

THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED:	October 30, 2008	REPORT NO. PC-08-140
ATTENTION:	Planning Commission, Agenda of N	ovember 6, 2008
SUBJECT:	3953 FLORIDA STREET TENTATIV PROCESS FOUR	VE MAP; PROJECT NO. 89546
OWNER:	Hsieh Family Limited Partnership (At	ttachment 7)
APPLICANT:	DGB Surveying & Mapping	

SUMMARY

Issue(s): Should the Planning Commission approve a Tentative Map to allow the conversion of 18 existing residential rental units into condominiums, including a waiver of the requirement to underground the existing overhead utilities, at 3953 Florida Street, within the Greater North Park Community Plan area?

Staff Recommendation:

- 1. Approve Tentative Map No. 287973; and
- 2. **Approve** a waiver of the requirement to underground the existing overhead utilities.

<u>Community Planning Group Recommendation</u>: On July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 (approve, deny, abstaining, and recused) to recommend approval of the proposed project with recommendations as detailed in this report (Attachment 10).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15301, on December 12, 2005, and the opportunity to appeal that determination ended January 2, 2006.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant.



Housing Impact Statement: With the proposed conversion of 18 existing apartments to condominiums, there would be a loss of 18 rental units and a gain of 18 for-sale units. The project is subject to the current inclusionary housing and tenant relocation assistance regulations.

BACKGROUND

This Tentative Map project is subject to the condominium conversion regulations that became effective June 13, 2006, with the exception of the parking regulations, based on the City Council's specific adoption language for the "new" condominium conversion regulations. At the June 13, 2006, hearing, the City Council adopted regulations for additional requirements for landscaping, a building conditions report, onsite inclusionary housing, noticing and parking. Based on the adopted language and project timing, all of these new regulations apply to this project, with the exception of the parking regulations. Accordingly, this project has been reviewed against the new regulations and this project can proceed to its discretionary hearing.

The 0.34-acre site is located at 3953 Florida Street, in the MR-800B Zone of the Mid-City Communities Planned District, the North Park Redevelopment Project Area and the Transit Area Overlay Zone, within the Greater North Park Community Plan Area (Attachment 2). The site is presently developed with two, two-story structures containing a total of four 1-bedroom apartment units and fourteen 2-bedroom apartment units. There are 29 onsite parking spaces with 10 surface spaces that are accessed from the alley and 19 subterranean spaces accessed from Florida Street. The site is surrounded by multi-family development.

The existing buildings were constructed with approved building permits in 1986. The site is currently zoned MR-800B, which is a multi-family zone that allows one unit per 800 square feet. The Community Plan also designates the site for low to medium density development. At the time building permits were approved, 28 parking spaces were required. The San Diego Municipal Code would require 30 off-street parking spaces for a newly constructed project and 22 spaces for a condominium conversion project. As discussed previously, the new condominium conversion parking requirements that were approved in June 2006, do not apply to this project, therefore, the 29 parking spaces provided are acceptable.

The development complies with the zoning and development regulations in effect at the time of construction and no Building or Zoning code violations have been recorded against the property. The project maintains previously conforming rights which allows the current parking and density count, as outlined in Chapter 12, Article 7, Division 1 of the Land Development Code.

DISCUSSION

Project Description:

The project proposes a Tentative Map for the subdivision of a 0.34-acre site into one lot to convert 18 existing dwelling units into condominiums (Attachment 5). The applicant is also requesting that the requirement to underground the existing overhead utilities be waived. Section 125.0410 of the San Diego Municipal Code (SDMC) requires that a Tentative Map be

Section 125.0410 of the San Diego Municipal Code (SDMC) requires that a Tentative Map be processed for the subdivision of land. According to SDMC Sections 125.0440 and 125.0444, *Findings for Tentative Maps and for Condominium Conversions*, the decisionmaker may approve a Tentative Map or a Vesting Tentative Map for the purposes of the conversion of residential property into a condominium project if the decision maker finds that the proposed conversion complies with the requirements of the Subdivision Map Act and the San Diego Municipal Code. Staff has reviewed the proposed condominium conversion and determined that it complies with both the Subdivision Map Act and the San Diego Municipal Code.

Undergrounding of Existing Utilities

San Diego Municipal Code Section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined the undergrounding waiver request qualifies under the guidelines of Council Policy 600-25, *Underground Conversion of Utility Lines at the Developer's Expense, Expense* in that the conversion involves a short span of overhead facility (less than 600 feet in length), it has been determined that such conversion is not a part of a continuing effort to accomplish a total undergrounding within a specific street or area, the conversion would represent an isolated undergrounding with a minimum probability of extension in the future, and the conversion is a requirement of a condominium conversion of an existing development and the conversion would not represent a logical extension to an underground facility.

The applicant will be required to underground all existing service to the site per Condition No. 17 of the draft Tentative Map resolution (Attachment 6). The applicant would also be required to underground any new service run to any new or proposed structures within the subdivision per Condition No. 16 of the draft Tentative Map resolution.

The project site is served by power poles and overhead utilities lines located at the rear of the property within the alley. These utility lines also service the adjacent properties. As indicated above, all utilities serving this property will be required to be undergrounded. The waiver is being requested for the requirement to underground adjacent utilities serving the surrounding properties. The City's Undergrounding Master Plan designates the site within Block 3X2, and the date for undergrounding has been established for the year 2038 (Attachment 9).

Community Planning Group and Neighborhood Recommendations:

On July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 (approve, deny, abstaining, and recused) to recommend approval of the proposed project with the following recommendation:

1. The project shall include two inclusionary housing units on site. The applicant has declined this recommendation and has indicated they will pay the in lieu fee as allowed by the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

Project-Related Issues:

All condominium conversion projects not yet heard by July 25, 2006, must conform with the current regulations regarding: inclusionary housing, tenant relocation benefits, the provision of a building conditions report, conformance with landscape regulations, and conformance with noticing requirements. This project is not required to conform with the new parking regulations for condominium conversions, based on specific language adopted by the City Council.

The requested conversion of these residential units to condominiums represents primarily a change in ownership. The applicant has certified that the required 60-day Notice of Intent to Convert to Condominiums was prepared on December 6, 2005 (Attachment 11).

Inclusionary Housing Ordinance and Tenant Relocation Benefits Conformance:

The project has been conditioned to require the subdivider conform with the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) and demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5) to the satisfaction of the City Manager and the Housing Commission, prior to the recordation of the Final Map.

The applicant has elected to pay an in-lieu fee of \$23,548 (\$1.75 x 13,456 square feet) to satisfy the Inclusionary Housing requirement, as allowed by the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

Building Conditions Report and Landscape Requirements

In accordance with the current regulations, the applicant provided a Building Conditions Report and Landscape Concept Plan. Both of these documents have been reviewed for conformance with the applicable regulations within Land Development Code (Chapter 14, Article 4, Division 5) and have been accepted by staff as conforming with the regulations.

Noticing

The proposed project has been conditioned to conform with all new noticing requirements for condominium conversions.

Conclusion:

Staff has reviewed the request for a Tentative Map for the conversion of 18 residential units into condominiums and has found the project to be in conformance with the applicable sections of the San Diego Municipal Code regulating Tentative Maps. Staff believes the requirement findings can be supported and recommends the Planning Commission approve the project as proposed.

ALTERNATIVES:

- 1. Approve Tentative Map No. 287973, with modifications.
- 2. Deny Tentative Map No. 287973 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Mike Westlake Program Manager Development Services Department

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Renee Mezo Development Project Manager Development Services Department

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Attachments:

- 1. Aerial Photograph
- 2. Community Plan Land Use Map
- 3. Project Location Map
- 4. Project Data Sheet
- 5. Tentative Map and Landscape Plan
- 6. Draft Map Conditions and Subdivision Resolution
- 7. Ownership Disclosure Statement
- 8. Project Chronology
- 9. Utility Undergrounding Master Plan Map
- 10. Community Planning Group Recommendation
- 11. Sample 60-Day Notice of Intent to Convert
- 12. Photos of Existing Elevations
- 13. Building Conditions Report





Aerial Photo

<u>3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET</u> PROJECT NUMBER <u>89546</u>



ATTACHMENT 1

ATTACHMENT 2





Community Land Use Map

<u>3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET</u> PROJECT NUMBER <u>89546</u>







Project Location Map

3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET

PROJECT NUMBER 89546

ATTACHMENT 3

North

PROJ	ECT DATA S	SH	ЕЕТ
PROJECT NAME:	3953 FLORIDA STRE	EET	TENTATIVE MAP
PROJECT DESCRIPTION:	Conversion of 18 exist	ing u	units into condominiums.
COMMUNITY PLAN:	Greater North Park Co	mmu	unity Plan
DISCRETIONARY ACTIONS:	Tentative Map		
COMMUNITY PLAN LAND USE DESIGNATION:	Multi-family Residenti	al	
CURRENT ZONING INFORM ZONE: MR-800B: A multi-unit the Mid-City Communities Plant DENSITY: 1 dwelling unit per & HEIGHT LIMIT: 50'; 60' whe enclosed parking LOT SIZE: 6,000 square-foot r FLOOR AREA RATIO: 1.25 r FRONT SETBACK: 10 feet SIDE SETBACK: 6 feet STREETSIDE SETBACK: 6 fe REAR SETBACK: 1 foot if alle PARKING: 30 spaces required ADJACENT PROPERTIES:	t residential zone in ned District 300 sq.ft. of lot area ere a building is above ninimum lot size. maximum.	R- 18 Tv 13 Nc 10 5 f N/ 20	DNSTRUCTED 3A units vo-story ,456 square feet ot available feet Seet A feet spaces EXISTING LAND USE
NORTH:	MR-800B, Mulri-fami Residential	ly	Multi-family Residential
SOUTH:	MR-800B, Mulri-fami Residential	ly	Multi-family Residential
EAST:	MR-800B, Mulri-fami Residential	ly	Multi-family Residential
WEST:	MR-800B, Mulri-fami Residential	ly	Multi-family Residential
DEVIATIONS OR VARIANCES REQUESTED:	None		
COMMUNITY PLANNING GROUP RECOMMENDATION:	At the July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 to recommend approval of the proposed project with recommendations.		



ATTACHMENT

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LEGAL DESCRIPTION LOTS 6, 10, 11 & 12 N BLOCK 100 OF UNMERSITY HEIGHS, IN THE CITY OF SHN DESCO, STRUE OF CALFORNA, ACCORDING TO AMERICED IMP THEEDF MODE BY GAL OFMERCOURT IN BOOK 6, PAGE 35 OF LIS PENEDS IN THE OFFICE OF THE COUNTY RECOMPERT OF SAN DEEDO COUNTY.

Also all that portion of the east 10 feet of florida street adjoining sad lots on the west, as closed october 9, 1911, by resolution no. 0.305, of the control of the city of san ideas, october 18, 1911.

1. GROBE/NET AREA IS 0.34 ACRES 14,998 SQ. FT.

2. TOTAL NUMBER OF EXISTING LOTS: 4 TOTAL NUMBER OF UNITS: 18

4. EXISTING & PROPOSED ZONING: MR-800B/MCC

5. ASSESSOR'S PARCEL NUMBER: 445-672-07

BENCH MARK: CITY OF SAN DIEGO, INVEP LINCOLN AVENUE & ALABAMA STREET ELEV.: 200.72 M.S.L.

8. TOPOGRAPHY: DGB SURVEY & MAPPING INC. (DATED NOVEMBER 17, 2005) 23 1/2 NAPLES ST., CHULA VISTA, CA. 91911 ALL PROPERTY CONVERS WILL BE SET AND A ONE LOT SUBDIVISION MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THIS

10. TITLE REPORT BY: ALLIANCE TITLE ORDER NO. 15114209-118

11. THE TENNS AND PROVISIONS CONTAINED IN THE COLMENT DITITLED "INSTALLATION INVITEDWINCE AND POSSIBLE REMOVAL OF STREET THEE AND INVARIAN LANE AND SOCIALLY LINDER CHANGE", EXECUTED BY AND BERNEN CITL OF SAN DEED AND LINA J. MEEN, RECORDED MINCH 18, 1991 AS INSTRUMENT NO. 1991-0116042, OF OFFICIAL RECORDED.

Development Summary

1. SUMMARY OF REQUEST CONNEXT BONTEEN AWATMENT UNITS TO EXHTEEN CONDONENUM UNITS

RESS	
LONDA STREET Inc) III N CIS CIE CIW	
	and <u>UNIVERSITY ANDILE</u>
ie Area (grose):	0.34 Ac. 14,998 Sq. Pt. 0.34 Ac. 14,998 Sq. Pt.
Area: a erea excludes required streets and p	
DATA	
liding Area (ground floor):	0.17 Ac. 7.360 Sq. FL
ndscape/Open Space Area:	<u>0.05</u> Ac. <u>2.170</u> Sq. FL <u>0.22</u> Ac. <u>9.786</u> Sq. FL
na Ralio (FNR)	ross Floor Area (OFA) _13.456 \$q. PL
sidential)	
n no. dealing units allowed per sone:	18
of cubility units to remain on other of proposed dwelling units on other	
mber of units provided on this site:	18
ICK	
ient: Required15	
lde Yurd: Required <u>HA</u>	R. Proposed <u>HA</u> PL. FL. Proposed 5 PL
Yard(a): Required <u>5</u> rd: Required <u>20</u>	
Criteria: 🗃 Residential	
ene) 🖸 Commercial	
C) Industrial	
C) Other	
mber of spaces required by zone:	<u>29</u> spaces
mber of spaces provided on-sile:	spaces
vial Development: Ine space per Sq. Ft.	97/ 100000
<u>BY:</u>	32730001 7:
Y & MAPPING INC.	REVERSOR C:
A, CA 91911	REVENDOF 6:
	REVENCET 4:
ADDRESS:	REVESION S:
DA STREET CA 98104	REVISION S:
	REVIEWORI 1:
NAME:	
ORIDA STREET	ORIGINAL DATE: 11/17/05
	SHEET OF SHEETS
TIR:	
IVE MAP	DEP #



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NOTE: CONTRACTOR TO COORDINATE ALL PIPE ROUTING, MATERIALS, SIZES, WRING, ETC. WITH MECHANICAL ENGINEER AND GENERAL CONTRACTOR. IN THE EVENT THAT INFORMATION IN THE FOLLOWING SPECIFICATIONS IS IN CONFLICT WITH DIRECTIONS FROM MECHANICAL ENGINEER OR GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FOR CLARIFICATION AND FURTHER INSTRUCTION.

Section 02480 Irrigation

- PART 1 GENERAL
- 1.01 GENERAL CONDITIONS
- THE GENERAL CONDITIONS, SPECIAL CONDITIONS, AND DIVISION 1 ARE AN ADDED PART OF THIS SECTION AND CONTRACT FOR THIS WORK AND APPLY TO THIS SECTION AS FULLY AS IF REPEATED HEREIN.
- ·1.02
- The work includes all services, labor, materials, transportation and equipment incessary to perform the work indicated on the drawings and as specified. The defendance conditions and division 1 apply to this section as pully as if repeated herein.
 - RELATED WORK:
 - (A) LANDSCAPING SECTION (02900)
- 1.03 SUBMITTALS
- SUBINT A LIST OF ALL IRRIGATION EQUIPMENT TO BE USED, MANUFACTURER'S BROCHURES, MANTENANCE MANUALS, GUARANTEES AND OPERATING INSTRUCTIONS.
- 1.04 GUARANTEE:
- Furnish guarantee in accordance with general conditions, for a period of ore (1) teap from date of final acceptance at conclusion of the langtankie period on complete water regrations system, including robust of backell in thendes which, if occurs, shall be corrected, including robust and there and acceptance and the corrected of the period of the state from the state from
- 1.05
- IN ALL CASES WHERE OBSERVATION OF SPRINKLER SYSTEM WORK IS REQUIRED AND/OR WHERE PORTIONS OF WORK ARE SPECIFIED TO BE PERFORMED UNDER DRECTION AND/OR OBSERVATION OF ARCHITECT OF HIS REPRESENTATIVE, CONTRACTOR SHALL NOTEY RACHTECT AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF TIME SUCH INSPECTION AND/OR DIRECTION IS REQUIRED.
- OBSERVATION WILL BE REQUIRED FOR THE FOLLOWING PARTS OF THE WORK
 - UPON INSTALLATION AND TESTING OF MAIN LINES AND LATERAL LINES; WHEN PIPES ARE LAID AND ARE TO BE SUBMITTED TO PRESSURE TESTS. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN OBSERVED AND
 - UPON INSTALLATION AND TESTING OF VALVES, QUICK COUPLERS, BACKFLOW PREVENTER DEVICE, AUTOMATIC CONTROLLERS, AND CONTROL VALVES AND WRES. 2
 - WHEN SPRINGLER SYSTEM IS COMPLETED, CONTRACTOR, IN THE PRESENCE OF ARCHITECT, SHALL PERFORM A COVERAGE TEST TO DETEXMINE IF COVERAGE OF WATER AND ADDRED THE LAWN AND PLANTING ARCAS IS COMPLETE AND ADDREDATE. CONTRACTOR SHALL FURNSH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT AND MUNICIPALINGE TO DOCED. CORRECT ANY INADEQUACIES TO COVER
 - FINAL OBSERVATION AND PERFORMANCE TEST SHALL BE AT THE SAME TIME AS FINAL OBSERVATION OF THE LANDSCAPE WORK.
- 1.08 TESTING

ALL PVC MAIN AND LATERAL LINES SHALL BE SUBJECTED TO A PRESSURE TEST OF 125 PSI FOR A PERIOD OF FOUR HOURS. ALL TESTING SHALL BE IN THE PRESENCE OF THE ARCHITECT. APPROVAL SHALL BE RECEIVED BEFORE BACKTILLING, MINT TRENCH. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN

- 1.07 RECORD DRANING
- BEFORE FINAL ACCEPTANCE OF WORK, CONTRACTOR SHALL PROVIDE A RECORD SET OF DRAWINGS SHOWING SPRINKLER SYSTEM WORK.
- ANY CHANGES IN LOCATION OF ITEMS OR TYPE OF INSTALLATIONS FROM THAT SHOWN ON DRAWINGS SHALL BE SO INDICATED ON THE RECORD DRAWINGS.
- VALVES SHALL BE NUMBERED AND CORRESPONDING NUMBERS SHALL BE SHOWN ON RECORD DRAWINGS. 2.
- ALL REMOTE CONTROL VALVES, SHUT-OFF VALVES, QUICK COUPLER VALVES SHALL BE LOCATED BY MEASURE DIMENSIONS. DIMENSIONS SHALL BE GIVEN TO PERMANENT OBJECTS AND SHALL BE TO MEAREST OWE-HALF FOOT.
- ON THE INSDE SURFACE OF THE COVER OF EACH AUTOMATIC CONTROLLER, PREPARE AND MOUNT A CHART SHOWING VALVES AND SPRINLER HEADS SERVICED BY THAT PARTICILAR CONTROLLER, ALL VALVES SHALL BE NUMBERED TO MATCH OPERATION SOFWALLER SHALL BE SHOWN. THIS CHART SHALL BE A PLOT PAIN, ENTRE OF PARTIL, SHOWING BULDING, INVES, ROADS AND WALLS A PHOTOSTATIC PRINT OF THIS PLAN, REDUCED AS NECESSARY AND LEORLE IN ALL DETALS, SHALL BE MADE TO A SIZE THAT WILL FIT INTO THE CONTROLLER CHART. THIS PLAN, REDUCED AS NECESSARY AND LEORLE IN ALL DETALS, SHALL BE MADE TO A SIZE THAT WILL FIT INTO THE CONTROLLER COVER. THIS PRINT SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE HERMERCIALLY SEALED BY PLASTIC. THIS SHALL THEN BE SECURED TO INSIDE OF COVER.
- INNEDIATELY UPON INSTALLATION OF ANY BURIED PIPE OR EQUIPMENT, Contractor shall indicate on the drawings locations of said Equipment, dimensions shall be given from permanent objects SUCH AS BUILDINGS, SIDEWALKS, CURBS AND DRIVEWAYS

1.08 GENERAL REQUIREMENTS

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C.

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E.

- CODE REQUIREMENTS SHALL BE THOSE OF STATE AND MUNICIPAL CODES AND REGULATIONS LOCALLY GOVERNING THIS WORK, PROVIDING THAT ANY REQUIREMENTS OF THE DRAININGS AND SPECIFICATIONS, NOT COMPLICITING THEREMITH BUT EXCERDING THE CODE REQUIREMENTS SHALL GOVERN, UNLESS WRITTED PERMISSION TO THE CONTRARY IS GRAVIED BY THE DISTRCT.
- Extreme care shall be exercised in excavating and working in the area due to existing utilities. Contractor shall be responsible for damages caused by his operations.
- CONNECTIONS SHALL BE WADE AT APPROXIMATELY LOCATIONS SHOWN ON DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.
- SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS.
- PLAN LOCATIONS OF SUB SURFACE LINES, VALVES, CONTROLLER AND PIPE LINES ARE DIAGRAMMATIC AND INDICATE THE SPACING AND RELATIVE LOCATIONS OF ALL INSTALLATIONS
- ALL LINES SHALL HAVE MINIMUM CLEARANCE OF SIX (6) INCHES FROM EACH OTHER, AND FROM LINES OF OTHER TRADES. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER.
- DIELECTRIC BUSHINGS SHALL BE USED IN ANY CONNECTIONS WITH PIPING OF DISSIMILAR METAL MATERIALS.
- Point of connection shall be wapproximately as shown on drawings connect new underground piping and valves and provide all flanges, adapters or other necessary fittings for connection.
- PERMISSION TO SHUT OFF ANY EXISTING IN-USE WATER LINES MUST BE OBTAINED 48 HOURS IN ADVANCE, IN WRITING FROM OWNER, CONTRACTOR SHALL RECEIVE INSTRUCTIONS FROM OWNER, AS TO THE EXACT LENGTH OF THE OF EACH ENTLOSE TIME OF EACH SHUT-OFF.
- K. CONTRACTOR SHALL ACQUAINT HINSELF WITH ALL SITE CONDITIONS.
- PART 2 PRODUCTS

2.01 NATERIALS:

A.

- PIPING: PIPE SIZES SHOWN ARE NOMINAL INSIDE DIAMETER UNLESS OTHERWISE NOTED.
- (A) PRESSURE MAINLINE PIPING FOR SIZES 2" AND LARGER SHALL BE SCHEDULE 40 PVC.
- PIPE SHALL BE, MADE FROM AN NSF APPROVED TYPE 1, GRADE 1, PIPE SHALL BE MADE FROM AN NSF APPROVED TYPE 1, GRADE 1, PVC COMPOUND CONFORMING TO ASTN RESIN SPECIFICATIONS "D1734", ALL PIPE MUST MEET REQUIREMENTS AS SET FORTH IN FEDERAL SPECIFICATIONS PS-22-70, WITH AN APPROPRIATE STANDARD DIMENSION (S.D.R.) (SOLVENT WELD PIPE). (B)
- PRESSURE MAINLINE PIPING FOR SIZES 1-1/2" AND SWALLER SHALL BE PVC SCHEDULE 40 WITH SOLVENT WELDED JOINTS (C)
- PIPE SHALL BE WADE FROM NSF APPROVED TYPE 1, ORADE 1, PVC COMPOUND CONFORMING TO THE ASTM RESIN SPECIFICATIONS "D1785". All pipe must meet requirements as set forth in (D) FEDERAL SPECIFICATIONS PS-21-70.
- PVC SOLVENT-WELD FITTINGS SHALL BE SCHEDULE 40, 1-2, 11-1 NSF APPROVED CONFORMING TO ASTM TEST PROCEDURE D2468. (E)
- Solvent cement and primer for pvc solvent weld pipe and fittings shall be of type and installation methods prescribed by the manufacturer. (F)
- ALL PVC PIPE MUST BEAR THE FOLLOWING MARKINGS. (G)
 - MANUFACTURER NAME NOMINAL PIPE SIZE SCHEDULE OR CLASS PRESSURE RATING IN P.S.I.
- SF (NATIONAL SANITATION FOUNDATION) APPROVAL DATE OF EXTRUSION
- ALL FITTINGS SHALL BEAR THE MANUFACTURER NAME OF TRADEMARK, MATERIAL DESIGNATION, SIZE, APPLICABLE LP.S. SCHEDULE AND NSF SEAL OF APPROVAL (H)
- 2. PVC NON-PRESSURE LATERAL LINE PIPINK
- NON-PRESSURE BURIED LATERAL LINE PIPING SHALL BE PVC CLASS 200 WITH SOLVENT-WELD JOINTS. (A)
- PIPE SHALL BE MADE FROM NSF APPROVED, TYPE 1, GRADE 11 PVC COMPOUND CONFORMING TO ASTIN SPECIFICATIONS D'1784⁷, All PPE MUST MEET REQUIREMENTS SET FORTH IN FEDERAL SPECIFICATION PS-22-70 with an APPROPRIATE STANDARD DIMENSION RATIO. (B)
- EXCEPT AS NOTED IN PARAGRAPHS (A) AND (B) OF SECTION 2.01.A1(A) AND (B), ALL REQUIREMENTS FOR NON-PRESSURE LATERAL LINE PPE AND FITTINGS SHALL BE THE SAME AS FOR SOLVENT-WELD PRESSURE ANNUME PPE AND FITTINGS AS SET FORTH IN SECTION 2.01.A1 OF THESE SPECIFICATIONS, (PRIMER WAT DEPUNDED (C)
 - ALL UNSIZED END RUN LATER LINES SHALL BE 3/4" PIPE.
- B. FITTINGS AND CONNECTIONS
 - POLYWNYL CHLORIDE PIPE FITTINGS AND CONNECTIONS: TYPE IL GRADE N. SCHEDULE 40, HIGH IMPACT MOLDED FITTINGS, MANUFACTURED FROM WIRGIN COMPOUNDS AS SPECIFIED FOR PIPING, TAPERED SOCKET OR MOLDER THREAD TYPE, SUITABLE FOR EITHER SOLVENT WELD OR NOUBER INFOLID THE, SUITABLE FUR EINER SULVENT HELD UK SOREHED COMECTONS, MACHINE THREADED TITTINGS AND PLASTIC SADDLE AND FLANGE FITTINGS ARE NOT ACCEPTABLE. FURNISH FITTINGS PERMANENTLY MARGED WITH FOLLOWING INFORMATION: NOUMAL, PERS SZE, TYPE AND SCHEDLE OF MATERIAL, AND NATIONAL SANTATION FOUNDATION (NS) SEAL OF APPROVAL PVC FITTING SHALL OF METERIC DATA AND DEGREE CONFORM TO ASTN D2464 AND D2466.

- C. AUTOMATIC CONTROL WIRE:
 - ELECTRIC WRING RUINNING FROM CONTROLLER TO AUTOMATIC CONTROL VALVES SHALL BE NO. 14, SOLID, SINGLE CONDUCTOR, COPPER WRE, 4/64 INCH INSLATION, 4/64 INCH NEOPRENE JACKET, STYLE BR (DRECTE URALL) OR EQUAL, CLOR CODE WRES TO EACH VALVE, COMMON WIRE SHALL BE WHITE.
- D. AUTOMATIC CONTROLLER:
 - CONTROLLER SHALL BE FURNISHED AND INSTALLED COMPLETE WITH ALL WATER, ELECTRICAL AND DRAMAGE SERVICES, READY FOR OPERATION, UNIT SHALL BE ELECTRIC, SELF-CONTINNED OUTDOOR TYPE, WALL-MOUNTED, OR APPROVED EQUAL. SEE DETAIL FOR CONTROLLER 1
 - 2. UNIT SHALL HAVE A MINIMUM STATIONS AS SHOWN ON IRRIGATION LEGEND.
 - CONTROLLER SHALL BE THE LATEST MODEL OF THE PARTICULAR MANUFACTURER SUPPLIED.
 - UNIT SHALL BE 120-VOLT, 60-CYCLE CONTROLLER, BE COMPLETELY AUTOMATIC AND SHALL FUNCTION OPTIONALLY WITH OR WITHOUT THE CLOCK.
 - 5. ANY STATION MAY BE REPEATED INDEPENDENTLY IN ANY 24 HOURS
 - 6. STATIONS SHALL BE ADJUSTABLE FROM 1 TO 50 MINUTES.
 - CONTROL PANEL SHALL BE REMOVABLE PLUG-IN TYPE
 - NECHANISM SHALL BE HOUSED IN STURDY, VANDAL-PROOF CASE, MANUFACTURED OF 14-GAUGE STEEL, OR CASE ALIMINUM; FURNISHED FOR MAXMAM EXTERIOR PROTECTION.
 - THE CLOCK AND ALL WORKING PARTS OF THE CONTROLLER SHALL BE CONTAINED WITHIN ONE PROTECTING COVER.
- E. CONTROL VALVES:
 - REMOTE CONTROL VALVES SHALL BE OF ALL PLASTIC BODY. VALVE SHALL BE PROVIDED WITH AN ADJUSTABLE FLOW CONTROL STEM AND SHALL BE OPERABLE MANUALLY WITHOUT ELECTRICITY.
- F. VALVE BOX:
 - FOR REMOTE CONTROL VALVES 11-3/4"x17"x12" RECTANGULAR BOX MANUFACTURED BY CARSON INDUSTINES #1419-38 WITH BOLT DOWN COVER OR APPROVED EQUAL.
 - FOR BALL VALVE: 10" ROUND, CARSON INDUSTRIES (1910-28 WITH BOLT COVER OR APPROVED EQUAL. EXTENSION SLEEVE TO BE PVC-6" MINIMUM SIZE.
- SPRINKLER HEADS SHALL BE AS REQUIRED ON THE DRAWINGS OR APPROVED EQUAL
- BALL VALVES:
 - BALL VALVE 1 INCH SIZE TO 2 INCH SIZE SHALL INEET ASTIN STANDARDS WITH SEALS WHICH ARE SELF ADJUSTING TO COMPRISATE WEAR, CATE VALVES SHALL HARE MOLDED INFOR-PHISSI GATE WITH LOW TORQUE REQUERSIENTS TO OPERATE UNT MANUALLY, CATE VALVE SHALL HAVE A PATENTED FEATURE "PRELOADED" STEM SEAL AND IMPACT RESISTIANT MANDLES.
- CONCRETE FOOTINGS SHALL BE 2,000 PSI CONCRETE AT 28 DAYS.
- BACKFILL SHALL BE CLEAN FILL SOIL J.
- K. CONTRACTOR SHALL PROVIDE TO THE OWNER
- TWO (2) CONTROL VALVE KEYS. 1.
 - TWO (2) WRENCHES FOR REMOVING EACH DIFFERENT TYPE OF SPRINKLER HEAD.
 - ONE (1) 48" TEE WRENCH FOR OPERATING GATE VALVES.
 - SIX (6) QUICK COUPLER KEYS AND SIX (6) HOSE BIB ASSEMBLIES.
 - FIVE (5) KEYS FOR OPENING AND LOCKING EACH AUTOMATIC
- BACKFLOW PREVENTER ASSEMBLY. THE BACKFLOW PREVENTER ASSEMBLY SHALL CONSIST OF A BACKFLOW PREVENTER UNIT AND RELATED COMPONENTS CONFORMING TO THE COVERNING CODE REQUIREMENTS. (EX1971MG) L
- PRESSURE REGULATOR: SHALL BE BRONZE WITH SCREW FITTING.
- PART 3 EVECUTION

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- 3.01 GENERAL REQUIREMENTS
- LOCATIONS ON DRAWINGS ARE DIAGRAMMATIC AND APPROXIMATE ONLY, AND Shall be changed and adjusted as necessary as directed to meet existing conductors and obstain complete where overage. Locate and Stake all work and obtain approval of landscape architect before
- INSTALL AND EXTEND SYSTEM AS SHOWN ON DRAWINGS, AND AS NECESSARY TO CARRY OUT THE INTENT OF DRAWINGS AND SPECIFICATIONS.
- LOCATE LINES, VALVES AND OTHER UNDERGROUND UTILITIES AND RECEIVE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE DIGGING TRENCHES.
- 3.02 INSTALLATION OF INDIGATION SYSTEME

EXCAVATION AND BACKFILLING OF TRENCHES:

- EXCAVATE TRENCHES, PREPARE SUBGRADE, AND BACKFLL TO LINE AND GRADE WITH SUFFICIENT ROOM FOR PIPE FITTINGS, TESTING AND INSPECTING OPERATIONS, DO NOT BACKFLL, UTIL, PIPE SYSTEM HAS BEEN SUBJECTED TO HYDROSTATIC TEST AS SPECIFIED.
- DEPTH OF TRENCH: POLYWNYL CHLORIDE PRESSURE LINE 18" MINIMUM POLYWNYL CHLORIDE NON-PRESSURE LINE 12" MINIMUM

 TRENCHING THROUGH AREAS WHERE TOPSOIL HAS BEEN SPREAD: (A) DEPOSIT TOPSOIL ON ONE SIDE OF TRENCH AND SUBSOIL ON OPPOSITE SIDE.

ON DETAIL

OF WORKMANSHIP AND MATERIALS.

INSTALLATION OF POLYVINYL CHLORIDE PIPE:

FITTING AND GLUING TOGETHER.

A COUPLING.

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REMOTE CONTROL WRING

BEFORE

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Subsoil shall be free of all rocks over one (1) inch in diameter, debrs, and litter, prior to use as backfill where so indicated

REPAR ANY LEAKS AND REPLACE ALL DEFECTIVE PIPE FITTINGS UNTIL LINES MEET TEST REQUIREMENTS. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN INSPECTED AND APPROVED FOR TIGHTNESS, QUALITY

BACKFILL TRENCHES, AFTER APPROVAL OF PIPING, WITH SUITABLE AND APPROVED MATERIAL, TAMPING SOIL AROUND PIPE AND THOROUGHLY COMPACTING ALL TRENCH FILLS UNTIL 90% COMPACTION HAS BEEN

BACKFILL MATERIAL SHALL BE APPROVED SOIL, FREE FROM ROCKS AND

BECAUSE OF THE NATURE OF PLASTIC PIPE AND FITTINGS, EXERCISE CAUTION IN HANDLING, LOADING AND STORING, TO AVOID DAMAGE.

THE PIPE AND FITTINGS SHALL BE STORED UNDER COVER UNTIL USING, AND SHALL BE TRANSPORTED IN A VEHICLE WITH A BED LONG ENOUGH TO ALLOW LENGTH OF PIPE TO LAY FLAT SO AS NOT TO BE SUBJECTED

TO UNDUE BENDING OR CONCENTRATED EXTERNAL LOAD AT ANY POINT.

ANY PIPE THAT HAS BEEN DENTED OR DAMAGED SHALL BE DISCARDED UNTIL SUCH DENTED OR DAMAGED SECTION IS CUT AND REJOINED WITH

TRENCH DEPTH SHALL BE AS SPECIFIED ABOVE FROM THE FINISH GRADE To the Top of the pipe. The bottom of trench shall be free of rocks, clods, and other sharp-edged objects.

PIPE ENDS AND FITTINGS SHALL BE WPED WITH MEX, OR EQUAL, BEFORE WELDING SOLVENT IS APPLIED. WELDED JOINTS SHALL BE GVEN A NUMMANN OF IS INMUTES TO SET BEFORE NOWNE OR HANDLING, ALL FIELD CUTS SHALL BE GEVELED TO REMOVE BURRS AND EXCESS BEFORE

PIPE SHALL BE SNAKED FROM SIDE-TO-SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION.

CENTER LOAD PIPE WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING AND SLIPPING UNDER PRESSURE. LEAVE JOINTS EXPOSED FOR INSPECTION DURING TESTING.

NO WATER SHALL BE PERMITTED IN THE PIPE UNTIL INSPECTIONS HAVE BEEN COMPLETED AND A PERIOD OF AT LEAST 24 HOURS HAS ELAPSED FOR SOLVENT WELD SETTING AND CURING.

PLASTIC TO PLASTIC JOINTS: SOLVENT-WELD, USING SOLVENT RECOMMENDED BY PIPE MANUFACTURER ONLY.

DIRECT BURIAL CONTROL WIRE SIZES: AS SHOWN AND SPECIFIED HEREIN

PROVIDE ONE CONTROL WIRE AND ONE COMMON GROUND WIRE TO SERVICE EACH VALVE IN SYSTELL PROVIDE 4-FOOT INNIANI EXPANSION LOOP AT EACH VALVE TO PERMIT REMOVAL AND MAINTENANCE OF VALVES

INSTALL CONTROL WRES AND IRRIGATION PIPING IN COMMON TRENCHES WHEREVER POSSIBLE.

CONTROL WRE SPLICES: ALLOW ONLY ON RUNS OF MORE THAN 300 FEET, SPLICES AS FOLLOWS:

TWIST ON SCOTCHLOCK ELECTRICAL SPRING CONNECTOR, NINIMUM FOUR COMPLETE TURNS.

TAPE COMPLETED SPLICE WITH SCOTCH 33 ELECTRICAL TAPE.

NUMBERING AND TAGGING: IDENTIFY DIRECT BURIAL CONTROL WIRES FROM AUTOMATIC VALVES TO TERMINAL STRIPS OF CONTROLLER AT

WINAL STRIP BY TAGGING WIRE WITH NUMBER OF CONNECTED

SEAL CONNECTOR IN EPOXY RESIN.

STRIP OFF NINIMUM OF 2-1/2 INCHES OF INSULATION FROM EACH

PLASTIC TO METAL JOINTS: SOLVENT-WELD, USING SOLVENT RECOMMENDED BY PIPE MANUFACTURER ONLY.

SOLVENT-WELD JOINTS: ASSEMBLE PER MANUFACTURERS RECOMMENDATION.

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SECTION 02900

PART 1 - GENERA

1.01 GENERAL CONDITIONS

- DRAWNSS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS APPLY TO WORK OF THIS SECTION, AND MUST BE FULLY CONSIDERED IN CONNECTION ٨
- 1.02 SUUDS
- The work includes all services, labor, waterials, transportation and equipment necessary to perform the work indicated on the drainings and as specified herein and as required to complete PROPERLY THE CONTRACT.
- RELATED WORK 1.
 - IRRIGATION (SECTION 02480)
- 1.03 SUBNITTALS
- SEE REQUIREMENTS IN GENERAL CONDITIONS, AND SECTION 01340.
- CONTRACTOR SHALL SUBMIT A TYPEWRITTEN LIST WITH SPECIFICATIONS OF ALL FEASIBLE MATERIALS, INCLUDING SOIL AMENDMENTS, FERTILIZERS, PLANT MATERIALS, ETC., WITH QUANTITIES OF EACH.
- 1.04 DEFINITIONS OF TERMS
- "PLANTING AREA" SHALL MEAN ALL AREAS TO BE PLANTED WITH TREES, SHRUBS, AND/OR GROUNDCOVERS.
- 1.05 GUARANTEES AND REPLACEMENTS.
- plant materials: plants (15-gallon size and larger) shall be guranteed to line and grow in healthy constitut gurang the agreed upon so day mantenance period or until final acceptance (220 $p_{\rm AT,D})$ unit material will continue to be guranteed for one
- PLANT MATERIAL SMALLER THAN 15-GALLON SIZE: SHALL BE GUARANTEED TO LIVE AND GROW IN WOOROUS HEALTHY UPRIGHT CONDITION FOR A MININAN OF ONE GROWING SEASON AFTER FINAL ACCEPTANCE OF WORK (EXCLUDING SEASONAL COLOR).
- REPLACEMENT: ALL PLANTS NOT HEALTHY AND IN MOORCUS GROWING CONDITION AS DETEXAMED BY THE LANGSCAPE ARCHTECT SHALL BE REPLACED MARDINTELY. PLANTS USED FOR REPLACEMENT SHALL BE THE SAME KND AND SZE AS SPECIFED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND FERTILIZED AS ORGANALLY SPECIFIED AT NO COSTIS TO OMMER. C
- 1.06 VERIFICATION OF EXISTING CONDITIONS
- ALL SCALED DIMENSIONS ON THE DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERFY ALL DIMENSIONS, QUANTITIES, AND GRADE ELEVATIONS, AND SHALL NMEDIATELY INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- PRIOR TO THE EXCAVATION FOR PLANTING OR PLACING OF PLANT 8. THOSE TO THE EXAMINATION FOR POPULATION OF FUNCTION OF ALL WATERIAS, THE CONTRACTOR SHALL VEREY THE LOCATION OF ALL UNDERGROUND UTILITY LINES AND OTHER IMPROVEMENTS, AND TAKE PROPER PRECAUTIONS TO ANOLD DAMAGE TO SUCH IMPROVEMENTS, IN THE EVENT OF CONFLICT BETWEEN SUCH IMPROVEMENTS AND PLANT LOCATIONS. THE NICENENTS CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, AND ARRA WILL BE MADE FOR RELOCATION AS NECESSARY, FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR MAKING ANY AND ALL REPARS FOR DAMAGE RESULTING FROM WORK AS HEREIN SPECIFIED AT HIS OWN EXPENSE.
- 1.07 PROTECTION OF EXISTING IMPROVEMENTS

DURING THE CONSTRUCTION AND MAINTENANCE PERSOD, THE CONTRACTOR SHALL TWE EVERY PRECAUTION TO PROTECT AND AND DAMAGE TO SPRINGER HEAD, RIFGATION UNES, DRAINAGE UNES, AND ALL OTHER UNDERROMAN FACILITIES AND ALL PAVING, STRUCTURES, FIRTURES, AND SISTING PAVINTOS. THE CONTRACTOR SHALL BE HEAD RESPONSELE FOR ANY AND ALL DAMAGE TO SUCH IMPROVEMENTS AND SHALL COMPLETELY DECIMA OR DEPICT HE STATE CAME AT AN ONEY TO BE MINES REPAIR OR REPLACE THE SAME AT NO COST TO THE OWNER.

- 1.08 INSTRUCTIONS AND ORSERVATION
- ALL CHANGES AND DEVIATIONS TO THE PLANS AND SPECIFICATIONS SHALL BE CONFIRMED IN WRITING WA THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL BE AVAILABLE ON CALL TO MAKE A JOINT Observation with the engineer. The contractor shall have sufficient more personnel available during hormal working hours to CORRECT DEFICIENCIES IMMEDIATELY UPON REQUEST OF THE LANDSCAPE ARCHITECT. SUCH REPAR OR RE-WORK SERVICES ARE TO BE PERFORMED WITHOUT INTERFERENCE OF REGULAR PROJECT SCHEDULE.
- PLANTS SHALL BE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH AND/OR UPON DELIVERY TO THE SITE FOR QUALITY, SZE AND WARELY, SUCH APPROVAL SHALL NOT MPAR THE ROHT OF OBSERVATION AND REACTION AT THE SITE DURING PROGRESS OF WORK FOR SZE, CONDITION OF ROOT BALL LATENT DEFECTS, OR MURRES, RECETTED PLANTS SHALL BE REDUCED IMMEDIATELY FROM THE SITE, UNLESS OTHERWISE APPROVED BY THE LINDSCAPE ARCHITECT. C.
- STE OBSERVATIONS HEREIN SPECIFIED SHALL BE MADE BY THE LANDSCAPE ARCHTECT, THE CONTRACTOR SHALL NOTFY THE LANDSCAPE ARCHTECT OF A STE OBSERVATION AT LEAST 48 HOURS IN ADVANCE OF AN OBSERVATION. AN OBSERVATION WILL BE MADE BY THE LANDSCAPE ARCHITECT DURING OFFICE WORKING HOURS ON EACH OF THE STEPS OR CONDITIONS LISTED BELOW, THE CONTRACTOR OF HIS AUTHORIZED REPRESENTATIVE SHALL BE ON STE AT THE TIME OF EACH OBSERVATION, THE CONTRACTOR WILL NOT BE PERMITTED TO INITIATE THE SUCCEEDING STEP OF WORK UNTIL HE HAS RECEIVED APPROVAL TO PROCEED BY THE LANDSCAPE ARCH
 - PRE-CONSTRUCTION MEETING: IMMEDIATELY PRIOR TO THE COMMENCEMENT OF WORK OF THIS SECTION, CONTRACTOR SHALL RECEIVE APPROVAL OF MATERIALS AND EQUIPMENT TO BE USED, AND INFTKOS OF INSTALLATION

- Incorporation of soil conditioning and fertilizing into the soil: soil tests performed by the licensed laboratory shall be submitted and paid for by the contractor for agricultural SUITABILITY AND APPROVED BY THE LANDSCAPE ARCHITECT ONC H GRADING HAS BEEN COMPLETED, AND PRIOR TO INSTALLING
- THE COMPLETION OF FINISH GRADING. 3
- APPROVAL OF ALL PLANT MATERIAL QUALITY.
- 5. LAYOUT OF PLANT NATERIAL
- PRE-MAINTENANCE OBSERVATION: WHEN PLANTING AND ALL OTHER INDICATED OR SPECIFIED WORK, EXCEPT THE MAINTENANCE PERIOD, HAS BEEN COMPLETED, ACCEPTANCE AND WRITTEN APPROVAL SHALL ESTABLISH BEGINNING OF THE MAINTENANCE PERIOD. THIS IS NOT A FINAL REEPVATION OF ACCEPTANCE AND IT DOES NOT RELEVE THE CONTRACTOR FROM ANY OF THE RESPONSIBILITIES IN THE CONTRACT DOCUMENTS FOR THIS PROJECT.
- Final site observation at the completion of the specified Mantenance Period. This observation shall establish the Beginning date for the guarantee period.
- TANCE: UPON COMPLETION OF THE FINAL OBSERV E. VATION AND THE WOR OF THIS SECTION, THE CONTRACTOR WILL BE NOTIFIED IN WRITING (1) WHETHER THE WORK IS ACCEPTABLE AND (2) OF ANY REQUIREMENTS NECESSARY FOR COMPLETION AND ACCEPTANCE
- 1.09 SUSPENSION OF WORK

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- THE LANDSCAPE ARCHITECT SHALL RECOMMEND TO THE OWNER ANY NECESSITY TO SUSPEND THE WORK WHOLLY, OR IN PART, FOR SUCH PERIOD OR PERIODS AS HE WAY DEEN NECESSARY DUE TO UNSUITABLE WEATHER, OR SUCH OTHER CONDITIONS AS ARE CONSIDERED UNFAVORABLE FOR THE REASONABLE POPERORMANCE OF THE WORK, OR FOR SUCH THE AS IS NECESSARY DUE TO THE FAILURE ON THE PART OF THE CONTRACTOR TO CARRY OUT ORDERS given or to perform any or all provisions of the contract.
- IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR AN INDEPINITE PERIOD, THE CONTRACTOR SHALL STORE ALL MATERIALS IN SUCH A MANNER THAT THEY WILL NOT BECOME AN OBSTRUCTION MOR BECOME DAMAGED IN ANY WAY, AND HE SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK PERFORMED. THE CONTRACTOR SHALL COVER ALL OPEN EXCAVATIONS AND SHALL PROVIDE SUITABLE DRAINAGE BY OPENING DITCHES, PLANTING PITS, ETC., AND ERECT TEMPORARY
- GRADING, SOL PREPARATION, AND PLANTING WORK SHALL BE PERFORMED ONLY DURING PERIODS INNEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. IF THE MOISTURE CONTENT OF THE SOL SHOULD REACH A level that working it would destroy the soil structure, spreading, grading and tilling operations shall be suspended until the MOISTURE CONTENT REACHES ACCEPTABLE LEVELS AND THE DESIRED RESULTS ARE ATTAINABLE
- CERTIFICATIONS AND NOTICE OF DELIVERY OF MATERIAL
- THE LANDSCAFE LANDSCAFE ARCHITECT SHALL BE FURNESHED WITH DUPLICATE SORED, LEGBLE COPES OF GENTREATES MOV/OR INVICES STATUME THE BEAND, GRUCE, AURLINT AND QUINTER OF CALL SOL, FERTLIZERS, SOL CONDITIONERS, PLANS AND OTHER MATERIALS. THE LANDSCAFE ARCHITECT MAY STOP WORK PROGRESS UNTIL CERTIFICATES ARE RECEIVED AND REVENED BY THE ENGINEER.
- Re contractor svall notify the landscape architect in advance wern all materials are to be delivered and the manner of simplent, and svall furnish therewith an itemized list, in duplicate, of the actual quartity of material in each delivery, in order to ensure ACTUAL QUARTITY OF MATERIAL IN EACH DELIVERY, IN OBDER TO EXSURE SATISFACTORY COORDINATION OF DELIVERY, AND TO EXPEDITE THE REQUIRED REPECTION AT THE OPINT OF DELIVERY. THE ITEMED LIST, IN DUPLCATE, FOR EACH DELIVERY OF PLANT MATERIAL SINLI INCLUDE WINDICS CERTIFYING THAT SUBJECT INATERIAL HIS GEDI INSPECTIDA AS REQUIRED BY THE STATE ASRCULTURAL CODE PROR TO ACCEPTANCE OR PLANTING. PARTICULAR CARE, USING APPROVED EQUIPHENT, SHALL BE DEROSED TO EXCLARE CARE, USING APPROVED EQUIPHENT, SHALL BE CREATED TO EXCLARE STREAM SOURCE TO IN-PLACE LOCATIONS INDICATED ON THE ROAMING. FROM SOURCE TO IN-PLACE LOCATIONS INDICATED ON THE DRAWINGS.
- PLANT WATERIALS 1.11

1.12

B.

C.

- QUANTITIES FOR PLANT NATERIALS ARE SHOWN PER PLAN FOR CONVENIENCE ONLY AND NOT GUARANTEED, CONTRACTOR SHALL CHECK AND VERIFY COUNT NID SUPPLY SUFFICIENT NUMBER TO FULFILL INTENT OF DRAWINGS.
- INVOICE OF MATERIALS
- UPON DELIVERY OF MARENALS AND ADR COMPLETION OF ALL SOL CONDITIONING AND GRADING, BUT PROR TO INITIATING PLANTING OPERATIONS, THE LANDSCHE ARONTECE INTH THE HEREIGYCRE SPECIFIED SCHED COPES OF REQUIRED CORTICATES, TRY SUPS AND INVICES FOR SOL PREPARATION MATERIALS, SHALL INVICE SUCH MATERIAL COMPARIE THE TOTAL QUARTES OF EACH MATERIAL FRANSBED ACANST THE TOTAL AREA TO EACH OPERATION. F THE IMMINIA PLATES OF APPLICATION HAVE FOR THE MATERIAL FRANSBED ACANST THE DOSTRUTION OF ADDITIONAL QUARTIES OF THESE MATERIALS TO FULFILL THE NINIMUM REQUIREMENTS SPECIFIED
- AFTER INSTALLATION OF PLANT NATERIALS, BUT PRIOR TO THE PRE-AFTER INSTALLATION OF PLANT MADEAUS, BUT FROM TO THE PRE-MAINTERING'S STEE ORSERVATION, HE LINDSOLF ARCHTECT, WITH HE Heretorde spectred sched Copes of the required octificates and related theirs, shall invoice such material, comparing the total mea and/or the mounts spectred. If the immunimation have not been furbised, the lindsome architect will require the installation of additional materials to fulfill the immuni requirements spectred.
- A SAMPLE OF THE SOL AMENDMENTS SHALL BE DELIVERED TO THE LANDSCAPE ARCHITECT WITHIN 15 DAYS AFTER RECORDING OF THE CONTRACT FOR SUBMITTAL TO A TESTING LABORATORY, ALONG WITH SPECIFICATIONS OF EACH PRODUCT, AFTER SOL AMEDIMENTS HAVE BEEN THOROUGHLY MAXED INTO THE STEP, RANDOM SAMPLES OF THE MORE SOL, WILL BE THEN BY THE ENGINEER AND SUBMITED TO THE SOL LABORATORY FOR COMPARSON TO A CONTROL MIX. COST OF THE ABOVE TESTING BY THE SOLS LABORATORY SHALL BE BORNE BY THE CONTRACTOR.

ALL NATERIALS SHALL BE OF STANDARD, APPROVED, AND FRST GRADE QUALITY AND SHALL BE IN PRIME CONDITION WHEN INSTALLED AND ACCEPTED. ALL CHAMBERGALLY PROCESSED AND/OR PACKAGED MATERIALS SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS BEARING THE MANUFACTURERTS GUARANTEED ANALYSIS. 2.02 SOIL AMENDMENT AND FERTILIZER

PART 2 - PRODUCTS

2.01

F.

- Shall be a wood resolual product derived from Shavings of Redindo, white fr MD/DR Red Fr, or cedar Shavings, Amendment Shall upon Analysis contain at least 1.0% introgen (on a dry weight bass) with an as contert not to duced 15%, a combarchal grade product Shall be used. Outfractor Shall supply landscape architect or his appointed representative ٨ SHALL SUPPLY LANGSCHE ARCHITECT OR HS APPONED REPRESENTATIVE LABORATORY ANALYSIS FROM AN APPROVED LABORATORY LLUSTRATING DEGREE OF COMPLIANCE. GUARANTEE = WT/CU/YO. = 400J = 720J. MANGNA RY MORGH = 10.XF WH/CU/YO. = 400J = 720J. MANGNA RY MORGH = 10.XF WI/CU/YO. = 400J = 720J. STATUS SUBJECT S = 3.0 MIHO). DENSTY = 20J CU/FT. PROPERTIES = (RWAATATO SEVE ST2) = NO. 6 = 95% MINIAM PASSING, NO. 8 = 90% MINIAM PASSING PAS
- AGRICULTURAL GRADE GYPSIM SMALL BE A (CA SO4 H20) CALCUM SULFATE PRODUCT 94.3%, SOX SMALL PASS A 50 MESH SCHEDN CHADIAL REACTION MUL REMOVE SOMM ATTACHED TO SOL PARTICLES. GYPSIM ALSO LOSSINS HEAVIC CAY SOLS THROUGH ELECTRO-CHEMICAL ACTION. CONTROL OF DUST DURING APPLICATION IS MANDATORY. B. shall be u.s. gypsun, dolmar, sof'n'son,, or bandini, if not Available, shall be equal to.
- Sulphur (Soil) Shall be elemental sulphur (99,5%) commercially prepared so that 46,9% passes a 50 mesh screen. C.
 - Shall be Wil-Gro, Union Chemicals or Baker Industries, if not Avalable, Shall be equal to.
- IRON SULFATE IRON SHALL BE EXPRESSED AS METALLIC DERIVED FROM D. SULFATE - DEEP GREEN (FE SO4 H2D). A NIMINUM ANALYSIS OF 20.0% AND 98.3% RETAINED ON A 10 MESH SCREEN.

SHALL BE WILSON & GEO. MEYER, WIL-GRO, OR BANDINI. IF NOT AVAILABLE, SHALL BE EQUAL TO.

PRE-PLANT OR STARTER FERTULZER SHALL BE A COMMERCIAL GRADE FLOWARLE FERTULZER WITH - 1% NTROGEN, 10% PHOSPHOROUS PENTIODOR NO 10% POTSSUM SULFACE. NO POTASSUM CHLORIE IS TO BE USED. ORGANIC NITROSIN SHALL BE FROM COTTONSEED MEAL AND UREA MANSULTA JUNIA DIE EDDIE GEBERSCHWEILUNG MIN VOTTONSEED MEAL mosphate available from superphosphate and co TTONSEED MEAL. POTASH FROM SULFATE OF POTASH AND COTTONSEED MEAL.

Screen Analysis: X retained on stacked screen — Approximately 8 — Mesh 24.28, 20 — Mesh 75.28, 48 — Mesh 0.2%. Available percentage Weight of plant food:

NUTROGEN	1.0% MIN.
PHOSPHORIC ACID	10.0% MIN.
POTASH	10.0% MIN.

SHALL BE WIL-GRO, BANDINI OR KELLOGG. IF NOT AVAILABLE, SHALL BE FOUN TO

Post plant fertilizer (mantenance): Fertilizer (commercial) Shall be a combination of natural organic and morganic granular Fertilizers, Free-Flowing, sutable for application with approved Comparts mod Shall contain the following miniman avalable percentages by weight of plant food:

NTROGEN	14.0% MIN.
ANNONIAC SULFATE	4.0% MIN.
REMAINDER OF NITROGEN	8.75% WATER SOLUBLE
	1.25% WATER INSOLUBLE
PHOSPHORIC ACID	7.0% MIN.
POTASH	3.0% MIN.
RON	2.0%
ZINC	0.15%
MANGANESE	0.15%
CALCUM.	2.09

DRGANIC NITROGEN IS DERIVED FROM UREA AND COTTONSEED MEAL. UNUMEL INTERACT IS LEGINED FROM INCL AND COLLIDESED HEAL. PHOSPANIE ROM SHEPPHOSPHATE AND COTTONEED HEAL. POTASI FROM SULFATE OF POTASI AND COTTONEED HEAL. NO POTASSIAN OLLORDE IS TO EE USED. SULPHAR FROM SELFATE OF ANNOUNCE. AND INTER ROM SUPERPHOSPHATE, ROM FROM FERIOUS SULFATE AND INDED SULFIES. ZINC AND UNMENTEE ARE EXPRESSED AS NETALLIC AND IN THEIR ELEMENTAL FORM.

SCREEN ANALYSIS: (% RETAINED) - APPROXIMATELY: 4 MESH = 1.3%; 8 MESH = 24.2%; 20 MESH = 74.0%; AND 48 MESH 0.05%. Shall be Wil-Gro Farway, Bandini, or Kellogg. IF not available, Shall be equal to.

PLANTING TABLETS SHALL BE TIGHTLY COMPRESSED CHIP TYPE COMMERCIAL GRADE PLANTING TABLETS, OF VARYING SIZES WITH THE FOLLOWING AVAILABLE PERCENTAGES BY WEIGHT OF PLANT FOOD: L 20.0% MIN NEROGET 10.0% MIN. 5.0% MIN. PHOSPHORIC ACID SHALL BE AGRIFORM OR GRO-POWER. IF NOT AVAILABLE, SHALL BE EQUAL CAPILLARY PLANTING SOIL FOR PLANTERS K. EXTERIOR CAPILLARY PLANTER SOIL SHALL CONTAIN A MIXTURE OF LONG FIBER SPHAGNUM PEAT MOSS, GROUND FIR BARK, COMPOSTED REDWOOD, SAND, AND WETTING AGENT AND A PROFESSIONAL NUTRIENT FORMULA. SOI

SHALL BE OF THE FOLLOWING PHYSICAL PROPERTIES:	
density wt/cu. Ft. dry basis Total porosity dry basis by volume	22.2 LBS. 81.2%
AIR SPACE AT FIELD CAPACITY BY VOLUME (6" CONTAINER)	20.2%
AVAILABLE WATER AT FIELD CAPACITY (6° Container) Ph ECO	35.0% 6.0 3.5

PLANTING BACKFILL FOR TREES AND SHRUBS 2.04

RATE OF APP	lication is fo	r Bidding Purf	Poses only.	SOIL TEST MAY
REDUCE OR	NOREASE TOTA	L SOIL YARDAGE	MENDMENT	AND CHEMICAL
ADDITIVES, P	LANTING BACK	FILL SHALL BE /	A THOROUGHL	y Blended
MIXTURE OF 1	TOPSOIL AND S	OIL AMENDMENT	s at the fol	LOWING MIXTURES

SOIL AMENDMENT	1/2 C.Y.
STOCK PILED SITE SOIL	1/2 CY.
GYPSUN	5 LBS. PER/CU/YD. OF MIX
SULPHUR (SOIL)	1 LBS. PER/CU/YD. OF MIX
IDON SHEATE	1 LBS DEP/11/AD OF MIX

IRON SULFATE	1 LBS. PER/CU/YO. OF
PRE-PLANT (1-10-10)	3 LBS. PER/CU/YD. OF I

2.05 PLANT MATERIALS

G

2.03

- NOMENCLATURE: SCIENTIFIC AND COMMON NAMES OF PLANTS HEREIN NOMBICATIVIE: SCRIPTIC AND COMMON INVIES OF PLANTS PERSON SPECIFIED SHALL CONFORM WITH THE APPROVED NAMES GIVEN IN 1% OCECULSI OF WOODY ORWINETAL PLANTS OF CALIFORNA, PUBLISHED BY THE UNIVERSITY OF CALIFORNA, COLLEGE OF ADRICULTURE, MANUAL 32
- LABELING: EACH GROUP OF PLANT MATERIALS DELIVERED ON SITE SHALL B. BE CLEARLY LABELED AS TO SPECIES AND WARETY. HONEVER, FINA DETERMINATION OF PLAYS PECES NO VINE III. INVERIO PAUL DETERMINATION OF PLAYS PECES NO VINE III DE NORE BY HE LANGSCHE ARCHTECT AND WHOSE DECISION MIL BE FINAL ALL PATEMIER PLAYS (QLTIVR) REQUIRED BY THE PLAYT LIST SHALL BE DELINERED WITH A PROPER PLANT PATEMIT ATTACHED.
- QUALITY AND SZZ: ALL PLANTS SHALL BE WOOROUS, OF MORMAL GROWTH, FREE FROM DISEASES, INSECTS, INSECT EGGS, AND/OR EXCEED THE C. EASUREMENTS SPECIFIED.
- CONTINUER STOCK: SHALL HAVE GROWN IN CONTIANERS FOR AT LEAST SIX Months, but not over two years. No container plants that have craced or broken balls of earth when taken rrow the container shall be plantd, decept how stocal approval. No trees with damaged roots or broken balls shall be planted.
- PRUNING: AT NO TIME SHALL THE PLANT NATERIALS BE PRUNED, TRIMMED OR TOPPED PROR TO DELIVERY, AND MAY ALTERATION ON THE STE OF THEIR SHAPE SHALL BE CONDUCTED ONLY WITH THE APPROVAL AND IN THE -E. PRESENCE OF THE LANDSCAPE ARCHITECT
- INSPECTION OF PLANT MATERIALS: REQUIRED BY CITY, COUNTY OR STATE Authornes, shall be a responsibility of the contractor, and when necessary he shall have secured permits or certificates pror to DELIVERY OF PLANTS AT SITE.
- ON-SITE INSPECTION OF PLANT WATERIALS: PLANTS SHALL BE SUBJECT TO G. INFSECTION AND APPROVAL OR REJECTION AT THE PROJECT STEE AT ANY The before or during program steeting at the project steet at any control, largent deficits and names. Rejected plants shall be removed from the project stee immediately.
- REJECTION AND SUBSTITUTION: ALL PLANTS NOT CONFORMING TO THE REQUIREDATIS HEREIN SPECIFIED SHALL BE CONSIDERED DETECTIVE, AND SUCH PLANTS, WETTRER IN PLACE OR NOT, SHALL BE MARKED AS REJECTED WITH ACCEPTIONE PLANT MATERIALS. THE PLANT MATERIALS SHALL MET ALL APPLICABLE INSPECTIONS REQUIRED BY LAN. ALL PLANTS SHALL BE THE SPECIES, WATET, SZL, GR, RUMER COLOR AND CONDITION AS SPECIFIED HEREIN MAY/OR AS INDICATED ON THE DRAININGS. UNDER NO CONDITION MULTIPRE: DE ANY SUBSTITUTION OF PLANT SPECIES, WARTY, OR REDUCED SZE FOR THOSE USTED ON THE ACCOURANTING REAMINGS EXPERT WITH AFE PROFESS MITTER ORISING OF DE H. DRAWINGS, EXCEPT WITH THE EXPRESS WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.



PTS. NO.

ATTACHMENT

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Right to changes. The landscape architect reserves the right to change the species, where and/or sizes of plant laneral. To be furnished, provided that the cost of such plant changes does not beced the cost of plants in the costand. But, the contractor shall be notified and conference in institue from to say (60) days before the plants on departicit his definitions. The contractor size and/or variety of any plant to be furnished indices in the size and/or variety of any plant to be furnished indices a REDUCTION OR ADDITION IN COST SHALL BE ADJUSTED IN THE CONTRACT

ROOT CONDITION: THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT ROOT CONDITION OF ANY SPECIES, PARTICULARLY THOSE GROWN FROM SEED, AND IF FOUND DEFECTIVE, TO REJECT THE PLANTS REPRESENTED BY THE DEFECTIVE SAMPLE

PROTECTION: ALL PLANTS AT ALL TIMES SHALL BE HANDLED AND STORED SO THAT THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, FROM WIND BURN, AND FROM ALL OTHER INJURY. ALL PLANTS DETERMINED BY THE OWNERYS REPRESITATIVE TO BE WILTED, BURNED, OR DIRED OUT, NAY BE REJECTED, AND REMOVED FROM THE STE. THE CONTRACTOR'S ON-STE PLANT STORAGE AREA SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE DELIVERY OF ANY PLANT MATERIALS.

SIRUE AND THEE SAMPLES: TYPICAL SAMPLES, THREE FACH OF ALL WARENES AND SIZES (SHRUES 5 CALLON AND UNDER, THEES 15 CALLON HO UNDER), OF ALL FLANT MATERIALS SHALL BE SIMMITED TOR INSPECTION APPROVAL AT THE SITE A HAMMAN OF FITEED DAYS PROR TO PLAITING OPERATIONS, APPROVED SAMPLES SHALL BEHAN ON THE SITE AND SHALL BE MANTANED BY THE CONTRACTOR AS STANDARDS OF COMPARISON FOR PLANT MATERIALS TO BE FURNISHED. SAMPLES WILL BE INCORPORATED INTO THE WORK

Specimen tree selection: 1. One sample factor each tree watery and size, as called out on drainings, 24° box and larger small be delived to the project site for Approval from to installation.

2. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY TREES NOT APPROVED.

3. THE CONTRACTOR AT HIS OPTION AND AT HIS EXPENSE, CAN RETAIN THE SERVICES OF THE LANDSCAPE ARCHITECT TO REVIEW THES 24" BOX SIZE OR LARGER TAGGED AT THE NURSERY AND/OR AT ITS PLACE OF GROWTH.

S. NO. 89546		<u>ت</u>
PREPARED BY:	REVISION 7:	3 E
	REVISION 6: REVISION 5:	3953
	REVISION 4:	ო
PROJECT ADDRESS: 3953 FLORIDA STREET	REVISION 8:	 -
SAN DIEGO, CA 92104	REVISION 2:	
	REVISION 1:	
PROJECT NAME: 3953 FLORIDA STREET	ORIGINAL DATE:	Date 4/
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- 2.06 GROUNDOWER
- GROUNDCOVER PLANTS SHALL BE HEALTHY, WGOROUS ROOTED CUTTINGS GROWN IN FLATS.
- 2.07 PLANTER MULCH
- PLANTER MULCH SHALL BE SHREDDED FIR TREE BARK. SHALL RANGE IN SIZE FRON 1/2-INCH TO 3/4-INCH. (2" DEPTH TYPICAL)
- STAKING MATERIAL 2.08
- TREE STAKE SHALL BE OF 2" DIA. X 10' LONG LODGE POLE PINE, SET PERPENCILLAR TO PREVALING NINDS. "CLINCH-TES" SHALL BE INSTALLED FROM POLES TO THE TREE TRUNK PER MANUFACTURER'S SPECIFICATIONS.
- 2,10 PRE-ENERGENT HEREICED
- PRE-EMERGENT HERBICIDE SHALL BE AS DETERMINED BY THE CONTRACTOR.
- WEED CONTACT HERBICIDE SHALL BE AS DETERMINED BY THE CONTRACTOR.
- PART 3 EXECUTION
- 3.01 **MSPECTION**
- EXAMINE PROPOSED PLANTING AREAS AND CONDITIONS OF INSTALLATION, DO NOT START PLANTING WORK UNTIL UNSATISFACTORY CONDITIONS ARE
- 3.02 PREPARATION

C

- GENERAL: THE AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVER AND HYDROSEED PLANTINGS AND THEIR RESPECTIVE REQUIREMENTS FOR IMPORTED TOPSOL, FERTULZING, SOL. CONDITIONING, AND OTHER TREATMENT SHALL BE AS DETHED ON THE DRAWING. SUDVIPOLITY CONFIGURATION PREPARATION OF THE GROUND SURFACE AND FOR HANDLING AND PLACING ALL REQUIRED MATERIAL SHALL BE ON HAND IN GOOD WORKING CONDITION. WORK SHALL BE OPFORGED ONLY DURING PERIODS WHEN BENEFICIAL RESULTS CAN BE OBTAINED.
- OBSTRUCTION BELOW GROUND: ALL SUBSURFACE ROCKS OVER 2" IN DAMETER AND OTHER UNDERGROUND OBSTRUCTIONS SHALL BE REMOVED TO THE DEPTH INCESSARTY TO PERMIT PROPER PINE GRADMAS, TILLING, GR PLANTING ACCORDING TO PLANIS AND SPECTRATIONS. ALL ABANGONED UTILITY LINES UNDOXIDED OR SEVERED SHALL BE CUT BELOW GRADE AND CAPPED OR RUDGED WITH DOMETE. ERFLORUSS SHALL INDE BUSED FOR PENDVAL. WHEN THE LOCATION OF UTILITY LINES IS SHOWN ON THE PLANS OR HAS BEEN MADE KNOWN TO THE CONTRACTOR IN A LANAGE TO THESE LINES SHALL BE REPARED BY THE CONTRACTOR IN A LANAGE TO THESE UNES SHALL BE REPARED BY THE CONTRACTOR IN A MANNER APPROVED BY THE LANDSCAPE ARCHITECT AND AFFECTED UTILITY. A.
- DEEP RIPPING: ALL AREAS (INCLIDING SLOPES) TO RECEIVE GROUNDCOVER, SHRUBS, AND HYDROSEEDING SHALL BE DEEP RIPPED AND LOOSENED TO A DEPTH OF THELVE (12) INCHES IN ALL DIRECTIONS. C.
- 3.03 SOIL AMENDMENTS, FERTILIZING AND ROTOTILLING
- RATE OF APPLICATION IS FOR BIDDING PURPOSES ONLY. SOIL TEST MAY REDUCE OR INOREASE TOTAL SOIL AMENDMENT YARDAGE. ADJUSTMENTS (PLUS OR IMUS) MAY BE NECESSARY. CONTRACTOR SHALL OBTAIN AT LEAST THIS SOIL TESTS OF ROUGH ORAGE AT STE: AND SUBMIT RESULTS TO THE LANDSCAPE ARCHITECT FOR INTERPRETATION AND RECOMMENDATION.
- AFTER THE AREAS HAVE BEEN DEEP RIPPED, THE FOLLOWING RATES OF SOL AMEDIMENT MATERIALS SHALL BE EVENLY SPREAD OVER ALL PLANTING AREAS AND SHALL BE TOROCIGHLY SCAREPED TO AN AVERAGE DEPTH OF SIX NODES BY ROTOTLING A MINIANI OF THO ALTERNATING PASSES. AMENDMENT MUST BE INTIMATELY BLENDED WITH SOIL

SOIL MICHOICHT;	TO A DEPTH OF 8 INCHES.
gypsum: Soil sulphur:	120 LBS, PER 1,000 SQ, FT. 10 LBS, PER 1,000 SQ, FT,
IRON SULFATE:	10 LBS. PER 1,000 SQ. FT.

Fertulzer (commercial) 1–10–10 shall be appled at the rate of 30 Pounds for Thousand Square Feet and Scarped nto the top two inches of Finish Grade. Fertulzer shall be appled after Leaching operation.

THE THOROUGHNESS AND COMPLETENESS OF THE ROTOTILLING AND NOORPORATION OF THE SOUL ANEXIMMENTS SHALL BE ACCEPTABLE TO THE LANDSCAPE ARONTECT. SLOPES 2:1 AND STEEPER OR AS PER THE DRAWINGS OMT SOUL CONDITIONER APPLICATION AND TILLING.

DEEP WATER LEACHING AND SOIL TESTING: D.

Deep water leaching shall be competed as recommended by a corrified arrowing laboratory. The following process for deep water leaching is for bidding purposes only. Item number three (3.) shall be performed as stated below.

- AFTER THE TILLING OPERATION, THE AREA SHALL BE DEEP WATER LEACHED THREE (3) TIMES OVER A FIVE (5) DAY PERIOD. APPLY $1/2^{\prime\prime}$ water at each application. Wat one (1) day between the time of time of time of the time of tim
- ONE DAY AFTER FINAL APPLICATION OF MATER, THE SOL SHALL BE TESTED FOR CONTENT OF SOLVELE SALTS (ELECTRICAL CONDUCTIVITY E.C.). LANDSCAPE ANCHITECT AND CONTRACTOR SHALL TAKE SEVERAL SOL SAMPLES MO DELIVER THE SAMPLES TO A LABORATORY FOR TESTING OF SOLUBLE SALTS. E.C. TEST READING SHALL NOT BE ADOVE 20, INE SOL ANDONG, TILLING MOD DEEP WINTERING PROCEDURE SHALL BE REPEATED UNTIL TEST READINGS ARE NOT ADDVE 20. 2.
- IF SOIL TEST READING FOR A PARTICULAR AREA TESTED IS ABOVE 2.0, The Soil Amendiang, tilling and deep watering procedure shall be repeated unitl test readings are not above 2.0 3
- CARE SHALL BE TAKEN THAT THE RATE OF APPLICATION OF WATER DOES NOT CAUSE EROSION OR SLOUGHING OF SOLLS.
- ALL DEPRESSIONS, VOIDS, EROSION SCARS AND SETLED TRENCHES GENERATED BY THE DEEP WATERING SHALL BE FILLED WITH AMENDED SOL AND BROUCHT TO FINISH GRADE.
- 3.04 FINSH GRADING
- FINISH GRADES SHALL BE AS INDICATED ON CIVIL PLAN.
- FINISH GRADES SHALL BE MEASURED AFTER THE GROUND HAS BEEN WATERED-IN AND MECHANICALLY COMPACTED AND SETTLED. THE FINAL GRADE SHALL BE WITHIN FLUS GR WINUS Q.1 FOOT OF THE SPOT ELEVATIONS AND GRADE LINES INDICATED ON THE CIVIL GRAWING.
- C. EASE TOP AND TOE OF ALL EXISTING SLOPES.
- ALL UNDULATIONS AND IRREGULARTIES IN THE PLANTING SURFACES RESULTING FROM TILLAGE, ROTOTILLING AND ALL OTHER OPERATIONS SHALL BE LEVELD AND FLOATED OUT BEFORE PLANTING OPERATIONS ARE D.
- THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT AND AVOID DAMAGE TO SPRINGLER HEADS, IRRIGATION LINES, AND OTHER UNDERGROUND UTILITIES DURING HIS GRADING AND CONDITIONING OPERATIONS. E.
- FINAL FINSH GRADES SHALL INSURE POSITIVE DRAINAGE OF THE SITE WITH ALL SURFACE DRAINAGE AWAY FROM BUILDINGS, WALLS, OVER MOW CURBS, AND TOWARD ROADWAYS, DRAINS AND CATCH BASINS.
- FINAL GRADES SHALL BE ACCEPTABLE TO THE LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS WILL BE ALLONED TO BEGIN.
- PLANTING SURFACES SHALL BE GRADED WITH NO LESS THAN 2 PERCENT SURFACE SLOPE FOR POSITIVE DRAINAGE.
- All rock and debris over 1/2" in d.a. Shall be removed from planting Areas and then from the stie. In accordance with the following critera, 1" d.a. In Lawn Areas, 2" d.a. In Shrub Area, 2" d.a. In hydroseed Areas.
- L. FINISH GRADE SHALL BE 2" BELOW FINISH PAVING SURFACE IN SHRUB AREAS
- 3.05 PLANTING INSTALLATION
- TIMING: ACTUAL PLANTING SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH LOCALLY ACCEPTABLE PRACTICE.
- WITH IDUALLY ALLEY PARLIELE. LATVOLT OF REESS: ALL TERES (24° BOX SIZE AND LARGER) SHALL BE PLACED IN THE LANDSCAPE PER THE DIRECTION OF THE LANDSCAPE ARCHITECT PROF TO INSTALLATION OF REPROTING SYSTEM. THE TREES SHALL THEN BE MOVED SO THAT PLANTING HOLES CAN BE EXCAVATED AND AND DED. THE TREES SHALL THEN BE INSTALLED IN THEIR RESPECTIVE HOLES AND POSITIONED IN THE HOLES FOR DIRECTION OF THE LANDSCAPE DESING POSITIONED IN THE HOLES FOR DIRECTION OF THE LANDSCAPE ARCHITECT.
- LAYOUT PLANTING: LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL CONTAINER PLANTS SHALL BE SET BY THE CONTRACTOR IN THER FIRML LOCATION IN THERESPECTIVE CONTAINERS PRAVE TO DISCING HOLES AND/OR PLANTING. ALL PLANT LOCATIONS SHALL BE OFECUED FOR POSSIBLE INTERFERENCE WITH EXISTING UNDERGROUND UTILITY LINES. C.
- BACKFILL FOR TREES AND SHRUBS: SHALL BE AS SPECIFIED IN SECTION 2.03. IF ARTIFICIAL DRAINAGE IS REQUESTED, THEN DRAINS SHALL BE INSTALLED FIRST, THEN BACKFILLED WITH SOIL.
- DISPOSAL OF EXCESS SOL AND DEBRIS: ALL EXCESS EXCAVATED SUBSOL, ROCKS AND DEBRIS SHALL BE LEGALLY DISPOSED OF OFF THE STE BY THE CONTRACTOR AT HIS COST OR UTILIZED ON THE STE AS DIRECTED BY AND AT THE OPTION OF THE LANGECHPE ARCHTECT.

- PLANTING THEES, SHRUBS AND VINES 3.08
- SOL MOISTURE LEVEL PRIOR TO PLANTING SHALL BE NO LESS THAN HORTICULTURALLY ACCEPTABLE. THE CONTRACTOR SHALL REQUEST APPROVAL OF MOISTURE, AND F FOLMO TO BE INSUFRICENT FOR PLANTING, THE PLANTING FITS SHULL BE FLICED WITH WATER MOD ALLONED TO DRAIN BEFORE STARTING MY PLANTING OPERATIONS.
- ALL EXCAVATED HOLES SHALL HAVE VERTICAL SIDES WITH ROUGHENED SURFACES AND SHALL BE OF THE MINIMUM SIZES INDICATED ON DRAWINGS. HOLES SHALL BE IN ALL CASES LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT HJURY OR BREAKAGE OF ROOT BALLS OR ROOTS.
- EXCAVATION SHALL INCLIDE THE STRIPPING AND STACKING OF ALL ACCEPTABLE SOL ENCOUNTERED WITHIN THE AREAS TO BE EXCAVATED FOR PLAYT FITS AND PLAYTING BERS, PROTECT ALL AREAS THAT ARE TO BE TRUCKED OVER AND LPON WICH SOL IS TO BE TRUPPCARADY STACKED C. PENDING ITS RE-USE FOR THE FILLING OF HOLES, PITS AND BEDS.
- PLANTS SHALL BE REMOVED FROM CONTAINERS IN SUCH A MANNER THAT THE BALL OF EARTH SURROUNDING THE ROOTS IS NOT BROKEN, AND THEY SHALL BE PLANTED AND WATERED IMMEDIATELY AFTER THE REMOVAL FROM THE CONTAINTEE D. CONTAINERS.
- THE PLANTS SHALL BE PLANTED AT APPROVED LOCATIONS WITH THE HERETOFORE SPECIFIED AMENDMENTS AND SOIL PLANTING BACKFILL E.
- BACKFUL SHALL BE PLACED AT THE BOTTOM OF EACH HOLE AND THOROUGHLY WATERED AND COMPACTED TO A DEPTH SO THAT WERN A PLANT IS PLACED IN THE HOLE, ITS ROOT CROWN IS SUGHTLY ADOLE THE ESTABLISHED FINAL GRADE, AND UNLESS OTHERWISE NOTED SHALL BE RASED OR REPLACED AS F TED BY THE LANDSCAPE ARCH
- PLANTING TABLETS SHALL BE PLACED IN EACH PLANTING HOLE AT THE FOLLOWING RATES AND PER THE MANUFACTURER'S RECOMMENDATIONS; G.
 - 1
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 GRAM TABLET PER INDIVIDUAL LINER AND FLAT SIZE PLANT.

 1
 21
 GRAM TABLET PER GALLON CONTAINER.

 3
 21
 GRAM TABLETS PER 5 GALLON CONTAINER.

 4
 21
 GRAM TABLET PER 15 GALLON CONTAINER.

 1
 21
 GRAM TABLET PER EACH 4 INCHES OF BOX SIZE.

RANDOM TESTING TO VERIFY PLANTING TABLET INSTALLATION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT.

- NO PLANT WILL BE ACCEPTED IF THE ROOTBALL IS BROKEN OR CRACKED, EITHER BEFORE, DURING, OR AFTER THE PROCESS OF INSTALLATION.
- ALL PLANTS SHALL BE THOROUGHLY WATERED TO THE FULL DEPTH OF EACH PLANTING HOLE INMEDIATELY AFTER PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURFACE AND SUBSURFACE DRAINAGE REQUIRED WHICH MAY AFFECT HIS GUARANTEE OF THE TREES, SHRUBS AND VINES.
- PRUNING AFTER PLANTING SHALL BE REQUIRED ON ALL TREES, SHRUBS, AND WEES WHEN NECESSARY TO PROVIDE THE SPECIFIED OR APPROVED STANDARD SHAPES, FORM NAØ/CR SZES CHRARCTERSENT OF DACH PLANT. PRUNNG MAY NOLIDE THINNIG, TOPPING, AND/CR CUTTING AND SHALL BE UNDER THE DIRECTION OF THE LANDSARPE ARCHTECT. CUTS OVER 3/4-inch in Diameter Shall be panted with an Approved Tree Sealant. К.
- ALL TREES 24" ROX AND LARGER SHALL RE SPOTTED 1.

3.07 PLANTING CROLANDCONFR

- groundcovers shall be planted in the areas indicated on the plans and shall be free CF surface rock over $\mathbf{2}^n$ in diameter and debris. A
- IF THE TOP FOUR (4) INCHES OF SOL IN THE AREA TO BE PLANTED IN GROUNDCOVER IS NOT SUFFICIENTLY NOISY (NORTICLI, TURALLY ACCEPTABLE STANDARDS), THE AREA SHALL BE THOROUGHLY IRREATED AND NO LESS THAN TUBLE, HOURS SHALL PASS BEFORE PLANTING. A
- GROUNDCOVER PLANTS SHALL BE GROWN IN FLATS. VARETY NORATED ON -THE PLANT LIST. FLAT GROWN PLANTS (ROOTED OUTINNS) SHALL REJAM IN THOSE FLATS UNIT, TRANSPARTING, THE FLATS SOL SHALL CONTAN SUFFICIENT MOSTURE SO THAT IT WILL NOT FALL APART INERI LITENS THE PLANTS SHALL BE PROTECTED AT ALL TIMES TO PREVENT DRIVING OF THE ROOT BALL. C.
- GROUNDCOVERS SHALL BE PLANTED IN STAGGERED, RANDOM ROWS AND EVENLY SPACED UNLESS OTHERWISE NOTED AND AT INTERVALS CALLED OUT IN THE DRAININGS. D.
- E. THE SIZE OF PLANTING EXCAVATION FOR GROUNDCOVER SHALL BE AT LEAST TWICE THE DEPTH OF THE ROOT BALL.
- EACH FLANT SYAL BE FLANTADD IN A MANNER THAT WILL DISJRE MINIMA DISTURBANCE OF THE ROOT SYSTEM, BUT IN NO CASE SHALL THIS DEPTH BE LESS THAN THO NODES. EACH GROUNDEONER FLANT SHALL DE FLANTED WITH ORE 5 GRAN PLANTING THERE INCOMPORTED WITH ROOT OF ROOT OF EVEN MOS SHOUTH FRAL FRANC-SHOOTED ATTER FLANTING TO PROVIDE AN EVEN MOS SHOUTH FRAL FRANC-BROOTED ATTER FLANTING TO PROVIDE AN EVEN MOS SHOUTH FRAL FRANCE ORADE. TO ANOD DRYNNO CUT GROUNDCOMER, FLANTIS MUST BE RINGLADD ATTER FLANTING. THE MAST ROUNDCOMER, FLANTIS THE RINGLADD ATTER FLANTING. THE MAST ROUNDCOMER, FLANTIS HAS THE RINGLADD STEEL ROOTE MANALLY OR BY USING THE RINGLADD STEEL REPEATED APPLICATIONS MAY BE REQUEED, SPECALLY ON A SLOPING STE. THEIN MILL RINGLADD SHALL CONTINUE UNTL. A CASE AT LEAST TWICE THE DEPTH OF EACH HOLE IS THOROUGHLY MOSTENED.

3.08 POST FERMIZATION

- THERES POST FERTILIZATION SHALL OCCUR AT 100 DAY INTERVALS AFTER PLANTING. BORE HOLES ANDUND DREUME (WARDUS DEPTHS) AND APPLY FERTILIZER AT THE RATE OF 1 LB. PER 1° CAUPER IN HOLES. FERTILIZER SHALL BE CUIA-TO. 14-7-3), FARWAY, BANDON, OR RELLOG, F. NOT AVALABLE, SHALL BE CUIA. TO.
- shrues post fertilization shall occur 80 days after playting and apply fertilizer at the rate of 1 telspoon per lacht 1 gallon playt and 1 tablespoon per 5 gallon playt. Fertilizer shall be (1+-7-3) will-group farway, bandin, or kellog. For taxables shall be
- GROUNDCOVER AREA AND LAWN AREAS -POST FERTILIZATION SHALL OCCUR 60 DAYS AFTER FLANTING AND APPLY FERTILIZER AT THE RATE OF 7 LB./1,000 S.F. FERTILIZER SHALL BE (14-7-3) WIL-GRO, FARWAY, BANDAN, OR KELLOGS, IF NOT AVALLABLE SHALL BE EQUAL TO. C.

GENERAL MAINTENANCE AND ESTABLISHMENT PERIOD 3.09

- GENERAL: MAINTENANCE OPERATIONS SHALL BEGIN MANEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL BE KEPT IN A HEALTHY, GROWING CONDIGN BY WATERING, FERTUZING, PRINNIG, SPRAYING, WEEDING AND ALL OHER NECESSARY OPERATIONS OF MAINTENANCE. ALL AREAS SHALL BE KEPT FREE OF WEEDS AND NOXIOLS GRASSES AND GLEAN AND FREE OF ROCKS, GLODS, AND DEBRIS. ALL PAVING AND WALKS SHALL BE KEPT CLEAR, CLEAN AND WASHED DOWN.
- ESTABLISHMENT FORIOD: TREES, SHRUBS, WHES AND GROUND COVERS -THE ESTABLISHMENT FORIOD SHALL BEGIN ON THE DATE THAT THE LANDSCAPE ARCHTECT INFORCES AND GIVES WITTEN REVOKSIONAL ACCEPTANCE OF THE WORK AND SHALL BE INNETTY (90) CALENDAR DAYS. THE ESTABLISHMENT FORDO MAY BE EXTRIDED OR SHORTENED AT THE DISCRETION OF THE LANDSCAPE ARCHTECT.
- MANTENANCE OPERATIONS: PLANTS SHALL BE KEPT IN A HEALTHY, GROWING CONDITION BY WATERING, PERINING, MOWING, RESEDUNG, ROLLING, RESODDING, TRUMING, EDGING, FERTILIZING, RESTAKUNG, PEST CONTROL, SPRAING, WEBUNG AND ALL OHNER NECESSARY OPERATIONS OF MANTENANCE, PLANTING BEDS SHALL DE KEPT FREE OF WEEDS, GRASS AND OTHER INDESRED VECETATING, GROWIN, DURING THE SPECIFIE OF WEEDS, GRASS AND OTHER INDESRED VECETATING, COURT, MUNICHAS OF REPROMALS SHALL BE MAINTAINED IN A WGOROUS, HEALTHY CONDITION THROUGH THE MAINTENANCE PERIOD.
- EXTENDED MAINTENANCE: WHEN, IN THE OPINION OF THE LANDSCAPE ARCHTECT, THERE IS MARGORE MAINTENANCE, POOR OR UNHEALTHY CONDITION OF PLANT MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL MAINTENANCE OF THE WORK AX THO ADDITIONAL COST TO THE CONTRACT UNTEL ALL THE WORK IS ACCEPTABLE. D.
- PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE PROTECTION OF ALL PLATING AREAS AGAINST TRAFFIC OR OTHER USE BY DEPECTION FENORS OF OTHER ACCEPTINGLE MEANS BIMEDATELY AFTER THE PLATING IS COMPLETED. WARMING SIGHS AND BARRCADES SHALL BE FLAZED IN WIRDLY MICH-TRAFFIC AREAS. DAMAGED AREAS SHALL BE REPARED INMEDIATELY BY THE CONTRACTOR.

F

H.

- WEEDING AND CULTIVATING: ALL TREE, SHRUB, GROUNDCOVER AND HYDROSEDED AREAS SHALL BE KEPT FREE OF DEBRIS AND WEEDS. GROUNDCOVER AND SHRUB AREAS SHALL BE CULTIVATED AT INTERVALS OF NOT NORE THAN FOURTEEN (14) DAYS IMMANL. F.
- REPLACEMENT: DURING THE MAINTENANCE PERIOD, PLANTS WHICH DIE OR WHICH ARE IN AN UNWEALTHY OR BADLY IMPARED CONDITION SHALL BE REPLACED BY THE CONTRACTOR WITHIN FOURTEEN (14) DAYS AFTER UNSATISFACTORY CONDITION IS FOURTH. NO REPLACEMENT OF PLANTING SHALL BE MADE IN ANY SEASON DEFINITIELY UNFAVORABLE FOR PLANTING. SHALL BE MADE IN ANY SEASIN DEPINIELY OWE AVAILABLE FOR PLANING. AT THE CONCUSSION OF THE MAINTENANCE PERSON, THE LANDSCAFE Architect Mull Made an Inspection of the Mork to determine the Condition of All Plants, All Unhealthy Plants Shall be beloved from the Site and Replaced with Plants of the Same Kinds and Sizes as organally specified, such Replacement Shall be Made In the Same Manner as specified for the Organal Planting and at no extra cost to the Ommer.

ACCEPTANCE: AT THE CONCLUSION OF THE MAINTENANCE PERIOD, AN INSPECTION SMALL BE MADE BY THE LANGSCAPE ARCHITECT, UPON WRITEN NOTICE REQUESTING INSPECTION BEFORE ACCEPTANCE. MAINTENANCE PERIOD SHALL CONTINUE UNIT, ALL DEFICIENCIES ARE CORRECTED.

PTS. NO. 89546

3953 FLORIDA STREET

SHEET TITLE:



SPECIFICATIONS

ATTACHMENI REVISIONS

L SERVERS, ASIA Meno DEL RIO SOUTH, SO, CA 72108 6117 384-024 6119 384-024 254 ل ا SCOTA <u>N</u> CAT ш $\overline{\mathbf{O}}$ ш n S Ш Ш Ľ --Ś A E S S FLORIDA S I DIEGO, CA ORID/ 3953 SAN ш PREPARED BY: REVISION 7: 3 REVISION 6: S REVISION 5: σ õ REVISION 4: PROJECT ADDRESS: REVISION S: SO53 FLORIDA STREET SAN DIEGO, 44 92104 REVISION 2: REVISION 1: PROJECT NAME: Data 4/15/08

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ATTACHMENT 6

PLANNING COMMISSION RESOLUTION NO. XXXX TENTATIVE MAP NO. 287973 3953 FLORIDA STREET TENTATIVE MAP - PROJECT NO. 89546 <u>DRAFT</u>

WHEREAS, HSIEH FAMILY LIMITED PARTNERSHIP, Applicant/Subdivider, and DGB SURVEYING & MAPPING, submitted an application with the City of San Diego for a Tentative Map, No. 287973, for the conversion of 18 existing residential units to condominiums, including a request to waive the requirement to underground existing overhead utilities. The project site is located on the west side of Florida Street between Lincoln Avenue and University Avenue at 3953 Florida Street, and is legally described as Lots 9-12, Block 196, University Heights, Map thereof made by G.A. D'Hemecourt, in the MR-800B Zone of the Mid-Cities Communities Planned District, the North Park Redevelopment Project Area and the Transit Area Overlay Zone, within the Greater North Park Community Plan area; and

WHEREAS, the Map proposes the subdivision of a 0.34-acre site into one (1) lot for a 18-unit residential condominium conversion; and

WHEREAS, the project is exempt from environmental review pursuant to Article 19, Section 15301(k) of the California Environmental Quality Act (CEQA) on the basis that the facilities are existing; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to the Subdivision Map Act and Section 144.0220 of the Municipal Code of the City of San Diego; and

WHEREAS, the subdivision is a condominium project as defined in Section 1350 et seq. of the Civil Code of the State of California and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 18; and

WHEREAS, on November 6, 2008, the Planning Commission of the City of San Diego considered Tentative Map No. 287973, including the waiver of the requirement to underground existing overhead utilities, and pursuant to Sections 125.0440 (tentative map), 125.0444 (condo conversion), and 144.0240 (underground) of the Municipal Code of the City of San Diego and Subdivision Map Act Section 66428, received for its consideration written and oral presentations, evidence having been submitted, and heard testimony from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 287973:

- 1. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code (Land Development Code Section 125.0440.b).
- 2. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (Land Development Code Section 125.0440.h and State Map Act Section 66412.3).
- 3. Each of the tenants of the proposed condominium project has received, pursuant to State Map Action Section 66452.9, written notification of intention to convert at least 60 days prior to the filing of a tentative map (Land Development Code 125.0444 and State Map Act Section 66427.1(a)).
- 4. The project has been conditioned that the Subdivider will give each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the State Map Act (Land Development Code Section 125.0444 and State Map Act Section 66427.1(a)).
- 5. The project has been conditioned that the Subdivider will give each tenant 10 days' written notification that an application for a public report will be, or has been, submitted to the Department of Real Estate, and that such report will be available on request (Land Development Code Section 125.0444 and State Map Act Section 66427.1(a)).
- 6. The project has been conditioned that the Subdivider will give each tenant of the proposed condominium project written notification within 10 days of approval of a final map for the proposed conversion (Land Development Code Section 125.0444 and State Map Act Section 66427.1(b)). If the subdivider chooses to provide affordable housing units, the subdivider shall enter into an affordable housing agreement with the Housing Commission, prior to recordation of the Final Map.
- The project has been conditioned that the Subdivider will give each of the tenants of the proposed condominium project 180 days' written notice of intention to convert prior to termination of tenancy due to the conversion or proposed conversion (Land Development Code Section 125.0444 and State Map Act Section 66427.1(c)).
- 8. The project has been conditioned that the Subdivider will give each of the tenants of the proposed condominium project notice of an exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, which notice shall be provided within 5 working days of the issuance

Page 2 of 10

of the Subdivision Public Report. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report pursuant to Section 11018.2 of the Business and Professions Code, unless the tenant gives prior written notice of his or her intention not to exercise the right (Land Development Code Section 125.0444 and State Map Act Section 66427.1(d)).

- 9. The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing (Land Development Code Section 125.0444.b).
- 10. For any project that was developed to provide housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed (Land Development Code Section 125.0444.c).
- Each of the tenants of the proposed condominium project has received written notification of the project application for the condominium conversion within 10 days after the application was deemed complete (Land Development Code 125.0431(a)(3)).
- 12. The project has been conditioned that the subdivider will give each person applying for the rental of a unit in such residential real property written notification that the project application for the condominium conversion was deemed complete (Land Development Code 125.0431(a)(3)).
- The project has been conditioned that the subdivider will give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (Land Development Code Section 125.0431(a)(4)).
- 14. A Building Conditions Report has been prepared in accordance with the Land Development Manual by a registered architect or engineer licensed by the State of California (Land Development Code Section 144.0504(b)).
- 15. The project has been conditioned that the subdivider will provide to a prospective purchaser a copy of the Building Conditions Report prior to the opening of an escrow account. (Land Development Code Section 144.0504(c)).
- 16. The project has been conditioned that the subdivider will provide a relocation assistance payment to all tenants of the project whose tenancy has terminated due to the condominium conversion. (Land Development Code Section 144.0505).
- 17. The project has been conditioned for the subdivider to complete the physical improvements as outlined in Land Development Code Section 144.0507, to the satisfaction of the City Engineer prior to final map approval.

ATTACHMENT 6

- The project has been conditioned for the subdivider to satisfy the inclusionary housing requirements in accordance with Land Development Code Section 142.1306. (Land Development Code Section 144.0508).
- 19. The requested underground waiver of the existing overhead facilities, qualifies under the guidelines of Council Policy No. 600-25 *Underground Conversion of Utility Lines at Developers Expense* in that the conversion involves a short span of overhead facility (less than 600 feet in length), it has been determined that such conversion is not a part of a continuing effort to accomplish a total undergrounding within a specific street or area, the conversion would represent an isolated undergrounding with a minimum probability of extension in the future, and the conversion is a requirement of a condominium conversion of an existing development and the conversion would not represent a logical extension to an underground facility.
- 20. That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that, based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 287973, including the waiver of the requirement to underground existing overhead utilities, is hereby granted to HSIEH FAMILY LIMITED PARTNERSHIP, Applicant/Subdivider, subject to the following conditions:

GENERAL

- 1. This Tentative Map will expire November 6, 2011.
- 2. Compliance with all of the following conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
- 3. Prior to the issuance of the Final Map taxes must be paid on this property pursuant to section 66492 of the Subdivision Map Act. A tax certificate, recorded in the office of the County Recorder, must be provided to satisfy this condition
- 4. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may

elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

- 5. The Subdivider shall provide a Notice of Tenants Rights and Notices for Condominium Conversion, consistent with the Land Development Manual to be provided as follows:
 - a. For existing tenants, within 10 days of the project application for the *condominium conversion* being deemed complete; or
 - b. For prospective tenants, upon application for the rental of a unit in the proposed *condominium conversion*.
- 6. The Subdivider shall provide each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the State Map Act.
- 7. The Subdivider shall provide the tenants a Notice of Application for a Public Report at least 10 days prior to the submittal to the Department of Real Estate (DRB), pursuant to Section 66427.1(a) of the Subdivision Map Act.
- 8. The Subdivider shall provide each of the tenants of the proposed condominiums written notice of intention to convert at least 180 days prior to termination of tenancy due to the conversion or proposed conversion in conformance with Section 66427.1(c) of the Subdivision Map Act. The provisions of this subdivision shall not alter nor abridge the rights or obligations of the parties in performance of their covenants, including, but not limited to, the provision of services, payment of rent, or the obligations imposed by Sections 1941, 1941.1 and 1941.2 of the Civil Code.
- 9. The Subdivider shall provide each of the tenants of the proposed condominiums notification of their exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, in conformance with Section 66427.1(d) of the State Map Act. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report, pursuant to Section 11018.2 of the Business and Professions Code,

Project No. 89546 TM No. 287973 November 6, 2008 Page 5 of 10

unless the tenant gives prior written notice of his or her intention not to exercise the right.

10. The Subdivider shall provide the tenants of the proposed condominiums with written notification within 10 days or approval of a Final Map for the proposed conversion, in conformance with Section 66427.1(b) of the Subdivision Map Act.

AFFORDABLE HOUSING

- 11. Prior to recordation of the Final Map the Subdivider shall comply with the affordable housing requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) by paying an in-lieu fee of \$23,548 (\$1.75 x 13,456 square feet), satisfactory to the Housing Commission.
- 12. Prior to filing a final map, the applicant shall either show evidence that relocation assistance has been paid to eligible tenants or enter into an agreement with the San Diego Housing Commission to demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5, 144.0503). In addition, applicant must pay the appropriate fees incurred by the Housing Commission for compliance monitoring (Chapter 14, Article 4, Division 5, 144.0502).
- 13. The Subdivider will give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (Land Development Code Section 125.0431(a)(4)).
- 14. The Subdivider will provide to a prospective purchaser a copy of the Building Conditions Report prior to the opening of an escrow account. (Land Development Code Section 144.0504(c)).

ENGINEERING

- 15. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer. This may require (but not be limited to) installation of new street light(s), upgrading light from low pressure to high-pressure sodium vapor and/or upgrading wattage.
- 16. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.

- 17. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
- 18. The subdivider shall obtain an Encroachment Maintenance and Removal Agreement from the City Engineer for the non-standard driveway in Florida Street right-of-way.
- 19. The subdivider shall enter into an agreement to indemnify, protect and hold harmless the City, its officials and employees from any and all claims, demands, causes or action, liability or loss because of, or arising out of the repair and/or maintenance of the public drainage entering into the project site.
- 20. Prior to the recordation of the Final Map, the Subdivider shall demonstrate conformance with the Municipal Code provisions for building and landscape improvements (Land Development Code Sections 144.0507), to the satisfaction of the City Engineer. The parking requirements in Land Development Code Sections 144.0507 and 142.0525.a do not apply, since this project was deemed complete prior to the effective date of this ordinance (July 27, 2006).

MAPPING

- "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source will be the California Coordinate System, Zone 6, North American Datum of 1983 (NAD 83).
- 22. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the tentative map and covered in these special conditions will be authorized.

All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

23. "California Coordinate System means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."

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- 24. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of Third Order accuracy or better. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

SEWER AND WATER

- 25. Water and Sewer Requirements:
 - a. The Subdivider shall install appropriate private back flow prevention devices on all existing and proposed water services (domestic, irrigation, and fire) adjacent to the project site in a manner satisfactory to the Water Department Director.
 - b. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

LANDSCAPE

- 26. Prior to recordation of the Final Map, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with the Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.
- 27. Prior to recordation of the Final Map, and after Landscape and Irrigation Construction Documents have been approved by Development Services, the Subdivider shall install all required landscaping consistent with the approved plans and the Land Development Manual, Landscape Standards.

- 28. Prior to recordation of the Final Map, it shall be the responsibility of the Permittee/Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.
- 29. The Landscape Construction Plan shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.
- 30. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
- 31. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.
- 32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Certificate of Occupancy or a Final Landscape Inspection.

INFORMATION:

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC Section 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), then the subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within 90 days of the approval of this Tentative Map by filing a written protest with the City Clerk pursuant to California Government Code Section 66020.
- Where in the course of development of private property, public facilities are damaged or removed the property owner shall at no cost to the City obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer. Municipal Code Section 142.0607.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SAN DIEGO, CALIFORNIA, ON NOVEMBER 6, 2008.

By

Renee Mezo Development Project Manager Development Services Department

Job Order No. 42-5612

OWNERSHIP DISCLOSURE

3953 Florida Street Tentative Map Project No. 89546

Owner:

Hsieh Family Limited Partnership

San C. Hsieh Lina S. Hsieh Vincent C. Hsieh Victor C. Hsieh Emily L. Hsieh

DEVELOPMENT SERVICES **Project Chronology** 3953 FLORIDA STREET TENTATIVE MAP; PROJECT NO. 89546

	Action	Description	City Review Time	Applicant Response
12/1/05	First Submittal	Project Deemed Complete		
12/30/05	First Assessment Letter	First assessment letter sent to applicant.	29 days	
3/15/06	Second submittal	Applicant's response to first assessment letter		74 days
7/14/06	Second Assessment Letter	Second assessment letter sent to applicant	121 days	
6/28/07	Third submittal	Applicant's response to second assessment letter		351 days
7/27/07	Third Assessment Letter	Third assessment letter sent to applicant	29 days	
9/28/07	Fourth submittal	Applicant's response to third assessment letter		63 days
11/16/07	Fourth Assessment Letter	Fourth assessment letter sent to applicant	49 days	
7/7/08	Issues addressed			
10/16/08	Public Hearing-Planning Commission	Planning Commission Hearing	101days	
TOTAL ST	AFF TIME**		329 days	
TOTAL APPLICANT TIME**				488 days
TOTAL PROJECT RUNNING TIME**		From Deemed Complete to PC Hearing		817 days

**Based on 30 days equals to one month.

GREATER NORTH PARK COMMUNITY PLANNING COMMITTEE 2901 NORTH PARK WAY, 2ND FLOOR P.O. BOX 4825, SAN DIEGO, CA 92164 CORRECTED MINUTES: JULY 17, 2007

I. Called to Order: 6:31 pm.

- In Attendance: Salvador Arechiga, Ravin Armelin, Ed Cronan, Carol Gonzales, Vicki Granowitz, Brenda Martin, Dean Petersen, Keoni Rosa, Rob Steppke, Stephen Whitburn; Vernon Franck (had to leave at 7:06 pm.)
 Absent: James Longley, Shane Pliskin.
 Excused Absence: Judith O'Boyle, Rene Vidales.
- III. Motion to Adopt July 17, 2007 Agenda (with modification that Removal of Angle Parking on east side of Louisiana, between Mead Ave & Monroe Ave. be pulled from Consent Agenda and moved to first Action item): Armelin/Martin 11-0-0

IV. Chair's Report/CPC

- A. CPC completed review of update to General Plan. Leo Wilson is continuing as President and Vicki Granowitz will continue as Secretary. Liaisons appointed. Continuing to discuss Bylaws.
- **B.** James Longley has resigned as a member of the GNPCPC. An Election Subcommittee, Chaired by Rob Steppke, will be formed and an election held with 120 days to fill the vacancy. The Secretary will prepare a list of Eligible Voters from attendance during the last six months of GNPCPC meetings.
- **C.** Judi O'Boyle will serve as liaison to the newly formed community group interested in the proposed expansion of Our Lady of Peace. Her role will be to acquaint them with our process and procedures; no advocacy.
- **D.** The Chair has been involved in trying to resolve issues concerning the Bluefoot Lounge at 30th and Upas as to neighbor noise complaints, CUP regarding its alcohol licenses, and other items. This matter may be before the full Board on its August agenda.

V. Motion to approve June 19, 2007 minutes, with the correction of the removal of "Conners" from the UDPR Subcommittee Report: Franck/Steppke 8/0/3 (Voting in favor: Arechiga, Cronan, Franck, Granowitz, Petersen, Rosa, Steppke, Whitburn. Those abstaining due to prior absence: Armelin, Gonzales, Martin.)

Note: Report on NPPC Board Attendance: Members with 2 absences: Gonzales, Pliskin and Longley with 3 (Longley has resigned as of tonight's meeting.) Some other members have a single absence.

VI. Treasurer's Report: Balance is \$245.22

V11. Announcements

- Elizabeth Studebaker of NPMS: Farmers Market opens Thursday, July 19. (Honorable Mention to Dean Petersen for volunteering to assist.) Location is CVS parking lot at University and 32nd St. North Park Summer Clean-Up on July 28, 2007 from 9 am-12:00 pm at 32nd St and University.
- 2. Bertha M Klann stated that the Needle Exchange is still operating near Drowsy Maggie's.
- 3. Lynn Elliot from NPCA announced the Bird Park Concerts are continuing this summer.
- 4. The Secretary noted that he spoke before the City Council on July 10, as directed by the Chair, in favor of the North Park MAD Engineer's Report. The Chair indicated that the Re-ballot failed.
- 5. The Chair announced the University Heights Art Association Gala on August 9 at the Lafayette.
- 6. The Chair announced that Judi O'Boyle attended a meeting concerning Development in Mission Valley on July 11 at the Mission Valley Library. Discussed was the anticipated negative impact

from planned multiple developments regarding schools, transportation, parking, drinking water, density and other items. It was noted that the Trolley is already running at capacity at rush hours and further densification may not be able to be resolved by proximity to public transit.

- 7. Vernon Franck announced that the UDPR September subcommittee meeting will be held August 27, 2007, due to Labor Day.
- VIII. Planner's Report: Marlin Pangilinan, 619-235-5293, <u>mpangilinan@sandiego.gov</u>. Mr. Pangilian indicated that he had been in discussion with the City Attorney's Office regarding the attendance of Board Members in excess of the seven limit at subcommittee meetings. The City Attorney's Office has now informed him that those Members in excess of the seven limit may do so only as observers, not participants. They can remain in the audience of the subcommittee meetings and may not speak, grimace, etc. Mr. Pangilinan was following up on an earlier request for clarification from the Secretary.
- **IX. Supplemental Report-** Ravin Armelin reported that the Fair Banking Working Group has been working on legislation to assist low income people to gain access to banks as an alternative to pay day loan groups. AB1502 is being carried by Assemblyman Lou and Ravin asked the Board to visit the website "Tell The Senate To Bring Banks to Underserved Communities." Ms. Armelin asked that the full board support this matter and it will be on the agenda for next month.

X. Officials' Report

- 1. Jason Weisz (rep for Christine Kehoe, California State Senate District 39): The Senator's Clean Alternative Vehicles Bill has passed out of the Senate. The State has not implemented mandatory water rationing but the Senator has some tips for saving water in her newsletter. Senator Kehoe will be in the Pride Parade in San Diego and will be at a booth there as well. Mr. Weisz's phone number for questions is (619 645-3133.)
- 2. Todd Gloria (rep for Susan Davis, US. Congress District 53.): The Congresswoman was named the Chair of the Military Personnel Subcommittee of the House Armed Services Committee. Davis is distributing a survey on Iraq, and the website for it has already received six thousand responses so far.
- 3. Monica Pelaez (rep for Toni Atkins, City Council District 3) was unable to attend. The Chair read her announcement that Council Member Atkins will be joining the Police Chief and other officials at Bourbon Street at 4612 Park Blvd on Wednesday, July 18 at 8:30 pm to unveil Safety Tip Flyers for safe walking for patrons leaving neighborhood bars.

XI. Consent Agenda

(Voting Members Present UDPR July 2, 2007, Salvador Archiga, Ernie Bonn, Kitty Callen, Vernon Franck, John Stewart McGaughy, Judith O'Boyle, Rob Steppke, Elizabeth Studebacker, Stephen Whitburn; PFPA July 5, 2007 S Archiga, K Calvin, D Petersen, R Vidales)

- Lafayette Hotel SDP (PTS# 125216) Discussion regarding the issues of having commercial uses overlapping a residential zone. The requisite number of parking spaces will be included. Motion: Support the project plan revisions to add 8 rooms to existing hotel building (reconfigure internal rooms only) and have project permit state that 25%, or 28 units, of the proposed 110 units are residential condominium only and the remaining 82 are condominium-hotel units. Martin/UDPR On Consent 11-0-0.
- 2. 3727 Grim. Tentative Map (Process 4) To convert 14 existing residential units to condominiums on a 0.29 acre site in the MR-1750 Zone of Mid City PDO. 10 2BR units and 4 1BR units constructed in 1990. A letter from the City was presented that essentially stated that the 23 parking spaces (including 4 tandem) were acceptable as pre-conforming. Applicant agrees to perform all requirements identified in the condition report. Applicant did not present a new conceptual design. Motion: To deny the project due to lack of a clear plan, clear community benefit, and responsible property management. Martin/UDPR On Consent 11-0-0

- 3. Request for traffic calming along the 2500 to 2900 blocks of Boundary Street. A previous City evaluation of Boundary and Cooper Streets did not grant a stop sign, but recommended a V-Calm sign instead, for which funding is not available. A School Officer from McKinley Elementary has visited the intersection and requested a stop sign on Boundary Street at Cooper Street, and a pedestrian crosswalk be installed. Motion: To recommend the City to install a Stop Sign on both northbound and southbound Boundary St at the intersection with Cooper St, and a Crosswalk at its intersection with Cooper St. Martin/ PFPA On Consent 11-0-0
- 4. Request to install Angle Parking on west side of Oregon Street, between University Avenue and Lincoln Avenue. The petition is in conformance with the University Avenue Mobility Plan. Motion: To support petition to install Angle Parking on the west side of Oregon Street, between University Avenue and Lincoln Avenue, due to conformance with the University Avenue Mobility Plan. Martin/PFPA On Consent 11-0-0
- 5. 3953 Florida Tentative Map (PTS#89546) To convert 18 existing residential units to condominiums. *(2nd Review, see Feb 2007 UD/PR minutes) Constructed by Hsiehs in 1988 it is well maintained. Applicant agrees to meet or exceed all requirements of the building condition report. They also agreed to replace the existing invasive trees with mature trees and restucco exterior. Inclusionary housing was discussed. Motion: Move to approve the project with the condition that the project include two (2) inclusionary housing units. Franck/UDPR On Consent 7-1-2-1 (Voting in favor: Arechiga, Cronan, Franck, Granowitz, Martin, Petersen, Rosa. Voting No: Steppke. Abstaining due to lack of information: Armelin, Gonzales. Recused: Whitburn.)

(Vernon Franck departs at 7:06 pm)

XII. Action Items

- 1. Request to remove Angle Parking on the east side of Louisiana Street, between Mead Ave & Monroe Ave. Installation of Angle Parking occurred about a year ago, even though under City standards the width of Louisiana St does not grant for angle parking on one side, and neighbors have expressed unsafe maneuvering. Julie Braden spoke in favor of keeping the angle parking. Todd Flynn and Michael Caldwell spoke in favor of removing the angle parking. Roger Lewis suggested following the compromise offered by the City to reduce the angle. Member Arechiga explained that the City had measured wrong initially and the street is not wide enough for angle parking. Following discussion by the Board- Motion: To support petition to remove Angle Parking on east side of Louisiana St, between Meade Avenue and Monroe Avenue, with the recommendation that marked parking be instituted on the east and west side of Louisiana Street for parallel parking. Cronan/Steppke 9-1-0. (Voting yes: Arechiga, Armelin, Cronan, Gonzales, Granowitz, Petersen, Rosa, Steppke, Whitburn. Voting no: Martin.)
- 2. NPPC Demolition Position Paper. Following brief discussion- Motion to adopt and approve NPPC Demolition Paper and submit it to the appropriate City personnel. Martin/Rosa 10-0-0
- 3. Adoption of GNPCPC/NPPC Bylaws. Following presentation by the Chair and Rob Steppke
 - a. MOTION TO AMEND AND REVISE BYLAWS AS FOLLOWS:

ARTICLE IV Vacancies

Section 2.

The North Park Planning Committee Chairperson shall appoint a nominating committee to prepare a list of eligible candidates to be submitted at the next regularly scheduled meeting. Vacancies shall be filled by:

(A.) selection by planning group members no later than 60 days from the date the vacancy is declared and(B.) an advertised general election pursuant to ...

(b.) an advertised general election pursual

Motion passed Petersen/Martin 10-0-0

b. MOTION TO AMEND AND REVISE BYLAWS AS FOLLOWS:

ARTICLE V Elections

Section 1.

The deadline to qualify for candidacy in the March general election shall be at the conclusion of the February noticed regular or special meeting of the full planning group membership preceding the election. The planning group's...

. . .

In order to be a candidate in the March election, an eligible member of the community [see Article III Section 2] must have documented attendance at:

(A.) one of the North Park Planning Committee's last 6 meetings including the February regular meeting preceding the election.

Motion passed Petersen/Armelin 10-0-0

c. MOTION TO APPROVE AND ADOPT BYLAWS, IN TOTO, AS AMENDED AND REVISED.

Motion passed Martin/Gonzales 10-0-0

XIII Subcommittee Reports

- 1. Urban Design/Project Review, Vernon Franck, North Park Main Street Office, 3076 University Ave., 6pm, 1st Monday. Next meeting August 6. Report given by Madam Chair, as Mr. Franck had departed earlier. HRB recommended approval of 5 more residences for inclusion Burlingame Historic District.
- 2. Public Facilities/Public Art, Sal Arechiga/Rene Vidales, North Park Main Street Office, 3076 University Av, 6:30pm, 1st Thursday. Next meeting August 2. The Subcommittee will be considering issues concerning Mission Ave. regarding prohibited island parking and narrowing of traffic to single lane.
- 3. Policy/Community Relations, Rob Steppke, North Park Main Street Office, 3076 University Ave., 6:30 pm, 2nd Wednesday. Next meeting August 8. Have been discussing bylaws. Website is developing nicely. Upcoming will be studying minidorms and posting requirements for subcommittees in light of the Brown Act.

XV. Liaison Reports

- 1. **Project Area Committee-** (Roger Lewis absent. Rob Steppke gave report.)New appointee Jordana Beebe. Discussion concerning park and public improvements with staff as well as design components and joint use with Jefferson Elementary.
- 2. Public Safety & Neighborhood Services-Stephen Whitburn. Murder on Friday July 13 on 30th street near Suncrest. Couple robbed, both shot and man killed. Suspect: Male, black, 20-30 years old with hooded sweatshirt and armed with a handgun. Light colored van seen leaving area. Sgt. Howard Labore taking over duties reviewing new and existing liquor licenses.
- **3.** Maintenance Assessment District. Brenda Martin. Assessment Revision Reballot failed. Received 49% approval. Will be addressing how to spend reserves.
- 4. North Park Parking Management Working Group- (Rene Vidales absent. Chair gave report.) Did not meet.
- 5. NP Parking Garage/Art Selection Working Group- (Rene Vidales not present. Chair gave report.) Finishing up RFQ for artists to be distributed some time in August for San Diego County only.

- 6. Balboa Park Committee Liaison- Vicki Granowitz. Approved proposal by Old Globe to tear down Cassius Carter stage and ensuing new development. Heard from Mingei Museum regarding their plans to improve.
- 7. North Park Main Street- Ed Cronan. Commonwealth Café is only open until midnight, not 4:00 am as sign indicates. Farmers Market coming up July 19.
- 8. Needle Facilitation Committee- Vicki Granowitz. Did not meet in June or July.

XVI. Future Business Items

- 1. Rob Steppke will be seeking volunteers for Election Subcommittee.
- 2. Secretary Petersen will be out of the country at the time of the October Board meeting and is seeking a volunteer to take over the duties of Secretary for that meeting. He has authority to appoint someone, but is hoping someone will volunteer.
- 3. Elizabeth Studebaker noted that the PFPA Subcommittee should anticipate some crowding in the NPMS office due to the ongoing Farmers Markets on Thursdays.
- XVII. Next Meeting on August 21, 2007
- XVII. Motion to Adjourn Petersen/Arechiga10-0-0 Meeting adjourned at 8:20 pm.

Submitted by:

Dean Petersen, Secretary.

 "To the prospective occupant(s) of Honida Street, # 2D 3953 of this building, at Honida Street The owner (395(address), has filed or plans to file a tentative map with the City of San Diego to convert this building to a condominium. No units may be sold in this building unless the conversion is approved by the city and until after a public report is issued by the Department of Real Estate. If you become a tenant of this building, you shall be given notice of each hearing for which notice is required pursuant to Sections 66451.3 and 66452.5 of the Government Code, and you have the right to appear and the right to be heard at any such hearing. Should the condominium conversion project be approved, tenants may be required to vacate the premises owner I have received this notice on

Prospective Tenant

Notice of Intent to Convert to Condominiums






Building Condition Report

3953 Florida Street

San Diego, California 92104

Prepared For Lina Hsieh

Prepared By Andy French Accredited Inspection

And Engineering by Charles S. Thomas P. E. DGB Survey and Mapping May 18, 2007 Ms Lina Hsieh San Diego, California

Re: Transmittal of Building Condition Report (BCR) 3953 Florida Street San Diego, California 92104

Dear Ms Hsieh:

Attached is one copy of the referenced report. Your receipt of this report completes our portion of this project. This BCR is based on a walk through observation of the subject property on June 5, 2006 and April 12, 2007 and the review of certain property related documents that you provided us.

We appreciate the opportunity of providing this inspection service to you and look forward to a continuing working relationship in the future. Should there be any questions regarding this project, please contact Andy French at 888-360-1597 or Charles S. Thomas at 619-422-7269.

Sincerely,

Andy French Accredited Inspection 2543 Boundary Street San Diego, California 92104 Master CREIA Inspector #0041 CSLB General Contractor License # 669349

Charles S. Thomas PE DGB Survey and Mapping Inc. 23 ¹/₂ Naples Street Chula Vista, California 91911



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1.0 EXECUTIVE SUMMARY

1.1 General Description

AF Tech/Accredited Inspection completed a Building Condition Report (BCR) of the multi-dwelling complex at 3953 Florida Street, San Diego, California 92104, at the request of the owner. As part of the BCR, an on-site walk through observations was made on June 5, 2006 accompanied by the apartment manager and John Schaibly, the inspector's assistant.

The subject property has one apartment building containing 18 apartment units. There is a separate laundry building. Four of the units had 1 bedroom, and 1 bathroom and there were 14 two bedroom units, 8 with 1 ½ bathrooms and 6 with 1 bathroom. Additionally, the subject dwelling complex includes a few parking spaces at the alley, a subterranean garage, a laundry room, and associated hardscape and landscape. Construction drawings were available for review. The subject property was developed in 1988. It is situated on a rectangular lot in the City of San Diego, California.

The building was wood framed with stucco exteriors. The interior walls and ceilings were covered with gypsum board drywall. There were asphalt shingle roofs. The roof slope was approximately 4 in 12.

There was one master water meter located at the northwest corner. The building had its own water shut off, a 2-inch ball valve. There are sub-meters for the water. There was a pressure regulator and backflow preventer. There was an exterior irrigation system.

Hardwired smoke detectors are installed at each of the apartments, and the public areas of the building had fire extinguishers. The building had no automatic fire sprinkler system.

Number of units	Bedrooms	Bathrooms	
4	1	1	
8	2	1.5	
6	2	1	

1.2 General Physical Condition

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The subject property appears well maintained and in overall good condition with some defects noted in the following sections of the Report. The building was initially constructed of durable materials with serviceable techniques. It is our opinion that the subject property is comparable to other similar properties of similar age in this area and, subject to a continued program of sustained preventative maintenance, the remaining economic life of the subject apartments should exceed 40 years.

Although the load bearing and horizontal resistance components appear to have complied with the construction standards at the time of the original placement of the building, today's standards have increased due to studies of earthquakes that have occurred since the codes were adopted for the timeframe of the original construction. That said, this was an early-90s constructed building. There was design attention paid to horizontal earthquake forces affecting the structure. There seems to be no reason to tear apart the current construction to achieve a nominal increase in earthquake resistance.

Building System	Nominal	Actual	Reaming
	Service Life	Age	Service
Roof	25	19	6
Foundation	60-80	19	41-61
Exterior finishes	10-15	19	0-1
Electrical panels	40	19	21
Windows and doors	25-40	19	6-21
Wall Heaters	25	19	6
Original Appliances	10-20	0-19	10-1
Water Heaters	15	4-8	7-11
Water, gas, and sewer lines	40-60	3-19	37-41
Interior finishes	5-10	0-19	0-9

Longevity Table

1.3 Recommended Immediate Repairs

Deferred maintenance and physical deficiencies for which actions are recommended represent potentially unsafe conditions, material code violations, and items that require corrective works on a higher priority than routine work. Based upon observations conducted during the property visit, the following objectionable property conditions that require immediate corrective works were identified:

Item	Quantity	Unit Cost	Immediate Cost
Include visual signaling smoke alarms in the bedrooms, renew the hall smoke alarms with visual signaling models, add GFI protection at the kitchen counters (2 per unit, typically), add GFI protection outside and for the garage receptacles.	70	25	1,750
Physically remove light efflorescence and staining in the garage.	1 lot	300	300
Clean the wall furnaces, and check performance.	18	50	900
Recommission the carbon monoxide exhaust	1	2500	2,500

system in the garage.			
Replace about 1/3 of the window screens.	40	20	800
Plumbing repairs including repairing cracks on	6	300	1,800
bathtubs and replacing worn lavatories.			
Patch holes in the draft stop between units in the	6	250	1,500
attics.			
Total			\$9,550

Note: Above works should be completed within one year.

1.4 Recommended Short Term and Intermediate Term Repairs

The following objectionable property conditions need to be corrected within the next five (5) years before they evolve into more costly repair/replacement items:

ESTIMATED COST: Exterior repairs and upgrades including, drainage improvements at the courtyard with new liners on the planters. Grind some concrete where there are trip hazards. Remove the ficus trees near the building. Code upgrades on the stairway and balcony guardrails. Replace the doors on the water heater cabinets on the north and south side. Adjust irrigation system. \$25,000

ESTIMATED COST: Color coat the existing stucco. It will need power washing and some patching/repair prior to color coating. Light repairs on the exterior wood. \$30,000

ESTIMATED COST: New carpet and floor covering in the typical unit. Some are about 1 year old. Paint walls and ceilings in a few units. Misc. interior upgrades. Cabinets and countertops are not anticipated to be replaced. Add drywall on walls between units. Repair drywall in the attic draftstops. \$36,000

ESTIMATED COST:	Replace or repair the fencing.	\$7,500
ESTIMATED COST:	Replace a few electrical sub-panels.	\$2,500

We understand that the apartment units will be substantially renovated. Renovation will include replacement of carpet and flooring, repair/replacement of bathroom fixtures, replacement of kitchen appliances, repair/replacement of windows and doors, replacement of smoke detectors, repair/replacement of bath tubs..., etc. on an as-need basis. It is DGB Survey and Mapping/Accredited Inspection's opinion that following the recommended repairs and renovation, the subject property will be fully serviceable and capable of being maintained with normal efforts.

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2.0 SCOPE OF WORK

Scope of Work for this PER is based upon the following outline, taken from the City's conversion instructions:

A. Buildings

- 1. Roofs
- 2. Foundations
- 3. Walls, Windows and Doors
- 4. Exterior Paint and Woodwork
- 5. Plumbing & Water Heaters
- 6. Mechanical
- 7. Electrical
- 8. Appliances
- 9. Energy & Insulation
- 10. Accessibility
- 11. Sound and Fire Ratings

B. Common Area

- 1. Pavement
- 2. Walkways
- 3. Landscaping/Plantings
- 4. Irrigation System
- 5. Swimming Pool/Spas/Saunas
- 6. Trash Areas
- 7. Mechanical
- 8. Electrical
- 9. Exterior Common Area Lighting
- 10. Walls and Fences
- 11. Drainage Facilities
- 12. Landscaping and Plantings
- 13. Irrigation System
- 14. Swimming Pool/Spa
- 15. Common Recreation Rooms
- 16. Trash Areas
- 17. Mechanical
- 18. Electrical
- 19. Exterior Common Area Lighting
- 20. Walls and Fences
- 21. Drainage Facilities

3.0 SALIENT INFORMATION

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Project	LH-02-06
Property Name	Hsieh Florida Street Apartments
Property Address	3953 Florida Street, San Diego, San Diego County, CA 92104
Year Built	Approx. 1988
Year Renovated	No major renovations have been made.
Zoning	MCCPD-MR-800B
Occupancy Group	Apartments: R-1
	Garage: B-1
Construction Type	VN, Not fire-sprinklered
Number of Buildings	2
Number of Apartments	18
Occupancy Rate	100%
Number of Stories	2
Basement	Subterranean garage under apartment building.
Size of Apartment	Various.
Total Building Area	Approximately 18,850 square feet
	Including 5200 square feet in the garage
Number of Parking Spaces	28
Property Visit Date	June 5, 2006 and April 12, 2007
Property Visit Conducted by	Andy French, General Contractor
	Master CREIA Inspector #0041
Accompanied By	Manager
	John Schaibly, Inspector's Assistant
Weather	Clear, low 60s to low 70s

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SYSTEM DESCRIPTION AND OBSERVATION

A. Buildings

1) Roofs

Description. The current roof appears to be original and therefore is 19 years of age. It can be expected to have a nominal life of 20-25 years.

Observations/Comments:

The roof had laminated architectural shingles. The sheet metal at the edge does not extend over the gutter allowing water to penetrate the roof edge in many places. Additional flashing is suggested at these locations.

There were aluminum gutters and downspouts. The downspouts were partially clogged. They drained into flowerbeds that may not have adequate drainage.

On the east side of the west roof, there were gaps near the valleys allowing rodents to enter the attic. These should be patched.

2) Foundation

Description: Original plans and specifications were reviewed. The garage area has a concrete footing under the concrete block walls. The walls are in retention of about 4-5 feet of soil on the north and south sides and about 8 feet on the east. The west side of the garage was essentially level between the slab and the exterior grade. The balance of the property have perimeter footings, placed monolithically with concrete slabs-on-grade. Doors and windows fit their frames reasonably well. The doors did not systematically swing on their own. The floors were generally level, however no slab level survey was conducted.

Observations/Comments: Visible portions of the foundations were observed to be in good condition. No cracks were seen in the stem wall. Walls and ceilings showed less buckling and cracking than normal indicating that slab movement or cracking is not significant. The footings appeared to have been properly sized. The foundation bolt details would not comply to today's larger bolt sizing, but the new 4 foot spacing issue is in compliance, per the plans.

There are retaining walls on the north and south boundary lines. No leaning or bowing was observed. Visually they appear to comply with the construction drawings.

The plans called for water proofing on the garage walls, and some retaining walls. This was not verifiable without intrusion. Very little efflorescence was seen on the inside of the garage walls however.

3) Walls, Windows and Doors

Description: Exterior walls of the apartment building were observed to be constructed of painted wood trim and stucco. Typically, the stucco is over lath on building paper. There may be plywood backing on wood studs on parts of the exterior wall area. Window and door openings are likely to have been reinforced with trimmer studs. The interiors were clad in 5/8" thick gypsum drywall. The second floor had a lightweight concrete substrate.

The front doors are insulated metal doors with a door knob and dead bolt hardware. Interior doors are typically of hollow core units. Windows are of aluminum framed glass sliding units with single pane glazing. Aluminum framed sliding glass doors are provided for all patios. Steel guardrails are provided for the patios and second floor landings.

Stairways, landings and balconies had metal pipe railings.

Observations/Comments: No significant distresses were noted on the walls. The walls remain to be straight, in line and plumb. Most had fresher paint with the exception of 1 unit.

In response to a question from the City Reviewers, it is not known what the total extent of drywall removal will be at this point. It almost certainly will exceed the \$1000 figure mentioned in the question, although the question was not clear whether \$1000 of drywall was the threshold for \$1000 of other work. It is understood that a building permit will be needed for most of the upgrades mentioned herein.

Window Egress: The bedroom windows are in compliance with the current standards for fire egress and fire rescue. There are not more than 44 inches to the sill from the floor. The minimum net clear width is at least 20 inches and the minimum net clear vertical opening is at least 24 inches. The windows also have at least 5.7 square feet of net openable space.

Generally, exterior walls appeared reasonably maintained and in good to fair condition. Stains were observed along the lower portion of the exterior walls at several locations. This appears to be caused by irrigation in some cases and roof runoff in others. The irrigation system should be thoroughly examined and necessary repairs and adjustments should be made to avoid hitting the wall. A head was missing in the front yard.

The fire extinguishers were located within 75 feet of each front door. They have recently been serviced.

The interior walls appear to be 5/8 inch thick gypsum board drywall. This results in the building being 1 hour rated for fire protection purposes. There was only one layer of drywall on each side of the wall between units (at the dining rooms typically). No added firewall thickness was observed. Adding a second layer at these locations is recommended.

Walls were seen in the attic, extending to the roof providing a draft stop separation between all units. In some cases there were holes that need to be taped to improve isolation.

The pipe railings do not conform to current standards. The horizontal rails allow unsafe climbing and are too widely separated. The gap between the bottom rail at the stairs allow passage of a 6" ball, adding an additional bottom rail is needed. A metal mesh liner may be the best solution to the climbing issue. There is approximately 150 linear feet of rail to be modified.

Windows were single pane aluminum. No solar film was noted. Approximately 1/3 of the screens were damaged or missing.

In approximately half of the units, the living room window was closer than 24 inches from the front door. The current standard requires tempered glass in these locations whenever the glass is replaced.

Interior ceilings and walls had light textured paint. No stains from current leaks were seen.

The kitchen ceilings on ground floor units were bowed sagging approximately 1 inch over 8 feet (e.g., units A, B and F).. They appear to be sound attenuated drywall over resilient channels. This seems to be more of an esthetic issue than a structural weakness.

Most living room ceilings had patches showing. The manager explained that the holes were made when water was re-piped (within the last 5 years). The holes need patching. The original piping was Qest polybutylene.

4) Exterior Paint and Woodwork

Description: The exterior typically was covered by painted stucco. Exterior painted surfaces include the stair and balcony railings, stucco, and wood trim.

Observations/Comments: Most surfaces have existing coatings which are serviceable except for outside window trim that needs repainting.

On the northwest corner wood damage was seen on the fascia. A pest control inspection is recommended.

There were stains under some second floor balconies and support posts had cracks. These were caused by old leaks and have been addressed by resurfacing the balconies.

The outside stucco needs power cleaning, and a color coat to address staining and discoloration.

The upper patio had a concrete surface with some planters. There were also some areas where planters have been removed. Some of this area shows aging. Near the stairway coming from the street there was evidence of ponding. The ceiling of the garage, below this area, has a few areas indicating water penetration. It appears that the waterproof liners in the planters are not adequate. Its anticipated that this area would be reconfigured in the conversion process.

The water heater enclosures extend within the setback provisions of the property lines along the north and south. Replacing the doors with noncombustible construction is suggested. The flashing where the roofs of these enclosures butt to the stucco should be addressed when the color coat is done.

5) Plumbing and Hot Water Heaters

Description: The plumbing system has been re-piped with copper water lines, ABS plastic drains in the attics, and on the interior black iron gas piping. There were stainless steel kitchen sinks, typically cultured marble bathroom lavatories, low flow or ultralow flow toilets. There were fiberglass bathtubs.

The building drains appear to connect with the municipal sewer. There were cleanouts observed on the exterior walls and on grade. The building drains were four inch diameter as seen in the garage.

There was a water shutoff at the northwest corner of the building. It was 2 inches in diameter.

Each unit had its own water heater located in exterior enclosures. Most were dated between 1996 and 2001.

There were 19 gas meters at the back of the building on the alley. This would be one for each unit as well as one for the laundry area.

Bathrooms had cultured marble sinks integral with vanity tops. Bathtubs were fiberglass with tempered glass doors. Toilets were 1.6 gallon/flush.

Observations/Comments: There was a backflow prevention device and a water pressure regulator at the northwest corner.

The water heater enclosures protrude within 2 feet from the property boundary. Although a few are the original from 1993, most have been replaced. The newer ones are mostly American or GE brand. Water heaters are 30 gallon rated and typically 32,000 BTUs per hour. They are currently serviceable although there were some stains inside the enclosures from old vent leaks.

None of the water heaters were strapped or blocked. Upgrade is required.

Underground gas pipe sections were seen for each unit. These should be pressure tested by a qualified plumber now and every 5 years.

Approximately half of the cultured marble lavatories have crazed surface cracking. They need to be replaced.

Three bathtubs were cracked and need patching and painting.

6) Mechanical

Description: Each unit had its own gas fired wall furnace. They were rated at 25,000 BTUs/Hour except for 1 that was 35,000. 7 were less than 5 years old and 11 were original. All thermostats were on the heater. The manager told us there was some tenant dissatisfaction with the accuracy of these thermostats.

There were bathroom exhaust fans. The kitchen range hoods were recirculating. Some bathrooms had windows, some did not.

There were ceiling fans in each dining area. There was no air conditioning.

Observations/Comments:.

Old wall heaters had no high limit switches, but did have 100% safety gas valves which shut flow to the pilot if the pilot goes out. New heaters had both. Most of the wall heaters were dirty.

7) Electrical

Description: The building has a 400 amp, 240 volt, 1 phase electrical service located at the alley in back. Each unit had its own meter and 30 amp main breaker located on the exterior of its building. The "house" panel had a 100 amp breaker. The main panels and the subpanels were GE brand. The building was served with overhead wiring from the SDG&E utility lines. The interior wiring was plastic sheathed cable. Some feeders were #6 aluminum and some were #10 copper. All interior wiring within the units was copper, where observed.

No GFCI outlets were seen in kitchens.

There were functioning electric doorbells. There were ground fault circuit interrupters at the bathrooms but not the kitchens. There was no ground fault circuit interrupter protection for the exterior receptacles. There were smoke alarms in the hall of each unit, although some did not function. There was a building fire alarm system.

Observations/Comments: Upgrading the ground fault circuit interrupter protection to include all receptacles serving the kitchen counters and all exterior and garage is recommended. Bathroom GFCI outlets often controlled the lights. Current standards require the restroom GFCI outlet on a circuit limited to serving restroom.

Adding smoke alarms in each sleeping room and replacing any nonfunctioning smoke alarms in the hallways is recommended. The new smoke alarms are allowed to be battery operated but the original replacements will be required to be permanently wired as part of the conversion. All of the smoke alarms need lights for visual signaling.

Two sub-panels were opened, and they showed moderate to heavy drywall/paint splatters on the bus bars. Further evaluation of the condition of the circuit breakers (e.g., no overheating or electrical arcing) is recommended. During the conversion, any damaged panel would need to be replaced. The manufacturers of electrical panels do not allow cleaning of the bus bars, as that process would remove the conductive coatings on the surface of the metal.

The current standards call for dedicated circuits for dishwasher, microwave, bathroom outlets and smoke detectors. This would require adding 4 circuits to each unit.

8) Appliances

Description: Each kitchen had a gas range, refrigerator, microwave, dishwasher and garbage disposal.

Kitchen cabinets had hardwood face frames, the doors had with plywood inserts, and there were particle board shelves. The cabinet tops were Formica.

Observations/Comments: Most appliances had been replaced within the last 3 years. Exceptions were 2 older ranges, 4 older refrigerators, and 2 worn out disposals.

Ranges did not have anti-tip devices. The range hoods were recirculating versus exhausting.

Cabinets and countertops were in serviceable condition although some drawer guides need replacing.

9) Energy and Insulation

Description: The building was insulated in the attic to approximately R-19 standards. The building plans indicated insulation in the exterior walls. There were some insulation between units indicated in the plans also.

Observations/Comments: The building was insulated with between 6 and 8 inches of loose fill fiberglass insulation. It seems likely that the building would come close to meeting current standards, but because these are a performance rather than prescription standard, a separate analysis would be needed as part of the permit process. Standards have tightened since the original construction.

Tinted windows on the south and west facing sides of the building would be desirable. However dual pane glazing is recommended if the windows are to be replaced during the conversion process. It is not known at this time whether the conversion will include upgrading these windows.

10) Accessibility

Description: The floor downstairs units at the east have wheelchair accessibility from the parking area to the front doors. These were also built as "B" units, with wider doors, corridors to accommodate wheelchair spacing, and according to the plans backing in the bathrooms for future handrails.

Observations/Comments: At this point, no additional alterations for accessibility seem to be needed. Any of these four units could be converted to full accessibility, should a future buyer or occupant need such features, much cheaper than conventional units.

10) Fire and Sound Ratings

Description: The building had no fire sprinkler system. 5/8" thick drywall was observed on ceilings and walls of the typical unit. This gives a 1 hour rating to the building. Draft stop separations were observed in the attics. Roof overhangs were called out to have 5/8" gypsum board under the stucco.

Sound ratings between units (STC 51 and 56 for walls) were found for wall assemblies in the plans. Although it appears that the construction complies with the drawings, some intrusive evaluation would be required to determine full compliance with the plans. Where resilient channels were provided on the ceiling, similar floor/ceiling assemblies have a 50 to 54 STC rating. No ratings were found for the floor/ceiling assemblies without resilient channels.

Observations/Comments: The separation between units would have 2 layers of drywall typically in today's standards. This is recommended during the conversion process. Attic draftstops need patching.

No exterior wall sound design was indicated on the plans, but they

B. Common Area

11) Pavement and Walkways

Description: A concrete parking lot was located at the east side of the property with 9 spaces accessible from the alley. It was connected to the courtyard areas with concrete paving. A parking garage was

located under the front part of the building with 19 well marked spaces (18 available for use).

There was an upper courtyard near the front of the building over the garage and a lower courtyard under the east half. Both were concrete with planters against the building.

Observations/Comments: The concrete block walls of the garage had small patches of surface efflorescence near the bottom of the walls and one patch high on the wall on the east side. This has not yet damaged the surface of the blocks.

The site concrete had cracks, some of which require grinding to avoid trip hazards. There were several drains in the upper courtyard that are trip hazards. They need new cover grills that are flush with the concrete.

Water appears to pond in many areas, some near unit doors (e.g., outside unit E where penetration was noted).

12) Landscaping/Plantings

Description: There were planters around the courtyards against the building containing shrubs and 19 year old trees.

Observations/Comments: Ficus trees should be removed from locations close to buildings. The roots can destroy planter structures and even the foundation.

Drainage from the planters did not appear to be adequate given that downspouts empty into them. Waterproofed lining material on at least 3 planters had pulled away from the container. These need to be emptied and the waterproofing flashed to the container before refilling with soil/plants. No evidence was seen of current leakage into the units.

13) Irrigation System

Descriptions: There was an automatic sprinkler system for the project. There were 4 zones. The controllers were in the laundry room and garage.

Observations/Comments: The sprinklers were tested manually. The zone nearest the laundry room did not function probably due to a clog.

The south zone in the front did not appear to function. In the north front zone, at least one head was missing.

Sprinklers hit the building in all functioning zones. Adjusting the sprinkler system to prevent any further damage should be an immediate concern.

14) Swimming Pool/Spa

Description: None.

Observations/Comments: NA

15) Common Recreation Rooms

Description: There are no common recreation rooms in the subject property, although there is a small laundry building with 3 washers and 3 dryers owned by the complex.

Observations/Comments: Dryers and 1 washer were older and 2 washers were newer. Room had ceramic tile floor and drywall walls and ceiling.

16) Trash Areas

Description: An area near the alley was designated for a trash dumpster.

Observations/Comments: Trash area appeared clean and without objectionable odor. The area appears to be serviceable.

17) Mechanical

Description: The garage had an exhaust fan system with automatic controllers.

There was a building fire alarm system with exterior bells and anunciators in each apartment unit.

The garage door had a $\frac{1}{2}$ HP opener. The photoelectric and pressure interrupts functioned properly.

Observations/Comments: The garage exhaust system functioned when manually tested. It needs service for loud vibrations. Its sensors do not appear to have been serviced. The system is not in current operation.

The building fire alarm system was outside the scope of this inspection.

18) Electrical

See A7 for details.

19) Exterior Common Area Lighting

Description: Lighting for these areas is provided by building wall mounted photoelectrically controlled lighting fixtures and at the stairways.

Observations/Comments: The property was not observed at night, but it appears that lighting is provided for proper illumination of the site at night.

20) Walls and Fences

Description: The property has older wood fencing on the north and south. There were metal gates serving the courtyard.

There is a retaining wall on the south side under the wood fence.

Observations/Comments: The fence has wood damage but is serviceable for the present. The retaining wall on the south side was not totally visible but appeared to be straight and undamaged.

The metal fence around the front yard is not secure and needs repair/replacement.

21) Drainage Facilities

Description: On-site drainage is on the surface concrete of the courtyards and on the south end of the parking area in back. The garage had a trench drain at the door (west side) and a sump pump at the lowest point (east side).

Observations/Comments: Drainage systems of the property generally appear to have positive slopes that lead water away from the building structures and towards the collection devices.

Water appears to pond in many areas, some near unit doors (e.g., outside unit E where penetration was noted). Penetration through the garage ceiling below also was noted near unit E.

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Drainage should be observed during a rainstorm to further identify drainage issues.

C. PICTURES





Part of garage exhaust system, which needs to be recommissioned.



Courtyard view



Water service area, including backflow and water pressure regulator.



Light wear showing on the asphalt shingles.



Typical kitchen, newer appliances



Typical bathroom.



Splatters on interior of an electrical subpanel. Further evaluation needed, but some panels will need replacement. END