



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: December 16, 2015

REPORT NO. HO 15-138

ATTENTION: Hearing Officer

SUBJECT: VERIZON EAST CLAIREMONT
PTS PROJECT NUMBER: 397089

LOCATION: 7045 Forum Street

APPLICANT: Shelly Kilbourn, PlanCom, Inc.

SUMMARY

Issue(s): Should the Hearing Officer approve a wireless communication facility located at 7045 Forum Street in the Clairemont Mesa Community Plan area?

Staff Recommendation(s) – Approve Conditional Use Permit No. 1594556.

Community Planning Group Recommendation – On September 15, 2015, the Clairemont Community Planning Group voted 13-0-0 to recommend approval of the Verizon East Clairemont project with conditions outlined in Attachment 12.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 17, 2015 and the opportunity to appeal that determination ended **December 2, 2015** (Attachment 7).

BACKGROUND

Verizon East Clairemont is an application for a Conditional Use Permit (CUP), Process Three, for a Wireless Communication Facility (WCF). The project is located at 7045 Forum Street on the Clairemont Faith Center Church property. The project is located in the RS-1-7 zone, within the Clairemont Mesa community plan area. The site is surrounded by residential uses (Attachments 1, 2 and 3). WCFs are permitted in residential zones with a non-residential use where the antennas are located less than 100-feet from the property line of a residential use with a CUP.

The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCFs located in commercial and industrial zones are permitted with Process One (Staff-level) approvals, whereas WCFs located in a residential zone with a residential use are permitted with a Process Four (Planning Commission) approval. As this particular project is located in a residential zone with a non-residential use where the antennas are less than 100-feet from the property line of an elementary school use, a CUP, Process Three (Hearing Officer decision) is required. While the WCF is not located in one of the *most* preferred locations, the design of the facility is able to effectively integrate the antennas into a church monument and provide wireless coverage to the surrounding residential uses.

Land Development Code Section 141.0420(g)(2) requires that WCF “use all reasonable means to conceal or minimize the visual impact through integration...” Integration with existing structures or among existing uses shall be accomplished through the use of architecture, landscape, and siting solutions. This WCF consists of a new 30-foot tall church monument concealing 12 panel antennas and 12 Remote Radio Units. A 153-square foot concrete block enclosure contains equipment associated with the antennas. The monument is proposed in front of the church as a focal point for the property (Attachments 11 and 15).

The existing church property has an eclectic combination of design elements. The church itself is reminiscent of a mid-century modern design, while the ancillary buildings are simple post war designs and a fence consisting of brick pilasters in between wrought iron fencing exists along the front property line. The proposed monument will utilize the church color palette and introduce new design elements that the church anticipates on carrying over to future plans for upgrading the building. The lower portion of the monument consists of four columns clad in decorative stone and the upper solid portion will conceal the antennas and include decorative elements and a cross on each side (Attachment 11). Verizon is adding four 24-inch box Flowering Pear trees along the front of the church property to help improve views from the street. Additional shrubs are proposed around the base of the monument as well. The equipment enclosure is proposed on the northwest side of the church between an ancillary church building and a partial height wall that runs along the front of the church. It will be painted and stucco coated to match the wall. Shrubs are also proposed to be planted in front of the wall and the enclosure to help break up the mass (Attachment 15).

Based on the proposed design, the project complies with the WCF Regulations (LDC §141.0420) and the RS-1-7 development regulations. The project has received support from the community planning group, and draft findings have been made in the affirmative to approve the CUP (Attachment 5). Therefore, Staff recommends approval of CUP No. 1594556.

ALTERNATIVES

1. Approve CUP 1594556 with modifications.
2. Deny CUP No. 1594556, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,

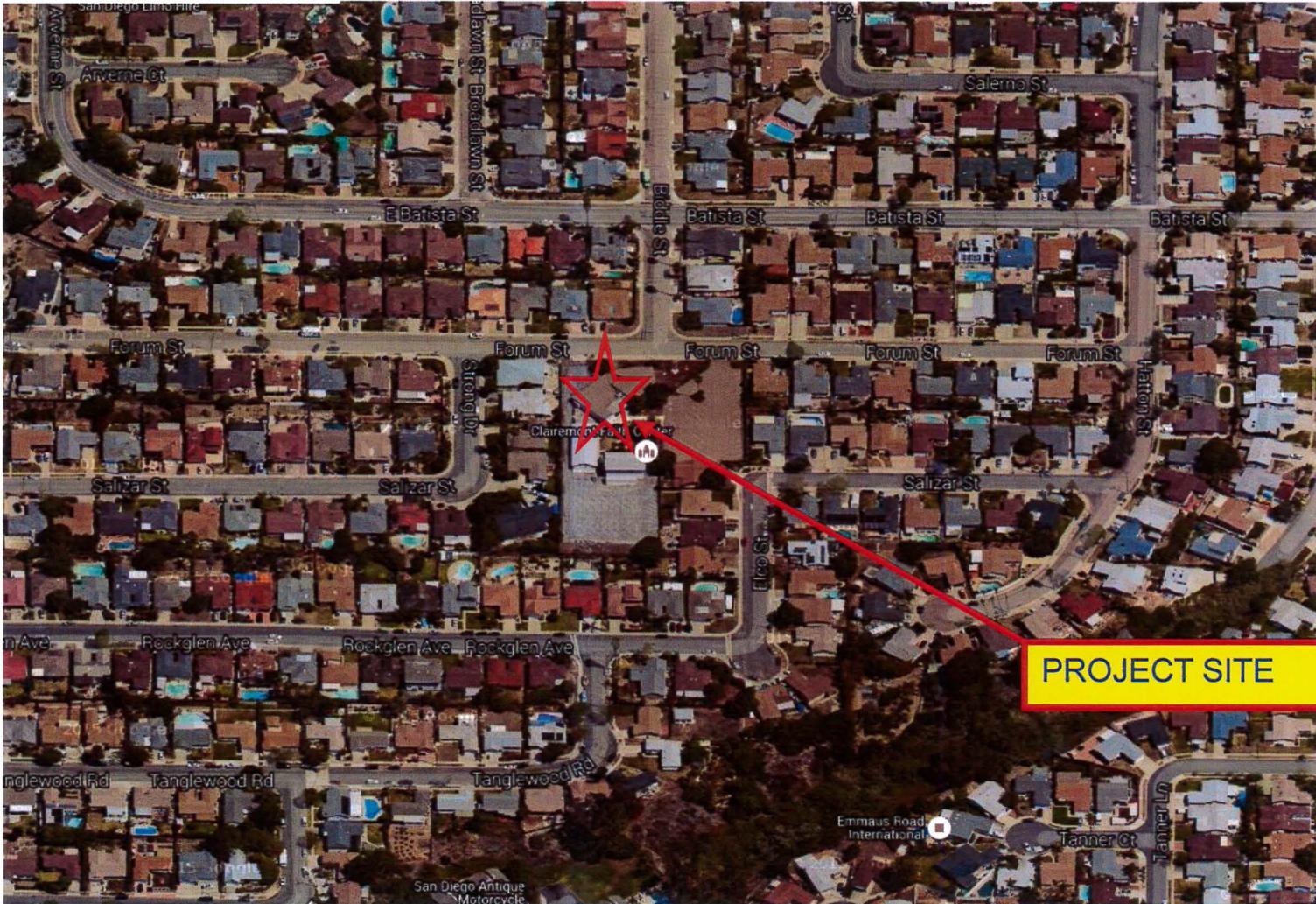


Karen Lynch, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Coverage Maps
9. Site Justification
10. Photo Survey
11. Photosimulations
12. Community Planning Group Recommendation
13. Notice of Public Hearing
14. Ownership Disclosure Statement
15. Project Plans

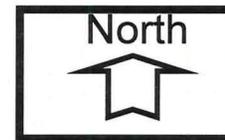
Rev 7/15/15pjf

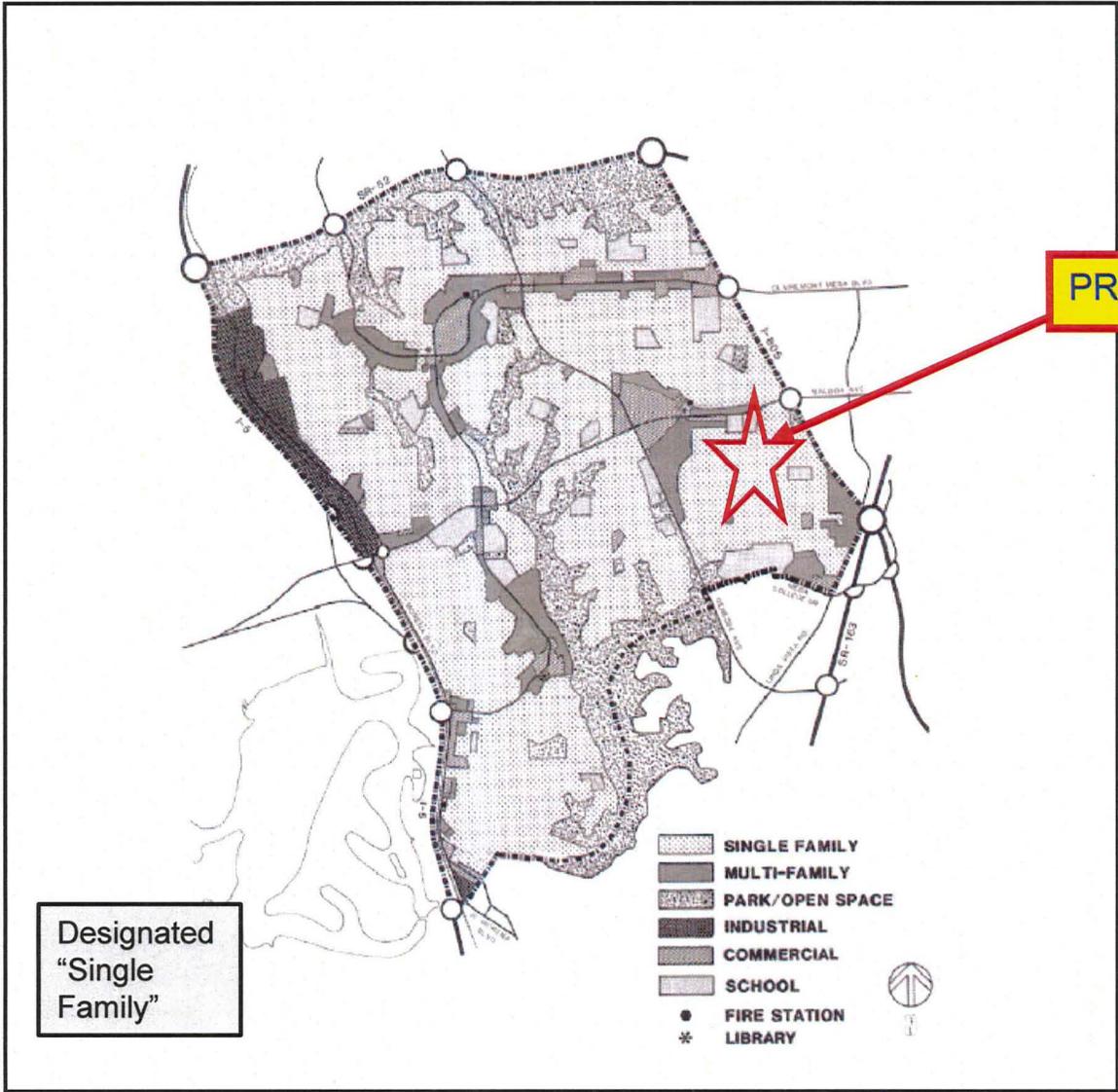


Aerial Photo

VERIZON- EAST CLAIREMONT PROJECT NUMBER 397089

7045 FORUM STREET





PROJECT SITE

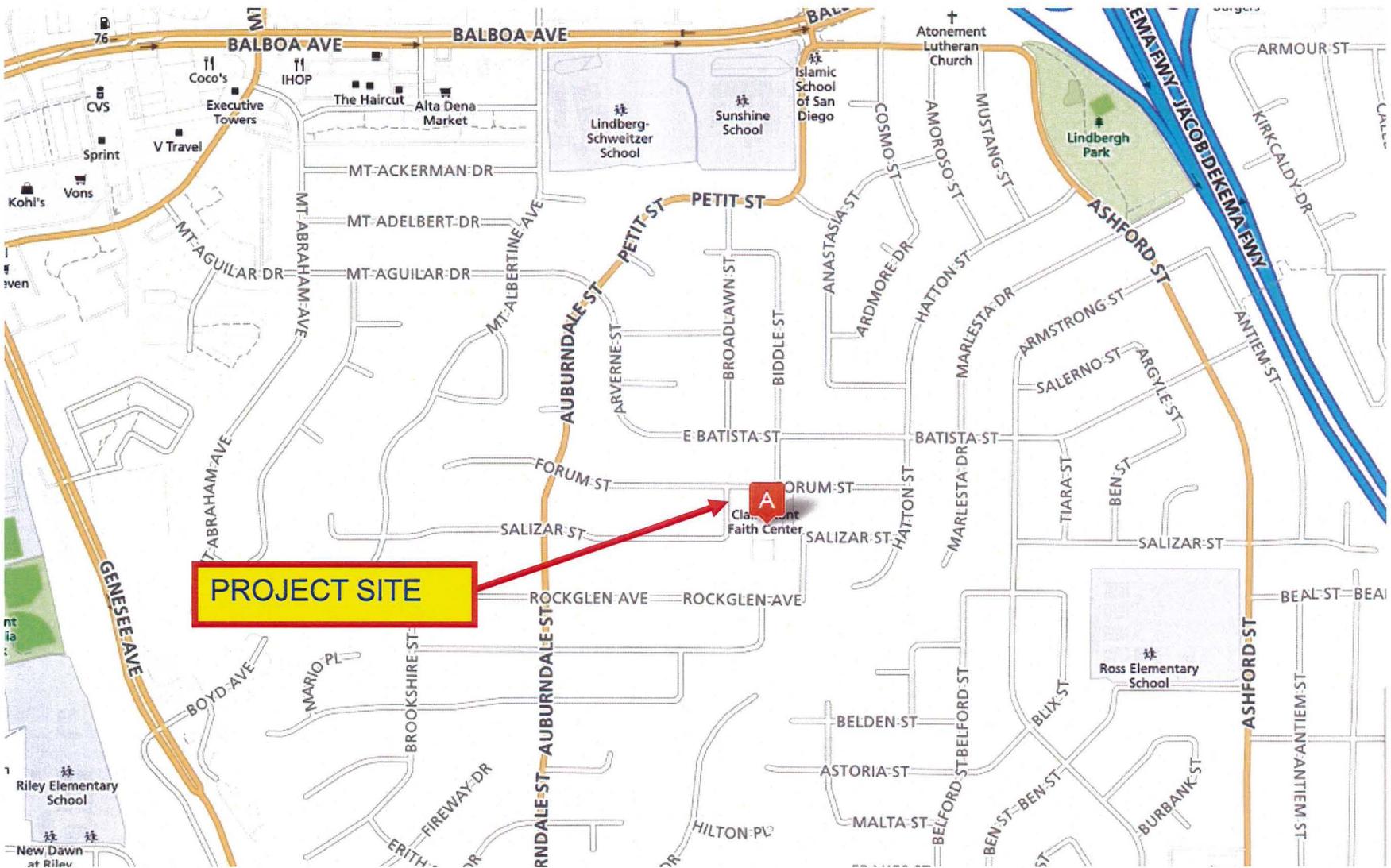


CLAIREMONT MESA COMMUNITY PLAN MAP

VERIZON- EAST CLAIREMONT PROJECT NUMBER 397089

7045 FORUM STREET





Project Location Map

VERIZON- EAST CLAIREMONT PROJECT NUMBER 397089

7045 FORUM STREET



**HEARING OFFICER
RESOLUTION NO.
CONDITIONAL USE PERMIT NO.1594556
VERIZON EAST CLAIREMONT
PROJECT NO. 397089**

WHEREAS, Pentecostal Church of God, So. Cal District, Inc., Owner and Verizon Wireless, Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1594556 on portions of a 1.70-acre site;

WHEREAS, the project site is located at 7045 Forum Street in the RS-1-7 zone of the Clairemont Mesa Community Plan area;

WHEREAS, the project site is legally described as Lot 6, Louise Strong Addition, according to the Map thereof No. 7731, filed in the Office of the County Recorder of San Diego County, August 28, 1973;

WHEREAS, on December 16, 2015, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1594556, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on November 17, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 16, 2015.

FINDINGS:

Conditional Use Permit Approval – Section §126.0305

- 1. The proposed development will not adversely affect the applicable land use plan;**

While the Clairemont Mesa Community Plan does not specifically address Wireless Communication Facilities (WCF), the City's General Plan, in Policy UD-A.15, states that the visual impact of wireless facilities should be minimized. This can be achieved by concealing wireless facilities in existing structures when possible, or by using camouflage and screening techniques to hide or blend them into the surrounding area. The project is located in the RS-1-7 zone which has a 30-foot height limit and Verizon is proposing a 30-foot tall stealth church monument that will conceal 12 panel antennas, 12 Remote Radio Units (RRU) and two raycaps. Currently there are three crosses of varying height in front of the church as well as an existing approximate 35-foot tall flag pole. The three crosses will be replaced with the new church monument and the flag pole will be relocated elsewhere on the property. The design of the

ATTACHMENT 5

monument includes four support columns clad in decorative stone where the upper portion is solid with decorative trim and a cross on each side. The antennas and associated components will be concealed within the upper portion of the monument. Four 24-inch box Flowering Pear trees are proposed to be planted along the front of the property to enhance views of the WCF. From the public right-of-way, the WCF will appear as an architectural focal point for the church. The church property has a mixture of eclectic buildings including a modern church design that is plain in appearance. It is approximately 21-feet tall at the highest point in the front, tapering back to a lower height. At the front property line, a low concrete block wall with pilasters supporting black wrought iron fencing exists. The tower is proposed approximately 25-feet back from the street in the exact place where the three cross towers currently exist.

The associated equipment is set back 30-feet from the front of the church property and is located to the west of the monument in a 153-square foot concrete block enclosure that will be coated with stucco with trim detail to match the church building. This project, as proposed, does not interfere with the church and will not adversely affect the Clairemont Mesa Community Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The project consists of 12 panel antennas and 12 Remote Radio Units and two Raycaps completely concealed within a church monument tower with associated equipment located within a separate 153-square foot block wall enclosure to the west of the tower. The project is located at 7045 Forum Street in the Clairemont Mesa Community Plan area. The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare.

Additionally, the Federal Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Site Compliance Report was submitted with the project and it concludes that with required warning signage (condition 33 in the permit) and locked access hatch, the WCF will comply with the FCC's RF Safety Guidelines. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

The WCF Regulations, Land Development Code Section 141.0420, require that WCF utilize the smallest, least visually intrusive antennas, components, and other necessary equipment. The applicant is required to use all reasonable means to conceal or minimize the visual impact of the WCF through integration utilizing architecture, landscape, and siting. The antennas and

ATTACHMENT 5

associated components of the WCF are proposed to be completely concealed within the monument structure and the equipment will be located within an enclosure on the northwest side of the church. Verizon is proposing to plant four 24-inch box Flowering Pear trees along the front of the property, which will provide a landscape screen and improve and enhance views from the public right-of-way.

WCF are permitted in residential zones where the use on the property is non-residential with a Conditional Use Permit, Process 3, Hearing Officer approval. No deviations are requested with this project. The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCF "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." All antennas and their associated components are concealed from view and the resulting project is an architecturally integrated design that provides a focal point for the church property.

Based on this analysis and the project design, this project complies with the applicable regulations of the Land Development Code and results in a completely concealed WCF.

4. The proposed use is appropriate at the proposed location.

WCF are permitted in residential zones with a non-residential use where the antennas are less than 100 feet from the property line of a residential use, day care, elementary school, or middle school with the processing of a Conditional Use Permit (CUP), Process 3. Council Policy 600-43 identifies preference levels for locating WCFs in the City. In turn, the WCF Regulations (SDMC section 141.0420) implements the Council Policy by providing lower permit process levels for WCFs located in commercial or industrially zoned properties and higher permit process levels for WCFs proposed in residential zones. Although there is an incentive for carriers to locate in a zone with a lower permit process level, wireless carriers are required to provide coverage throughout their license area. Therefore, at times a WCF is required to be located in a less preferable location. This WCF is proposed in a residential zone with a non-residential use. This is less preferable than locating in a commercial or industrial zone, but is more preferable than locating in a residential zone with a residential use.

Verizon's coverage objective and search ring for this area consists of solid residential uses with the exception of the only non-residential use, the Clairemont Faith Center church. The design is a mid-century modern style that is somewhat plain in appearance except for the roof line which rises to approximately 21-feet at a point in the front, tapering back to a lower height. Verizon's monument is proposed at 30-feet and is designed to include a similar color palette and some of the materials of the church. It will be set back approximately 25-feet from the street and the project includes the installation of four 24-inch box Flowering Pear trees along the front of the church to help enhance views. The associated equipment is located on the northwest side of the church in a concrete block enclosure textured and painted to match the adjacent church building. Landscape shrubs are proposed in and around both the equipment enclosure and monument. Based on this analysis, the WCF is appropriate at this location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1594556 is hereby GRANTED by the Hearing Officer to the referenced

ATTACHMENT 5

Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1594556, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: December 16, 2015

SAP or WBS Number: 24005315

Modified HMD 1-26-15

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005315

CONDITIONAL USE PERMIT NO.1594556
VERIZON EAST CLAIREMONT
PROJECT NO. 397089
HEARING OFFICER

This Conditional Use Permit is granted by the Hearing Officer of the City of San Diego to Pentecostal Church of God, So. Cal District, Inc., Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and 126.0303. The 1.70-acre site is located at 7045 Forum Street in the RS-1-7 zone of the Clairemont Mesa Community Plan area. The project site is legally described as: Lot 6, Louise Strong Addition, according to the Map thereof No. 7731, filed in the Office of the County Recorder of San Diego County, August 28, 1973.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 16, 2015, on file in the Development Services Department.

The project shall include:

- a. A stealth 30-foot tall church monument concealing 12 panel antennas, 12 Remote Radio Units and two raycaps;
- b. A 153-square foot equipment enclosure;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality

Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 31, 2018.
2. This Conditional Use Permit (CUP) and corresponding use of this site shall expire on December 31, 2025. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. The project proposes to export 22 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
15. Prior to the issuance of any construction permit, the Permittee shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Forum Street's Right-of-Way.
16. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Forum Street's Right-of-Way.
17. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
19. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
20. San Diego Municipal Code Section 142.0607 Repair and Replacement of Public Facilities. Where in the course of development of private property, public facilities are damaged or removed the property owner shall, at no cost to the city, repair or replace the public facility to the satisfaction of the City Engineer.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).
22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility

of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

26. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

27. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

28. The photosimulation(s) for the proposed project shall be printed on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."

29. The approved antenna dimensions are depicted on the Exhibit "A" dated December 16, 2015 and include six panel antennas measuring 96" x 11.9" x 3.9" and six panel antennas measuring 96.5" x 14.8" x 6.7". Replacement of the antennas may occur in the future, subject to the Owner/Permittee notifying the Development Services Department prior to the replacement of the antennas and subject to the provision of providing an updated Radio Frequency (RF) report demonstrating compliance with the Federal Communication Commission's regulations in accordance with SDMC Section 141.0420(b)(1)(A) to the satisfaction of the Development Services Department.

30. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.

31. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation.

32. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

33. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

34. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 16, 2015 by Resolution No. _____.

Permit Type/PTS Approval No.: Conditional Use Permit No. 1594556
Date of Approval: December 16, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

Pentecostal Church of God, So. Cal District, Inc.
Owner

By _____
NAME:
TITLE:

Verizon Wireless
Permittee

By _____
Hal Navarre
Executive Director Network

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT TITLE/ NO.: VERIZON EAST CLAIREMONT/ 397089

PROJECT LOCATION-SPECIFIC: 7045 Forum Street, San Diego, California 92111

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: The project proposes a new Verizon Wireless Communications Facility consisting of the installation of a wood-framed, 30'-tall monument tower; equipment cabinets in a new concrete block wall enclosure at grade on a new concrete pad; 12 antennas mounted inside the new monument tower; 12 RRUs behind the antennas; 2 E/911 GPS antennas; a 200 AMP electrical service; a new telco service connection; and minor associated landscape and irrigation. The project site is located at 7045 Forum Street in the RS-1-7 zone of the Clairemont Community Plan area, Council District 6.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: PLANCOM, INC. 302 STATE PLACE #200, ESCONDIDO, CALIFORNIA, 92029, KERRIGAN DIEHL (760)587-3003

EXEMPT STATUS: (CHECK ONE)

- () MINISTERIAL: (SEC. 21080 (b) (1); 15268)
() DECLARED EMERGENCY: (SEC. 21080 (b) (3); 15269 (a))
() EMERGENCY PROJECT: (SEC. 21080 (b) (4); 15269 (b) (c))
(X) CATEGORICAL EXEMPTION: 15303 (New Construction)
() STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15303 which allows for installation of small new equipment and facilities for structures not exceeding 2,500 square feet as well as accessory structures. Furthermore, the exceptions listed in 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: Morgan Dresser

TELEPHONE: (619)446-5404

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

[Signature]
SIGNATURE/TITLE

DECEMBER 2, 2015
DATE

CHECK ONE:

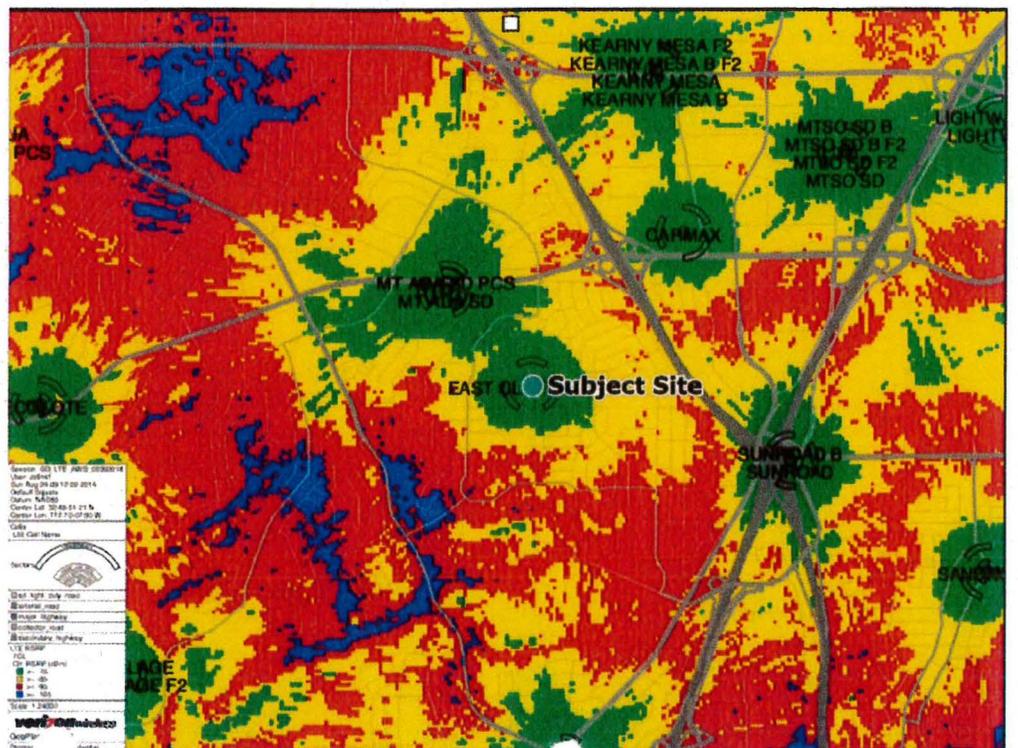
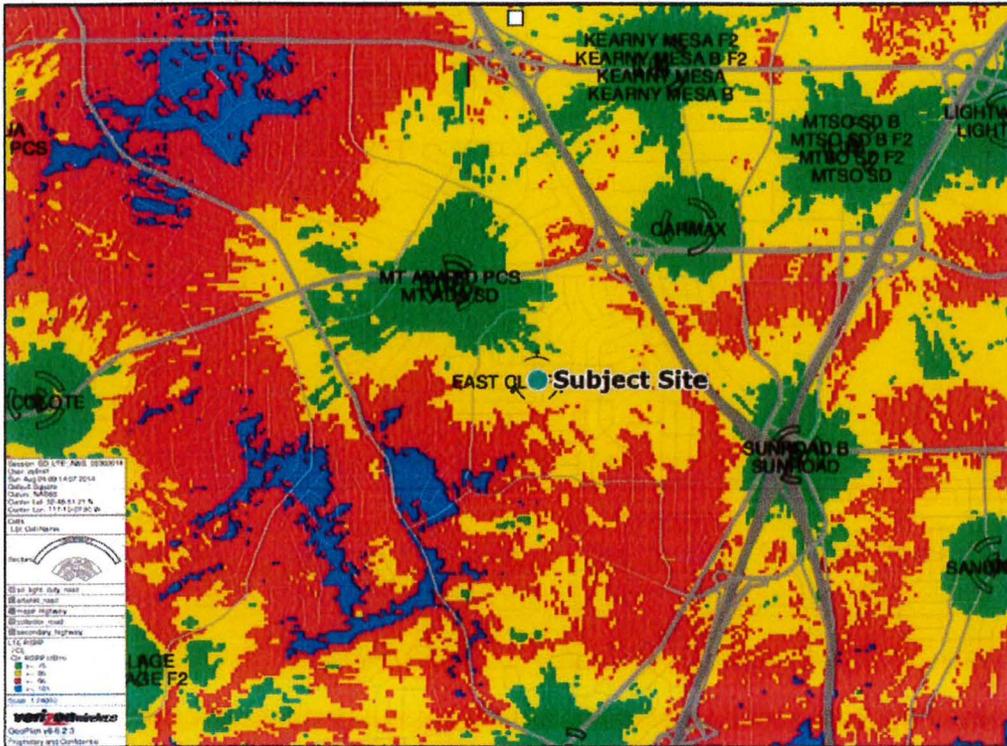
- () SIGNED BY LEAD AGENCY
() SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

East Clairemont
 7045 Forum Street
 San Diego, CA 92111



Coverage without site



Coverage with site

Coverage Levels:

- Excellent
- Good/Variable
- Poor

SITE JUSTIFICATION
Verizon "East Clairemont"
7045 Forum Street
San Diego, CA 92111

PROJECT DESCRIPTION

This application seeks to install a Wireless Communications Facility (WCF) for Verizon Wireless located at 7045 Forum Street at the Clairemont Faith Center. The project proposes to install a 30' architectural church monument supporting twelve (12) antennas, (12) RRUs and (1) MW dish. The associated equipment necessary to operate the facility will be located within a 153 sf CMU enclosure along the northwestern portion of the property. The project has been designed to utilize architectural integration as required by the Land Development Code as well as appropriate ornamental landscaping for visual continuity and natural integration as well.

SITE DESIGN

Specifically the project calls for the installation of 3 sectors of 4 antennas with (1) Remote Radio Unit per antenna. In this case the design allows the antennas and RRUs to be completely concealed behind the monument. Additionally the project has been designed to include the smallest, least intrusive equipment footprint feasible, by designing an Macro Cell Evolution (MCE) configuration which only requires (2) equipment cabinets located within a reduced 153 sf enclosure. We believe the design is visually integrated and harmonious with the general surroundings.

PREFERENCE 3 LOCATION:

The proposed facility is located on a zoned residential, RS-1-7 designated property within the Clairemont community planning area; however no residential use exists on the site as the property is entirely developed with the Clairemont Faith Center Church and a private school during the week. The project is a Preference 3 location and requires a Conditional Use Permit as the monument tower is 90' from the nearest residential.

We believe that the facility as designed is consistent with all relevant regulations and provides the best design options to achieve the necessary visual integration.

East Clairemont
 7045 Forum Street
 San Diego, CA 92111



Legend:

Coverage Area

Search Ring

Site

Existing sites within one mile radius:

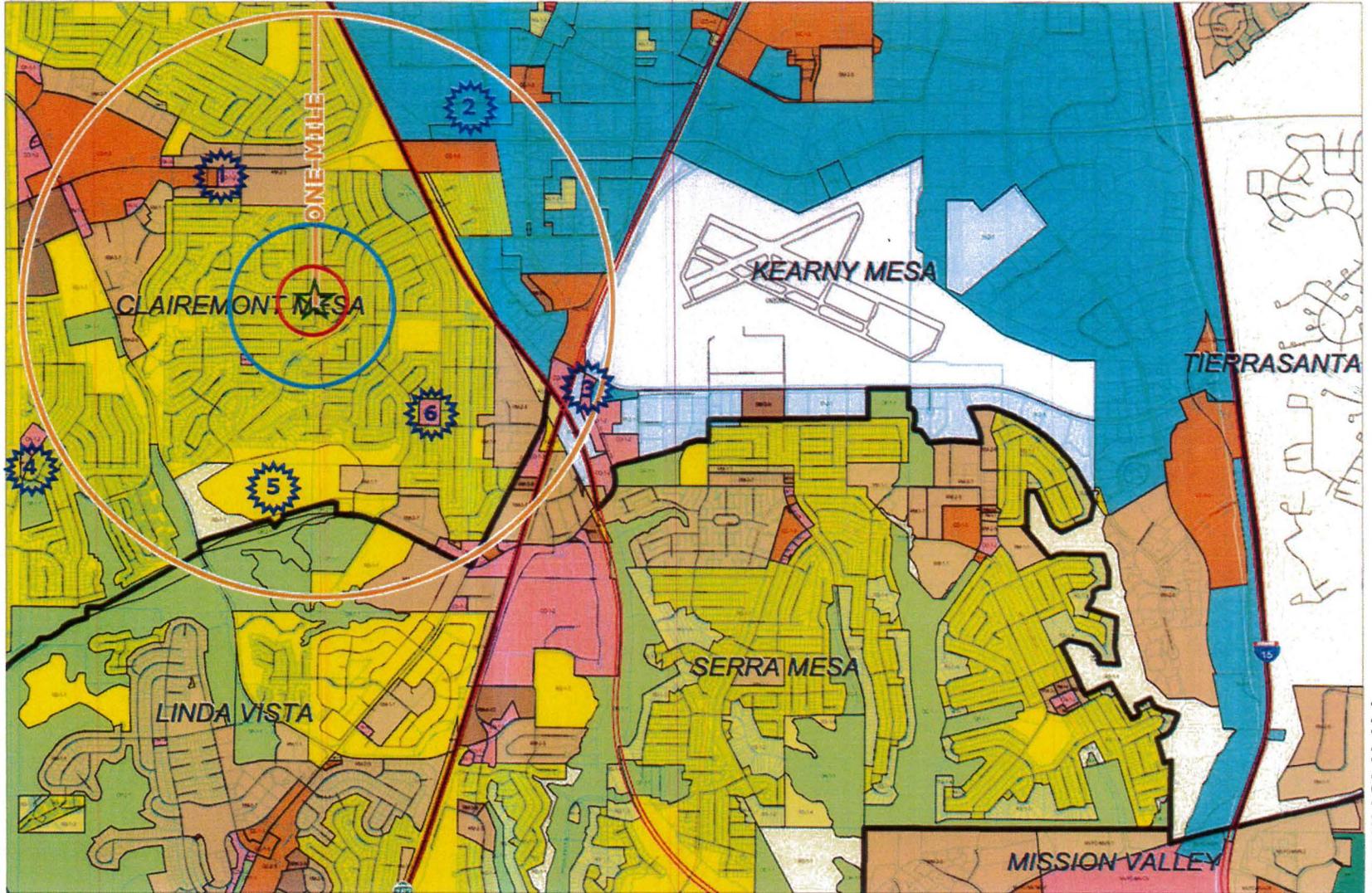
1. Mt. Ada
6424 Mt. Ada Road
2. Carmax
7675 Dagget Street
3. Sunroad
3666 Kearny Villa Road
4. Mt. Acacia
3520 Mount Acadia Blvd
5. Mesa College
350 Mesa College Drive
6. Beagle
3536 Ashford Street

Alternative sites:
 No alternative sites

Legend
 City of San Diego Boundary
 Community Plan Areas

Parcel	Zone	Zone Name
	AR-1-2	AR-1-2
	CC-1-1	CC-1-1
	CC-1-3	CC-1-3
	CC-2-3	CC-2-3
	CC-4-2	CC-4-2
	CN-1-2	CN-1-2
	CD-1-2	CD-1-2
	CP-1-1	CP-1-1
	CV-1-2	CV-1-2
	HH-2-1	HH-2-1
	IL-2-1	IL-2-1
	IL-3-1	IL-3-1
	IP-2-1	IP-2-1
	MVPD-MV-CR	MVPD-MV-CR
	MVPD-MV-CV	MVPD-MV-CV
	MVPD-MV-I	MVPD-MV-I
	MVPD-MV-MSP	MVPD-MV-MSP
	MVPD-MVR-1	MVPD-MVR-1
	MVPD-MVR-2	MVPD-MVR-2
	CC-1-1	CC-1-1
	OP-1-1	OP-1-1
	OP-2-1	OP-2-1
	OR-1-1	OR-1-1
	RS-1-1	RS-1-1
	RM-2-5	RM-2-5
	RM-3-7	RM-3-7
	RM-3-8	RM-3-8
	RM-3-9	RM-3-9
	RM-4-10	RM-4-10
	RS-1-1	RS-1-1
	RS-1-2	RS-1-2
	RS-1-3	RS-1-3
	RS-1-4	RS-1-4
	RS-1-7	RS-1-7
	RS-1-8	RS-1-8
	UNZONED	UNZONED

11/16/2015



Copyright 2010 Verizon Wireless. All rights reserved. This map is a service of Verizon Wireless. It is not intended to be used for any other purpose. The information on this map is provided as a service and is not intended to be used for any other purpose. The information on this map is provided as a service and is not intended to be used for any other purpose.

City of San Diego Development Services Department. This map is a service of the City of San Diego. It is not intended to be used for any other purpose. The information on this map is provided as a service and is not intended to be used for any other purpose.



City of San Diego
Development Services Department



GRID TILE: 23

GRID SCALE: 800

DATE: 3/23/2010 10:35:41 AM

ATTACHMENT 9



North Elevation



West Elevation



East Elevation



View West



View East

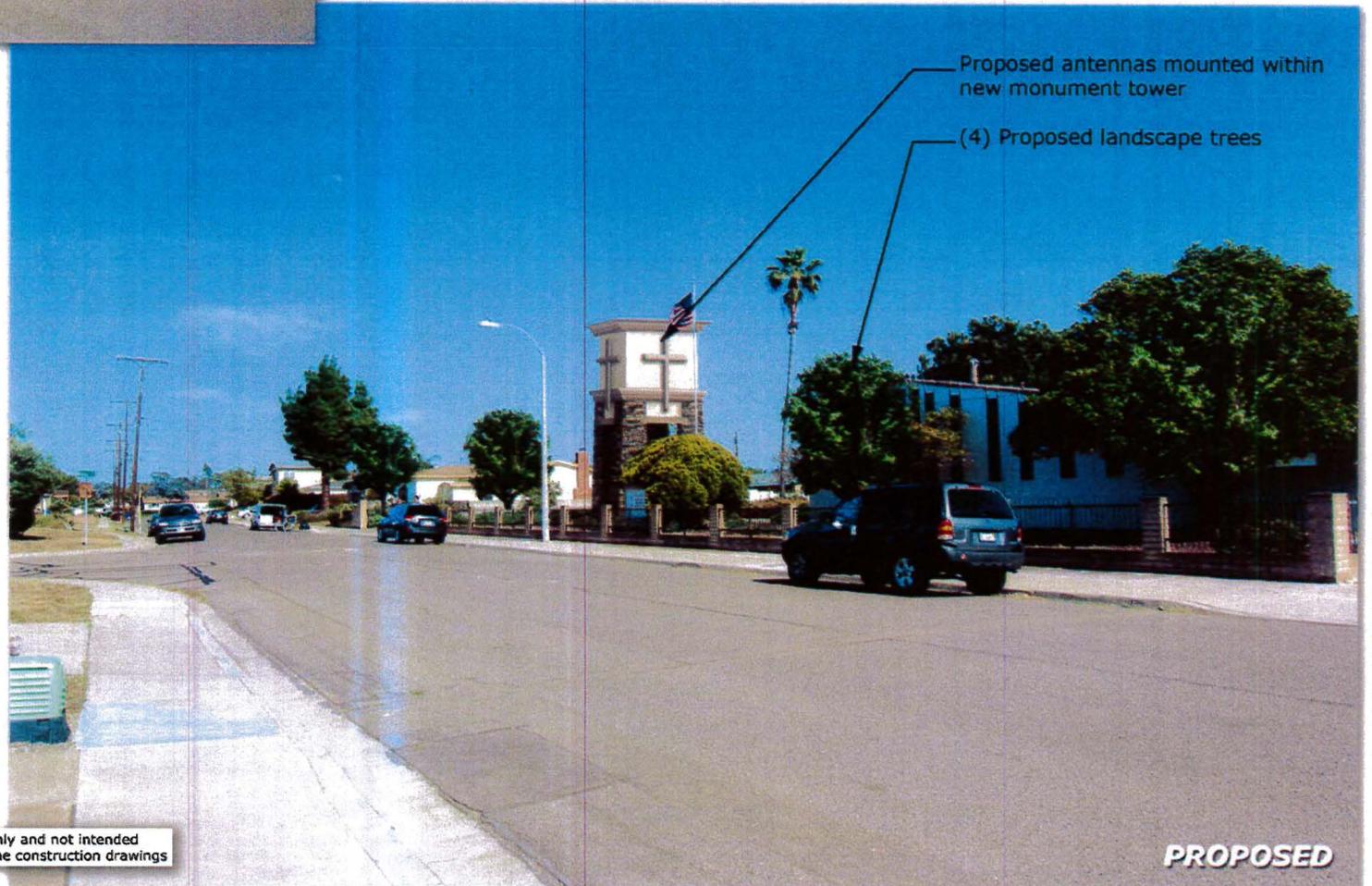


View North

EXISTING



East Clairemont
7045 Forum Street
San Diego, CA 92111



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

9/15/2015

PROPOSED

Photosimulation of proposed telecommunications site

ATTACHMENT 11



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

**Community Planning
Committee
Distribution Form Part 2**

Project Name: Verizon East Clairemont		Project Number: 397089	Distribution Date: 7/1/2015
Project Scope/Location: CLAIREMONT MESA Completeness review for CUP.			
Applicant Name: Kerrigan Diehl		Applicant Phone Number: (760) 587-3003	
Project Manager: Karen Lynch	Phone Number:	Fax Number: (619) 446-5245	E-mail Address: KLynch@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Approve With Conditions Listed Below	13	0	0
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: USE OF 24-36 Box SIZES BRADFORD PEAR TREES w/ CHURCH'S APPROVAL 2. PROJECT WILL BE PART OF THE INFILL TO REDUCE THE MT. ADA TOWER HEIGHT			
NAME: NAVEEN WANNEY		TITLE: PROJECT REVIEW SUBCOMMITTEE CHAIR	
SIGNATURE: <i>[Signature]</i>		DATE: 9/15/15	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

DATE OF NOTICE: December 1, 2015

NOTICE OF PUBLIC HEARING HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING: December 16, 2015
TIME OF HEARING: 8:30 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
202 C Street, San Diego, California 92101
PROJECT TYPE: Conditional Use Permit, Exempt from the California
Environmental Quality Act (CEQA), Process Three
PROJECT NO: 397089
PROJECT NAME: VERIZON EAST CLAIREMONT
APPLICANT: Shelly Kilbourn, PlanCom, INC.
COMMUNITY PLAN AREA: Clairemont Mesa
COUNCIL DISTRICT: 6

CITY PROJECT MANAGER: Karen Lynch, Development Project Manager
PHONE NUMBER/E-MAIL: (619) 446-5351 / klynchash@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a wireless communication facility consisting of a 30-foot tall church monument concealing 12 panel antennas and 12 Remote Radio Units with associated equipment located within a 153-square foot concrete block enclosure. The project is located on the Clairemont Faith Center Church at 7045 Forum Street in the RS-1-7 zone.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 business days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

ATTACHMENT 13

This project was determined to be categorically exempt from the California Environmental Quality Act on November 17, 2015 and the opportunity to appeal that determination ended December 2, 2015.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five business days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24005315

Revised 11-17-14 wjz



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other WCF - Telecom

Project Title **Project No. For City Use Only**

Verizon "East Clairemont"

Project Address:

7045 Forum Street, San Diego, CA 92111

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title: Verizon - East Clairemont	Project No. (For City Use Only)
---	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. C0192096
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). **A signature is required of at least one of the corporate officers or partners who own the property.** Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Pentecostal Church of God, So. Cal District, Inc

Owner Tenant/Lessee

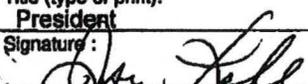
Street Address:
~~7045 Forum Street~~ 28456 Constellation Rd

City/State/Zip:
~~San Diego, CA 92111~~ Valencia, CA 91355

Phone No: 760-644-6447 Fax No: 661 775-0770

Name of Corporate Officer/Partner (type or print):
Jan Lake

Title (type or print):
President

Signature :  Date: 11/5/14 August, 2014

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
R. Alan Greagrey

Title (type or print):
Secretary/Treasurer

Signature :  Date: 11/5/14

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:



EAST CLAIREMONT
7045 FORUM STREET
SAN DIEGO, CA 92111

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 125 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

EAST CLAIREMONT

7045 FORUM STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

07/22/14	90% ZD (ic)
08/15/14	100% ZD (ic)
10/15/14	100% ZD REVISION 1 (se)
03/23/15	100% ZD REVISION 2 (ic)
05/18/15	100% ZD REVISION 3 (ic)
08/15/15	100% ZD REVISION 4 (se)
09/14/15	100% ZD REVISION 5 (se)
09/23/15	100% ZD REVISION 6 (se)

SHEET TITLE

TITLE SHEET
&
PROJECT DATA

PROJECTS\VERIZON\14010

T-1

VICINITY MAP

THOMAS GUIDE PAGE: 1248 - J3

ADDRESS
 7045 FORUM STREET
 SAN DIEGO, CA 92111

DIRECTIONS:
 (FROM VZW'S OFFICES IN IRVINE):
 1. HEAD SOUTHWEST ON SAND CANYON AVE TOWARD BARRANCA PKWY
 2. MERGE ONTO I-405 S VIA THE RAMP TO SAN DIEGO
 3. MERGE ONTO I-5 S
 4. MERGE ONTO I-805 S
 5. TAKE THE BALBOA AVENUE EXIT AND TURN RIGHT
 6. TURN LEFT ON ECKSTROM STREET
 7. TURN RIGHT ON HATHAWAY STREET
 8. TURN RIGHT ON PETIT STREET
 9. TURN LEFT ON FORUM STREET
 DESTINATION WILL BE ON THE RIGHT

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

CONSULTANT TEAM

ARCHITECT:
 BOOTH & SUAREZ ARCHITECTURE, INC.
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008
 (760) 434-8474
 (760) 434-8596 (FAX)

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE, SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

LEASING/PLANNING:
 PLANCOM, INC.
 GREG MOORAD
 302 STATE PLACE
 ESCONDIDO, CA 92029
 (858) 603-2336

PERMITS REQUIRED

- CONDITIONAL USE PERMIT

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 CONTACT: GREG MOORAD
 PHONE: (858) 603-2336

OWNER: PENTECOSTAL CHURCH
 7045 FORUM STREET
 SAN DIEGO, CA 92111
 SITE CONTACT: DAVID SOTO
 PHONE: (760) 644-6447

PROJECT DESCRIPTION:

- PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT CABINETS INSIDE A CONCRETE BLOCK ENCLOSURE ON A NEW CONCRETE PAD
- INSTALLATION OF NEW CONCRETE BLOCK WALL ENCLOSURE AT GRADE LEVEL
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED INSIDE NEW 30'-0" HIGH MONUMENT TOWER.
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRU'S) MOUNTED BEHIND ANTENNAS
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION
- MINOR LANDSCAPING AND IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 7045 FORUM STREET
 SAN DIEGO, CA 92111

ASSESSORS PARCEL NUMBER: 419-730-43

EXISTING ZONING: RS-1-7

TOTAL SITE AREA: 74,006 S.F.
 = 1.70 ACRES

PROPOSED PROJECT AREA:

ANTENNA TOWER: 225 S.F.
 EQUIPMENT ENCLOSURE: 153 S.F.

NOTE: THERE ARE NO EXISTING TELECOMMUNICATION FACILITIES ON THIS PROPERTY

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT PLAN
A-3	CHAIN LINK LID PLAN
A-4	ENLARGED AREA PLAN
A-5	ANTENNA PLAN
A-6	EXTERIOR ELEVATIONS
A-7	EXTERIOR ELEVATIONS
L-1	CONCEPTUAL LANDSCAPE PLAN
C-1	TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 PARCEL 1 OF PARCEL MAP NO. 8351, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER, JANUARY 30, 1979.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2013 EDITION
 CALIFORNIA PLUMBING CODE, 2013 EDITION
 CALIFORNIA MECHANICAL CODE, 2013 EDITION
 CALIFORNIA ELECTRICAL CODE, 2013 EDITION
 CALIFORNIA FIRE CODE, 2013 EDITION
 CALIFORNIA ENERGY CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

BOOTH SUAREZ &
 ARCHITECTURE INCORPORATED
 385 CARLSBAD VILLAGE DRIVE, SUITE 02
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR
verizon wireless
 P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
EAST CLAIREMONT
 7045 FORUM STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

07/22/14	90% ZD (ic)
08/15/14	100% ZD (ic)
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06/15/15	100% ZD REVISION 4 (se)
09/14/15	100% ZD REVISION 5 (se)
09/23/15	100% ZD REVISION 6 (se)

SHEET TITLE
SITE PLAN

PROJECTS\VERIZON\14010

A-0

- ENGINEERING NOTES:**
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - THE PROPOSED EQUIPMENT SHELTER WILL NOT BLOCK OR ALTER THE EXISTING DRAINAGE PATTERN.
 - NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
 - THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED WORK IN THE FORUM STREET RIGHT-OF-WAY.
 - THE APPLICANT SHALL OBTAIN A NONEXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE FORUM STREET RIGHT-OF-WAY.
 - SAN DIEGO MUNICIPAL CODE SECTION 142.0607 REPAIR AND REPLACEMENT OF PUBLIC FACILITIES. WHERE IN THE COURSE OF DEVELOPMENT OF PRIVATE PROPERTY, PUBLIC FACILITIES ARE DAMAGED OR REMOVED THE PROPERTY OWNER SHALL, AT NO COST TO THE CITY, REPAIR OR REPLACE THE PUBLIC FACILITY TO THE SATISFACTION OF THE CITY ENGINEER.

Lessee's Certificate
 Standard Wireless Facility Project
 for Post Construction BMPs
 I/we the undersigned as Lessee(s) of the property described as
 7045 FORUM STREET, SAN DIEGO, CA 92111
 (Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

- I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:
- Sediments
 - Nutrients
 - Trash & debris
 - Oxygen Demanding Substance
 - Oil & Grease
 - Bacteria & Viruses
 - Pesticides

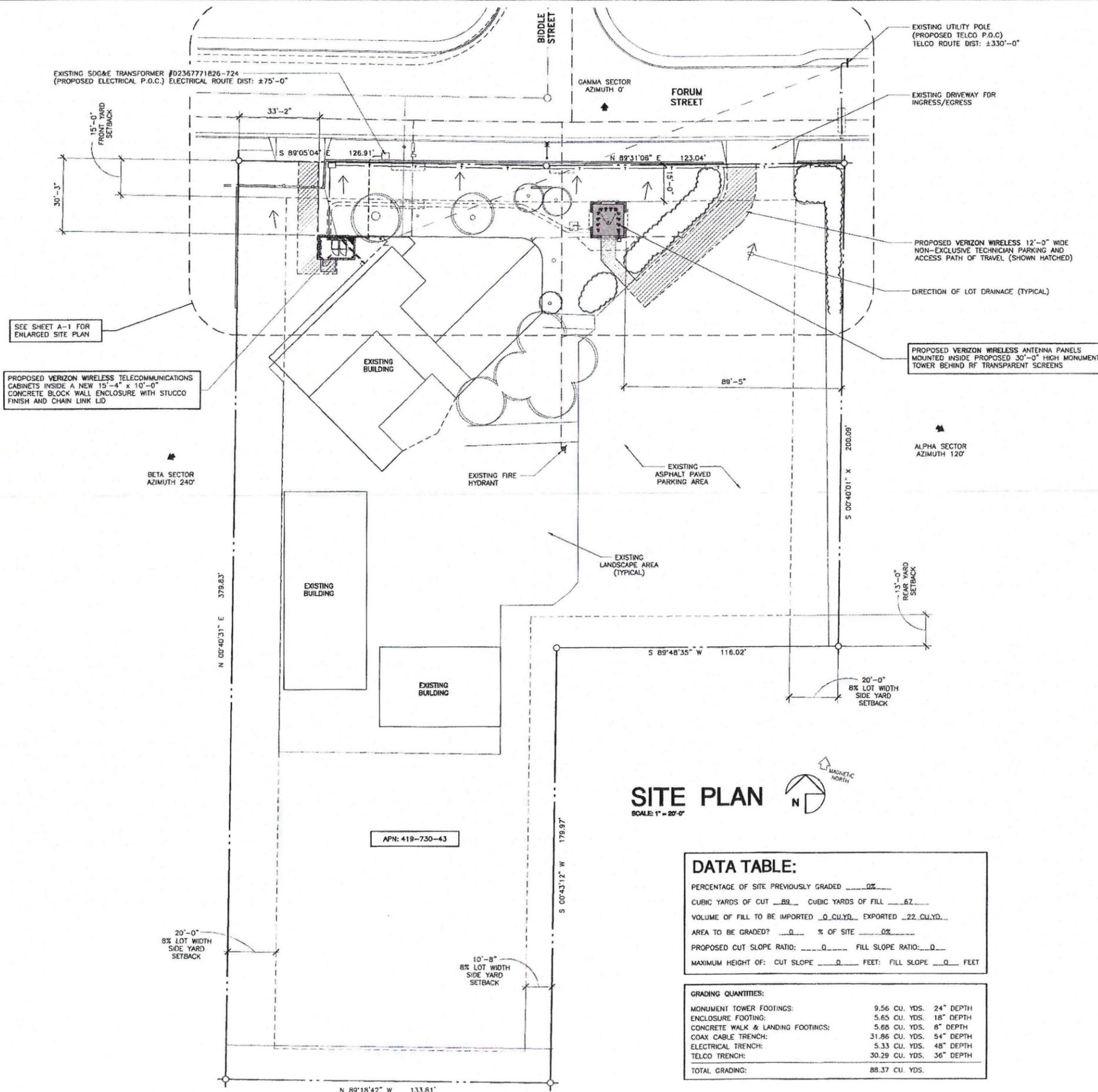
- I/We will incorporate the following into the site design -
- Maintain pre-development runoff characteristics
 - Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
 - Conserve natural areas
 - Use natural drainage systems as opposed to lined swales or underground drainage systems
 - Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
 - Preserve existing native trees and shrubs
 - Protect all slopes from erosion

- Additionally I/we will:
- Minimize the use of pesticides
 - Use efficient irrigation systems and landscape design - incorporating rain shutoff devices and flow reducers

I/we will maintain the above Standard Permanent BMPs for the duration of the lease.
 Lessee: Andrew Matzkin Company Name: Verizon Wireless
 Date: 7/25/14

EASEMENTS:
 EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON NON PLOTTABLE EASEMENTS

BOUNDARY NOTE:
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED



SITE PLAN
 SCALE: 1" = 20'-0"

DATA TABLE:

PERCENTAGE OF SITE PREVIOUSLY GRADED: 0%

CUBIC YARDS OF CUT: 89 CUBIC YARDS OF FILL: 67

VOLUME OF FILL TO BE IMPORTED: 0 CU.YD. EXPORTED: 22 CU.YD.

AREA TO BE GRADED? 0 % OF SITE: 0%

PROPOSED CUT SLOPE RATIO: 0 FILL SLOPE RATIO: 0

MAXIMUM HEIGHT OF: CUT SLOPE 0 FEET; FILL SLOPE 0 FEET

GRADING QUANTITIES:

MONUMENT TOWER FOOTINGS:	9.56 CU. YDS.	24" DEPTH
ENCLOSURE FOOTING:	5.65 CU. YDS.	18" DEPTH
CONCRETE WALK & LANDING FOOTINGS:	5.66 CU. YDS.	8" DEPTH
COAX CABLE TRENCH:	31.86 CU. YDS.	54" DEPTH
ELECTRICAL TRENCH:	5.33 CU. YDS.	48" DEPTH
TELCO TRENCH:	30.29 CU. YDS.	36" DEPTH
TOTAL GRADING:	88.37 CU. YDS.	

BOOTH SUAREZ &
ARCHITECTURE INCORPORATED

325 CARLSBAD VILLAGE DRIVE SUITE 07
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

EAST CLAIREMONT

7045 FORUM STREET
SAN DIEGO, CA 92111
SAN DIEGO COUNTY

DRAWING DATES

07/22/14	90% ZD (ic)
08/15/14	100% ZD (ic)
10/15/14	100% ZD REVISION 1 (so)
03/23/15	100% ZD REVISION 2 (ic)
05/18/15	100% ZD REVISION 3 (ic)
06/15/15	100% ZD REVISION 4 (so)
09/14/15	100% ZD REVISION 5 (so)
09/23/15	100% ZD REVISION 6 (so)

SHEET TITLE

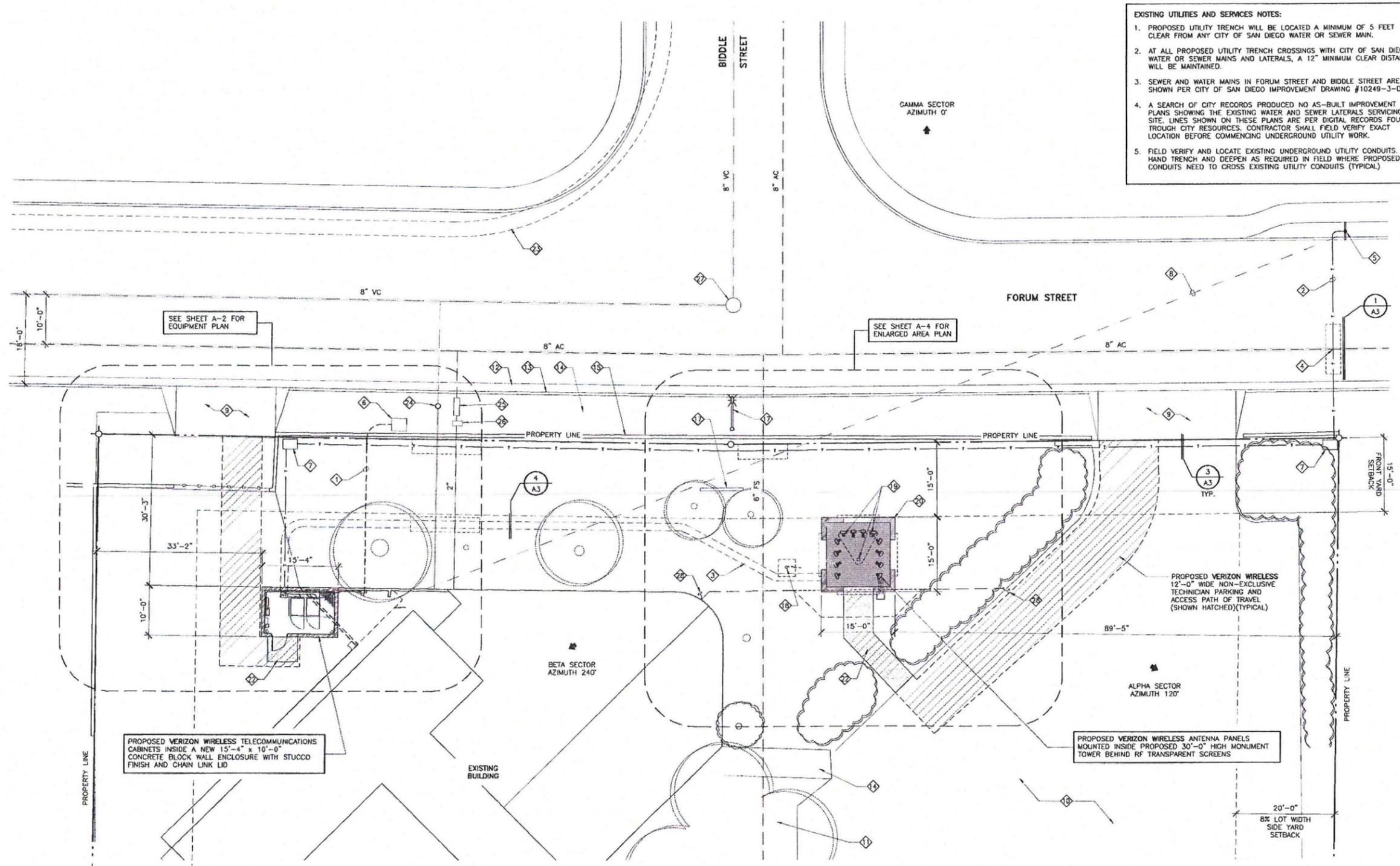
ENLARGED SITE PLAN

PROJECTS\VERIZON\14010

A-1

EXISTING UTILITIES AND SERVICES NOTES:

1. PROPOSED UTILITY TRENCH WILL BE LOCATED A MINIMUM OF 5 FEET CLEAR FROM ANY CITY OF SAN DIEGO WATER OR SEWER MAIN.
2. AT ALL PROPOSED UTILITY TRENCH CROSSINGS WITH CITY OF SAN DIEGO WATER OR SEWER MAINS AND LATERALS, A 12" MINIMUM CLEAR DISTANCE WILL BE MAINTAINED.
3. SEWER AND WATER MAINS IN FORUM STREET AND BIDDLE STREET ARE AS SHOWN PER CITY OF SAN DIEGO IMPROVEMENT DRAWING #10249-3-D.
4. A SEARCH OF CITY RECORDS PRODUCED NO AS-BUILT IMPROVEMENT PLANS SHOWING THE EXISTING WATER AND SEWER LATERALS SERVICING SITE. LINES SHOWN ON THESE PLANS ARE PER DIGITAL RECORDS FOUND THROUGH CITY RESOURCES. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION BEFORE COMMENCING UNDERGROUND UTILITY WORK.
5. FIELD VERIFY AND LOCATE EXISTING UNDERGROUND UTILITY CONDUITS. HAND TRENCH AND DEEPEN AS REQUIRED IN FIELD WHERE PROPOSED CONDUITS NEED TO CROSS EXISTING UTILITY CONDUITS (TYPICAL)



ENLARGED SITE PLAN NOTES:

- ① PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND TRENCH. PRELIMINARY ELECTRICAL ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION
- ② PROPOSED 4" TELCO CONDUIT IN AN UNDERGROUND TRENCH. PRELIMINARY TELCO ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION
- ③ PROPOSED VERIZON WIRELESS COAX CABLE TRENCH FROM EQUIPMENT LEASE AREA TO ANTENNA LEASE AREA. PRELIMINARY COAX CABLE ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION
- ④ FIELD VERIFY AND LOCATE EXISTING UNDERGROUND WATER OR DRAIN LINES. HAND TRENCH AND DEEPEN AS REQUIRED IN FIELD WHERE CONDUITS NEED TO CROSS EXISTING WATER OR DRAIN LINES (TYPICAL)
- ⑤ EXISTING UTILITY POLE (PROPOSED TELCO P.O.C)
- ⑥ EXISTING SDG&E TRANSFORMER #D2367711826-724 (PROPOSED ELECTRICAL P.O.C)
- ⑦ PROPOSED 2'-0" x 3'-0" TELCO PULL BOX
- ⑧ EXISTING OVERHEAD ELECTRICAL SERVICE
- ⑨ EXISTING DRIVEWAY
- ⑩ EXISTING ASPHALT PAVED PARKING AREA
- ⑪ EXISTING LANDSCAPE AREA (TYPICAL)
- ⑫ EXISTING CONCRETE GUTTER
- ⑬ EXISTING CONCRETE CURB
- ⑭ EXISTING CONCRETE SIDEWALK
- ⑮ EXISTING BLOCK WALL WITH WROUGHT IRON FENCE
- ⑯ EXISTING LIGHT STANDARD
- ⑰ EXISTING MONUMENT SIGN
- ⑱ REMOVE AND REINSTALL EXISTING FLAGPOLE. LANDLORD TO DETERMINE NEW LOCATION
- ⑲ EXISTING CROSSES TO BE REMOVED
- ⑳ PROPOSED TOWER COLUMN (TYPICAL OF 4)
- ㉑ PROPOSED CONCRETE SIDEWALK
- ㉒ PROPOSED CONCRETE LANDING
- ㉓ EXISTING 36" C.P. UNDERGROUND STROM DRAIN PER CITY OF SAN DIEGO IMPROVEMENT DRAWING #10249-3-D
- ㉔ EXISTING SEWER CLEAN OUT
- ㉕ EXISTING WATER VAULT
- ㉖ EXISTING WATER METER
- ㉗ EXISTING MAN HOLE
- ㉘ EXISTING HOSE BIB

ENLARGED SITE PLAN

SCALE: 1" = 10'-0"

LEGEND:

- (SIZE) (TYPE) (IF KNOWN) — EXISTING UNDERGROUND WATER LINES PER AS-BUILT RECORDS RESEARCH (TYPICAL)
- — — — — EXISTING UNDERGROUND SEWER LINES PER AS-BUILT RECORDS RESEARCH

Underground Service Alert
CALL: TOLL FREE 1-800-422-4133

NOTE:
BEFORE EXCAVATING VERIFY LOCATION OF UNDERGROUND UTILITIES TWO WORKING DAYS BEFORE YOU DIG



BOOTH SUAREZ &
 ARCHITECTURE INCORPORATED
 125 CARLSBAD VILLAGE DRIVE SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



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 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

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PROJECT NAME

EAST CLAIREMONT

7045 FORUM STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

DATE	DESCRIPTION
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09/23/15	100% ZD REVISION 6 (se)

SHEET TITLE

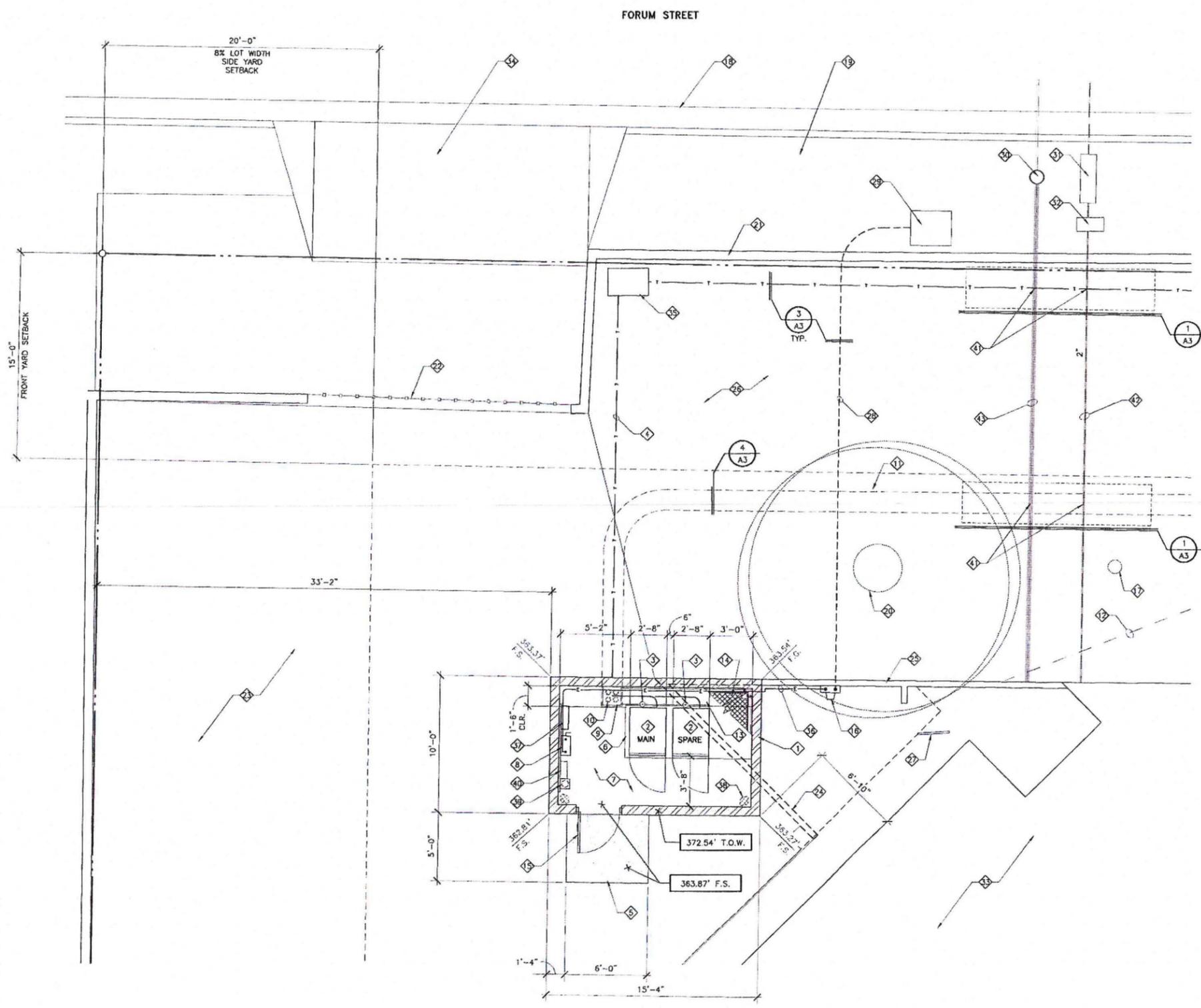
EQUIPMENT PLAN

PROJECTS\VERIZON\14010

A-2

EQUIPMENT PLAN NOTES:

- 1. PROPOSED VERIZON WIRELESS EQUIPMENT INSIDE A NEW CONCRETE BLOCK EQUIPMENT ENCLOSURE WITH STUCCO FINISH ON A CONCRETE PAD.
- 2. PROPOSED VERIZON WIRELESS "MACRO CELL EVOLUTION" OUTDOOR EQUIPMENT CABINET (TYPICAL OF 2). CABINET COMPONENTS: POWER PLANT, CWDN, FIBER DISTRIBUTION, RAYCAPS, BATTERIES-3 STRINGS, & AC-PANEL EQUIPMENT CABINET (TYPICAL OF 2).
- 3. PROPOSED GPS ANTENNA MOUNTED TO EACH "MACRO CELL EVOLUTION" EQUIPMENT CABINET (TYPICAL OF 2).
- 4. PROPOSED 4" TELCO CONDUIT IN AN UNDERGROUND TRENCH, PRELIMINARY UTILITY ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION
- 5. PROPOSED CONCRETE LANDING
- 6. PROPOSED RAISED CONCRETE PAD FOR VERIZON WIRELESS CABINETS
- 7. PROPOSED POURED-IN-PLACE CONCRETE PAD FOR VERIZON WIRELESS CABINETS
- 8. PROPOSED FUSED DISCONNECT SWITCH UNISTRUT MOUNTED TO WALL
- 9. PROPOSED COAX CABLE SHROUD
- 10. PROPOSED (4) 6" COAX CABLE CONDUITS
- 11. PROPOSED COAX CABLE TRENCH, PRELIMINARY COAX CABLE ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION
- 12. EXISTING OVERHEAD ELECTRICAL SERVICE
- 13. PROPOSED COAX CABLE TRAY, MAXIMUM HEIGHT 8" ABOVE CONCRETE EQUIPMENT PAD
- 14. PROPOSED CHAIN LINK LID
- 15. PROPOSED 3'-0" WIDE STEEL GATE AND FRAME WITH LOCKABLE ACCESS AND VERIZON WIRELESS SIGNAGE
- 16. PROPOSED VERIZON WIRELESS 200A ELECTRICAL METER MOUNTED TO WALL
- 17. EXISTING TREE STUMP
- 18. EXISTING CONCRETE GUTTER
- 19. EXISTING CONCRETE SIDEWALK
- 20. EXISTING TREE (TYPICAL)
- 21. EXISTING CONCRETE BLOCK WALL WITH WROUGHT IRON FENCE
- 22. EXISTING WROUGHT IRON GATE
- 23. EXISTING ASPHALT PAVED AREA
- 24. REMOVE PORTION OF EXISTING PARTIAL HEIGHT WALL (SHOWN DASHED)
- 25. EXISTING PARTIAL HEIGHT WALL WITH STUCCO FINISH
- 26. EXISTING LANDSCAPE AREA
- 27. EXISTING ELECTRICAL METER PANEL
- 28. PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND TRENCH, PRELIMINARY UTILITY ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION
- 29. EXISTING SDG&E TRANSFORMER (ELECTRICAL P.O.C.)
- 30. EXISTING SEWER CLEAN OUT
- 31. EXISTING WATER VAULT
- 32. EXISTING WATER METER
- 33. EXISTING BUILDING
- 34. EXISTING CONCRETE DRIVEWAY
- 35. PROPOSED 2'-0" x 3'-0" TELCO PULL BOX
- 36. PROPOSED ELECTRICAL CONDUIT ROUTING MOUNTED TO WALL
- 37. PROPOSED 200 AMP LOAD CENTER/SUB PANEL UNISTRUT MOUNTED TO WALL
- 38. PROPOSED WALL MOUNTED LIGHT FIXTURE ON A MANUAL TIMER SWITCH (TYPICAL OF 2)
- 39. PROPOSED CLASS ABC FIRE EXTINGUISHER IN A WEATHERPROOF CABINET MOUNTED TO UNISTRUT
- 40. PROPOSED SPILL KIT UNISTRUT MOUNTED TO WALL
- 41. FIELD VERIFY AND LOCATE EXISTING UNDERGROUND WATER OR DRAIN LINES, HAND TRENCH AND DEEPEN AS REQUIRED IN FIELD WHERE CONDUITS NEED TO CROSS EXISTING WATER OR DRAIN LINES (TYPICAL)
- 42. EXISTING UNDERGROUND WATER LINE PER DIGITAL RECORDS PROVIDED BY CITY RESOURCES
- 43. EXISTING UNDERGROUND SEWER LINE PER DIGITAL RECORDS PROVIDED BY CITY RESOURCES



EQUIPMENT PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
 1. PROPOSED LANDSCAPING OMITTED FOR CLARITY. SEE SHEET L-1 FOR LANDSCAPE DEVELOPMENT PLAN.



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

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 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

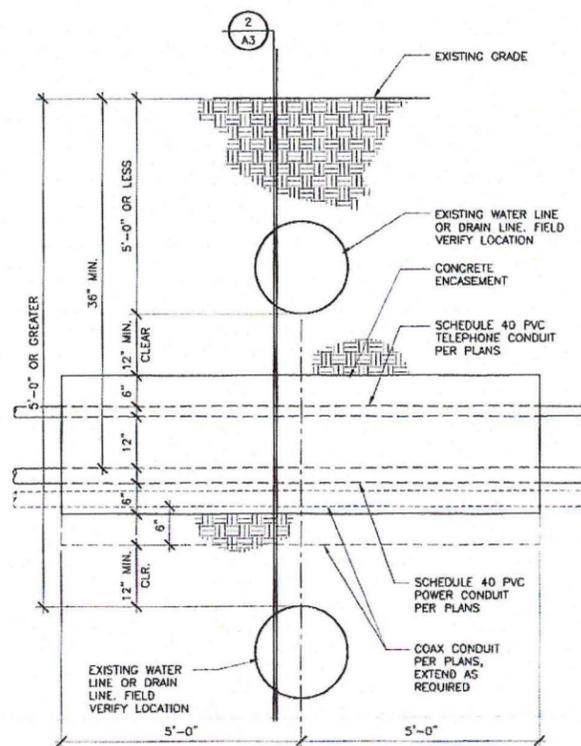
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09/23/15	100% ZD REVISION 6 (se)

SHEET TITLE

CHAIN LINK LID PLAN

PROJECTS\VERIZON\14010

A-3

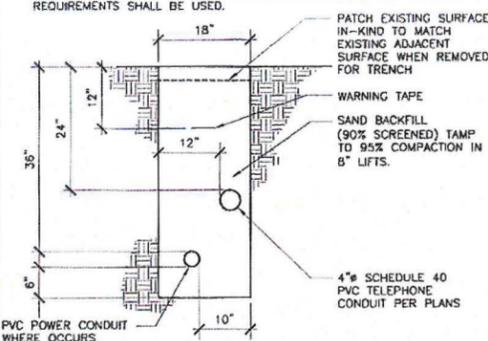


UTILITY TRENCH

SCALE N.T.S. 1

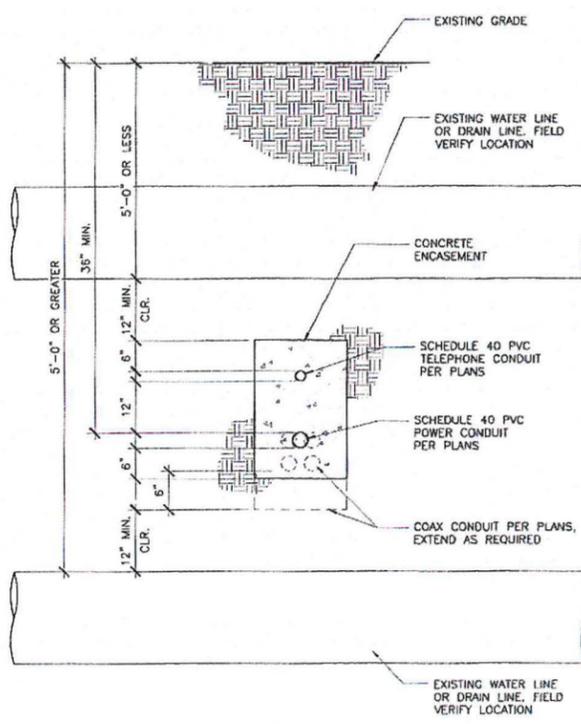
NOTES:

- 1) ALL DIMENSIONS SHOWN ARE MINIMUM CLEAR.
- 2) ELECTRICAL CONTRACTOR TO INCLUDE REMOVAL OF SPOILS.
- 3) VERIFY TRENCH DIMENSIONS AND DETAILS WITH SD&E REQUIREMENTS AND LATEST AT&T SITE DESIGN SPECIFICATIONS MANUAL. THE STRICTEST REQUIREMENTS SHALL BE USED.



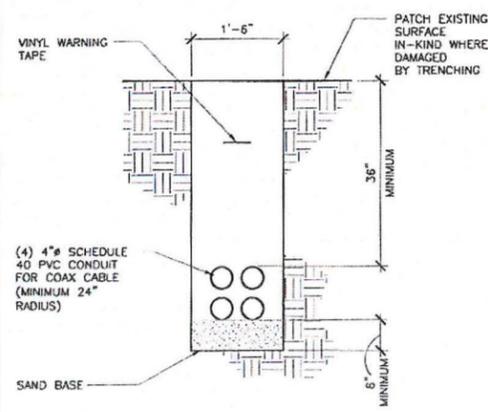
TYPICAL UTILITY TRENCH

SCALE N.T.S. 3



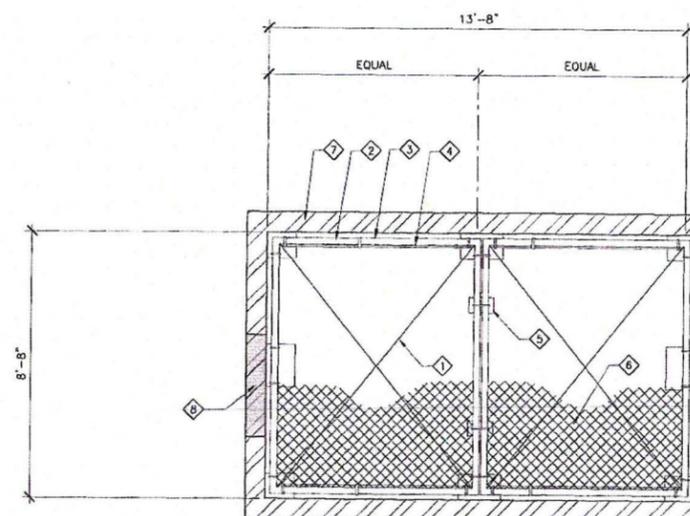
UTILITY TRENCH

SCALE N.T.S. 2



COAXIAL CABLE CONDUIT TRENCH

SCALE N.T.S. 4



CHAIN LINK LID PLAN

SCALE: 3/8" = 1'-0"



CHAIN LINK LID PLAN NOTES:

- 1 "X" INDICATES A SINGLE PANEL OF THE CHAINLINK LID
- 2 PROPOSED 3" SCHEDULE 40 GALVANIZED STANDARD PIPE FRAME (TYPICAL)
- 3 PROPOSED GALVANIZED STEEL PIPE CLAMPS FOR CHAINLINK TENSIONER STRIP
- 4 PROPOSED GALVANIZED TENSIONER STRIP (TYPICAL)
- 5 PROPOSED BRACKET SUPPORT CLAMP FOR CHAINLINK LID AT 4'-0" O.C.
- 6 PROPOSED GALVANIZED CHAINLINK MESH PARTIALLY REMOVED FOR CLARITY. PROVIDE STANDARD WIRE TIES TO FRAME @ 12" O.C. WITH DOUBLE KNOTS ON BOTTOM SIDE OF FRAME, SEE SPECIFICATION THIS SHEET
- 7 PROPOSED CONCRETE SLUMP BLOCK WALL
- 8 OPENING IN CONCRETE BLOCK WALL BELOW (SHOWN SHADED)

BOOTH & SUAREZ
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 325 CARLSBAD VILLAGE DRIVE SUITE 22
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verizonwireless

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 (949) 286-7000

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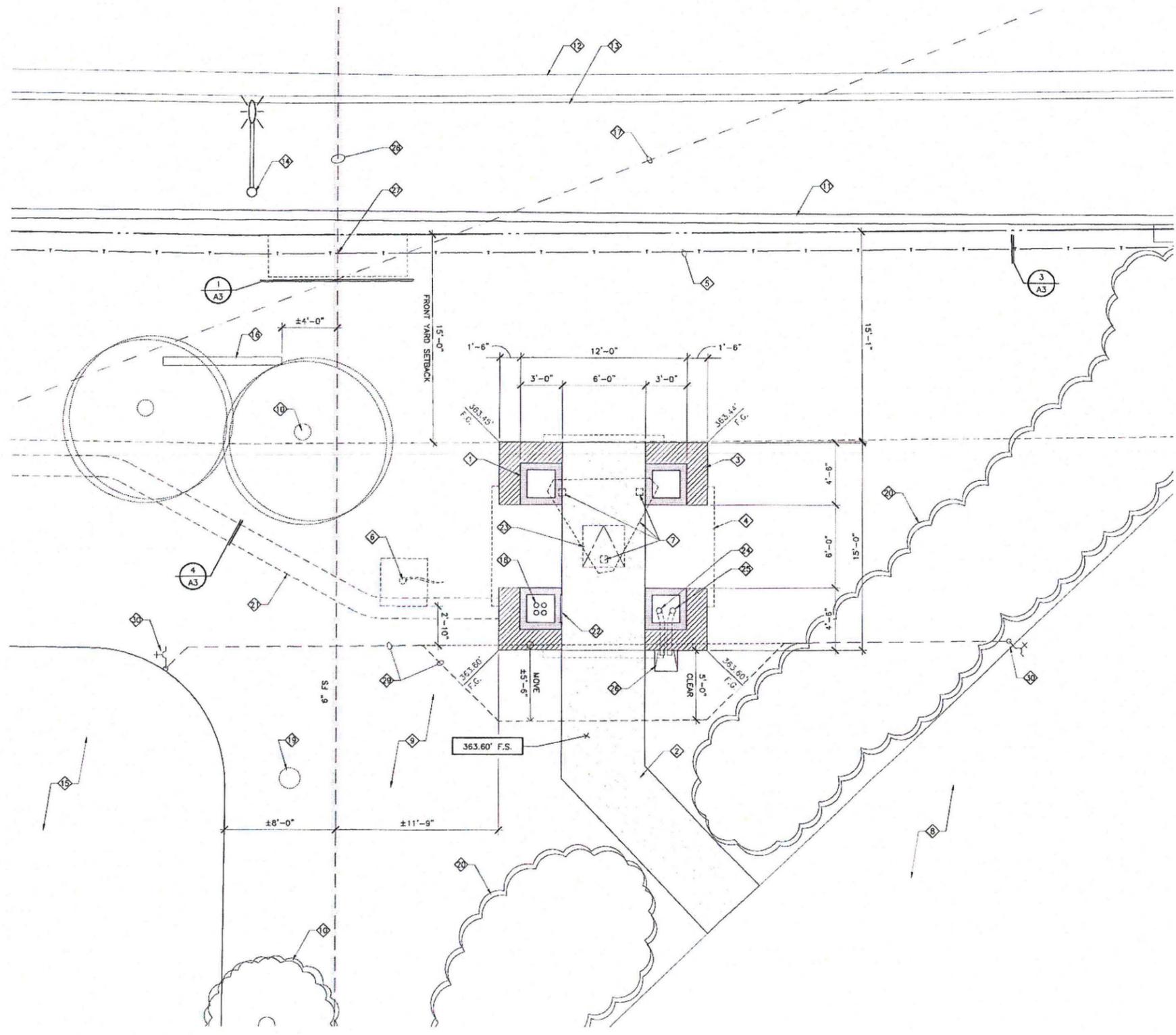
SHEET TITLE
ENLARGED AREA PLAN

PROJECTS\VERIZON\14010

A-4

ENLARGED AREA PLAN NOTES:

- ◇ PROPOSED VERIZON WIRELESS WOOD FRAMED TOWER COLUMN (SHOWN SHADED)(TYPICAL)
- ◇ PROPOSED CONCRETE SIDEWALK
- ◇ PROPOSED TAPERED WALL (SHOWN HATCHED)(TYPICAL)
- ◇ PROPOSED STEEL OVERHANG ABOVE (SHOWN DASHED)
- ◇ PROPOSED 4" TELCO CONDUIT IN AN UNDERGROUND TRENCH, PRELIMINARY UTILITY ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION
- ◇ REMOVE AND REINSTALL EXISTING FLAGPOLE. LANDLORD TO DETERMINE NEW LOCATION
- ◇ REMOVE EXISTING (3) CROSSES AND CONCRETE PAD (SHOWN DASHED)
- ◇ EXISTING ASPHALT PAVED AREA
- ◇ EXISTING LANDSCAPE AREA
- ◇ EXISTING TREE TO REMAIN (TYPICAL)
- ◇ EXISTING CONCRETE BLOCK WALL WITH WROUGHT IRON FENCE
- ◇ EXISTING CONCRETE GUTTER
- ◇ EXISTING CONCRETE SIDEWALK
- ◇ EXISTING LIGHT STANDARD
- ◇ EXISTING BUILDING
- ◇ EXISTING MONUMENT SIGN
- ◇ EXISTING OVERHEAD ELECTRICAL SERVICE
- ◇ PROPOSED (4) 6" COAX CABLE CONDUITS
- ◇ EXISTING TREE STUMP
- ◇ EXISTING SHRUBS TO REMAIN (TYPICAL)
- ◇ PROPOSED COAX CABLE TRENCH
- ◇ PROPOSED ACCESS PANEL
- ◇ PROPOSED ACCESS HATCH ABOVE (SHOWN DASHED)
- ◇ PROPOSED ROOF OVERFLOW
- ◇ PROPOSED ROOF DRAIN
- ◇ PROPOSED SPLASH BLOCK
- ◇ FIELD VERIFY AND LOCATE EXISTING UNDERGROUND WATER OR DRAIN LINES. HAND TRENCH AND DEEPEN AS REQUIRED IN FIELD WHERE CONDUITS NEED TO CROSS EXISTING WATER OR DRAIN LINES (TYPICAL)
- ◇ EXISTING UNDERGROUND WATER LINE PER DIGITAL RECORDS PROVIDED BY CITY RESOURCES AND LOCATION VERIFIED ON PLAN PER FIELD INVESTIGATION
- ◇ EXISTING UNDERGROUND WATER LINE DISCOVERED AND LOCATED PER FIELD INVESTIGATION. RELOCATE AS NEEDED FOR NEW TOWER INSTALLATION. COORDINATE WITH OWNER
- ◇ EXISTING HOSE BIB



ENLARGED AREA PLAN

SCALE: 1/4" = 1'-0"



NOTE:
 1. PROPOSED LANDSCAPING OMITTED FOR CLARITY. SEE SHEET L-1 FOR LANDSCAPE DEVELOPMENT PLAN.



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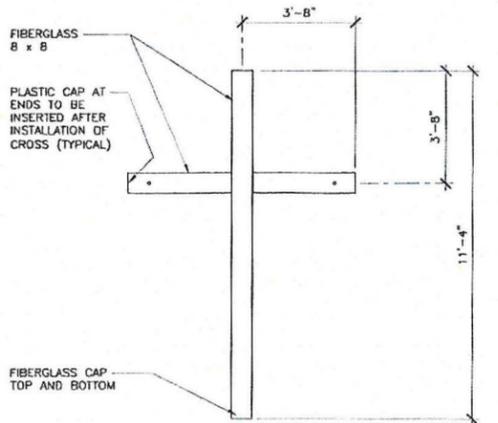
SHEET TITLE
ANTENNA PLAN
 PROJECTS\VERIZON\14010

PLAN NOTES:

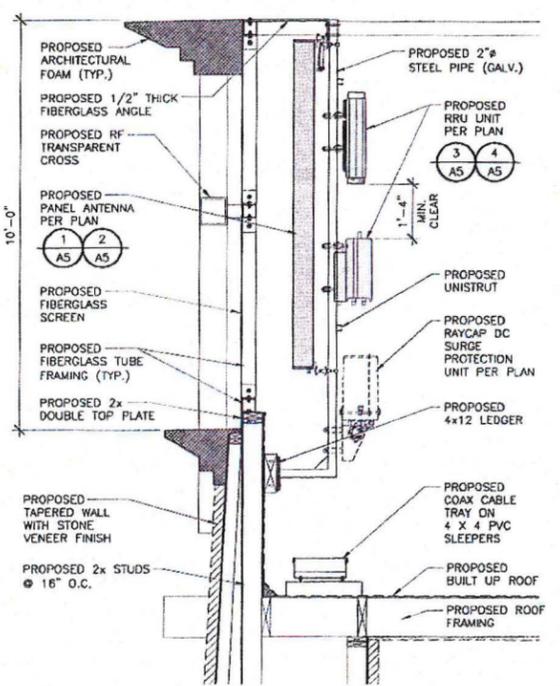
- 1 PROPOSED STEEL OVERHANG BELOW
- 2 PROPOSED STEEL MOUNTING PLATE
- 3 PROPOSED COAX CABLE HATCH
- 4 PROPOSED VERIZON WIRELESS PANEL ANTENNAS MOUNTED INSIDE PROPOSED MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS. (TYP.)
- 5 PROPOSED DECORATIVE TAPERING COLUMN WITH STONE VENEER FINISH (BELOW SHOWN DASHED)
- 6 PROPOSED STACKED PAIR VERIZON WIRELESS RRU'S MOUNTED BEHIND ANTENNA ON MOUNTING PIPE (TYPICAL 4 RRU'S PER SECTOR, TOTAL OF 12 RRU'S)
- 7 PROPOSED RAYCAP DC SURGE PROTECTION UNITS MOUNTED BELOW RRU'S ON MOUNTING PIPE (TYPICAL OF 2) (ABOVE SHOWN DASHED)
- 8 PROPOSED UNISTRUT
- 9 PROPOSED 4" x 4" x 1/4" FIBERGLASS TUBE (TYPICAL)
- 10 PROPOSED RF TRANSPARENT SCREEN
- 11 PROPOSED 2x WOOD STUD WALL (SHOWN SHADED)
- 12 PROPOSED TAPERED WALL (SHOWN HATCHED)
- 13 PROPOSED STEEL ACCESS HATCH
- 14 PROPOSED BUILT UP ROOF
- 15 SLOPE MIN. 1/4" PER FOOT TO DRAIN
- 16 PROPOSED ANTENNA MOUNTING PIPE (TYPICAL) (ABOVE SHOWN DASHED)
- 17 PROPOSED 4x12 LEDGER (ABOVE SHOWN DASHED)
- 18 PROPOSED 4x12 SLEEPER (FLAT)
- 19 PROPOSED COAX CABLE TRAY MOUNTED ON PVC SLEEPERS
- 20 4 x 4 RF TRANSPARENT ANGLE BRACING ABOVE (SHOWN DASHED) (TYPICAL)
- 21 PROPOSED ARCHITECTURAL FOAM TRIM BELOW
- 22 PROPOSED ARCHITECTURAL FOAM TRIM ABOVE (SHOWN DASHED)
- 23 PROPOSED EQUIPMENT TOWER OUTLINE BELOW (SHOW DASHED)
- 24 PROPOSED ROOF OVERFLOW
- 25 PROPOSED ROOF DRAIN
- 26 PROPOSED CRICKET (TYP.)
- 27 PROPOSED RF TRANSPARENT CROSS (TYPICAL)

ANTENNA AND COAXIAL CABLE SCHEDULE

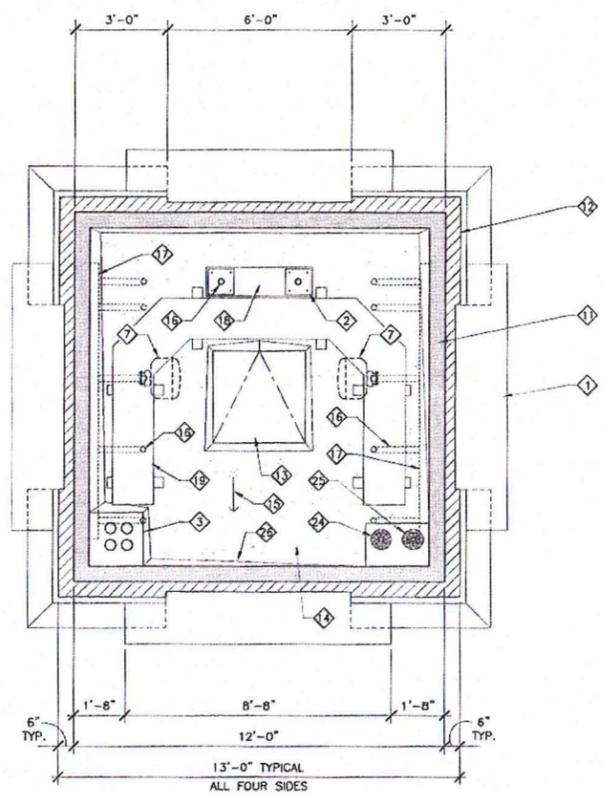
SECTOR ANTENNA	DIRECTION	AZIMUTH	MODEL	DOWNTILT	SKW ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5)	JUMPER LENGTH (+ / - 3)	COAX SIZE
ALPHA1			KATHREIN: 800 10736V01			96.0" L x 11.9" W x 3.9" D	4 COAX, 4 HYBRID + RET CABLES	200'-0"	6'-0"	7/8"
ALPHA2	SOUTHEAST	120°	KATHREIN: 800 10866	0°	N/A	96.5" L x 14.8" W x 6.7" D				
ALPHA3			KATHREIN: 800 10866	0°	N/A	96.5" L x 14.8" W x 6.7" D				
ALPHA4			KATHREIN: 800 10736V01			96.0" L x 11.9" W x 3.9" D				
BETA1			KATHREIN: 800 10736V01			96.0" L x 11.9" W x 3.9" D	4 COAX, 4 HYBRID + RET CABLES	180'-0"	6'-0"	7/8"
BETA2	SOUTHWEST	240°	KATHREIN: 800 10866	0°	N/A	96.5" L x 14.8" W x 6.7" D				
BETA3			KATHREIN: 800 10866	0°	N/A	96.5" L x 14.8" W x 6.7" D				
BETA4			KATHREIN: 800 10736V01			96.0" L x 11.9" W x 3.9" D				
GAMMA1			KATHREIN: 800 10736V01			96.0" L x 11.9" W x 3.9" D	4 COAX, 4 HYBRID + RET CABLES	190'-0"	6'-0"	7/8"
GAMMA2	NORTH	0°	KATHREIN: 800 10866	0°	N/A	96.5" L x 14.8" W x 6.7" D				
GAMMA3			KATHREIN: 800 10866	0°	N/A	96.5" L x 14.8" W x 6.7" D				
GAMMA4			KATHREIN: 800 10736V01			96.0" L x 11.9" W x 3.9" D				



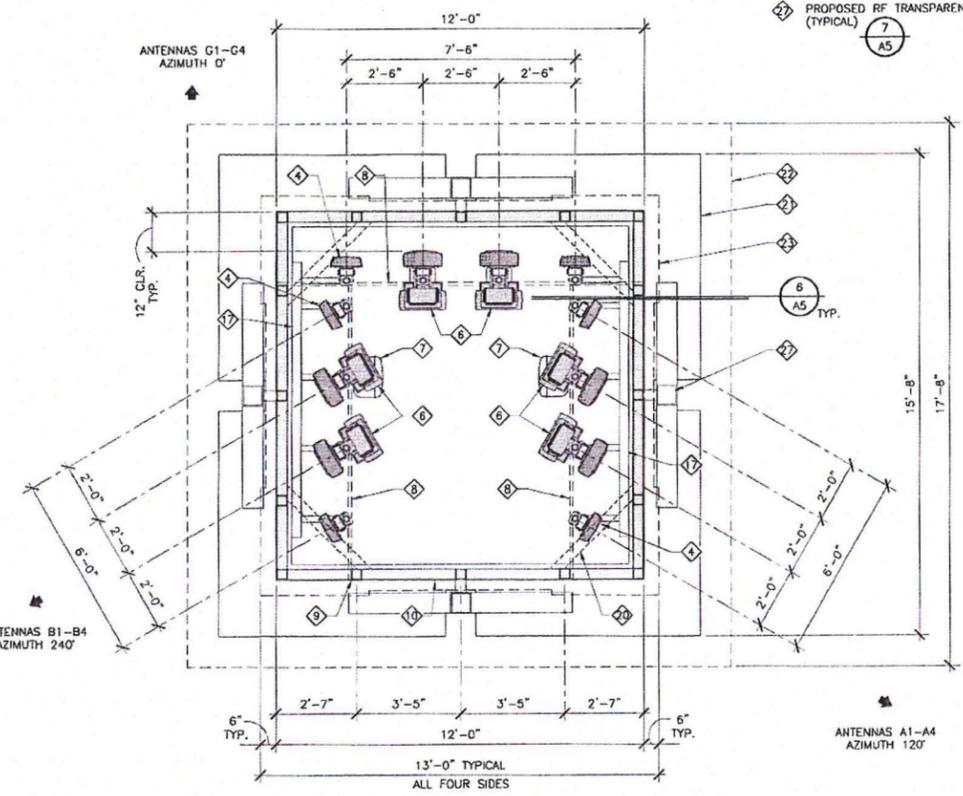
RF TRANSPARENT CROSS SCALE: 3/8"=1'-0" 7



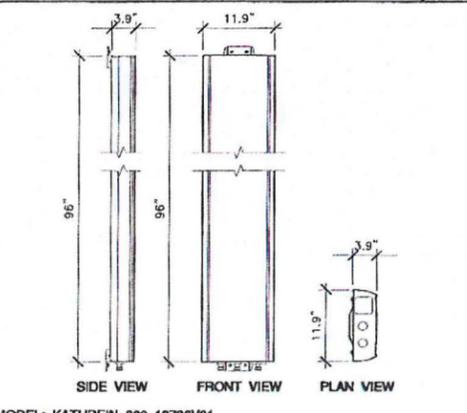
TYPICAL ANTENNA MOUNT SCALE: 1/2"=1'-0" 6



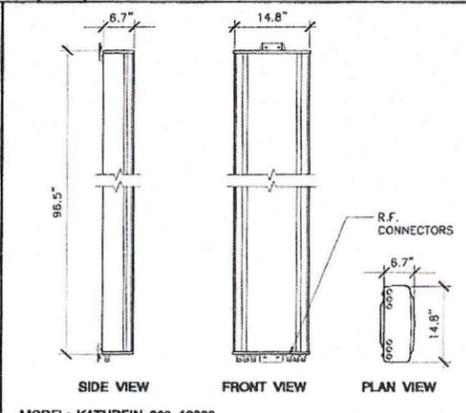
ANTENNA FLOOR PLAN (BELOW ANTENNAS) SCALE: 3/8"=1'-0" 8



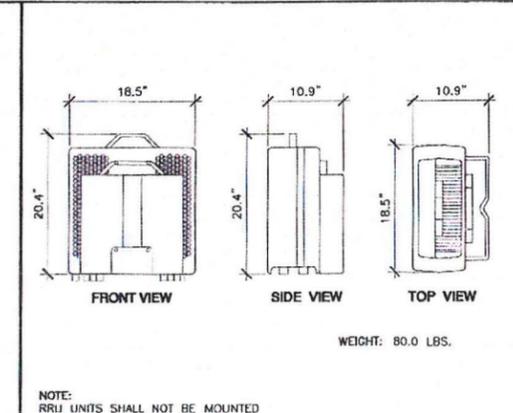
ANTENNA PLAN (AT ANTENNA LEVEL) SCALE: 3/8"=1'-0" 9



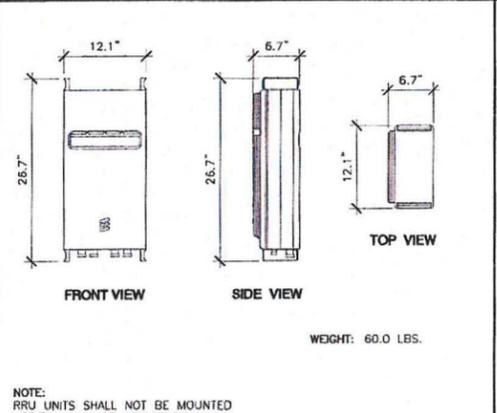
ANTENNA SPECS SCALE: N.T.S. 1



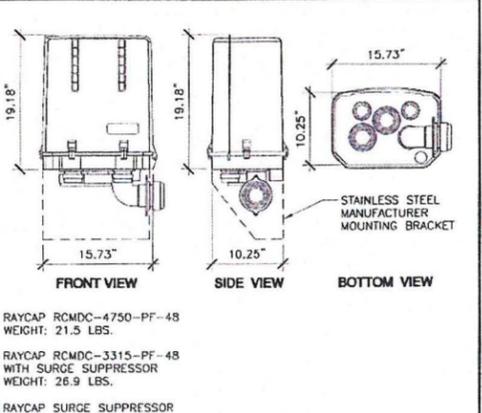
ANTENNA SPECS SCALE: 3/4"=1'-0" 2



REMOTE RADIO UNIT SCALE: NONE 3



REMOTE RADIO UNIT SCALE: NONE 4



RAYCAP SCALE: NONE 5



PREPARED FOR



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APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

EAST CLAIREMONT

7045 FORUM STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

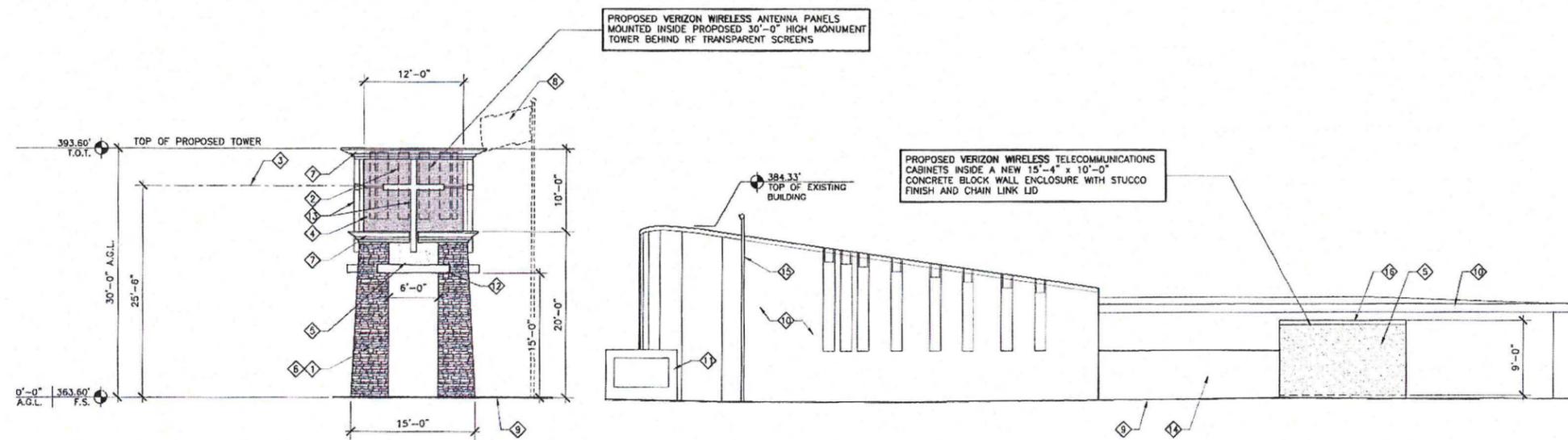
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08/16/14	100% ZD (ic)
10/15/14	100% ZD REVISION 1 (se)
03/23/15	100% ZD REVISION 2 (ic)
05/18/15	100% ZD REVISION 3 (ic)
06/15/15	100% ZD REVISION 4 (se)
09/14/15	100% ZD REVISION 5 (se)
09/23/15	100% ZD REVISION 6 (se)

SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\VERIZON\14010

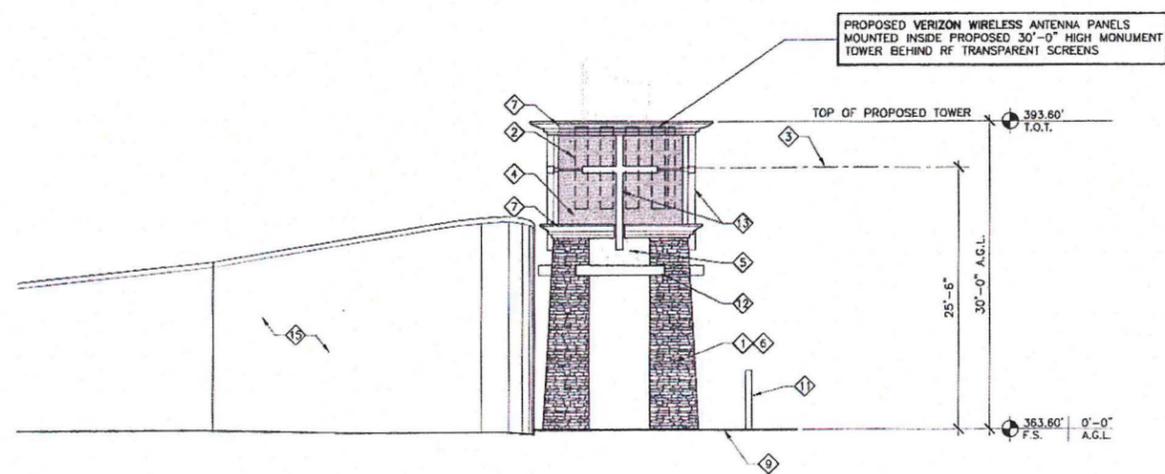
A-6



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

- 1 PROPOSED 30'-0" HIGH TOWER
- 2 PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE PROPOSED MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS (SHOWN DASHED)
- 3 CENTERLINE OF VERIZON WIRELESS ANTENNAS
- 4 PROPOSED RF TRANSPARENT SCREEN WITH STUCCO FINISH. DETAIL, TEXTURE AND PAINT TO MATCH EXISTING BUILDING (SHOWN SHADED)
- 5 PROPOSED STUCCO FINISH. DETAIL, TEXTURE AND PAINT TO MATCH EXISTING BUILDING
- 6 PROPOSED DECORATIVE STONE
- 7 PROPOSED ARCHITECTURAL FOAM TRIM
- 8 REMOVE AND REINSTALL EXISTING FLAGPOLE. LANDLORD TO DETERMINE NEW LOCATION
- 9 EXISTING GRADE
- 10 EXISTING BUILDING
- 11 EXISTING MONUMENT SIGN
- 12 PROPOSED STEEL OVERHANG (GALV.)
- 13 PROPOSED RF TRANSPARENT CROSS
- 14 EXISTING PARTIAL HEIGHT WALL WITH STUCCO FINISH
- 15 EXISTING WEATHERHEAD
- 16 PROPOSED TRIM TO MATCH EXISTING BUILDING



EAST ELEVATION
 SCALE: 1/8" = 1'-0"

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APPROVALS

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RE	DATE
RF	DATE
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EE/IN	DATE
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EE/OUT	DATE

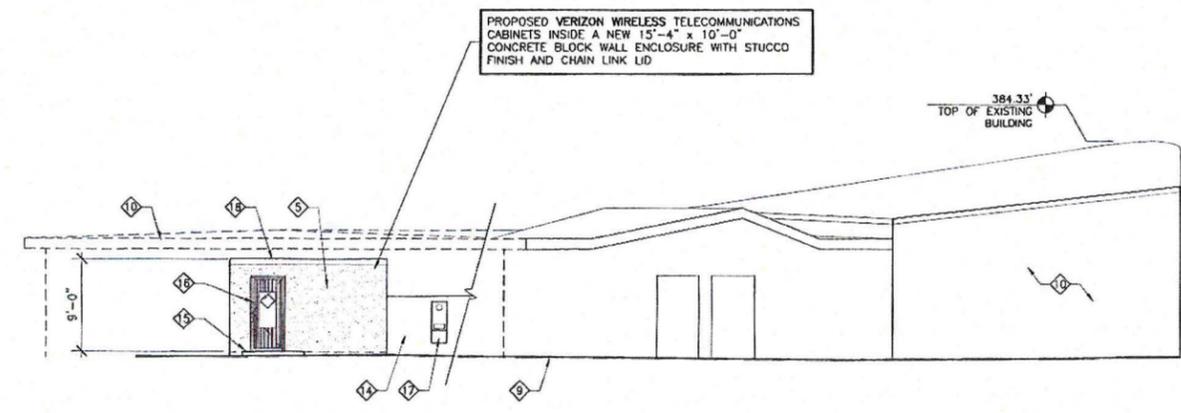
PROJECT NAME
EAST CLAIREMONT
 7045 FORUM STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

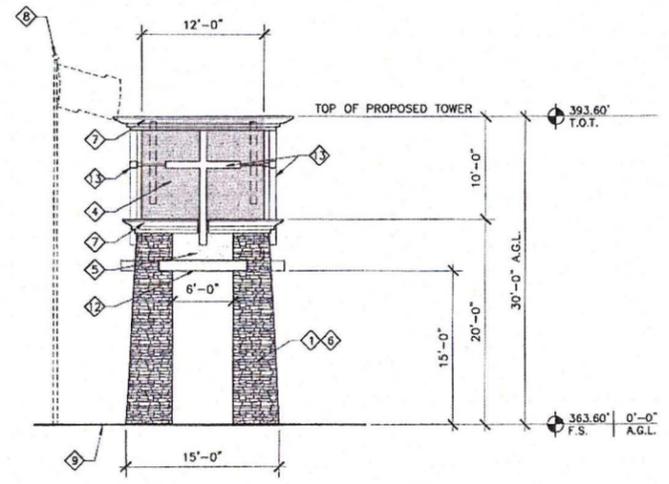
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06/15/15	100% ZD REVISION 4 (se)
09/14/15	100% ZD REVISION 5 (se)
09/23/15	100% ZD REVISION 6 (se)

SHEET TITLE
EXTERIOR ELEVATIONS

PROJECTS\VERIZON\14010

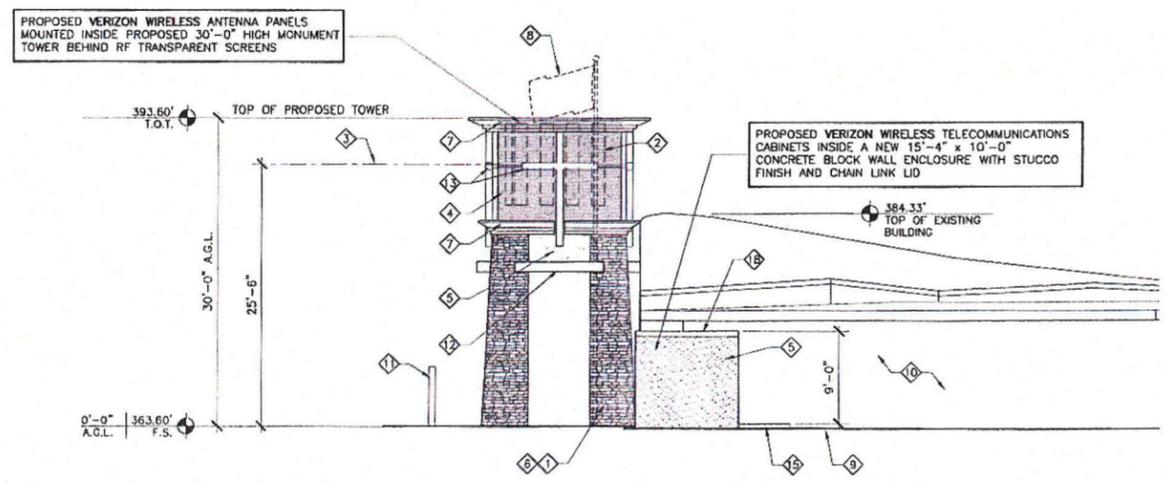


SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



ELEVATION NOTES:

- 1 PROPOSED 30'-0" HIGH TOWER
- 2 PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE PROPOSED MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS (SHOWN DASHED)
- 3 CENTERLINE OF VERIZON WIRELESS ANTENNAS
- 4 PROPOSED RF TRANSPARENT SCREEN WITH STUCCO FINISH. DETAIL, TEXTURE AND PAINT TO MATCH EXISTING BUILDING (SHOWN SHADED)
- 5 PROPOSED STUCCO FINISH. DETAIL, TEXTURE AND PAINT TO MATCH EXISTING BUILDING
- 6 PROPOSED DECORATIVE STONE
- 7 PROPOSED ARCHITECTURAL FOAM TRIM
- 8 REMOVE AND REINSTALL EXISTING FLAGPOLE. LANDLORD TO DETERMINE NEW LOCATION
- 9 EXISTING GRADE
- 10 EXISTING BUILDING (IN FOREGROUND SHOWN DASHED)
- 11 EXISTING MONUMENT SIGN
- 12 PROPOSED STEEL OVERHANG (GALV.)
- 13 PROPOSED RF TRANSPARENT CROSS
- 14 EXISTING PARTIAL HEIGHT WALL WITH STUCCO FINISH
- 15 PROPOSED CONCRETE LANDING
- 16 PROPOSED 3'-0" WIDE STEEL GATE AND FRAME WITH LOCKABLE ACCESS AND VERIZON WIRELESS SIGNAGE
- 17 PROPOSED ELECTRICAL METER MOUNTED TO WALL
- 18 PROPOSED TRIM TO MATCH EXISTING BUILDING



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

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APPROVALS

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EE/OUT	DATE

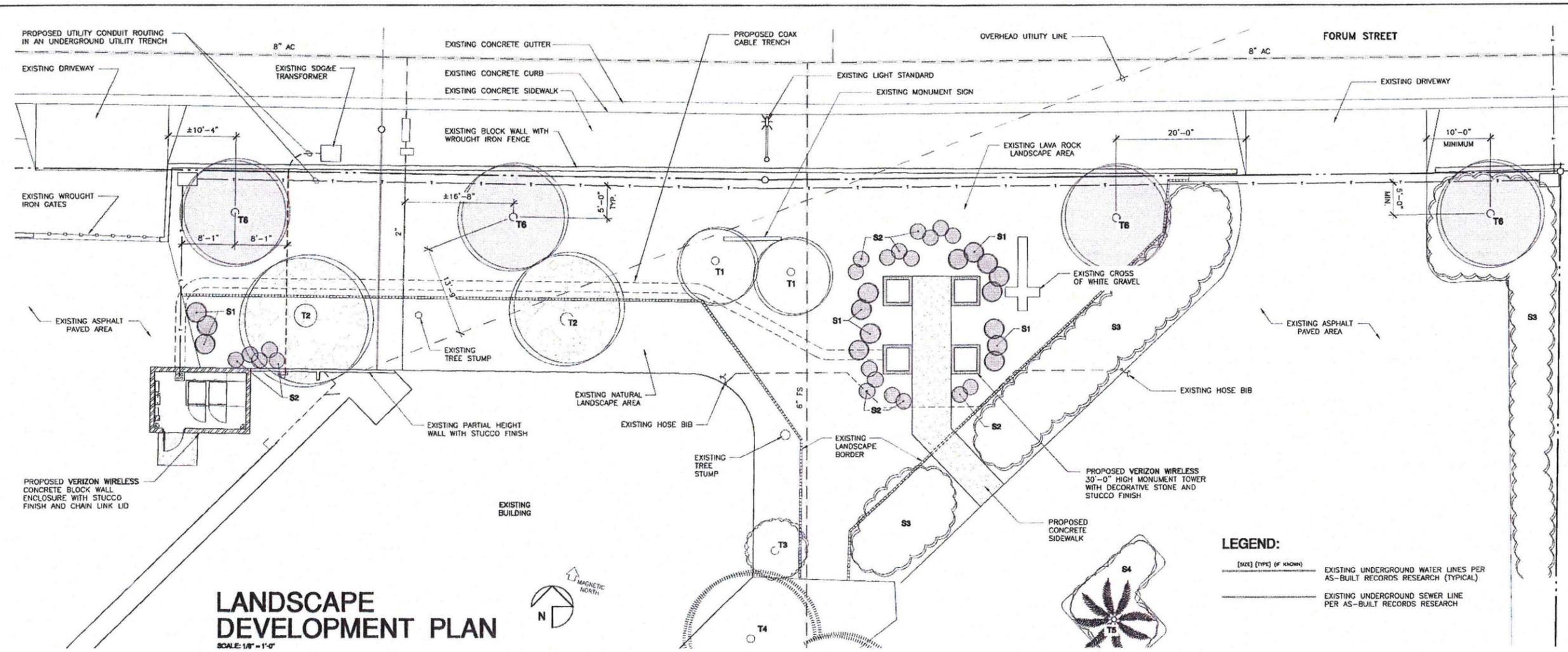
PROJECT NAME
EAST CLAIREMONT
 7045 FORUM STREET
 SAN DIEGO, CA 92111
 SAN DIEGO COUNTY

DRAWING DATES

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08/18/14	100% ZD (ic)
10/15/14	100% ZD REVISION 1 (sa)
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06/15/15	100% ZD REVISION 4 (sa)
09/14/15	100% ZD REVISION 5 (sa)
09/23/15	100% ZD REVISION 6 (sa)

SHEET TITLE
CONCEPTUAL LANDSCAPE PLAN

PROJECTS\VERIZON\14101



LANDSCAPE DEVELOPMENT PLAN
 SCALE: 1/8" = 1'-0"

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. A MINIMUM ROOT ZONE OF 40 S.F. IN ARA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
12. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
13. REMOVE WEEDS AND PROVIDE A WEED BARRIER. PROVIDE A MINIMUM 2-INCH THICK BARK MULCH ABOVE THE WEED BARRIER.

WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS.
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING.
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX.
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.
13. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.0411(a)].
14. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. LANDSCAPE AREAS ARE TO BE IRRIGATED BY OWNER.

LANDSCAPE NOTES:

1. NO EXISTING TREES OR SHRUBS WILL BE REMOVED AS A PART OF THIS PROJECT.
2. AREAS DISTURBED DURING CONSTRUCTION FROM EQUIPMENT, TRENCHING WILL BE REVEGETATED TO EXISTING CONDITION.
3. FOR AREAS OF BARE SOIL, NOT REVEGETATED WITH GROUND COVER, PROVIDE A 3 INCH LAYER OF BARK MULCH.

IRRIGATION NOTE:
 CONTRACTOR IS TO COORDINATE MODIFICATIONS TO EXISTING ON SITE IRRIGATION SYSTEM TO PROVIDE PROPER PROPOSED LANDSCAPE COVERAGE. PROVIDE MATCHING IRRIGATION SPRINKLERS. COORDINATE ALL WORK WITH OWNER.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	FORM / FUNCTION	MATURE HEIGHT & SPREAD
T1	JUNIPERUS CHINENSIS	HOLLYWOOD JUNIPER	EXISTING	4	TREE	45' HEIGHT 25' SPREAD
T2	PITISPORUM TOBIRA	JAPANESE MOCK ORANGE	EXISTING	2	TREE	15' HEIGHT 15' SPREAD
T3	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER TREE	EXISTING	1	TREE	30' HEIGHT 30' SPREAD
T4	PINUS HALEPENSIS	ALEPPO PINE OR JERUSALEM PINE	EXISTING	-	TREE	40' HEIGHT 30' SPREAD
T5	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	EXISTING	1	TREE	75' HEIGHT 12' SPREAD
T6	PYRUS CALLERYANA	FLOWERING PEAR OR BRADFORD PEAR	24" BOX	4	TREE	40' HEIGHT 30' SPREAD
S1	CEANOTHUS ARBOREUS	CALIFORNIA LILAC 'TREWITHE BLUE'	5 GALLON	15	SHRUB	10' HEIGHT 10' SPREAD
S2	RHAPHOLEPIS INDICA	INDIAN HAWTHORN	5 GALLON	21	SHRUB	5' HEIGHT 8' SPREAD
S3	JUNIPERUS CHINESE	PFITZER JUNIPER	EXISTING	-	SHRUB	5' HEIGHT 10' SPREAD
S4	RHAPHOLEPIS INDICA	INDIAN HAWTHORN	EXISTING	-	SHRUB	5' HEIGHT 8' SPREAD

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PROJECT NAME
EAST CLAIREMONT

7045 FORUM STREET
 SAN DIEGO, CA 92111

DRAWING DATES

SHEET TITLE
 TOPOGRAPHIC SURVEY

C1

