



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: November 26, 2008 **REPORT NO. PC-08-149**

ATTENTION: Planning Commission, Agenda of December 4, 2008

SUBJECT: SANTA FE SUMMIT II AND III - PROJECT NO. 131969
PROCESS 2

**OWNER/
APPLICANT:** Kilroy Realty, L.P., owner (Attachment No. 14)
J. Randal Hanna, Architects Hanna Gabriel Wells

SUMMARY

Issue(s): Should the Planning Commission approve or deny an appeal for a permit and substantial conformance review of a commercial/industrial building development located on Torrey Santa Fe Road, within the Employment Center of the Torrey Highlands Subarea IV Plan?

Staff Recommendation: **DENY** the appeal and **APPROVE** Neighborhood Use Permit No. 601521 and Substantial Conformance Review No. 456129.

Community Planning Group Recommendation: There is not a recognized Community Planning Group within the Torrey Highlands Subarea IV Plan area.

Other Recommendations: The adjacent Rancho Penasquitos Planning Board (RPPB) has not made a formal recommendation on the project.

On September 4, 2008, the San Diego Regional Airport Authority's Airport Land Use Commission determined the proposed project is consistent with the MCAS Miramar Airport Land Use Compatibility Plan (Attachment No. 11)

Environmental Review: The City of San Diego as Lead Agency under the California Environmental Quality Act (CEQA), has reviewed and considered Mitigated Negative Declaration No. 40-0315, dated January 22, 2002, adopted by City Council Resolution No. R-296201, and prepared by the City of San Diego as Lead Agency covering this activity.

Fiscal Impact Statement: All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None

Housing Impact Statement: The proposed project is identified as the Employment Center and Resource (Proposed MSCP preserve) within the Torrey Highlands Subarea IV Plan. The Employment Center encompasses scientific research, corporate headquarters, research and development, light industrial/manufacturing, light warehousing uses, professional and corporate offices, hotel, and ancillary uses which may include: day care facilities, small restaurants, health club, gas station, and car wash facility. No residential units are proposed as part of this project.

BACKGROUND

The Torrey Santa Fe II and III project, a 21.73-acre pad developed site, is located on Torrey Santa Fe Road, southwest of State Route 56 and west of Camino del Sur in the IP-2-1, CV-1-2, and OC-1-1 zone(s) of the Torrey Highlands Subarea IV Plan area (Attachment No. 1). The triangular shaped project site is bounded to north and east by State Route 56, the south by Multi-Habitat Planning Area's open space, and an existing commercial/industrial office building development to the west (Attachment No. 2).

On March 19, 2002, City Council approved the Torrey Highlands project, a 79.02-acre subdivision and Planned Development Permit/Site Development Permit No. 40-0315 (Attachment No. 9) to create 20 lots for future commercial and industrial development with public improvements, and open space areas. The proposed project area is identified in the Torrey Highlands Subarea IV Plan as the "Employment Center" (Attachment No. 3). The Employment Center area is characterized with scientific research, corporate headquarters, research and development, light industrial/manufacturing, light warehousing uses, professional and corporate offices, hotel, and ancillary uses. The proposed Torrey Santa Fe II and III project is completely within the Torrey Highlands project's boundary and proposes a mix of commercial and industrial development on Lots 1 through 4, and 10 through 18.

Any development within the confines of the Torrey Highlands project area is required to comply with the Planned Development Permit/Site Development Permit No. 40-0315 conditions and exhibits of approval, including the project's design guidelines and development standards of the Employment Center (Attachment No. 10). Specifically, Planned Development Permit/Site Development Permit No. 40-0315 permit condition No. 30 requires the review of specific site development proposals to be accomplished through the Substantial Conformance Review (SCR), Process 2, application process. A Process 2 project decision is decided upon by City staff and is appealable to the City's Planning Commission. Kilroy Realty, the owner of the proposed Santa Fe Summit II and III Project, has applied for a Process 2, Neighborhood Use Permit (NUP) for the reallocation of sign area allowance and a Process 2, SCR for their proposed commercial and industrial development.

DISCUSSION

Project Description:

The Santa Fe Summit II and III project proposes the phased construction of four office buildings; Building No's 5, 6, 7, and 8, and three parking structures; "B," "C," and "D," on Lots 1 through 4, and 10 through 18. Lot 19 would remain an open space easement. The four buildings would provide a maximum of 600,000 square feet of office and the buildings would range from four to six stories in height in the IP-2-1 zone. Three multi-tier parking structures and surface parking would provide 2,400 off street parking spaces for the development. The project also includes the public improvements along Torrey Santa Fe Road, including new driveways and traffic control measures, and landscaping. The associated signage for the Santa Fe Summit II and III development includes wall signs, tenant ground signs, project beacons, and site identification signs.

Consistent with the Torrey Highlands project's Planned Development Permit/Site Development Permit No. 40-0315, City staff reviewed the proposed development with reference to the City's Land Development Code and the Employment Center's Design Guidelines and Development Standards that includes site development requirements, architectural, and landscape standards. During the City's review, it was determined that development substantially conforms with the Planned Development Permit/Site Development Permit No. 40-0315; however, the proposed project signage would not conform to the City Sign Regulations without the owner applying for a Neighborhood Use Permit to allow for the reallocation of wall sign area within the development.

The reallocation of sign area allowance may be permitted in the IP-2-1 and CV-2-1 zones, if the proposed signs, as a whole, are in conformance with the intent of the sign regulations and if the exceptions result in an improved relationship among the signs and building facades on the premises. The project is located along three public right-of-way roadways, State Route 56, Camino Del Sur, and Torrey Santa Fe Road, and proposes a campus style development with internal private roadway circulation. The allowable wall sign area is determined by the linear feet of the building's wall along the public street with wall sign copy area maximums of 200 and 250 square feet depending upon the Land Development Code's Sign Category. Rather than saturate the proposed parking structure walls with the allowable sign area, the applicant has reallocated 389 square feet of sign area appropriately to the proposed office buildings.

On October 16, 2008, the City published their Notice of Decision to approve the project's application for a Neighborhood Use Permit and Substantial Conformance Review of the Planned Development Permit/Site Development Permit No. 40-0315. On October 23, 2008, the Rancho Penasquitos Planning Board filed an appeal of the City Notice of Decision.

Community Plan Analysis:

The Torrey Highlands Subarea Plan identifies a 34-acre site located at the southern end of the community as an Employment Center. This project encompasses approximately 21 acres within this business area, which is bordered by State Route 56 to the north, Camino Del Sur to the east, the Torrey Santa Fe residential neighborhood to the west, and open space to the south.

The Employment Center was intended to consist of about 600,000 square feet (SF) of office development when the Subarea Plan was originally adopted in 1996. Allowable uses include scientific research, light industrial and manufacturing, professional and corporate office, and business support. In 2002, the subsequent Torrey Highlands project approval allowed the Employment Center to be developed pursuant to the underlying zones but, not to exceed approximately 1.1 million SF of office development as analyzed in the project's approved traffic analysis report. The traffic analysis report analyzed the expected trip generation, and solutions were identified to mitigate potential traffic-related issues. As of today, approximately 466,000 SF have been constructed at the Employment Center. This project proposes the development of the remaining 600,000 SF allowed by the Torrey Highlands' Planned Development Permit/Site Development Permit No. 40-0315.

One of the main planning principles identified in the Torrey Highlands Subarea Plan is to "create employment opportunities for area residents including.... office and research development in the employment center." The Employment Center is intended to be in proximity to the Local Mixed Use Center and residential areas in order to reduce traffic and "decrease the dependency on private automobiles for residents of Torrey Highlands." The proposed project would allow buildout of the Employment Center and thereby meeting the goal of the Subarea Plan.

The development at the Employment Center must also follow the design objectives identified in the Subarea Plan intended "to provide design guidance while providing flexibility through the long-term build-out" of Torrey Highlands. The Subarea Plan emphasizes that any development at the Employment Center must "ensure proper integration" as it relates to design, taking into consideration the adjacent Multiple Species Conservation Program (MSCP) open space area and nearby residential land uses. In addition, design guidelines were approved with the Planned Development Permit/Site Development Permit No. 40-0315. The project is in substantial conformance with the design guidelines and meets the objectives set forth in the Subarea Plan.

Environmental Analysis:

The City of San Diego as Lead Agency under CEQA, has reviewed and considered the proposed Santa Fe Summit II and III project with reference to the Torrey Highlands, Mitigated Negative Declaration No. 40-0315, dated January 22, 2002, and adopted by City Council Resolution No. R-296201. The project does not propose any new or additional impacts that have been previously analyzed by Mitigated Negative Declaration No. 40-0315 for the Torrey Highlands development. Therefore, the project's activity is adequately covered by the previous certified CEQA document.

Project-Related Issues:

The Santa Fe Summit II and III project is located in the Torrey Highlands Subarea IV Plan area and this Plan area does not have a recognized community planning group pursuant to Council Policies 600-05 and 600-24. The adjacent recognized community planning group, Rancho

Penasquitos Planning Board (RPPB), has acted on behalf of Council Policy 600-24 to review individual development projects within Torrey Highlands Subarea IV Plan area. The RPPB has actively reviewed and participated with the applicant on the proposed project. On October 23, 2008, the RPPB filed an appeal of the City Notice of Decision to approve the project's Neighborhood Use Permit and Substantial Conformance Review (Attachment No. 8). The RPPB grounds for the appeal are stated below along with the City's response:

1. We feel this application does not qualify as a Substantial Conformance Review and that the City has erred in processing it as such. The proposed Santa Fe Summit II and III project is located within the City Council approved Torrey Highlands Project site. Any development within the confines Torrey Highlands Project area is required to comply with the Planned Development Permit/Site Development Permit No. 40-0315 conditions and exhibits of approval, including the project's design guidelines and development standards of the Employment Center. Specifically, Planned Development Permit/Site Development Permit No. 40-0315 condition No. 30 requires the review of specific site development proposals to be accomplished through the Substantial Conformance Review (SCR), Process 2, application process.

Kilroy Realty, the owner of the proposed project, has applied for a Process 2, Neighborhood Use Permit for the reallocation of sign area allowance and a Process 2, SCR for their proposed commercial and industrial development. Pursuant to San Diego Municipal Code (SDMC) Sec. 112.0103, when an applicant applies for more than one permit, map, or other approval for a single development, the applications shall be consolidated for processing and shall be reviewed by a single decision maker. The decision maker shall act on the consolidated application at the highest level of authority for that development. The City staff has reviewed and processed the subject applications in accordance with the SDMC.

2. We have been in active negotiations with both the City staff and the applicant for more than a year regarding the redesign of this project. While we have reached a tentative agreement on certain issues, it was unequivocally clear to the applicant that they were to return to our Community Planning Group for evaluation of and comment on their new plans before proceeding with permit approval by the City. They did not do this. Any claim by the applicant that this was not our express agreement with them is categorically incorrect. On March 5, 2008, the RPPB made a non-binding, advisory only vote to not oppose the project as proposed with structures not exceeding six stories in height (Attachment No. 12). On October 8, 2008, Kilroy Realty, contacted the City and requested staff to continue processing their application, including a Notice of Decision (Attachment No. 13). The City did not receive a formal recommendation from the RPPB.

Conclusion:


City staff has determined the proposed Santa Fe Summit II and III project, with the adoption of permit conditions for the reallocation of wall sign area within the development, complies with the applicable sections of the Municipal Code, and substantially conforms to the Torrey Highlands project's Planned Development Permit/Site Development Permit No. 40-0315, the exhibits of approval, including the project's design guidelines and development standards of the Employment Center, and the previously certified Mitigated Negative Declaration No. 40-0315.

Staff has determined the required findings can be made to support the decision to approve the proposed project. Staff recommends the Planning Commission deny the appeal and reaffirm the Development Services Department's decision to approve the Neighborhood Use Permit and Substantial Conformance Review for the project.

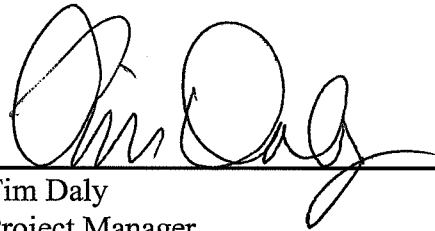
ALTERNATIVES

1. **Deny the appeal and Approve** Neighborhood Use Permit No. 601521 and Substantial Conformance Review No. 456129, **with modifications.**
2. **Approve the appeal and Deny** Neighborhood Use Permit No. 601521 and Substantial Conformance Review No. 456129, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Tim Daly
Project Manager
Development Services Department

BROUGHTON/TPD

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Project Data Sheet
5. Project Plans
6. Draft Permit with Conditions
7. Draft Resolution with Findings
8. Copy of Appeal
9. Recorded copy Torrey Highlands, Planned Development Permit/Site Development Permit No. 40-0315
10. Planned Development Permit/Site Development Permit No. 40-0315, Exhibit A, The Employment Center at Torrey Highlands, Planned Development Permit Design Guidelines and Development Standards, Oct. 12, 2001
11. ALUC Resolution
12. RPPB Meeting Minutes, March 5, 2008
13. Kilroy Realty email to City staff, Oct. 8, 2008
14. Ownership Disclosure Statement
15. Project Chronology



Project Location Map

SANTA FE SUMMIT II AND III – PROJECT NUMBER 131969

Torrey Santa Fe Road



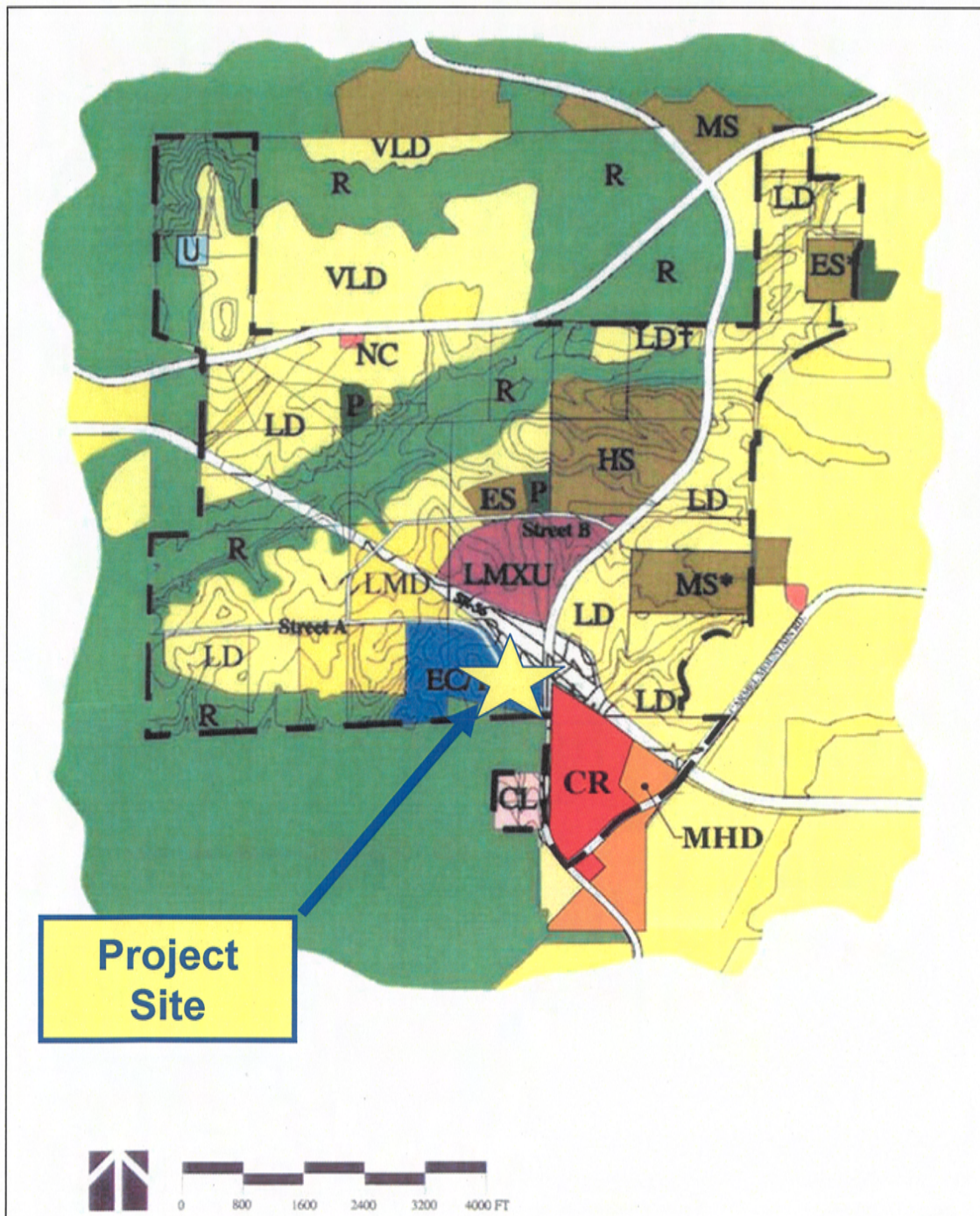


Aerial Photo

SANTA FE SUMMIT II AND III - PROJECT NUMBER 131969

Torrey Santa Fe Road





Torrey Highlands Subarea IV Land Use Map
SANTA FE SUMMIT II AND III – PROJECT NUMBER 131969
Torrey Santa Fe Road



PROJECT DATA SHEET

PROJECT NAME:	SANTA FE SUMMIT II AND III	
PROJECT DESCRIPTION:	Construct four office buildings (max. of 600,000 sf) and three parking structures along with surface parking for 2,400 off street parking spaces on a 21.73-acre pad developed site located on Torrey Santa Fe Road, southwest of State Route 56 and west of Camino del Sur.	
COMMUNITY PLAN AREA:	Torrey Highlands Subarea IV	
DISCRETIONARY ACTIONS:	Neighborhood Use Permit, and Substantial Conformance Review	
COMMUNITY PLAN LAND USE DESIGNATION:	Employment Center/Transit Center	
<u>ZONING INFORMATION:</u> ZONE: IP-2-1, CV-1-2, and OC-1-1 zone(s) HEIGHT LIMIT: IP-2-1, no max.; CV-1-2, 45-ft. LOT SIZE: IP-2-1, 40,000 sf min.; CV-1-2, 5,000 sf min. FLOOR AREA RATIO: IP-2-1 & CV-1-2, 2.0 max. FRONT SETBACK: IP-2-1, 20-ft min; CV-1-2, none SIDE SETBACK: IP-2-1, 15-ft min; CV-1-2, 10-ft min. STREETSIDE SETBACK: IP-2-1, 20-ft min; CV-1-2, none REAR SETBACK: IP-2-1, 25-ft min; CV-1-2, 10-ft min. PARKING: IP-2-1, 5.0/1000 sf; CV-1-2, 2.5/1000 sf		
<u>ADJACENT</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
<u>PROPERTIES:</u>		
NORTH:	SR-56 & Local Mixed Use; AR-1-1 & CC-3-4	Roadway and Commercial Retail
SOUTH:	Resource; AR-1-2	Open Space
EAST:	SR-56 & Comm. Regional; AR-1-1 & CC-1-3	Roadway & Convenience Store/Gas
WEST:	Employment Center/Transit Center; IP-2-1	Industrial/Office
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	None	

directory

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GREG NOWELL
SCOTT SANDEL
ANGELA BARLEY

legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 8, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-370-16 through 25 & 28 through 31

PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET, INCLUDING THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.

EXISTING APPROVALS: POP 40-0315, SCR 338059 (LOTS 10-19)

PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT

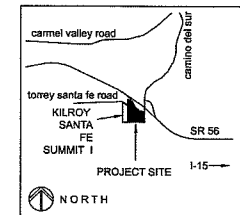
ZONE: IP-2-1, CV-1-2, OC-1-1

FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)

LOT AREA: 918,067 S.F. (SUM: 486,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))

PROPOSED FLOOR AREA: 600,000 S.F. TOTAL [600,000 S.F. OFFICE]

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS: (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	6
	4	6

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SP2 STREET WALL CALCULATIONS AND SECTION
SP3 BUILDING WALL SIGNS
SP4 GROUND SIGNS

ARCHITECTS
hanna gabriel wells

substantial conformance review

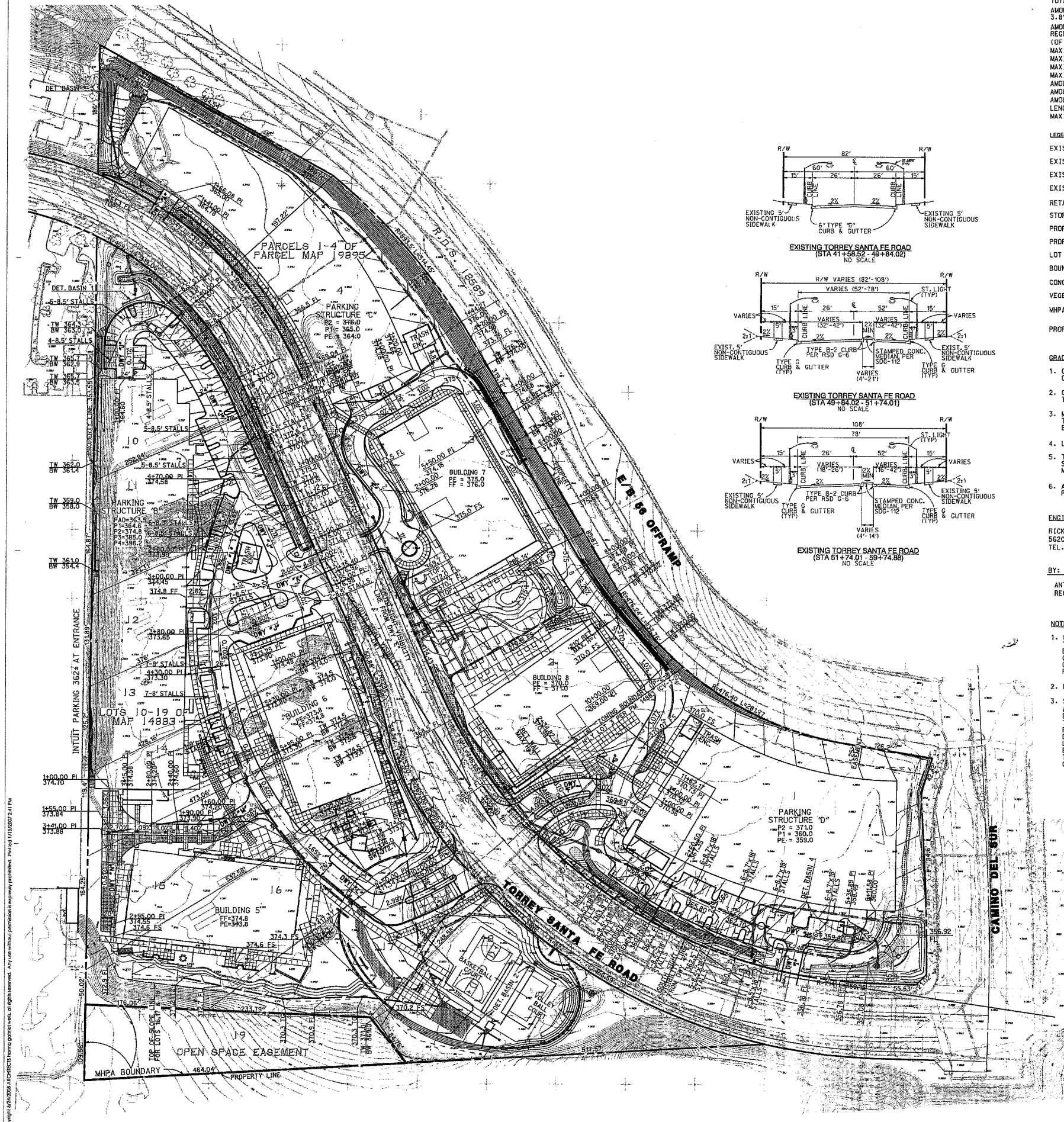
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tel: 619.523.8485
fax: 619.523.8487
project address:
TORREY SANTA FE ROAD
SAN DIEGO, CA
project name:
SANTA FE SUMMIT 2 & 3
sheet title:

8
7
6
5
4 2008 sept 25 - cycle 5
3 2008 june 28 - cycle 4
2 2007 december 14 - cycle 3
1 2007 august 24 - cycle 2
revisions:
original date:
2007 may 31

C1.0 CONCEPTUAL GRADING PLAN

sheet 1 of 29

PTSR 131969



GRADING DATA

TOTAL SUBSTANTIAL CONFORMANCE AREA: 21.73
TOTAL AMOUNT OF SITE TO BE GRADED: 20.81 AC., 96% OF TOTAL SITE AREA
AMOUNT OF SITE WITH 25% SLOPES OR GREATER: 0.79 AC., 3.8% OF AREA TO BE GRADED
AMOUNT OF SITE WITH SLOPES THAT ARE SUBJECT TO ESL REGULATIONS (LDC SEC. 143.0110): NONE
(OF AREA TO BE GRADED PER THIS SUBSTANTIAL CONFORMANCE AREA)
MAXIMUM HEIGHT OF FILL SLOPE: 27 FEET AT 2:1 SLOPE
MAXIMUM HEIGHT OF CUT SLOPE: 5 FEET AT 2:1 SLOPE
MAXIMUM DEPTH OF CUT: 39 FEET (FROM ORIGINAL GROUND)
MAXIMUM DEPTH OF FILL: 27 FEET (FROM ORIGINAL GROUND)
AMOUNT OF EARTHWORK CUT VOLUME: 83,300 CUBIC YARDS
AMOUNT OF EARTHWORK FILL VOLUME: 40,700 CUBIC YARDS
AMOUNT OF IMPORT/EXPORT VOLUME: 42,600 CUBIC YARDS
LENGTH OF RETAINING WALLS: 1,300 FEET
MAXIMUM RETAINING WALL HEIGHT: 7 FEET

LEGEND

EXISTING CONTOUR	510
EXISTING LOT LINE & DIMENSION	139.0'
EXISTING STORM DRAIN	
EXISTING CURB, GUTTER AND SIDEWALK	
RETAINING WALL	
STORM DRAIN	
PROPOSED FINISH GRADE	515
PROPOSED 2:1 SLOPE	
LOT NUMBER	3
BOUNDARY	
CONCRETE DITCH	
VEGETATED SWALE	
MHPA BOUNDARY	
PROPOSED SIGHT VISIBILITY EASEMENT	

GRADING NOTES

- CUT AND FILL SLOPES ARE 2:1 OR FLATTER UNLESS NOTED OTHERWISE.
- GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO REVISION DURING FINAL DESIGN PROCESS.
- MANUFACTURED SLOPES LOCATED IN AREAS TRANSITIONING TO NATURAL OPEN SPACE SHALL BE CONTOUR GRADED TO BLEND WITH NATURAL TERRAIN.
- LAMBERT COORDINATES: 290-1725
- TOPOGRAPHY SHOWN ON THIS SURVEY IS BASED UPON AERIAL SURVEY PREPARED BY RICK ENGINEERING COMPANY ON MARCH 28, 2007.
- A SWPPP AND NOI WILL NEED TO BE SUBMITTED TO THE CITY PRIOR TO THE ISSUANCE OF THE GRADING PERMIT.

ENGINEER OF WORK

RICK ENGINEERING COMPANY
5620 FRIARS ROAD
TEL.: (619) 291-0707

BY: DATE:

ANTHONY M. DIELI
REGISTRATION EXPIRES 12/31/08

NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- FOR ENVIRONMENTAL NOTES, SEE SHEET C3.0
- SIGHT LINES ARE SHOWN AT DRIVEWAYS "B", "F" & "L" WITH SIGHT VISIBILITY EASEMENTS BEING REQUIRED FOR DRIVEWAY "F" TO THE SOUTH AND "L" TO THE NORTH. SEE SIGHT VISIBILITY REPORT PREPARED BY RICK ENGINEERING, DATED DECEMBER 12, 2007. VEGETATION WITHIN SIGHT LINE AREA SHALL BE MAINTAINED AT 30" IN HEIGHT, EXCEPT FOR STREET TREES, WHICH SHALL HAVE BRANCHES TRIMMED TO 7 FEET ABOVE GRADE. SEE LANDSCAPE CONCEPT DRAWING FOR FURTHER DETAILS.

directory

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LEO HERNANDEZ
KELLY CROWE

landscape architect:
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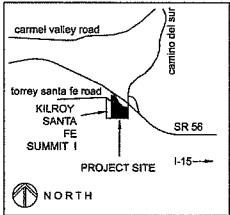
legal description

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development summary

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EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,087 S.F. (SUM: 486,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL [600,000 S.F. OFFICE]

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS: (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
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hanna gabriel wells

substantial conformance review

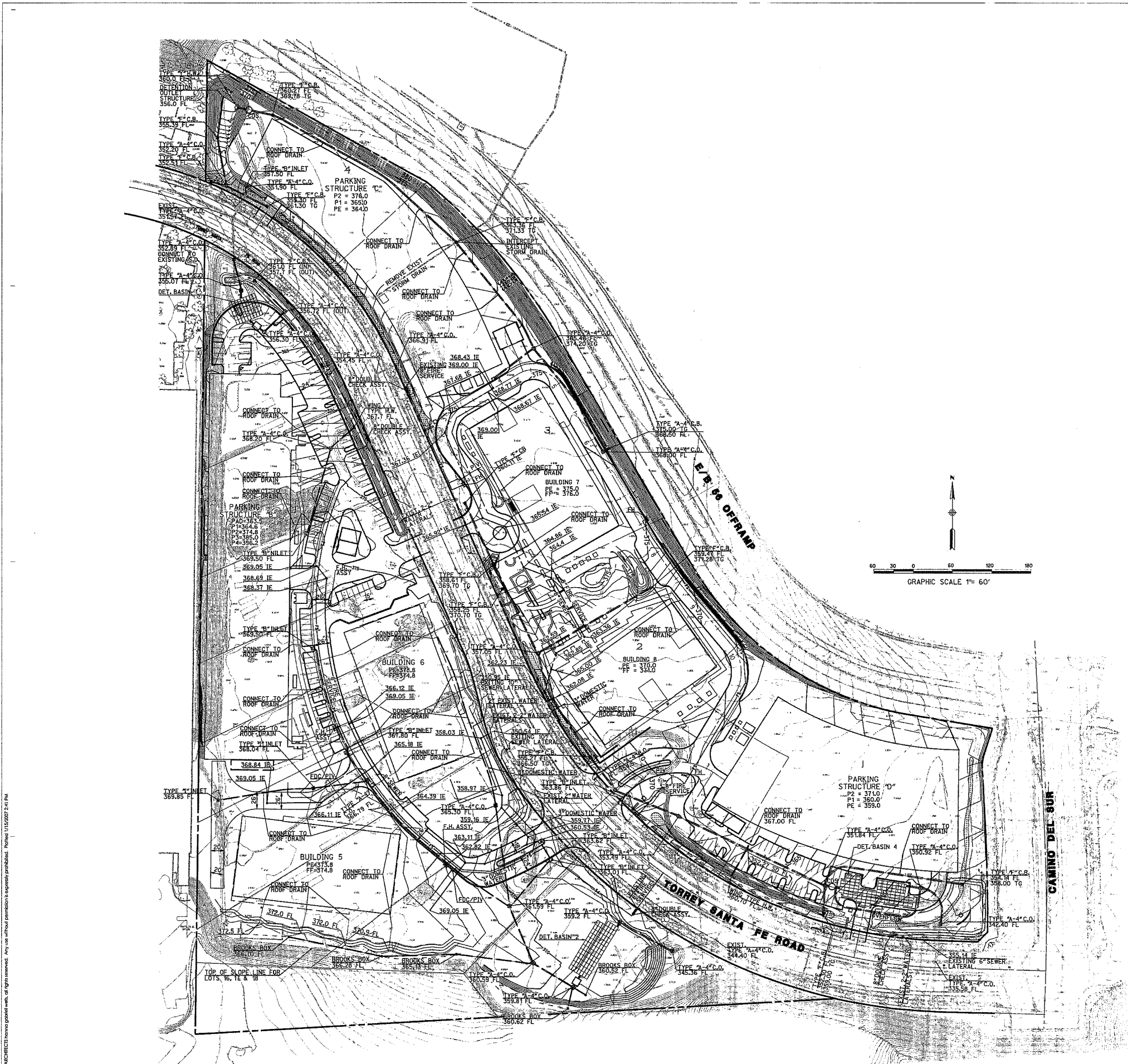
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SANTA FE SUMMIT 2 & 3
sheet title:

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original date:
2007 may 31

C2.0 CONCEPTUAL UTILITY PLAN

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PTS 131969



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legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 8, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-370-16 through 25 & 28 through 31

PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.

EXISTING APPROVALS: POP 40-0315, SCR 338059 (LOTS 10-19)

PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW

NEIGHBORHOOD USE PERMIT

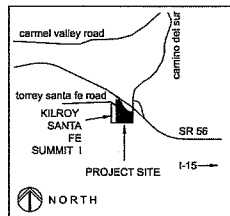
ZONE: IP-2-1, CV-1-2, OC-1-1

FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)

LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))

PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	5
	4	4

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C3.0 ENVIRONMENTAL NOTES

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ENVIRONMENTAL REQUIREMENTS

THE TORREY SANTA FE/KILROY PROJECT IS SUBJECT TO A MITIGATION MONITORING AND REPORTING PROGRAM AND SHALL CONFORM TO THE MITIGATION CONDITIONS AS CONTAINED IN AND LOR NO. 40-03-51.

BIOLOGICAL RESOURCES

1. PRIOR TO RECDATION OF THE FIRST FINAL MAP, IMPACTS TO SENSITIVE BIOLOGICAL RESOURCES SHALL BE MITIGATED IN PART BY THE RECDATION OF A BOUNDARY ADJUSTMENT TO THE MULTI-HABITAT PLANNING AREA (MPPA) WITH THE REMOVAL OF 2.22 ACRES OF HABITAT FROM THE SOUTHERN PORTION OF THE SITE, AND ADDING 2.22 ACRES OF THE MPPA IN OTAY MESA. THE 2.22 ACRES TO BE REMOVED CONSISTS OF 0.49 ACRES OF COASTAL SAGE SCRUB (A TIER II HABITAT) AND 1.73 ACRES OF NON-NATIVE GRASSLAND (A TIER II HABITAT). THE ADD-IN AREAS SELECTED FOR INCLUSION IN THE MPPA OTAY MESA CONSISTS OF 2.22 ACRES OF MARITIME SUCCULENT SCRUB (A TIER I HABITAT).

2. PRIOR TO THE ISSUANCE OF THE FIRST FINAL MAP AND/OR ISSUANCE OF THE FIRST GRADING PERMIT, THE CITY MANAGER SHALL VERIFY THAT IMPACTS TO SENSITIVE BIOLOGICAL RESOURCES HAS BEEN MITIGATED THROUGH THE FOLLOWING METHODS:

A. FOUR SEPARATE AREAS RANGING IN SIZE FROM 0.24 ACRES TO 1.25 ACRES HAVE BEEN ADDED TO THE MPPA AS DESCRIBED IN THE TORREY HIGHLANDS EMPLOYMENT CENTER (ADD OF LAND DEVELOPMENT REVIEW (LDR) RECDATION OF THE FIRST FINAL MAP, THESE ADDITIONS INCLUDE 0.35 ACRES OF COASTAL SAGE SCRUB, 0.21 ACRES OF NON-NATIVE GRASSLAND, AND 1.24 ACRES OF RUDEHAL HABITAT; AND

B. RETENTION OF 0.96 ACRES OF MPPA LAND (0.79 ACRES OF COASTAL SAGE SCRUB AND 0.17 ACRES OF NON-NATIVE GRASSLAND) WITHIN THE EMPLOYMENT CENTER SITE AND

C. ACQUISITION OF 6.41 ACRES OF NON-NATIVE GRASSLAND WITHIN THE MPPA WITHIN SUB AREA IV OR ACQUISITION OF 12.82 ACRES OF NON-NATIVE GRASSLAND WITHIN THE MPPA OUTSIDE OF SUB AREA IV.

3. PRIOR TO THE ISSUANCE OF ANY GRADING PERMITS, THE OWNER/PERMITTEE SHALL PROVIDE A LETTER TO THE ASSISTANT DEPUTY DIRECTOR (ADD OF LAND DEVELOPMENT REVIEW (LDR) VERIFYING THAT A QUALIFIED BIOLOGIST HAS BEEN RETAINED TO IMPLEMENT THE BIOLOGICAL MITIGATION MEASURES AS OUTLINED BELOW:

A. IF CONSTRUCTION OCCURS DURING THE BREEDING SEASON (FEBRUARY 1 THROUGH AUGUST 15), THE FOLLOWING MEASURES SHALL BE IMPLEMENTED:

D. PRIOR TO THE COMMENCEMENT OF GRADING, THE PROJECT BIOLOGIST SHALL SURVEY THOSE AREAS OF THE MULTI-HABITAT PLANNING AREA (MPPA) WITHIN 500 FEET OF ANY CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE USFWS PROTOCOL FOR DETERMINING THE PRESENCE/ABSENCE OF GNATCATCHERS AND SHALL NOTIFY THE ADD OF THE RESULTS.

D. IF NO CALIFORNIA GNATCATCHERS ARE FOUND TO BE PRESENT, THEN NO ADDITIONAL MEASURES ARE REQUIRED.

III. IF IT IS DETERMINED THAT CALIFORNIA GNATCATCHERS ARE PRESENT, CONSTRUCTION SHALL BE SUSPENDED UNTIL THE BREEDING SEASON OR NOISE/LINE OF SIGHT BARRIERS SHALL BE CONSTRUCTED TO BUFFER NOISE AT THE EDGE OF THE OCCUPIED HABITAT. THE LOCATION OF ANY SUCH BARRIERS SHALL BE DETERMINED BY THE PROJECT BIOLOGIST.

IV. CONSTRUCTION NOISE SHALL BE MONITORED BY AN ACOUSTICAL EXPERT ON AN ONGOING BASIS TO VERIFY THAT NOISE AT THE EDGE OF GNATCATCHER OCCUPIED AREAS OF THE MPPA IS MAINTAINED BELOW 60 DB HOURLY AVERAGE. IF THE LEVEL IS EXCEEDED, ADDITIONAL MEASURES, SUCH AS RESTRICTIONS ON THE TIMING OF CONSTRUCTION, SHALL BE IMPLEMENTED TO THE SATISFACTION OF THE ADD.

V. NOT EFFECTIVE, CONSTRUCTION ACTIVITIES SHALL CEASE IN THE AREA OF OCCUPIED HABITAT WITHIN THE MPPA.

VI. MONTHLY LETTER REPORTS SHALL BE PROVIDED TO THE ADD WITH THE RESULTS OF NOISE MONITORING AND AN ASSESSMENT OF THE BREEDING BEHAVIOR OF THE GNATCATCHERS.

B. THE QUALIFIED BIOLOGIST SHALL ENSURE THAT ALL CONSTRUCTION TAKING PLACE WITHIN AND ADJACENT TO THE MPPA IS CONSISTENT WITH THE MULTIPLE SPECIES CONSERVATION PROGRAM (MSCP) LAND USE ADJACENT GUIDELINES INCLUDING:

D. ALL LIGHTING ADJACENT TO THE MPPA SHALL BE SHIELDED, UNIDIRECTIONAL, LOW PRESSURE SODIUM LUMINOUS, OR SIMILAR AND DIRECTED AWAY FROM PRESERVE AREAS USING APPROPRIATE PLACEMENT AND SHIELDS.

D. NO NEW, EXOTIC, INVASIVE SPECIES SHALL BE UTILIZED IN OR ADJACENT TO THE MPPA. ALL NON-PROTECTED HYDROSEEDED REVEGETATION AREAS AND AREAS ADJACENT TO THE MPPA SHALL CONSIST OF NATIVE OR NON-INVASIVE SPECIES TO THE SATISFACTION OF THE ADD.

III. NO DIRECT DRAINAGE INTO THE MPPA SHALL OCCUR DURING AND AFTER CONSTRUCTION. THE BIOLOGIST SHALL ENSURE THAT FILTRATION DEVICES, SWALES, AND/OR DETENTION BASINS ARE USED AS NEEDED DURING CONSTRUCTION.

IV. NO TRASH, OIL, PARKING, OR OTHER CONSTRUCTION-RELATED ACTIVITIES SHALL BE ALLOWED OUTSIDE THE ESTABLISHED LIMITS OF CONSTRUCTION-RELATED ACTIVITIES.

C. IF REMOVAL OF ANY EUCALYPTUS TREES WITHIN THE PROPOSED AREA IS PROPOSED DURING THE RAPTOR BREEDING SEASON (FEBRUARY 1 THROUGH SEPTEMBER 15) THE BIOLOGIST SHALL ENSURE THAT NO RAPTORS ARE NESTING IN SUCH TREES. SHOULD THE BIOLOGIST DETERMINE THAT RAPTORS ARE NESTING, THE TREES SHALL NOT BE REMOVED UNTIL AFTER THE BREEDING SEASON.

LAND USE

1. PRIOR TO THE RECDATION OF THE FIRST FINAL MAP, IMPACTS TO LAND USE SHALL BE MITIGATED BY THE RECDATION OF A BOUNDARY ADJUSTMENT TO THE MULTI-HABITAT PLANNING AREA (MPPA) WITH THE REMOVAL OF 2.22 ACRES OF HABITAT FROM THE MPPA ALONG THE SOUTHERN PORTION OF THE SITE, AND ADDING 2.22 ACRES OF THE MPPA IN OTAY MESA. THE 2.22 ACRES OF REMOVED CONSISTS OF 0.49 ACRES OF COASTAL SAGE SCRUB (A TIER II HABITAT) AND 1.73 ACRES OF NON-NATIVE GRASSLAND (A TIER II HABITAT). THE ADD-IN AREAS SELECTED FOR INCLUSION IN THE MPPA OTAY MESA CONSISTS OF 2.22 ACRES OF MARITIME SUCCULENT SCRUB (A TIER I HABITAT).

PALEONTOLOGICAL RESOURCES

1. PRIOR TO ISSUANCE OF A NOTICE TO PROCEED (NTP), GRADING PERMIT, OR DEMOLITION PERMIT (WHICHEVER OCCURS FIRST), THE APPLICANT SHALL PROVIDE A LETTER OF VERIFICATION TO THE ASSISTANT DEPUTY DIRECTOR (ADD OF LAND DEVELOPMENT REVIEW (LDR) RECDATION OF THE FIRST FINAL MAP, THE QUALIFIED PALEONTOLOGIST SHALL ENSURE THAT THE PROJECT CONSTRUCTION ACTIVITIES SHALL BE MITIGATED THROUGH THE FOLLOWING METHODS:

2. PRIOR TO THE ISSUANCE OF THE FIRST GRADING PERMIT, THE ADD SHALL VERIFY THAT THE REQUIREMENT FOR PALEONTOLOGICAL MONITORING HAS BEEN NOTED ON THE GRADING PLANS.

3. PRIOR TO BEGINNING CONSTRUCTION (ANY WORK ON SITE) THE OWNER/PERMITTEE SHALL AFFRANGE A PRE-CONSTRUCTION MEETING THAT SHALL INCLUDE THE PALEONTOLOGIST, THE CITY RESIDENT ENGINEER OR GRADING CONTRACTOR, RESIDENT ENGINEER (REL), AND JMC. THE QUALIFIED PALEONTOLOGIST SHALL ATTEND ANY GRADING RELATED PRE-CONSTRUCTION MEETINGS TO MAKE COMMENTS AND/OR SUGGESTIONS CONCERNING THE PALEONTOLOGICAL MONITORING PROGRAM WITH THE CONSTRUCTION MANAGER AND/OR GRADING CONTRACTOR. AT THE PRE-CONSTRUCTION MEETING THE PALEONTOLOGIST SHALL SUBMIT TO THE JMC A COPY OF THE SITE/GRADING PLAN (REVISED) THAT IDENTIFIES AREAS TO BE MONITORED. THE PALEONTOLOGIST ALSO SHALL SUBMIT A CONSTRUCTION SCHEDULE INDICATING WHEN MONITORING IS TO OCCUR. THE PALEONTOLOGIST SHALL NOTIFY JMC OF THE START AND END OF MONITORING.

4. THE QUALIFIED PALEONTOLOGICAL MONITOR SHALL BE PRESENT FULL-TIME DURING THE INITIAL CUTTING OF PREVIOUSLY UNDISTURBED FORMATIONS WITH HIGH AND MODERATE RESOURCE SENSITIVITY AND SHALL DOCUMENT ACTIVITY VIA THE CONSULTANT SITE VISIT RECORD. THIS RECORD SHALL BE FAXED TO THE BE AND JMC EACH WEEK, INCLUDING A 14-FOOT WIDE MEDIAN, CURB, GUTTER, AND A 5-FOOT RIGHT-OF-WAY, SATISFACTORY TO THE CITY ENGINEER. CONSTRUCTION OCCURRED WITH CITY OF SAN DIEGO DRAWING 33317-D.

5. IN THE EVENT OF A SIGNIFICANT PALEONTOLOGICAL DISCOVERY, AND WHEN REQUESTED BY THE PALEONTOLOGIST, THE CITY RESIDENT ENGINEER (REL) SHALL DOWNT, DIRECT, OR TEMPORARILY HALT CONSTRUCTION ACTIVITIES IN THE AREA OF DISCOVERY TO ALLOW RECOVERY OF FOSSIL REMAINS. THE DETERMINATION OF SIGNIFICANCE SHALL BE AT THE DISCRETION OF THE QUALIFIED PALEONTOLOGIST. THE QUALIFIED PALEONTOLOGIST SHALL PROVIDE A LETTER OF DISCOVERY TO THE CITY ENGINEER. THE QUALIFIED PALEONTOLOGIST SHALL ALSO IMMEDIATELY NOTIFY JMC STAFF OF SUCH FINDING AT THE TIME OF DISCOVERY. JMC STAFF WILL PROVIDE APPROPRIATE LIAISON STAFF CONTACT FOR CONSULTATION.

6. THE PALEONTOLOGIST SHALL BE RESPONSIBLE FOR PREPARATION OF FOSSILS TO A POINT OF CURATION AS OFFERED BY THE CITY OF SAN DIEGO. THE PALEONTOLOGIST SHALL SUBMIT A LETTER OF ACCEPTANCE FROM A LOCAL QUALIFIED CURATION FACILITY. IF THE FOSSIL COLLECTION IS NOT ACCEPTED BY A LOCAL QUALIFIED FACILITY FOR REASONS OTHER THAN INADEQUATE PREPARATION OF SPECIMENS, THE PROJECT PALEONTOLOGIST SHALL CONTACT LOR TO SUGGEST AN ALTERNATIVE DISPOSITION OF THE COLLECTION.

7. THE PALEONTOLOGIST SHALL BE RESPONSIBLE FOR THE RECDATION OF ANY DISCOVERED FOSSIL SITES AT THE SAN DIEGO NATURAL HISTORY MUSEUM.

8. PRIOR TO THE RELEASE OF THE GRADING BOND, TWO COPIES OF THE MONITORING RESULTS REPORT, WITH APPROPRIATE GRAPHS, DESCRIBING THE RESULTS, ANALYSIS, AND CONCLUSIONS OF THE ABOVE MONITORING PROGRAM SHALL BE SUBMITTED TO MCC FOR APPROVAL BY THE ADD OF LOR.

NOISE
PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A FINAL ACOUSTICAL REPORT TO THE SATISFACTION OF THE CITY MANAGER. THE CITY MANAGER SHALL VERIFY THAT ALL MEASURES IDENTIFIED IN THE APPROVED REPORT WERE ARE NECESSARY TO ACHIEVE NOISE LEVELS OF 75DB(A) CNEL OR LOWER FOR EXTERIOR USABLE SPACES FOR OFFICES, BUSINESSES AND PROFESSIONAL USES AND 75DB(A) CNEL OR LOWER AT EXTERIOR USABLE SPACES FOR COMMERCIAL, RETAIL, AND INDUSTRIAL USES. IN ADDITION, THE APPROVED REPORT MUST IDENTIFY MEASURES TO REDUCE NOISE LEVELS AT EXTERIOR USABLE SPACES OF RESIDENTIAL USES, INCLUDING HOTELS AND MOTELS, TO 65DB(A) CNEL OR LOWER.

HYDROLOGY/WATER QUALITY

1. HYDROLOGY/WATER QUALITY: CONSTRUCTION PHASE (SHORT-TERM MITIGATION MEASURES)

A. PRIOR TO ISSUANCE OF ANY GRADING PERMITS, DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) ORDER NO. 92-08-020 (IMPDES GENERAL PERMIT NO. CA01018804) AND THE OWNER/PERMITTEE SHALL SUBMIT EVIDENCE TO THE SATISFACTION OF THE ADD OF LOR THAT A CLEAN WATER ACT SECTION 401 WATER QUALITY CERTIFICATION FROM THE SWRCB HAD BEEN OBTAINED. (IN ACCORDANCE WITH SAID PERMIT(S)), A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND A MONITORING PROGRAM PLAN SHALL BE DEVELOPED AND IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES, AND A COMPLETE AND ACCURATE NOTICE OF INTENT (NOI) SHALL BE FILED WITH THE SWRCB.

PRIOR TO ISSUANCE OF ANY GRADING PERMITS, A COPY OF THE ACKNOWLEDGEMENT FROM THE SWRCB THAT AN NOI HAS BEEN RECEIVED FOR THIS PROJECT SHALL BE FILED WITH THE CITY OF SAN DIEGO. FURTHER, A COPY OF THE COMPLETED NOI FROM THE SWRCB SHOWING THE PERMIT NUMBER FOR THIS PROJECT SHALL ALSO BE FILED WITH THE CITY OF SAN DIEGO.

IN ADDITION, THE PERMITTEE/OWNER(S) AND SUBSEQUENT PERMITTEE/OWNER(S) OF ANY PORTION OF THE PROPERTY COVERED BY THIS GRADING PERMIT AND BY SWRCB ORDER NO. 92-08-020 AND ANY SUBSEQUENT AMENDMENTS THERE TO, SHALL COMPLY WITH SPECIAL PROVISIONS AS SET FORTH IN SECTION 6.7 OF SWRCB ORDER NO. 92-08-020.

B. A DETERMINING DISCHARGE PERMIT (IMPDES NO. CA01018804) SHALL BE OBTAINED FOR THE REMOVAL AND DISPOSAL OF GROUNDWATER (IF NECESSARY) CONCERNED DURING CONSTRUCTION. DISCHARGE UNDER THIS PERMIT WILL REQUIRE COMPLIANCE WITH A NUMBER OF PHYSICAL, CHEMICAL, AND THERMAL PARAMETERS (AS APPLICABLE) ALONG WITH PERTINENT SITE-SPECIFIC CONDITIONS, PURSUANT TO DIRECTION FROM THE SWRCB.

C. THE SWPPP SHALL CLEARLY IDENTIFY THE TYPE AND LOCATION OF EROSION CONTROL DEVICES TO BE USED DURING CONSTRUCTION. THESE DEVICES (WHICH ARE LIMITED TO) EARTHEN BERM, GRAVEL BAGS, SILT FENCES, TEMPORARY STORM DRAINS, DESILTING BASIN ENERGY DISSIPATING DEVICES, GRAVEL BAGS, GEOTEXTILE MATS, PLASTIC CHESING, AND HYDROSEEDING OR OTHER VEGETATION IRRIGATION PRACTICES.

D. GRADING PLANS SHALL CLEARLY IDENTIFY THE TYPE AND LOCATION OF EROSION CONTROL DEVICES TO BE USED. ANY POTENTIAL EROSION IMPACTS TO THE SENSITIVE HABITATS TO BE PRESERVED (INCLUDING NESTING SITES) WITHIN OR ADJACENT TO THE PROJECT FOOTPRINT AS SHOWN ON THE APPROVED EXHIBIT I.

E. PRIOR TO ISSUANCE OF ANY GRADING PERMITS, THE OWNER/PERMITTEE SHALL PROVIDE A LETTER TO THE ADD OF LOR VERIFYING THAT A QUALIFIED BIOLOGIST HAS BEEN RETAINED TO MONITOR GRADING ACTIVITIES AND (AND ENSURE IMPLEMENTATION OF WATER QUALITY MEASURES AS NEEDED) ADJACENT TO THE SENSITIVE HABITAT TO BE PRESERVED, AS SHOWN ON THE APPROVED EXHIBIT A. THE PROJECT BIOLOGIST SHALL ALSO BE RESPONSIBLE FOR THE MONITORING OF ANY OTHER GRADING ACTIVITIES (AND ENSURE IMPLEMENTATION OF WATER QUALITY MEASURES AS NEEDED) ADJACENT TO THE SENSITIVE HABITATS, AS SHOWN ON THE APPROVED EXHIBIT A.

F. THE SWPPP SHALL INCLUDE A SITE PLAN ON WHICH THE GRADING FOOTPRINT (DEVELOPMENT AREA 15) IS IDENTIFIED AS SHOWN ON THE APPROVED EXHIBIT A. ALL CONSTRUCTION ACTIVITIES (INCLUDING STAGING AREAS) SHALL BE RESTRICTED TO THE DEVELOPMENT AREA OF THIS OR OTHER FULLY PERMITTED PROJECT. SPECIFIED VEHICLE FUELING, MAINTENANCE PROCEDURES AND HAZARDOUS MATERIALS STORAGE AREAS SHALL BE CLEARLY DESIGNATED TO PRECLUDE THE DISCHARGE OF HAZARDOUS MATERIALS USED DURING CONSTRUCTION. FUELS, LUBRICANTS AND SOLVENTS, THE SWPPP SHALL INCLUDE MEASURES TO PRECLUDE SPILLS AND PREPARE FOR THE CONTAINMENT OF ANY HAZARDOUS MATERIALS, INCLUDING PROPER HANDLING AND DISPOSAL TECHNIQUES AND THE USE OF TEMPORARY LINERS TO PREVENT SOILS AND WATER CONTAMINATION.

G. THE OWNER/PERMITTEE SHALL HYDROSEED ALL APPLICABLE AREAS WITHIN 90 DAYS OF COMPLETION OF GRADING ACTIVITIES WITH APPROPRIATE GROUND COVER VEGETATION (E.G., USE OF NATIVE OR NONINVASIVE PLANTS) TO THE SATISFACTION OF THE ADD OR LOR IN CONFORMANCE WITH THE CITY'S LANDSCAPE STANDARDS. PERMANENTLY IRRIGATED SLOPES SHALL BE MAINTAINED FOR A MINIMUM PERIOD OF 90 DAYS AND NON-PERMANENTLY IRRIGATED AREAS SHALL BE MAINTAINED FOR A MINIMUM PERIOD OF 65 MONTHS. TO THE SATISFACTION OF THE CITY MANAGER, RE-VEGETATED AREAS SHALL BE INSPECTED MONTHLY BY A QUALIFIED BIOLOGIST/LANDSCAPE ARCHITECT UNTIL VEGETATION IS CONSIDERED TO HAVE ESTABLISHED TO THE SATISFACTION OF THE CITY.

H. THE OWNER/PERMITTEE SHALL HYDROSEED ALL APPLICABLE AREAS WITHIN 90 DAYS OF COMPLETION OF GRADING ACTIVITIES WITH APPROPRIATE GROUND COVER VEGETATION (E.G., USE OF NATIVE OR NONINVASIVE PLANTS) TO THE SATISFACTION OF THE ADD OR LOR IN CONFORMANCE WITH THE CITY'S LANDSCAPE STANDARDS. PERMANENTLY IRRIGATED SLOPES SHALL BE MAINTAINED FOR A MINIMUM PERIOD OF 90 DAYS AND NON-PERMANENTLY IRRIGATED AREAS SHALL BE MAINTAINED FOR A MINIMUM PERIOD OF 65 MONTHS. TO THE SATISFACTION OF THE CITY MANAGER, RE-VEGETATED AREAS SHALL BE INSPECTED MONTHLY BY A QUALIFIED BIOLOGIST/LANDSCAPE ARCHITECT UNTIL VEGETATION IS CONSIDERED TO HAVE ESTABLISHED TO THE SATISFACTION OF THE CITY.

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directory

owner/permittee KULROY REALTY CORPORATION 3611 VALLEY CENTRE DRIVE, SUITE 550 SAN DIEGO, CA 92130 WORK: 619.523.2865 FAX: 619.523.0030	JUSTIN SMART ROBERT LITTLE STEVE SCOTT
architect: ARCHITECTS hanna gabriel wells 4993 NIAGARA AVENUE SAN DIEGO, CA 92101 WORK: 619.523.6467 FAX: 619.523.6467	RANDY HANNA JIM GABRIEL MATT WELLS SCOTT MANG
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landscape architect: NOWELL & ASSOCIATES LANDSCAPE ARCHITECTURE, INC. 2805 STATE STREET SAN DIEGO, CA 92103 WORK: 619.325.1990 FAX: 619.325.1997	GREG NOWELL SCOTT SANCHEZ ANGELA BARLEY

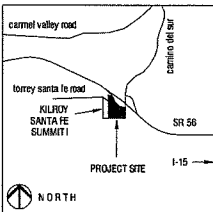
legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 15995, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-370-16 through 25 & 26 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: FOP 40-0315, SCR 336659 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF	300,000	300,000
BUILDING #:	FIVE	SEVEN
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	6

sheet index

C1.0 CONCEPTUAL GRADING PLAN	GB1.0.3 PARKING STRUCTURE B SHADE STRUCTURE DIAGRAM
C2.0 CONCEPTUAL UTILITY PLAN	GB3.0.1 PARKING STRUCTURE B ELEVATIONS
C3.0 ENVIRONMENTAL NOTES	GC1.0.1 PARKING STRUCTURE C FLOOR PLANS
L1.1 LANDSCAPE CONCEPT PLAN, OVERALL LANDSCAPE	GC1.0.2 PARKING STRUCTURE C FLOOR PLANS
L2. CORE AREA ENLARGED LANDSCAPE PLAN	GC1.0.3 PARKING STRUCTURE C SHADE STRUCTURE DIAGRAM
L3. RIGHT-OF-WAY / STREETSCAPE ENLARGED LANDSCAPE PLAN	GC3.0.1 PARKING STRUCTURE C ELEVATIONS
L4. LANDSCAPE CALCULATIONS	GD1.0.1 PARKING STRUCTURE D FLOOR PLANS
AS1.0.1 CONCEPT ARCHITECTURAL SITE PLAN	GD1.0.2 PARKING STRUCTURE D FLOOR PLANS
AS1.0.2 FIRE ACCESS PLAN	GD1.0.3 PARKING STRUCTURE D SHADE STRUCTURE DIAGRAM
AS1.0.3 CONCEPT SITE DIAGRAMS	GD3.0.1 PARKING STRUCTURE D ELEVATIONS
A1.0.1 BUILDINGS 5,6,7 & 8 CONCEPT FLOOR - ROOF PLANS	SP.1 SIGNAGE SITE PLAN
A1.0.2 BUILDINGS 5,6,7 & 8 CONCEPT ELEVATIONS AND SECTION	SP.2 STREET WALL CALCULATIONS
GB1.0.1 PARKING STRUCTURE B FLOOR PLANS	SP.3 BUILDING WALL SIGNS
GB1.0.2 PARKING STRUCTURE B FLOOR PLANS	SP.4 GROUND SIGNS

ARCHITECTS
hanna gabriel wells

substantial conformance review

prepared by: ARCHITECTS hanna gabriel wells 4993 NIAGARA AVENUE, SUITE 200 SAN DIEGO, CA 92101 tel: 619.523.6465 fax: 619.523.6467	8 7 6 5 4
project address: TORREY SANTA FE ROAD SAN DIEGO, CA	2008 sept 25 - cycle 5 2008 june 28 - cycle 4 2007 december 14 - cycle 3 2007 august 24 - cycle 2
project name: SANTA FE SUMMIT 2.6.3	revisions: original date: 2007 may 31
sheet title: Landscape Concept Plan	

Paving Finish Legend

- EXPOSED AGGREGATE GRAY CONCRETE
- "SAND" FINISH COLORED CONCRETE

NOTE: Driveway/parking areas not designated as enhanced concrete are asphalt, typical.

Plant Material Legend

Plant sizes are indicated for general reference by height x width.
* These are existing streetscape plants. See notes, sheet L-3.
** These species acceptable for use on Lots 15-18

EXISTING STREET TREES TO REMAIN

NEW/PROPOSED STREET TREES

- STREET TREE 'A' - EVERGREEN
(Reclaimed water tolerant/salt-tolerant, similar character to existing Magnolia, which is salt-sensitive)
Arbutus 'Marina' (Marina Strawberry Tree), 30' x 28'
Lophospermum confertum (Bridal Veil), 30' x 25'
Quercus ilex (Holly Oak), 35' x 35'
- STREET TREE 'B' - DECIDUOUS
* Platanus acerifolia 'Yarwood' or 'Columbia' (Hybrid London Plane Tree), 50' x 35'
- STREET TREE 'C' - FLOWERING
* Cassia leptophylla (Gold Medal Tree), 20' x 25'
Tabebuia ipé (Ipe), 20' x 25'

NEW/PROPOSED LOW SHRUBS AND GROUNDCOVERS IN R.O.W. AND STREETSCAPE

- 70% 1 gallon, 30% 5 gallon - average spacing 36" on center
* Agapanthus hybrids (Lily-of-the-Nile), 2-3' x 2-3'
* Hemerocallis hybrids (Daylily), 2-3' x 2-3'
* Phlox paniculata (Sweet Pick of the South), 2-3' x 2-3'
* Tulbaghia fragrans (Sweet Society Garlic), 2-3' x 2-3'
* Carissa 'Boxwood Beauty' (Boxwood Beauty), 3' x 3'
* Lantana 'Dwarf Yellow' (Dwarf Yellow Lantana), 2-4' x 2-4'
* Rhipsalis umbellata 'Minor' (Dwarf Yeddo Hawthorn), 3-4' x 3-4'

VEGETATED SWALE

- Festuca rubra (Creeping Red Fescue), 1' x 2' - hydroseed
Sesleria autumnalis (Autumn Moor Grass), 2.5' x 2.5' - 1 gallon at 30" o.c.
Festuca arundinacea 'Marathon 2' (Tall Fescue), Sod
Paspalum vaginatum 'Seabreeze' or 'Sea Isle' (Hybrid Seashore Paspalum), Sod

FORMAL INTERIOR STREET TREES AND PLAZA TREES

- 36" box size
Arbutus 'Marina' (Marina Strawberry Tree), 30' x 28'
Koeleria bipinnata (Chinese Flame Tree), 35' x 35'
Pyrus calleryana 'Aristocrat' (Aristocrat Flowering Pear), 35' x 35'

PALM GROVE

- Archontophoenix cunninghamiana (King Palm), 12 feet dbh, to 30-40'
Howea forsteriana (Kentia Palm), 8' brown trunk, to 30'
Roystonea regia (Royal Palm), 8' brown trunk, to 40'

LARGE DECIDUOUS CANOPY TREES

- 50% 36" box and 50% 24" box size
* Platanus racemosa (California Sycamore), 50' x 35'

SMALL FLOWERING COURTYARD TREES

- 36" box size/ 15 gallon where potted
Cercis canadensis 'Forest Pansy' (Redleaf Eastern Redbud), 25' x 25'
Cassia leptophylla (Gold Medal Tree), 20' x 25'
Firmiana simplex (Parasol Tree), 30' x 30'
Tabebuia ipé (Ipe), 20' x 25'
Agonis flexuosa 'After Dark' (After Dark Peppermint Tree), 16' x 12'

CANOPY TREES IN PARKING COURTS

- 36" box size
Koeleria bipinnata (Chinese Flame Tree), 35' x 35'
Quercus ilex (Holly Oak), 35' x 35'
Rhipsalis umbellata 'Minor' (Dwarf Yeddo Hawthorn), 3' x 3'
Rhipsalis umbellata 'Minor' (Dwarf Yeddo Hawthorn), 3' x 3'
Tipuana tipu (Tipu Tree), 35' x 50'

DECIDUOUS VERTICAL TREES BETWEEN PARKING GARAGES

- 50% 24" box size, 50% 15 gallon
Populus nigra 'Italica' (Lombardy Poplar), 60' x 20'

EXISTING VERTICAL TREES BETWEEN PARKING GARAGES

- Installed during phase 1
Populus nigra 'Italica' (Lombardy Poplar), 60' x 20'
Bambusa oldhamii (Oldhami Timber Bamboo), 40' x 20'

EVERGREEN CANOPY TREE

- 36" box size
Bischofia javanica (Toog), 40' x 40'
Brachydon acuminata (Flame of the Forest), 40' x 35'
Cedrus deodara (Deodar Cedar), 50' x 30'
Cinnamomum camphora (Camphor), 35' x 40'
* Quercus agrifolia (Coast Live Oak), 35' x 50'
* Pinus torreyana (Torrey Pine Tree), 50' x 50'

BAMBOO GROVE

- 15 gallon size
Bambusa spp. (Timber Bamboo), 20-40' x 15-20'
Phyllostachys spp. (Golden Bamboo), 20-30' x 15-20'
Semiarundinaria spp. (Bamboo), 5' x 20'

SHRUBS FOR HEDGES IN PLAZA AND FOR PARKING SCREEN

- 5 gallon size, planted at 36" on center (pruned to manageable size)
Arbutus unedo 'Compacta' (Compact Strawberry Tree), 8' x 6'
Ligustrum Texanum (Texas Privet), 8' x 6'
Pittosporum 'Silver Sheen' (Silver Sheen Pittosporum), 12' x 6'
Viburnum spp. (Viburnum), 6-8' x 6-8'

SPECIMEN GARDEN ACCENTS

- 15 gallon
Cycas revoluta (Sago Palm), 8' x 12'
Dracena draco (Dragon Tree), 12' x 15'
Laportea scapularia (New Zealand Tea Tree), 5-12' x 5-12'
Sambucus 'Black Lace' (Black Elderberry), 10' x 10'

PROJECT PERIMETER AND INTERIOR GARDEN SHRUBS AND GROUNDCOVER

- 20% 5 gal 50% 1 gal at 48" o.c., 20% seed or flatted groundcover at 18" o.c.
Agapanthus 'Tinker Bell' (other varieties (Lily-of-the-Nile), 12' x 12'
Acoris 'Purple' (Purple Acoris)
Bougainvillea 'Rosea' (Rosea Bougainvillea), 3' x 6-8'
Buxus sempervirens (Boxwood), 3' x 2'
Calandrinia speciosa (Rock Purslane), 2' x 5'
Callistemon citrinus 'Jefferson' (Jefferson Bottlebrush), 5' x 4'
Camellia s. 'Yuletide' Or 'Clematis' (Sasanqua Camellia), 4' x 3'
Carissa m. cultivars (Natal Plum), 3-4' x 3-5'
Cestrum elegans (Red Cestrum), 5' x 4'
Centauria gymnocarpa (Pink Dusty Miller), 2-5' x 5'
Chamaedorea spp. (Bamboo Palm), 8-12' x 4-6'
Chondrostaphylos leucocarpa (Cape Rush), 4' x 6'
Coleonema pulchra (Breath of Heaven), 3' x 4'
Dicksonia antarctica (Tasmanian Tree Fern), 12' x 8'
Diosma pulchra (Pink Breath of Heaven), 5' x 6'
Escallonia spp. (Escallonia), 3-6' x 3-6'
Euonymus j. Microphylla (Box-Leaf Euonymus), 3' x 3'
Fatsia japonica (Japanese Arale), 15' x 10'
Festuca rubra (Creeping Red Fescue), 1' x 2'
Fuschia 'Gartenmeister' (Gartenmeister Fuschia), 4' x 4'
Grevillea 'Noelii' (Noel's Grevillea), 4' x 5'
Hebe 'Lake', Other Species/Cultivars (Hebe), 3' x 3'
Hemerocallis hybrids (Daylily), 2' x 2'
Hydrangea 'Endless Summer' (Hydrangea), 4' x 4'
Lantana cultivars (Lantana), 2-4' x 4-8'
Leucodendron 'Safari Sunset' (Safari Sunset Leucodendron), 5' x 3'
Liriodendron 'Ophiopogon' spp. (Liriodendron), 1-3' x 1-3'
Miscanthus sinensis (Evergreen Maiden Grass), 5' x 5'
Muhlenbergia lindheimeri (Lindheimer's Muhly Grass), 3' x 3'
Nephrolepis exaltata (Sword Fern), 3' x 3' - 6'
Philodendron 'Xanadu' (Xanadu Dwarf Philodendron), 3' x 3'
Phoenix roebelinii (Pygmy Date Palm), 6' x 5'
Phormium tenax cultivars (New Zealand Flax), size varies
Polygala x dalmatiana (Sweet Pea Bush), 3' x 4'
Rhipsalis umbellata 'Minor' (Dwarf Yeddo Hawthorn), 3' x 3'
Sesleria autumnalis (Autumn Moor Grass), 2.5' x 2.5'
Straitia reginae (Bird of Paradise), 4' x 4'
Tardispermum jasmineoides (Star Jasmine), 2' x 4'
Vitis trifolia 'Purpurea' (Arabian Lilac), 5' x 6'
Zephyranthes candida (Rain Lily), 1' x 1.5'

EVERGREEN SHRUBS IN PARKING COURTS

- 100% 5 gallon size, average spacing 36" on center
Carissa m. cultivars (Natal Plum), 3-4' x 3-5'
Euonymus japonicus microphyllus (Dwarf Japanese Euonymus), 2' x 3'
Rhipsalis umbellata 'Minor' (Dwarf Yeddo Hawthorn), 3' x 3'

LOW WATER-USE SHRUBS/GROUNDCOVERS SLOPES

- 20% 5 gallon 48" on center, 60% 1 gallon at 42" on center and 20% hydroseed
* Baccharis pilularis 'Pidgeon Point' (Pidgeon Point Dwarf Coyote Brush), 2' x 8'
* Ceanothus tomentosus (Ramona Lilac), 3' x 10'
* Ceanothus verticillatus (White Coast Lilac), 6' x 6'
* Eriogonum fasciculatum (Flat-top Buckwheat), 2' x 6'
* Encelia californica (California Encelia), 3' x 5'
* Verbena lilacina (Cedros Island Verbena), 3' x 4'
* Ribes speciosum (Fuschia Flowering Gooseberry), 3' x 5'
* Rhamnus crocea (Redbark), 4' x 5'
* Rhus integrifolia (Lemonade Berry), 8' x 8'

BRUSH MANAGEMENT ZONE 1

See sheet L-5 for Brush Management plant lists.

LAWN

- Festuca arundinacea 'Marathon 2' (Tall Fescue), Sod
Paspalum vaginatum 'Seabreeze' or 'Sea Isle' (Hybrid Seashore Paspalum), Sod

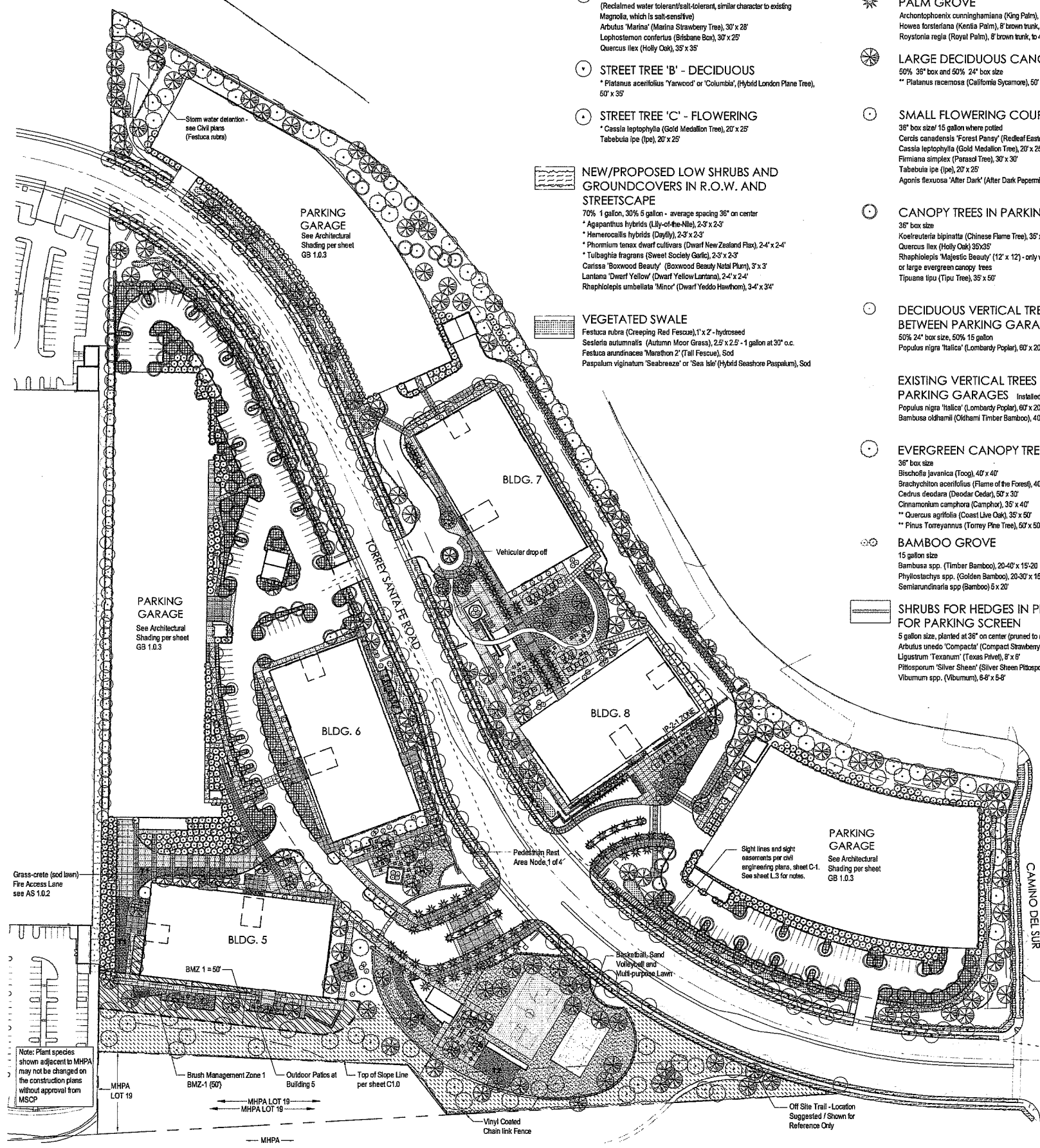
REINFORCED TURF PAVING

- Turf planted open cell poured in place "Grass-O-Rite" paving at fire access - Shall comply with Fire Policy A-86-6, Modified Access Roadways.

"Grass Pave 2" at non-emergency vehicle service driveways

PEDESTRIAN NODE REST AREAS

- 6" backed metal benches on concrete paving offset from sidewalk. (See sheet SL-2)



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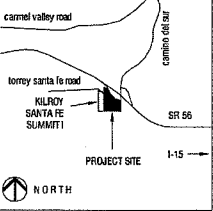
legal description

LOTS 16-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14882, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP NO. 198955, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

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vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS: (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	6
	5	6
	4	6

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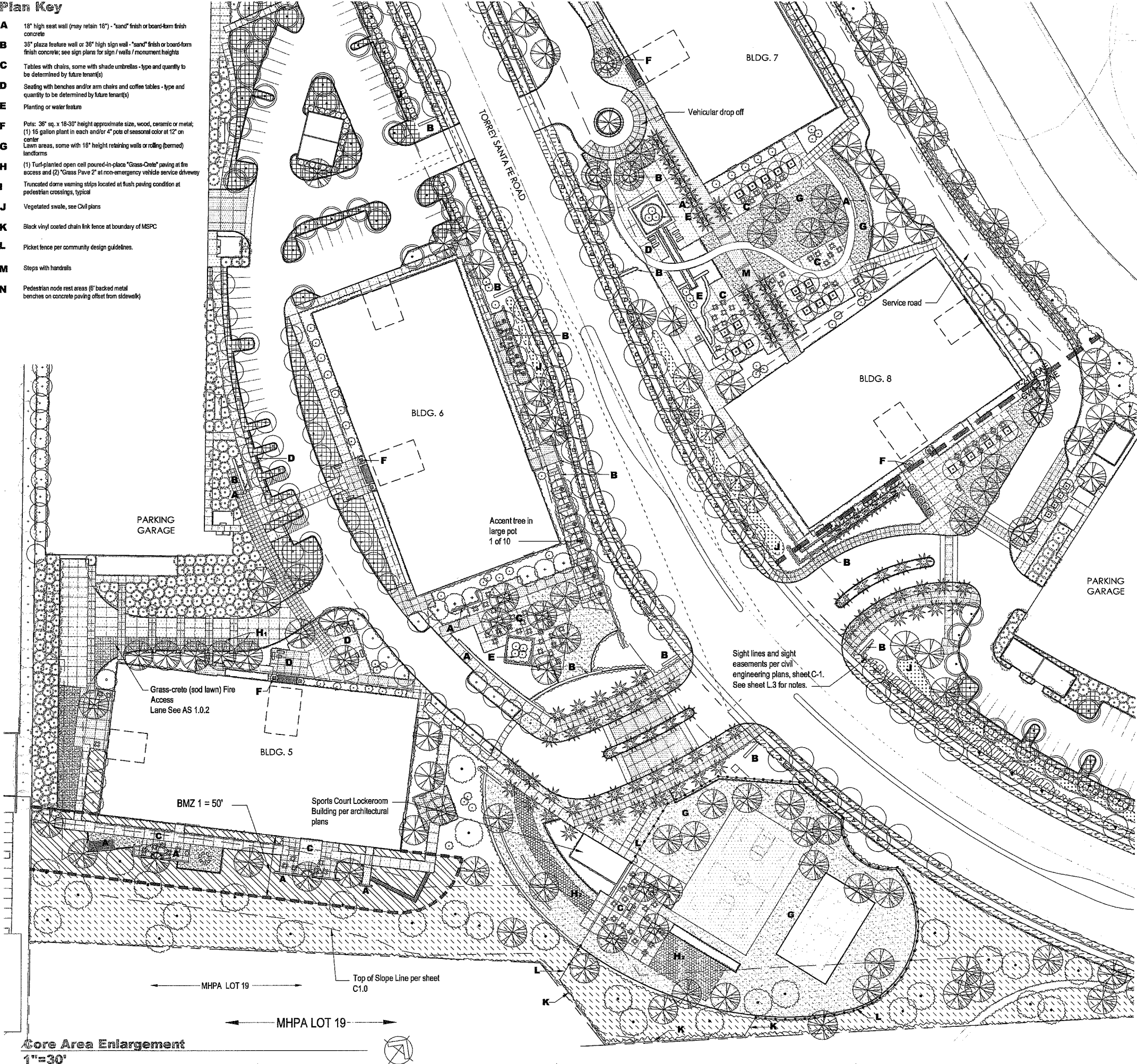
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2007 may 31

Plan Key

- A** 18" high seat wall (may retain 18") - "sand" finish or board-form finish concrete
- B** 36" plaza feature wall or 36" high sign wall - "sand" finish or board-form finish concrete; see sign plans for sign / walls / monument heights
- C** Tables with chairs, some with shade umbrellas - type and quantity to be determined by future tenant(s)
- D** Seating with benches and/or arm chairs and coffee tables - type and quantity to be determined by future tenant(s)
- E** Planting or water feature
- F** Pots: 36" eq. x 18-30" height approximate size, wood, ceramic or metal; (1) 15 gallon plant in each and/or 4" pots of seasonal color at 12" on center
- G** Lawn areas, some with 18" height retaining walls or rolling (bermed) landforms
- H** (1) Turf-planted open cell poured-in-place "Grass-Crete" paving at fire access and (2) "Grass Pave 2" at non-emergency vehicle service driveway
- I** Truncated dome warning strips located at flush paving condition at pedestrian crossings, typical
- J** Vegetated swale, see Civil plans
- K** Black vinyl coated chain link fence at boundary of MSPC
- L** Picket fence per community design guidelines.
- M** Steps with handrails
- N** Pedestrian node rest area (6' backed metal benches on concrete paving offset from sidewalk)



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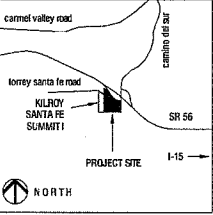
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vicinity map



plan options

PHASE	PHASE I	PHASE II
GROSS SF:	300,000	300,000
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BUILDING HEIGHTS: (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
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Right-of-Way / Streetscape Enlarged
Landscape Plan

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EXISTING TREE LEGEND

Tree NO.	Botanical Name	Common Name	Height	Diameter	Comments
1	Platanus acerifolia	London Plane Tree	14'	3"	R
2	Koeleruteria bipinnata	Chinese Flame Tree	10'	2"	D
3	Platanus acerifolia	London Plane Tree	18'	4 1/2"	R
4	Platanus acerifolia	London Plane Tree	16'	4 1/2"	R
5	Koeleruteria bipinnata	Chinese Flame Tree	10'	2"	D
6	Koeleruteria bipinnata	Chinese Flame Tree	10'	2"	D
7	Platanus acerifolia	London Plane Tree	15'	4"	D
8	Platanus acerifolia	London Plane Tree	20'	6 1/2"	D
9	Platanus acerifolia	London Plane Tree	20'	6"	D
10	Koeleruteria bipinnata	Chinese Flame Tree	12'	2 1/2"	D
11	Platanus acerifolia	London Plane Tree	16'	6"	D
12	Platanus acerifolia	London Plane Tree	21'	7"	D
13	Platanus acerifolia	London Plane Tree	18'	5 1/2"	R
14	Platanus acerifolia	London Plane Tree	18'	5"	R
15	Koeleruteria bipinnata	Chinese Flame Tree	10'	2 1/2"	D
16	Platanus acerifolia	London Plane Tree	20'	6"	R
17	Platanus acerifolia	London Plane Tree	18'	6"	R
18	Platanus acerifolia	London Plane Tree	16'	4 1/2"	R
19	Koeleruteria bipinnata	Chinese Flame Tree	8'	1 1/2"	D
20	Platanus acerifolia	London Plane Tree	18'	6"	R
21	Platanus acerifolia	London Plane Tree	15'	4 1/2"	D
22	Platanus acerifolia	London Plane Tree	20'	7 1/2"	D
23	Koeleruteria bipinnata	Chinese Flame Tree	10'	3 1/2"	D
24	Magnolia grandiflora	Southern Magnolia	10'	2 1/2"	D
25	Platanus acerifolia	London Plane Tree	20'	5"	D
26	Koeleruteria bipinnata	Chinese Flame Tree	10'	2"	D
27	Magnolia grandiflora	Southern Magnolia	12'	3"	D
28	Platanus acerifolia	London Plane Tree	15'	4"	D
29	Koeleruteria bipinnata	Chinese Flame Tree	10'	2"	D
30	Platanus acerifolia	London Plane Tree	18'	5"	D
31	Rhaphiolepis 'Majestic Beauty'	Indian Hawthorn	7'	2"	D
32	Magnolia grandiflora	Southern Magnolia	10'	3"	D
33	Magnolia grandiflora	Southern Magnolia	8'	1 1/2"	D
34	Magnolia grandiflora	Southern Magnolia	10'	2"	D
35	Rhaphiolepis 'Majestic Beauty'	Indian Hawthorn	7'	2"	D
36	Rhaphiolepis 'Majestic Beauty'	Indian Hawthorn	7'	2"	D
37	Magnolia grandiflora	Southern Magnolia	12'	3"	D
38	Rhaphiolepis 'Majestic Beauty'	Indian Hawthorn	6 1/2'	2"	D
39	Magnolia grandiflora	Southern Magnolia	12'	3 1/2"	D
40	Rhaphiolepis 'Majestic Beauty'	Indian Hawthorn	na	2"	D
41	Magnolia grandiflora	Southern Magnolia	12'	4"	D
42	Magnolia grandiflora	Southern Magnolia	14'	4"	D
43	Rhaphiolepis 'Majestic Beauty'	Indian Hawthorn	7'	2"	D
44	Magnolia grandiflora	Southern Magnolia	10'	2"	D
45	Magnolia grandiflora	Southern Magnolia	10'	2"	D
46	Rhaphiolepis 'Majestic Beauty'	Indian Hawthorn	7 1/2'	2"	D
47	Platanus acerifolia	London Plane Tree	20'	5"	R
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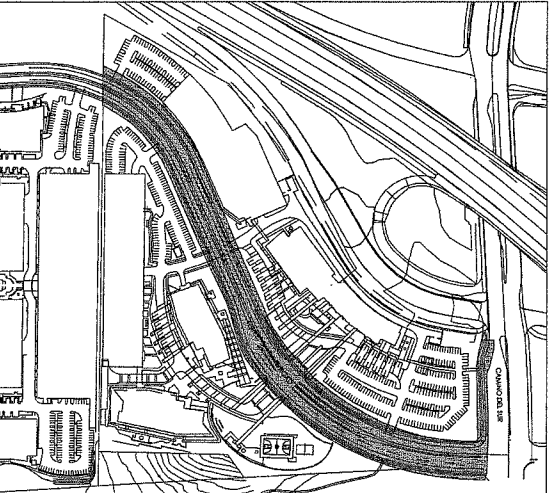
LEGEND KEY
R - TO REMAIN
D - TO DEMOLISH AND REMOVE

SIGHT EASEMENT AREA, SEE ALSO
SHEETS 1 (CIVIL) AND 4 (LANDSCAPE)

Notes

- Some of the existing trees are proposed to be replaced due to poor growth and salt sensitivity to (future) reclaimed water. Some trees are proposed to be removed due to sight distance requirements at driveway intersections.
- No changes in the parkway irrigation system are proposed.
- See grading plan, sheet 1, for sight visibility lines / easements. No trees are within easements. Trees and shrubs within sight visibility areas shall be maintained so that shrubs are less than 30" from finish grade and trees are maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and so that all branches over vehicular travel ways are 15 feet above the grade of the travel way. Some existing shrubs within the right-of-way are hedges that are over 30" high. Those shrubs, such as Pittosporum tobira 'Variegata', Ligustrum 'Texanum' and Photinia 'Fraser', are proposed to be removed and replaced with lower shrubs due to safety/surveillance and sustainability issues.
- See sheet L.1 and L.2 for proposed trees, shrubs, and groundcovers

KEY MAP



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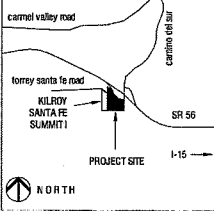
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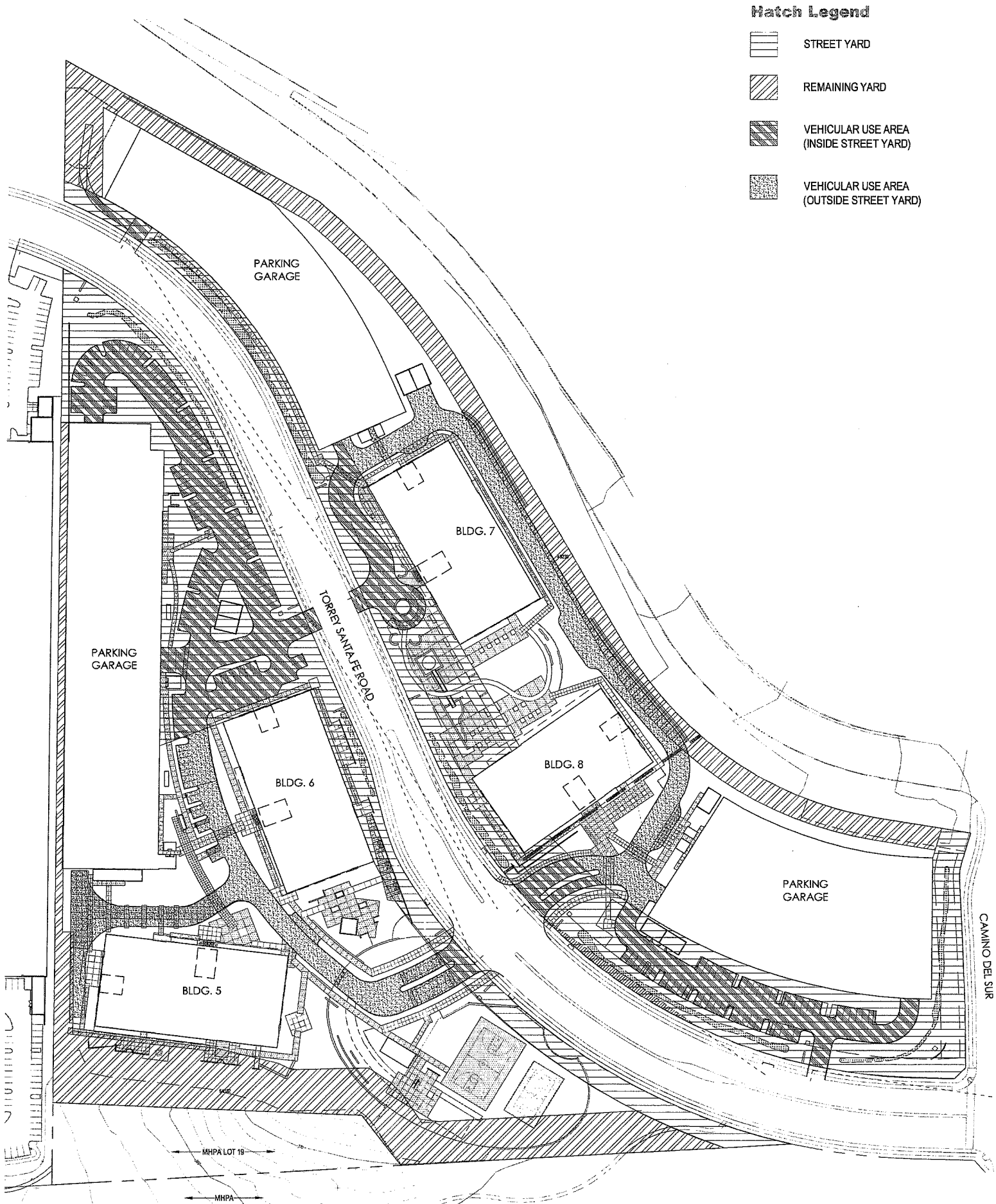
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A R C H I T E C T S
hanna gabriel wells

substantial conformance review

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project name: SANTA FE SUMMIT 2 & 3 sheet title:	revisions original date: 2007 may 31



Landscape Calculations Guide
1"=60'



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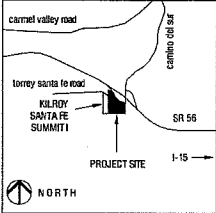
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LOTS 16-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCELS MAP No. 18095, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-370-16 through 25 & 26 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: PDP 40-0315, SCR 338069 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, DC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING#:	FIVE	SIX
BUILDING HEIGHTS: (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	5
	4	6

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- C2.0 CONCEPTUAL UTILITY PLAN
- C3.0 ENVIRONMENTAL NOTES
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- GD3.0.1 PARKING STRUCTURE D ELEVATIONS
- SP.1 SIGNAGE SITE PLAN
- SP.2 STREET WALL CALCULATIONS
- SP.3 BUILDING WALL SIGNS
- SP.4 GROUND SIGNS

ARCHITECTS
hanna gabriel wells

substantial conformance review

prepared by: ARCHITECTS hanna gabriel wells 4985 NIAGARA AVE., SUITE 200 SAN DIEGO, CA 92101 tel: 619 523 8485 fax: 619 523 6487 project address: TORREY SANTA FE ROAD SAN DIEGO, CA project name: SANTA FE SUMMIT 2 & 3 sheet title:	8 7 6 5 4 2008 sept 25 - cycle 5 3 2008 june 28 - cycle 4 2 2007 december 14 - cycle 3 1 2007 august 24 - cycle 2 revisions original date: 2007 may 31
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BRUSH MANAGEMENT and SLOPE REVEGETATION

The project will comply with the following requirements of the San Diego Municipal Code Land Development Code.

3-2 BRUSH MANAGEMENT- REQUIREMENTS

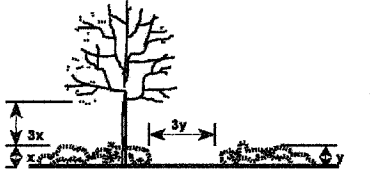
3.2-1 Basic requirements - All Zones

3.2-1.01 For zone two, plants shall not be cut below six inches.

3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.

3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.

FIGURE 3-1



PRUNING TREES TO PROVIDE CLEARANCE FOR BRUSH MANAGEMENT

3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).

3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).

3.2-2 Zone 1 Requirements - All Structures

3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").

3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.

3.2-2.03 Maintain all plantings in a succulent condition.

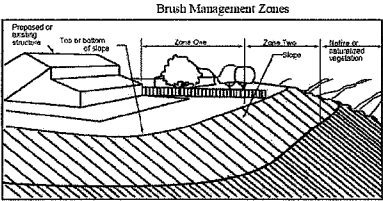
3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.

3.2-3 Zone 2 Requirements - All Structures

3.2-3.01 Individual non-irrigated plant groupings over 18 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

BRUSH MANAGEMENT ZONES

As defined by Diagram 142-04D of the San Diego Municipal Code Chapter 14.



4.1 PERMANENT REVEGETATION

4.1-1 Revegetation Adjacent to Native Vegetation

Revegetation of manufactured slopes and other disturbed areas adjacent to areas of native vegetation shall be accomplished in a manner so as to provide visual and horticultural compatibility with the indigenous native plant materials. The following guidelines are in addition to the guidelines and criteria for slope revegetation and brush management. Further restrictions may apply in natural preserve areas such as Tecolote Canyon and Pecos Canyon or as required as part of environmental mitigation efforts. Transitional landscape treatments between non-native landscapes and undeveloped areas may be required or considered by the City Manager. When so required, the following guidelines shall apply:

4.1-1.01 The plant palettes for transitional landscapes shall typically consist of a combination of appropriate and compatible native and nonnative species.

4.1-1.02 The mix of native and non-native plant materials should generally vary. Areas contiguous to existing native vegetation shall be planted with native materials exclusively as

4.1-1.03 Invasive (i.e., those readily capable of reproducing and spreading into native, non-irrigated areas) non-native plant species including but not limited to those listed on Table 1 are prohibited in all transitional landscapes.

4.1-1.04 Noxious weeds and invasive plants (e.g., Pampas Grass) that sprout in transition areas shall be promptly removed.

4.1-1.05 Permanent irrigation is prohibited in the portions of transition areas contiguous to the existing native vegetation.

4.1-1.06 Required mulching and hydroseeding as specified in the landscape regulations, shall follow the guidelines in Sections 4.3 and 4.4 of the Landscape Standards.

4.1-1.07 Required slope revegetation shall follow the guidelines in Section 4.2 of the Landscape Standards.

4.1-2 General Revegetation

4.1-2.01 Revegetation on manufactured slopes and other disturbed areas that are not adjacent to native vegetation shall be accomplished to provide a stable soil cover that prevents erosion.

4.1-2.02 Required mulching and hydroseeding as specified in the landscape regulations shall follow the guidelines in Sections 4.3 and 4.4 of the Landscape Standards.

4.1-2.03 Required slope revegetation shall follow the guidelines in Section 4.2 of the Landscape Standards.

4.2 SLOPE REVEGETATION GUIDELINES

These guidelines establish the acceptable standards for the design and installation of slope revegetation.

4.2-1 Requirements for revegetation may be waived by the City Manager where out slopes are not subject to erosion due to their rocky character or where the slopes are protected against erosion and instability by the satisfaction of the City Engineer.

4.2-2 A minimum of 50 percent of the total slope area shall be planted with deep rooting groundcovers, (i.e. those with a typical root depth of 5 feet or greater). For seeded plantings, at least 50 percent of the viable seed count shall be deep rooting species.

4.2-3 All the plant materials shall be appropriate to the site conditions, water conserving and appropriately spaced to control soil erosion.

4.3 MULCHING PROCEDURES

The following procedures will be followed when mulching is required by the landscape regulations or when proposed by the applicant.

4.3-1 Jute netting and other approved geotextile materials shall be installed and secured per manufacturer's specifications and in a manner precluding sheet flows and rilling below the material surface.

4.3-2 Straw Stabilization:

Straw mulch shall be uniformly spread at the rate of two tons per acre.

Straw on all out slopes shall be "lacked" with binder at a minimum rate of 160 pounds per acre. The binder shall be an organic derivative or processed organic adhesive.

Straw on all fill slopes shall be incorporated into the soil with a bladed roller so that the straw will not support combustion or blow away and will leave a uniform surface.

4.3-3 Wood Products:

Shredded wood products shall be uniformly spread to a minimum depth of two inches. When used in conjunction with indigenous native container stock, the mulch shall be applied at the conclusion of the initial 90-day maintenance period.

4.4 HYDROSEEDING PROCEDURES

4.4-1 Seed mixes shall be specified by the pure live seed of each species.

4.4-2 Fiber mulch shall be applied at a minimum rate of 2,000 pounds per acre except when used in conjunction with straw mulch, when it shall be applied at a minimum rate of 400 pounds per acre.

4.4-3 A wetting agent consisting of 95 percent alkyl polyethylene glycol ether shall be applied as per manufacturers' recommendations.

4.4-4 Equipment used for the application of slurry shall have a built-in agitation system to suspend and homogeneously mix the slurry. The slurry mix shall be dyed green. The equipment must have a pump capable of applying slurry uniformly.

4.5 MAINTENANCE REQUIREMENTS

4.5-1 Permanently irrigated slopes shall be maintained for a period no less than 90 days.

4.5-2 Nonpermanently irrigated areas shall be maintained for a period not less than 25 months.

4.5-3 All revegetated areas shall be maintained by the Permittee until final approval by the City Manager. The maintenance period begins on the first day following acceptance and may be extended at the determination of the City Manager.

4.5-4 Prior to final approval, the City Manager may require corrective action including but not limited to, replanting, the provision or modification of irrigation systems, and the repair of any soil erosion or slope slippage.

ADDITIONAL BRUSH MANAGEMENT NOTES

Zone One Requirements

The required Zone One width shall be provided between flammable vegetation and any structure and shall be measured from the exterior of the structure to the vegetation. (50 feet)

Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, and nonhabitable gazebos that are located within brush management Zone One shall be of noncombustible construction.

Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant. Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.

Permanent irrigation is required for all planting areas within Zone One except as follows: Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.

Zone One shall be maintained by The Owner on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.

BRUSH MANAGEMENT ZONE 1

Zone 1 (50') Per Planned Development Permit/ Site Permit No. 40-0315 recorded on July 26, 2002

Trees:

Quercus agrifolia (Coast Live Oak) 24" box
Platanus racemosa (California sycamore) 24" box

Lawn - Sod (Festuca paspalum)

Low Ornamental Shrubs and Groundcovers:

Massings of lush ornamental and no fire-prone plants such as:
20% 5 gallon/60% 1 gallon at 48" on center, 20% groundcover from
feet at 18" on center
Bougainvillea 'Rosentia' (Rosentia Bougainvillea), 3' x 6-8'
Carissa m. cultivars (Natal Plum), 3-4' x 3-5'
Euonymus japonicus 'Green Spire' (Green Spire Euonymus), 5' x 3'
Euonymus j. m. Variegatus' (Variegated Box-Leaf Euonymus), 3' x 3'
Fraxino chiloensis (Ornamental Strawberry), 6' x 2'
Hebe 'Lakes' Other Species/Cultivars (Hebe), 3' x 3'
Lantana cultivars (Lantana), 2-4' x 4-8'
Liriope 'Silver Dragon' (Variegated Liriope), 12" x 12"
Myoporum 'Pacificum' (Hybrid Prostrate Myoporum), 2' x 12"
Pittosporum cressifolium 'Nana' (Dwarf Kero), 3' x 3'
Rhipsalis umbellatum 'Mini' (Dwarf Yucca Hawthorn), 3' x 3'
Tachydium palmatum 'Jasminoides' (Star Jasmine), 2' x 4'
Baccharis pilularis 'Pigeon Point' (Pigeon Point Coyote Brush), 3' x 8'
Ceanothus griseus horizontalis (Carmel Creeper), 3' x 10'

GENERAL NOTES

A thorough soil analysis by a qualified agronomist will influence final plant selection, soil amendment, irrigation system design and use, and future maintenance practices.

All landscape maintenance shall be provided by Kilroy Realty. The initial maintenance period will be sufficient in duration to insure that all specifications are met. This includes removal of noxious weeds, resodding or plant replacement where necessary, insect and disease control, and continued fertilization as recommended by the agronomist.

All landscape and irrigation shall conform to the standards of the City-wide Landscape Regulations & Land Development Manual Landscape Standards, precise plan, The Employment Center at Torrey Highlands Planned Development Permit, and other applicable city and regional standards.

Plant materials have been selected that are suitable for the climate, and that integrate with the architectural theme.

Landscape drains shall be installed in planting areas as needed to prevent drainage across walkways and patio surfaces.

Tree root barriers shall be installed where trees are placed within 5 feet of public improvements.

Per Municipal Code Section 142.0412-d: Brush management activities are prohibited within coastal sage scrub maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.

IRRIGATION

All landscaped areas will be watered with a permanent below-grade, fully automatic irrigation system. This system will be controlled by a dual program electronic time clock and remote control valves. Pop-up type heads will be used adjacent to walkways and roadways. Bubbler heads will be used for landscaped areas less than 6' wide. The system will be installed as soon as possible after construction and prior to placement of plant materials. No irrigation or irrigation run-off shall fall into the drainage area for Lot 19.

MAINTENANCE

All required landscape areas shall be maintained by Kilroy Realty. The landscape areas shall be maintained in a free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the plan.

MHPA NOTE

Species showing adjacent to MHPA may not be changed on the construction plans without approval from the city of San Diego MSCP staff.

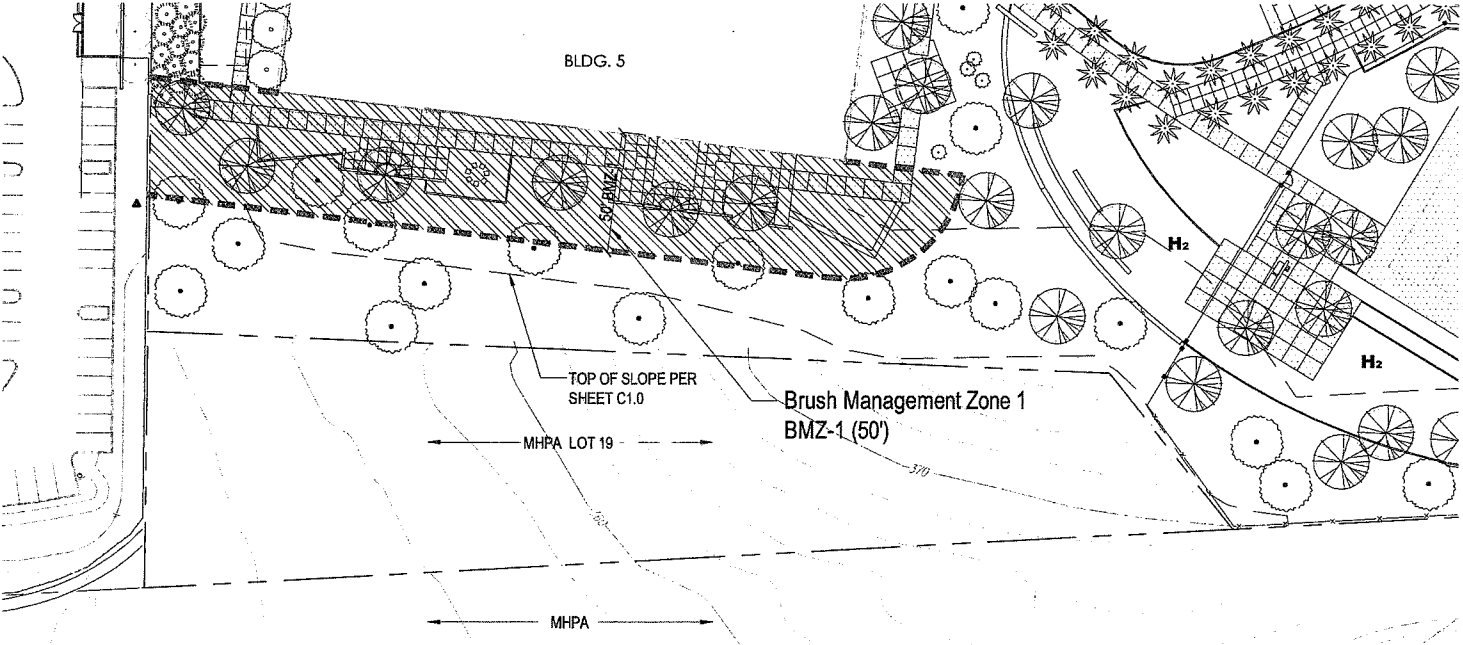
STREET TREE LOCATIONS

All street trees shall be planted in accordance with San Diego Municipal code (5-2007) and with the following site distances:

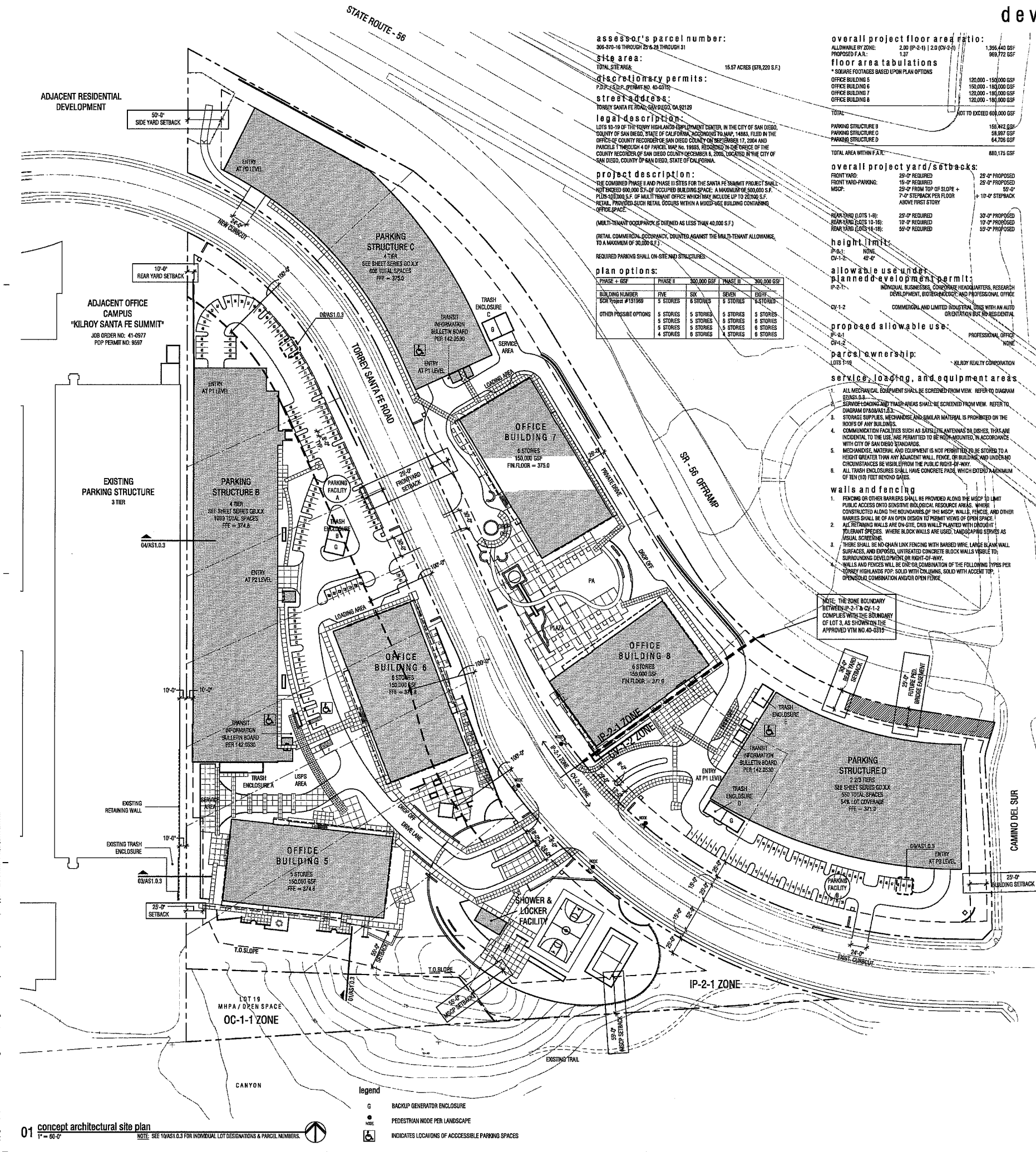
- (A) Street trees shall be located 7 feet from the face of such an street, classified in the applicable land use plan as a major street, primary arterial, or expressways that have a posted speed of 50 miles per hour or greater. For all other street classifications, street trees shall be located no closer than 30 inches to the face of curb or within median islands, no closer than four feet to the face of curb.
- (B) Street trees shall be separated from improvements by the minimum distance shown in Table 142-04B.

Table 142-04B
Minimum Tree Separation Distance

Improvement	Minimum Distance to Street Tree
Intersecting Street Right-of-Way	30 feet
Other Street Right-of-Way	15 feet
Other Street Right-of-Way	15 feet
Other Street Right-of-Way	15 feet
Other Street Right-of-Way	15 feet
Other Street Right-of-Way	15 feet



Brush Management Zones
1"=30'



development summary

overall project floor area ratio:
 ALLOWABLE BY ZONE: 2.0 (IP-2-1), 2.0 (CV-1-2)
 PROPOSED P.A.R.: 1,356,440 GSF
 969,772 GSF

floor area tabulations
 * SQUARE FOOTAGES BASED UPON PLAN OPTIONS

OFFICE BUILDING 5	150,000 GSF
OFFICE BUILDING 6	150,000 GSF
OFFICE BUILDING 7	150,000 GSF
OFFICE BUILDING 8	150,000 GSF
TOTAL	600,000 GSF

overall project yard/setbacks:

FRONT YARD	25'-0" REQUIRED	25'-0" PROPOSED
REAR YARD	15'-0" REQUIRED	15'-0" PROPOSED
REAR YARD (LOTS 1-19)	10'-0" REQUIRED	10'-0" PROPOSED
REAR YARD (LOTS 1-19)	10'-0" REQUIRED	10'-0" PROPOSED
REAR YARD (LOTS 1-19)	10'-0" REQUIRED	10'-0" PROPOSED
TOTAL AREA WITHIN P.A.R.	880,176 GSF	

height limits:
 25'-0" MAX. HEIGHT
 45'-0" MAX. HEIGHT

allowable use under planned development permits:
 INDIVIDUAL BUSINESSES, CONSUMER HEADQUARTERS, RESEARCH DEVELOPMENT, BIOTECHNOLOGY, AND PROFESSIONAL OFFICE

proposed allowable use:
 OFFICE

accessory site structures (all 1-story):
 SHOWER & LOCKER FACILITY: 935 S.F.

parking analysis:
LOTS 1-4
 CITY OF SAN DIEGO MIN. PARKING REQUIRED FOR OFFICE USE:
 3.3 SPACES PER 1000 G.S.F.
 (300,000 / 1,000) x 3.3 = 990 SPACES

parking provided:
 1,000 STANDARD SPACES
 11 HANDICAP ACCESSIBLE SPACES
 600 TOTAL SPACES

LOTS 10-19 (SEE 10/AS1.0.3 FOR LOT KEY PLAN)
 CITY OF SAN DIEGO MIN. PARKING REQUIRED FOR OFFICE USE:
 3.3 SPACES PER 1000 G.S.F.
 (300,000 / 1,000) x 3.3 = 990 SPACES

parking provided:
 1,019 STANDARD SPACES
 18 HANDICAP ACCESSIBLE SPACES
 1,037 TOTAL SPACES

parking tabulations:
LOTS 1-4
 PARKING STRUCTURE C
 580 STANDARD SPACES
 11 HANDICAP ACCESSIBLE SPACES
 591 TOTAL SPACES

PARKING STRUCTURE D
 538 STANDARD SPACES
 11 HANDICAP ACCESSIBLE SPACES
 549 TOTAL SPACES

PARKING FACILITY B (SURFACE PARKING)
 50 STANDARD SPACES
 0 HANDICAP ACCESSIBLE SPACES
 50 TOTAL SPACES

LOTS 10-19
 PARKING STRUCTURE B
 1,019 STANDARD SPACES
 18 HANDICAP ACCESSIBLE SPACES
 1,037 TOTAL SPACES

PARKING FACILITY A (SURFACE PARKING)
 117 STANDARD SPACES
 2 HANDICAP ACCESSIBLE SPACES
 119 TOTAL SPACES

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legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

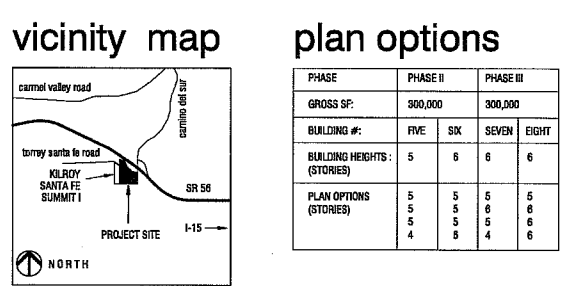
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EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW

NEIGHBORHOOD USE PERMIT

ZONE: IP-2-1, CV-1-2, 2.0 (CV-1-2)
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sheet index

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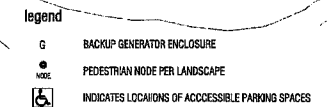
project address:
 TORREY SANTA FE ROAD
 SAN DIEGO, CA

project name:
 SANTA FE SUMMIT 2 & 3

sheet title:

8
 7
 6
 5
 4 2008 sept 25 - cycle 5
 3 2008 june 28 - cycle 4
 2 2007 december 14 - cycle 3
 1 2007 august 24 - cycle 2

revisions:
 original date:
 2007 may 31



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ANGELA BARLEY

legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19885, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 305-370-16 through 25 & 28 through 31

PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.

EXISTING APPROVALS: POP 40-0315, SCR 338059 (LOTS 10-19)

PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW

NEIGHBORHOOD USE PERMIT

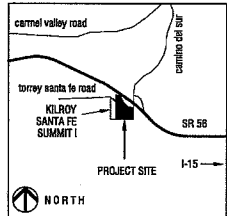
ZONE: IP-2-1, CV-1-2, DC-1-1

FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)

LOT AREA: 918,087 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))

PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX SEVEN EIGHT
BUILDING HEIGHTS (STORIES)	5 8 6 6	6 6 6 6
PLAN OPTIONS (STORIES)	5 5 5 4	5 5 5 4

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SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

A R C H I T E C T S
hanna gabriel wells

substantial conformance review

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SAN DIEGO, CA
project name:
SANTA FE SUMMIT 2 & 3
sheet title:

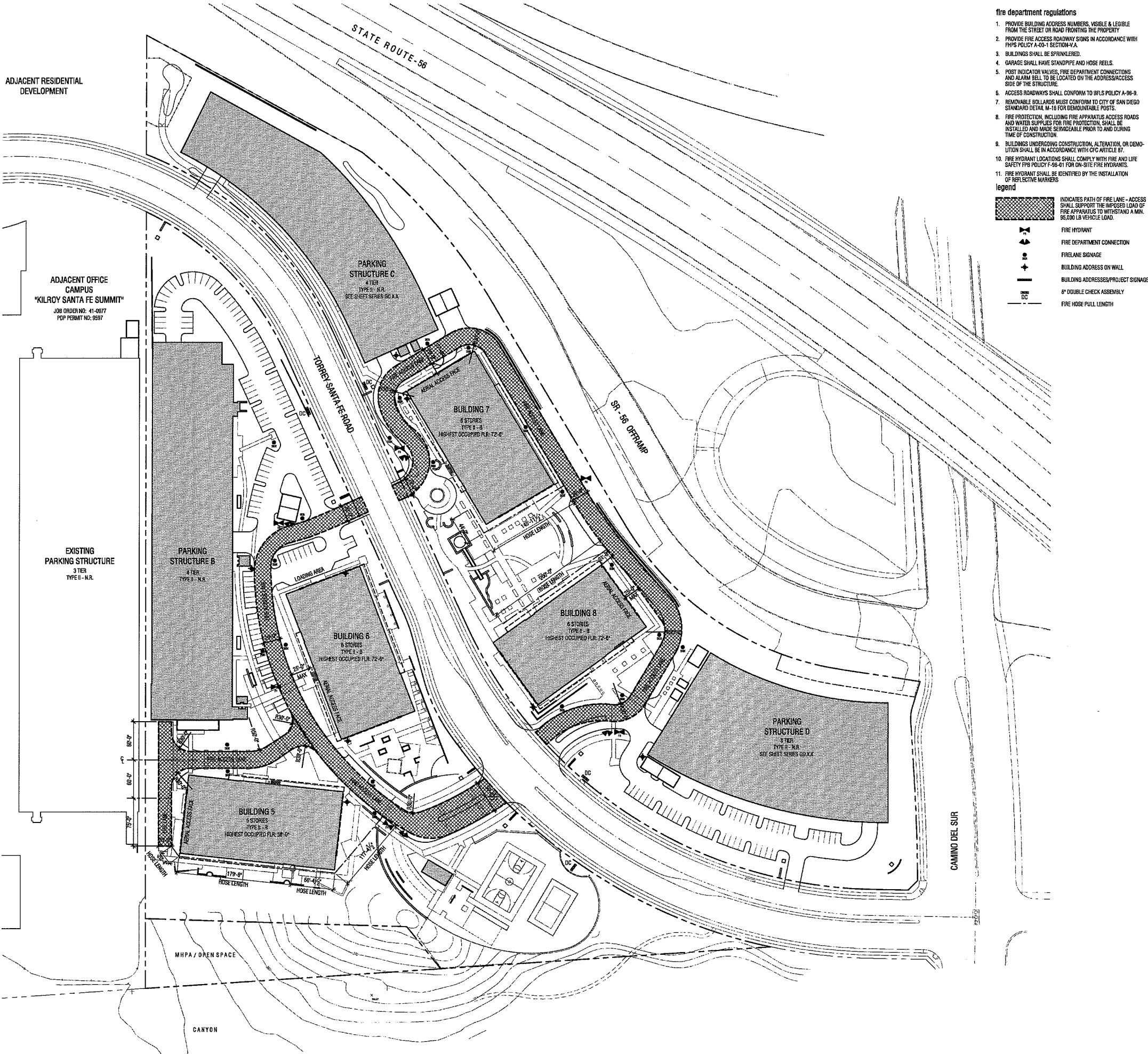
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1 2007 august 24 - cycle 2
revisions:
original date:
2007 may 31

fire access plan

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PTS# 131969



directory

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GREG NOWELL
SCOTT LAMDEL
ANGELA BARLEY

legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14863, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 15966, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 8, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 906-970-19 through 25 & 28 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 800,000 GROSS SQUARE FEET, INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.

EXISTING APPROVALS: POP 40-0315, SCR 338059 (LOTS 10-19)

PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW

NEIGHBORHOOD USE PERMIT

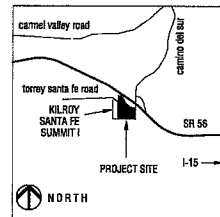
ZONE: IP-2-1, CV-1-2, OC-1-1

FAR: 2.0 (P-2-1), 2.0 (CV-1-2)

LOT AREA: 918,087 S.F. (BUM: 468,822 S.F. (LOTS 1-4) & 451,265 S.F. (LOTS 10-19))

PROPOSED FLOOR AREA: 800,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX SEVEN EIGHT
BUILDING HEIGHTS (STORIES)	5	6 6 6 8
PLAN OPTIONS (STORIES)	5 5 5 5 4	5 6 6 6 6

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GB1.0.3 PARKING STRUCTURE 9 SHADE STRUCTURE DIAGRAM
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GD1.0.1 PARKING STRUCTURE D FLOOR PLANS
GD1.0.2 PARKING STRUCTURE D FLOOR PLANS
GD1.0.3 PARKING STRUCTURE D SHADE
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SP.1 SIGNAGE SITE PLAN
SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

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hanna gabriel wells

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project name:
SANTA FE SUMMIT 2 & 3
sheet title:

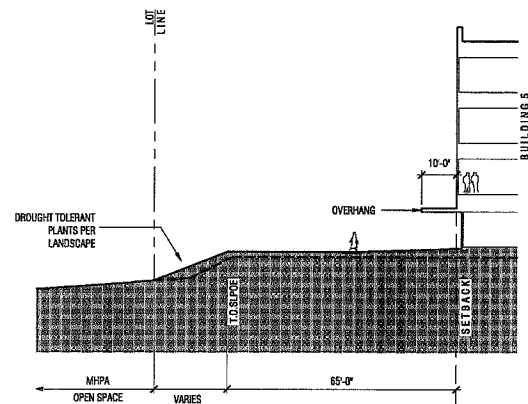
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concept site sections

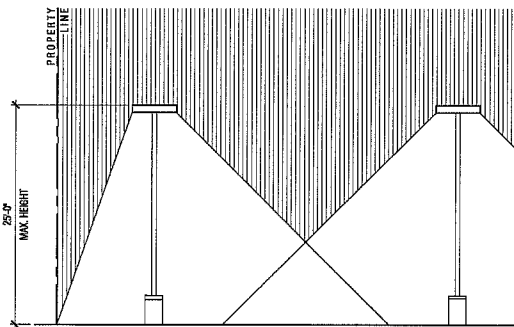
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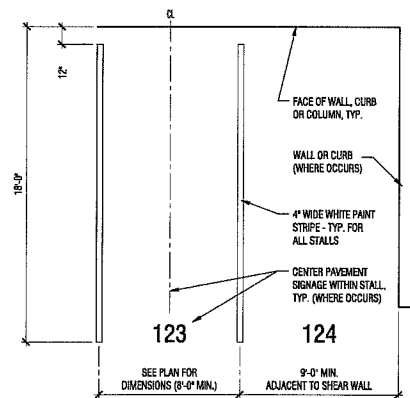


01 MSCP building edge condition and fencing lots 16-18 (figure 7 PDP)
1"=25'-0"



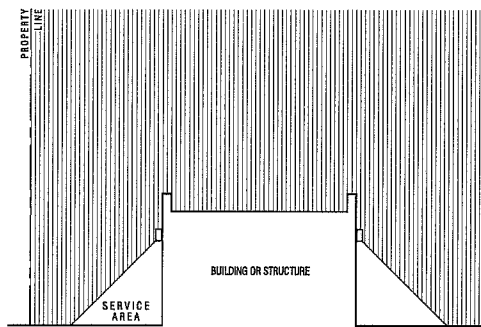
NOTE:
1. PRE-EXISTING LIGHT FIXTURES WILL NOT EXCEED 25'-0" IN HEIGHT
2. ALL LIGHTING ADJACENT TO THE MSCP, WILL BE SHIELDED AND DIRECTED AWAY FROM ALL NATURAL HABITATS

05 outdoor lighting diagram - free standing (ref. figure 18 PDP)
1/8"=1'-0"



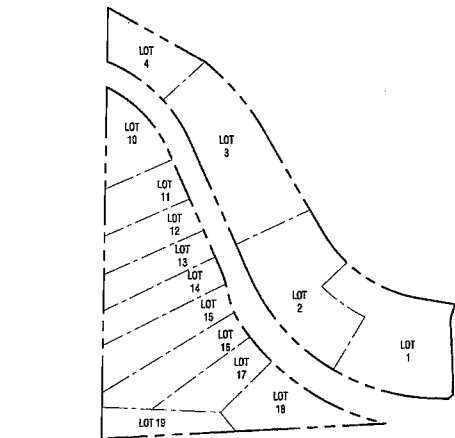
09 typical parking space
1/4"=1'-0"

02 not used
1"=25'-0"

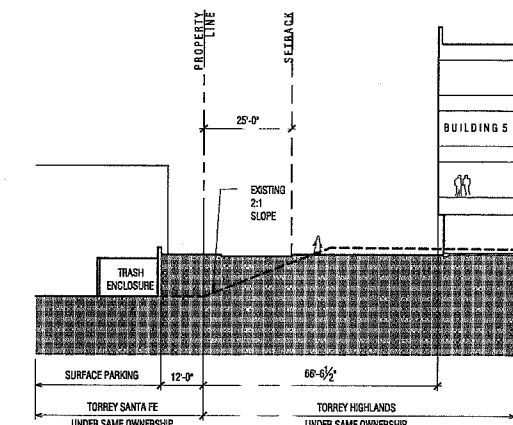


NOTE:
1. SERVICE AREA LIGHTING WILL BE CONTAINED WITHIN THE SERVICE YARD BOUNDARIES
2. ALL LIGHTING ADJACENT TO THE MSCP, WILL BE SHIELDED AND DIRECTED AWAY FROM ALL NATURAL HABITATS

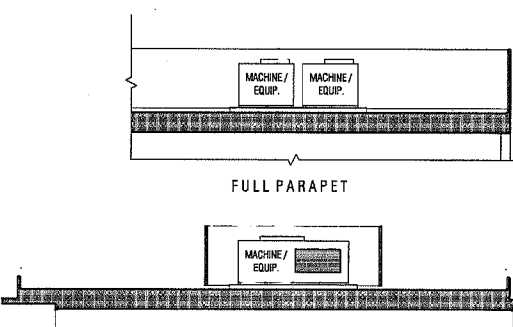
06 outdoor lighting diagram - wall mounted (ref. figure 18 PDP)
1/8"=1'-0"



10 lot keyplan
no scale

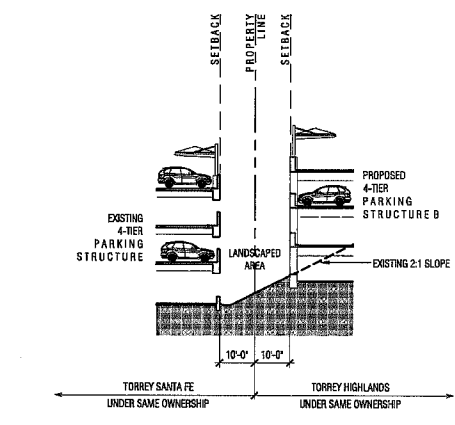


03 edge condition diagram lots 11-16 (figure 9 PDP)
1"=25'-0"

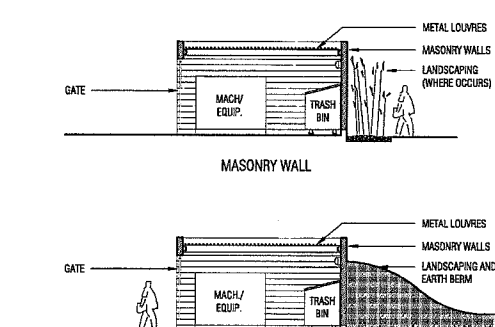


07 roof top screening (figure 14 PDP)
1/4"=1'-0"

07 roof top screening (figure 14 PDP)
1/4"=1'-0"



04 edge condition diagram lots 11-16 (figure 9 PDP)
1"=25'-0"



08 typical trash enclosure & equipment screening diagram (figure 16 PDP)
1/8"=1'-0"

08 typical trash enclosure & equipment screening diagram (figure 16 PDP)
1/8"=1'-0"

directory

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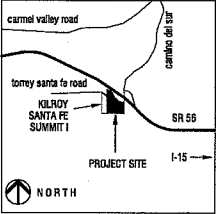
legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP: 14863, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19896, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APH: 306-378-16 through 25 & 28 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTILEVEL PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: POP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, DC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 468,822 S.F. (LOTS 1-9) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX SEVEN EIGHT
BUILDING HEIGHTS : (STORIES)	5 6 6 6	5 5 5 5
PLAN OPTIONS (STORIES)	5 5 5 5 6 6 6 6 4 4 4 4	5 5 5 5 6 6 6 6 4 4 4 4

sheet index

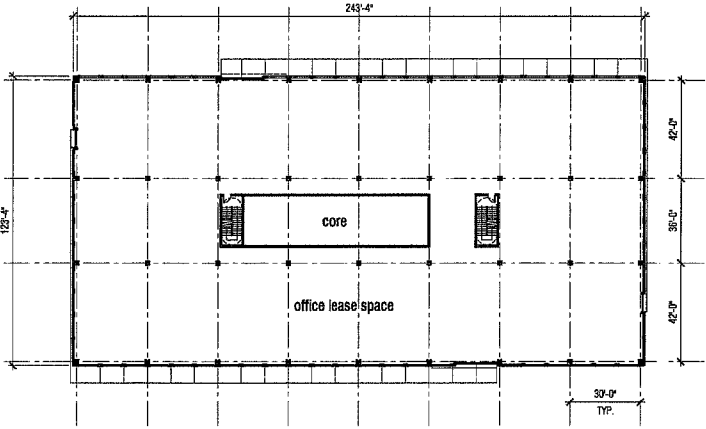
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SP.4 GROUND SIGNS

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hanna gabriel wells

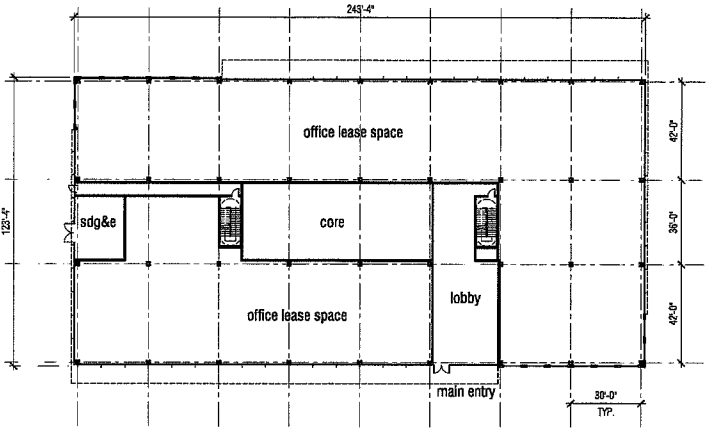
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sheet title:

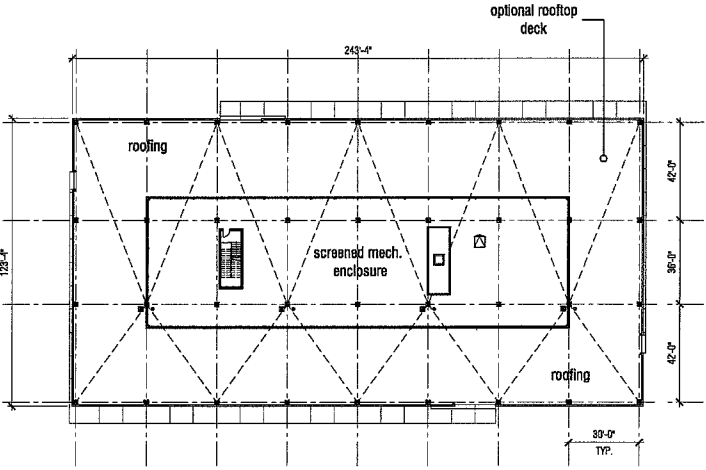
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1 2007 august 24 - cycle 2
revisions:
original date:
2007 may 31



04 typical upper floor plan
1" = 30'-0"



01 building 5, 6, 7 & 8 first floor plan
1" = 30'-0"



05 typical roof plan
1" = 30'-0"

directory

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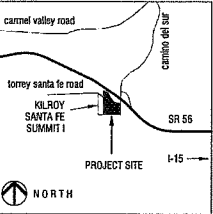
legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP, 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 305-370-16 through 25 & 28 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	5
	4	6

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GD3.0.1 PARKING STRUCTURE D ELEVATIONS
SP.1 SIGNAGE SITE PLAN
SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
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hanna gabriel wells

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SANTA FE SUMMIT 2 & 3
sheet title:

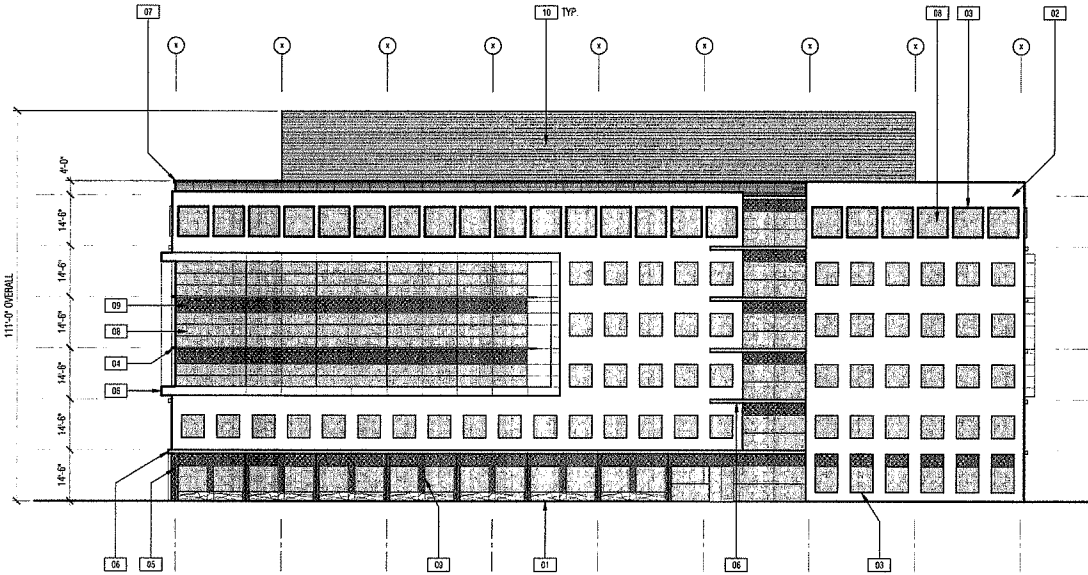
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revisions:
original date:
2007 may 31

buildings 5, 6, 7 & 8 concept elevations

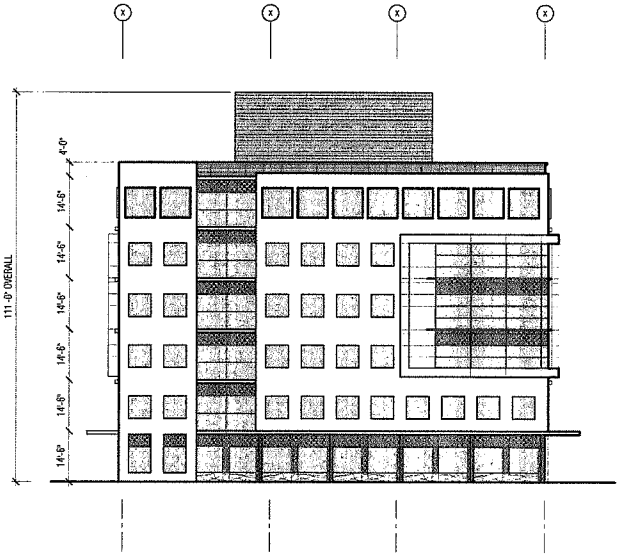
sheet 13 of 29

A3.0.1

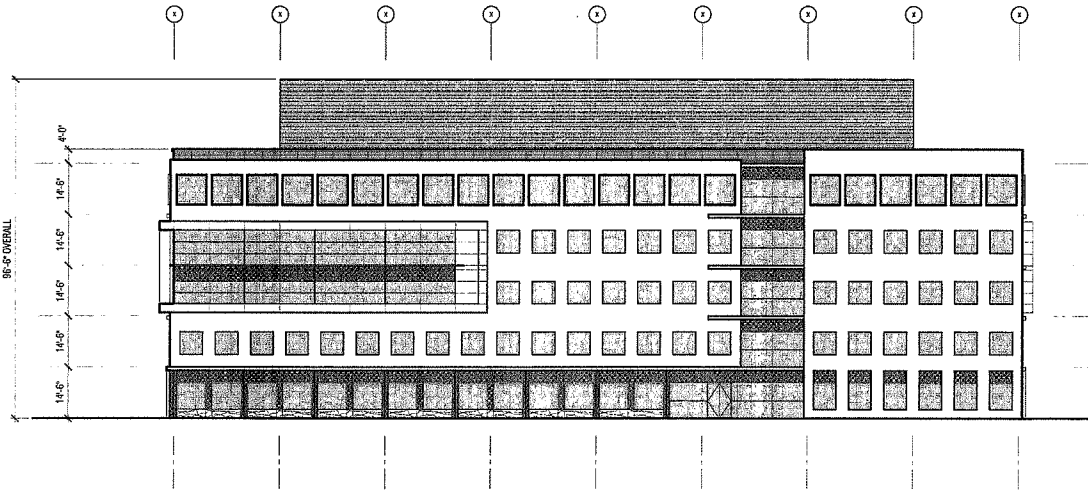
PTS# 131969



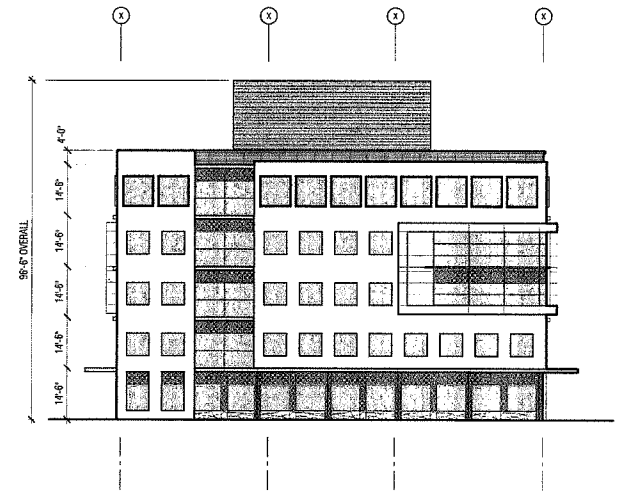
01 typical six-story building elevations (opposite elevation similar)
1" = 20'-0"



02 typical six-story building elevation (opposite elevation similar) SEE DETAIL 01 FOR NOTES
1" = 20'-0"



03 typical five-story building elevation (opposite elevation similar) SEE DETAIL 01 FOR NOTES
1" = 20'-0"



04 typical five-story building elevations (opposite elevation similar) SEE DETAIL 01 FOR NOTES
1" = 20'-0"

directory

owner/permittee KILROY REALTY CORPORATION 3811 VALLEY CENTRE DRIVE, SUITE 550 SAN DIEGO, CA 92130 WORK: 619.523.2205 FAX: 619.523.0330	JUSTIN SMART ROBERT LITTLE STEVE SCOTT
architect: ARCHITECTS hanna gabriel wells 4993 NIAGARA AVENUE SAN DIEGO, CA 92107 WORK: 619.523.8485 FAX: 619.523.8487	RANDY HANNA JIM GARRIEL MATT WELLS SCOTT MAGIC
civil engineer: RICK ENGINEERING 5520 PRANS ROAD SAN DIEGO, CA 92110 WORK: 619.688.1424 FAX: 619.291.4165	TONY DIELI LEO HERMANOWICZ KELLY CRUVE
landscape architect: NOWELL & ASSOCIATES LANDSCAPE ARCHITECTURE, INC. 2805 STATE STREET SAN DIEGO, CA 92103 WORK: 619.325.1990 FAX: 619.325.1997	GREG NOWELL SCOTT SANDS ANGELA BARLEY

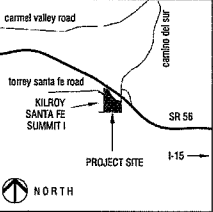
legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP, 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

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PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, DC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,087 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL [600,000 S.F. OFFICE]

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5

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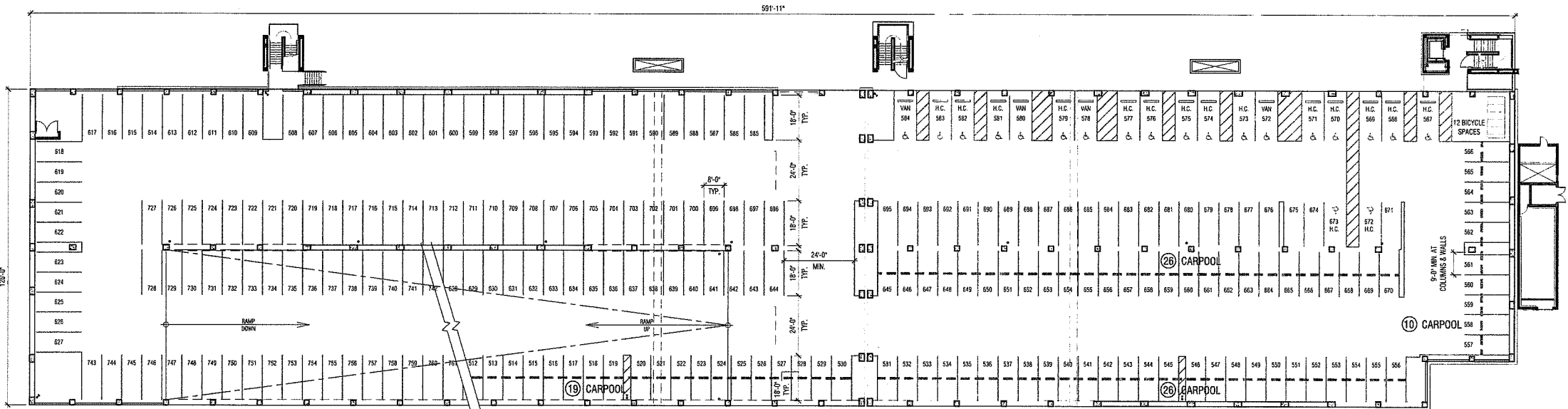
ARCHITECTS
hanna gabriel wells

substantial conformance review

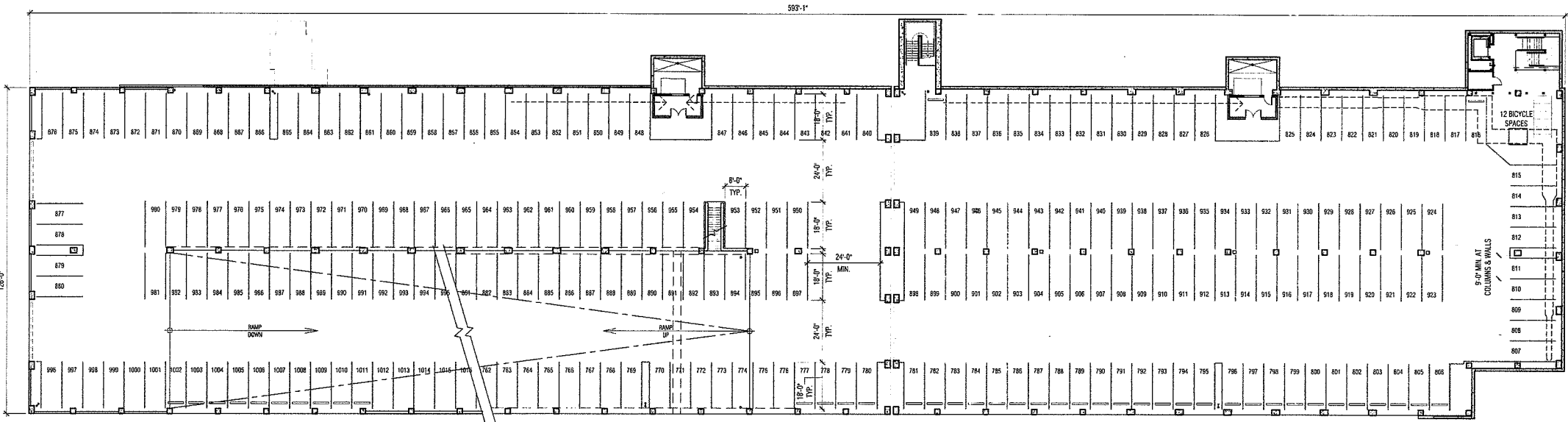
prepared by: ARCHITECTS hanna gabriel wells 4993 NIAGARA AVE, SUITE 200 SAN DIEGO, CA 92101 tel: 619.523.8485 fax: 619.523.8487	8 7 6 5 4
project address: TORREY SANTA FE ROAD SAN DIEGO, CA	4 2008 sept 25 - cycle 5 3 2006 june 28 - cycle 4 2 2007 december 14 - cycle 3 1 2007 august 24 - cycle 2
project name: SANTA FE SUMMIT 2 & 3	revisions: original date: 2007 may 31
sheet title:	

parking structure B concept P1 & P2 floor plans sheet 14 of 29

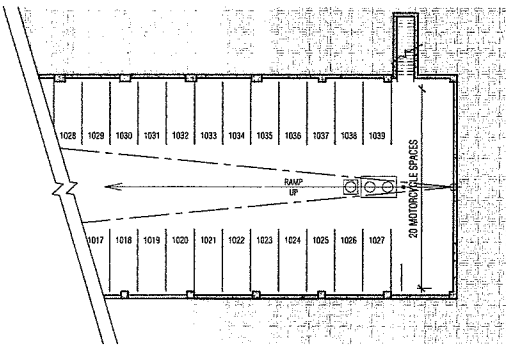
GB1.0.1 131969



02 parking structure B second floor plan - F.F.L. = 375.50 - 250 spaces
1" = 20'-0"



01 parking structure B first floor plan - F.F.L. = 364.0 - 256 spaces
1" = 20'-0"



01a parking structure B first floor plan (continued) - 23 spaces
1" = 20'-0"

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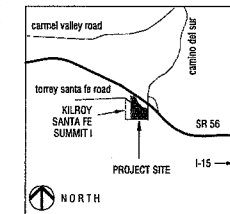
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vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SEVEN
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	6
	4	6

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SP.1 SIGNAGE SITE PLAN
SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

ARCHITECTS
hanna gabriel wells

substantial conformance review

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TORREY SANTA FE ROAD
SAN DIEGO, CA
project name:
SANTA FE SUMMIT 2 & 3
sheet 98e:

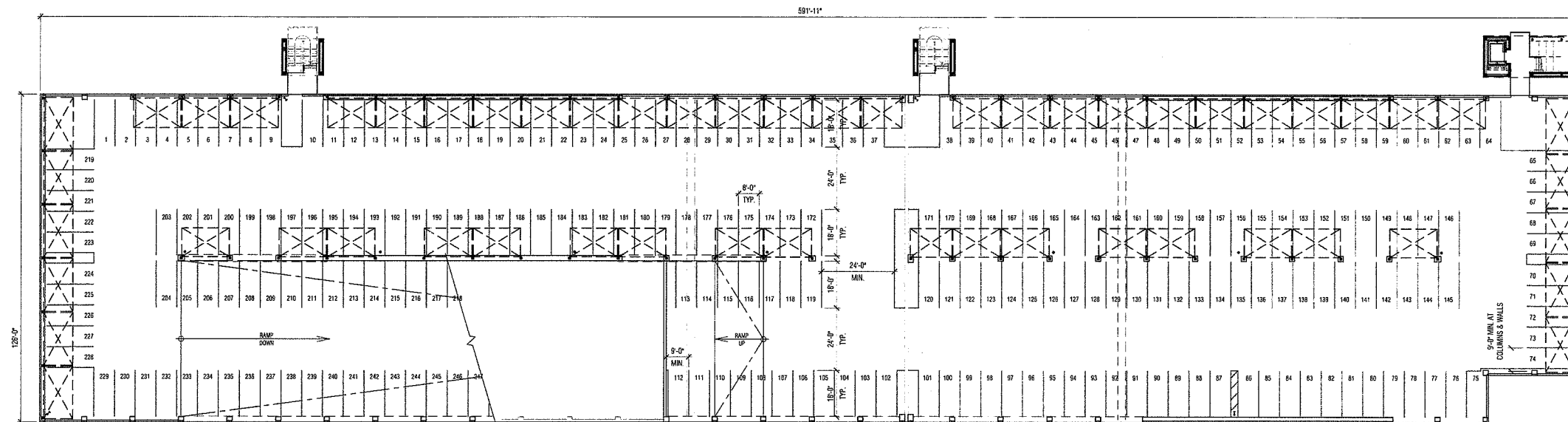
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2 2007 december 14 - cycle 3
1 2007 august 24 - cycle 2
revisions:
original date:
2007 may 31

parking structure B concept P3 & P4 floor plans

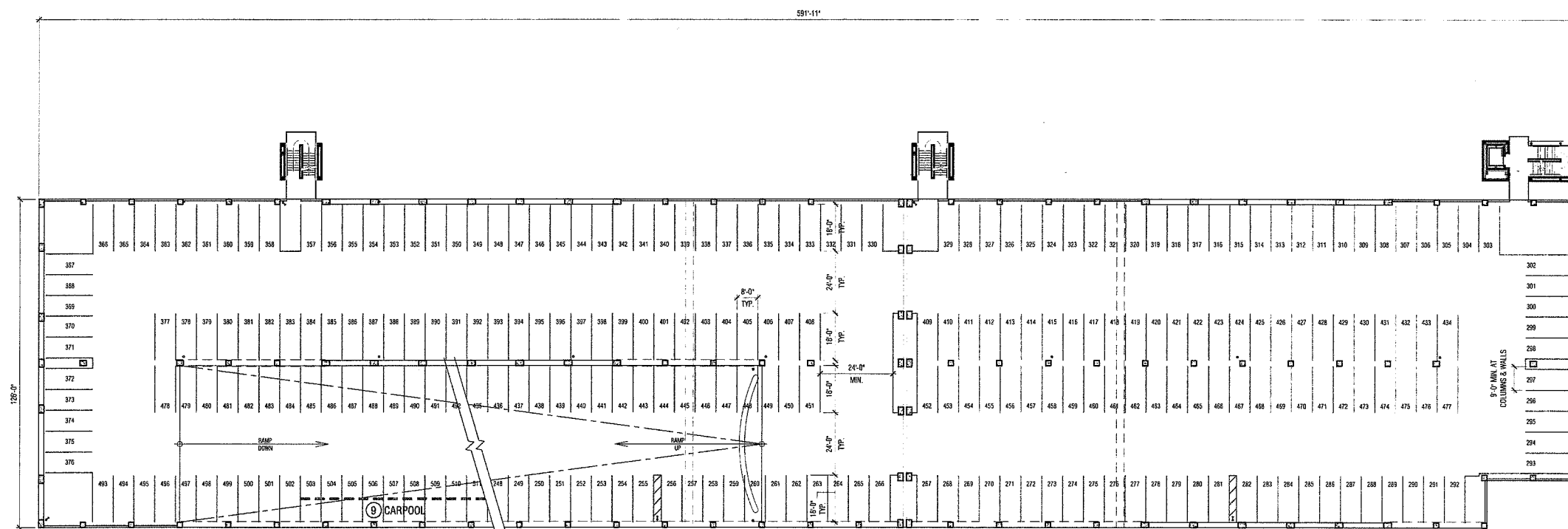
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GB1.0.2

PTS# 131969



02 parking structure B fourth floor plan - F.F.L. = 387.0 - 247 spaces
1" = 20'-0"



01 parking structure B third floor plan - F.F.L. = 397.50 - 264 spaces
1" = 20'-0"

legend

--- CARPOOL DESIGNATED PARKING
Ⓢ NUMBER OF CARPOOL SPACES

directory

owner/permittee
KILROY REALTY CORPORATION
3611 VALLEY CENTRE DRIVE, SUITE 550
SAN DIEGO, CA 92130
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civil engineer:
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landscape architect:
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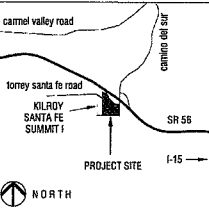
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EXISTING APPROVALS: POP 40-0315, SCR 338058 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, DC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
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vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX SEVEN EIGHT
BUILDING HEIGHTS : (STORIES)	5	6 6 6 6
PLAN OPTIONS (STORIES)	5 5 5 4	5 6 5 6 6 6

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GB1.0.2 PARKING STRUCTURE B FLOOR PLANS

GB1.0.3 PARKING STRUCTURE B SHADE STRUCTURE DIAGRAM
GB3.0.1 PARKING STRUCTURE B ELEVATIONS
GC1.0.1 PARKING STRUCTURE C FLOOR PLANS
GC1.0.2 PARKING STRUCTURE C SHADE STRUCTURE DIAGRAM
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GD1.0.2 PARKING STRUCTURE D FLOOR PLANS
GD3.0.1 PARKING STRUCTURE D ELEVATIONS
SP.1 SIGNAGE SITE PLAN
SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

A R C H I T E C T S
hanna gabriel wells

substantial conformance review

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project name:
SANTA FE SUMMIT 2 & 3
sheet title:

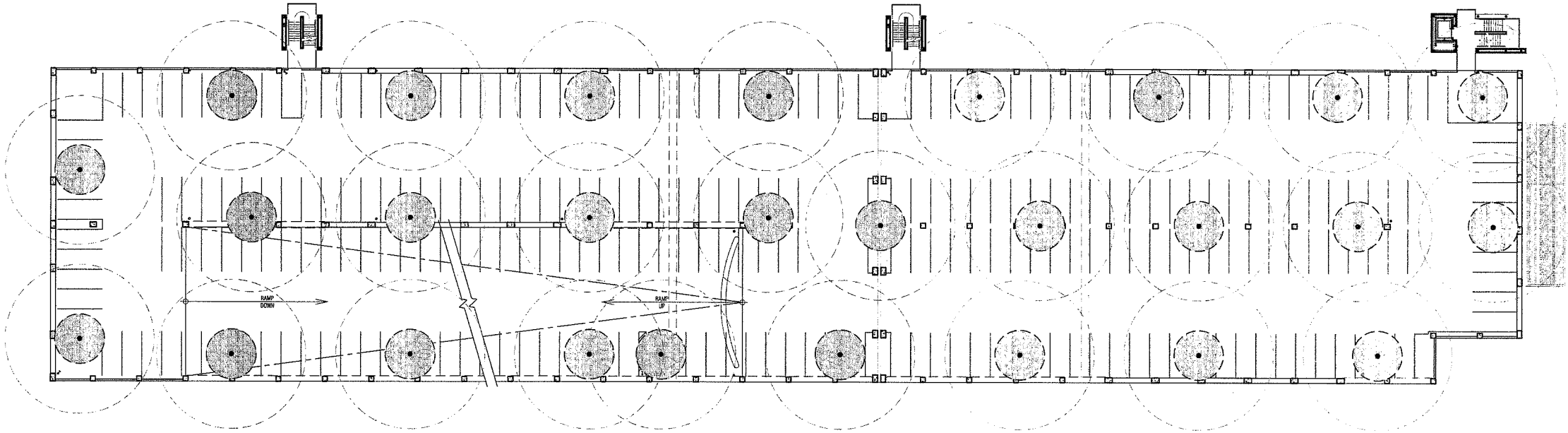
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1 2007 august 24 - cycle 2
revisions:
original date:
2007 may 31

parking structure B shade structure diagram

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GB1.0.3

PTS# 131969



02 parking structure B requirement diagram
1" = 20'-0"

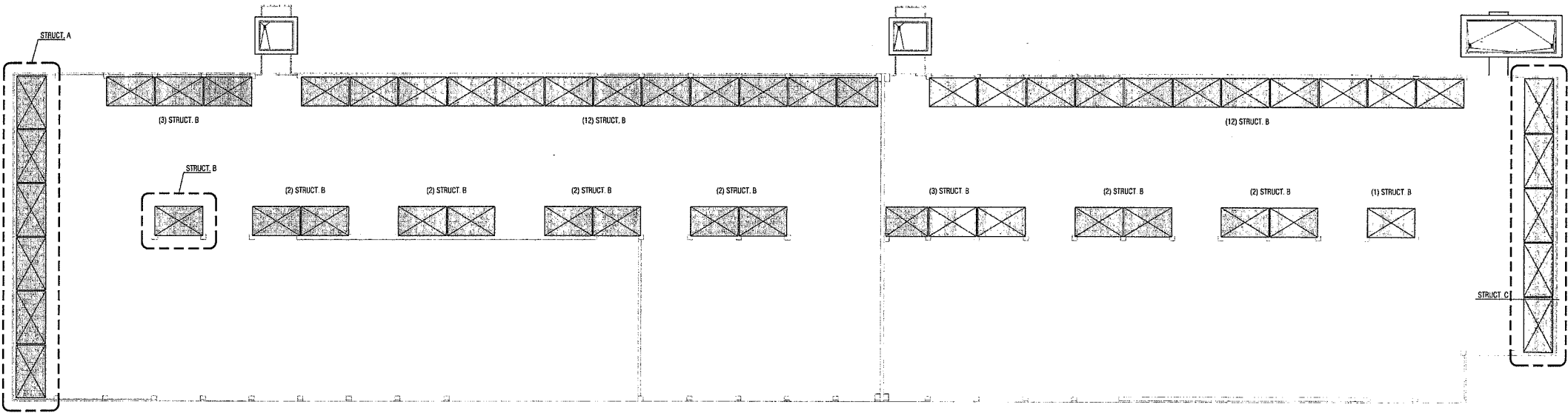
tree tabulations

	NUMBER OF TREES	SHADE AREA PER TREE	TOTAL SHADE AREA	SHADE FACTOR	REVISED TOTAL SHADE AREA
TREE PER ORDINANCE	27	314 (10' R.)	8,478 S.F.	50%	4,239 S.F.
			8,478 S.F.		4,239 S.F.

parking structure shade note:

PARKING STRUCTURE LANDSCAPE PROVIDES SHADE STRUCTURES IN LIEU OF VEHICULAR USE AREA TREES. SHADE STRUCTURES HAVE BEEN DESIGNED TO PROVIDE A SHADED AREA EQUIVALENT OR GREATER THAN THAT OF TREES WITHIN 30 FEET OF EACH STALL PER ORDINANCE AS CALCULATED BELOW.

SHADE STRUCTURE TYPE	NUMBER OF STRUCTURES	SHADE AREA PER STRUCT.	TOTAL SHADE AREA	SHADE FACTOR	REVISED TOTAL SHADE AREA
SHADE STRUCTURE A	1	1,380 S.F.	1,380 S.F.	86%	1,186 S.F.
SHADE STRUCTURE B	44	203 S.F.	8,932 S.F.	86%	7,681 S.F.
SHADE STRUCTURE C	1	1,175 S.F.	1,175 S.F.	86%	1,010 S.F.
			11,487 S.F.	> 8,478 S.F.	9,876 S.F.
					> 4,239 S.F.



01 parking structure B proposed shade structure diagram
1" = 20'-0"

directory

owner/permittee
KILROY REALTY CORPORATION
3611 VALLEY CENTRE DRIVE, SUITE 550
SAN DIEGO, CA 92130
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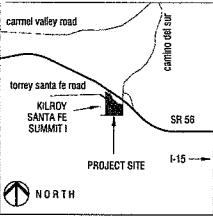
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vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX SEVEN EIGHT
BUILDING HEIGHTS (STORIES)	5	6 6 6 6
PLAN OPTIONS (STORIES)	5 5 5 4	5 6 6 6

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A R C H I T E C T S
hanna gabriel wells

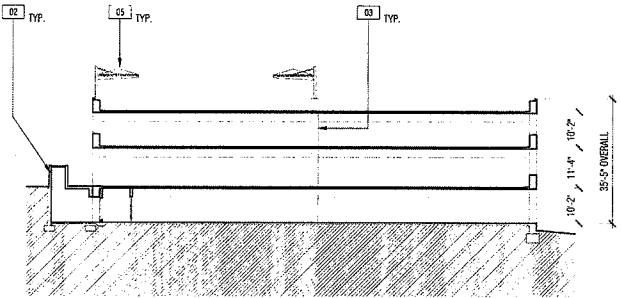
substantial conformance review

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TORREY SANTA FE ROAD
SAN DIEGO, CA
project name:
SANTA FE SUMMIT 2 & 3
sheet title:

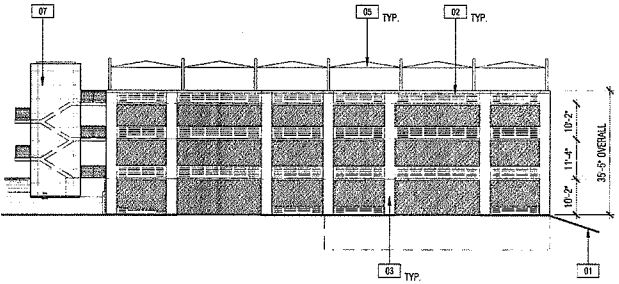
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3 2009 june 28 - cycle 4
2 2007 december 14 - cycle 3
1 2007 august 24 - cycle 2
revisions:
original date:
2007 may 31

sheet keynotes

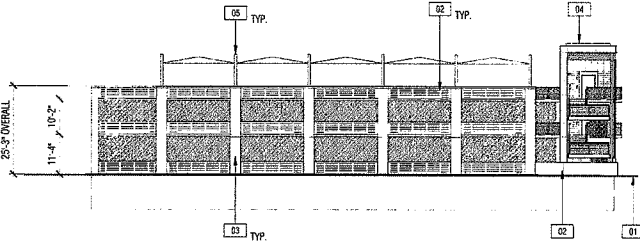
- 01 FINISH GRADE
- 02 C.I.P. CONCRETE WALL
- 03 C.I.P. CONCRETE COLUMN
- 04 THINSET STONE CLADDING
- 05 PAINTED STEEL SHADE STRUCTURE
- 06 METAL RAILING - PAINTED
- 07 METAL STAIR - PAINTED
- 08 MECHANICAL EXHAUST
- 09 CABLE RAIL



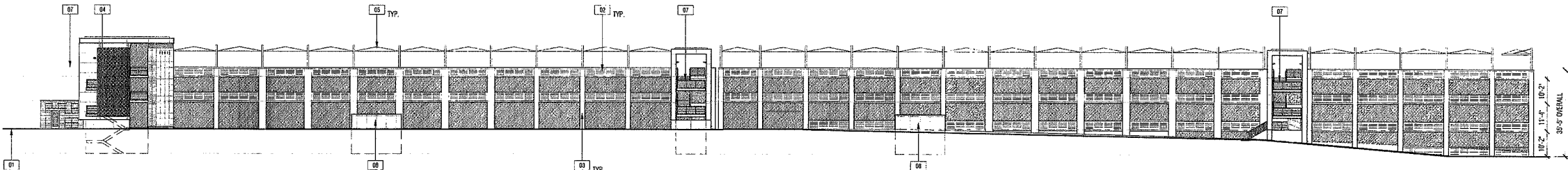
05 parking structure B section
1" = 20'-0"



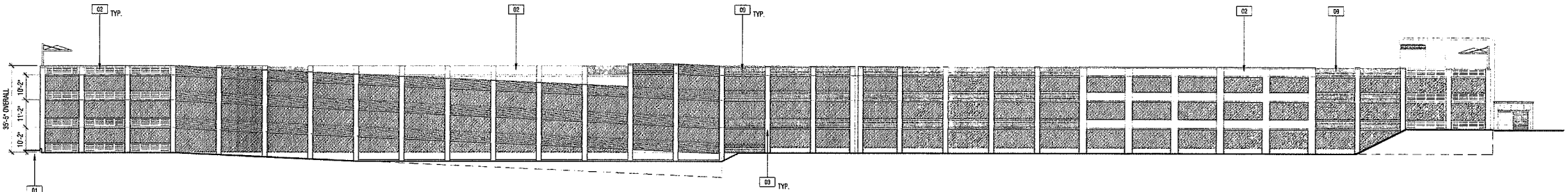
04 parking structure B north elevation
1" = 20'-0"



03 parking structure B south elevation
1" = 20'-0"



02 parking structure B east elevation
1" = 20'-0"



01 parking structure B west elevation
1" = 20'-0"

directory

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GREG NOWELL
SCOTT SANDEL
ANGELA BARLEY

legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-378-16 through 25 & 28 through 31

PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET, INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.

EXISTING APPROVALS: PDP 40-0315, SCR 339059 (LOTS 10-16)

PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW

NEIGHBORHOOD USE PERMIT

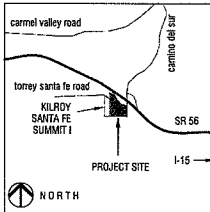
ZONE: IP-2-1, CV-1-2, OC-1-1

FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)

LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))

PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	5
	4	6

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A3.0.1 BUILDINGS 5, 6, 7 & 8 CONCEPT ELEVATIONS AND SECTION
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SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

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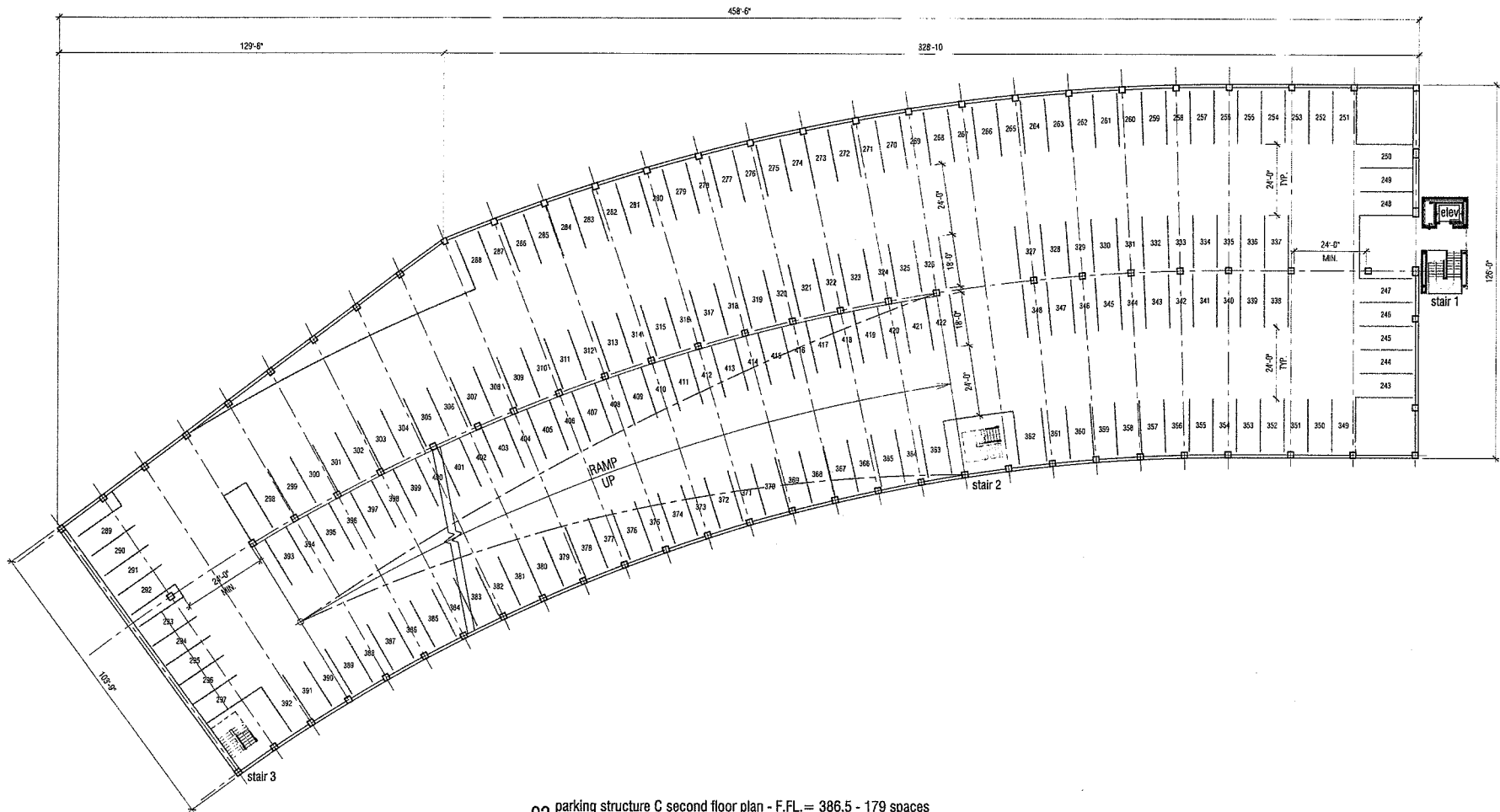
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parking structure C concept P1 & P2 floor plans

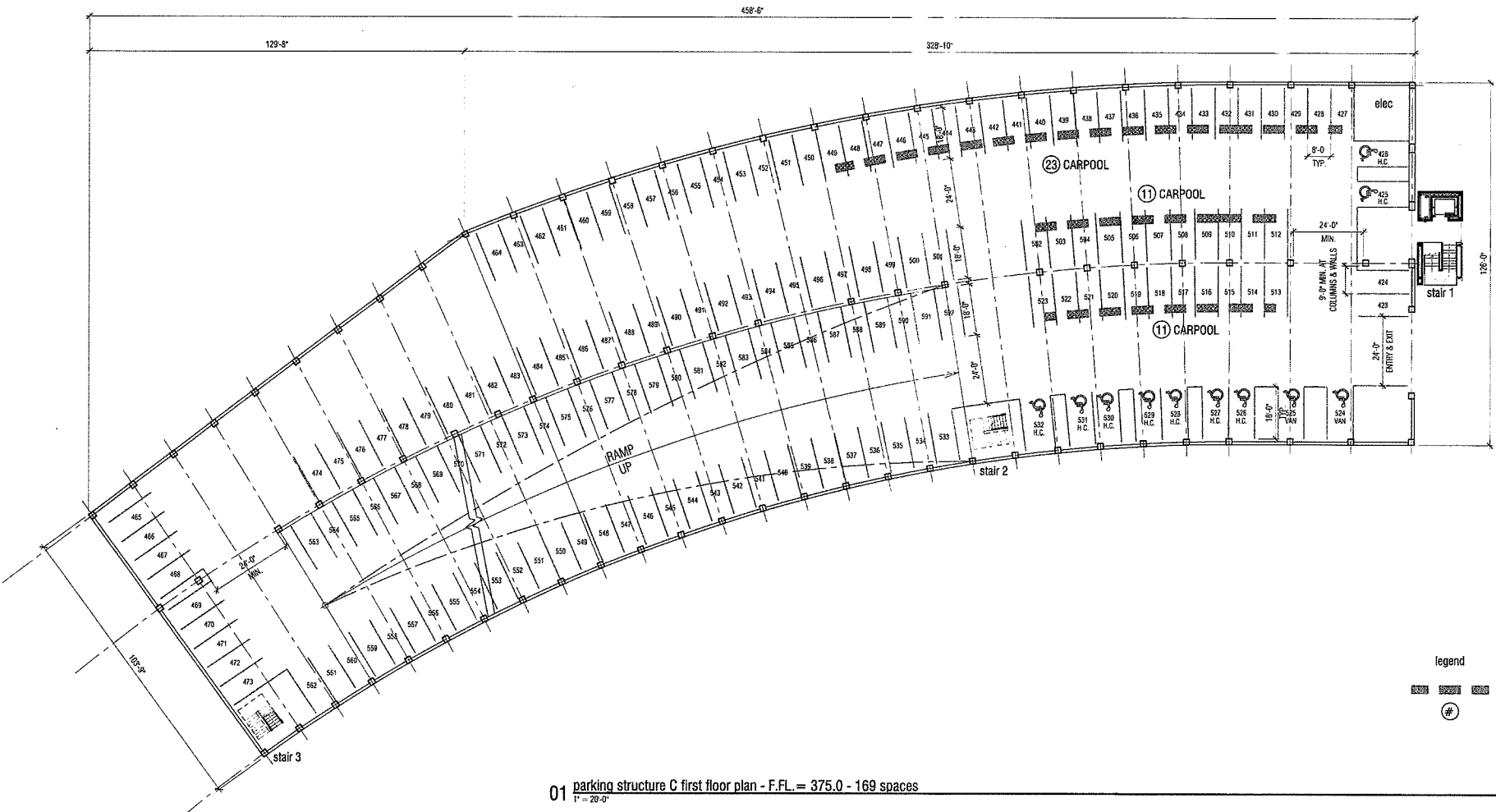
sheet 18 of 29

GC1.0.1

PTS# 131969



02 parking structure C second floor plan - F.F.L. = 386.5 - 179 spaces
1" = 20'-0"



01 parking structure C first floor plan - F.F.L. = 375.0 - 169 spaces
1" = 20'-0"

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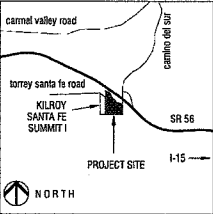
legal description

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development summary

APN: 305-370-16 through 25 & 28 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (P-2-1), 2.0 (CV-1-2)
LOT AREA: 618,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SEVEN
BUILDING HEIGHTS (STORIES)	5 6 8	6 8 EIGHT
PLAN OPTIONS (STORIES)	5 5 5 4	5 6 6 6 6

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- GB1.0.3 PARKING STRUCTURE B SHADE STRUCTURE DIAGRAM
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GD1.0.2 PARKING STRUCTURE D FLOOR PLANS
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SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

A R C H I T E C T S
hanna gabriel wells

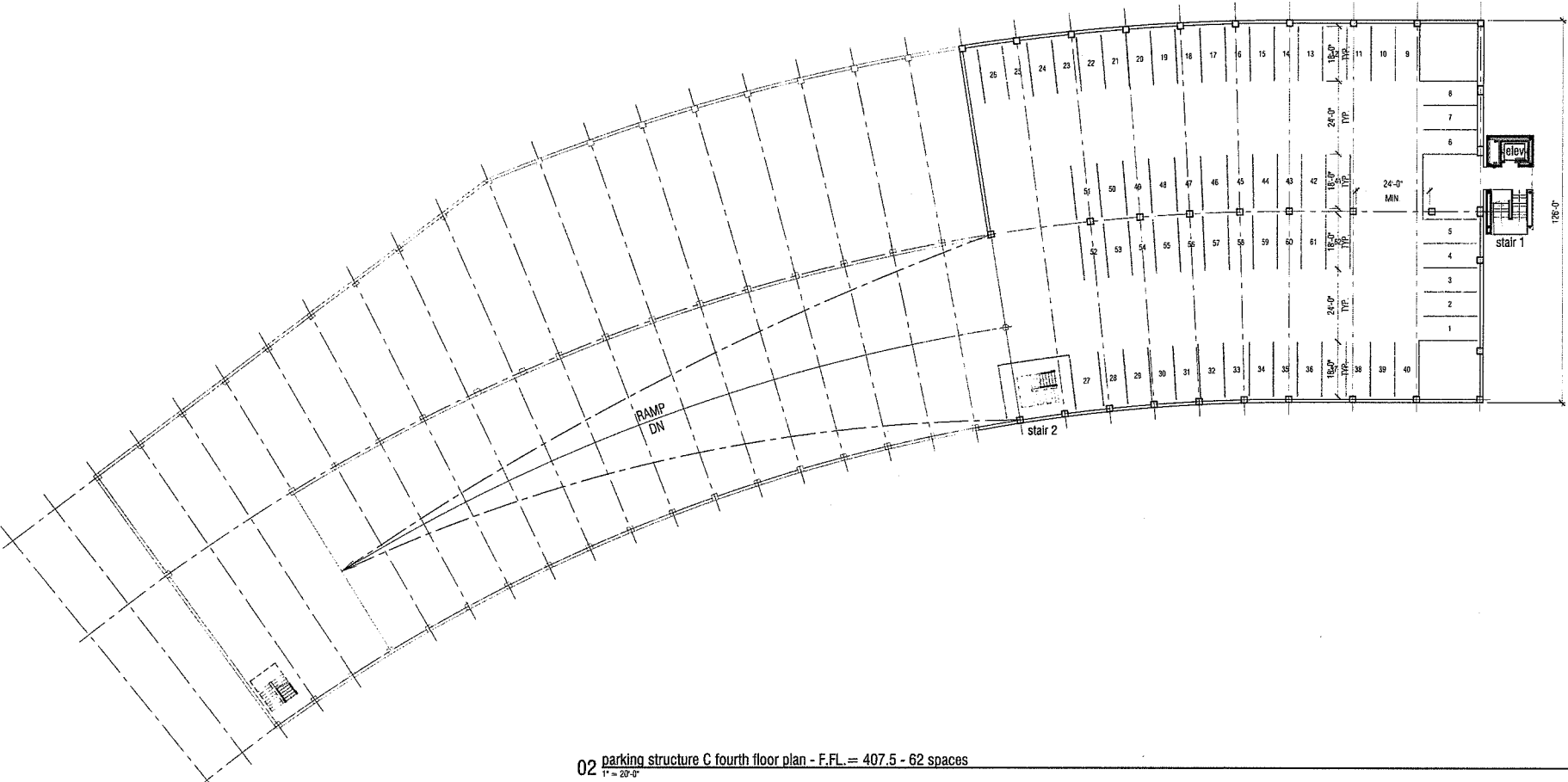
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sheet title:

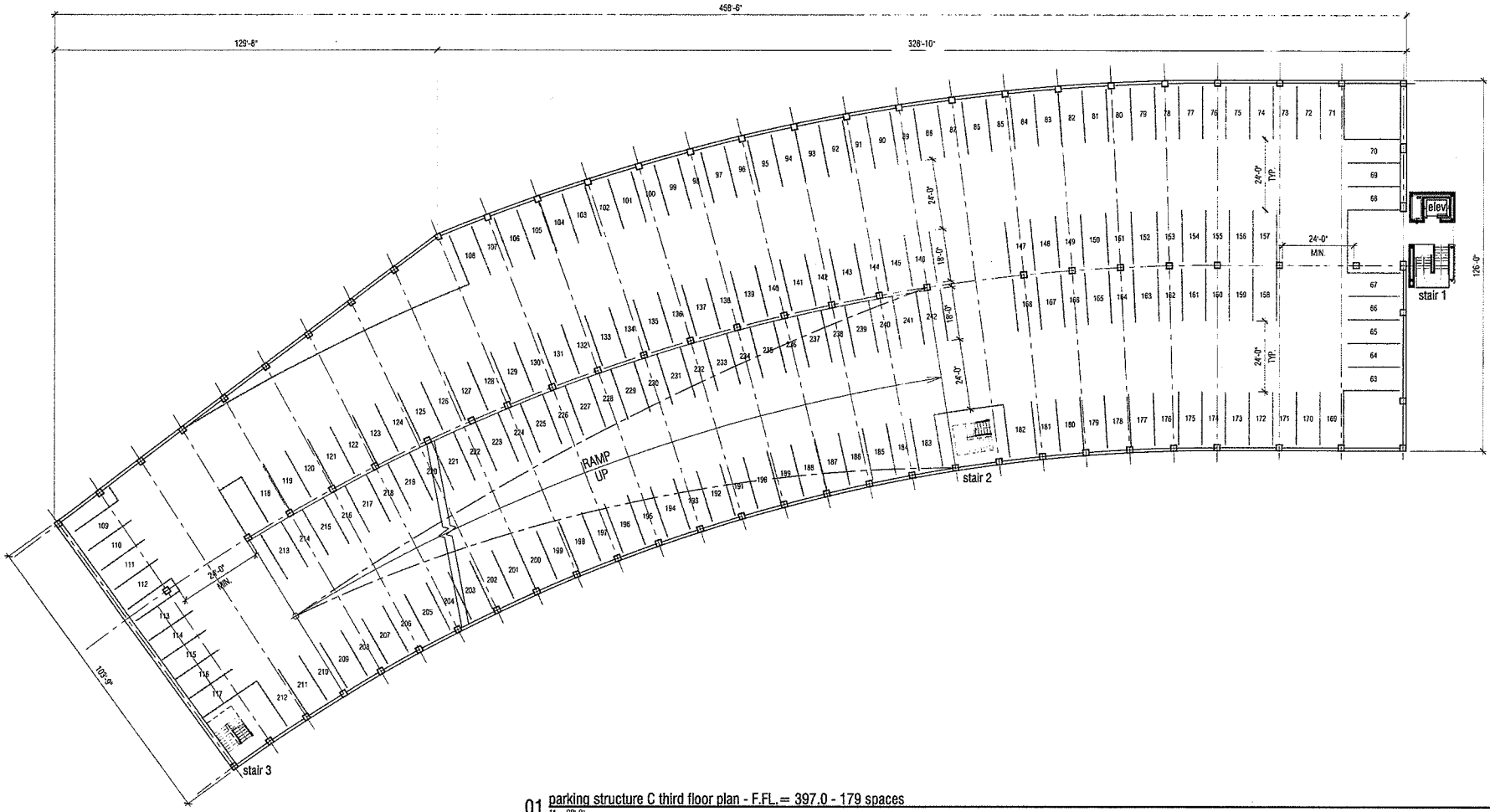
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revisions:
original date:
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parking structure C concept P3 & P4 floor plans sheet 19 of 29

GC1.0.2 PTS# 131969



02 parking structure C fourth floor plan - F.F.L. = 407.5 - 62 spaces
1" = 20'-0"



01 parking structure C third floor plan - F.F.L. = 397.0 - 179 spaces
1" = 20'-0"

directory

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KILROY REALTY CORPORATION
3511 VALLEY CENTRE DRIVE, SUITE 550
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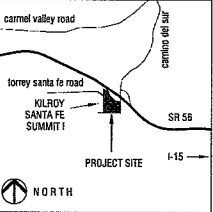
legal description

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EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-10)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
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vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	5
	4	6

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AS1.0.3 CONCEPT SITE DIAGRAMS
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GB1.0.2 PARKING STRUCTURE B FLOOR PLANS
- GB1.0.3 PARKING STRUCTURE B SHADE
STRUCTURE DIAGRAM
GB3.0.1 PARKING STRUCTURE B ELEVATIONS
GC1.0.1 PARKING STRUCTURE C FLOOR PLANS
GC1.0.2 PARKING STRUCTURE C FLOOR PLANS
GC1.0.3 PARKING STRUCTURE C SHADE
STRUCTURE DIAGRAM
GC3.0.1 PARKING STRUCTURE C ELEVATIONS
GD1.0.1 PARKING STRUCTURE D FLOOR PLANS
GD1.0.2 PARKING STRUCTURE D FLOOR PLANS
GD1.0.3 PARKING STRUCTURE D SHADE
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SP.1 SIGNAGE SITE PLAN
SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

ARCHITECTS
hanna gabriel wells

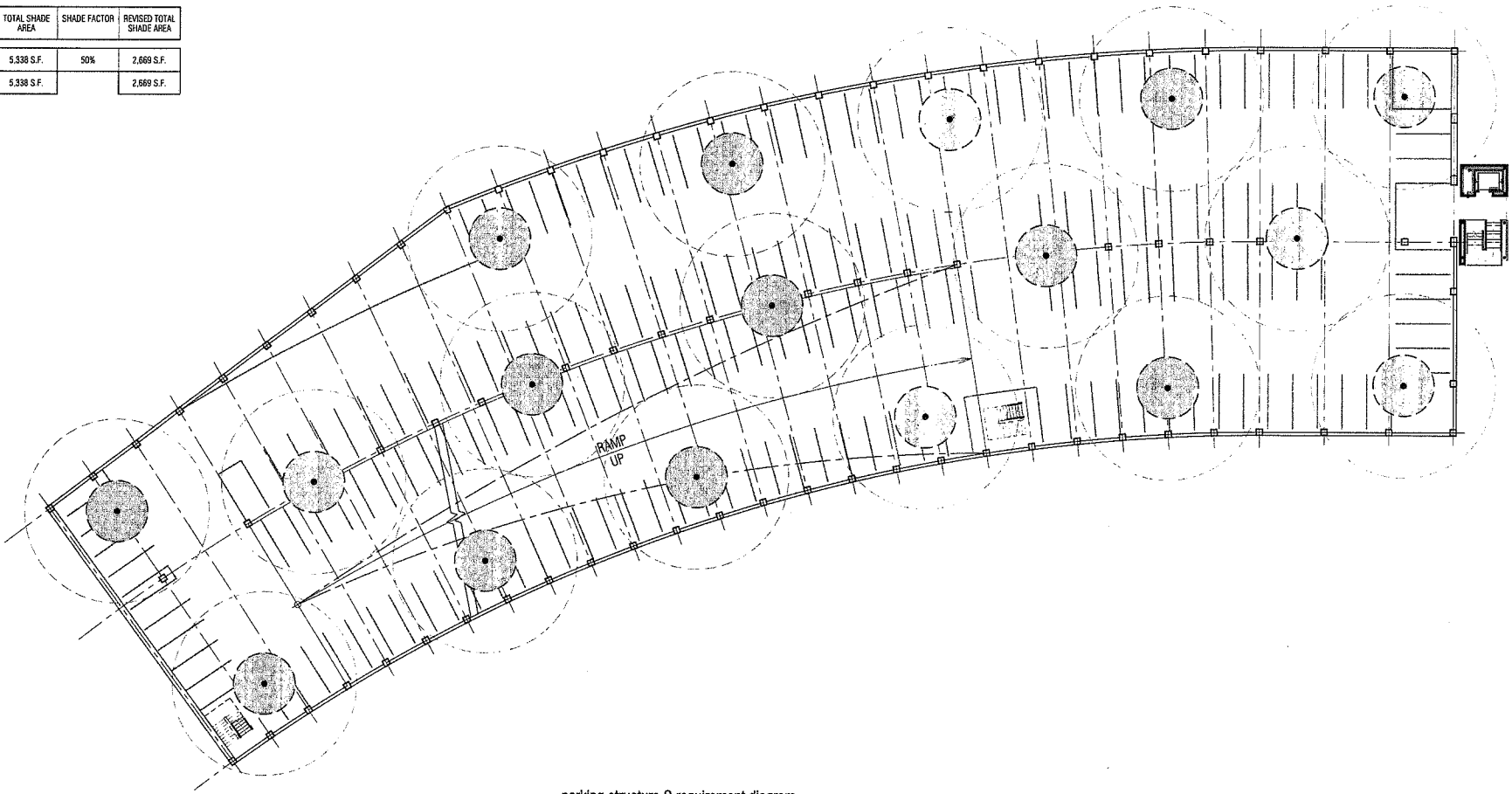
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revisions:
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tree tabulations

	NUMBER OF TREES	SHADE AREA PER TREE	TOTAL SHADE AREA	SHADE FACTOR	REVISED TOTAL SHADE AREA
TREE PER ORDINANCE	17	314 (10' R.)	5,338 S.F.	50%	2,669 S.F.
			5,338 S.F.		2,669 S.F.

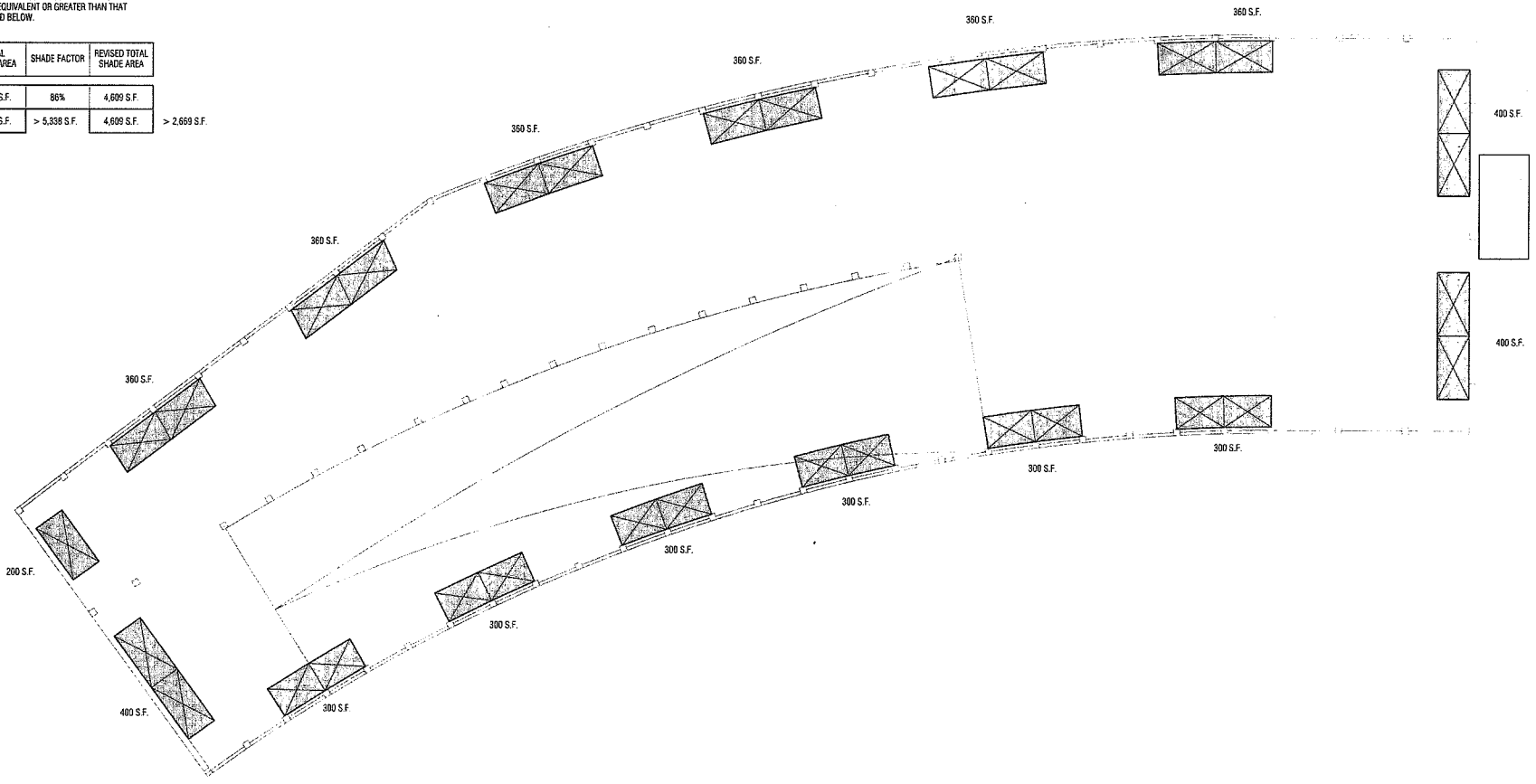


02 parking structure C requirement diagram
1" = 20'-0"

parking structure shade note:

PARKING STRUCTURE LANDSCAPE PROVIDES SHADE STRUCTURES IN LIEU OF VEHICULAR USE AREA TREES. SHADE STRUCTURES HAVE BEEN DESIGNED TO PROVIDE A SHADED AREA EQUIVALENT OR GREATER THAN THAT OF TREES WITHIN 30 FEET OF EACH STALL PER ORDINANCE AS CALCULATED BELOW.

	NUMBER OF STRUCTURES	SHADE AREA PER STRUCT.	TOTAL SHADE AREA	SHADE FACTOR	REVISED TOTAL SHADE AREA
SHADE STRUCTURE A	16	335 S.F. (avg)	5,360 S.F.	86%	4,609 S.F.
			5,360 S.F.	> 5,338 S.F.	4,609 S.F.



01 parking structure C proposed shade structure diagram
1" = 20'-0"

sheet keynotes

- 01 FINISH GRADE
- 02 C.I.P. CONCRETE WALL / SPANDREL
- 03 C.I.P. CONCRETE COLUMN
- 04 CABLERAL SPANDREL
- 05 PAINTED STEEL SHADE STRUCTURE
- 06 METAL STAIR & RAILING - PAINTED
- 07 METAL CLADDING
- 08 EXTERIOR PLASTER SYSTEM (STUCCO)

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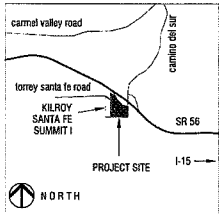
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vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	6
	4	6

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AS1.0.3 CONCEPT SITE DIAGRAMS
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A3.0.1 BUILDINGS 5, 6, 7 & 8 CONCEPT ELEVATIONS AND SECTION
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GB1.0.2 PARKING STRUCTURE B FLOOR PLANS

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GD1.0.1 PARKING STRUCTURE D FLOOR PLANS
GD1.0.2 PARKING STRUCTURE D FLOOR PLANS
GD1.0.3 PARKING STRUCTURE D SHADE STRUCTURE DIAGRAM
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SP.1 SIGNAGE SITE PLAN
SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

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SANTA FE SUMMIT 2 & 3
sheet title:

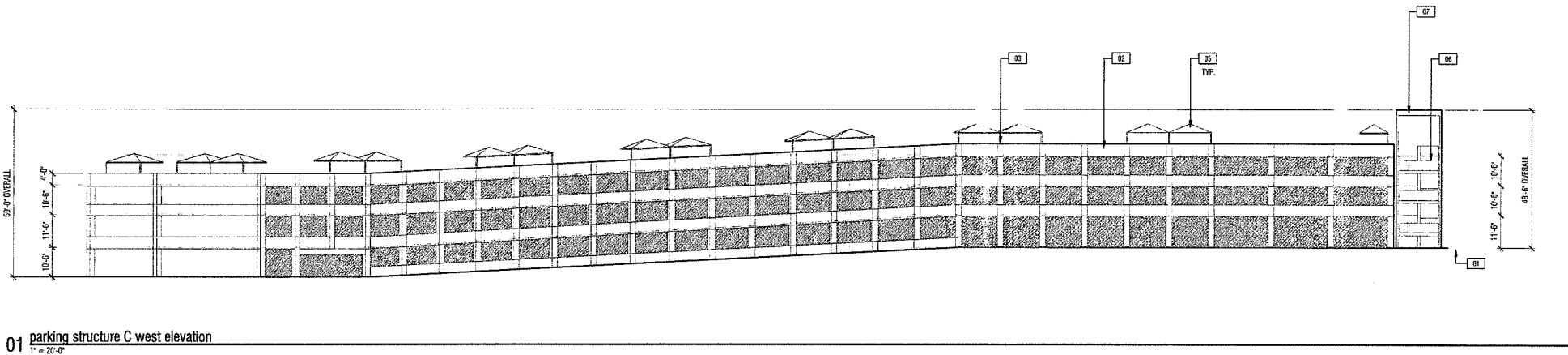
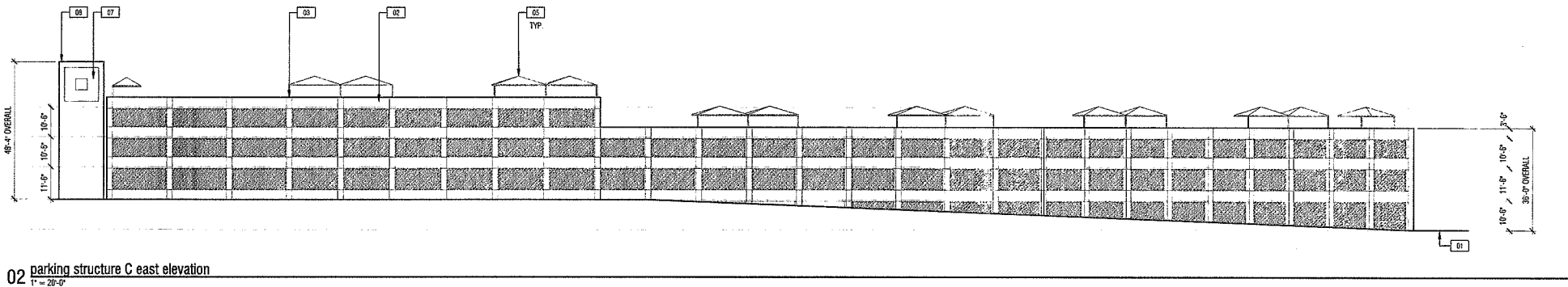
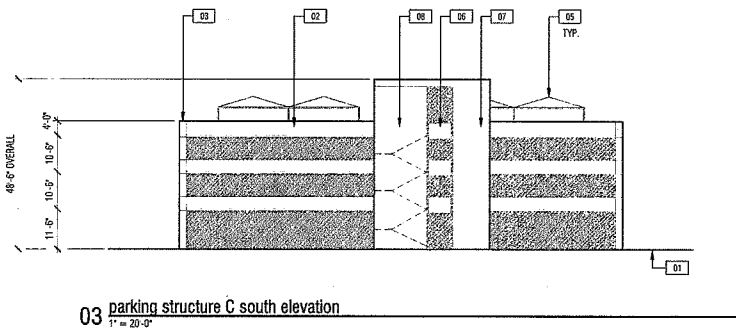
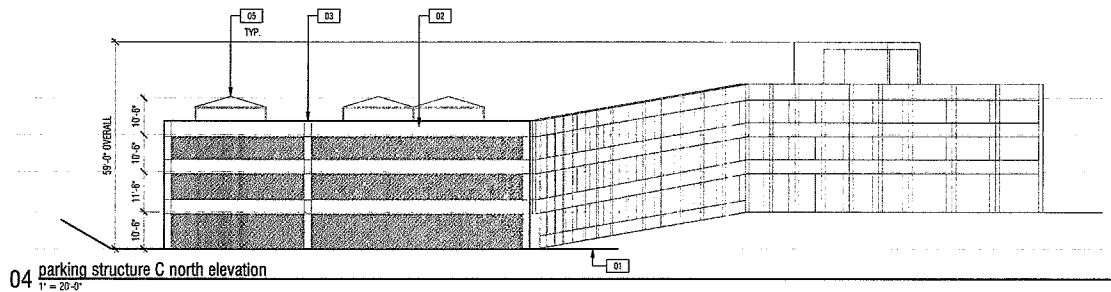
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1 2007 august 24 - cycle 2
revisions:
original date:
2007 may 31

parking structure C concept elevations & sections

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GC3.0.1

PTS# 131969



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ANGELA BARLEY

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP, 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.

EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
 NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. [SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19)]
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL [600,000 S.F. OFFICE]

The map shows the project site located at the intersection of Torrey Santa Fe Road and SR 56. Carmel Valley Road is to the north, Camino del Sur to the east, and I-15 to the south. A north arrow is in the bottom left corner.

PHASE	PHASE II		PHASE III	
GROSS SF:	300,000		300,000	
BUILDING #:	FIVE	SIX	SEVEN	EIGHT
BUILDING HEIGHTS : (STORIES)	5	6	6	6
PLAN OPTIONS (STORIES)	5 5 5 4	5 5 5 6	5 6 5 4	5 6 6 6

- D1.0 CONCEPTUAL GRADING PLAN
- D2.0 CONCEPTUAL UTILITY PLAN
- D3.0 ENVIRONMENTAL NOTES
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- L2 CORE AREA ENLARGED LANDSCAPE PLAN
- L3 RIGHT-OF-WAY/STREETSCAPE ENLARGED LANDSCAPE PLAN
- L4 LANDSCAPE CALCULATIONS
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- AS1.0.1 CONCEPT ARCHITECTURAL SITE PLAN
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- A1.0.1 BUILDINGS 5,6,7 & 8 CONCEPT FLOOR - ROOF PLANS
- A1.0.1 BUILDINGS 5,6,7 & 8 CONCEPT ELEVATIONS AND SECTION
- GB1.0.1 PARKING STRUCTURE B FLOOR PLANS
- GB1.0.2 PARKING STRUCTURE B FLOOR PLANS

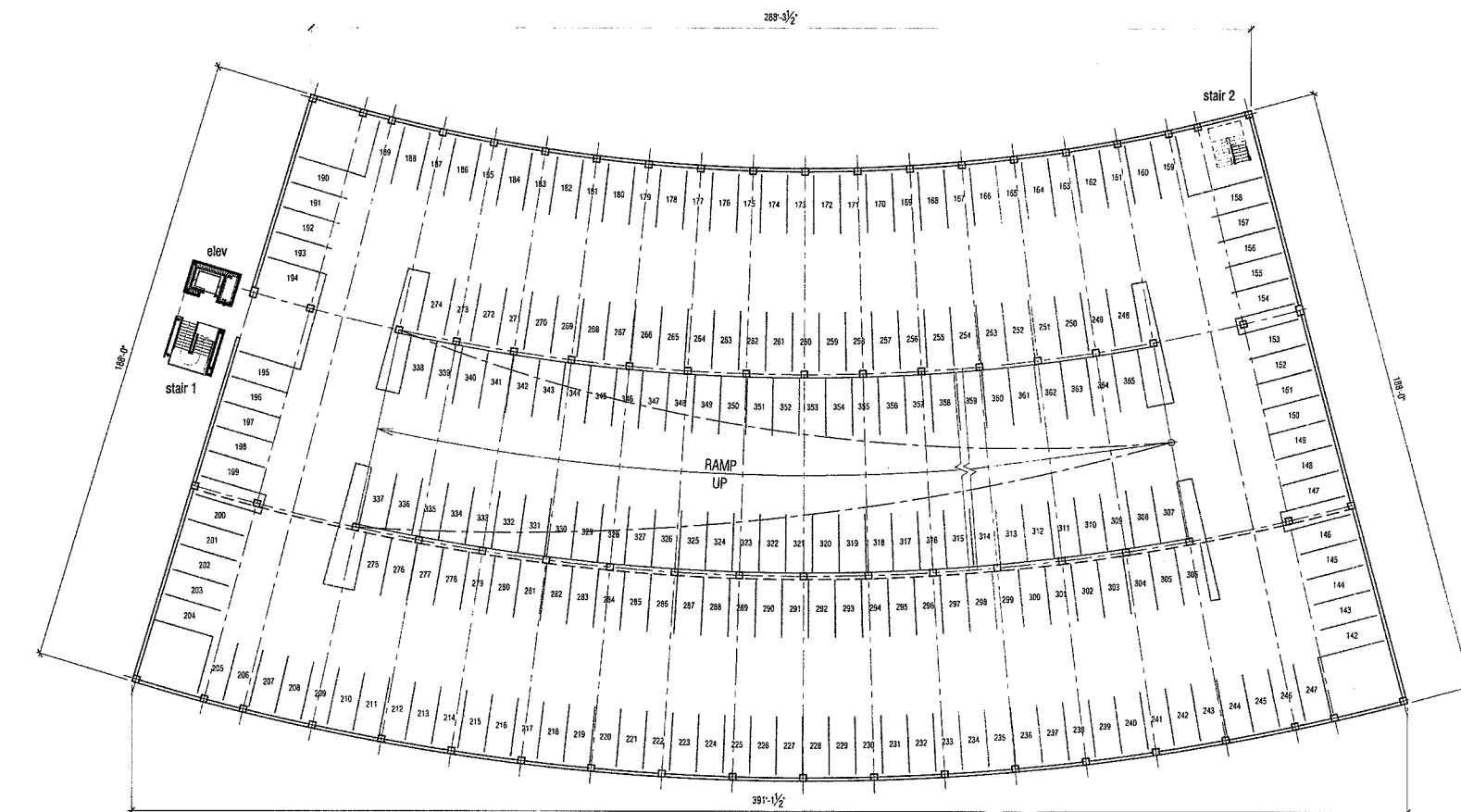
- GB1.0.3 PARKING STRUCTURE B SHADE
STRUCTURE DIAGRAM
- GB3.0.1 PARKING STRUCTURE B ELEVATIONS
- GC1.0.1 PARKING STRUCTURE C FLOOR PLAN
- GC1.0.2 PARKING STRUCTURE C FLOOR PLAN
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- SP.2 STREET WALL CALCULATIONS
- SP.3 BUILDING WALL SIGNS
- SP.4 GROUND SIGNS

substantial conformance review

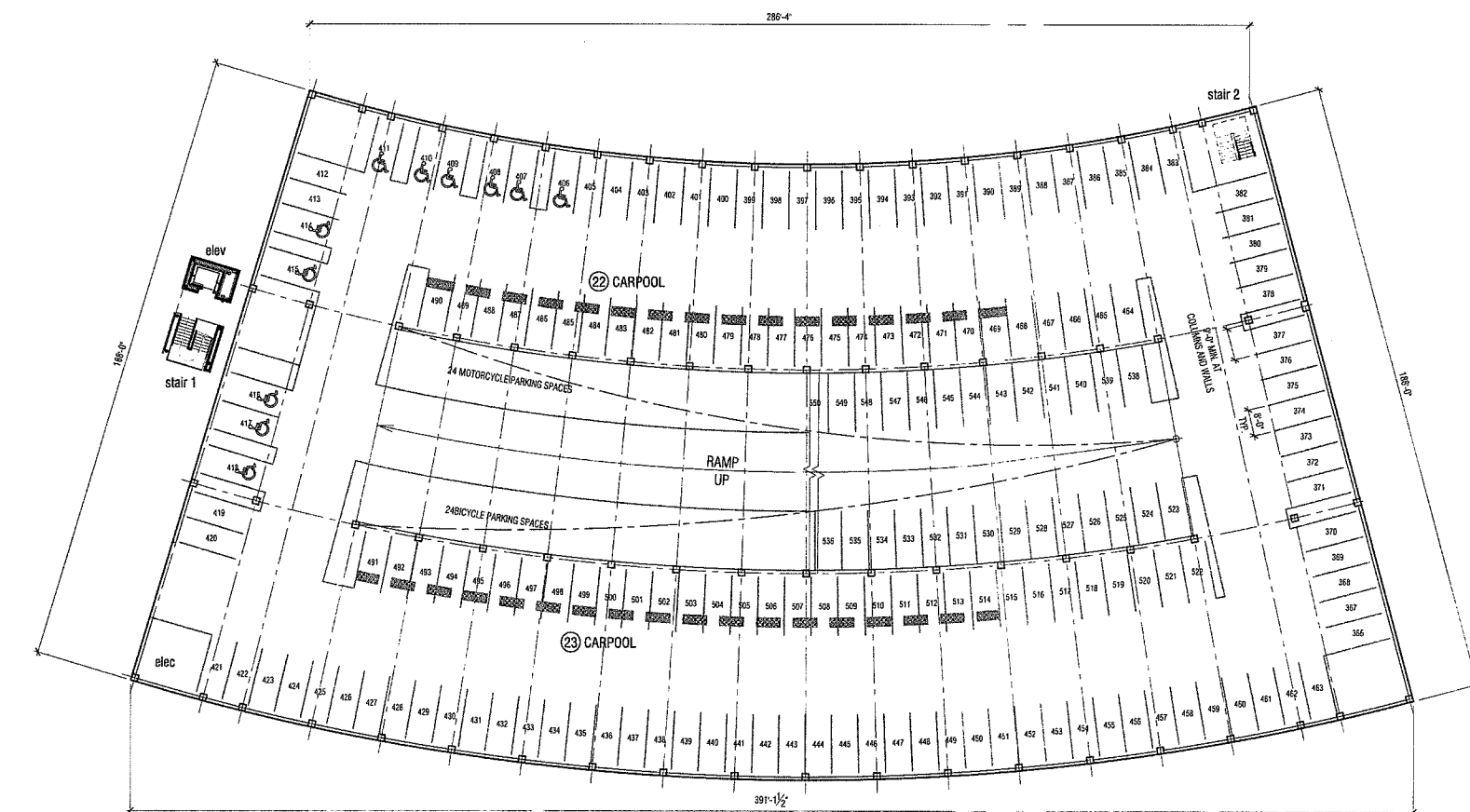
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02 parking structure D second floor plan - F.F.L. = 382.5 - 224 spaces
1" = 20'-0"



01 parking structure D first floor plan - F.F.L. = 371.0 - 216 spaces
1" = 20'-0"

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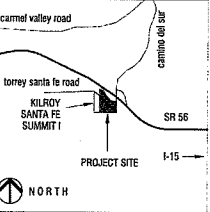
legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP, 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19885, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 305-370-16 through 25 & 28 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL [600,000 S.F. OFFICE]

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS: (STORIES)	5	6
PLAN OPTIONS (STORIES)	5 5 4	5 6 6 4

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L.4 LANDSCAPE CALCULATIONS

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AS1.0.3 CONCEPT SITE DIAGRAMS

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GC1.0.2 PARKING STRUCTURE C FLOOR PLANS

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SP.3 BUILDING WALL SIGNS

SP.4 GROUND SIGNS

A R C H I T E C T S
hanna gabriel wells

substantial conformance review

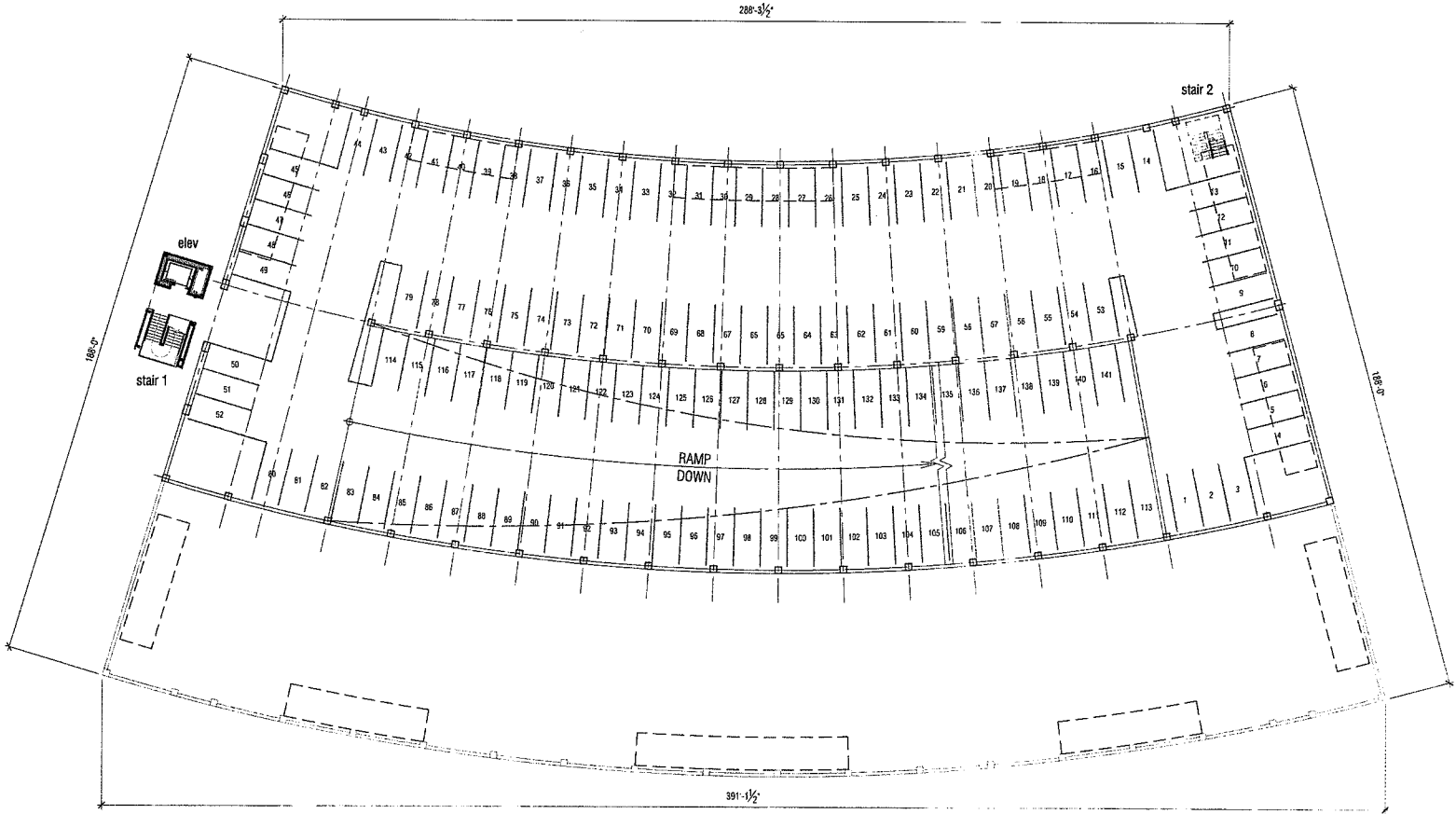
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SANTA FE SUMMIT 2 & 3
sheet title:

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original date:
2007 may 31

parking structure D concept P3 floor plans

GD1.0.2

PTS# 131969



01 parking structure D third floor plan - F.F.L. = 393.0 - 141spaces

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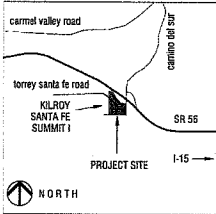
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LOTS 19-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP, 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 18985, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-370-15 through 25 & 28 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (P-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS: (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	5
	5	5
	4	6

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A51.0.3 CONCEPT SITE DIAGRAMS
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substantial conformance review

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parking structure D shade structure diagram

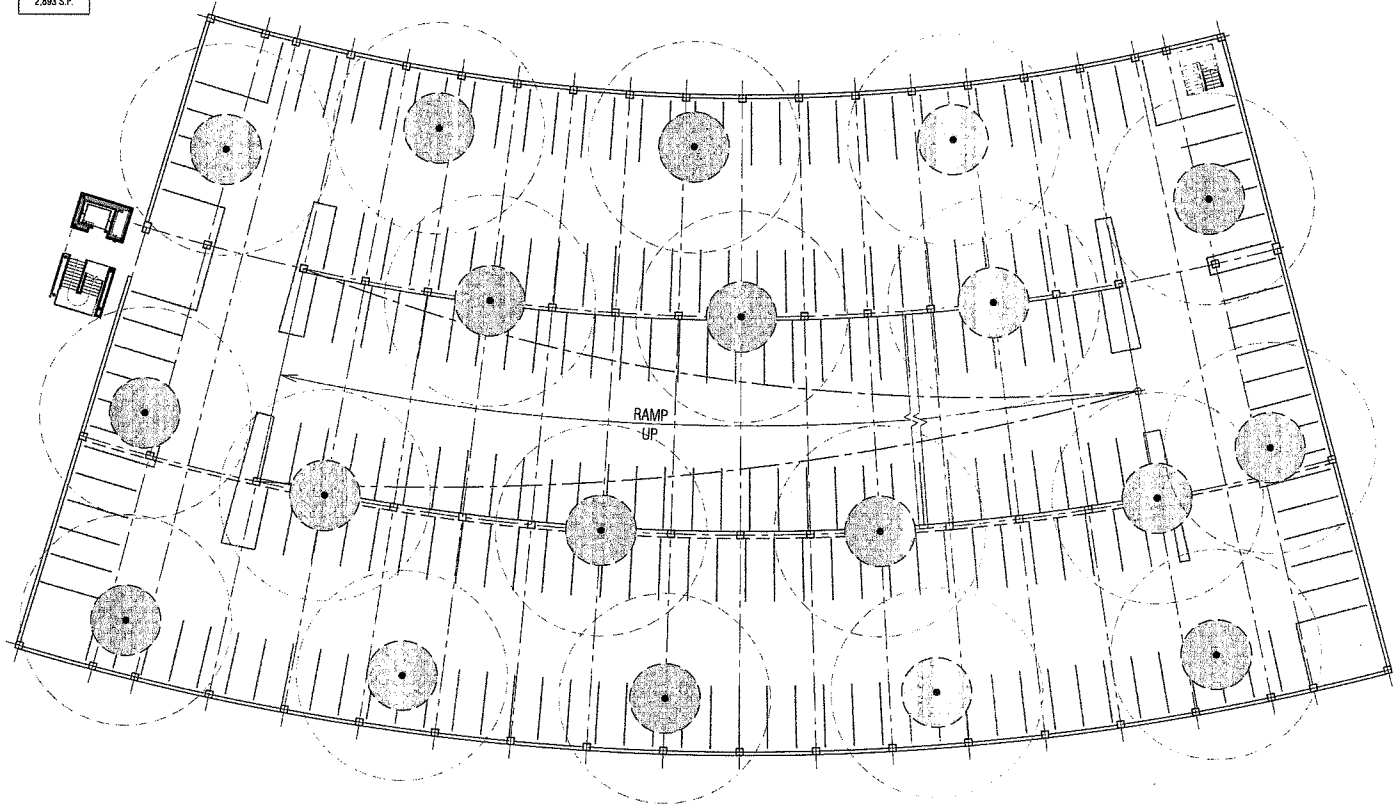
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GD1.0.3

PTS# 131969

tree tabulations

	NUMBER OF TREES	SHADE AREA PER TREE	TOTAL SHADE AREA	SHADE FACTOR	REVISED TOTAL SHADE AREA
TREE PER ORDINANCE	19	314 (110 R.)	5,966 S.F.	50%	2,893 S.F.
			5,966 S.F.		2,893 S.F.

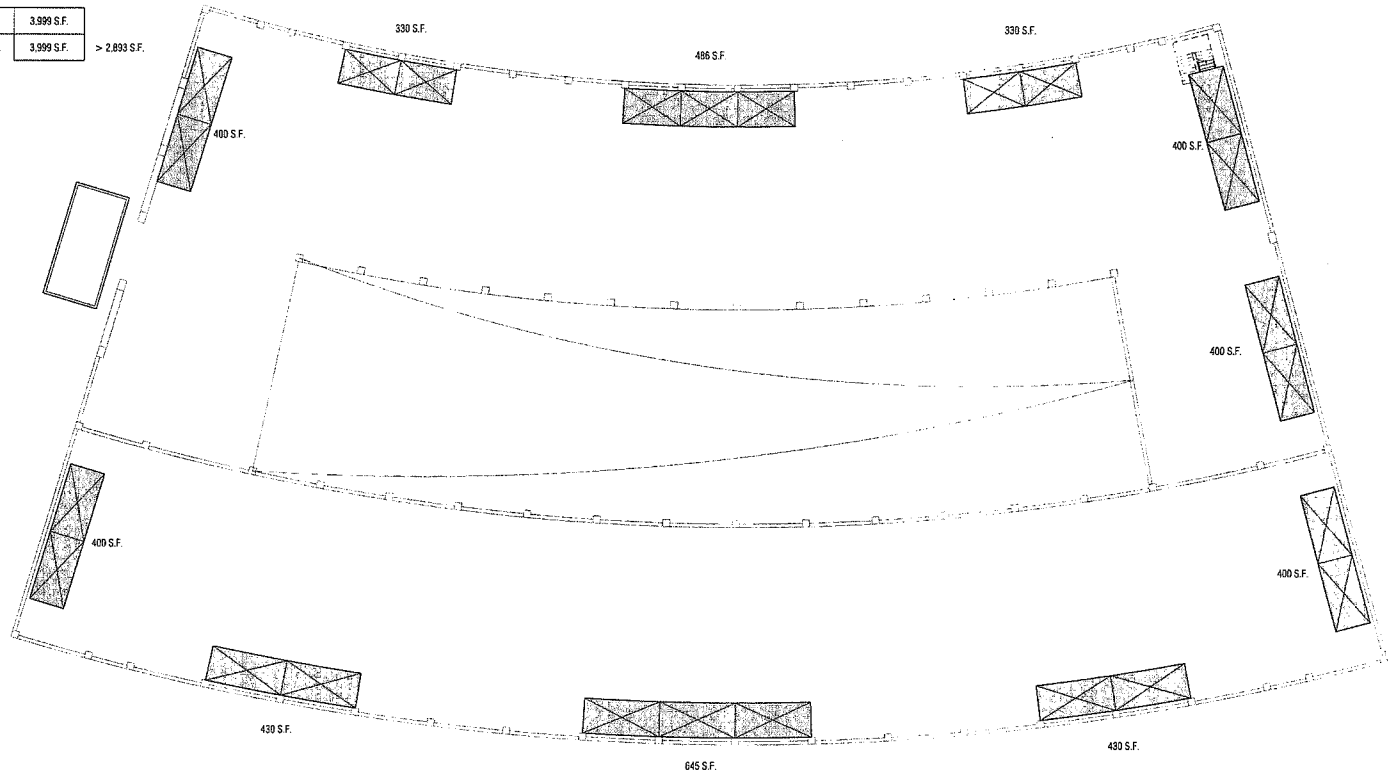


02 parking structure D requirement diagram
1" = 20'-0"

parking structure shade note:

PARKING STRUCTURE LANDSCAPE PROVIDES SHADE STRUCTURES IN LIEU OF VEHICULAR USE AREA TREES. SHADE STRUCTURES HAVE BEEN DESIGNED TO PROVIDE A SHADED AREA EQUIVALENT OR GREATER THAN THAT OF TREES WITHIN 30 FEET OF EACH STALL PER ORDINANCE AS CALCULATED BELOW.

	NUMBER OF STRUCTURES	SHADE AREA PER STRUCT	TOTAL SHADE AREA	SHADE FACTOR	REVISED TOTAL SHADE AREA
SHADE STRUCTURE A	11	422 S.F. (avg)	4,651 S.F.	88%	3,999 S.F.
			4,651 S.F.	< 7,526 S.F.	3,999 S.F.



01 parking structure D shade structure diagram
1" = 20'-0"

directory

owner/permittee	KILROY REALTY CORPORATION 3511 VALLEY CENTRE DRIVE, SUITE 550 SAN DIEGO, CA 92108 WORK: 658.523.2295 FAX: 658.523.0330	JUSTIN SMART ROBERT LITTLE STEVE SCOTT
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civil engineer:	RICK ENGINEERING 5820 FRIARS ROAD SAN DIEGO, CA 92110 WORK: 619.888.1424 FAX: 619.291.4165	TONY DIELZ LEO HERNANDEZ KELLY CROWE
landscape architect:	NOWELL & ASSOCIATES LANDSCAPE ARCHITECTURE, Inc. 2805 STATE STREET SAN DIEGO, CA 92103 WORK: 619.325.1990 FAX: 619.325.1997	GREG NOWELL SCOTT SANDEL ANGELA BARLEY

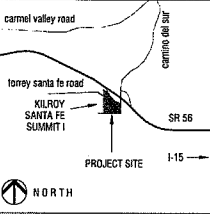
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development summary

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vicinity map



plan options

PHASE	PHASE II	PHASE III
GROSS SF:	300,000	300,000
BUILDING #:	FIVE	SIX
BUILDING HEIGHTS (STORIES)	5	6
PLAN OPTIONS (STORIES)	5	6

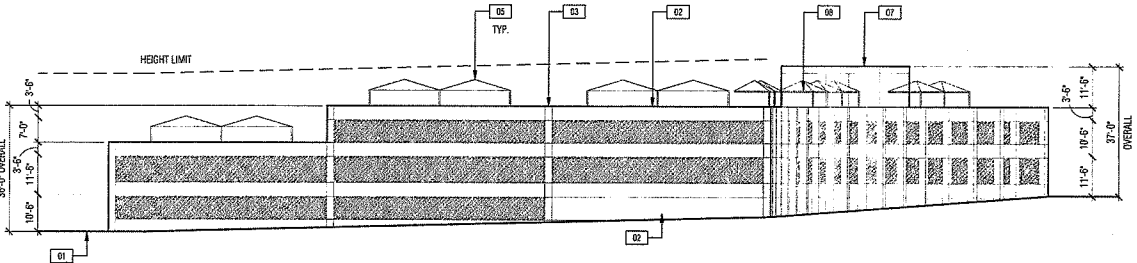
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C1.0 CONCEPTUAL GRADING PLAN C2.0 CONCEPTUAL UTILITY PLAN C3.0 ENVIRONMENTAL NOTES L1. LANDSCAPE CONCEPT PLAN, OVERALL LANDSCAPE L2. CORE AREA ENLARGED LANDSCAPE PLAN L3. RIGHT-OF-WAY / STREETSCAPE ENLARGED LANDSCAPE PLAN L4. LANDSCAPE CALCULATIONS L5. LANDSCAPE CONCEPT NOTES & BRUSH MANAGEMENT AS1.0.1 CONCEPT ARCHITECTURAL SITE PLAN AS1.0.2 FIRE ACCESS PLAN AS1.0.3 CONCEPT SITE DIAGRAMS A1.0.1 BUILDINGS 5, 6, 7 & 8 CONCEPT FLOOR - ROOF PLANS A3.0.1 BUILDINGS 5, 6, 7 & 8 CONCEPT ELEVATIONS AND SECTION GB1.0.1 PARKING STRUCTURE B FLOOR PLANS GB1.0.2 PARKING STRUCTURE B SHADE STRUCTURE DIAGRAM GB3.0.1 PARKING STRUCTURE B ELEVATIONS GC1.0.1 PARKING STRUCTURE C FLOOR PLANS GC1.0.2 PARKING STRUCTURE C SHADE STRUCTURE DIAGRAM GC3.0.1 PARKING STRUCTURE C ELEVATIONS GD1.0.1 PARKING STRUCTURE D FLOOR PLANS GD1.0.2 PARKING STRUCTURE D SHADE STRUCTURE DIAGRAM GD3.0.1 PARKING STRUCTURE D ELEVATIONS SP.1 SIGNAGE SITE PLAN SP.2 STREET WALL CALCULATIONS SP.3 BUILDING WALL SIGNS SP.4 GROUND SIGNS	GB1.0.3 PARKING STRUCTURE B SHADE STRUCTURE DIAGRAM GB3.0.1 PARKING STRUCTURE B ELEVATIONS GC1.0.1 PARKING STRUCTURE C FLOOR PLANS GC1.0.2 PARKING STRUCTURE C SHADE STRUCTURE DIAGRAM GC3.0.1 PARKING STRUCTURE C ELEVATIONS GD1.0.1 PARKING STRUCTURE D FLOOR PLANS GD1.0.2 PARKING STRUCTURE D SHADE STRUCTURE DIAGRAM GD3.0.1 PARKING STRUCTURE D ELEVATIONS SP.1 SIGNAGE SITE PLAN SP.2 STREET WALL CALCULATIONS SP.3 BUILDING WALL SIGNS SP.4 GROUND SIGNS
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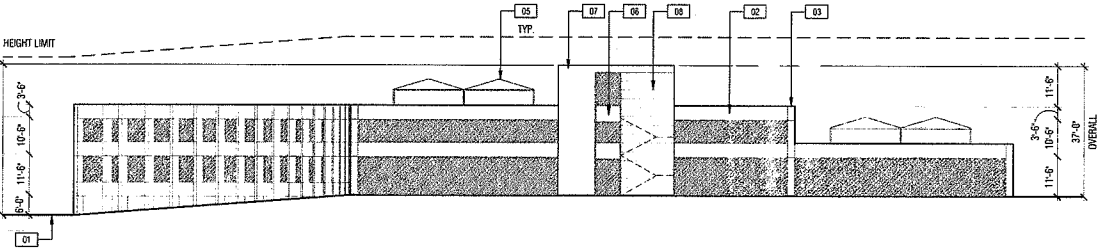
ARCHITECTS
hanna gabriel wells

substantial conformance review

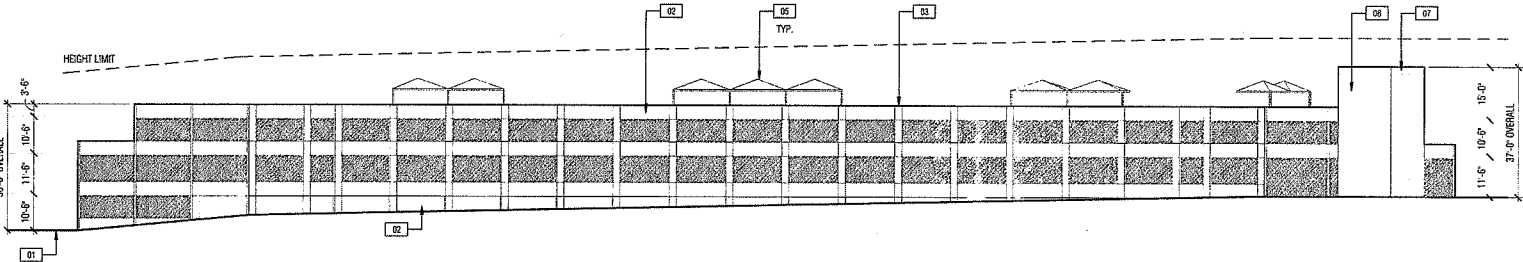
prepared by: ARCHITECTS hanna gabriel wells 4993 NIAGARA AVE, SUITE 200 SAN DIEGO, CA 92101 tel: 619.523.8485 fax: 619.523.8487 project address: TORREY SANTA FE ROAD SAN DIEGO, CA project name: SANTA FE SUMMIT 2 & 3 sheet title:	8 7 6 5 4 2006 sept 25 - cycle 5 3 2006 june 28 - cycle 4 2 2007 december 14 - cycle 3 1 2007 august 24 - cycle 2 revisions: original date: 2007 may 31
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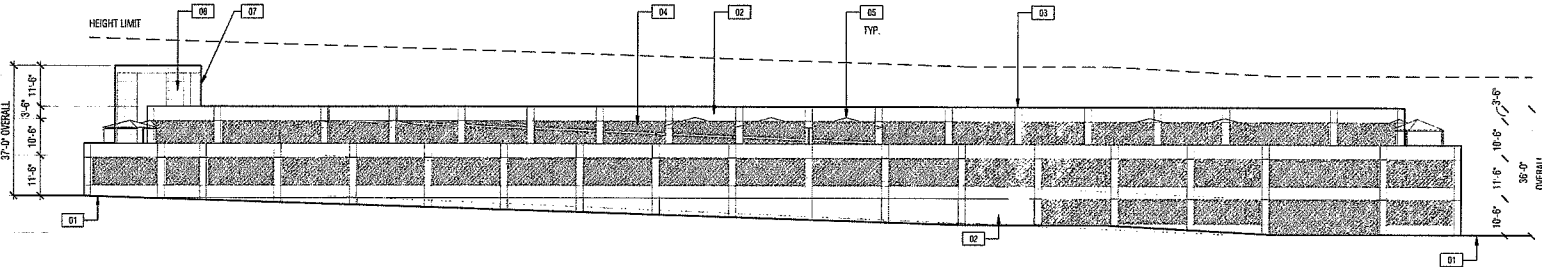
04 parking structure D east elevation (camino del sur)
1" = 20'-0"



03 parking structure D south elevation
1" = 20'-0"



02 parking structure D north elevation (freeway side)
1" = 20'-0"



01 parking structure D south elevation
1" = 20'-0"

owner/permittee
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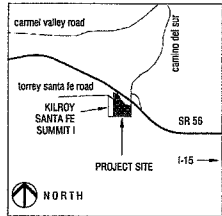
legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP, 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 19895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-370-16 through 25 & 28 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II		PHASE III	
GROSS SF.	300,000		300,000	
BUILDING #:	FIVE	SIX	SEVEN	EIGHT
BUILDING HEIGHTS (STORIES)	5	6	6	6
PLAN OPTIONS (STORIES)	5 5 4	5 5 6 4	5 5 5 4	5 6 6 6

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GB1.0.2 PARKING STRUCTURE B FLOOR PLANS

GB1.0.3 PARKING STRUCTURE B SHADE STRUCTURE DIAGRAM
GB3.0.1 PARKING STRUCTURE B ELEVATIONS
GC1.0.1 PARKING STRUCTURE C FLOOR PLANS
GC1.0.2 PARKING STRUCTURE C FLOOR PLANS
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GD1.0.1 PARKING STRUCTURE D FLOOR PLANS
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SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

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TORREY SANTA FE ROAD
SAN DIEGO, CA
project name:
SANTA FE SUMMIT 2 & 3
sheet title:

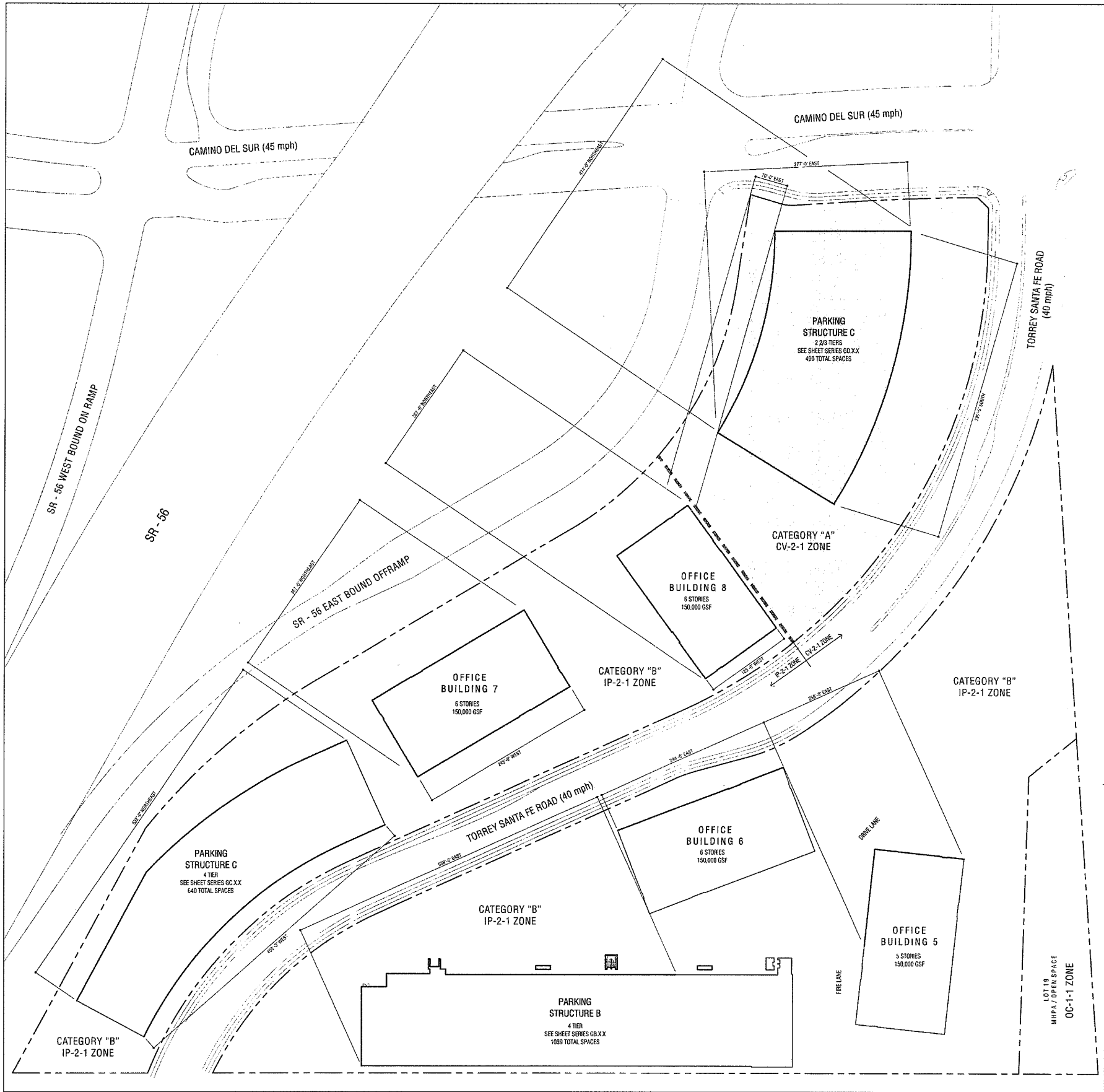
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revisions:
original date:
2007 may 31

signage site plan

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PTS# 131969



STREET WALL CALCULATIONS PER ROAD FRONTAGE
SITE PLAN
SCALE: 1" = 60' - 0"

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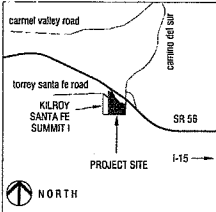
legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 14885, FILED IN THE OFFICE OF COUNTY RECORDS OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 15895, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 6, 2005, LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-370-18 through 25 & 28 through 31
PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.
EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)
PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW
NEIGHBORHOOD USE PERMIT
ZONE: IP-2-1, CV-1-2, OC-1-1
FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)
LOT AREA: 918,067 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))
PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II		PHASE III	
GROSS SF.	300,000		300,000	
BUILDING #.	FIVE	SIX	SEVEN	EIGHT
BUILDING HEIGHTS: (STORIES)	5	6	6	6
PLAN OPTIONS (STORIES)	5 5 4	5 5 6	5 5 6	5 6 6

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GC1.0.2 PARKING STRUCTURE C FLOOR PLANS
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GD3.0.1 PARKING STRUCTURE D ELEVATIONS
SP.1 SIGNAGE SITE PLAN
SP.2 STREET WALL CALCULATIONS
SP.3 BUILDING WALL SIGNS
SP.4 GROUND SIGNS

A R C H I T E C T S
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substantial conformance review

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SAN DIEGO, CA
project name:
SANTA FE SUMMIT 2 & 3
sheet title:

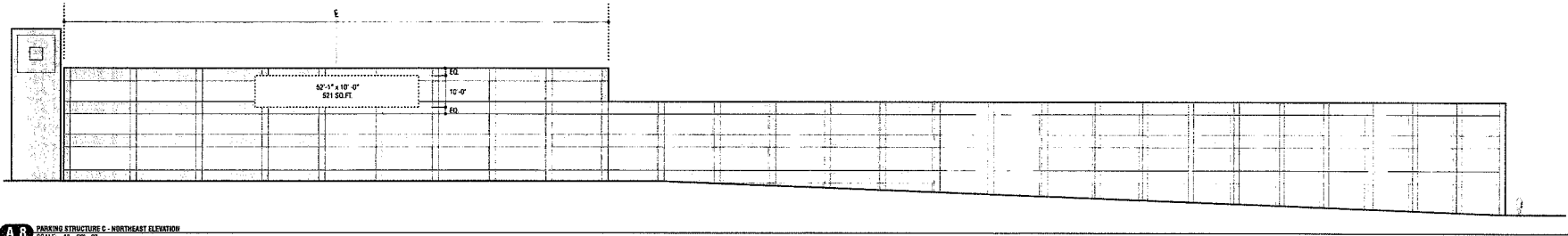
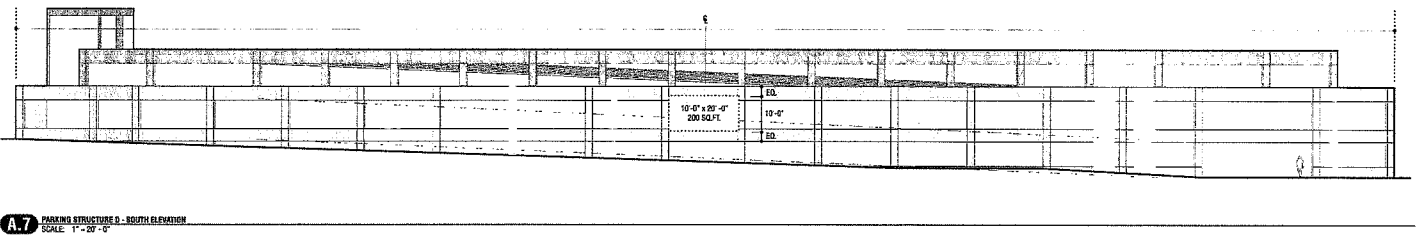
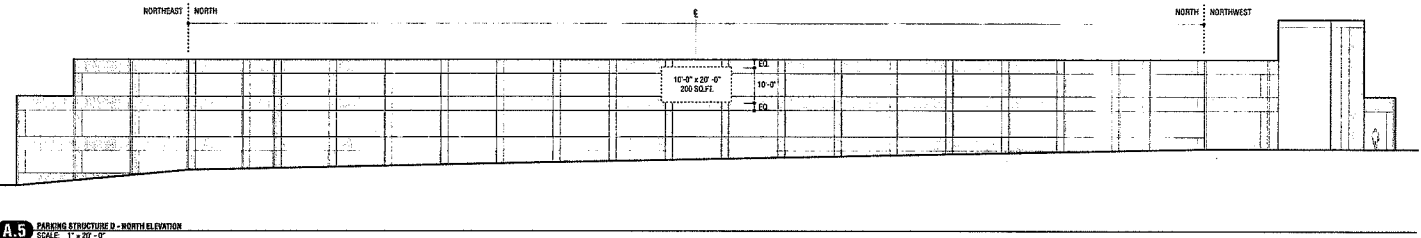
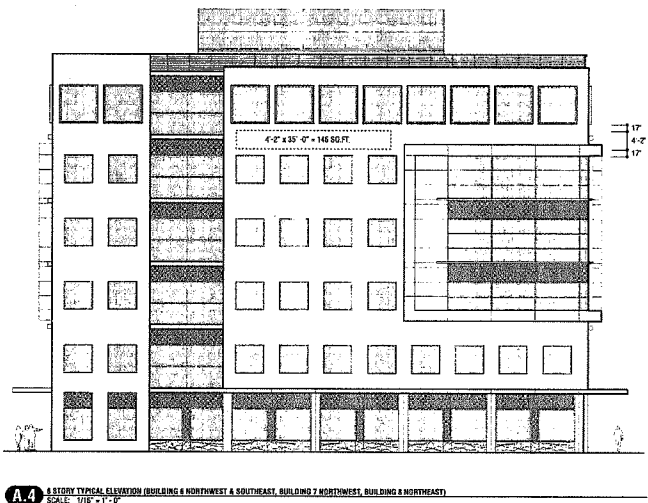
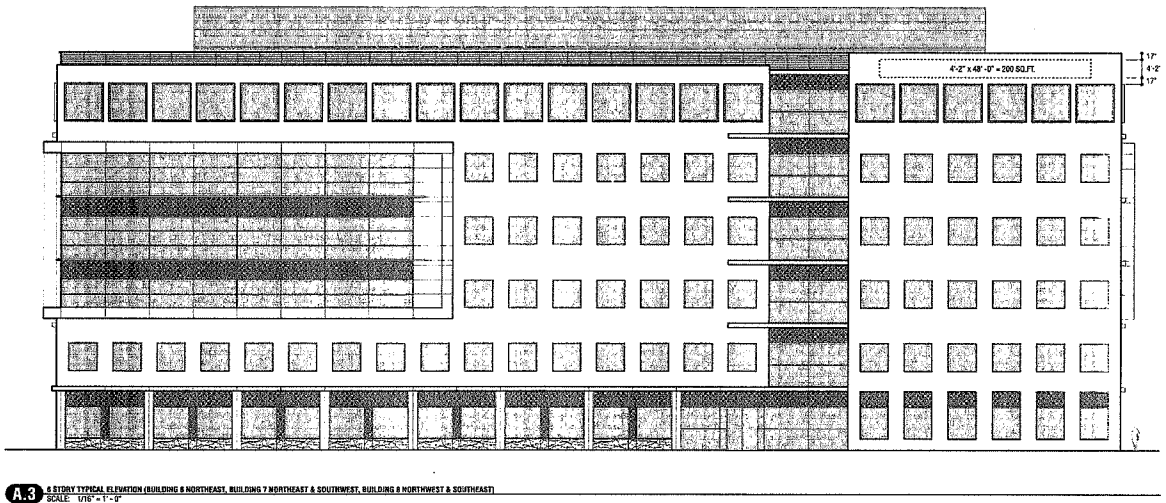
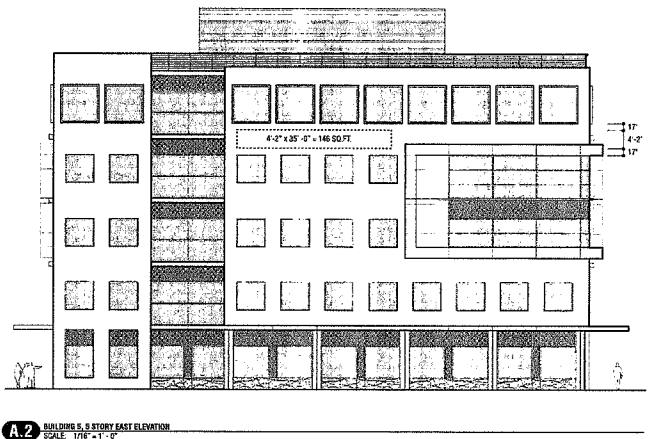
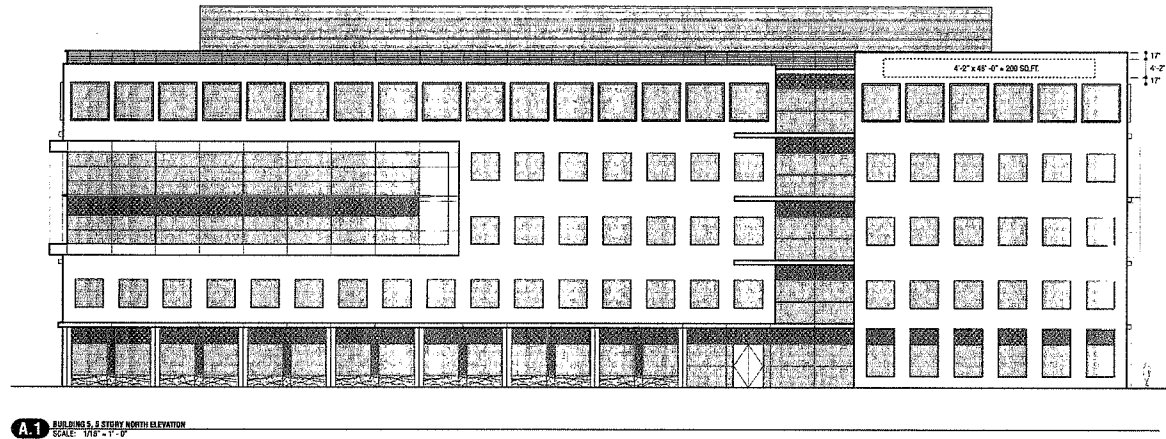
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revisions:
original date:
2007 may 31

signage site plan

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A.8 PARKING STRUCTURE C - NORTHEAST ELEVATION
SCALE: 1" = 20'-0"

owner/permittee
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TONY DIELI
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2605 STATE STREET
SAN DIEGO, CA 92103
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GREG NOWELL
SCOTT SANDEL
ANGELA BARLEY

legal description

LOTS 10-19 OF THE TORREY HIGHLANDS EMPLOYMENT CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP, 14883, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON SEPTEMBER 17, 2004 AND PARCELS 1 THROUGH 4 OF PARCEL MAP No. 18395, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 5, 2005. LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

development summary

APN: 306-370-16 through 25 & 28 through 31

PROJECT DESCRIPTION: CONSTRUCTION OF FOUR (4) OFFICE BUILDINGS, TOTALING 600,000 GROSS SQUARE FEET. INCLUDES THREE (3) MULTI-TIER PARKING STRUCTURES AND RELATED SITE WORK, PROVIDING A TOTAL OF 2400 PARKING SPACES.

EXISTING APPROVALS: PDP 40-0315, SCR 338059 (LOTS 10-19)

PROPOSED APPROVAL: SUBSTANTIAL CONFORMANCE REVIEW

NEIGH

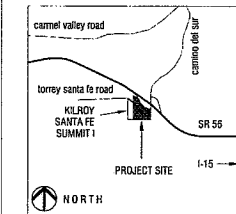
ZONE: IP-2-1, CV-1-2, OC-1-1

FAR: 2.0 (IP-2-1), 2.0 (CV-1-2)

LOT AREA: 918,057 S.F. (SUM: 466,822 S.F. (LOTS 1-4) & 451,245 S.F. (LOTS 10-19))

PROPOSED FLOOR AREA: 600,000 S.F. TOTAL (600,000 S.F. OFFICE)

vicinity map



plan options

PHASE	PHASE II		PHASE III	
GROSS SF:	300,000		300,000	
BUILDING #:	FIVE	SIX	SEVEN	EIGHT
BUILDING HEIGHTS : (STORIES)	5	6	6	6
PLAN OPTIONS (STORIES)	5 5 5 4	5 5 5 6	5 6 5 5	5 6 6 6

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- L.3 NIGHT-OF-WAY / STREETSCAPE ENLARGED LANDSCAPE PLAN
- L.4 LANDSCAPE CALCULATIONS
- L.5 LANDSCAPE CONCEPT NOTES & BRUSH MANAGEMENT
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- AS1.0.3 CONCEPT SITE DIAGRAMS
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- AS3.0.1 BUILDINGS 5.6.7 & 8 CONCEPT ELEVATIONS AND SECTION
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- SP.3 BUILDING WALL SIGNS
- SP.4 GROUND SIGNS

A R C H I T E C T S
hanna gabriel wells

substantial conformance review

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SAN DIEGO, CA
project name:
SANTA FE SUMMIT 2 & 3
sheet title:

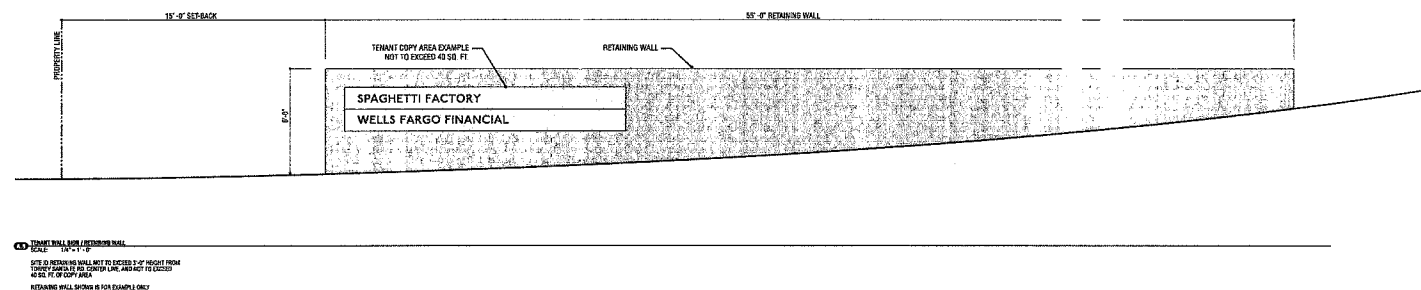
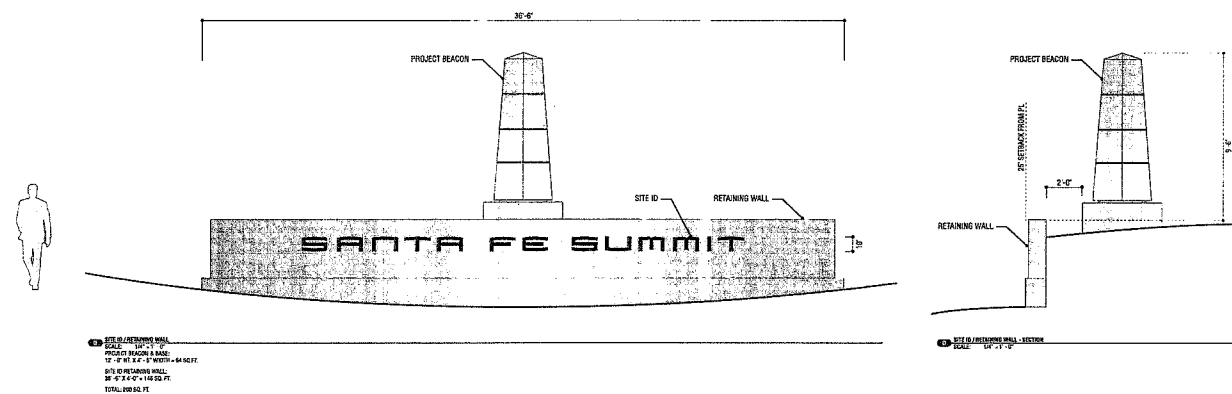
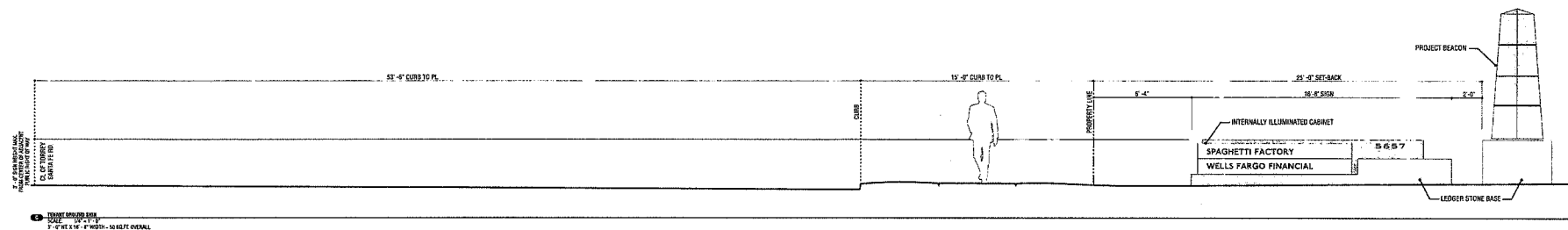
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original date:
2007 may 31

signage site plan

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SP.4

PTS# 131969



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-7939

NEIGHBORHOOD USE PERMIT NO. 601521
SANTA FE SUMMIT II AND III / PROJECT NO. 131969
Development Services Department

This Neighborhood Use Permit No. 601521 is granted by the Development Services Department of the City of San Diego to KILROY REALTY, L.P., A DELAWARE LIMITED PARTNERSHIP, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0201. The 21.73-acre site is located at Torrey Santa Fe Road, southwest of State Route 56 and west of Camino del Sur in the IP-2-1, CV-1-2, and OC-1-1 zone(s) of the Torrey Highlands Subarea IV Plan area. The project site is legally described as Lots 10-19 of the Torrey Highlands Employment Center, in the City of San Diego, County of San Diego, State of California, Map 14883, filed September 17, 2004 and Parcels 1 through 4 of Parcel Map No. 19895, recorded in the Office of the County Recorder of San Diego County, December 6, 2005.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the reallocation of sign area allowance on building structures and ground signage, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 16, 2008, on file in the Development Services Department.

The project shall include:

- a. Four office buildings, each approximately 120,000 to 150,000 gross square feet but, not to exceed a total of 600,000 gross square feet and three parking structures totaling approximately 280,175 gross square feet;
- b. The reallocation of building wall sign square footage among Building No.s 5, 6, 7, and 8 and Parking Structures "B," "C," and "D";
- c. Tenant ground signs, project beacons and site identification signs;
- d. Landscaping (planting, irrigation and landscape related improvements);

- e. Off-street parking; and
- f. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site

improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

12. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 40-0315, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 40-0315, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Land Use
- Noise
- Transportation/Traffic Circulation
- Paleontological Resources
- Hydrology/Water Quality

14. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

16. Prior to the building occupancy, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices [BMP's] maintenance.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction BMP's necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate and show the type and location of all post-construction BMP's on the final construction drawings, in accordance with the approved Water Quality Technical Report.

19. Prior to the issuance of any construction permit the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

20. Development of this project shall comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan [SWPPP] and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent [NOI] shall be filed with the SWRCB.

A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99-08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 99-08 DWQ.

21. Prior to any building occupancy, the Owner/Permittee shall conform to the Municipal Code, "Public Improvement Subject to Desuetude or Damage." If repair or replacement of such public improvements is required, the owner shall obtain the required permits for work in the public right-of-way, satisfactory to the permit-issuing authority.

PLANNING/DESIGN REQUIREMENTS:

22. The combined Santa Fe Summit Phase II and Phase III sites shall not exceed 600,000 square feet of occupied building space with a maximum of 500,000 square feet plus 100,000 square feet of multi-tenant office use which may include up to 20,000 square feet of retail, provided the retail occurs within a mixed use building containing office use space.

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All signs associated with this development shall be consistent with sign criteria established by the approved Exhibit "A."

TRANSPORTATION REQUIREMENTS

25. Prior to the issuance of any construction permit for the first building structure, the Owner/Permittee shall permit and bond, or provide proof of such for the transportation and traffic signal improvements at the intersection of Camino del Sur and Torrey Santa Fe Road. Any construction change to modify the traffic signal to the current curb configuration shall be submitted and approved, satisfactory to the City Engineer.

26. Prior to the issuance of any building's certificate of occupancy, the Owner/Permittee shall have completed, approved, and established operations for the transportation and traffic signal

improvements at the intersection of Camino del Sur and Torrey Santa Fe Road, in a manner satisfactory to the City Engineer.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Development Services Department of the City of San Diego on October 16, 2008, Resolution No. XXXX.

Permit Type/PTS Approval No.: NUP No. 601521
Date of Approval: October 16, 2008

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Tim Daly
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

KILROY REALTY, L.P
Owner/Permittee

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Rev. 02/04/08 rh

DEVELOPMENT SERVICES RESOLUTION NO. XXXXXX
NEIGHBORHOOD USE PERMIT NO. 601521
SANTA FE SUMMIT II AND III / PROJECT NO. 131969

WHEREAS, KILROY REALTY, L.P., A DELAWARE LIMITED PARTNERSHIP, Owner/Permittee, filed an application with the City of San Diego for a permit to reallocate sign area allowance on building structures and ground signage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 601521), on portions of a 21.73-acre site;

WHEREAS, the project site is located on Torrey Santa Fe Road, southwest of State Route 56 and west of Camino del Sur in the IP-2-1, CV-1-2, and OC-1-1 zone(s) of the Torrey Highlands Subarea IV Plan area;

WHEREAS, the project site is legally described as Lots 10-19 of the Torrey Highlands Employment Center, in the City of San Diego, County of San Diego, State of California, Map 14883, filed September 17, 2004 and Parcels 1 through 4 of Parcel Map No. 19895, recorded in the Office of the County Recorder of San Diego County, December 6, 2005;

WHEREAS, on October 16, 2008, the Development Services Department of the City of San Diego considered Neighborhood Use Permit No. 601521 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Development Services Department of the City of San Diego as follows:

That the Development Services Department adopts the following written Findings, dated October 16, 2008.

FINDINGS:

Neighborhood Use Permit - Section 126.0205

1. The proposed development will not adversely affect the applicable land use

Plan. The 21.73-acre project site is located on Torrey Santa Fe Road, southwest of State Route 56 and west of Camino del Sur in the IP-2-1, CV-1-2, and OC-1-1 zone(s) of the Torrey Highlands Subarea IV Plan area. The project site is specifically located within the Torrey Highlands Subarea Plan's Employment Center area characterized with scientific research, corporate headquarters, research and development, light industrial/manufacturing, light warehousing uses, professional and corporate offices, hotel, and ancillary uses. The proposed four office buildings and three parking structures of the Santa Fe Summit II and III development are consistent with the uses allowed within the Employment Center area and the approved Torrey Highlands development's Planned Development Permit/Site Development Permit No. 40-0315. The associated signage for the Santa Fe Summit II and III development includes tenant ground signs, project beacons, site identification signs, and the reallocation of building wall sign square footage among Building No.s 5, 6, 7, and 8, and Parking Structures "B," "C," and "D." The proposed development and associated signage will not adversely affect the General Plan and the Torrey Highlands Subarea Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The proposed four office buildings and three parking structures of the Santa Fe Summit II and III development are consistent with the uses allowed within the Employment Center area and the approved Torrey Highlands development's Planned Development Permit/Site Development Permit No. 40-0315. The associated signage for the Santa Fe Summit II and III development includes tenant ground signs, project beacons, site identification signs, and the reallocation of building wall sign square footage among Building No.s 5, 6, 7, and 8, and Parking Structures "B," "C," and "D."

The project has been conditioned to address project compliance with the City's regulations and other regional, state and federal regulations to prevent detrimental impacts to public health, safety and welfare. The proposed development meets or exceeds all established guidelines or requirements concerning signage that is visible from the public right-of-way. The intent of this permit, and consistent with the regulations, is to provide a set of standards that are designed to optimize communication and quality of signs while protecting the public and the aesthetic character of the City. The development's reallocation of signage will not affect the public health, safety, or welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code. The proposed signage for the Santa Fe Summit II and III development complies with the applicable regulations of the proposed IP-2-1, CV-1-2, and OC-1-1 zones, and the Sign Regulations. Specific conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and have been written as such into Neighborhood Use Permit No. 601521. The development's signage of the property shall meet all requirements of the regulations and development criteria of the IP-2-1, CV-1-2, and OC-1-1 zones, and the Sign Regulations, including the reallocation of wall signage within the development as specifically allowed and modified by the Neighborhood Use Permit No. 601521.


BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Neighborhood Use Permit No. 601521 is hereby GRANTED by the Development Services Department to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 601521, a copy of which is attached hereto and made a part hereof.

Tim Daly
Development Project Manager
Development Services

Adopted on: October 16, 2008

Job Order No. 42-7939

cc: Legislative Recorder, Development Services Department

 THE CITY OF SAN DIEGO	City of San Diego Development Services 1222 First Ave. 3rd Floor San Diego, CA 92101 (619) 446-5210	Development Permit/ Environmental Determination Appeal Application	FORM DS-3031 MARCH 2007
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See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

1. Type of Appeal:

- ☐ Process Two Decision - Appeal to Planning Commission
☒ Process Three Decision - Appeal to Planning Commission
☐ Process Four Decision - Appeal to City Council
- ☐ Environmental Determination - Appeal to City Council
☐ Appeal of a Hearing Officer Decision on a permit

2. Appellant Please check one ☐ Applicant ☒ Officially recognized Planning Committee ☐ "Interested Person" (Per M.C. Sec. 113.0103)

Name
 Rancho Penasquitos Planning Board (Charles Sellers, Chair)

Address
 13223 Black Mtn. Road, Suite 1 - PMB 343; City: San Diego, State: CA, Zip Code: 92129-2699, Telephone: (858) 484-3911

3. Applicant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.

Hanna, Gabriel & Welis for Kilroy Realty Corporation

4. Project Information

Permit/Environmental Determination & Permit/Document No.: Santa Fe Summit II&III/131969 (NUP 601521/SCR 456129)	Date of Decision/Determination: October 16, 2008	City Project Manager: Tim Daly
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Decision (describe the permit/approval decision):

NUP for the reallocation of sign area allowance and the SCR of PDP/SDP # 40-0315 for the proposed construction of four office buildings totaling 600,000 square feet and three multi-level parking structures with 2,400 total spaces.

5. Grounds for Appeal (Please check all that apply)

- ☒ Factual Error (Process Three and Four decisions only)
☒ Conflict with other matters (Process Three and Four decisions only)
☒ Findings Not Supported (Process Three and Four decisions only)
- ☒ New Information (Process Three and Four decisions only)
☐ City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

1) We feel this application does not qualify as a Substantial Conformance Review and that the City has erred in processing it as such

2) We have been in active negotiations with both City Staff and the applicant for more than a year regarding the redesign of this project. While we have reached a tentative agreement on certain issues, it was made unequivocally clear to the applicant that they were to return to our Community Planning Group for evaluation of and comment on their new plans before proceeding with permit approval by the City. They did not do this. Any claim by the applicant that this was not our express agreement with them is categorically incorrect.

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: Charles Sellers Date: October 23, 2008.

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.



THE CITY OF SAN DIEGO

Date of Notice: October 16, 2008

NOTICE OF DECISION

DEVELOPMENT SERVICES DEPARTMENT

Job Order No. 42-7939

APPROVAL TYPE(S): Neighborhood Use Permit No. 601521 Substantial
Conformance Review No. 456129

PROJECT NAME/NUMBER: Santa Fe Summit II and III / 131969

APPLICANT: J. Randal Hanna, Architects Hanna Gabriel Wells

COMMUNITY PLAN AREA: Torrey Highlands

COUNCIL DISTRICT: 5

CITY PROJECT MANAGER: Tim Daly, Development Project Manager

MAILING ADDRESS: 1222 First Avenue, MS 501 San Diego, CA 92101 4153

PHONE NUMBER: (619) 446 5356

On October 16, 2008, Development Services Staff APPROVED an application for a Neighborhood Use Permit for the reallocation of sign area allowance and the Substantial Conformance Review of the Planned Development Permit/Site Development Permit (PDP/SDP) No. 40-0315 for the proposed construction of four office buildings, totaling 600,000 square feet and three multi-level parking structures with 2,400 spaces located at Torrey Santa Fe Rd, southwest of State Route 56 and west of Camino del Sur. If you have any questions about this project, the decision, or wish to receive a copy of the resolution approving or denying the project, contact the City Project Manager above.

The decision by staff can be appealed to the **Planning Commission** no later than twelve (12) business days of the decision date. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101. The decision of the Planning Commission is final.

The City of San Diego as Lead Agency under CEQA has reviewed and considered Mitigated Negative Declaration No. 40-0315, dated January 22, 2002, adopted by City Council Resolution No. R-296201 and prepared by the City of San Diego as Lead Agency covering this activity.

This information will be made available in alternative formats for persons with disabilities upon request.

cc: Charles Sellers, Chair of the Rancho Penasquitos Planning Board



2002-0627087

DOC # 2002-0627087 8

JUL 26, 2002 9:08 AM

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
PERMIT INTAKE, MAIL STATION 501

AND WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

005190

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SMITH, COUNTY RECORDER
FEES: 62.00

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT NO. 40-0315
AND MULTIPLE HABITAT PLANNING AREA BOUNDARY ADJUSTMENT (MMRP)
TORREY HIGHLANDS
CITY COUNCIL

This Permit is granted by the COUNCIL of the City of San Diego to Gondor Investments, LLC, a California Corporation, and Western Pacific Housing, Owners, and Gondor Investments, LLC, Permittee, pursuant to the San Diego Municipal Code [SDMC]. The 79.02 acre site is located on the west side of Camino Ruiz and south side of the State Route 56 Freeway in the AR-1-1 zone (proposed IP-2-1, CV-1-2 and OC-1-1 zones) of the Torrey Highlands Subarea IV Plan. The project site is legally described as Parcel D and a Portion of Parcel A, Parcel Map No. 6038.

Subject to the terms and conditions set forth in this permit, permission is granted to Owner and Permittee to subdivide the 79.02 acre site into 20 lots with a rezoning to a commercial zone for Lots 1-3, industrial zoning for Lots 4-18, open space for Lot 19 and a 51.36 acre remainder parcel on Lot 20, with development criteria established by the Torrey Highlands Subarea IV Plan and specific design guidelines and development standards, described as, and identified by size, dimension, quantity, type and location on the approved Exhibit "A," dated March 19, 2002, on file in the Development Services Department. The facility shall include:

- a. ~~Potential hotel, gasoline service station and restaurant and commercial on Lots 1-3, industrial uses for Lots 4-18, open space on Lot 19 and a 'remainder lot' designation on Lot 20 (no development rights extended), subject to the limitations of the Torrey Highlands Subarea IV Plan and the Employment Center at Torrey Highlands Design Guidelines and Development Standards;~~
- b. Landscaping and Brush Management (planting, irrigation and landscape related improvements);
- c. Off-street parking facilities;
- d. A bike path is being provided within the State Route 56 right-of-way with an easement are for a future overcrossing of Camino Ruiz, 6-foot high open design wall/fence adjacent to the MSCP resource areas, retaining walls with landscape screening, outdoor lighting shielded from open space/MSCP areas and adjacent properties, pedestrian walkways securing from vehicular use area, outdoor pedestrian use areas and signage guidelines; and
- e. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted Community Plan, California Environmental Quality Act guidelines, public and private

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improvement requirements of the City Engineer, the underlying zone(s), conditions of this permit, and any other applicable regulations of the Land Development Code in effect for this site.

1. Construction, grading or demolition must commence and be pursued in a diligent manner within 36 months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within 36 months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the Municipal/Land Development Code requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this permit has been revoked by the City of San Diego the property included by reference within this permit shall be used only for the purposes and under the terms and conditions set forth in this permit unless otherwise authorized by the City Manager.
4. This permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.
5. The utilization and continued use of this permit shall be subject to the regulations of this and any other applicable governmental agencies.
6. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and/or site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
7. At all bus stops within the project area, if any, the applicant shall be responsible for installing sidewalk improvements where needed to comply with American with Disability Act (ADA) requirements and in accordance with standards contained in the City of San Diego Street Design Manual.
8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," dated March 19, 2002, on file in the Development Services Department. No change, modifications or alterations shall be made unless appropriate applications or amendment of this permit shall have been granted.
9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this discretionary permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded special rights which the holder of the Permit is obtaining as a result of this Permit. It is the intent of the City that the Owner of the property which is the subject of this Permit either utilize the property for any use allowed under the zoning and other

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restrictions which apply to the property or, in the alternative, that the Owner of the property be allowed the special and extraordinary rights conveyed by this Permit, but only if the Owner complies with all the conditions of the Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the new permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove or modify the proposed permit and the condition(s) contained therein.

10. Rezoning of the subject property shall become effective with recordation of the corresponding final subdivision map for the project site.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. The applicant shall comply with the Mitigation, Monitoring and Reporting Program [MMRP] as specified in Environmental Impact Report or Mitigated Negative Declaration, LDR No. 40-0315, satisfactory to the City Manager and the City Engineer. Prior to issuance of any grading permits and/or building permits, mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Land Use
- Noise
- Transportation/Traffic Circulation
- Paleontological Resources
- Hydrology/Water Quality

12. The issuance of this permit by the City of San Diego does not authorize the applicant to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. Section 1531 et seq.).

13. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the ESA and by the California Department of Fish and Game [CDFG] pursuant to Fish and Game Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this permit hereby confers upon Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Permittee by the City: (1) to grant Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this permit and the IA, and (2) to assure Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this permit shall be altered in the future by the City of San Diego, USFWS or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this

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permit and of full satisfaction by Permittee of mitigation obligations required by this permit, as described in accordance with Section 17.1D of the IA.

PLANNING/DESIGN REQUIREMENTS:

14. A future Conditional Use Permit [CUP] is required for the development of a Gasoline Service Station within the commercially zoned lots.
15. No fewer than the minimum parking required by the underlying zone for the particular land use proposed, shall be provided as off-street parking spaces, maintained on the property at all times in the approximate locations as conceptually shown on the approved Exhibit "A," dated March 19, 2002, on file in the Development Services Department, and Design Guidelines, to the satisfaction of the City Manager. Parking spaces shall comply at all times with requirements of the Municipal/Land Development Code and shall not be converted for any other use unless otherwise authorized by the City Manager.
16. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.
17. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.
18. A topographical survey conforming to the provisions of the Municipal/Land Development Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the permittee.
10. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.
20. No building additions shall be permitted unless approved by the Development Services Department Director.
22. All signage associated with this development shall be consistent with sign criteria established by the Design Guidelines and Development Standards (Exhibit "A," dated March 19, 2002, on file in the Development Services Department) and the Citywide sign regulations.
22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located.
23. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.
24. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

25. All uses, except storage and loading, shall be conducted entirely within an enclosed building. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

26. No mechanical equipment, tank, duct, elevator enclosure, cooling tower or mechanical ventilator or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed structure whose top and sides may include grillwork, louvers and latticework.

27. No merchandise, material or equipment shall be stored on the roof of any building.

28. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (Land Development Code Sec.) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A," dated March 19, 2002, on file in the Development Services Department.

29. If, prior to issuance of first building permit, the Metropolitan Transit Development Board [MTDB] determines that the project site is suitable for a transit center, then the applicant shall work with MTDB and city staff to design and appropriately locate the facility.

30. Review of specific site development proposals based on compliance with this Permit, underlying zones, and the "Design Guidelines and Development Standards," shall be accomplished through the Substantial Conformance Review [SCR] as a Process 2 application.

LANDSCAPE REQUIREMENTS:

31. No change, modification or alteration shall be made to the project unless appropriate application or amendment of this Permit shall have been granted by the City.

32. Prior to issuance of any engineering permits for grading, construction documents for slope and retaining wall planting or revegetation and hydroseeding of all disturbed land including irrigation shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to Permit 40-0315 (including Environmental conditions) and Exhibit "A," dated March 19, 2002, on file in Development Services Department.

33. Installation of slope planting and erosion control including seeding of all disturbed land (slopes and pads) consistent with the approved landscape and grading plans is considered to be in the public interest. The Permittee shall initiate such measures as soon as the grading has been accomplished. Such erosion control/slope planting and the associated irrigation systems (temporary and/or permanent) and appurtenances shall be installed in accordance with the approved plans and the Landscape Standards.

34. Prior to issuance of any construction permits for structures the installation of landscaping and irrigation on slopes and retaining walls shall be installed consistent with the Landscape Standards and approved Landscape Construction Documents. An observation of said slopes and

-PAGE 5 OF 9-

ORIGINAL

walls shall perform by the Landscape Architect and a letter of conformance shall be sent to the Landscape Section of Development Services.

35. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A No Fee Street Tree Permit, if applicable, shall be obtained for the installation, establishment and on-going maintenance of all street trees.

36. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

37. The Permittee or subsequent Owner shall be responsible for the maintenance of all street trees and landscape improvements (right-of-way and median landscaping) consistent with the Landscape Standards unless long-term maintenance of street trees, right-of-way and median landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

38. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM:

39. In the event that boundaries of SR 56 rights of way have not been graded prior the submittal for any building permit, an interim brush management plan for Lots 2 through 9* shall be prepared and submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager.

40. The Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A," Brush Management Program/Landscape Concept Plan, dated March 19, 2002, on file in the Development Services Department.

a) Prior to issuance of any engineering permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A," dated March 19, 2002, on file in Development Services Department.

b) Prior to issuance of any building permits, a complete set of brush management construction documents shall be submitted for approval to the City Manager and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit "A," Brush Management Program/Landscape Concept Plan, dated March 19, 2002, on file in the Development Services Department, and shall comply with the Uniform Fire Code, (SDMC section 55.0889.0201), the Landscape Standards, and the SDMC section 142.0412 (Ordinance No. O-18451).

c) The Brush Management Program shall consist of two zones consistent with the Brush Management regulations of the SDMC section 142.0412 as follows:

Lots #16, 17 & 18	Zone One	Zone Two
	50'	50'
*Lots # 2 to 9 interim	Zone One	Zone Two
	30'	50'

d) The construction documents shall conform to the Architectural features as described in Section 142.0412(d).

e) Within Zone One combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) are not permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and the City Manager's approval.

f) Provide the following note on the Brush Management Construction Documents: It shall be the responsibility of the Permittee to schedule a pre-construction meeting on site with the contractor and the Planning and Development Review Department to discuss and outline the implementation of the Brush Management Program.

g) In zone Two, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Section and the Environmental Analysis Section.

41. Prior to final inspection and issuance of any Certificate of Occupancy, for any building, the approved Brush Management Program shall be implemented.

42. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

ENGINEERING REQUIREMENTS:

43. This Permit shall conform to Vesting Tentative Map No. 40-0315.

44. Prior to the issuance of the first building permit, the project shall conform to the Torrey Highlands Subarea IV Land Use Plan dated July, 1996, the Transportation Phasing Plan in the Public Facilities Financing Plan dated October, 1996, and the final EIR/Traffic Study dated June, 1996. These plans would permit 551,000 square-feet of office and light industrial use with a maximum of 25-percent (138,000 square-feet) for multi-tenant usage.

45. Office use parking ratio shall not exceed four parking spaces per 1,000 square-feet of floor area.

SEWER REQUIREMENTS:

46. Prior to the issuance of any building permits, the developer shall assure, by permit and bond, the design and construction of all public sewer facilities necessary to serve this development.

47. The developer shall provide evidence, satisfactory to the Metropolitan Wastewater Department Director, indicating that each lot will have its own sewer lateral or provide Covenants, Conditions and Restrictions for the operation and maintenance of on-site private sewer mains that serve more than one lot.

48. The developer shall design all proposed public or private sewer facilities to the most current edition of the City of San Diego's sewer design guide. Proposed facilities that do not meet the current standards shall be re-designed, satisfactory to the Metropolitan Wastewater Department Director.

49. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

WATER REQUIREMENTS:

50. Prior to the issuance of any building or grading permits, the developer shall assure, by permit and bond, the design and construction of parallel water mains consistent with the Water System Analysis for Torrey Highlands Subarea IV, or any subsequent studies, necessary to serve this development (including redundancy), in a manner satisfactory to the Water Department Director and the City Engineer.

51. Prior to the issuance of any building permits, the developer shall install fire hydrants at locations satisfactory to the Fire Department and the City Engineer. If more than two (2) fire hydrants or 30 dwelling units are located on a dead-end main then the developer shall install adequate facilities to provide a redundant water supply, satisfactory to the Water Department Director.

52. The developer agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Design Guide and City regulations, standards, and practices pertaining thereto.

53. Providing water for this development is dependent upon prior construction of certain water facilities in previously approved developments in this area including, but not limited to, the completion of the water facilities in Camino Ruiz, Street 'B' and Street 'A' in Torrey Highlands Subarea IV. If facilities have not been constructed when required for this development, then the construction of certain portions of these previously approved water facilities, as required by the City Engineer, will become off-site improvements required for this development.

INFORMATION ONLY

Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit/tentative map, may protest the imposition within 90 days of the approval of this development permit/tentative map by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

APPROVED by the Council of the City of San Diego on March 19, 2002, by Resolution No. R-296203.

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ORIGINAL

005198

AUTHENTICATED BY THE CITY MANAGER

By Edward S. Oliva

Edward S. Oliva, Development Services Manager

The undersigned Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Permittee hereunder.

GONDOR INVESTMENTS, LLC,
a California Corporation
Owner/Permittee

By

[Signature]
Gay Levitt, Manager
Gondor Management LLC, Manager

WESTERN PACIFIC HOUSING
Owner

By

[Signature]
SCOT C. SANDSTROM
VICE PRESIDENT

NOTE: Notary acknowledgments
must be attached per Civil Code
section 1180 et seq.

524/02

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40-0315

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CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of

San Diego

ss.

On

7/08/02

before me,

Ciara Layne

Name and Title of Officer (e.g., "Jane Doe, Notary Public")

personally appeared

Scott C. Sandstrom

Name(s) of Signer(s)

☒ personally known to me☐ proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies); and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Ciara Layne
Signature of Notary Public

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

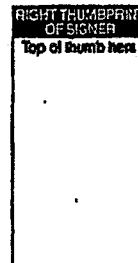
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer

Signer's Name: _____

- ☐ Individual
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Attorney-in-Fact
☐ Trustee
☐ Guardian or Conservator
☐ Other: _____

Signer Is Representing: _____



RESOLUTION NUMBER R-296203

ADOPTED ON MARCH 19, 2002

WHEREAS, Gondor Investments, LLC, a California Corporation, and Western Pacific Housing, Owners, and Gondor Investments, LLC, Permittee, filed an application with the City of San Diego for a permit to subdivide a 79.20 acre site into twenty lots with nineteen lots for development of commercial, industrial, and open space use on 27.66 acres through a Planned Development Permit/Site Development Permit, including the approval of a Multiple Habitat Planning Area [MHPA] boundary adjustment, for the project known as Torrey Highlands located on the west side of Camino Ruiz and the north and south sides of State Route 56, and legally described as Parcel D and a Portion of Parcel A, Parcel Map No. 6038, within the Torrey Highlands Subarea IV Plan area, in the AR-1-1 zone, which is proposed to be rezoned to the IP-2-1, CV-1-2, and OC-1-1 zones; and

WHEREAS, on February 7, 2002, the Planning Commission of the City of San Diego considered Planned Development Permit/Site Development Permit No. 40-0315 and Multiple Habitat Planning Area boundary adjustment, and pursuant to Resolution No. 3234-PC voted to recommend City Council adoption of staff recommendations, as presented in Planning Commission Report No. P-02-003 with the deletion of Exhibit 6E of the "Design Guidelines and Development Standards"; and

WHEREAS, the matter was set for public hearing on March 19, 2002, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

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ORIGINAL

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit/Site Development Permit No. 40-0315 and Multiple Habitat Planning Area boundary adjustment:

**A. PLANNED DEVELOPMENT PERMIT - SAN DIEGO MUNICIPAL CODE
SECTION 126.0604:**

1. The proposed development will not adversely affect the applicable land use plan. The 79.02 acre site, with 27.66 acres to be developed with three commercial lots, fifteen industrial lots, one open space lot, and a remainder parcel of 51.36 acres, is consistent with the Plan and would not adversely affect it. This site is west of Camino Ruiz and north and south of State Route 56 and is identified for these uses within the Plan. Projects adjacent to the west and east have been approved previously and the public improvements provided by this subject project are complimentary to those already provided. The accompanying Vesting Tentative Map conditions and those of the Planned Development and Site Development Permit, shall assure that the development of the site will be in compliance with the Plan.
2. The proposed development will not be detrimental to the public health, safety, and welfare. The industrial, commercial and open space being developed on a 27.66 acre portion of the 79.02 acre site is being approved on the basis of project conformity to the General Plan, Torrey Highlands Subarea IV Plan, and all regulations applicable to the Vesting Tentative Map and discretionary permits applied for. With conditions to assure for the provision of public improvements and design and development guidelines for on-site improvements, the proposed development will not be detrimental to the public health, safety and welfare. In conjunction with previously approved project applications and others to follow, this planning area will be fully developed as envisioned by the City of San Diego, achieving a balance of development area and preservation of open space.
3. The proposed development will comply with the regulations of the Land Development Code. The development of 27.66 acres of the 79.02 acre project with commercial, industrial and open space uses is in compliance with the adopted Plan and will comply with the regulations of the Land Development Code. To develop the anticipated and requested uses, along with a 51.36 acre remainder parcel, a Vesting Tentative Map, Planned Development and Site Development Permit and a rezone from the existing AR-1-1 agricultural zone to the CV-1-2, IP-2-1 and OC-1-1 zones, is required to achieve this compliance with the regulations of the Land Development Code. In addition, the Multiple Species Conservation Program [MSCP] goals are being achieved in the preservation of sensitive habitats within the totality of the Plan.
4. The proposed development, when considered as a whole, will be beneficial to the community. This 79.02 acre site, with 51.36 acres in a remainder parcel and 27.66 acres to be developed as industrial, commercial and open space, when considered as a whole, will be

-PAGE 2 OF 6-

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beneficial to the community. The project site lies between two approved projects to the west and east. Roads, water and sewer lines, provisions for the development of State Route 56, and the on-site development of commercial, industrial and open space uses, will link the infrastructure and balance the land uses within the predominant residential use of the Plan. The Plan was adopted by the City to preserve sensitive lands identified by the MSCP and to place private development on the less sensitive areas. This development achieves the goals of the adopted Plan. The project is also compatible with the adjacent Rancho Penasquitos Community Plan area.

5. Any proposed deviations pursuant to SDMC section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone. All development of the 27.66 acre developable portion of the site are subject to criteria established by the Plan and the Design Guidelines adopted with the project. As specific needs of future industrial users are not generally known in advance, the City allows the underlying zone requirements and Design Guidelines to be used to determine Substantial Conformity for the specific site permitting process.

B. SITE DEVELOPMENT PERMIT APPROVAL - SAN DIEGO MUNICIPAL CODE SECTION 126.0504:

1. The proposed development will not adversely affect the applicable land use plan. The 79.02 acre site, with 27.66 acres to be developed with three commercial lots, fifteen industrial lots, one open space lot and a remainder parcel of 51.36 acres, is consistent with the Plan and would not adversely affect it. This site is west of Camino Ruiz and north and south of State Route 56 and is identified for these uses within the Plan. Projects adjacent to the west and east have been approved previously and the public improvements provided by this subject project are complimentary to those already provided. The accompanying Vesting Tentative Map conditions and those of the Planned Development and Site Development Permit shall assure that the development of the site will be in compliance with the Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The industrial, commercial and open space to be developed on a 27.66 acre portion of the 79.02 acre site is being approved on the basis of project conformity to the General Plan, Plan, and all regulations applicable to the Vesting Tentative Map and discretionary permits applied for. With conditions to assure for the provision of public improvements and design and development guidelines for on-site improvements, the proposed development will not be detrimental to the public health, safety and welfare. In conjunction with previously approved project applications and others to follow, this planning area will be fully developed as envisioned by the City of San Diego, achieving a balance of development area and preservation of open space.

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3. The proposed development will comply with the applicable regulations of the Land Development Code. The development of 27.66 acres of the 79.02 acre project with commercial, industrial and open space uses is in compliance with the adopted Plan and will comply with the regulations of the Land Development Code. To develop the anticipated and requested uses, along with a 51.36 acre remainder parcel, a Vesting Tentative Map, Planned Development and Site Development Permit, and a rezone from the existing AR-1-1 agricultural zone to the CV-1-2, IP-2-1 and OC-1-1 zones, are required to achieve this compliance with the regulations of the Land Development Code. In addition, the MSCP goals are being achieved in the preservation of sensitive habitats within the totality of the Plan.

C. SUPPLEMENTAL FINDINGS--ENVIRONMENTALLY SENSITIVE LANDS:

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands. The project site contains 79.02 acres of which 51.36 acres of State Route 56 right-of-way and land north of the freeway will be in a remainder parcel with no development rights established by this project action. The 27.66 acres south of the freeway is bounded on the west by a previously approved project titled, "Torrey Santa Fe," and on the east by the previously approved "Greystone Torrey Highlands" project. The MSCP boundary bisects the southerly portion of the area to be developed with industrial and commercial uses. A Multiple Habitat Planning Area [MHPA] boundary adjustment is being approved for this project which will preserve approximately one acre in an open space easement. Grading for the development of Camino Ruiz and the 'A' Street intersection requires some grading of environmentally sensitive lands but the entire project will result in minimum disturbance of sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards. The 27.66 acres of this 79.02 acre subdivision map that are proposed for development of industrial and commercial land uses has been reviewed for grading, fire hazards, geologic conditions and erosion and flooding potentials. The grading and development footprints are consistent with the Plan and the environmental document. The entire Plan area was comprehensively reviewed for compliance with the previous Resource Protection Overlay zone with the intent that if the individual projects were determined to conform, that additional analysis would not be required. The limits of project grading is consistent with the Plan and the grading approved for the three adjacent projects. MSCP Adjacency Guidelines are required to be complied with to eliminate adverse projects impacts on the MSCP/MHPA areas. Drainage, fire safety, and grading/geologic conditions have been incorporated into the permits or noted on the Plan Exhibit "A," dated March 19, 2002, on file in the Development Services Department.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands. Environmentally sensitive lands are adjacent to the southerly boundary of the 27.66 acre portion of the 79.02 acre total site area to be developed. Portions of these lands are within the project boundaries and are being addressed through a MHPA boundary adjustment and an open space easement over approximately one acre.

-PAGE 4 OF 6-

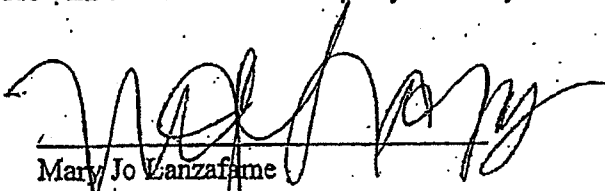
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Gondor Investments, LLC, a California Corporation, and Western Pacific Housing, Owners, and
Gondor Investments, LLC, Permittee, under the terms and conditions set forth in the permit
attached hereto and made a part hereof.

BE IT FURTHER RESOLVED, that the MHPA boundary adjustment as shown on
Vesting Tentative Map No. 40-0315 is approved.

APPROVED: CASEY GWINN, City Attorney

By


Mary Jo Lanza
Deputy City Attorney

MJL:lc:dr
04/30/02
Or.Dept:Clerk
R-2002-1303
Form=permitr.frm
Reviewed by Robert Korch

-PAGE 6 OF 6-

ORIGINAL

Passed and adopted by the Council of San Diego on March 19, 2002, by the following vote:

**YEAS: PETERS, WEAR, ATKINS, STEVENS, MAIENSCHIN, FRYE, INZUNZA,
MAYOR MURPHY**

NAYS: NONE

NOT PRESENT: MADAFFER

VACANT: NONE

AUTHENTICATED BY:

DICK MURPHY

Mayor of The City of San Diego, California

CHARLES G. ABDELNOUR

City Clerk of The City of San Diego, California

(SEAL)

By: Manuel E. Ketcham, Deputy

I HEREBY CERTIFY that the above and foregoing is a full, true and correct copy of
RESOLUTION NO. R-296203, passed and adopted by the Council of The City of San Diego,
California on March 19, 2002.

CHARLES G. ABDELNOUR

City Clerk of The City of San Diego, California

(SEAL)

By: Manuel E. Ketcham, Deputy

ORIGINAL

THE EMPLOYMENT CENTER

AT

**TORREY HIGHLANDS
PLANNED DEVELOPMENT PERMIT**

**DESIGN GUIDELINES AND
DEVELOPMENT STANDARDS**

Prepared For:
SEABREEZE PROPERTIES, LLC
3525 Del Mar Heights Road, Suite #246
San Diego, CA 92130

Date: October 12, 2001

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Exhibit 4	Typical Single Lot Industrial Concept Plan
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Exhibit 6 (a – e)	Typical Commercial Concept Plan
Exhibit 7	Typical Lots Adjacent To MSCP
Exhibit 8	Typical Lot Setbacks Adjacent to SR56
Exhibit 9	Typical Lots Adjacent To Torrey Santa Fe
Exhibit 10	Setback for CR 2-1 Zone Typical Lot
Exhibit 11	None
Exhibit 12 (a-g)	Typical Building Elevations (IP 2-1)
Exhibit 13	None
Exhibit 14	Roof Top Screening
Exhibit 15	Typical Screening of Loading or Service Area
Exhibit 16	Typical trash Enclosure and Equipment Screening
Exhibit 17	Walls & Fencing
Exhibit 18	Lighting
Exhibit 19	Street "A" Pedestrian Paths & Nodes
Exhibit 20	Street "A" Pedestrian Node
A. Exhibit 21	Community Project Monumentation

A INTRODUCTION

Project Location

The 34-acre Employment Center at Torrey Highlands Planned site is located west of Interstate 15 (I-15) and southwest of the future interchange of State Route 56 (SR-56) and Camino Ruiz in the Torrey Highlands Subarea of the City of San Diego. In November 1996, a phase shift from Future Urbanizing to Planned Urbanizing was approved by ballot measure for the majority of the Torrey Highlands Subarea. As depicted in the Location Map (Figure 1), the project site is located in the southwestern portion of Torrey Highlands, north of Deer Canyon and south of McGonigle Canyon, adjacent to the Torrey Santa Fe Project.

Planning Context

The Torrey Highlands Subarea Plan designates this property for Employment Center use, with a provision to integrate Transit Center facilities in the event that transit services are provided to the area. Similar uses are also planned to occur on an adjoining property to the west. As provided in the Subarea Plan, the employment center is to be created as a means to create a balance between the provision of new housing and the creation of places where those residents may work. This Torrey Highlands Planned Development Permit (PDP) will implement the Torrey Highlands Subarea Plan by providing a master plan for the development of employment center uses.

The Torrey Highlands employment center project is designed to expand and or serve the various residential, corporate, and ancillary commercial uses occurring south of SR-56 and west of Camino Ruiz within the Subarea IV boundaries.

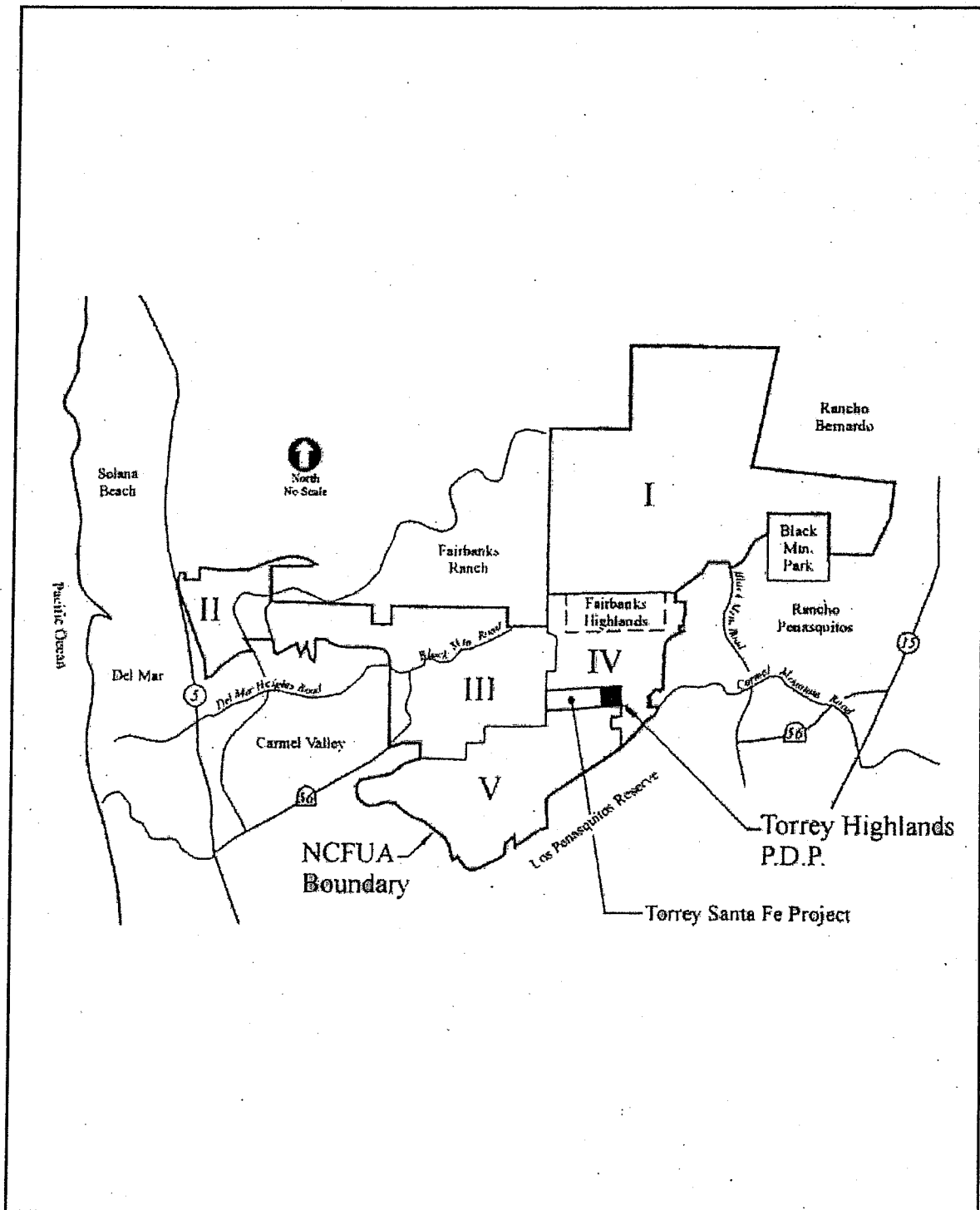
The lotting layout is designed with small lots which can be conjoined to accommodate larger corporate or campus style users. The IP2-1 Zoning allows for either large single tenant users, a combination of large users or a mix of large and smaller users. The CR-2-1 Zoning allows for a broad mix of large or small business/professional office and support services such as hotel, restaurant, service station, car wash, etc., to be integrated into the overall project.

Purpose and Intent

These Design Guidelines and Development Standards address the site development requirements, architectural standards, and landscape architectural standards that will define the Employment Center at Torrey Highlands. They are intended to ensure proper integration with the Torrey Santa Fe project, adjacent MSCP open space, and other surrounding land uses while implementing the principles, concepts, policies and requirements of the North City Future Urbanizing Area Framework Plan and the Torrey Highlands Subarea Plan.

This document sets forth specific goals, guidelines and standards for the

development of the Employment Center at Torrey Highlands. Adherence to these Design Guidelines and Development Standards will result in a high quality development unified by an overall landscape design theme that is consistently applied throughout the project. These guidelines are intended to be used by the builders, land planners, architects, landscape architects, civil engineers, and future owners who will be responsible for designing and building this Employment Center. These guidelines are not intended to restrict the creativity of architects and designers; rather, they are formulated to provide guidance pursuant to the Subarea Plan, while allowing creative flexibility. When followed, these guidelines will ensure that development will complement the character of the region and surrounding natural habitats, as depicted in the Plan View.



Design Guidelines & Development Standards

Project Location

1

Torrey Highlands
Planned Development Permit

10/12/01

B. DESIGN GUIDELINES OVERVIEW

PDP Concept and Lotting

The Employment Center at Torrey Highlands is depicted on the Development Concept Map (Figure 2), and the PDP Site Plan (Figure 3). As shown, the project site is divided into eighteen usable lots plus one Open Space Lot –OC-1-1 (referred to as Lot 19). Primary access will be provided via Street 'A'. Lots 1 through and 3 are zoned CR 2-1 and located adjacent to SR-56 and Camino Ruiz to provide easy access and visibility from the surrounding areas. The industrial lots are zoned IP-2-1 and are designed with a 100-foot minimum street frontages, shared drives, and expanded parkways that will enhance the entry sequence to the residential properties to the west, and provide strong pedestrian and bicycle linkages between the two areas (Figure 19, Street A Pedestrian Paths and Nodes, Figure 20, Street A Pedestrian Node, and Figure 21, Community/Project Monumentation).

Project Goals and Objectives

The principal goal of the Employment Center is to create a high-quality project that is consistent with the Torrey Highlands Subarea Plan, and sensitive to the surrounding natural landforms. These guidelines endeavor to ensure that the Employment Center remain aesthetically complementary to the surrounding projects, while providing employment opportunities to the surrounding residential uses to minimize the vehicular traffic outside the vicinity. Additional goals and objectives for the Employment Center at Torrey highlands follow.

- Assure the high-quality aesthetic appearance of the built form through adherence to these design guidelines.
- Reinforce the pedestrian-friendly environment of the Torrey Highlands Subarea by linking the surrounding land uses to the on-site employment and services through a wide parkway and walk system.
- Contribute to the coordinated preservation of the natural character of the community via sensitive design adjacent to the MSCP and introduction of street and parking area landscaping consistent with the surrounding developments.
- Maintain sensitivity to the natural landforms through protective measures by established through appropriate setbacks, building orientation, lighting, and drainage criteria, for all structures within the Employment Center.

Conceptual Site Plans

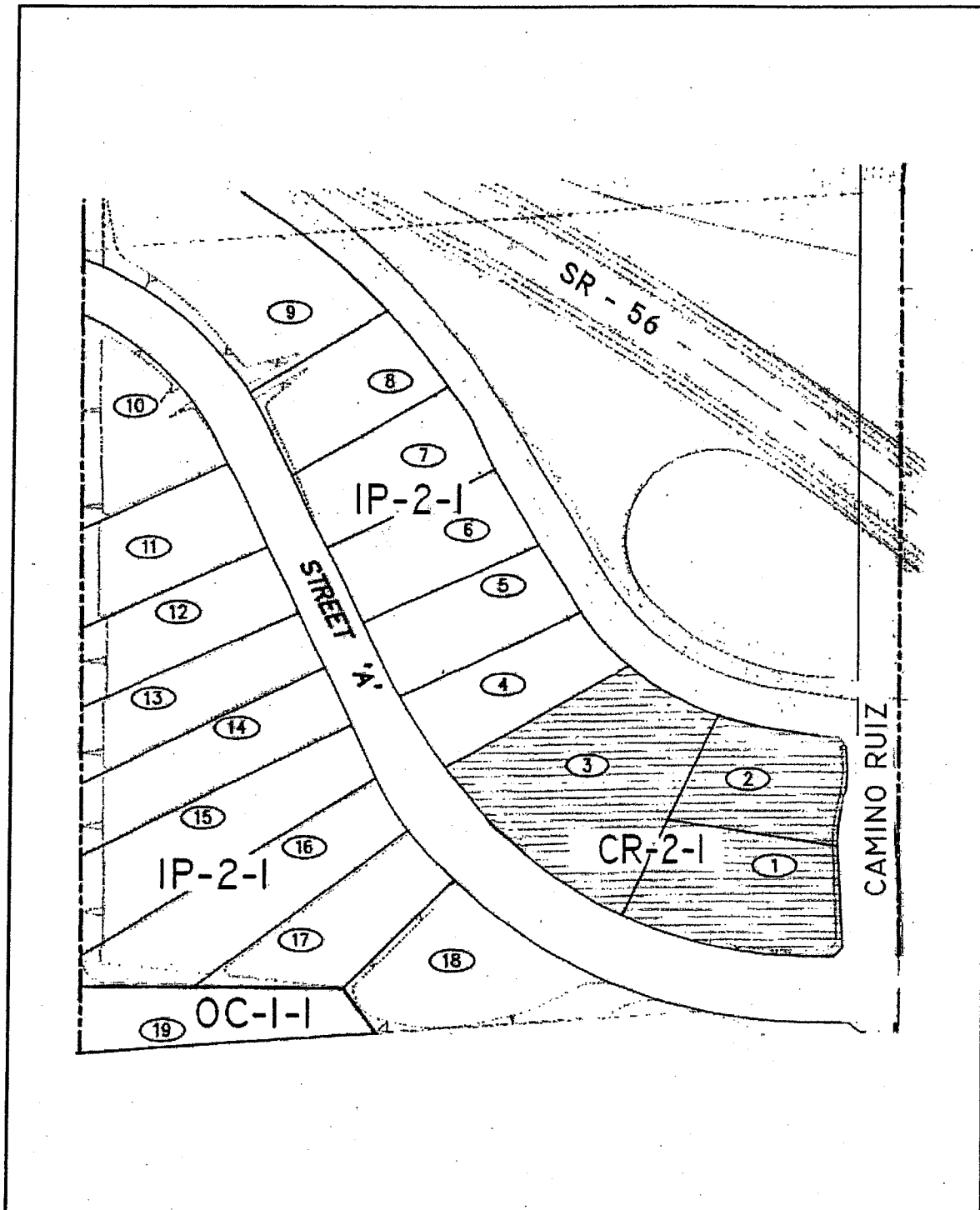
Two examples of a conceptual plan for the industrial lots are illustrated in Figures 4 (Typical Single Lot Industrial Concept Plan) and 5 (a,b) (Typical Multiple/Combined Lot Office Concept Plans). An illustration of a site plan for

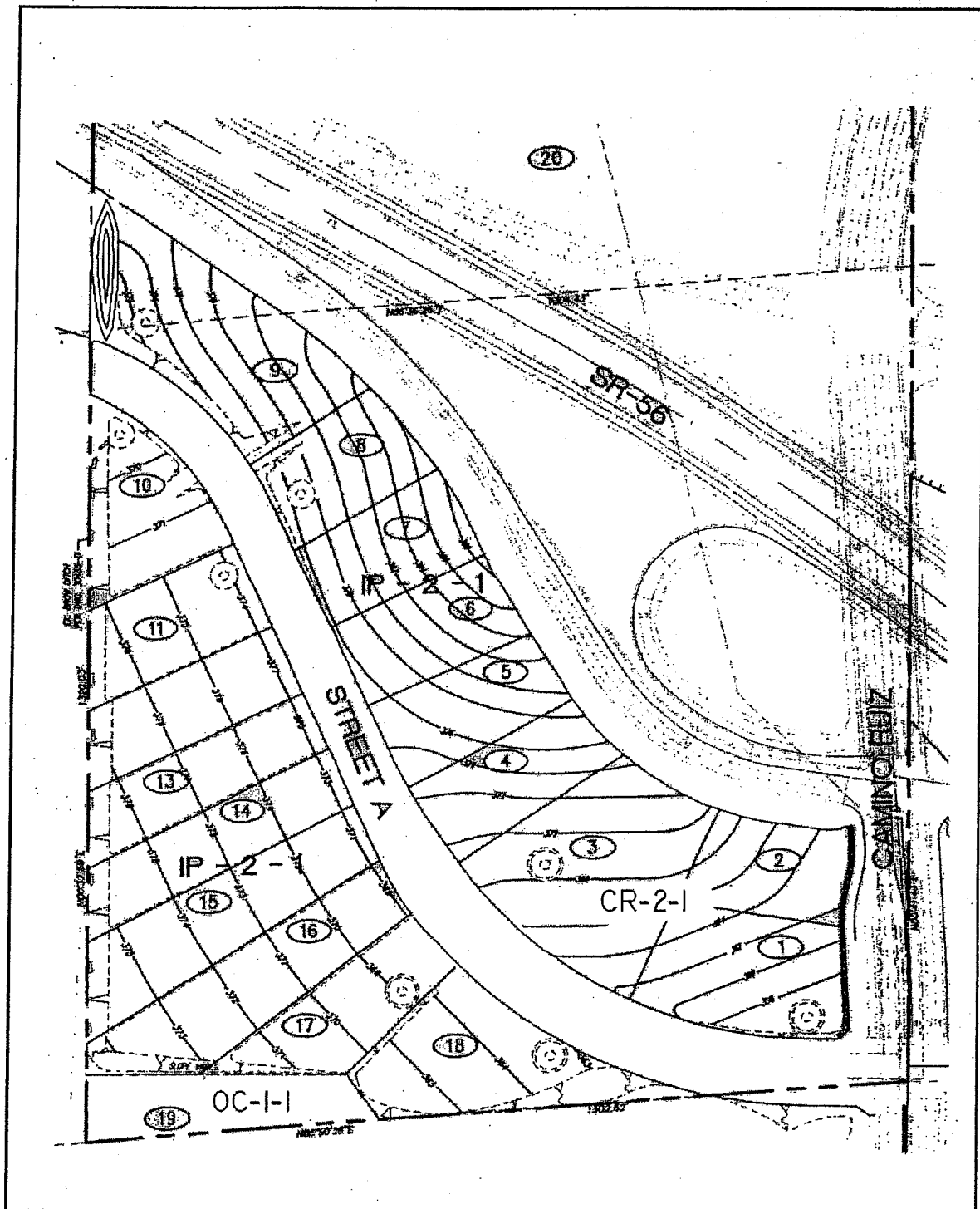
the commercial lots is provided in Figure 6 (a – e) (Typical Commercial Concept Plans). The plans are shown for illustrative purposes only as a depiction of the development concepts envisioned for these sites. The PDP Site Plan shows the overall layout (Figure 3).

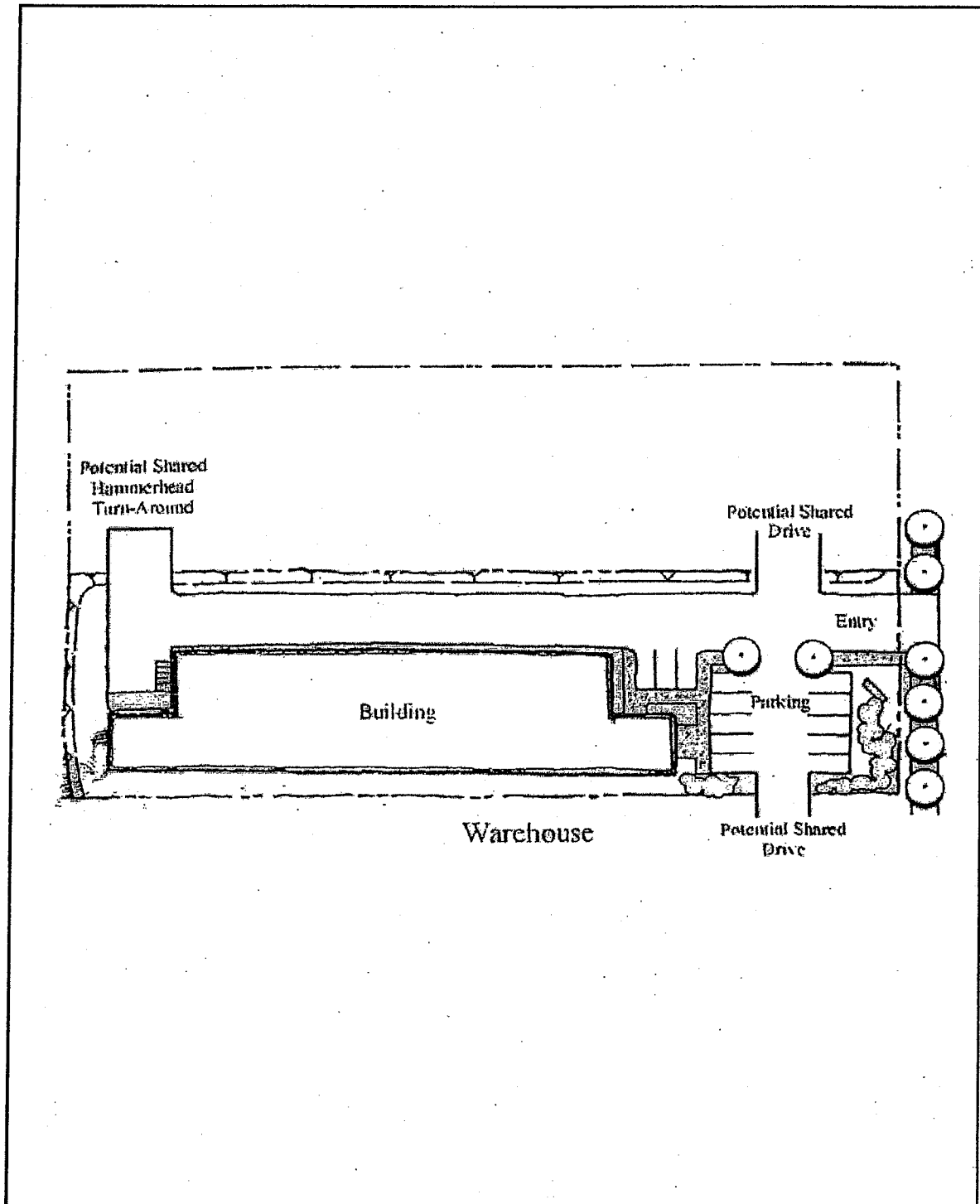
Individual lot design, building footprints, and parking layouts as shown on Figures 4 and 5, are typical and based on design requirements of this PDP. Actual development will likely vary from these typical representations. Review and approval of actual development plans for individual lots will occur as implementing actions of this PDP. Section G of this document, "DESIGN REVIEW AND PROCEDURES", details the submittal requirements and process for implementing this PDP.

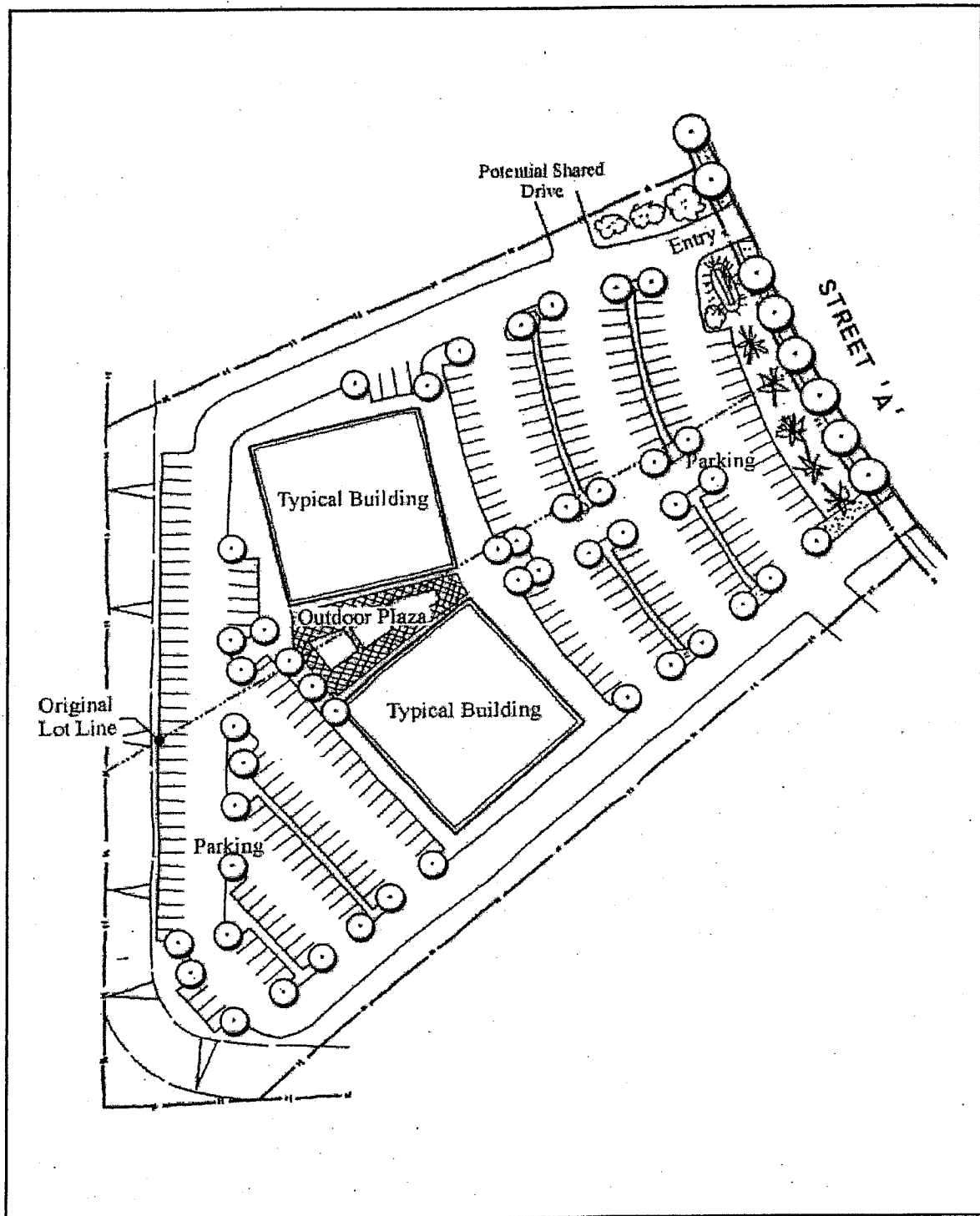
Design Guidelines Interpretation

Although the guidelines contained in this document are intended to allow flexibility, they have been crafted as standards that must be satisfied in order for the project to meet its intended goals. Development of individual buildings and proposed site plans shall be reviewed using this document. The compilation of these guidelines permits a diversity of architecture within a set framework. These guidelines provide the design information necessary to eliminate the need for individual projects within Torrey Highlands to undergo further discretionary approval, provided the individual projects meet the overall intent and specific land uses as established by this document. The evaluation of proposed structures and improvements shall not be interpreted too strictly as to burden the project with exact replications of the figures included in these guidelines.









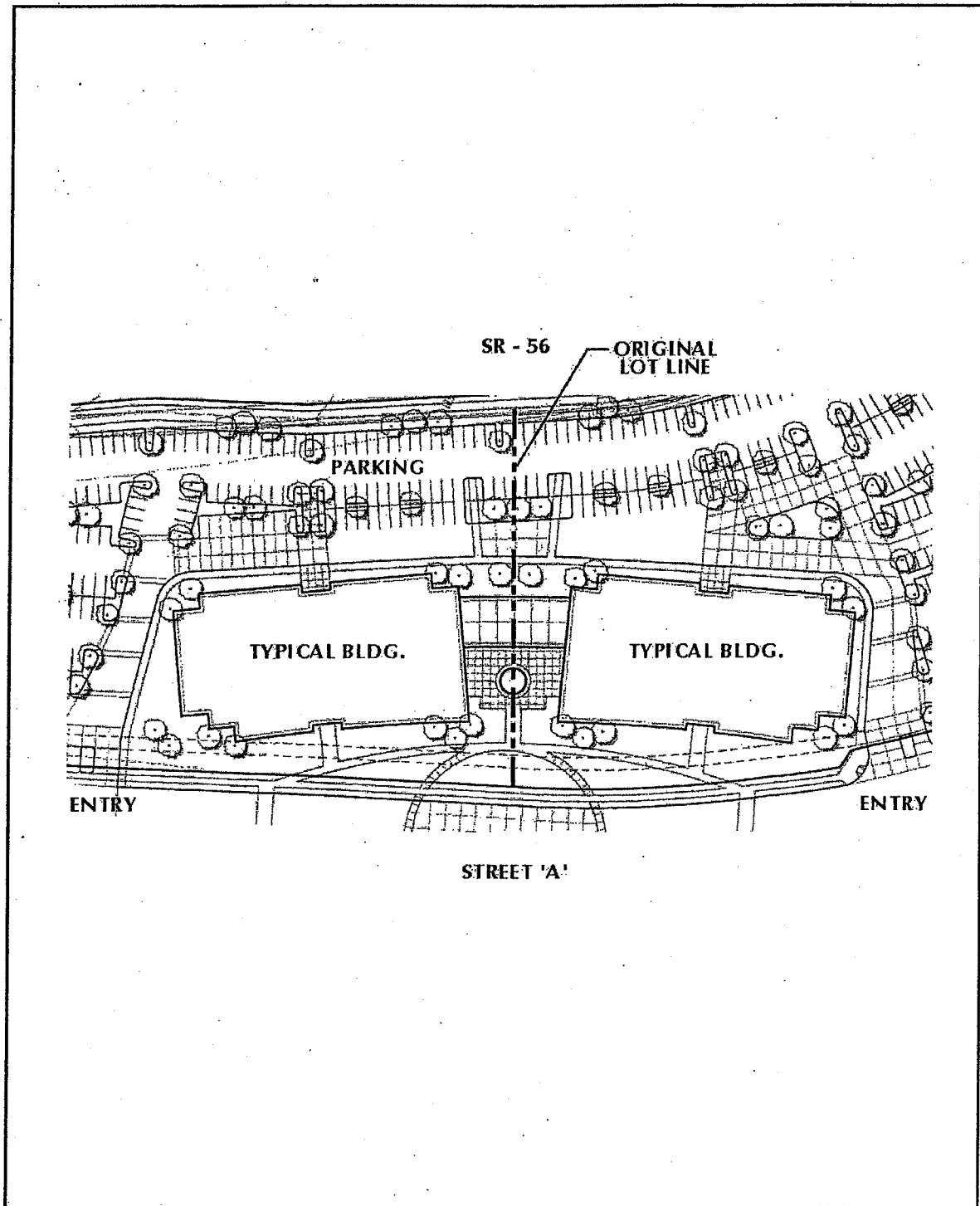
Design Guidelines & Development Standards

Typical Multiple Combined Lot Office Concept Plan **5a**

Torrey Highlands
Planned Development Permit

10/12/01

All landscaping shown here is for illustrative purposes only and as shown it may not comply with landscape regulations of the Land Development Code. Therefore, specific site development submittals will need to comply with landscape regulations and landscape standards of the Land Development Code.



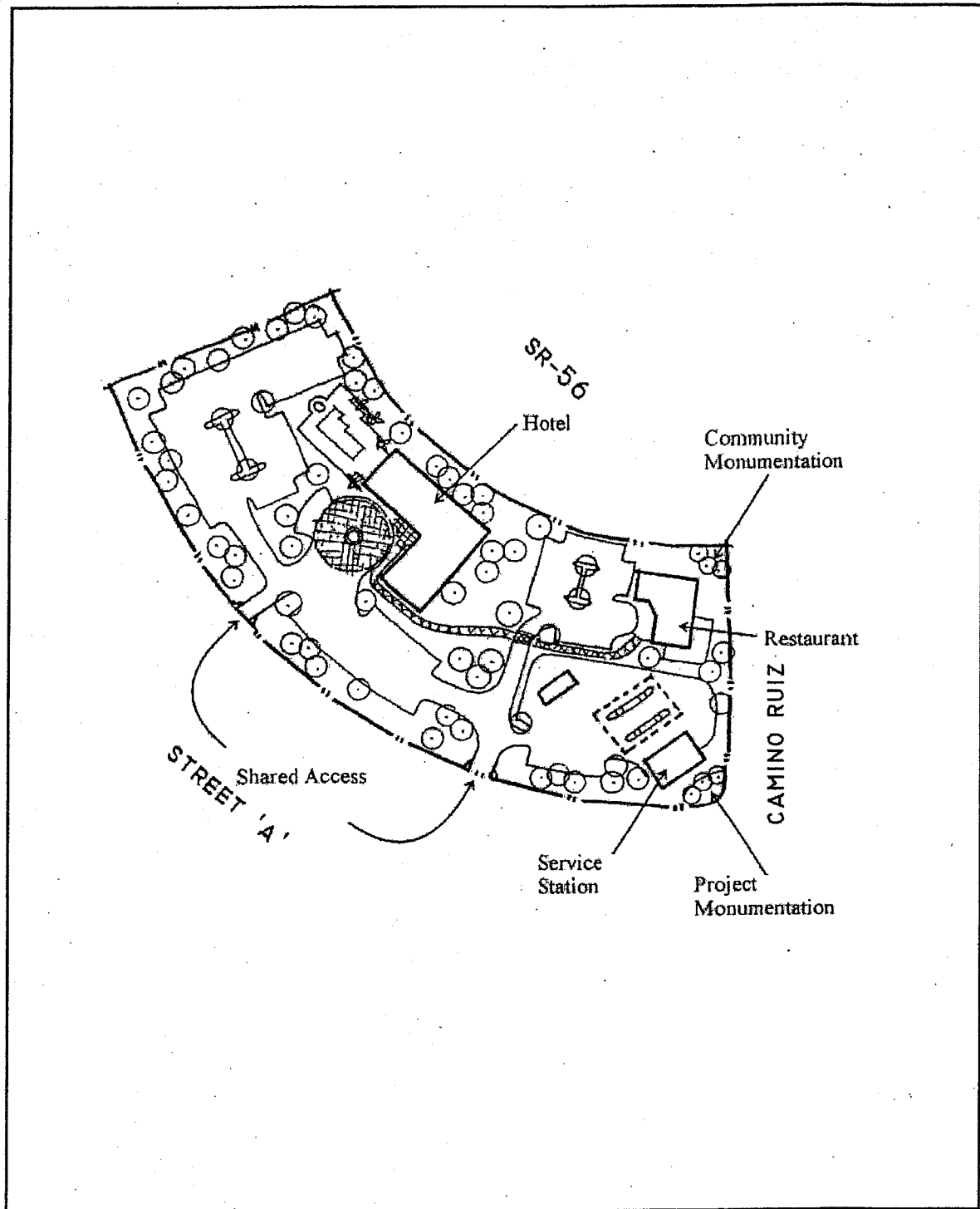
Design Guidelines & Development Standards

Typical Multiple Combined Lot Office Concept Plan **5b**

Torrey Highlands
Planned Development Permit

10/12/01

All landscaping shown here is for illustrative purposes only and as shown it may not comply with landscape regulations of the Land Development Code. Therefore, specific site development submittals will need to comply with landscape regulations and landscape standards of the Land Development Code.



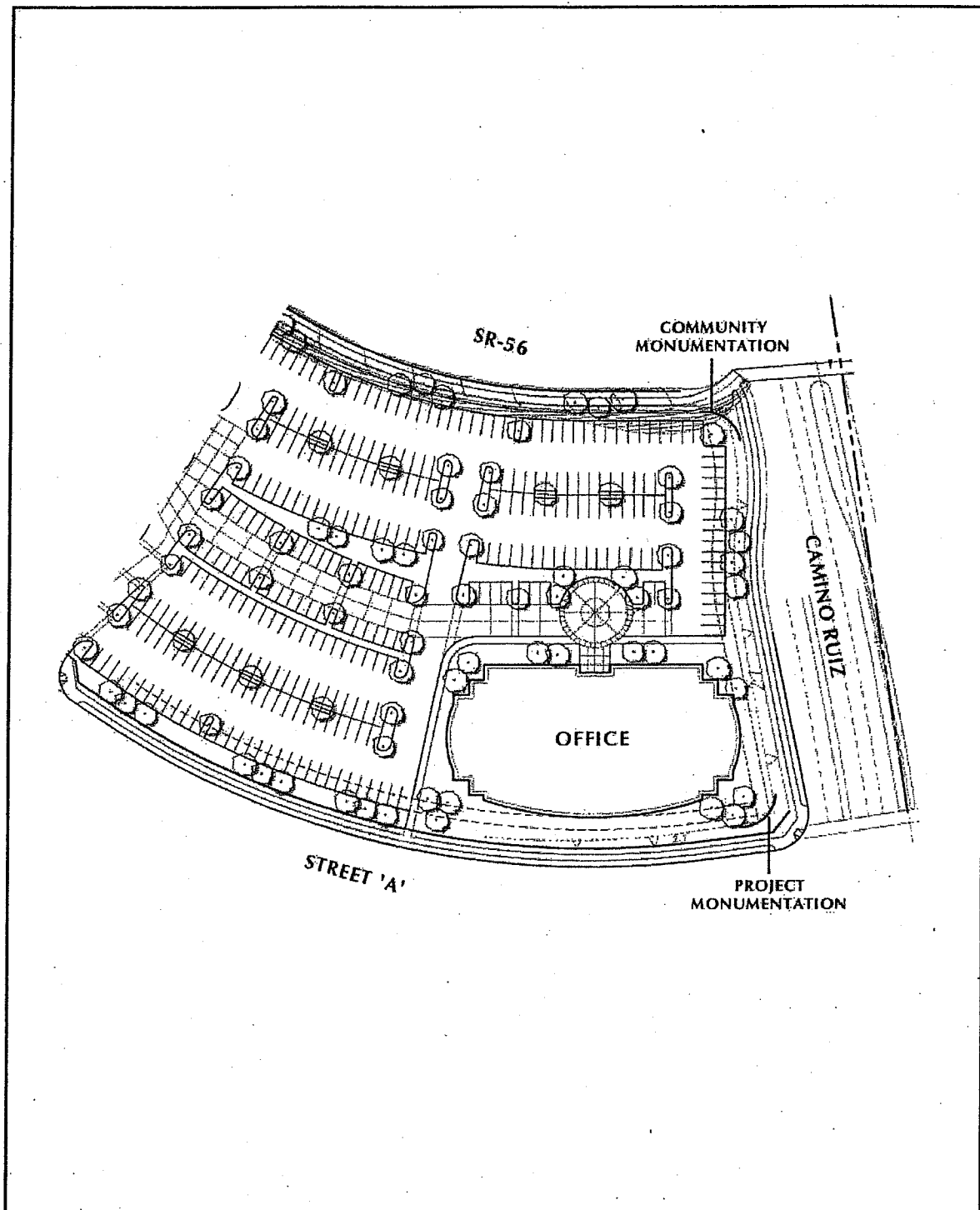
Design Guidelines & Development Standards

Typical Commercial Concept Plan 6a

Torrey Highlands
Planned Development Permit

10/12/01

All landscaping shown here is for illustrative purposes only and as shown it may not comply with landscape regulations of the Land Development Code. Therefore, specific site development submittals will need to comply with landscape regulations and landscape standards of the Land Development Code.



Design Guidelines & Development Standards

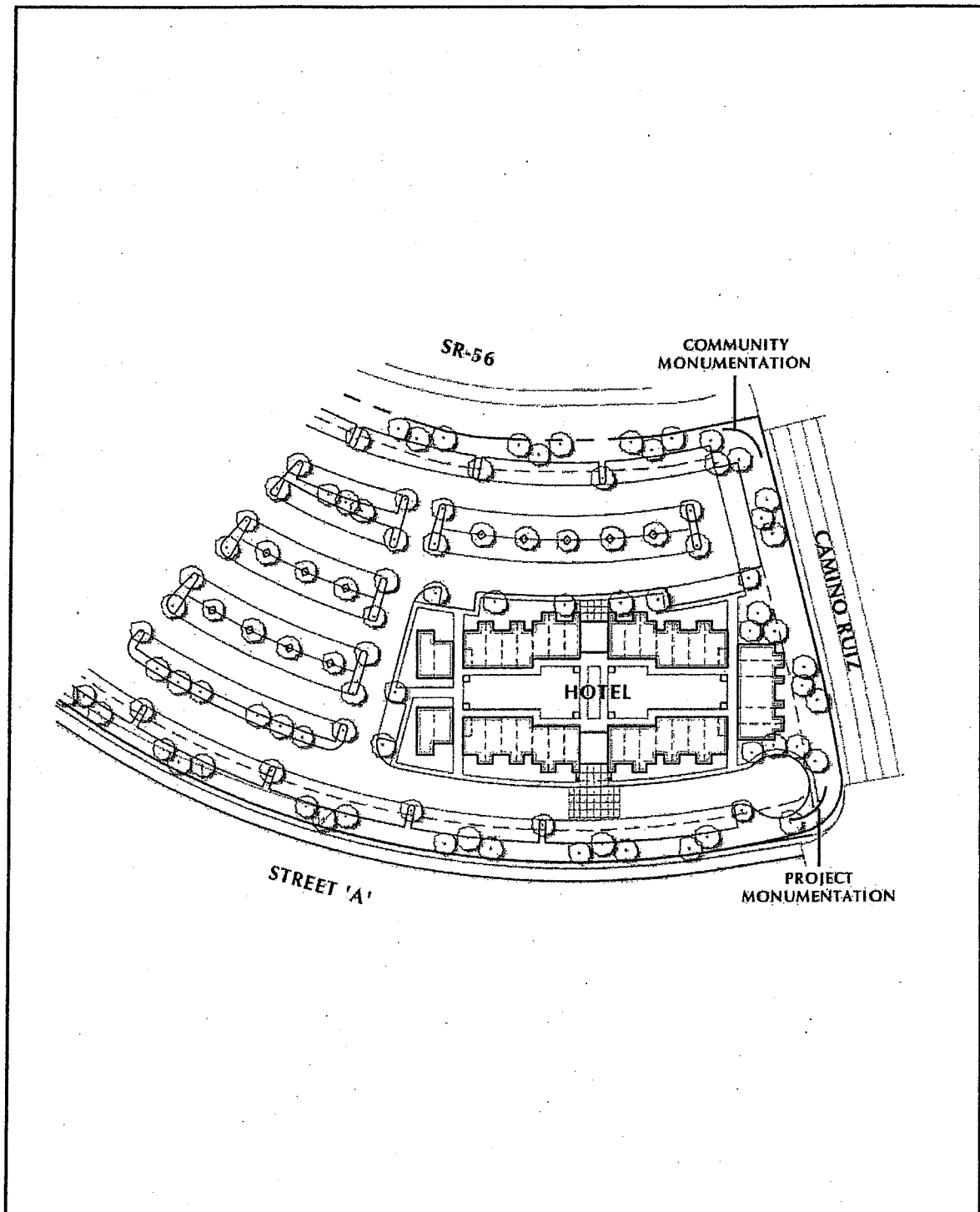
Typical Commercial Concept Plan

6b

Torrey Highlands
Planned Development Permit

10/12/01

All landscaping shown here is for illustrative purposes only and as shown it may not comply with landscape regulations of the Land Development Code. Therefore, specific site development submittals will need to comply with landscape regulations and landscape standards of the Land Development Code.



Design Guidelines & Development Standards

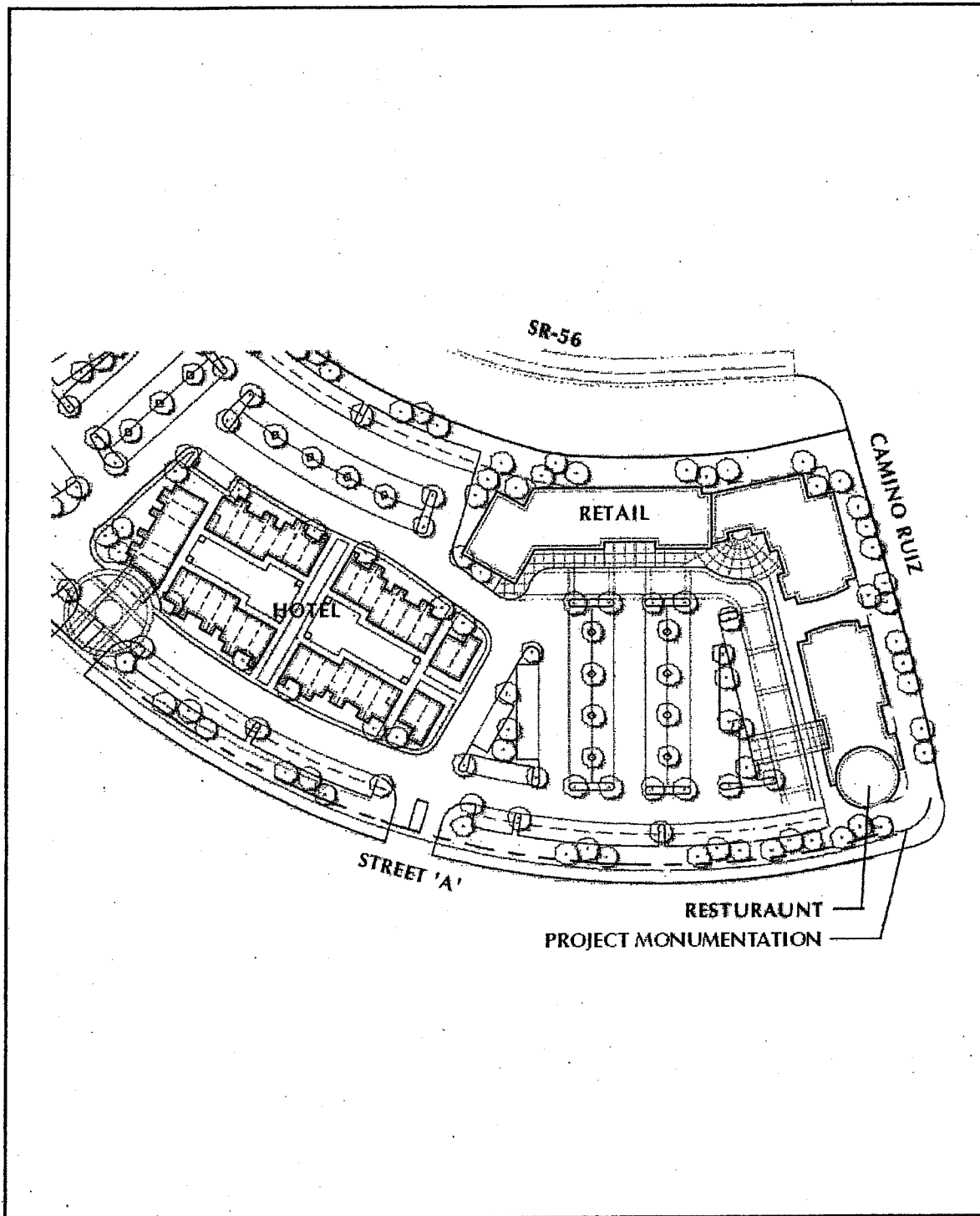
Typical Commercial Concept Plan

6c

Torrey Highlands
Planned Development Permit

10/12/01

All landscaping shown here is for illustrative purposes only and as shown it may not comply with landscape regulations of the Land Development Code. Therefore, specific site development submittals will need to comply with landscape regulations and landscape standards of the Land Development Code.



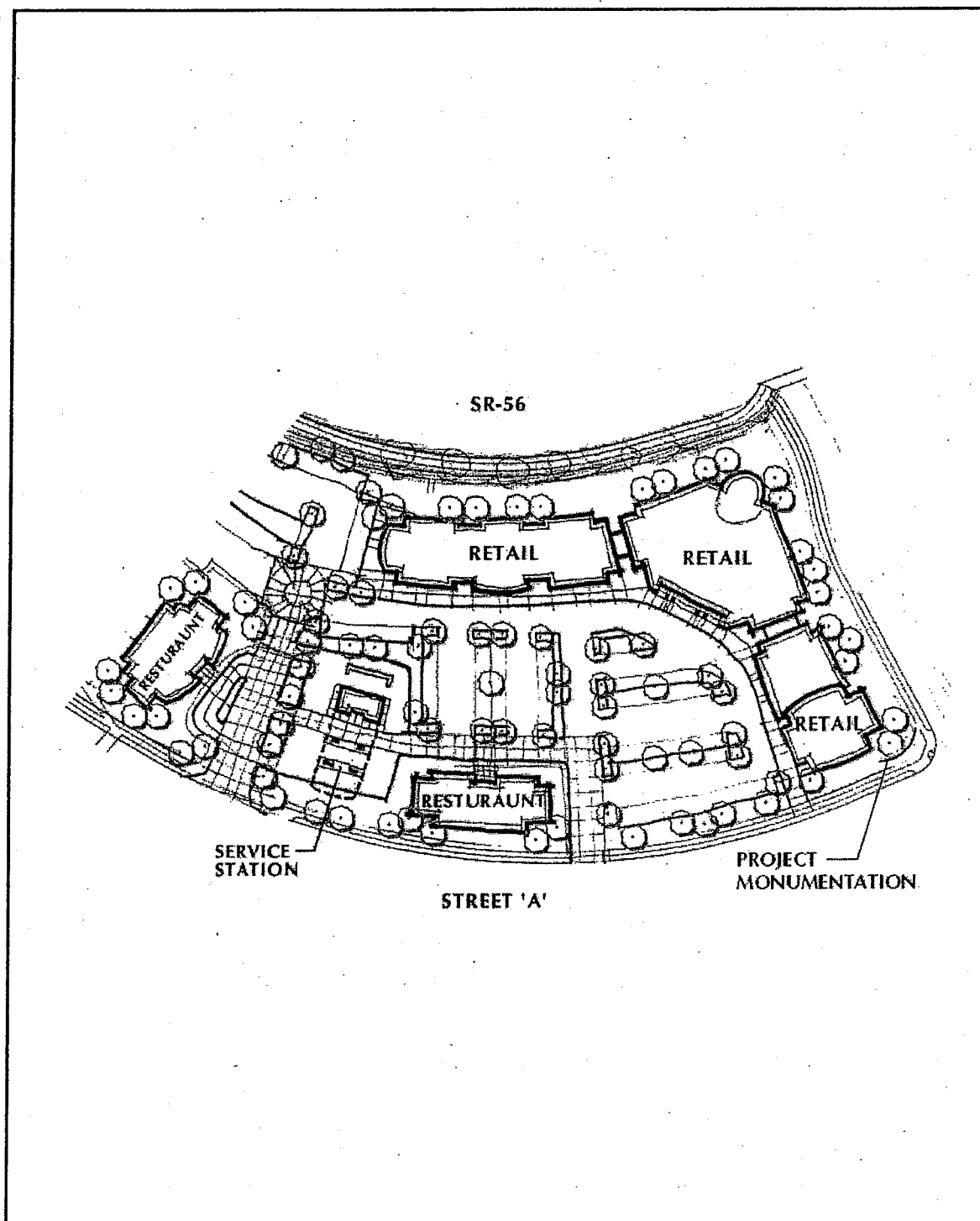
Design Guidelines & Development Standards

Typical Commercial Concept Plan 6d

Torrey Highlands
Planned Development Permit

10/12/01

All landscaping shown here is for illustrative purposes only and as shown it may not comply with landscape regulations of the Land Development Code. Therefore, specific site development submittals will need to comply with landscape regulations and landscape standards of the Land Development Code.



C. DEVELOPMENT STANDARDS – IP-2-1Development Criteria

The Employment Center at Torrey Highlands has been designed to be developed in accordance with the regulations governing IP-2-1 Zoning. This document and the San Diego Land Development Code govern the criterion for development within the project. Where any provision within this document is more restrictive than the San Diego Land Development Code, this document shall take precedence.

Permitted Uses – IP-2-1

The industrial lots within the Employment Center at Torrey Highlands may be developed with all uses consistent with the use regulations of the Land Development Code, including the following:

- Individual Businesses , Corporate Headquarters, Research and Development, Biotechnology and Professional Office
- Ancillary uses (Ancillary uses are limited to 5% of the Sub area's Employment Center. Additional square footage may be permitted if warranted by traffic studies. Ancillary uses are counted as part of the overall square footage and cannot be freestanding structures).
- Daycare facilities
- Food services
- Health club

Overall Site Development Standards for the IP-2-1 Zone

The following criteria shall also be considered when placing a structure on an individual lot:

- Buildings may be placed in any location within the development pad of each industrial lot provided the required following setbacks (including brush management, zone one) are met and the placement is consistent with the site design criteria established in this section.
- The minimum setback for structures adjacent to the MSCP is twenty-five (25) feet from the first floor of the structure and shall be measured from the top of slope. For building elevations facing the MSCP, each additional story above

the first floor shall be set back an additional seven (7) feet, resulting in either a greater minimum setback or a terraced building façade, as shown in the MSCP Building Edge Condition and Fencing (Figure 7).

- The minimum front yard Building setback is twenty-five (25) feet.
- The minimum front yard-parking setback is fifteen (15) feet
- No loading or storage areas shall be permitted in the required front or side yard in any zone of the property.
- Shared driveways and joint parking facilities are strongly encouraged.
- Combined parcels shall have reciprocal access easements in order to allow design flexibility and adequate traffic flow to and from Street 'A'.

Lot-Specific Site Development Standards – Rear Yard

Group 1

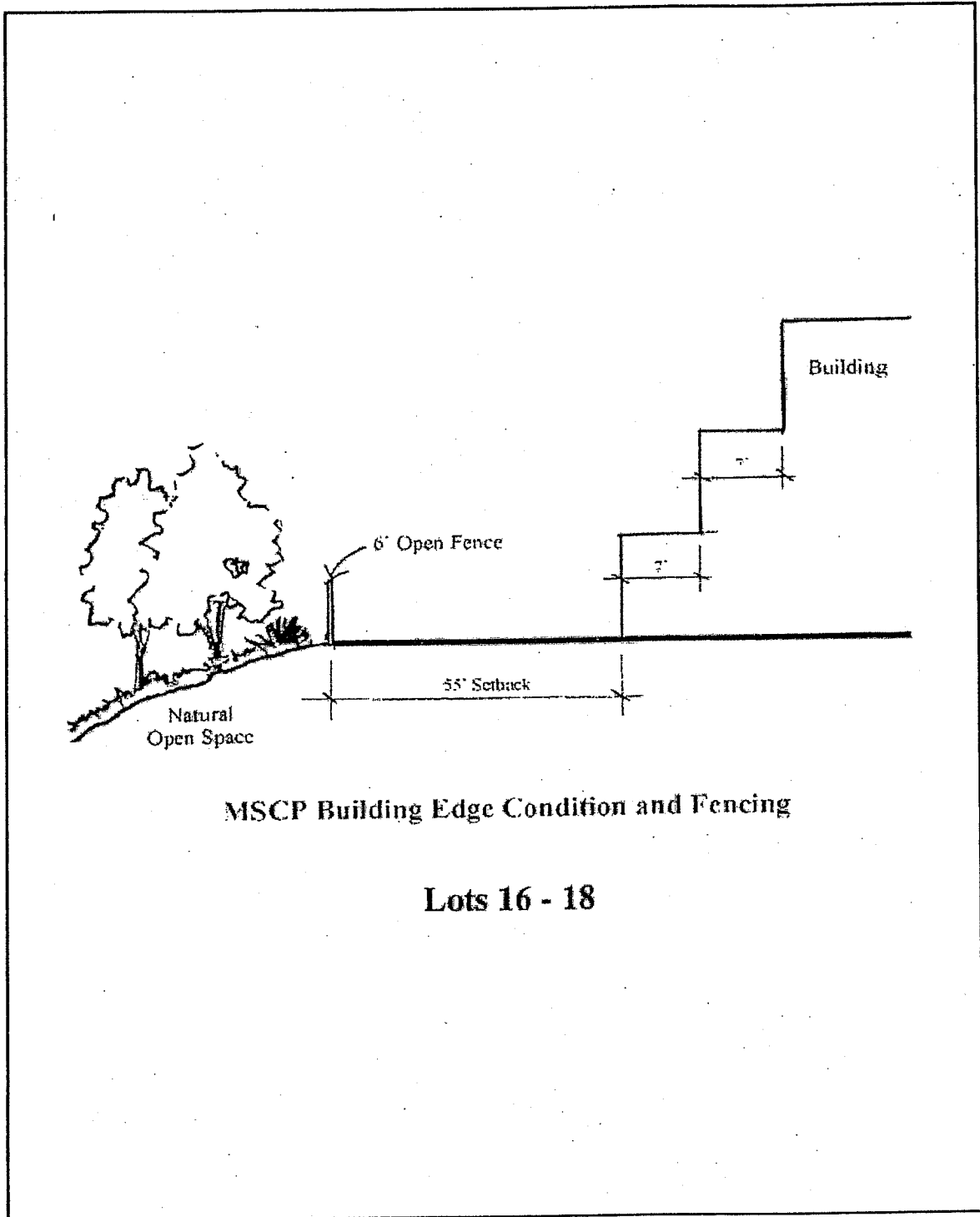
Lots 2-9, rear of lots that abut SR 56, are depicted in Typical Lot Setbacks Adjacent to SR56 (Figure 8). Rear yard set back for parking is five (5) feet.

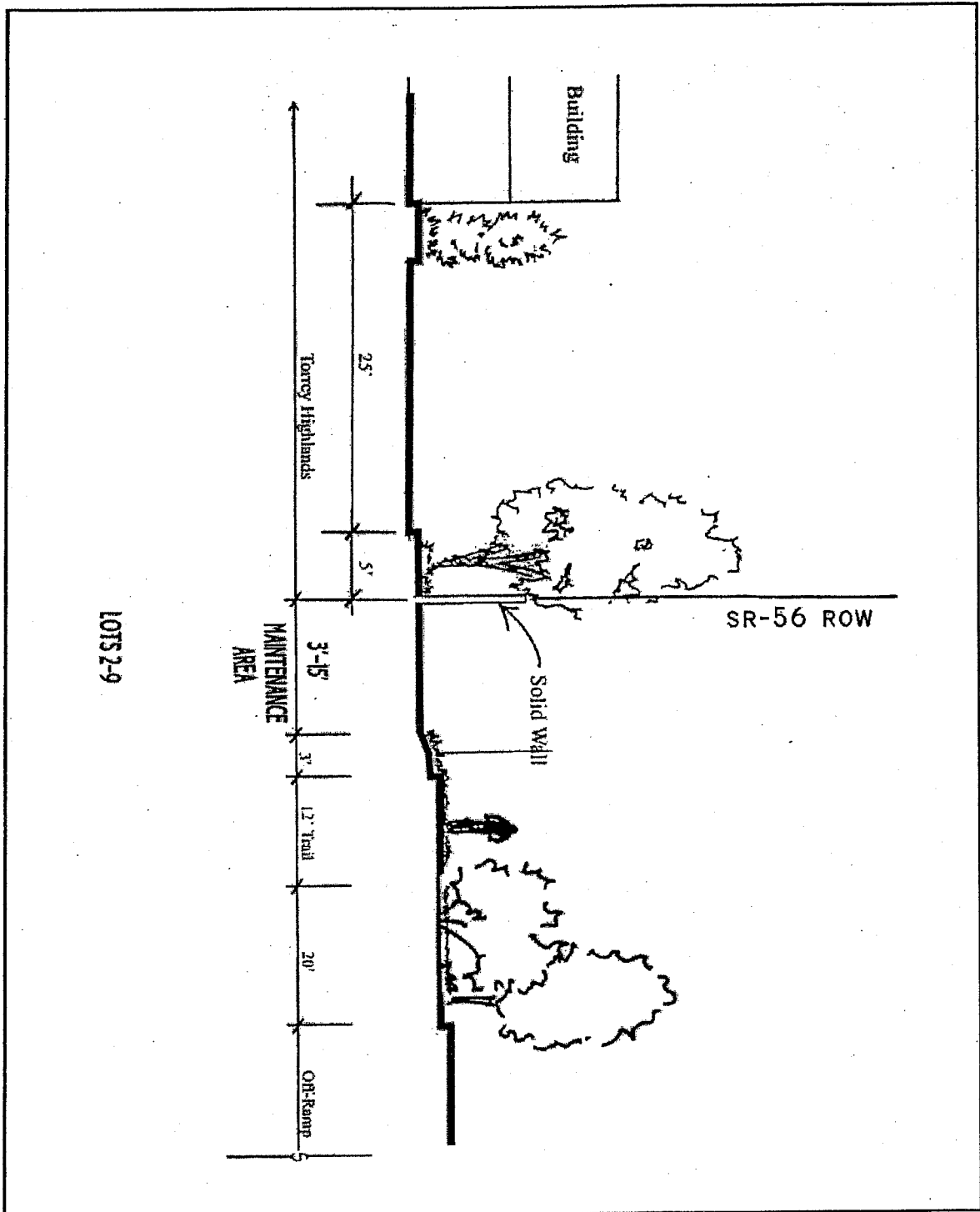
Group 2

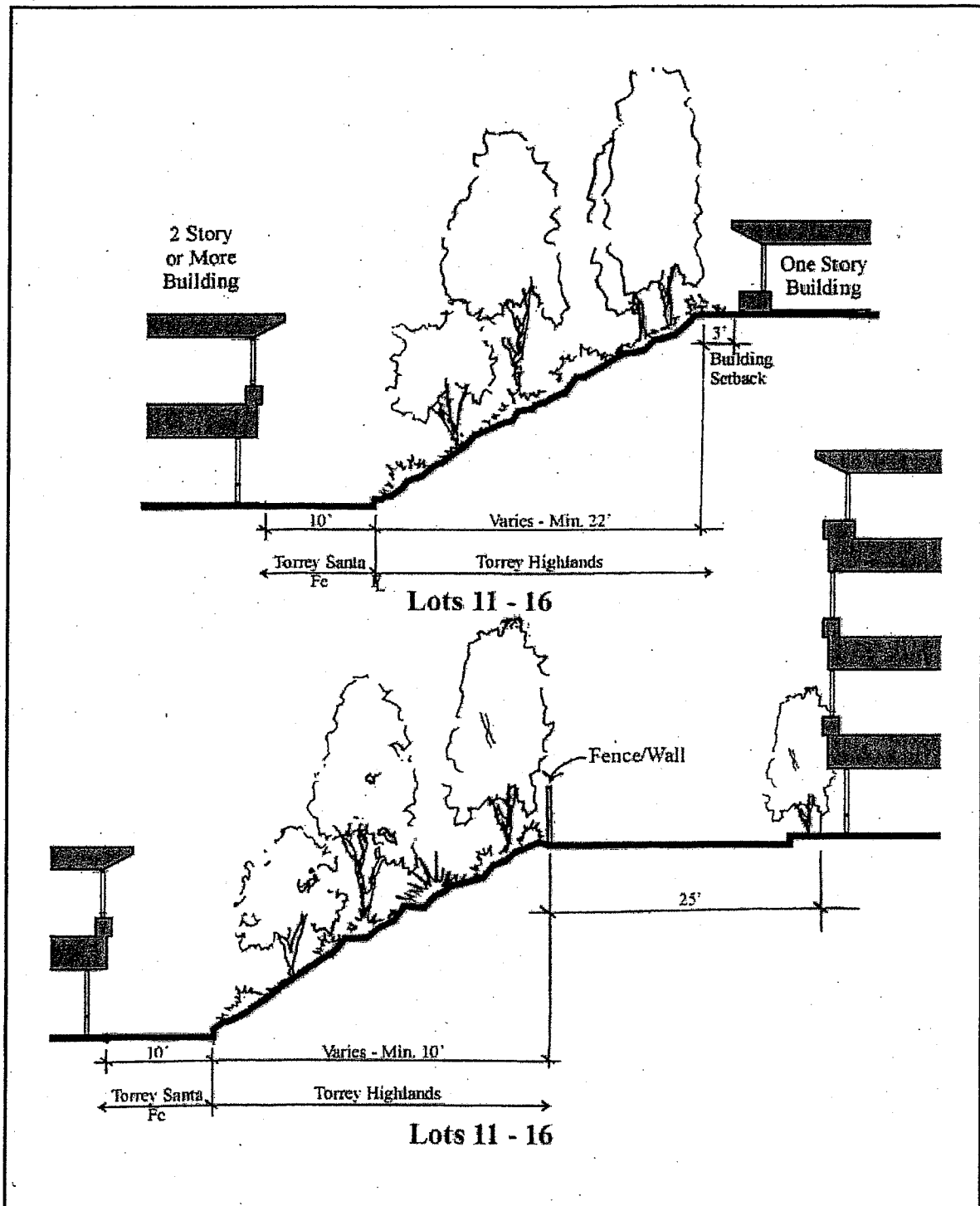
Lots 10-16, rear of lots that abut the Torrey Santa Fe Corporate Center are illustrated in Figure 9, Typical Lots Adjacent to Torrey Santa Fe. (Figure 9). Rear yard set back for parking is five (5) feet.

Group 3

Lots 16-18, rear of lots that abut the MSCP. are shown in the MSCP Building Edge Condition and Fencing (Figure 7). Rear yard set back for parking is five (5) feet.







D. DEVELOPMENT STANDARDS – CR-2-1Development Criteria

The Employment Center at Torrey Highlands has been designed to be developed in accordance with the regulations governing CR 2-1 Zoning. This document and the San Diego Land Development Code govern the criteria for development within the project. Where any provision within this document is more restrictive than the San Diego Land Development Code, this document shall take precedence.

Permitted Uses – CR 2-1 (Lots 1-3)

The commercial lots within the Employment Center at Torrey Highlands may be developed with the all uses consistent with the use regulations of the Land Development Code, including the following:

- Business Support
- Hotel, restaurant, service stations, and drive-through services.
- Office

Overall Site Development Standards for CR 2-1 (Lots 1-3)

The following criteria shall be considered when placing a structure on an individual lot:

- Buildings may be placed in any location within each development pad of each commercial site, provided the required following minimum setbacks identifiable are met and the placement is consistent with the site design criteria established in this section. The required setbacks and lot dimensions are defined in Table 1 below.
- No loading or storage areas shall be permitted in the front or side yard in any zone of the property.
- Parking and roads are permitted in the interior side yard provided a minimum five (5) foot landscape buffer is installed and maintained.
- If parcels are combined, a reciprocal access easement over each entire site will be required.
- Shared drives and parking lots are strongly encouraged.

Lot-Specific Site Development Standards – CR 2-1 (Lots 1-3) (See Figure 10)

- Primary access will be from Street 'A'.

- Provide a reciprocal access easement allowing right-turn only movements onto and from Street 'A'.
- Maintain a 25-foot building setback along Camino Ruiz.
- Provide a minimum 8-foot wide landscape buffer adjacent to the Camino Ruiz right-of-way.
- Reserve the southeast corner of Lot 1 and the northeast corner of Lot 2 for project and community landscape as shown on Figure 21, Community/Project Monumentation.
- Development of noise sensitive receptors as defined in the Municipal Code shall be strictly prohibited unless the impact to the noise sensitive receptors can be mitigated within the Employment Center at Torrey Highlands.

1

Minimum Site Development Standards – CR 2-1

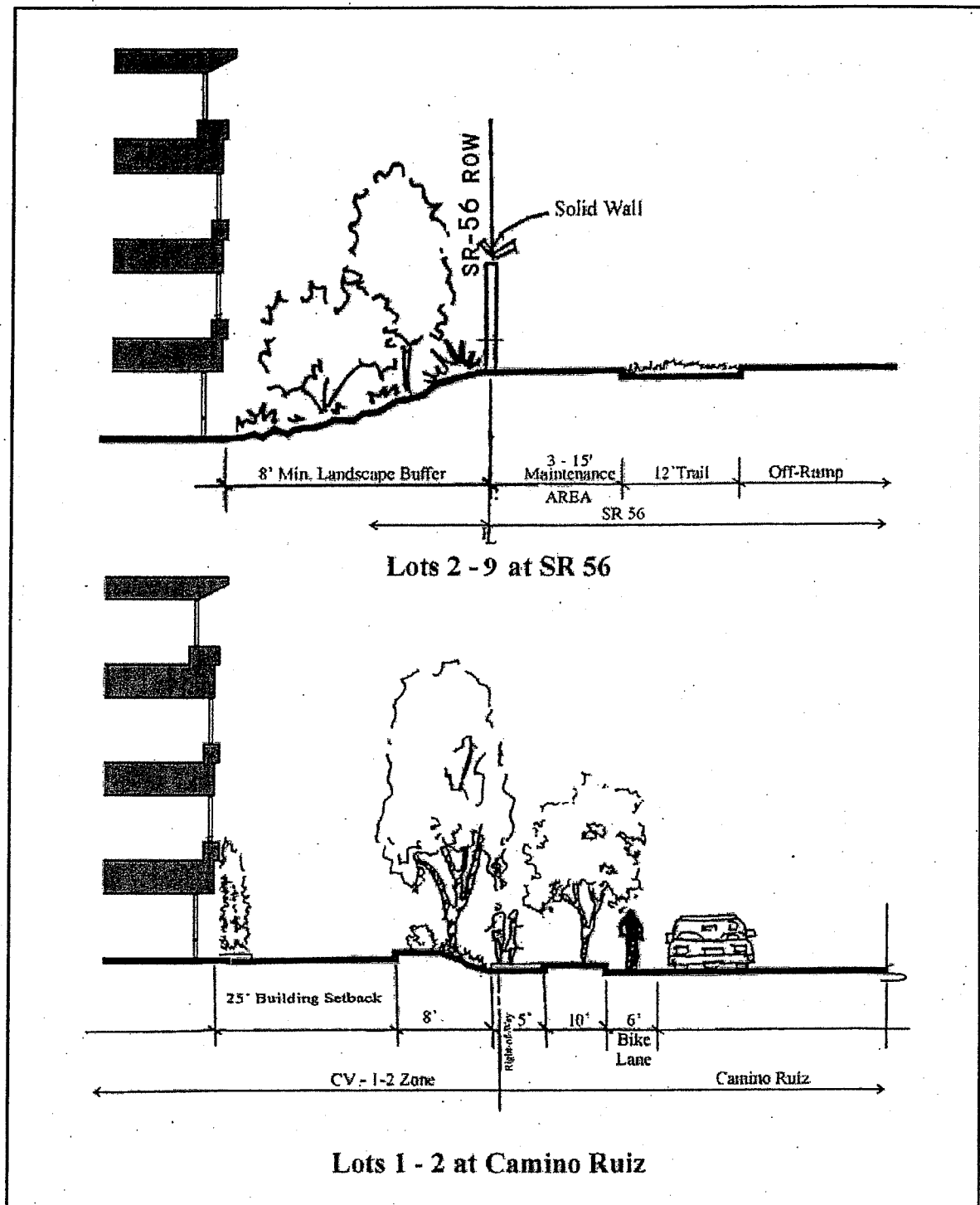
Minimum Lot Area	40,000 SF
Minimum Lot Width	100-Feet
Minimum Lot Depth	150-Feet
Minimum Public Street Frontage	100-Feet
Minimum Yard Setback along SR-56	25-Feet
Minimum Setback along Camino Ruiz and Street 'A'	25-Feet

(Note: All setbacks shall be measured from the property line)

Parking Standards

- Parking shall be provided on each lot to accommodate the parking needs of employees, visitors, and company vehicles according to the use of that lot. One or more common parking areas may serve a combination of lots.
- Parking may be provided as surface parking, above ground structured parking, and/or subterranean parking.

- No parking shall be established within the front yard setback or within eight (8) feet of a public street as measured from the property line.
- Required side yards adjacent to parking shall maintain an eight (8)-foot minimum landscape buffer.
- Parking areas must terminate at least five (5) feet from any exterior building wall, excluding vehicular access ways to the building.



E. DESIGN GUIDELINES

Building Orientation

- In single lot condition:
 - Primary façade shall face Street 'A'.
 - A common drive to assist traffic flow to and from Street 'A' shall be accommodated by each lot. Reciprocal access easements are also required.
 - Development of outdoor eating and meeting areas are encouraged.
- In multiple lot combinations:
 - Buildings shall be designed to allow shared courtyards or plaza areas to create usable exterior space.
 - Front entrances may face the interior of the project to promote a campus-like setting, provided that the street facing facades are designed to provide interest along the streetscape.
 - Buildings are permitted to be constructed across lot lines if the adjoining parcels are within the same ownership.
 - A common drive to assist traffic flow to and from Street 'A' must be accommodated by each lot. Reciprocal access easements are required.
 - Development of outdoor eating and meeting areas are encouraged.

Building Design

Concepts for exterior building designs are illustrated in Figures 12 (a thru g). These show acceptable design concepts for various buildings ranging from 2 story's through 6 stories. Future development is not required to be identical to the illustrations provided in this document, but should be found in substantial conformance with these concepts and the guidelines as presented below.

Multi story buildings should be sculptured with the building forms broken both horizontally and vertically. Consideration should be given to the following options

Vertical

- Top-floor massing variable from typical floors
- Combining two or more floors to create variety

- Focal points (particularly at primary building entries or primary corners) with unique design emphasis.
- Stepped Corners

Horizontal

- Variation of building masses into separate elements to reduce monotony
- Variation in the depth of glass and /or building face materials.
- Variation in the roof form and/or breaking the roof into variable forms.
- Stepped corners.

General

- Square, box-like buildings without facade fenestration and large, unbroken expanses of wall are prohibited. No more than thirty-five (35) linear feet of unarticulated exterior walls shall be allowed in areas visible from parking lots, public streets, or open spaces. Articulation includes additive elements (columns, projections, towers, etc.) and subtractive elements (windows, doors, carved openings, niches, etc).
- All building elevations are required to have facade variations in a minimum of three (3) separate materials, textures or colors e.g. stucco, glass, metal trim.
- The rear and sides of buildings are required to have architectural detail similar to the front elevation i.e. four sided architecture
- Buildings may have a portion of sloping roof. The sloping roof shall be integrated into the building design. But in no case shall it appear to be a small "tacked-on" appendage. If a sloping roof is impractical, single flat roofs or flat roofs of varying heights may be used

- The following materials are to be used throughout the project:

- Wall Material:

Masonry

Precision or textured concrete masonry units, natural or integral color.

Brick

Precision or textured brick units, natural materials, integral colors.

Concrete

The complete range of textures is acceptable, painted or integral color.

Stone

All natural stones are acceptable

Metal

Provided it is not the predominant material.

Stucco

The complete range of textures is acceptable provided with integral color.

- Glazing Material

Glass:

Clear or tinted only. Reflective glass is not permitted.

- Roofing Material (pitched)

Metal

Standing seam, factory-applied color.

Clay Tile, Slate

Flashed for color variation.

- Front doors and entrances to buildings shall be clearly defined and easily recognizable from parking areas and the streets.

-

Service, Loading, and Equipment Areas

- Mechanical equipment shall be screened from view (Figure 14).
- Service Loading and Trash Areas should be screened from view. Potential techniques are illustrated in Typical Screening of Loading and/or Service Areas (Figure 15), and in Typical Trash Enclosure and Equipment Screening (Figure 16). Pursuant to the guidelines, the following items should be noted:
 - Storage for supplies, merchandise and similar material is prohibited on the roofs of any buildings.
 - Communication facilities such as satellite antennas or dishes, that are incidental to the use, are permitted to be roof-mounted, in accordance with City standards.
 - Merchandise, material and equipment is not permitted to be stored to a height greater than any adjacent wall, fence, or building, and under no circumstances be visible from the public right-of-way.
 - All trash enclosures shall have concrete pads, which should extend a minimum of ten (10) feet beyond the gates.

Walls and Fencing

- Fencing or other barriers shall be provided along the MSCP to limit public access onto sensitive biological resource areas. Where constructed along the boundaries of the MSCP, walls, fences, and other barriers shall be of

an open design to permit unobstructed views of the open space. Typical wall and fence details are illustrated in Figure 17, Walls and Fences.

- If retaining walls are used on-site, crib walls planted with drought tolerant species are preferred. Where block retaining walls are used, landscaping to serve as visual screening shall be provided.
- Chain link fencing with barbed wire, large blank flat wall surfaces, and exposed, untreated concrete block walls are prohibited.

Outdoor Lighting

Typical Lighting strategies are depicted in Figure 18. All lighting fixtures in the Employment Center shall comply with the following standards:

- All outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property. Lighting shall be shielded to reduce spill over onto open space areas. Low-pressure sodium lights are preferred.
- Neon and similar types of lighting are prohibited. (Except in CR 2-1 Zone when incorporated into architectural features of the building).
- Parking lots, pedestrian walkways, and building entrances shall be well lit to maintain optimum security.
- No freestanding lighting fixtures shall exceed twenty-five (25) feet in height.
- Service area lighting shall be contained within the service yard boundaries and enclosure walls. No light spillover shall occur onto adjacent development, or outside the service area. The light source shall not be visible from the street.
- Lighting adjacent to the MSCP shall be selectively placed, shielded, and directed away from all natural habitats. Lighting that may affect conserved habitats is prohibited.

Pedestrian Walkways

Clearly defined pedestrian walkways, with a minimum width of four (4) feet, shall be provided within the project between parking lots and building entrances, and between building entrances and outdoor use areas, and between building entrances and Street 'A'. This may be achieved through the use of sidewalks with combinations of enhanced paving techniques.

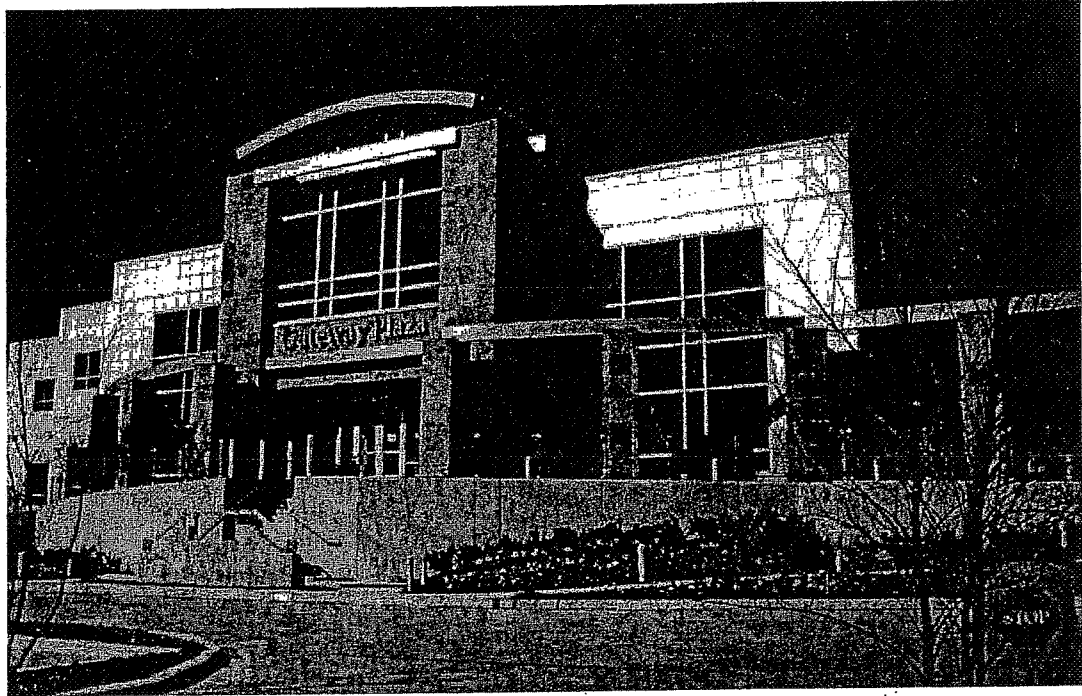
Signage

The Following criteria for signage, in addition to the City Sign Regulations, shall be complied with:

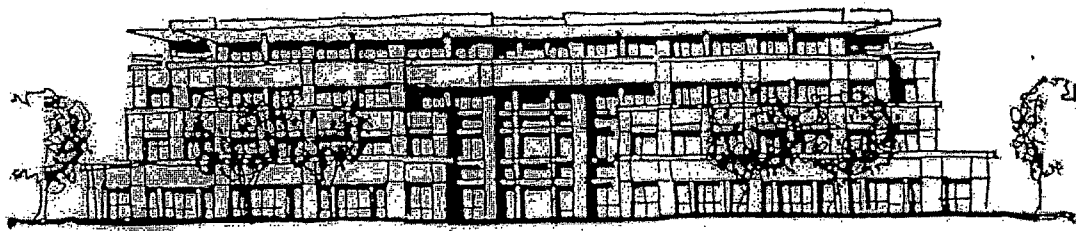
- Sign types shall be limited to project identification, company and building identification, direction, and temporary "For Sale or Lease" signs.
- Signs are not permitted to project above any roofline.
- All signs are required to be compatible with the architecture of the buildings they identify.
- Building and company identification signs shall be low to the ground or attached to building facades.
- All ground-mounted signs shall be well integrated into site landscaping.
- The following types of signs are prohibited:
 - Revolving, rotating or moving signs
 - Signs with flashing or blinking lights
 - Roof signs
 - Billboards
 - Portable signs, including vehicles used as billboards.
- Any strings, pennants, banners, streamers, balloons, inflatable objects, flags, twirlers, propellers, noise-emitting and similar attention getting devices shall be prohibited, except:
 - National, state and local governmental flags are permitted. Flagpole locations must be shown on the site plan for approval. Only one set of flags shall be allowed on each site.
 - Pennants, banners or flags used in conjunction with sales or leasing offices and entry points shall be permitted during the initial sales period.



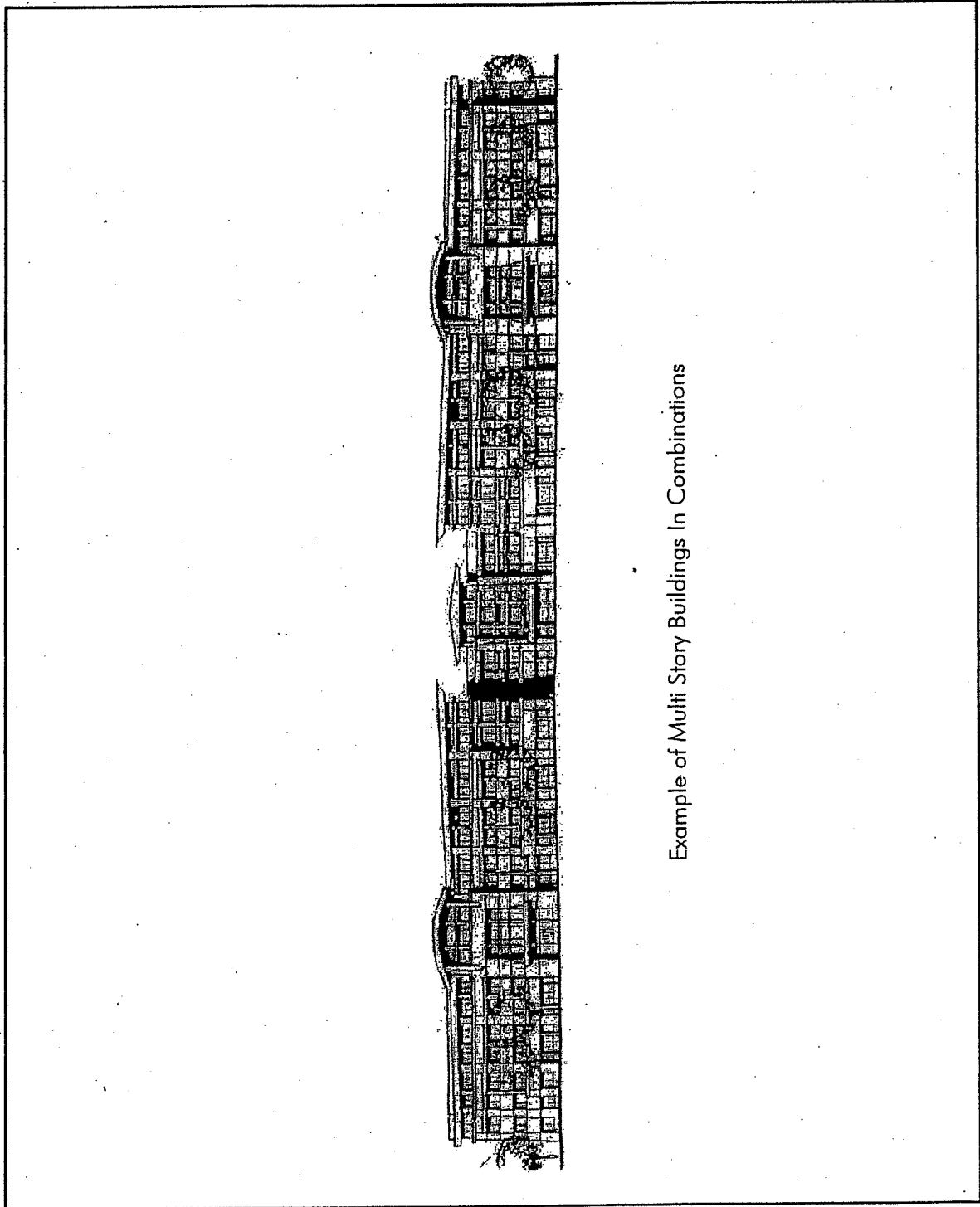
2 Floor Example



2 Floor Example



Multi Story Building Example



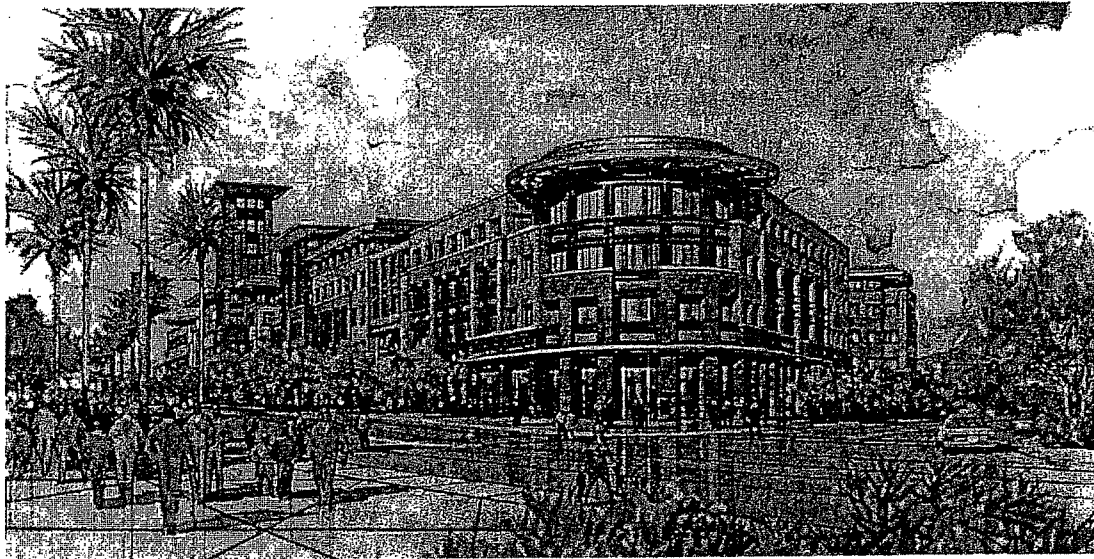
Example of Multi Story Buildings In Combinations



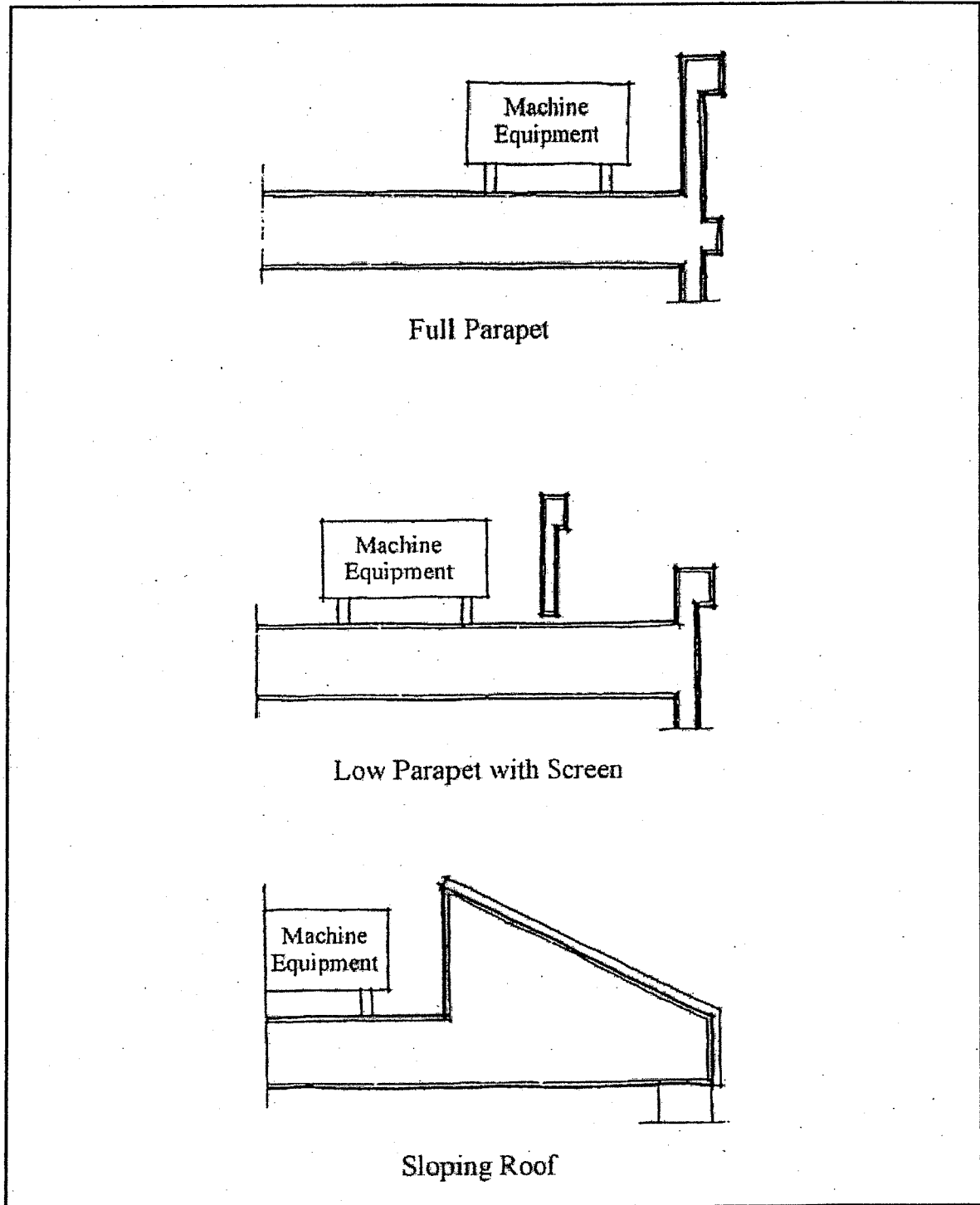
3 & 4 Story Example

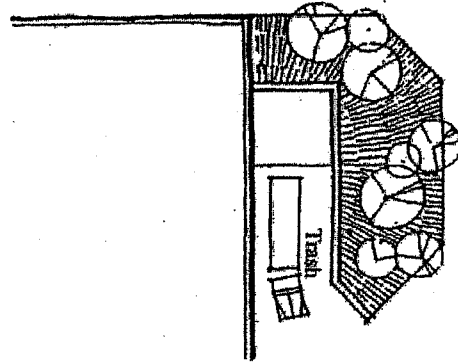


4 Story Example

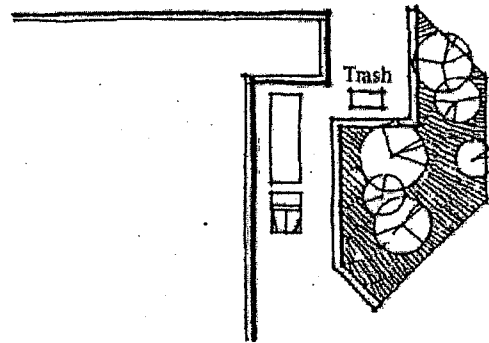


5 & 6 Story Example

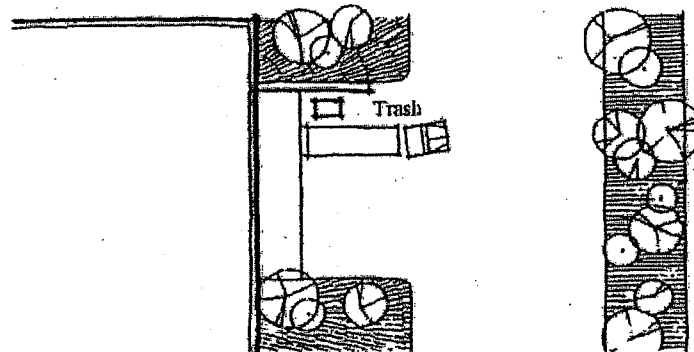




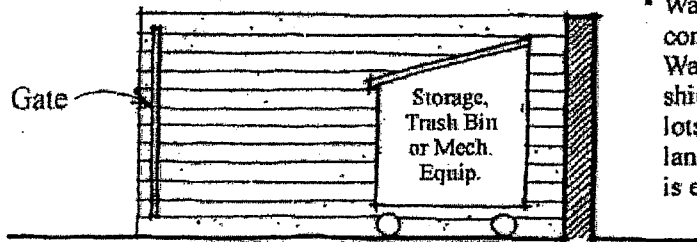
Alternative A



Alternative B

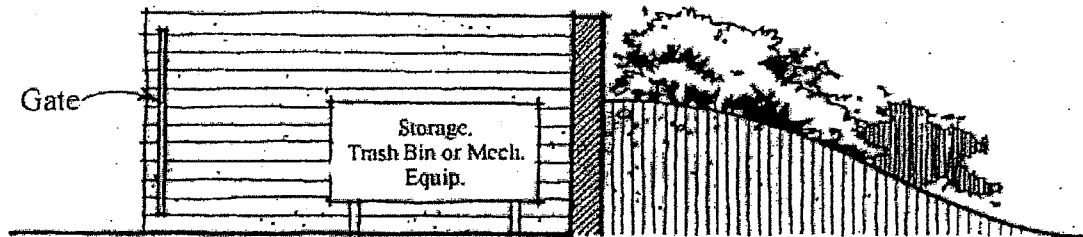


Alternative C



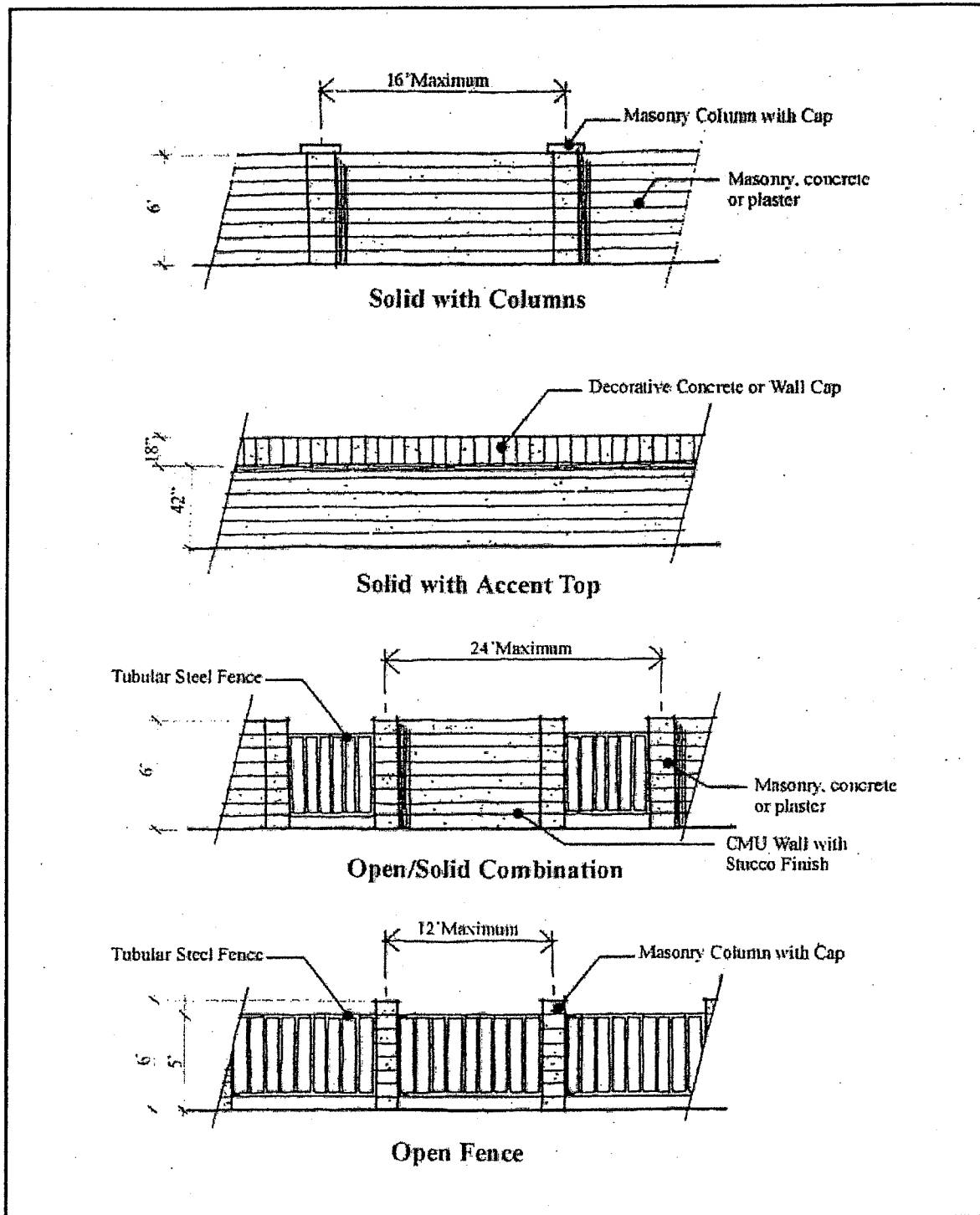
- Walls shall be masonry or concrete. Walls alone are adequate to shield from adjacent industrial lots, but the additional use of landscaping where practical, is encouraged.

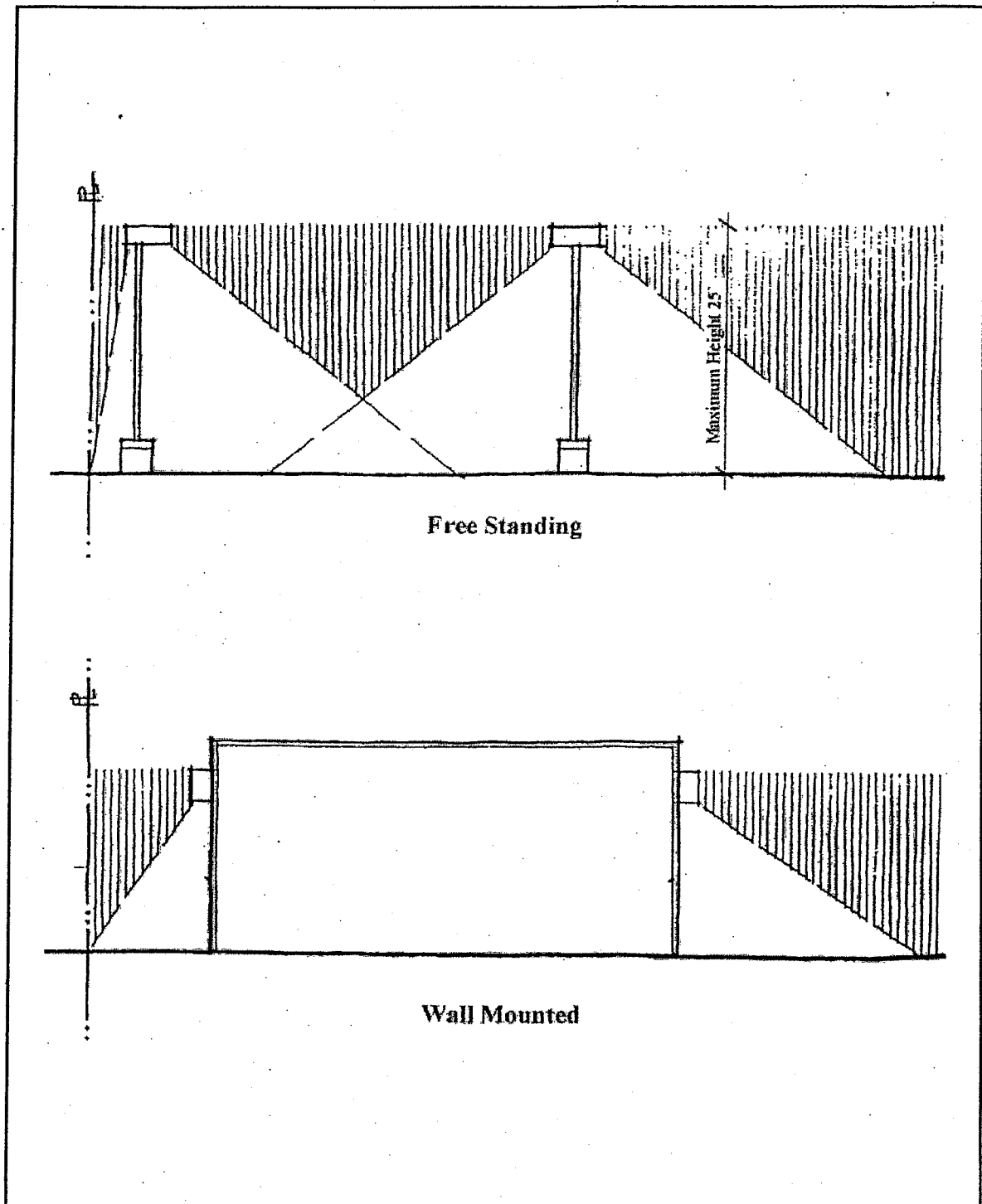
Masonry Wall



- Where enclosures are visible from street or residential property, earth berms and landscaping will be added.

Masonry Wall/Earth Berm





F. LANDSCAPE GUIDELINES

Landscape Concept

The general landscape goals within the Torrey Highlands Subarea Plan are to preserve the natural character of the community, provide a consistent plan for street areas, and design an aesthetic blending between residential, corporate, and open space environments.

Major elements of the Conceptual Landscape Plan for the Employment Center at Torrey Highlands include external slopes, edge interface landscaping, blended pedestrian and vehicular access points, decorated medians, parking lots, public areas. The Employment Center's landscape theme will complement the surrounding community by utilizing native vegetation consistent with the Torrey Highlands Subarea Plan Recommended Plant List, as included in Table 1.

An enhanced parkway, pedestrian walkways, and bicycle lanes will link the project with the surrounding corporate and residential areas, providing convenient alternative transportation methods for residents and employees. Street 'A' Pedestrian Paths and Nodes are depicted in Figure 19, and in Figure 20, Street 'A' Pedestrian Node.

Landscape Guidelines

- The Employment Center will support the Torrey Highlands landscape theme by blending with established designs from the surrounding neighborhoods and the adjoining Street 'A' landscape, maintaining maximum continuity.
- Landscaping of individual lots shall occur in conjunction with their development in accordance with landscape standards of the Land Development Manual.
- Exterior manufactured slopes shall be revegetated with indigenous native plant material, utilizing plants from the recommended plant list (Table Below). Per the Subarea Plan, edge interface landscaping will be used to buffer area usage separations, and to screen views from the adjacent preserves, SR-56, and residential areas.
- Landscaping along major roads shall use street trees selected from the recommended plant list, using one tree species per street.
- All manufactured slopes steeper than 6:1 and greater than five feet in height shall be landscaped with native or drought tolerant plant material, using materials from the recommended plant list.

- Adjacent to the MSCP, landscape treatments shall consist of non-invasive native or drought tolerant materials. Trees shall be located to frame views. No invasive species shall be planted within twenty-five (25) feet of the MSCP. A cross-section of the open space interface condition is depicted on the Typical Lots Adjacent to MSCP (Figure 7).
- The variable front yard setback along Street 'A' shall serve multiple functions:
 - Screen parking from road.
 - Assist in providing a unique pedestrian linkage to the Employment Center and surrounding areas.
 - Accommodate up to four rest area or activity nodes.
- Enhanced paving shall be one of the elements that define aesthetically pleasing pedestrian experience within the Employment Center at Torrey Highlands. Enhanced paving may take the following forms:
 - Stamped concrete
 - Concrete, brick, or stone pavers
 - Manufactured tile
 - Exposed aggregate

Plant Palette

Landscaping in the Employment Center at Torrey Highlands shall use a plant palette consistent with the Torrey Highlands Subarea Plan Recommended Plant List.

Revegetation of Manufactured Slopes Adjacent to Natural Areas

The recommended plant palette for manufactured slopes adjacent to natural areas is as follows:

TREES

<u>Botanical Name</u>	<u>Common Name</u>
Quercus agrifolia	Coast Live Oak
Quercus engelmannii	Engelmann Oak
Platanus racemosa	California Sycamore
Populus fremonti	Western Cottonwood

SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>
Aremisisa californica	California Sagebrush
Ceanothus verrucosus	White Coast Ceanothus
Eriogonum fasciculatum	Flat-top Buckwheat

Heteromeles arbutifolia	Toyon
Malosma laurina	Laurel Sumac
Opuntia littoralis	Coast Prickly Pear
Quercus dumosa	Nuttal's Scrub Oak
Rhus integrifolia	Lemonade Berry
Yucca schideigera	Spanish Bayonette

HYDROSEED MIX

<u>Botanical Name</u>	<u>Common Name</u>
Artemisia californica	California Sagebrush
Diplacus Puniceus	Coast Monkey Flower
Encelia californica	California Encelia
Eriogonum fasciculatum	Flat-top Buckwheat
Eriophyllum confertiflorum	Golden Yarrow
Lupinus succulentus	Lupine
Saliva mellifera	Black Sage
Stipa pulchra	Purple Needle Grass

Irrigation

When selecting plant materials for this project, species of similar moisture requirements should be combined to allow for simple and consistent irrigation system designs. Accordingly, the landscape irrigation system shall be designed and operated to minimize runoff and discharge of irrigation water onto adjacent property or non-irrigated areas, such as buildings, walkways, or roads.

Brush Management Program

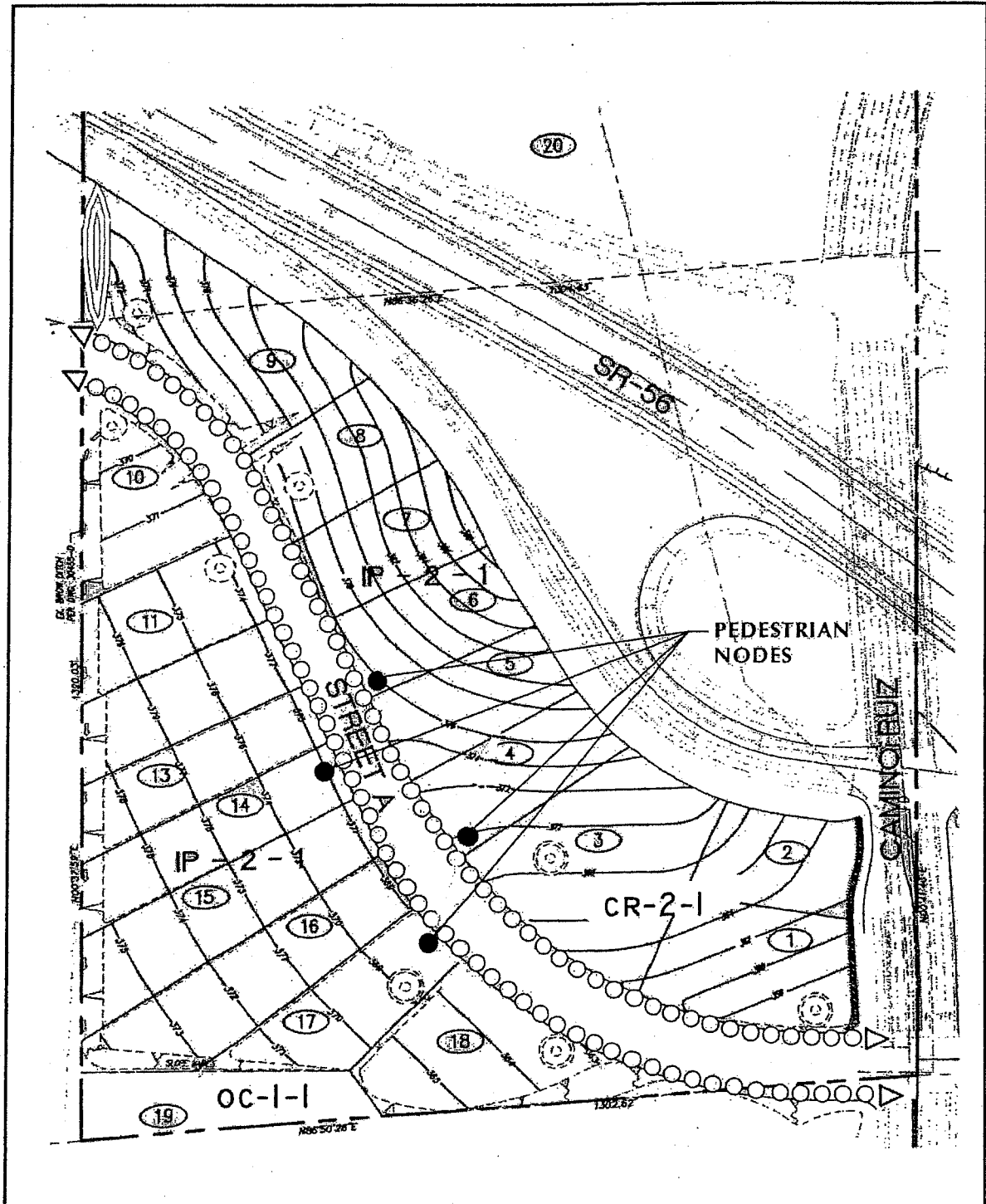
Brush management will be required along the southern perimeter of the project where structures will be located adjacent to natural open space, as evidenced in Typical Lots Adjacent to MSCP (Figure 7).

Water Conservation Measures

In addition to the City's Land Development Regulations, projects within Torrey Highlands Subarea are required to incorporate the following water conservation strategies:

- Runoff from landscaped areas shall be reduced through utilization of berming, raised planters and drip irrigation.
- Irrigation systems shall be automatic and use low-precipitation sprinkler heads, anti-drain valves, rain switches and other conservation devices.
- Vegetation indigenous to the area and non-invasive, drought tolerant plant materials shall be emphasized in the Torrey Highlands streetscape.

- Reclaimed water shall be used where available.
- Low-flow toilets, faucets and other water conserving devices shall be incorporated into the development.



G. DESIGN REVIEW AND PROCEDURES

Purpose

The purpose of the design review process is to ensure that the Employment Center at Torrey Highlands develops in accordance with these design guidelines. In order to ensure approval by the City of San Diego's Planning Department and Development Review Department, the requirements of the guidelines must be incorporated into the developer's proposal.

The Site Plan, Site Engineering, Architecture and Landscape Architecture will be reviewed for specific conformance, and shall be viewed as a single process to ensure compliance with the guidelines, compatibility with the overall theme, and sensitivity to the surrounding habitat.

Implementation

These guidelines have been approved with Planned Development Permit 40-0315. A substantial conformance review shall be submitted prior to any development on this site in order to ensure that the development complies with the principles, concepts, policies, and requirements of the North City Future Urbanizing Framework Plan, the Torrey Highlands Subarea Plan and these design guidelines. If a deviation from these guidelines is requested, a site-specific amendment to Planned Development Permit 40-0315 shall be required.

RESOLUTION NO. 2007-0064 ALUC

A RESOLUTION OF THE BOARD OF THE SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY MAKING A DETERMINATION THAT THE PROPOSED PROJECT: CONSTRUCTION OF THREE NEW OFFICE BUILDINGS AND TWO PARKING STRUCTURES AT TORREY SANTA FE ROAD, CITY OF SAN DIEGO, IS CONSISTENT WITH THE ADOPTED MARINE CORPS AIR STATION (MCAS) MIRAMAR AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP).

WHEREAS, the Airport Authority, acting in its capacity as the Airport Land Use Commission for San Diego County, was requested to determine the consistency of a proposed development project: Construction of Three New Office Buildings and Two Parking Structures at Torrey Santa Fe Road, City of San Diego, which is located within the Airport Influence Area (AIA) for the Marine Corps Air Station Miramar (MCAS Miramar) Airport Land Use Compatibility Plan (ALUCP), originally adopted in 1977 and amended in 1990, 1992, and October 2004; and

WHEREAS, the site plans for the proposed project indicate that it would involve the construction of three new office buildings and two parking structures, which would be located outside the 60 decibel (dB) Community Noise Equivalent Level (CNEL) noise contour for MCAS Miramar; and

WHEREAS, the MCAS Miramar ALUCP identifies new office and commercial-retail uses located outside the 60 dB CNEL noise contour as compatible with airport use; and

WHEREAS the proposed project is not located within the APZs of MCAS Miramar; and

WHEREAS, the United States Marine Corps (USMC) has reviewed the project and determined that the project is consistent with the Air Installations Compatible Use Zones (AICUZ) land use compatibility guidelines for MCAS Miramar operations, provided that the height of the structure is consistent with Federal Aviation Administration (FAA) Part 77 airspace surfaces for MCAS Miramar; and

WHEREAS, this Airport Authority has considered the information provided by staff, including information in the staff report and other relevant material regarding the project; and

Resolution No. 2007-0064 ALUC
Page 2 of 3

WHEREAS, the Board has provided an opportunity for the City of San Diego, the United States Marine Corps, and interested members of the public to present information regarding this matter;

NOW THEREFORE BE IT RESOLVED, that the Airport Authority, serving as the ALUC for San Diego County, pursuant to Section 21670.3 of the Public Utilities Code, determines that the proposed project: Construction of Three New Office Buildings and Two Parking Structures at Torrey Santa Fe Road, City of San Diego, is consistent with the MCAS Miramar ALUCP, which was adopted in 1977 and amended in 1990, 1992, and 2004, based upon the following facts and findings:

- (1) The proposed project involves the construction of three new office structures, with ground floor retail space, and two parking structures at Torrey Santa Fe Road, City of San Diego. The proposed project is located outside the 60 dB CNEL noise contour for MCAS Miramar.
- (2) The MCAS Miramar ALUCP identifies office and commercial-retail uses located outside the 60 dB CNEL noise contour as compatible with airport uses.
- (3) The maximum height of approximately 180 feet for the proposed project is in compliance with the height restrictions identified in the adopted MCAS Miramar ALUCP. If any structure exceeds 200 feet in height above ground level the project should be submitted to the FAA for a determination of no hazard to air navigation.
- (4) The proposed project is located outside the APZs for MCAS Miramar.
- (5) Therefore, the proposed project is consistent with the adopted MCAS Miramar ALUCP.

BE IT FURTHER RESOLVED, that this Board action is not a "project" as defined by the California Environmental Quality Act (CEQA) Pub. Res. Code Section 21065; and is not a "development" as defined by the California Coastal Act Pub. Res. Code Section 30106.

Resolution No. 2007-0064 ALUC
Page 3 of 3

PASSED, ADOPTED AND APPROVED by the Board of the San Diego County Regional Airport Authority at a regular meeting this 6th day of September, 2007, by the following vote:

AYES: Board Members: Bersin, Boland, Desmond, Finnila, Miller,
Panknin, Watkins, Young, Zettel

NOES: Board Members: None

ABSENT: Board Members: None

ATTEST:



TONY R. RUSSELL
DIRECTOR, CORPORATE SERVICES/
AUTHORITY CLERK

APPROVED AS TO FORM:



BRETON K. LOBNER
GENERAL COUNSEL

RANCHO PENASQUITOS PLANNING BOARD
 REGULAR MEEETING MINUTES
 WEDNESDAY; MARCH 5, 2008

The meeting was called to order at 7:37pm, with San Diego City Council President Scott Peters in attendance.

Urban Forestry Initiative was deleted from the agenda and replaced by Santa Fe Summit Advisory Vote.

The San Diego Fire Department gave a PowerPoint presentation on fire safety and brush abatement. Jerry Mitchell of Scripps Ranch then spoke about how to become a CERT and techniques for obtaining permits and grant money for measures like goat herds, etc.

The meeting minutes of February 6, 2008 were approved (Bende/LaGrone: 12-0-0).

Madeleine Baudoin gave the report for San Diego City Council District One.



The following non-binding, advisory only vote was put to the body by Chair Sellers:

"Provided that the proposed 10 story building at Santa Fe Summit II & III is limited to a maximum of 6 stories, and that all other structures will be 6 stories or less, I do not foresee height as an issue which would cause me to oppose this project."

Agree (14) – Becker, Diehl, Dumka*, Garudadri*, Halperin, Keating, LaGrone, Murphy, Politte*, Rhodes, Sandstrom, Shoecraft, Spelta* and Spurr.

Disagree (2) – Barker and Chowaiki.

Neutral (4) – Bende, Kaneyuki, Kelly and Sellers.

*these members were not present for the vote, but were polled subsequently by the Chair. The results will be conveyed to Kilroy Realty and Hanna, Gabriel & Wells, Architects.

The annual election results were reported by the Elections Committee as follows:

RPQ District 2 – Dennis Spurr
 RPQ District 4 – Lynn Murphy
 RPQ District 6 – Wayne Kaneyuki
 RPQ District 8 – Joost Bende
 RPQ District 10 – John Keating
 RPQ Renter at Large – Pamela Kelly
 Black Mtn. Ranch 1 – Tuesdee Halperin (1 Year)
 Black Mtn. Ranch 2 – John Spelta (2 Years)
 Torrey Highlands 1 – Morri Chowaiki (1 Year)
 Torrey Highlands 2 – Scot Sandstrom (2 Years)

Chair – No Report;
Vice-Chair – No Report;
Secretary – No Report.

Bylaws & Elections – Bylaws are still pending approval in the City Attorney's office;
Community Funds – Bill Diehl reported four total fund balances of \$1.78 million;
Santa Fe Summit – See Discussion Above;
Transportation – Jim LaGrone gave a report;
Fire Prevention – The Chair created this new AdHoc Committee and named Spurr Chair.

CPC – No Report;
BMOS – No Report;
MCAS/CLF – Dennis Spurr gave a report;
RPQEast/MAD – Bill Diehl gave a report;
Rec. Council – Jim LaGrone gave a report;
Town Council – Mike Shoecraft reported that the candidates forum for Mayor, Council and City Attorney will be held in lieu of their regular meeting on April 3. Planning for the annual Fiesta de los Penasquitos on May 4 is currently underway.

The meeting was adjourned at 10:03pm.

Members Present (13): Barker, Spurr, Garudadri, Murphy, Sellers, Kaneyuki, Bende, Diehl, Becker, Kelly, Rhodes, LaGrone and Shoecraft.

Members Absent (2): Woo and Politte.

Public Present (10): Leitner, Chowaikei, Sandstrom, Halperin, Lightner, Ashley, Mitchell, Peters, Baudoin and Keating.

Respectfully submitted by:

Charles Sellers,
RPPB Chair.

Daly, Tim

From: Little, Robert [rlittle@kilroyrealty.com]
Sent: Wednesday, October 08, 2008 1:22 PM
To: Daly, Tim; Jim Gabriel
Cc: HGW-Scott Magic; randy@architects-hgw.com
Subject: RE: SFS Phases II and III

Tim - I believe you are on-track to have department sign-offs by Friday 10/10 on this 5th SCR review cycle. In the interest of the schedule, please continue process the application thru a Notice of Decision.

I have left messages and email to both Jon Becker and Charles Sellers of the RPPB to see if they are intending to make a formal recommendation on the revised SCR site plan. I have not heard back yet, however we have no indication that a recommendation would be anything but favorable given the process we went thru with the community/RPPB, the straw vote taken March 08 and the changes made to the plan to address all the above.

Thank you.

Robert C. Little
 Vice President - Development
 Kilroy Realty Corporation
 Office 858/523-2208
 Fax 858/523-0310
 Mobile 562/533-3979
 rlittle@kilroyrealty.com

-----Original Message-----

From: Daly, Tim [mailto:TDaly@sanidiego.gov]
Sent: Wednesday, September 24, 2008 5:38 PM
To: Jim Gabriel
Cc: HGW-Scott Magic; Little, Robert
Subject: RE: SFS Phases II and III

Okay. Read through your latest project assessment letter and plz make your resubmittal through our 3rd floor Project Submittal staff. Also, deposit check should be made to City Treasurer. I will be out of the office 9/25 and 9/26.

Tim Daly
 Development Project Manager
 City of San Diego, Development Services Dept. MS-501
 1222 First Ave, San Diego, CA 92123
 W# 619.446.5356
 F# 619.446.5499
 tdaly@sanidiego.gov

From: Jim Gabriel [jim@architects-hgw.com]
Sent: Wednesday, September 24, 2008 5:03 PM
To: Daly, Tim
Cc: HGW-Scott Magic; Kilroy- Bob Little
Subject: SFS Phases II and III

Tim-

Per our conversation, we will be dropping off 5-sets of revised plans and responses to staff comments along with the requested deposit check to your attention, tomorrow afternoon. It is our understanding that you will instruct the staff to review these plans in a 5-10 day turn around period.

Please feel free to contact me with any questions.

James Gabriel, AIA

ATTACHMENT 13

ARCHITECTS
hanna gabriel wells

4993 niagara avenue
suite 200
san diego.ca 92107
t.619.523.8485
f.619.523.8487



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☒ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☒ Other SCR

Project Title

Kilroy Santa Fe Summit Phase II & III

Project No. For City Use Only

131969

Project Address:

Torrey Santa Fe Road and Camino Del Sur

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

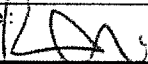
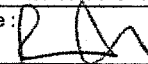


Project Title: Santa Fe Summit Phase 2 & 3	Project No. (For City Use Only) 131969
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Part II - To be completed when property is held by a corporation or partnership.

Legal Status (please check):

☒ Corporation ☐ Limited Liability -or- ☐ General) What State? DE Corporate Identification No. _____
☒ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☒ Yes ☐ No

Corporate/Partnership Name (type or print): Kilroy Realty, L.P. <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 3611 Valley Centre Drive, Suite 550 City/State/Zip: San Diego, CA 92130 Phone No: (858) 523-0300 Fax No: (858) 523-0310 Name of Corporate Officer/Partner (type or print): Robert C. Little Title (type or print): V.P. Commercial Development Signature:  Date: 11/13/08	Corporate/Partnership Name (type or print): Kilroy Realty Finance Partnership, L.P. <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 3611 Valley Centre Drive, Suite 550 City/State/Zip: San Diego, CA 92130 Phone No: (858) 523-0300 Fax No: (858) 523-0310 Name of Corporate Officer/Partner (type or print): Robert C. Little Title (type or print): V.P. Commercial Development Signature:  Date: 11/13/08
Corporate/Partnership Name (type or print): Kilroy Realty Corporation <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 3611 Valley Centre Drive, Suite 550 City/State/Zip: San Diego, CA 92130 Phone No: (858) 523-0300 Fax No: (858) 523-0310 Name of Corporate Officer/Partner (type or print): Robert C. Little Title (type or print): V.P. Commercial Development Signature:  Date: 11/13/08	Corporate/Partnership Name (type or print): Kilroy Realty Finance, Inc. <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 3611 Valley Centre Drive, Suite 550 City/State/Zip: San Diego, CA 92130 Phone No: (858) 523-0300 Fax No: (858) 523-0310 Name of Corporate Officer/Partner (type or print): Robert C. Little Title (type or print): V.P. Commercial Development Signature:  Date: 11/13/08
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:

KILROY REALTY CORPORATION OFFICERS
10/01/08

OFFICE	NAME
Chairman of the Board	John B. Kilroy, Sr.
President, Chief Executive Officer Banking Officer	John B. Kilroy, Jr.
Exec. Vice President, Chief Operating Officer Assistant Secretary, Banking Officer	Jeffrey C. Hawken
Exec. Vice President, Chief Financial Officer, Secretary Banking Officer	Richard E. Moran Jr.
Sr. Vice President, Treasurer, Assistant Secretary, Banking Officer	Tyler H. Rose
Vice President Controller, Sr. Vice President & Asst Secretary	Heidi Roth
Vice President Sr. Vice President	John T. Fucci
Sr. Vice President	Steve Scott
Sr. Vice President	Justin Smart
Vice President	James P. Axtell
Vice President	Heather Baboolal
Vice President	Walt Baynes
Banking Officer Vice President	Lance Coffey
Vice President	Brian Galligan
Vice President	Joseph Hanen
Vice President	Randy Jackson
Vice President	Nadine K. Kirk
Vice President	A. Christian Krogh
Vice President	Robert Little
Vice President	Stan Low
Vice President	Rick Mount
Vice President	Randy Noblitt
Vice President	Robert Palmer
Vice President	Tammy Porter
Vice President	Merryl Thompson

DEVELOPMENT SERVICES
Project Chronology
Santa Fe Summit II and III - PTS# 131969

Date	Action	Description	City Review Time	Applicant Response
6/11/07	First Submittal	Project Deemed Complete		
7/31/07	First Assessment Letter		50 days	
8/24/07	Second Submittal			24 days
10/4/07	Second Review Complete		41 days	
12/14/07	Third Submittal			71 days
2/15/08	Third Review Complete		63 days	
7/2/08	Fourth Submittal			138 days
8/4/08	Fourth Review Complete		23 days	
9/25/08	Fifth Submittal			52 days
10/10/08	Fifth Review Complete		15 days	
10/16/08	Notice of Decision		6 days	
12/4/08	Planning Commission Hearing		49 days	
TOTAL STAFF TIME			247 days	
TOTAL APPLICANT TIME				285 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission	1 year, 5 months, 23 days	