,878 = 15% |
|--------------|-----|---------------|

- REVISION 5: \_\_\_\_\_  
 REVISION 4: \_\_\_\_\_  
 REVISION 3: 06-25-15  
 REVISION 2: 03-05-15  
 REVISION 1: 7-9-14

ORIGINAL DRAWING PREPARATION DATE: 4-7-14  
 SHEET #: 13 OF 26  
 SHEET TITLE: SITE ELEVATIONS

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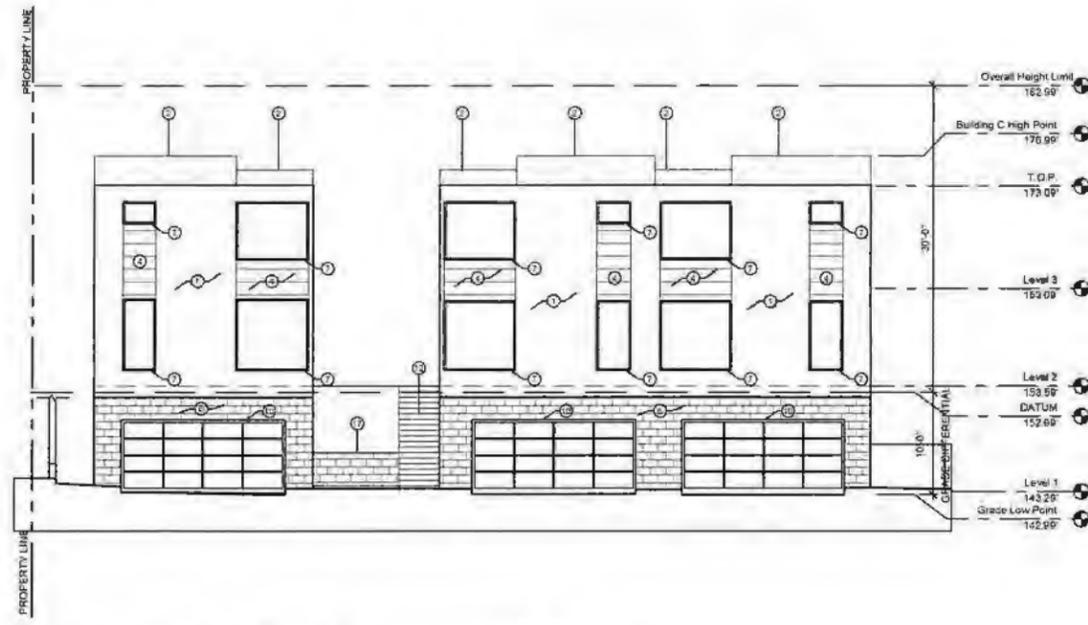
806 27TH STREET  
 SAN DIEGO, CALIFORNIA

City L.I.G.H.T.S.  
 townhomes  
 SITE ELEVATIONS

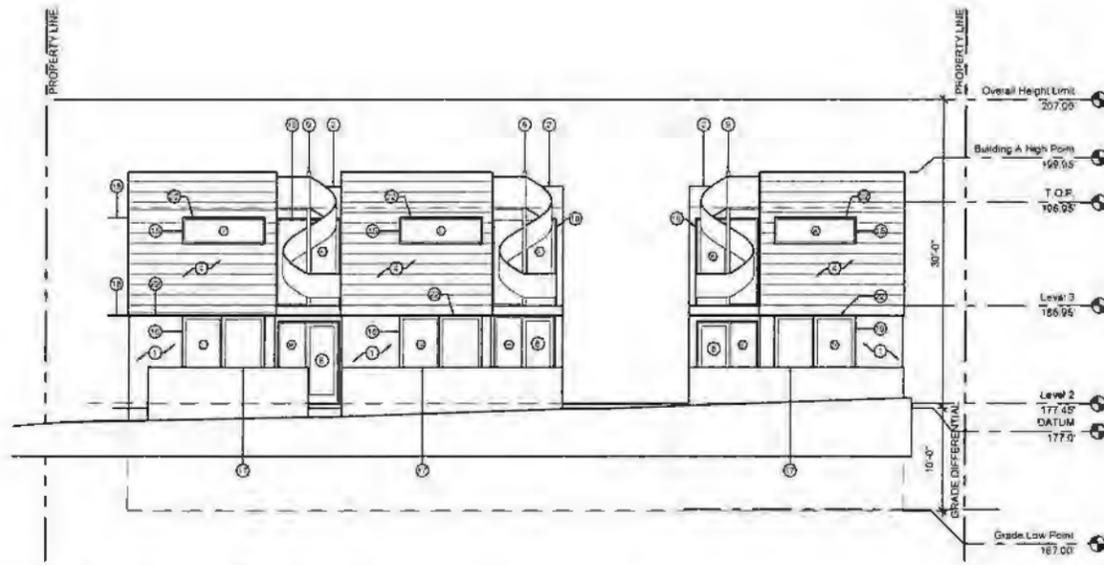


SUBMITTAL: 05/05/2014

**A1.3**



**1 WEST SITE ELEVATION** scale: 1/8" = 1'-0"



**2 EAST SITE ELEVATION** scale: 1/8" = 1'-0"

**ELEVATION KEYNOTES**

- ① STUCCO - LIGHT SAND FINISH, WHITE
- ② STUCCO - SMOOTH FINISH, GRAY
- ③ SOLAR PANELS
- ④ WOOD PANELING
- ⑤ SINGLE PLY ROOFING
- ⑥ CMU - PRECISION CUT, CHARCOAL GRAY
- ⑦ METAL FRAME WINDOW - BLACK ANODIZED (TYP)
- ⑧ METAL FRAME DOOR - BLACK ANODIZED (TYP)
- ⑨ SPIRAL STAIR W/ PERFORATED METAL RAILING
- ⑩ GLASS GARAGE DOOR -
- ⑪ METAL FASCIA PREFINISHED ALUM. - BLACK
- ⑫ CONCRETE STAIR
- ⑬ LINE OF EXISTING GRADE
- ⑭ PLUMBLINE HEIGHT LIMIT
- ⑮ CLERESTORY WINDOW
- ⑯ SLIDING GLASS DOOR - BLACK ANODIZED (TYP)
- ⑰ LINE OF RETAINING WALL (SEE GOLDEN HILL DESIGN CRITERIA)
- ⑱ PROJECTING ROOFED ENTRY PORCH - MINIMUM OF 24 SOFT
- ⑲ LINE OF PROPOSED GRADE
- ⑳ METAL PANELING
- ㉑ GLASS RAILING
- ㉒ METAL SHADE CANOPY (EYEBROW)
- ㉓ ALLOWABLE FENCE HEIGHT PER SDMC DIAGRAM 142-03A

**GOLDEN HILLS DESIGN CRITERIA**

**GOLDEN HILL PLANNED DISTRICT GENERAL DESIGN CRITERIA**

1. A RETAINING WALL IN VISIBILITY AREAS SHALL NOT EXCEED 3' EXCEPT THAT A RETAINING WALL MAY BE CONSTRUCTED TO MAINTAIN AN EXISTING CUT BANK ADJACENT TO A PUBLIC RIGHT OF WAY, IF THE WALL FOLLOWS THE CONTOURS OF THE SLOPE PER SDMC 142.03A(1)(b)
2. RETAINING WALLS LOCATED OUTSIDE REQUIRED FRONT YARDS AND STREET SIDE YARDS SHALL NOT EXCEED 12' IN HEIGHT PER SDMC 142.03A(1)(c)
3. THE DESIGN OF THE SIDEWALKS SHALL MATCH THE HISTORIC SIDEWALK PATTERN ON THE ADJACENT PROPERTIES, INCLUDING LOCATION, WIDTH, ELEVATION, SCORING PATTERN, COLOR AND MATERIALS.
4. **RESIDENTIAL ZONES SDMC 158.03(1)(b)(3)**  
TABLE 158.03(1)(b)(3) PART 1  
1) TWENTY PERCENT OF THE LENGTH OF THE BUILDING FACADE MAY EXCEED THE HEIGHT LIMIT SPECIFIED ABOVE IN ORDER TO PROVIDE ROOF-LINE AND FACADE VARIATIONS, ACCENTS, TOWER ELEMENTS AND OTHER SIMILAR ELEMENTS WHICH DO NOT INCREASE THE FLOOR AREA OF THE STRUCTURE.  
REQUIRED DESIGN CRITERIA IS BASED ON THE REQUIREMENT SET FORTH IN THE GOLDEN HILLS DESIGN GUIDELINES FOR MULTI UNIT RESIDENT PER SDMC 158.03(1)(2)(D).

**CONTEMPORARY STYLE (SIX SELECTED FEATURES)**

1. PROVIDE LARGE RECTANGULAR WINDOWS GROUPED IN BANDS WITH SHARED / CONTIGUOUS PROJECTING WINDOW SILL ON ALL ELEVATION FACING A STREET AND ON AT LEAST THE FRONT 50 PERCENT OF THE INTERIOR SIDE ELEVATIONS PER SDMC 158.301(c)(2)(D).
2. A MINIMUM OF 50% OF ALL WINDOWS ON ALL STREET ELEVATION TO BE RECESSED AT LEAST TWO INCHES PER SDMC 158.301(c)(2)(D).
4. PROVIDE A MINIMUM OF ONE CLERESTORY WINDOW EVERY TWO DWELLING UNITS PER SDMC 158.301(c)(2)(D).
5. PROVIDE PROJECTING ROOFED ENTRY PORCH PORCH TO BE A MINIMUM OF 24 SQUARE FEET IF IT SERVES ONE OR TWO ENTRANCE DOORS AND 10 SQUARE FEET PER ENTRANCE DOOR IF IT SERVES MORE THAN TWO PER SDMC 158.301(c)(2)(D).
6. PROVIDE A MINIMUM OF ONE OPERABLE FIREPLACE FOR EVERY TWO DWELLINGS UNITS PER SDMC 158.301(c)(2)(D).

**TRANSPARENCY CALCULATIONS**

SDMC 150B 0303 (e)

|                    |                 |
|--------------------|-----------------|
| <b>FACADE AREA</b> |                 |
| BUILDING "A1"      | 469 SF          |
| BUILDING "A2"      | 476 SF          |
| BUILDING "A3"      | 457 SF          |
| <b>TOTAL</b>       | <b>1,402 SF</b> |

|                    |                          |
|--------------------|--------------------------|
| <b>WINDOW AREA</b> |                          |
| Ⓐ                  | 52                       |
| Ⓑ                  | 20                       |
| Ⓒ                  | 47                       |
| Ⓓ                  | 68                       |
| Ⓔ                  | 20                       |
| Ⓕ                  | 53                       |
| Ⓖ                  | 68                       |
| Ⓗ                  | 50                       |
| Ⓘ                  | 20                       |
| Ⓚ                  | 53                       |
| Ⓛ                  | 68                       |
| Ⓜ                  | 47                       |
| <b>TOTAL</b>       | <b>566 / 1,402 = 40%</b> |

- REVISION 5: \_\_\_\_\_
- REVISION 4: \_\_\_\_\_
- REVISION 3: 06-25-15
- REVISION 2: 03-05-15
- REVISION 1: 7-9-14

ORIGINAL DRAWING PREPARATION DATE: 4-7-14  
 SHEET #: 14 OF: 26  
 SHEET TITLE: SITE ELEVATIONS

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
 POINT OF DEPARTURE ARCHITECTURE

point of departure  
 collaborative design studio  
 3712 30th street  
 San Diego, CA 92104  
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 SAN DIEGO, CALIFORNIA

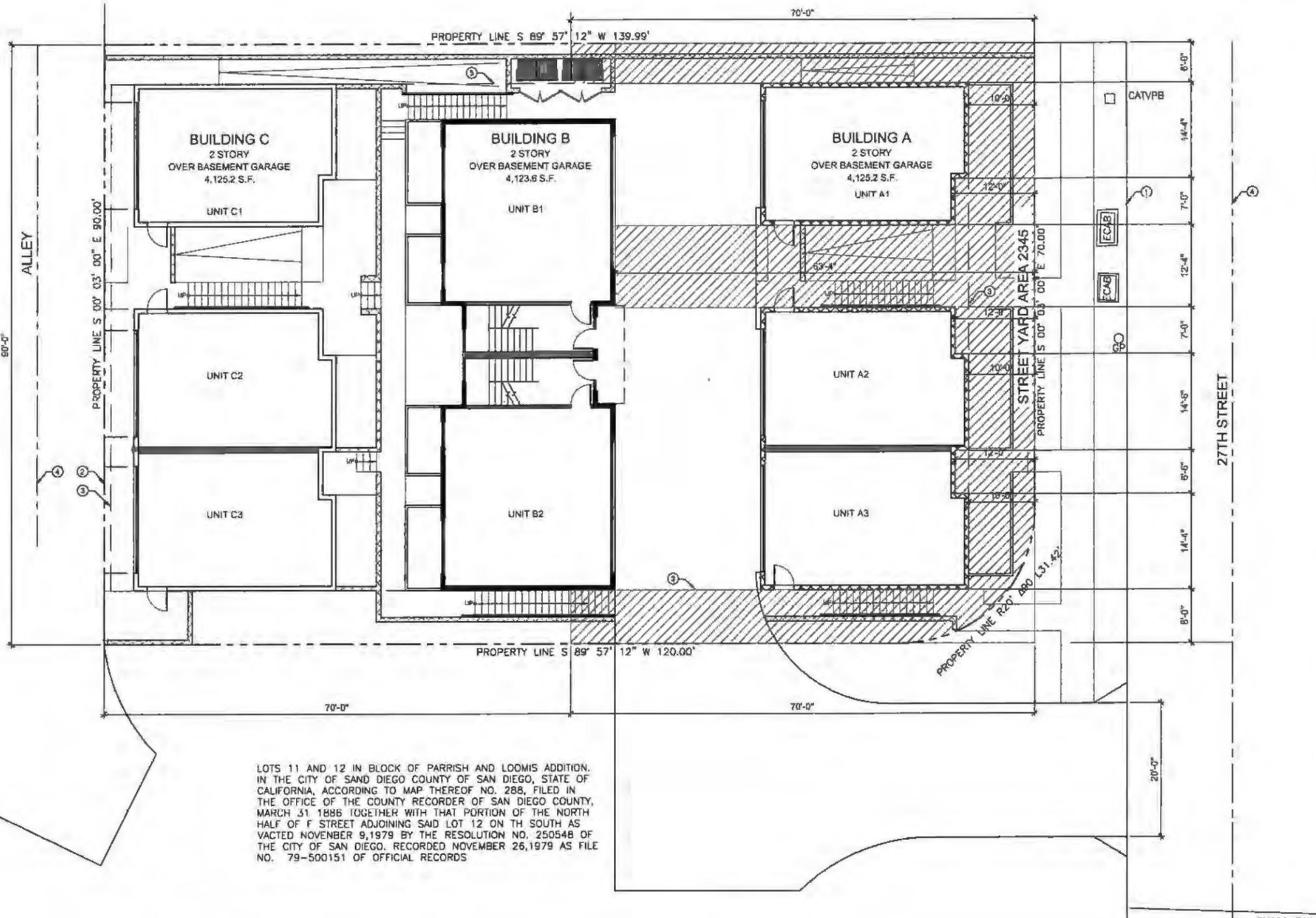
**City** L·I·G·H·T·S  
 T o w n h o m e s  
 SITE ELEVATIONS



SUBMITTAL: 05/05/2014

**A1.4**





LOTS 11 AND 12 IN BLOCK OF PARRISH AND LOOMIS ADDITION, IN THE CITY OF SAND DIEGO COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 286, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 31 1886 TOGETHER WITH THAT PORTION OF THE NORTH HALF OF F STREET ADJOINING SAID LOT 12 ON TH SOUTH AS VACTED NOVEMBER 9,1979 BY THE RESOLUTION NO. 250548 OF THE CITY OF SAN DIEGO. RECORDED NOVEMBER 26,1979 AS FILE NO. 79-500151 OF OFFICIAL RECORDS

**KEY NOTES**

- ① EXISTING CURB
- ② PROPERTY LINE
- ③ YARD
- ④ CENTER LINE OF STREET / ALLEY

**LEGEND**

- CMU RETAINING WALL OR FENCE
- STREET YARD EXTENTS

**GENERAL NOTES**

**RESIDENTIAL ZONES**  
STREET YARD AREA PER SDMC 158.0301.(b)(2)(A) (A) MINIMUM SIZE STREET YARD. A STREET YARD SHALL BE PROVIDED AT A MINIMUM AREA CALCULATED BY MULTIPLYING THE STREET FRONTAGE OF THE LOT ALONG THE FRONT PROPERTY LINE BY "X" FEET SHOWN IN TABLE 158-03B.  
FOR CORNER LOTS THE STREET YARD SHALL BE CALCULATED BY MULTIPLYING THE AVERAGE LENGTH OF ALL STREET FRONTAGES BY "X" FEET SHOWN IN TABLE 158-03B.  
IN ALL RESIDENTIAL ZONES, THE REQUIRED STREET YARD SHALL NOT BE MEASURED BEYOND THE FRONT 70 FEET OR 50 PERCENT OF THE LOT DEPTH WHICHEVER IS LESS AS MEASURED FRONT PROPERTY LINE.

**STREET YARD CALCULATION**

FRONT AND STREET SIDE YARD AREA PER SDMC 158.0301.(b)(2)(A) PER TABLE 158-03B ZONE GH 1500

FRONT YARD  
 70'x8' = 420  
 10'x14' = 140  
 12'x7' = 84  
 64'x12' = 768  
 12'x7' = 84  
 10'x14' = 140  
 12'x6' = 72  
 10'x14' = 140  
 70'x8' = 560  
 = 2,678

SIDE YARD  
 70'x8' = 560  
 TOTAL = 3,238

REVISION 5: \_\_\_\_\_

REVISION 4: \_\_\_\_\_

REVISION 3: 06-25-15

REVISION 2: 03-05-15

REVISION 1: 7-9-14

ORIGINAL DRAWING PREPARATION DATE: 4-7-14

SHEET #: 18 OF 26

SHEET TITLE: STREET YARD PLAN

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
POINT OF DEPARTURE ARCHITECTURE

point of departure  
collaborative design studio  
3712 30th street  
San Diego, CA 92104  
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SAN DIEGO, CALIFORNIA

**City**  
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T O W N H O M E S

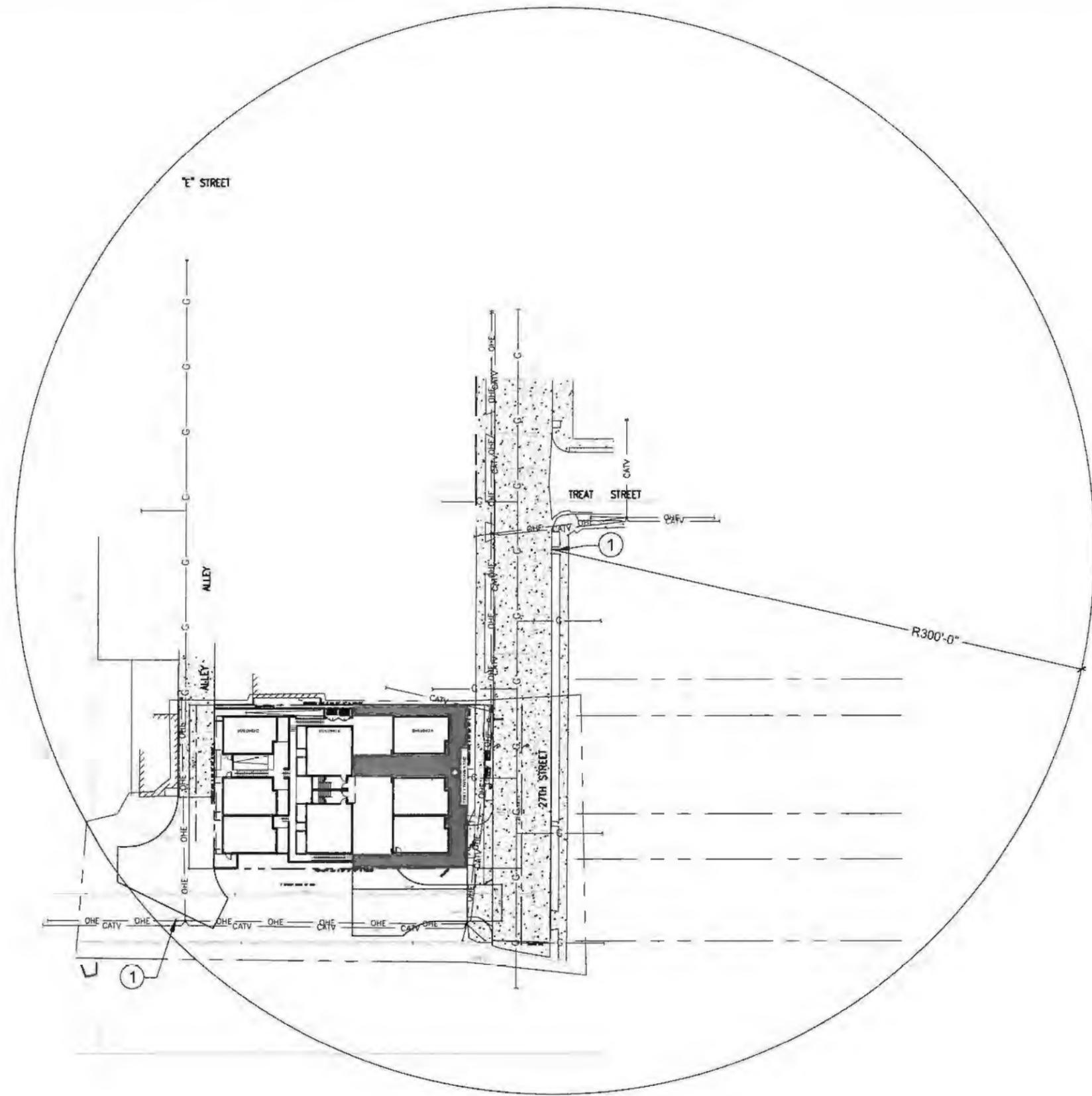
STREET YARD PLAN



SUBMITTAL: 05/05/2014

**A1.6**

1 YARD CALCULATIONS scale: 1/8" = 1'-0"



**KEY NOTES**

- ① EXISTING FIRE HYDRANT
- ② PROPERTY LINE
- ③ YARD SETBACK LINE
- ④ CENTER LINE OF STREET / ALLEY

**LEGEND**

- CMU RETAINING WALL OR FENCE
- STREET YARD EXTENTS

**GENERAL NOTES**

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION §95.0209
2. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
3. CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.

REVISION 5: \_\_\_\_\_  
 REVISION 4: \_\_\_\_\_  
 REVISION 3: 06-25-15  
 REVISION 2: 03-05-15  
 REVISION 1: 7-9-14  
 ORIGINAL DRAWING PREPARATION DATE: 4-7-14  
 SHEET #: 17 OF: 26  
 SHEET TITLE: FIRE ACCESS PLAN

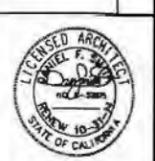


**1 FIRE ACCESS PLAN** SCALE: 1/30'

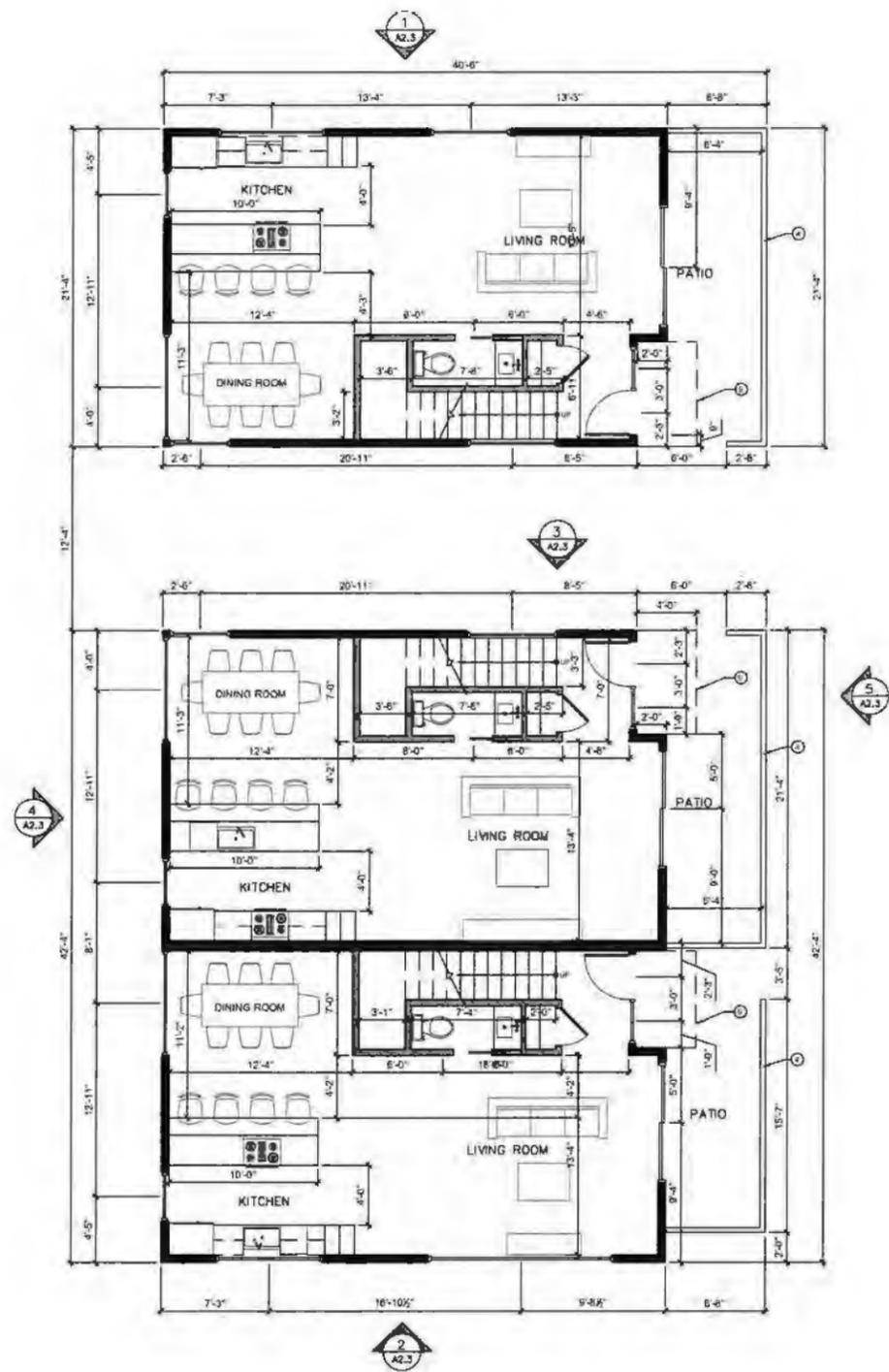
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 info@pointofdeparturestudio.com

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 SAN DIEGO, CALIFORNIA

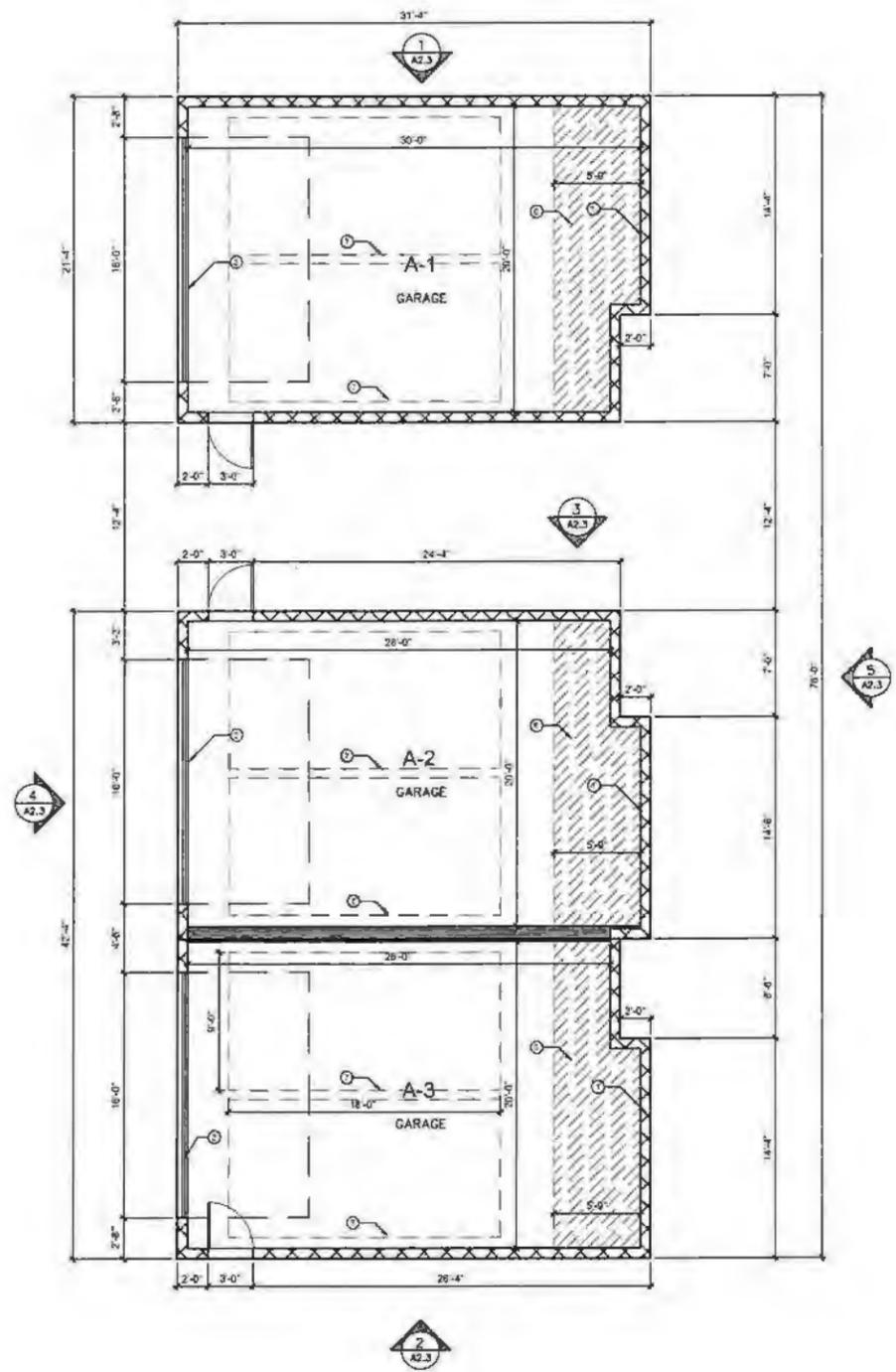
**City** L.I.G.H.T.S.  
 T O W N H O M E S  
 FIRE ACCESS PLAN



SUBMITTAL: 05/05/2014  
**A1.7**



**2 BLDG A SECOND FLOOR PLAN** scale: 3/16" = 1'-0"



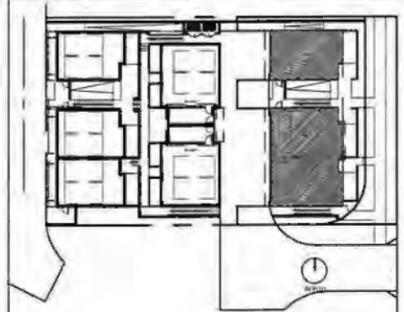
**1 BLDG A FIRST FLOOR PLAN** scale: 3/16" = 1'-0"

**FLOOR PLAN KEYNOTES**

- ① RETAINING WALL
- ② OVERHEAD GARAGE DOOR
- ③ LINE OF BUILDING ABOVE
- ④ WOOD FENCE
- ⑤ CMU SCREEN WALL, STUCCO FINISH
- ⑥ A MINIMUM OF 100 CUBIC FEET OF STORAGE REQUIRED PER SDMC 158.0303(g)
- ⑦ A MINIMUM PARKING AREA OF 9' WIDE X 18' LONG, IS REQUIRED PER SDMC 142.0560(l) TABLE 142-05K
- ⑧ DIRECT VENT LOW PROFILE FIREPLACE
- ⑨ LINE OF COVERED ENTRANCED ABOVE PROVIDE MINIMUM OF 24 SQFT

**GENERAL NOTES**

**KEY PLAN**



|             |          |
|-------------|----------|
| REVISION 5: |          |
| REVISION 4: |          |
| REVISION 3: | 06-25-15 |
| REVISION 2: | 03-05-15 |
| REVISION 1: | 7-9-14   |

ORIGINAL DRAWING PREPARATION DATE: 4-7-14

SHEET #: 18 OF: 26  
SHEET TITLE: BUILDING A - 1ST & 2ND FLOOR PLANS

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
POINT OF DEPARTURE ARCHITECTURE

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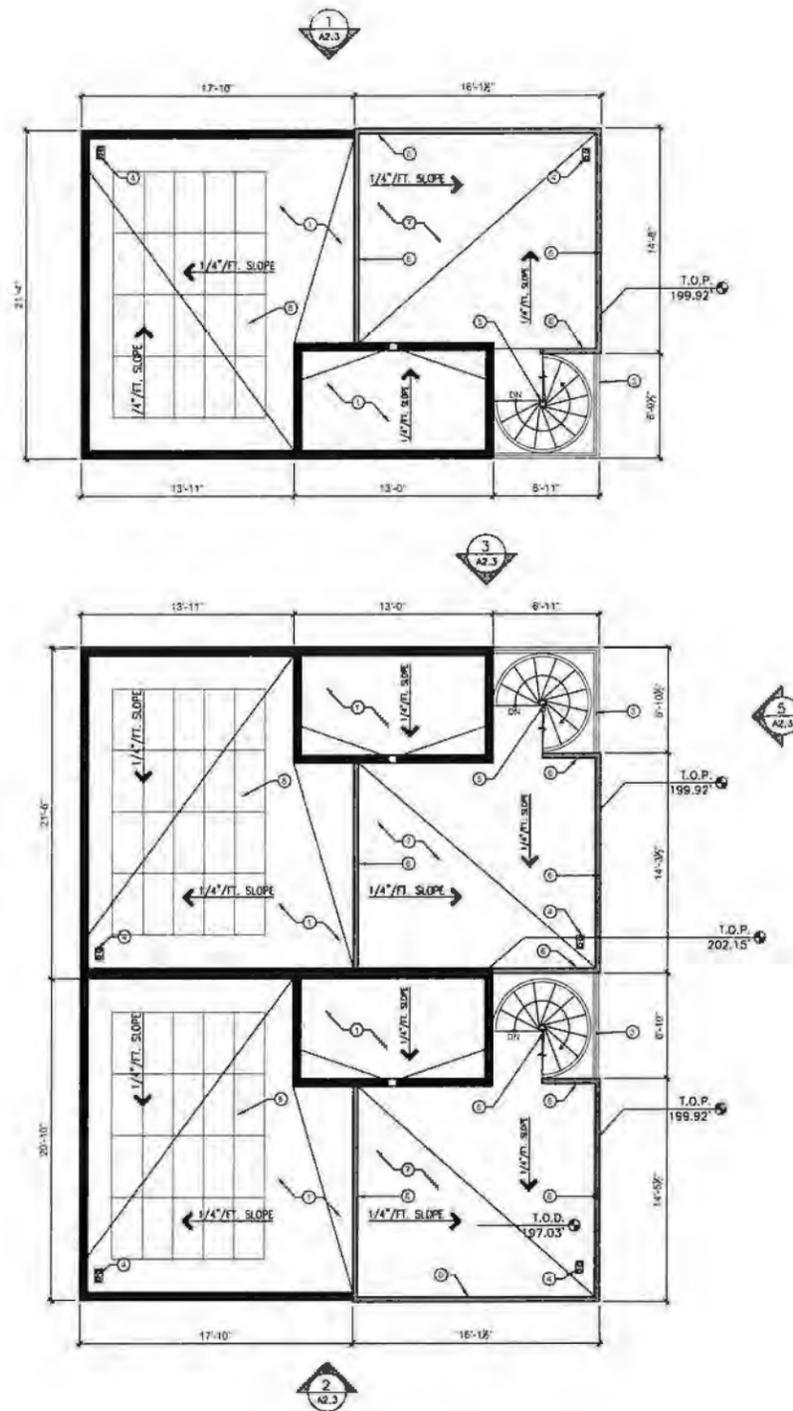
806 27TH STREET  
SAN DIEGO, CALIFORNIA

**City** L·I·G·H·T·S  
T O W N H O M E S  
BUILDING A PLANS - 1ST & 2ND FLOORS

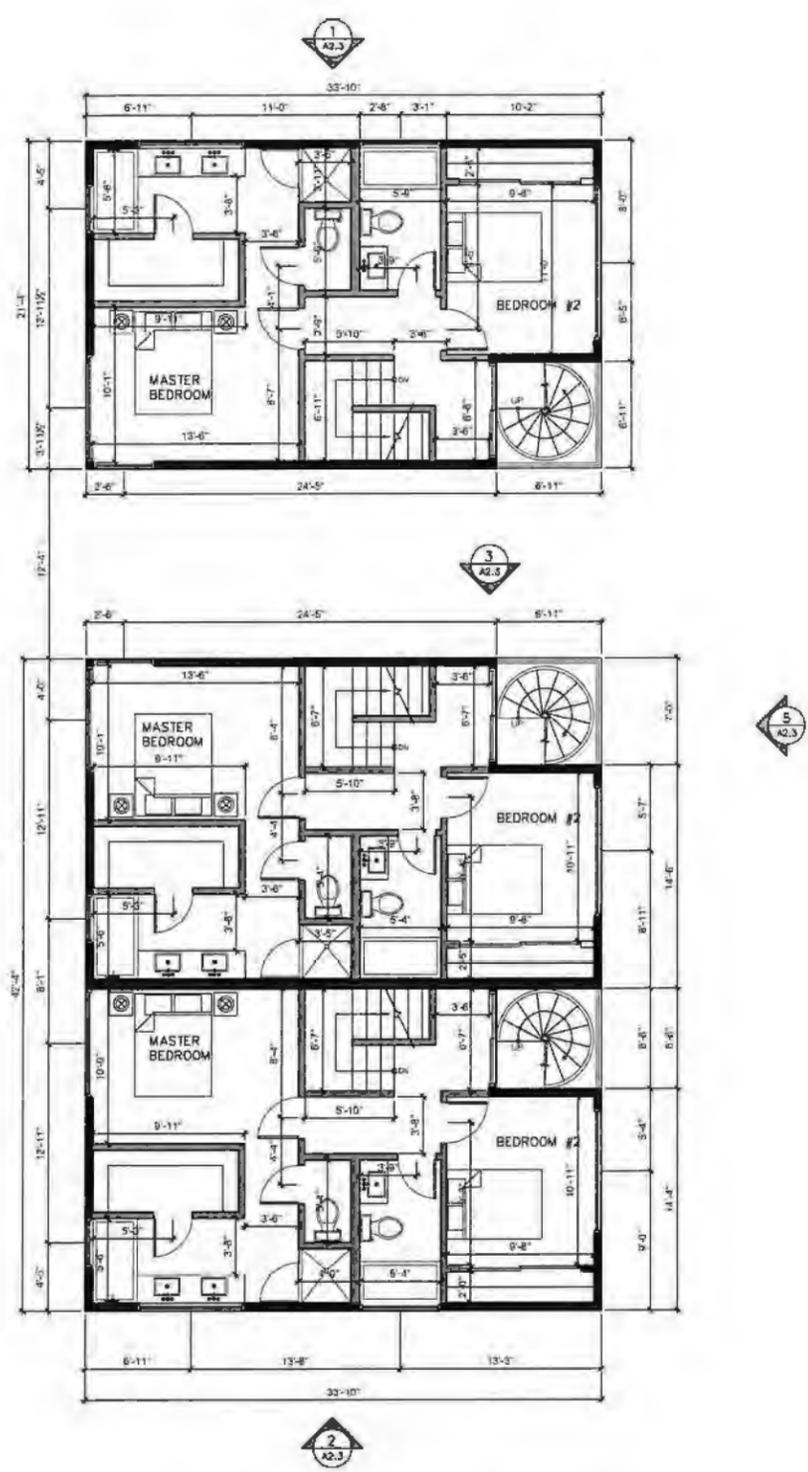


SUBMITTAL: 05/05/2014

**A2.1**



**2** BLDG A ROOF PLAN scale: 3/16" = 1'-0"

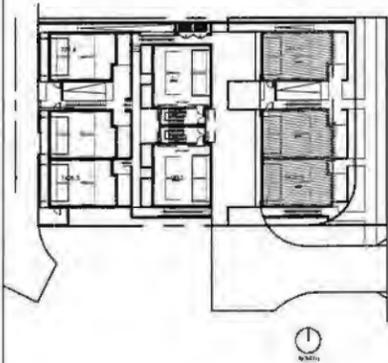


**1** BLDG A THIRD FLOOR PLAN scale: 3/16" = 1'-0"

- ROOF PLAN KEYNOTES**
- ① SINGLE-PLY ROOFING, GRAY COLOR
  - ② LINE OF BUILDING BELOW
  - ③ BALCONY BELOW
  - ④ ROOF AND OVERFLOW DRAIN
  - ⑤ EXTERIOR SPIRAL STAIR W/ PERF. METAL RAILING
  - ⑥ 42" HIGH GUARDRAIL
  - ⑦ ROOF TOP DECK
  - ⑧ ROOF SOLAR PANELS
  - ⑨ DIRECT VENT LOW PROFILE FIREPLACE

GENERAL NOTES

KEY PLAN



|             |          |
|-------------|----------|
| REVISION 5: |          |
| REVISION 4: |          |
| REVISION 3: | 06-25-15 |
| REVISION 2: | 03-05-15 |
| REVISION 1: | 7-9-14   |

ORIGINAL DRAWING PREPARATION DATE: 4-7-14

SHEET #: 19 OF 26  
SHEET TITLE: BUILDING A - 3RD FLOOR & ROOF PLANS

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
POINT OF DEPARTURE ARCHITECTURE

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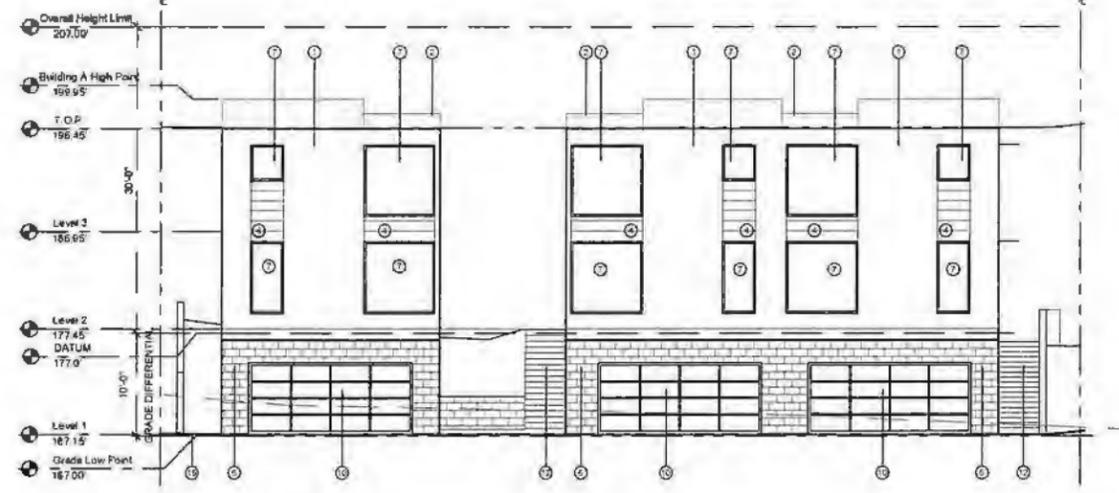
806 27TH STREET  
SAN DIEGO, CALIFORNIA

**City** L-I-G-H-T-S  
T-O-W-N-H-O-M-E-S

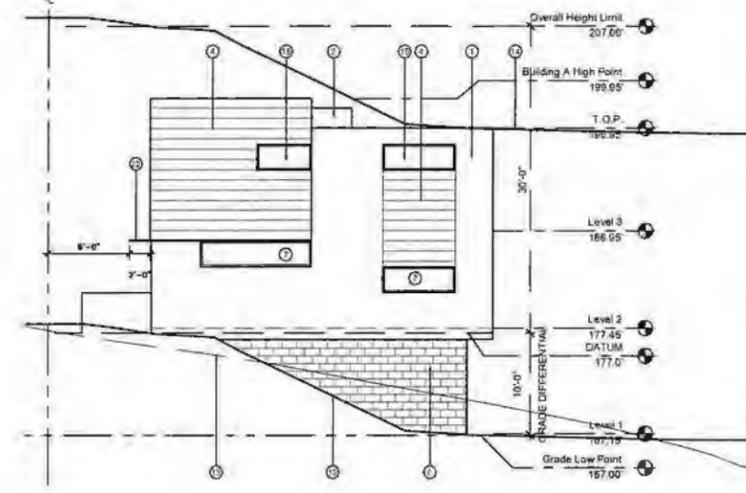


SUBMITTAL: 05/05/2014

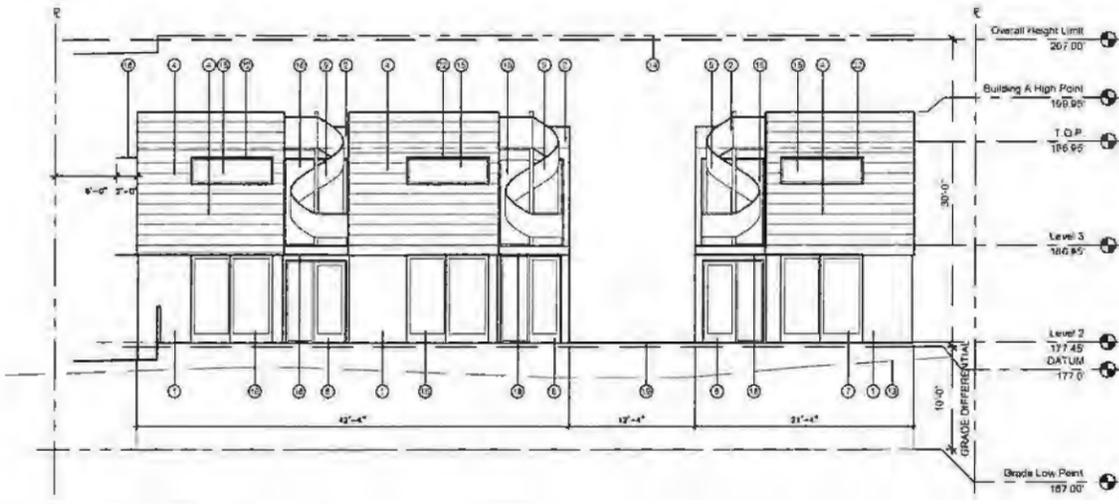
**A2.2**



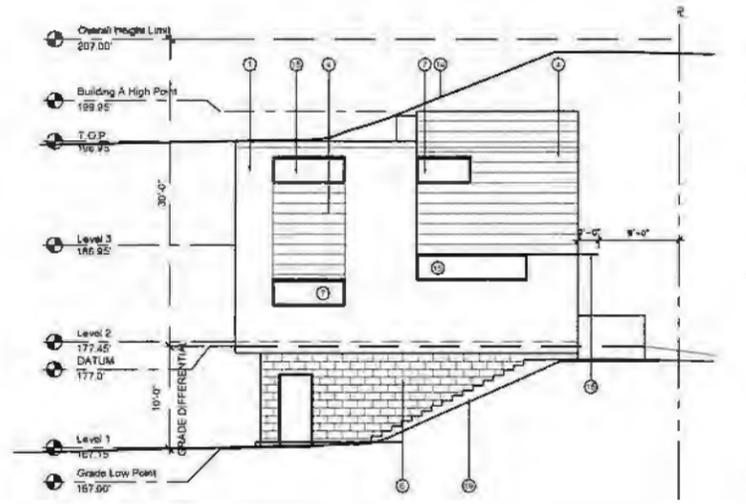
4 WEST ELEVATION scale: 1/8" = 1'-0"



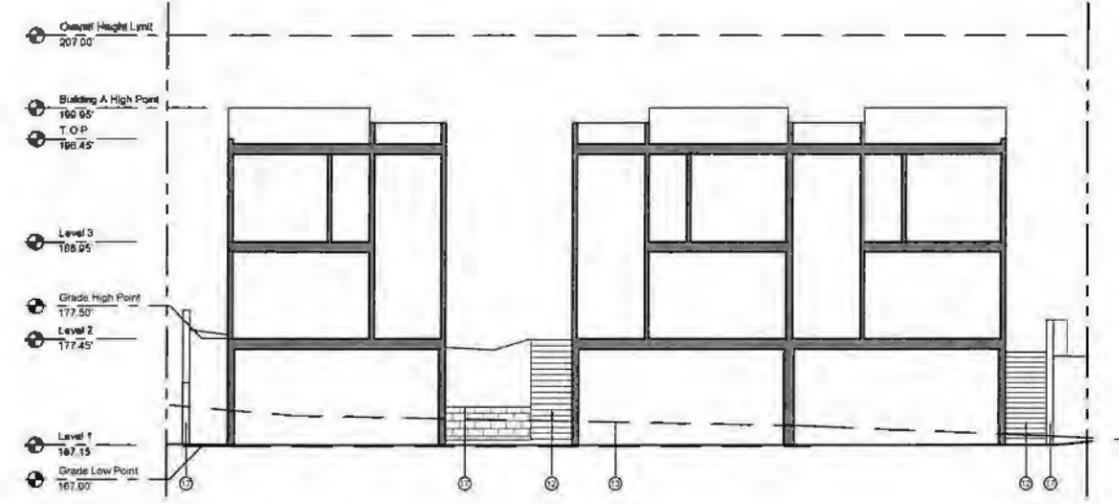
1 NORTH ELEVATION scale: 1/8" = 1'-0"



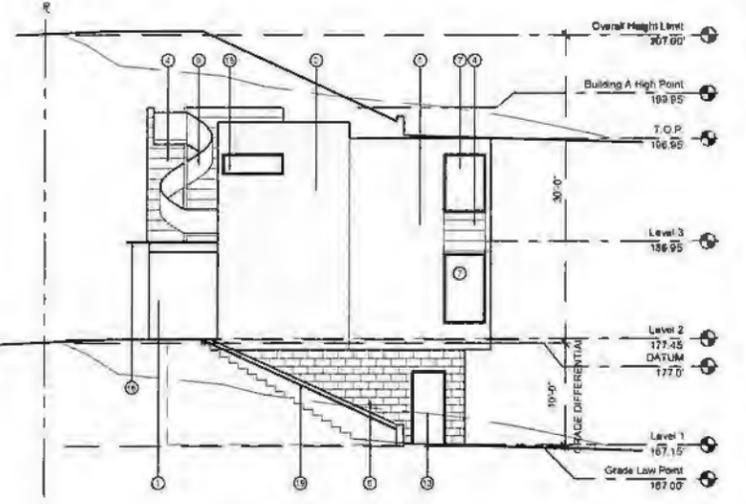
5 EAST ELEVATION scale: 1/8" = 1'-0"



2 SOUTH ELEVATION scale: 1/8" = 1'-0"



6 SECTION scale: 1/8" = 1'-0"



3 COURTYARD ELEVATION scale: 1/8" = 1'-0"

ELEVATION KEYNOTES

- 1 STUCCO - LIGHT SAND FINISH, WHITE
- 2 STUCCO - SMOOTH FINISH, GRAY
- 3 SOLAR PANELS
- 4 WOOD PANELING
- 5 SINGLE PLY ROOFING
- 6 CMU - PRECISION CUT, CHARCOAL GRAY
- 7 METAL FRAME WINDOW - BLACK ANODIZED (TYP)
- 8 METAL FRAME DOOR - BLACK ANODIZED (TYP)
- 9 SPIRAL STAIR W/ PERFORATED METAL RAILING
- 10 GLASS GARAGE DOOR -
- 11 METAL FASCIA PREFINISHED ALUM. BLACK
- 12 CONCRETE STAIR
- 13 LINE OF EXISTING GRADE
- 14 PLUMBLINE HEIGHT LIMIT
- 15 CLERESTORY WINDOW
- 16 SLIDING GLASS DOOR- BLACK ANODIZED (TYP)
- 17 LINE OF RETAINING WALL (SEE GOLDEN HILL DESIGN CRITERIA)
- 18 PROJECTING ROOFED ENTRY PORCH, MINIMUM OF 24 SOFT
- 19 LINE OF PROPOSED GRADE
- 20 METAL PANELING
- 21 GLASS RAILING
- 22 METAL SHADE CANOPY (EYEBROW)
- 23 ALLOWABLE FENCE HEIGHT PER SDMC DIAGRAM 142-03A

GOLDEN HILLS DESIGN CRITERIA

- GOLDEN HILL PLANNED DISTRICT GENERAL DESIGN CRITERIA
- 1 A RETAINING WALL IN VISIBILITY AREAS SHALL NOT EXCEED 3 EXCEPT THAT A RETAINING WALL MAY BE CONSTRUCTED TO MAINTAIN AN EXISTING CUT BANK ADJACENT TO A PUBLIC RIGHT OF WAY. IF THE WALL FOLLOWS THE CONTOURS OF THE SLOPE PER SDMC 142 (034)(b)
  - 2 RETAINING WALLS LOCATED OUTSIDE REQUIRED FRONT YARDS AND STREET SIDE YARDS SHALL NOT EXCEED 12 IN HEIGHT SDMC 142 (034)(e)
  - 3 THE DESIGN OF THE SIDEWALKS SHALL MATCH THE HISTORIC SIDEWALK PATTERN ON THE ADJACENT PROPERTIES, INCLUDING LOCATION, WIDTH, ELEVATION, SCORING PATTERN, COLOR AND MATERIALS
  - 4 RESIDENTIAL ZONES SDMC 158 (0301)(b)(3)
    - 1 TWENTY PERCENT OF THE LENGTH OF THE BUILDING FACADE MAY EXCEED THE HEIGHT LIMIT SPECIFIED ABOVE IN ORDER TO PROVIDE ROOF-LINE AND FACADE VARIATIONS, ACCENTS, TOWER ELEMENTS AND OTHER SIMILAR ELEMENTS WHICH DO NOT INCREASE THE FLOOR AREA OF THE STRUCTURE
- REQUIRED DESIGN CRITERIA IS BASED ON THE REQUIREMENT SET FORTH IN THE GOLDEN HILLS DESIGN GUIDELINES FOR MULTI UNIT RESIDENT, PER SDMC 158.301 (c)(2)(D)
- CONTEMPORARY STYLE (SIX SELECTED FEATURES)
- 1 PROVIDE LARGE RECTANGULAR WINDOWS GROUPED IN BANDS WITH SHARPE / CONTINUOUS PROJECTING WINDOW SILL ON ALL ELEVATION FACING A STREET AND ON AT LEAST THE FRONT 20 PERCENT OF THE INTERIOR SIDE ELEVATIONS PER SDMC 158.301 (c)(2)(D)
  - 2 A MINIMUM OF 50% OF ALL WINDOWS ON ALL STREET ELEVATION TO BE RECESSED AT LEAST TWO INCHES PER SDMC 158.301 (c)(2)(D)
  - 4 PROVIDE A MINIMUM OF ONE CLERESTORY WINDOW EVERY TWO DWELLING UNITS PER SDMC 158.301 (c)(2)(D)
  - 5 PROVIDE PROJECTING ROOFED ENTRY PORCH TO BE A MINIMUM OF 24 SQUARE FEET. IF IT SERVES ONE OR TWO ENTRANCE DOORS AND 10 SQUARE FEET PER ENTRANCE DOOR IF IT SERVES MORE THAN TWO PER SDMC 158.301 (c)(2)(D)
  - 6 PROVIDE A MINIMUM OF ONE OPENABLE FRIEZE FOR EVERY TWO DWELLING UNITS PER SDMC 158.301 (c)(2)(D)

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806 27TH STREET  
SAN DIEGO, CALIFORNIA

**City** L.I.G.H.T.S.  
townhomes  
BUILDING A ELEVATIONS & SECTION

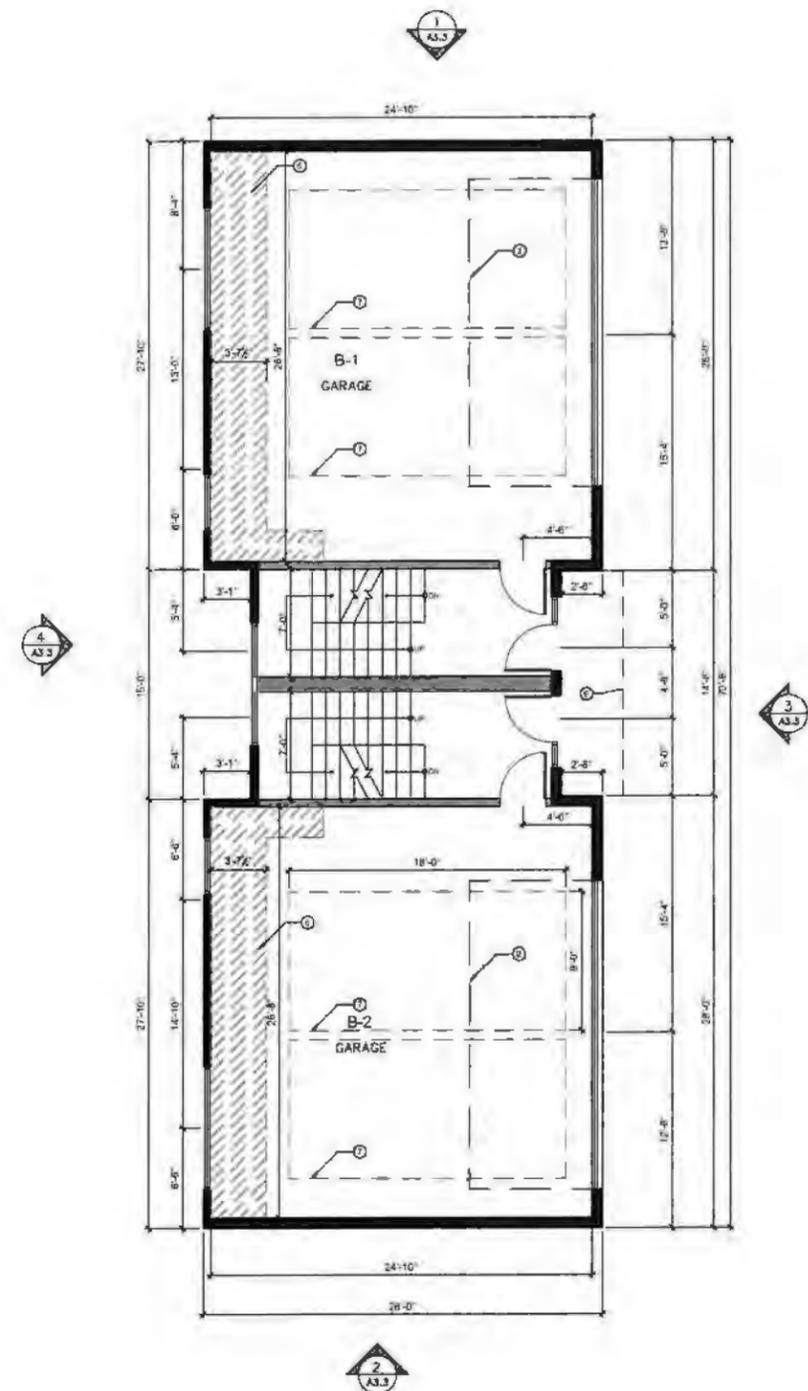


REVISION 5: \_\_\_\_\_  
 REVISION 4: \_\_\_\_\_  
 REVISION 3: 06-25-15  
 REVISION 2: 03-05-15  
 REVISION 1: 7-9-14  
 ORIGINAL DRAWING PREPARATION DATE: 4-7-14  
 SHEET #: 20 OF 26  
 SHEET TITLE: BUILDING A - ELEVATIONS & SECTION  
 CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
 POINT OF DEPARTURE ARCHITECTURE

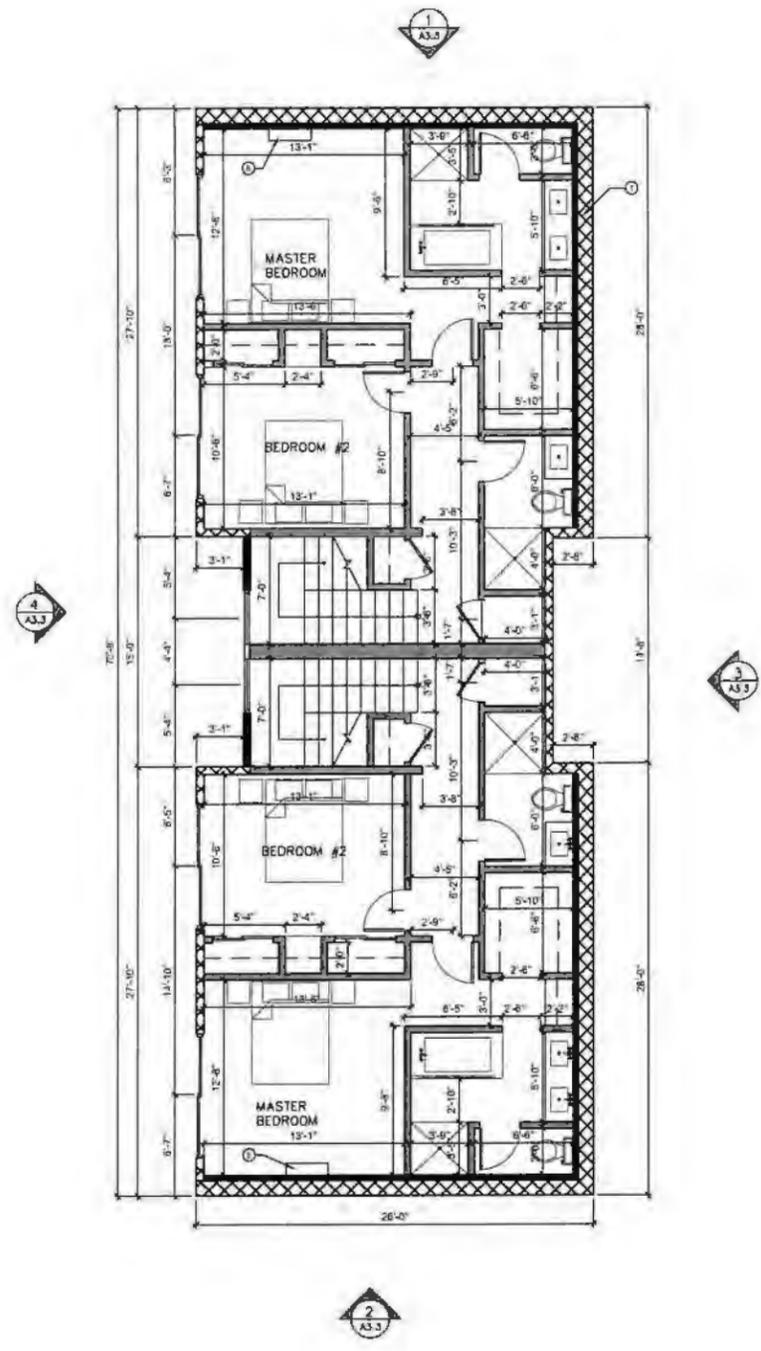
SUBMITTAL: 05/05/2014

A2.3

**2 BLDG B SECOND FLOOR PLAN** scale: 3/16" = 1'-0"



**1 BLDG B FIRST FLOOR PLAN** scale: 3/16" = 1'-0"



**FLOOR PLAN KEYNOTES**

- ① RETAINING WALL
- ② OVERHEAD GARAGE DOOR
- ③ LINE OF BUILDING ABOVE
- ④ WOOD FENCE
- ⑤ CMU SCREEN WALL, STUCCO FINISH
- ⑥ A MINIMUM OF 100 CUBIC FEET OF STORAGE REQUIRED PER SDMC 158.0303(g)
- ⑦ A MINIMUM PARKING AREA OF 9' WIDE X 18' LONG, IS REQUIRED PER SDMC 142.0560(d) TABLE 142-05K
- ⑧ DIRECT VENT LOW PROFILE FIREPLACE
- ⑨ LINE OF COVERED ENTRANCED ABOVE PROVIDE MINIMUM OF 24 SQFT

**GENERAL NOTES**

**KEY PLAN**



|   |                                    |
|---|------------------------------------|
| REVISION 5:   | _____                              |
| REVISION 4:   | _____                              |
| REVISION 3:   | 06-25-15                           |
| REVISION 2:   | 03-05-15                           |
| REVISION 1:   | 7-9-14                             |
| ORIGINAL DRAWING PREPARATION DATE:                    | 4-7-14                             |
| SHEET #:  | 21 OF 26                           |
| SHEET TITLE:  | BUILDING B - 1ST & 2ND FLOOR PLANS |
| CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA |                                    |
| POINT OF DEPARTURE ARCHITECTURE                       |                                    |

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806 27TH STREET  
SAN DIEGO, CALIFORNIA

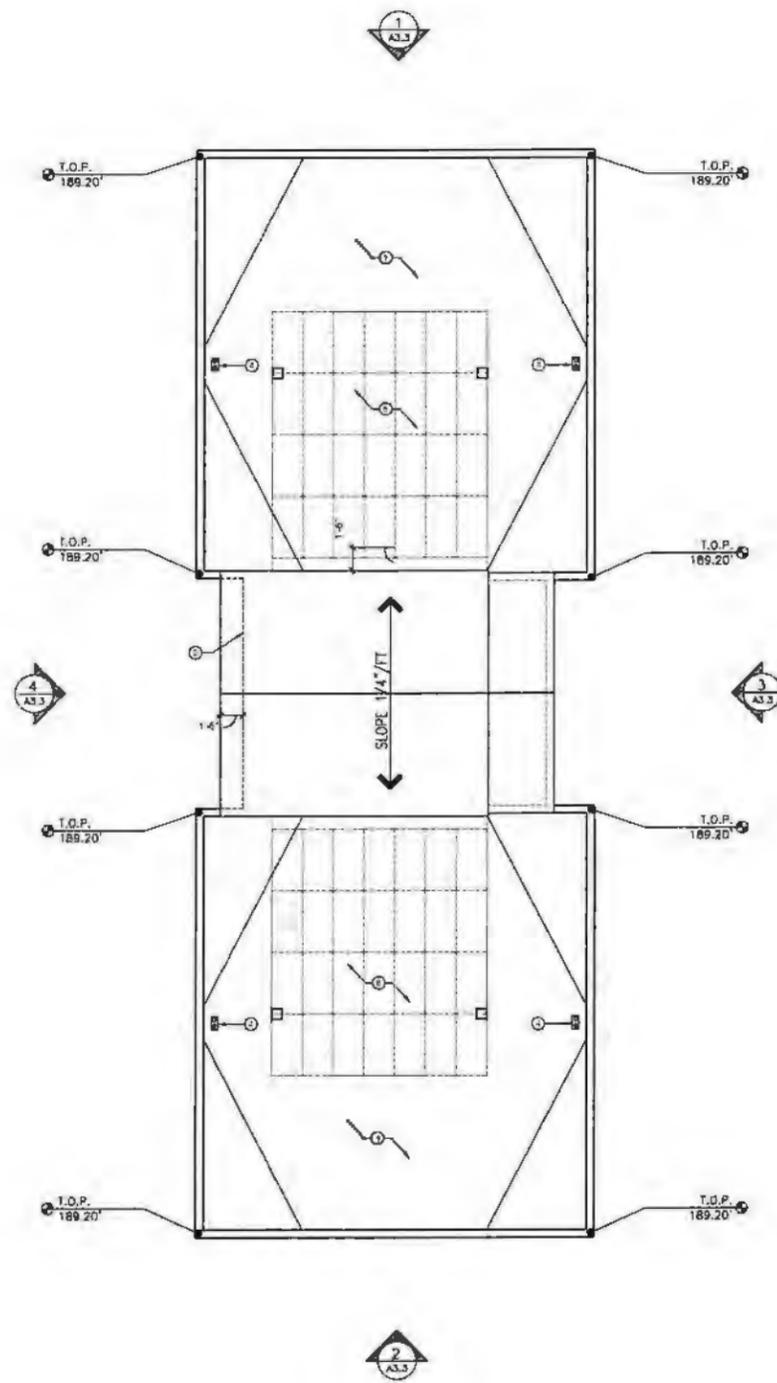
**City** L.I.G.H.T.S.  
T O W N H O M E S

BUILDING B PLANS - 1ST & 2ND FLOORS

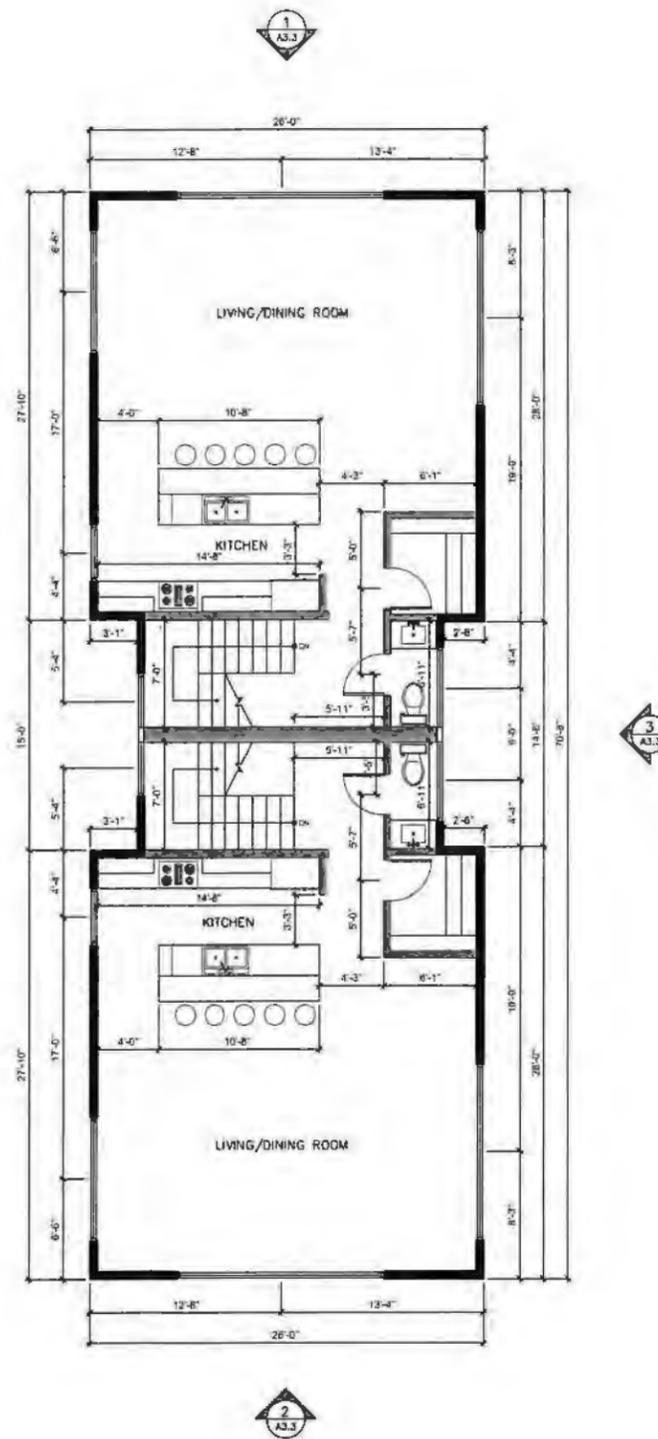


SUBMITTAL: 05/05/2014

**A3.1**



**2 BLDG B ROOF PLAN** scale: 3/16" = 1'-0"



**1 BLDG B THIRD FLOOR PLAN** scale: 3/16" = 1'-0"

**ROOF PLAN KEYNOTES**

- ① SINGLE-PLY ROOFING, GRAY COLOR
- ② LINE OF BUILDING BELOW
- ③ BALCONY BELOW
- ④ ROOF AND OVERFLOW DRAIN
- ⑤ EXTERIOR SPIRAL STAIR W/ PERF. METAL RAILING
- ⑥ 42" HIGH GUARDRAIL
- ⑦ ROOF TOP DECK
- ⑧ ROOF SOLAR PANELS
- ⑨ DIRECT VENT LOW PROFILE FIREPLACE

**GENERAL NOTES**

**KEY PLAN**



|  |                                       |
|--|---------------------------------------|
| REVISION 5:  | _____                                 |
| REVISION 4:  | _____                                 |
| REVISION 3:  | 06-25-15                              |
| REVISION 2:  | 03-05-15                              |
| REVISION 1:  | 7-9-14                                |
| ORIGINAL DRAWING PREPARATION DATE:   | 4-7-14                                |
| SHEET #:   | 22 OF 26                              |
| SHEET TITLE:   | BUILDING B - 3RD FLOOR AND ROOF PLANS |
| CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA<br>POINT OF DEPARTURE ARCHITECTURE |                                       |

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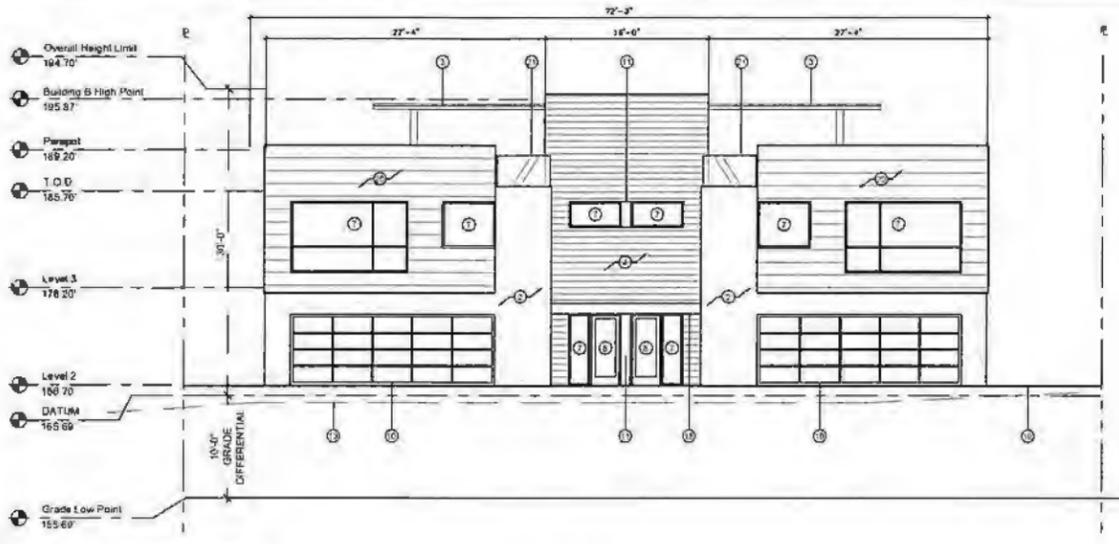
**City** L-I-G-H-T-S  
T-O-W-N-H-O-M-E-S

BUILDING B PLANS - 3RD FLOOR & ROOF



SUBMITTAL: 05/05/2014

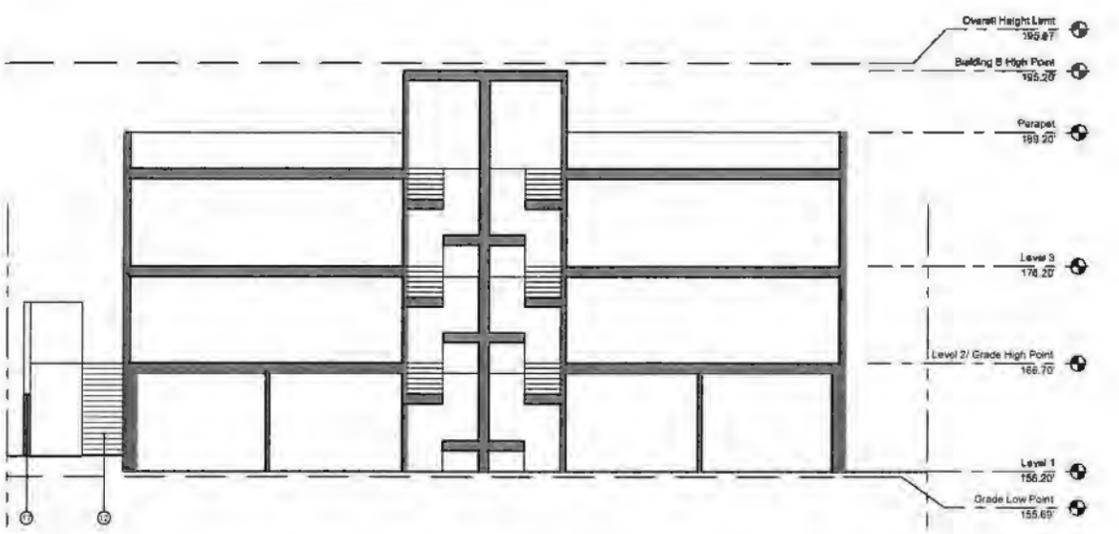
**A3.2**



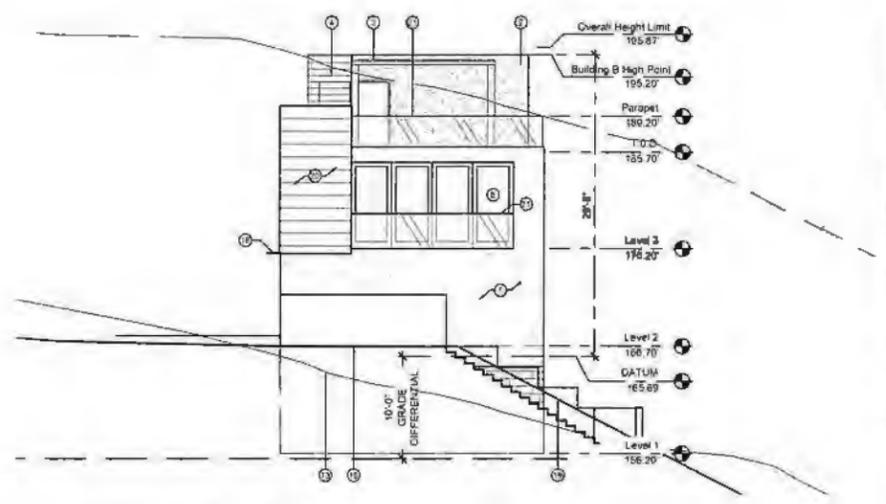
**3 EAST ELEVATION** scale: 1/8" = 1'-0"



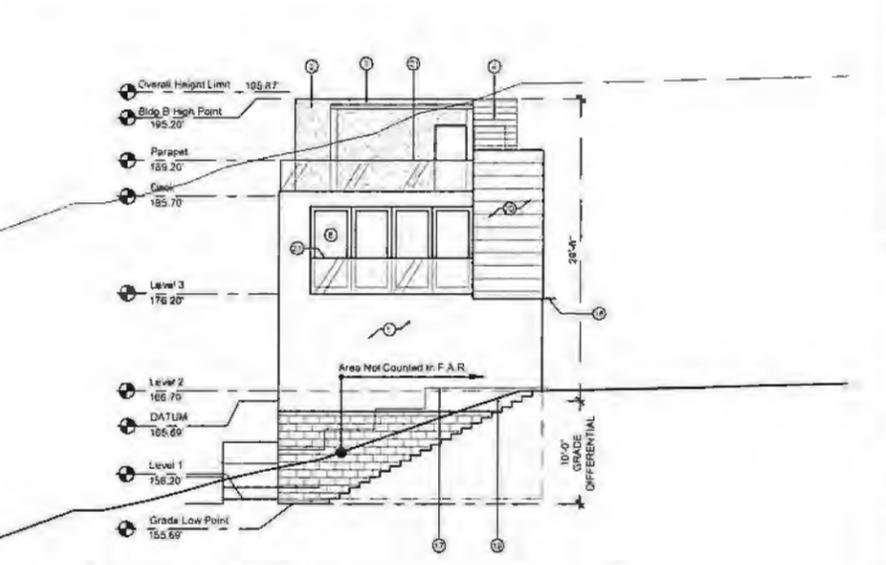
**4 WEST ELEVATION** scale: 1/8" = 1'-0"



**5 SECTION** scale: 1/8" = 1'-0"



**1 NORTH ELEVATION** scale: 1/8" = 1'-0"



**2 SOUTH ELEVATION** scale: 1/8" = 1'-0"

**ELEVATION KEYNOTES**

- ① STUCCO - LIGHT SAND FINISH, WHITE
- ② STUCCO - SMOOTH FINISH, GRAY
- ③ SOLAR PANELS
- ④ WOOD PANELING
- ⑤ SINGLE PLY ROOFING
- ⑥ CMU - PRECISION CUT, CHARCOAL GRAY
- ⑦ METAL FRAME WINDOW - BLACK ANODIZED (TYP)
- ⑧ METAL FRAME DOOR - BLACK ANODIZED (TYP)
- ⑨ SPIRAL STAIR W/ PERFORATED METAL RAILING
- ⑩ GLASS GARAGE DOOR -
- ⑪ METAL FASCIA PREFINISHED ALUM. BLACK
- ⑫ CONCRETE STAIR
- ⑬ LINE OF EXISTING GRADE
- ⑭ PLUMBLINE HEIGHT LIMIT
- ⑮ CLERESTORY WINDOW
- ⑯ SLIDING GLASS DOOR- BLACK ANODIZED (TYP)
- ⑰ LINE OF RETAINING WALL (SEE GOLDEN HILL DESIGN CRITERIA)
- ⑱ PROJECTING ROOFED ENTRY PORCH. MINIMUM OF 24 SQFT.
- ⑲ LINE OF PROPOSED GRADE
- ⑳ METAL PANELING
- ㉑ GLASS RAILING
- ㉒ METAL SHADE CANOPY (EYEBROW)
- ㉓ ALLOWABLE FENCE HEIGHT PER SDMC DIAGRAM 142-03A

**GOLDEN HILLS DESIGN CRITERIA**

- GOLDEN HILL PLANNED DISTRICT GENERAL DESIGN CRITERIA**
1. A RETAINING WALL IN VISIBILITY AREAS SHALL NOT EXCEED 3' EXCEPT THAT A RETAINING WALL MAY BE CONSTRUCTED TO MAINTAIN AN EXISTING CUT BANK ADJACENT TO A PUBLIC RIGHT OF WAY. IF THE WALL FOLLOW THE CONTOURS OF THE SLOPE PER SDMC 142-03A(1)(b).
  2. RETAINING WALLS LOCATED OUTSIDE REQUIRED FRONT YARDS AND STREET SIDE YARDS SHALL NOT EXCEED 12' IN HEIGHT SDMC 142-03A(1)(c).
  3. THE DESIGN OF THE SIDEWALKS SHALL MATCH THE HISTORIC SIDEWALK PATTERN ON THE ADJACENT PROPERTIES, INCLUDING LOCATION, WIDTH, ELEVATION, SCORING PATTERN, COLOR AND MATERIALS.
  4. RESIDENTIAL ZONES SDMC 158-051(a)(1)(i) TABLE 158-051(a)(1)(i)
    - 1) TWENTY PERCENT OF THE LENGTH OF THE BUILDING FACADE MAY EXCEED THE HEIGHT LIMIT SPECIFIED ABOVE IN ORDER TO PROVIDE ROOF-LINE AND FACADE VARIATIONS, ACCENTS, TOWER ELEMENTS AND OTHER SIMILAR ELEMENTS WHICH DO NOT INCREASE THE FLOOR AREA OF THE STRUCTURE.
- REQUIRED DESIGN CRITERIA IS BASED ON THE REQUIREMENT SET FORTH IN THE GOLDEN HILLS DESIGN GUIDELINES FOR MULTI UNIT RESIDENT PER SDMC 158-301(a)(2)(D).
- CONTEMPORARY STYLE (SIX SELECTED FEATURES)**
1. PROVIDE LARGE RECTANGULAR WINDOWS (GROUPED IN BANDS WITH SHARED / CONTINUOUS PROJECTING WINDOW SILL ON ALL ELEVATION FACING A STREET AND ON AT LEAST THE FRONT 30 PERCENT OF THE INTERIOR SIDE ELEVATIONS PER SDMC 158-301(a)(2)(D).
  2. A MINIMUM OF 50% OF ALL WINDOWS ON ALL STREET ELEVATION TO BE RECESSED AT LEAST TWO INCHES PER SDMC 158-301(a)(2)(D).
  4. PROVIDE A MINIMUM OF ONE CLERESTORY WINDOW EVERY TWO DWELLING UNITS PER SDMC 158-301(a)(2)(D).
  5. PROVIDE PROJECTING ROOFED ENTRY PORCH PORCH TO BE A MINIMUM OF 24 SQUARE FEET IF IT SERVES ONE OR TWO ENTRANCE DOORS AND 10 SQUARE FEET PER ENTRANCE DOOR IF IT SERVES MORE THAN TWO PER SDMC 158-301(a)(2)(D).
  6. PROVIDE A MINIMUM OF ONE OPERABLE FIREPLACE FOR EVERY TWO DWELLINGS UNITS PER SDMC 158-301(a)(2)(D).

|             |          |
|-------------|----------|
| REVISION 5: |          |
| REVISION 4: |          |
| REVISION 3: | 06-25-15 |
| REVISION 2: | 03-05-15 |
| REVISION 1: | 7-9-14   |

ORIGINAL DRAWING PREPARATION DATE: 4-7-14

SHEET #: 23 OF: 26  
SHEET TITLE: BUILDING B - ELEVATIONS & SECTION

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
POINT OF DEPARTURE ARCHITECTURE

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T o w n h o m e s

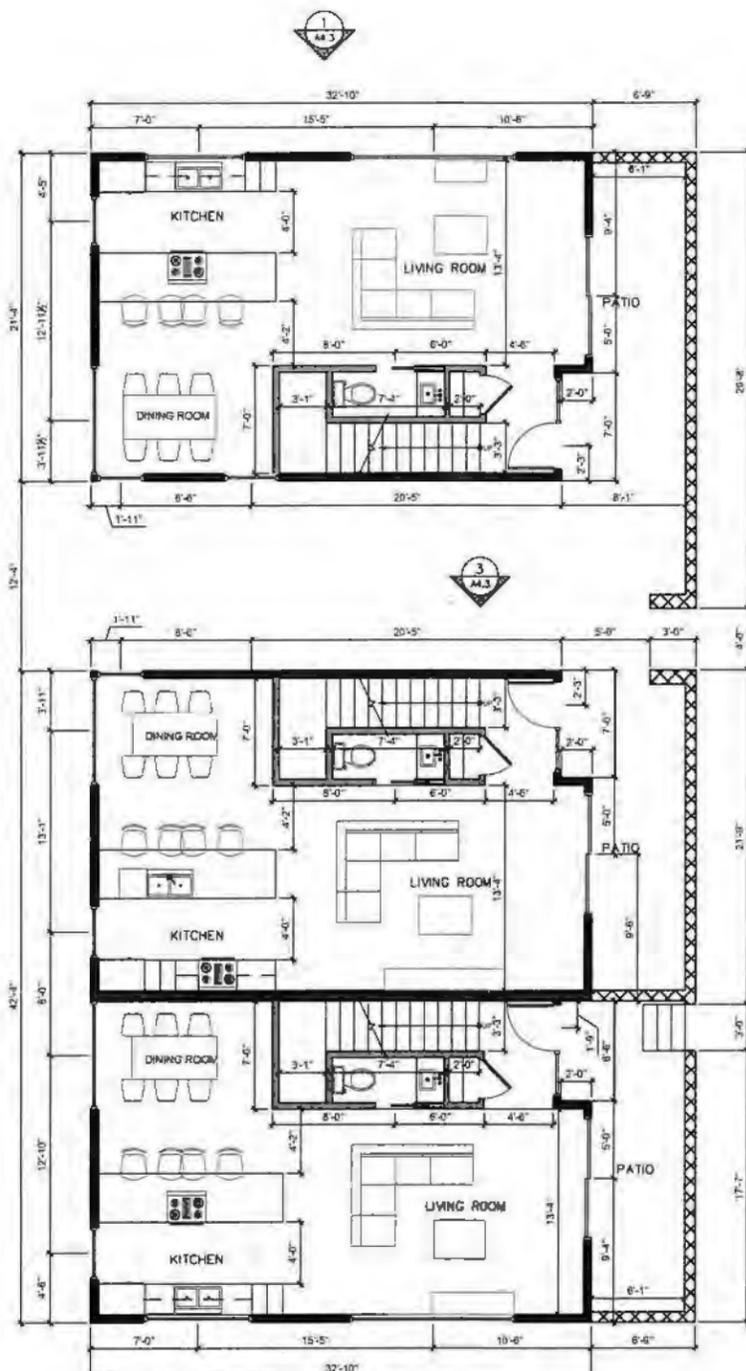


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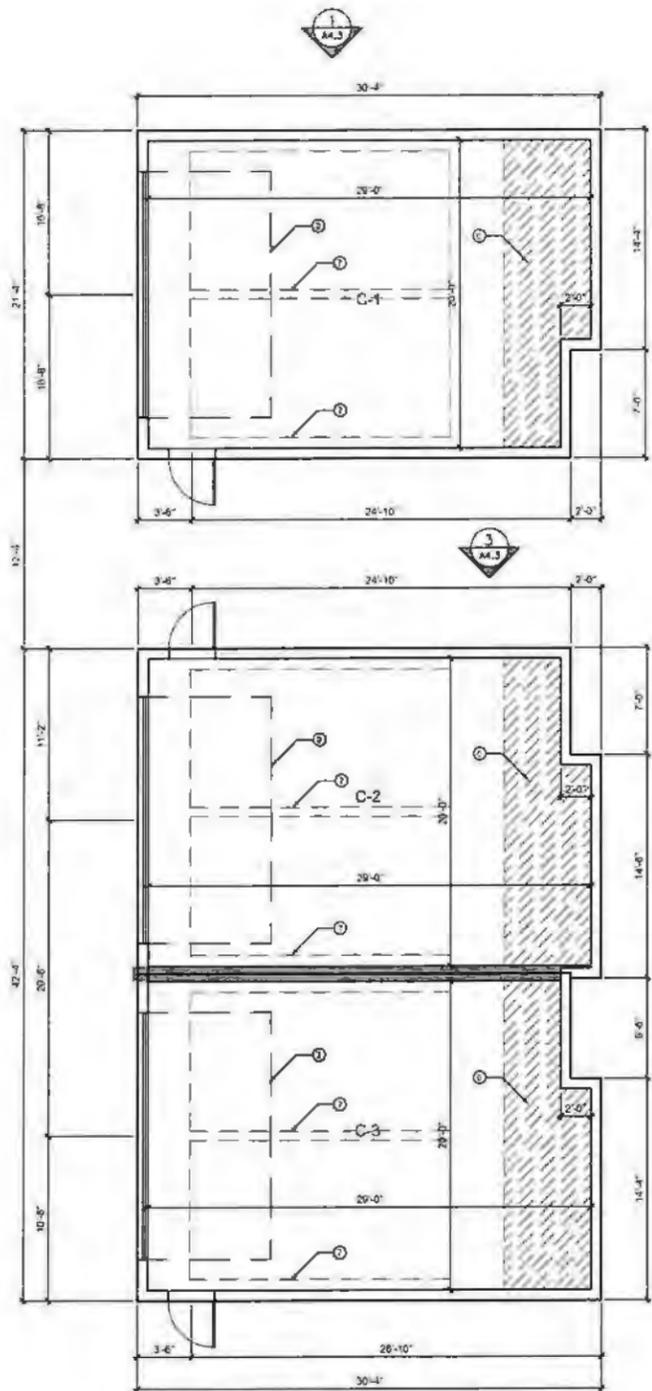
**A3.3**

**Attachment 10**  
**Project Plans**  
**Sheet 23 of 26**

BUILDING B ELEVATIONS & SECTION



**2 BLDG C SECOND FLOOR PLAN** scale: 3/16" = 1'-0"



**1 BLDG C FIRST FLOOR PLAN** scale: 3/16" = 1'-0"

- FLOOR PLAN KEYNOTES**
- 1 RETAINING WALL
  - 2 OVERHEAD GARAGE DOOR
  - 3 LINE OF BUILDING ABOVE
  - 4 WOOD FENCE
  - 5 CMU SCREEN WALL, STUCCO FINISH
  - 6 A MINIMUM OF 100 CUBIC FEET OF STORAGE REQUIRED PER SDMC 158.0303(g)
  - 7 A MINIMUM PARKING AREA OF 9' WIDE X 18' LONG, IS REQUIRED PER SDMC 142.0560(D) TABLE 142-05K
  - 8 DIRECT VENT LOW PROFILE FIREPLACE
  - 9 LINE OF COVERED ENTRANCED ABOVE PROVIDE MINIMUM OF 24 SQFT

**GENERAL NOTES**

**KEY PLAN**



|   |                                    |
|---|------------------------------------|
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| REVISION 4:   | _____                              |
| REVISION 3:   | 06-25-15                           |
| REVISION 2:   | 03-05-15                           |
| REVISION 1:   | 7-9-14                             |
| ORIGINAL DRAWING PREPARATION DATE:                    | 4-7-14                             |
| SHEET #:  | 24 OF 26                           |
| SHEET TITLE:  | BUILDING C - 1ST & 2ND FLOOR PLANS |
| CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA |                                    |
| POINT OF DEPARTURE ARCHITECTURE                       |                                    |

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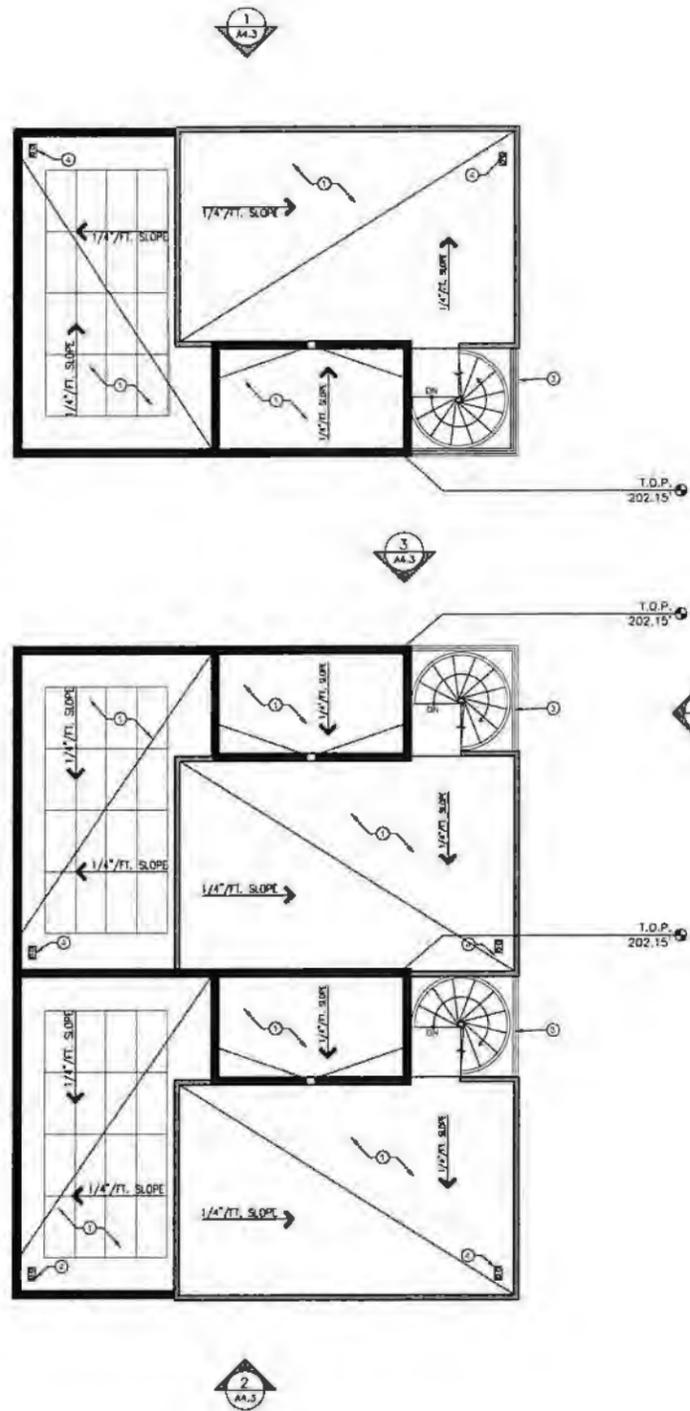
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**City** L·I·G·H·T·S  
T·O·W·N·H·O·M·E·S  
BUILDING C PLANS - 1ST & 2ND FLOORS

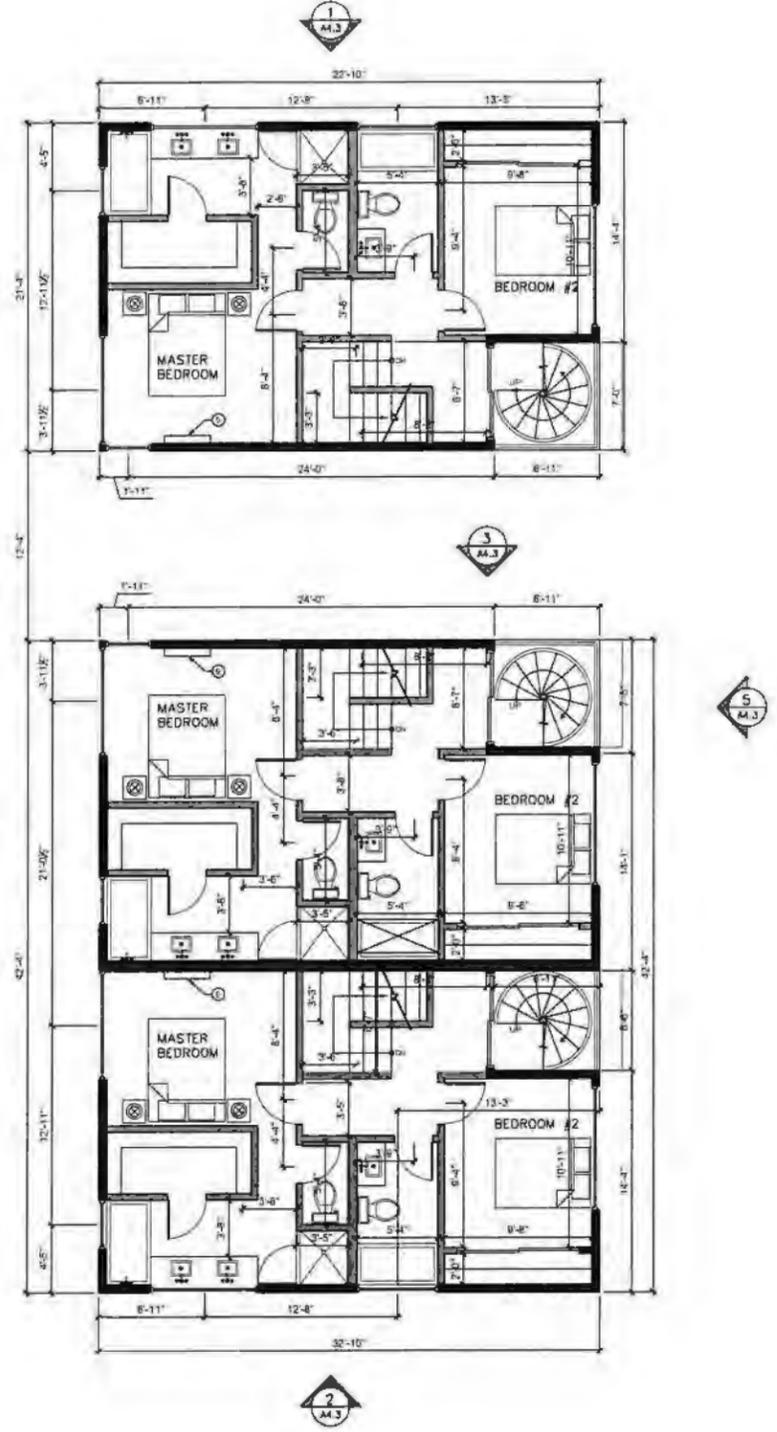


SUBMITTAL: 05/05/2014

**A4.1**



1 BLDG C ROOF PLAN scale: 3/16" = 1'-0"



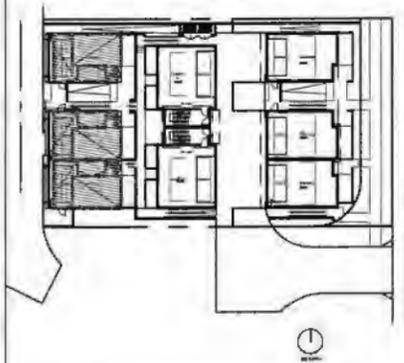
1 BLDG C THIRD FLOOR PLAN scale: 3/16" = 1'-0"

ROOF PLAN KEYNOTES

- ① SINGLE-PLY ROOFING, GRAY COLOR
- ② LINE OF BUILDING BELOW
- ③ BALCONY BELOW
- ④ ROOF AND OVERFLOW DRAIN
- ⑤ EXTERIOR SPIRAL STAIR W/ PERF. METAL RAILING
- ⑥ 42" HIGH GUARDRAIL
- ⑦ ROOF TOP DECK
- ⑧ ROOF SOLAR PANELS
- ⑨ DIRECT VENT LOW PROFILE FIREPLACE

GENERAL NOTES

KEY PLAN



|                                    |          |
|------------------------------------|----------|
| REVISION 5:                        |          |
| REVISION 4:                        |          |
| REVISION 3:                        | 06-25-15 |
| REVISION 2:                        | 03-05-15 |
| REVISION 1:                        | 7-9-14   |
| ORIGINAL DRAWING PREPARATION DATE: | 4-7-14   |

SHEET #: 25 OF: 26  
 SHEET TITLE: BUILDING C - 3RD FLOOR & ROOF PLANS  
 CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
 POINT OF DEPARTURE ARCHITECTURE

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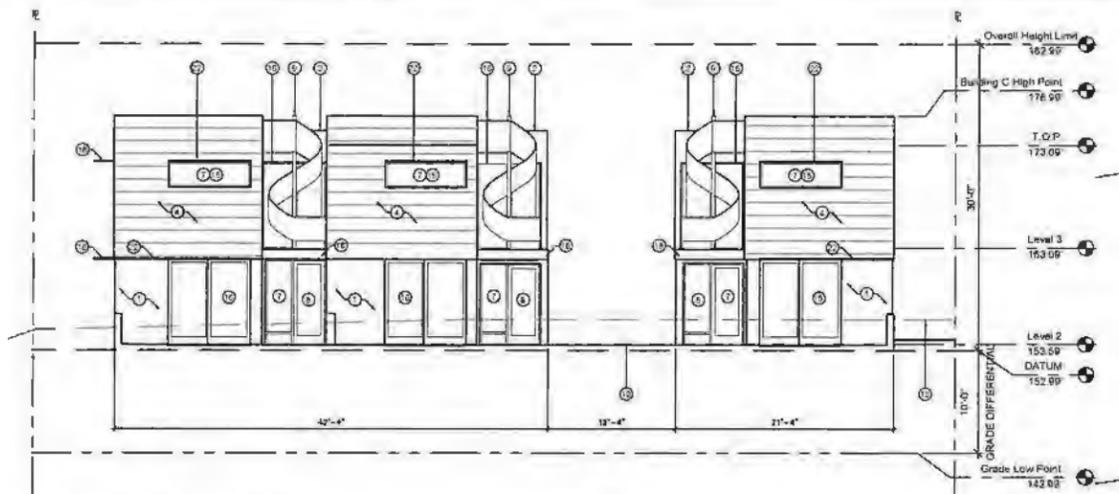
806 27TH STREET  
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**City** L-I-G-H-T-S  
 townhomes  
 BUILDING C PLANS - 3RD FLOOR & ROOF

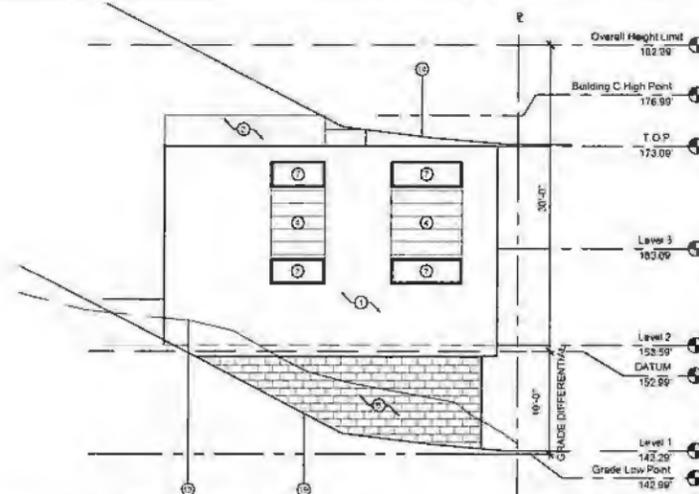


SUBMITTAL: 05/05/2014

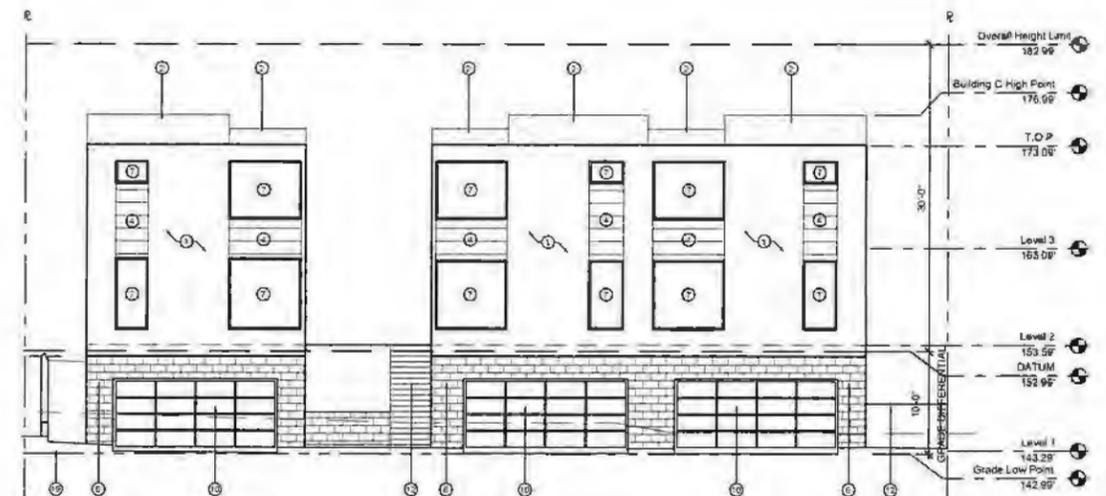
A4.2



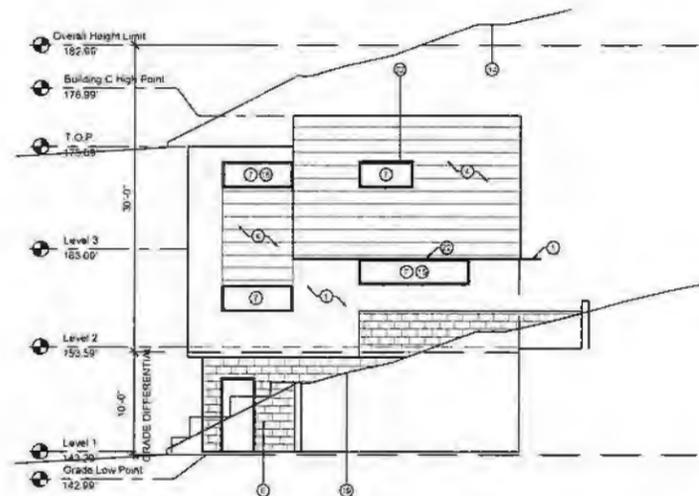
4 EAST ELEVATION scale: 1/8" = 1'-0"



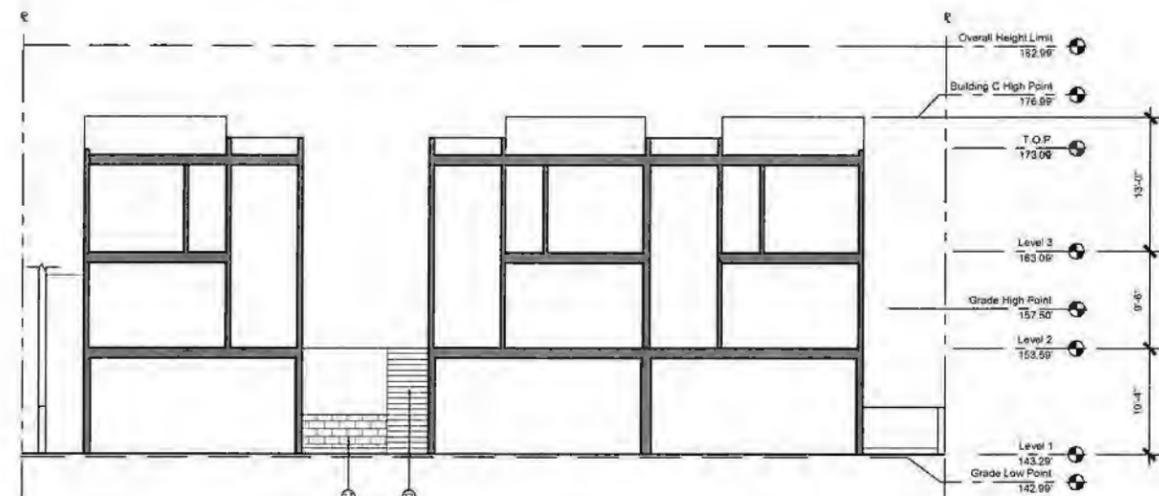
1 NORTH ELEVATION scale: 1/8" = 1'-0"



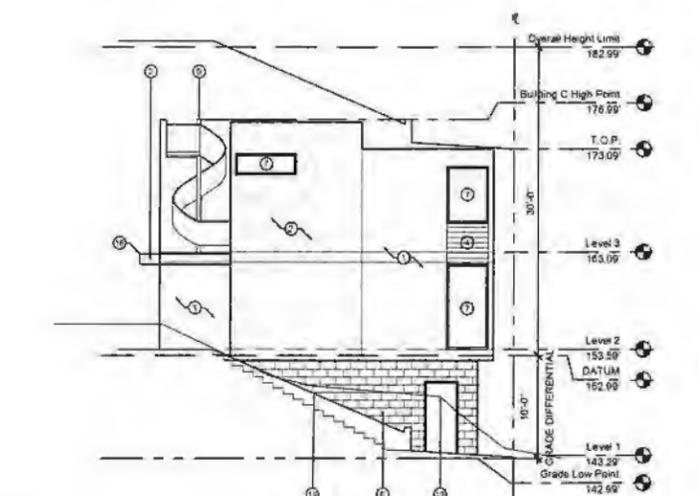
5 WEST ELEVATION scale: 1/8" = 1'-0"



2 SOUTH ELEVATION scale: 1/8" = 1'-0"



6 SECTION scale: 1/8" = 1'-0"



3 COURTYARD ELEVATION scale: 1/8" = 1'-0"

ELEVATION KEYNOTES

- 1 STUCCO - LIGHT SAND FINISH, WHITE
- 2 STUCCO - SMOOTH FINISH, GRAY
- 3 SOLAR PANELS
- 4 WOOD PANELING
- 5 SINGLE PLY ROOFING
- 6 CMU - PRECISION CUT, CHARCOAL GRAY
- 7 METAL FRAME WINDOW - BLACK ANODIZED (TYP)
- 8 METAL FRAME DOOR - BLACK ANODIZED (TYP)
- 9 GLASS GARAGE DOOR -
- 10 SPIRAL STAIR W/ PERFORATED METAL RAILING
- 11 METAL FASCIA PREFINISHED ALUM. BLACK
- 12 CONCRETE STAIR
- 13 LINE OF EXISTING GRADE
- 14 PLUMBLINE HEIGHT LIMIT
- 15 CLERESTORY WINDOW
- 16 SLIDING GLASS DOOR - BLACK ANODIZED (TYP)
- 17 LINE OF RETAINING WALL (SEE GOLDEN HILL DESIGN CRITERIA)
- 18 PROJECTING ROOFED ENTRY PORCH - MINIMUM OF 24 SQ FT
- 19 LINE OF PROPOSED GRADE
- 20 METAL PANELING
- 21 GLASS RAILING
- 22 METAL SHADE CANOPY (EYEBROW)
- 23 ALLOWABLE FENCE HEIGHT PER SDMC DIAGRAM 142-03A

GOLDEN HILLS DESIGN CRITERIA

- GOLDEN HILL PLANNED DISTRICT GENERAL DESIGN CRITERIA
- 1 A RETAINING WALL IN VISIBILITY AREAS SHALL NOT EXCEED 3' EXCEPT THAT A RETAINING WALL MAY BE CONSTRUCTED TO MAINTAIN AN EXISTING CUT BANK ADJACENT TO A PUBLIC RIGHT OF WAY, IF THE WALL FOLLOWS THE CONTOUR OF THE SLOPE PER SDMC 142.03A(6).
  - 2 RETAINING WALLS LOCATED OUTSIDE REQUIRED FRONT YARDS AND STREET SIDE YARDS SHALL NOT EXCEED 12' IN HEIGHT SDMC 142.03A(6).
  - 3 THE DESIGN OF THE SIDEWALKS SHALL MATCH THE HISTORIC SIDEWALK PATTERN ON THE ADJACENT PROPERTIES, INCLUDING LOCATION, WIDTH, FINISH, SLOPING PATTERN, COLOR AND MATERIALS.
  - 4 RESIDENTIAL ZONES SDMC 158.031(1)(B)(3) TABLE 158.032(1) Item 1: 1) TWENTY PERCENT OF THE LENGTH OF THE BUILDING FACADE MAY EXCEED THE HEIGHT LIMIT SPECIFIED ABOVE IN ORDER TO PROVIDE ROOF LINE AND FACADE VARIATIONS, ACCENTS, TOWER ELEMENTS AND OTHER SIMILAR ELEMENTS WHICH DO NOT INCREASE THE FLOOR AREA OF THE STRUCTURE.
- REQUIRED DESIGN CRITERIA IS BASED ON THE REQUIREMENT SET FORTH IN THE GOLDEN HILLS DESIGN GUIDELINES FOR MULTI UNIT RESIDENT PER SDMC 158.301(4)(2)(D).

CONTEMPORARY STYLE (SIX SELECTED FEATURES)

- 1 PROVIDE LARGE RECTANGULAR WINDOWS GROUPED IN BANDS WITH SHARED / CONTINUOUS PROJECTING WINDOW SILL ON ALL ELEVATION FACING A STREET AND ON AT LEAST THE FRONT 30 PERCENT OF THE INTERIOR SIDE ELEVATIONS PER SDMC 158.301(4)(2)(D).
- 2 A MINIMUM OF 50% OF ALL WINDOWS ON ALL STREET ELEVATION TO BE RECESSED AT LEAST TWO INCHES PER SDMC 158.301(4)(2)(D).
- 4 PROVIDE A MINIMUM OF ONE CLERESTORY WINDOW EVERY TWO DWELLING UNITS PER SDMC 158.301(4)(2)(D).
- 5 PROVIDE PROJECTING ROOFED ENTRY PORCH PORCH TO BE A MINIMUM OF 24 SQUARE FEET IF IT SERVES ONE OR TWO ENTRANCE DOORS AND 10 SQUARE FEET PER ENTRANCE DOOR IF IT SERVES MORE THAN TWO PER SDMC 158.301(4)(2)(D).
- 6 PROVIDE A MINIMUM OF ONE OPERABLE PRERFACE FOR EVERY TWO DWELLINGS UNITS PER SDMC 158.301(4)(2)(D).

|             |          |
|-------------|----------|
| REVISION 5: |          |
| REVISION 4: |          |
| REVISION 3: | 06-25-15 |
| REVISION 2: | 03-05-15 |
| REVISION 1: | 7-9-14   |

ORIGINAL DRAWING PREPARATION DATE: 4-7-14  
 SHEET #: 26 OF 26  
 SHEET TITLE: BUILDING C - ELEVATIONS & SECTION

CITY LIGHTS TOWNHOMES, 806 27TH STREET, SAN DIEGO, CA  
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 TOWNHOMES

BUILDING C ELEVATIONS & SECTION



SUBMITTAL: 05/05/2014

A4.3