



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: November 11, 2010 **REPORT NO. PC-10-092**

ATTENTION: Planning Commission, Agenda of November 18, 2010

SUBJECT: SPRINT/CLEARWIRE WESTINGHOUSE - PROJECT NO. 202359
PROCESS FOUR

**OWNER/
APPLICANT:** Conrad Prebys Trust (Owner)/Sprint Nextel Corporation and Clearwire
US LLC (Applicants)

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility located at 2125 Westinghouse Street within the Linda Vista Community Plan area?

Staff Recommendation: APPROVE Conditional Use Permit No. 790314.

Community Planning Group Recommendation: On August 23, 2010, the Linda Vista Planning Group voted 12-0-1 to recommend approval of the project (Attachment 11).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15301, Existing Facilities, and Section 15303, New Construction, of the California Environmental Quality Act (CEQA). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 29, 2010 and the opportunity to appeal that determination ended October 13, 2010 (Attachment 12).

Fiscal Impact Statement: All costs associated with processing of this project are recovered from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.

BACKGROUND

The project site is located at 2125 Westinghouse Street (Attachment 1), on the east side of Westinghouse Street, north of Tait Street (Attachment 2). The site is located in the RM-3-7 Zone (Attachment 3) within the Linda Vista Community Plan (Attachment 4) and the Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego International Airport (SDIA) and Montgomery Field. The zoning designation is for multi-family residential that allows for one (1) dwelling unit per 1,000 square feet of lot area and the community plan designates the site for Community Commercial.

The site is currently developed with a multi-family residential complex that includes a three-story, 69-unit apartment building, which contains an existing wireless communication facility (WCF). The apartment building was constructed in 1987, pursuant to Permit No. A54400, and at the time was zoned R-1000 (a multi-family residential zone that allows for one (1) dwelling unit per 1,000 square feet of lot area). Sprint PCS and Nextel Communications were merged in 2004 and the company is now operating under the name Sprint Nextel. On October 16, 1997, Sprint Nextel was approved for a roof-mounted WCF comprised of nine (9) panel antennas configured into three (3) sectors behind Fiberglass Reinforced Panel (FRP) parapets with associated equipment located on top of the roof of the building (equipment is below the height of the existing roof parapet) pursuant to Permit No. 95-0351-58 (Attachment 6). This permit did not have an expiration date, and at the time of this permit, the WCF regulations allowed for the approval of this type of facility as a Process 1 Administrative Review.

DISCUSSION

Project Description:

Sprint Nextel is requesting a new permit to continue operating at this location in addition to requesting a modification to allow for the incorporation of Clearwire components to provide internet services. This modification between Sprint Nextel and Clearwire to the existing WCF includes the replacement of panel antennas, and addition of microwave dishes and an equipment cabinet. The WCF shall contain a total of nine (9) panel antennas and three (3) microwave dishes behind existing FRP parapets, one (1) GPS antenna, and a new equipment cabinet next to the existing four (4) cabinets located on the roof (Attachment 7).

This modification between Sprint Nextel and Clearwire requires a Conditional Use Permit (CUP). Pursuant to San Diego Municipal Code (SDMC) Section 126.0113, a proposed revision to an approved *development permit* that would significantly reduce the scope of the *development* or is not in *substantial conformance* with the approved permit requires an amendment to the approved permit or an application for a new permit. The WCF proposed modification consists of additional antennas (microwave dishes) and the addition of an equipment cabinet that was not part of the original approval and is not in substantial conformance with the approved permit. Under the current WCF Regulation, and pursuant to SDMC Section 141.0420(f)(2), a CUP is required for all WCFs on premises within a Residential Zone.

Wireless Communication Facility Regulations- The site is located within the RM-3-7 Zone. The project as designed, complies with SDMC Section 141.0420(g)(2) which states: “The applicant shall use all reasonable means to conceal or minimize the visual impacts of the *wireless communication facilities* through integration. Integration with existing *structures* of among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.”

Sprint Nextel and Clearwire are proposing the replacement of panel antennas, and the addition of microwave dishes behind existing FRP parapets on the existing building (Attachment 7). The FRP parapets are physically compatible with the existing architecture, and are painted and textured to match the existing building (Attachment 8- Photo Simulations). The equipment associated with this project shall be placed next to the existing cabinets located on the roof, not visible to the public.

FAA Part 77 Noticing Area:

The project site is located within the FAA Part 77 Noticing Area for the SDIA and Montgomery Field. The existing 39 foot high building at its highest elevation is approximately 389 feet above mean sea level (msl) and FAA Part 77 notification surface at the closest point for SDIA is 195 feet above msl, and 552 feet above msl for Montgomery Field. The WCF equipment is approximately 3 feet lower than the existing building parapet height and the existing FRP parapets that contain the antennas do not exceed the height of the existing building. The project does not increase the existing elevation or penetration into the Part 77 Surface, and the building is less than 200 feet above ground level. Therefore, pursuant to Section 77.15 of Title 14 of the Code of Federal Regulations (CFR) Part 77, the licensed architect for the project, Jeffrey L. Rome, has stamped and signed a Part 77 Exemption statement on Sheet T-1 of the plans (Attachment 7).

General Plan:

The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facility is to be aesthetically pleasing and respectful of the neighborhood context. The existing and proposed antennas will be located behind FRP parapets, which are physically compatible with the existing architecture, and are painted and textured to match the existing building. Therefore, the WCF is in conformance with the purpose and intent of the General Plan.

Community Plan Analysis:

The apartment building was constructed in 1987, pursuant to Permit No. A54400, and at the time was zoned R-1000 (a multi-family residential zone that allows for one (1) dwelling units per 1,000 square feet of lot area). The Linda Vista Community Plan was adopted on December 1, 1998, and the site is designated as Community Commercial in the Linda Vista Land Use Plan (Attachment 4). The Linda Vista Community Plan does not contain specific policies on wireless communication facility development.

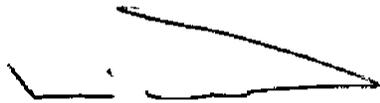
Conclusion:

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the WCF Regulations, the Communication Antenna Regulations, the SDMC, and the General Plan. Staff recommends that the Planning Commission approve Conditional Use Permit No. 790314.

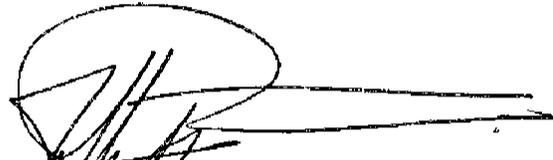
ALTERNATIVE

1. **APPROVE** Conditional Use Permit No. 790314, **with modifications.**
2. **DENY** Conditional Use Permit No. 790314, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Jeffrey A. Peterson
Development Project Manager
Development Services Department

WESTLAKE/JAP

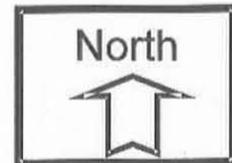
Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Permit No. 95-0351-58
7. Project Plan
8. Photo Simulations
9. Draft Resolution with Findings
10. Draft Permit with Conditions
11. Community Planning Group Recommendation
12. Environmental Exemption Determination
13. Ownership Disclosure Statement.
14. Project Chronology



Location Map

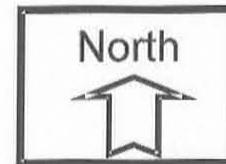
Sprint/Clearwire Westinghouse Project No. 202359
 2125 Westinghouse Street

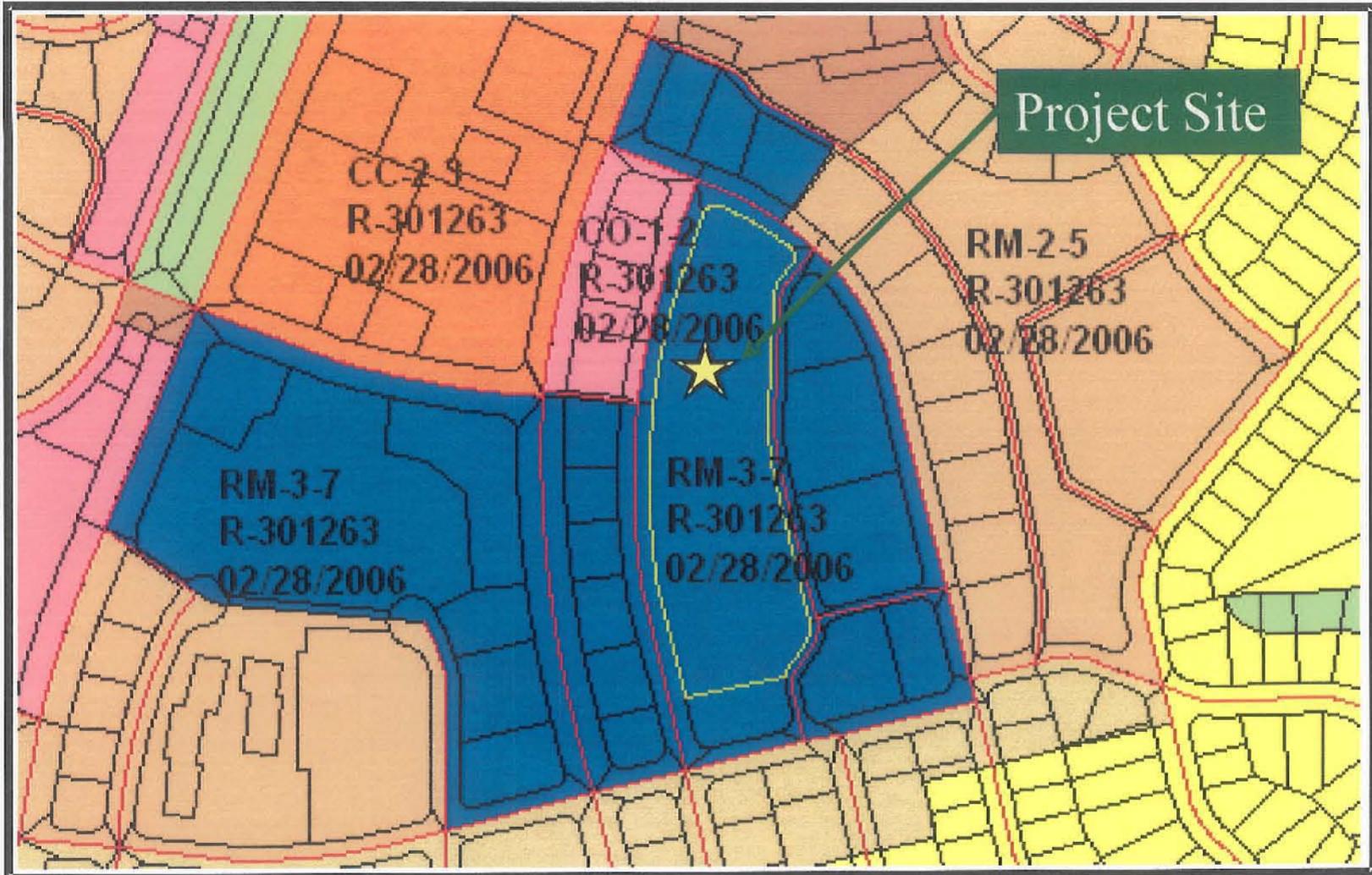




Aerial Photograph

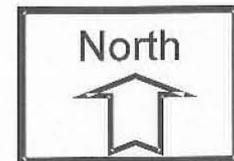
Sprint/Clearwire Westinghouse Project No. 202359
2125 Westinghouse Street

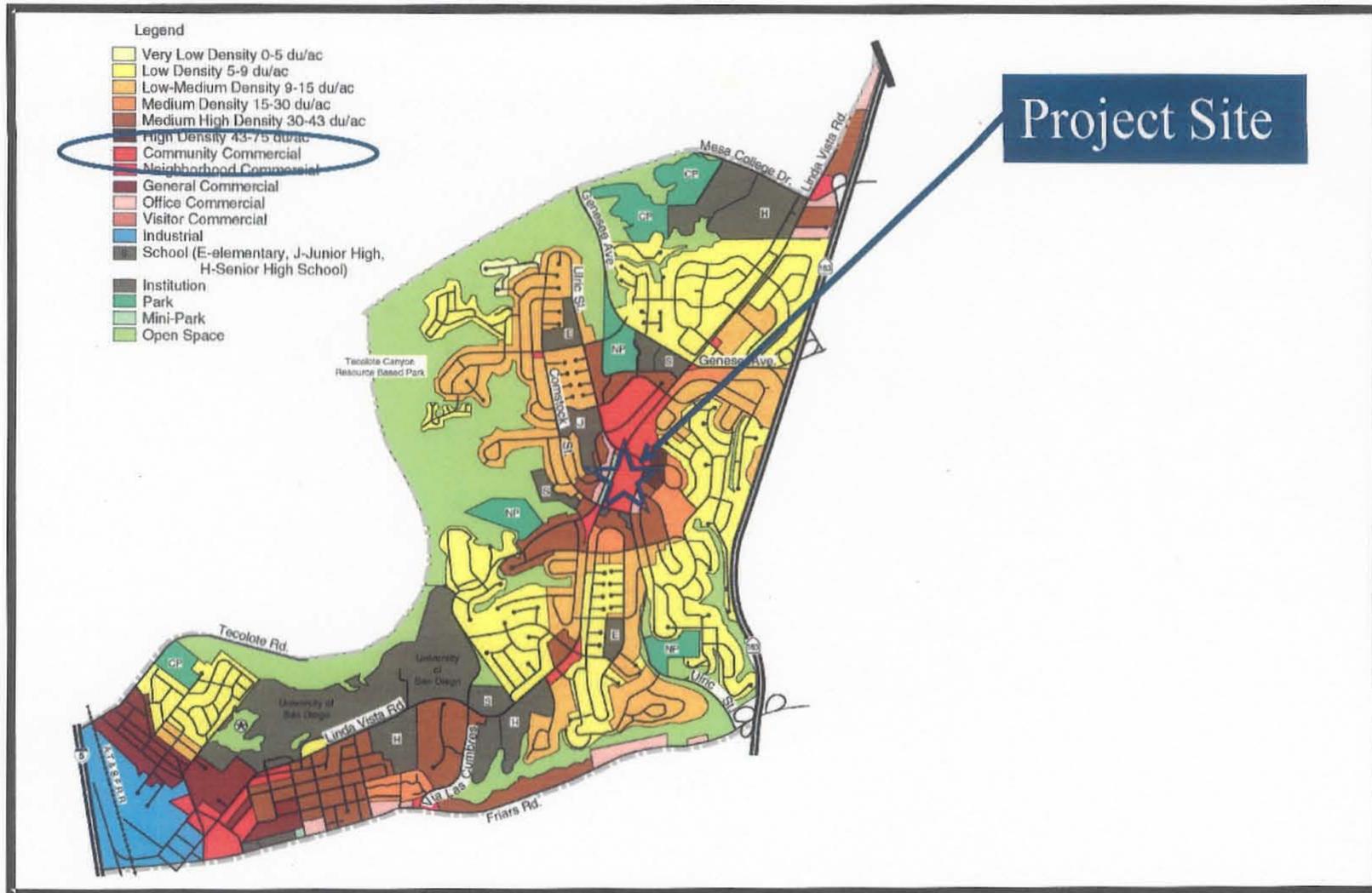




Zoning Map

Sprint/Clearwire Westinghouse Project No. 202359
 2125 Westinghouse Street

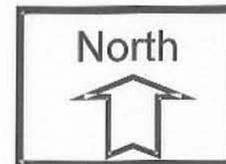




Linda Vista Land Use Map

Sprint/Clearwire Westinghouse Project No. 202359

2125 Westinghouse Street



PROJECT DATA SHEET

PROJECT NAME:	Sprint/Clearwire Westinghouse – Project No. 202359	
PROJECT DESCRIPTION:	Joint new application and modification between Sprint Nextel and Clearwire to the existing WCF includes the replacement of panel antennas and addition of microwave dishes. The WCF shall contain a total of a total of nine (9) panel antennas and three (3) microwave dishes behind existing FRP parapets, and a new equipment cabinet next to the existing four (4) cabinets located on the roof.	
COMMUNITY PLAN AREA:	Linda Vista	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Community Commercial	
ZONING INFORMATION		
ZONE: RM-3-7 HEIGHT LIMIT: 40'0" LOT SIZE: 7,000 square feet FLOOR AREA RATIO: NA LOT COVERAGE: NA FRONT SETBACK: 25'0" established setback (Burroughs Street) SIDE SETBACK: 5'0" STREETSIDE SETBACK: 22'0" established setback (Westinghouse Street) REAR SETBACK: 5'0" PARKING: NA		
	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
ADJACENT PROPERTIES:		
NORTH:	Community Commercial / RM-3-7 & RM-2-5	Multi-Family Residential
SOUTH:	Community Commercial / RM-3-7	Multi-Family Residential
EAST:	Community Commercial / RM-3-7	Multi-Family Residential
WEST:	Community Commercial / RM-3-7 & CO-1-2	Multi-Family Residential and Commercial
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 23, 2010, the Linda Vista Planning Group voted 12-0-1 to recommend approval of the project.	



THE CITY OF SAN DIEGO

file copy

Date: October 16, 1997

Applicant: Paul O'Boyle
Keith International
3456 Camino del Rio North # 205
San Diego, CA 92108

Permit No.: 95-0351-58 Telecommunication Administrative Review - Westinghouse

Address: 2125 Westinghouse Street

Subject: Installation of a Wireless Communication Facility

DEVELOPMENT SERVICES ACTION:

It has been determined by Development Services, that this proposal does not substantiate a major telecommunication facility and therefore will not be required to proceed with the Conditional Use Permit process. This decision is based on the City of San Diego Telecommunication Antenna Policy, City Council Policy 600-43. This proposal has been reviewed with the California Environmental Quality Act (CEQA) and has been determined to be exempt per Section 15061(b)(3).

Development Services grants **APPROVAL** of your application subject to the following:

- Construction and operation of a roof-mounted telecommunication facility comprised of nine panel antennas configured into three arrays and base transceiver stations BTS;
- Integration of the facility with the existing structure by locating all antennas and BTS on the roof behind the existing parapet (no antennas or BTS will extend above the existing parapet); and
- Development of the project in conformance with the approved plans marked Exhibit "A" and dated October 16, 1997.

**Development Services**

Development Services Center • 1222 First Avenue, MS 501 • San Diego, CA 92101-4155

Tel: (619) 254-6440

Cox Communications - Westinghouse

October 16, 1997

Page 2

All work authorized by this permit shall be in conformance with the description of work contained herein and as indicated on the plans submitted to the Building Services Division and stamped with the Land Development Review (LDR) approval. All modifications to this structure or site not directly approved by this permit shall require further review by LDR. Building permits must be obtained within six months from the date of this approval or this authorization shall be null and void.

Dan Joyce For

Dan Joyce

Associate Planner



WESTINGHOUSE

SD03XC050/CA-SDG5277A

2125 WESTINGHOUSE STREET
SAN DIEGO, CALIFORNIA 92111

FAA, TITLE 14,
PART 77 EXEMPTION

JEFFREY L. ROME DO HEREBY CERTIFY THAT THE STRUCTURE OR MODIFICATION TO EXISTING STRUCTURE SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION PER SECTION 77.15(e) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.



Sprint clearwire
8585 SPRINT PARKWAY
CHELSEA, MISSOURI 64621

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

WESTOWER COMMUNICATIONS INC
4445 EASTGATE MALL, SUITE 200
SAN DIEGO, CALIFORNIA 92121

JRA
Jeffrey Rome & Associates, Inc.
Arizona • California • Nevada
Arizona: (602) 296-8379
California: (949) 780-3929
Nevada: (702) 798-0989



WESTINGHOUSE
SD03XC050/CA-SDG5277A
 2125 WESTINGHOUSE STREET
 SAN DIEGO, CALIFORNIA 92111

PROJECT INFORMATION

PROJECT DESCRIPTION:
SPRINT/CLEARWIRE PROPOSES TO MODIFY AN UNSTAFFED TELECOMMUNICATIONS FACILITY WITH A THREE-SECTOR ANTENNA ARRAY WITH (1) ANTENNA PER SECTOR TO REPLACE (1) EXISTING AND TO ADD (3) DIRECTIONAL ANTENNAS MOUNTED ON THE EXISTING BUILDING WITH (1) EQUIPMENT CABINET MOUNTED IN EXISTING SPRINT EQUIPMENT AREA.

APPLICANT:
SPRINT
4301 SPRINT PARKWAY
MS: KSC0PT0101-22850
OVERLAND PARK, KANSAS 66251
CONTACT: DAVE PUTNAM
PHONE: (760) 402-4295

PROPERTY OWNER:
PROGRESS MANAGEMENT
8847 EL CAJON BOULEVARD
SAN DIEGO, CALIFORNIA 92105

PROJECT LEAD:
CONTACT: KENT BECKER, WESTOWER
PHONE: (858) 692-5973

SITE ACQUISITION / ZONING:
CONTACT: ALEX TSATUROV, WESTOWER
PHONE: (858) 472-4048

PERMITTING:
CONTACT: ALEX TSATUROV, WESTOWER
PHONE: (858) 472-4048

CONSTRUCTION COORDINATOR:
CONTACT: KEVIN HALE, WESTOWER
PHONE: (818) 336-8434

RF ENGINEER:
CONTACT: MICHAEL ZELLER
PHONE: (760) 777-0023

BH ENGINEER:
CONTACT: VALENTINE ABRAHAM
PHONE: (248) 212-4233

GENERAL INFORMATION:
1. PARKING REQUIREMENTS ARE UNCHANGED.
2. TRAFFIC IS UNAFFECTED.
3. SIGNAGE IS PROPOSED.
4. NO ADDITIONAL IMPERVIOUS AREA IS PROPOSED.

ZONING INFORMATION:
PROCESS: CONDITIONAL USE PERMIT
OVERLAYS: FMA PART 77

OTHER ON-SITE TELECOM FACILITIES:
NONE

POWER COMPANY:
SDG&E, DAN BARRIOS
PHONE: (619) 443-3807

SITE LOCATION:
LATITUDE: 32.78278
LONGITUDE: -117.16859
TOP OF STRUCTURE AGL: 39.00'

PARCEL NUMBER:
432-230-24

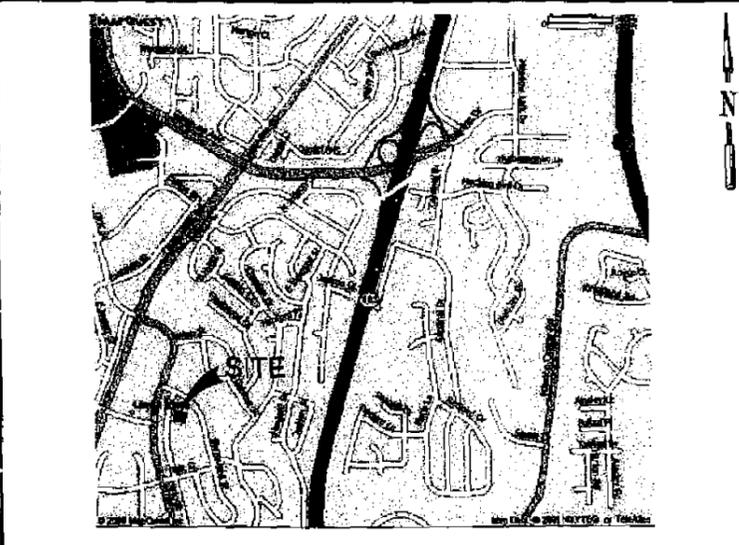
AREA OF PARCEL:
4.00 ACRES

PROJECT AREA:
4 S.F. LEASE AREA

CODE COMPLIANCE:
1. CALIFORNIA BUILDING CODE CBC-2007
2. CALIFORNIA ADMINISTRATIVE CODE (INCL. TITLES 24 & 25) 2007
3. ANSI/ISA-222-F LIFE SAFETY CODE
4. NFPA-101-2005
5. CALIFORNIA ELECTRICAL CODE CEC-2007
6. CALIFORNIA MECHANICAL CODE CMC-2007
7. CALIFORNIA PLUMBING CODE CPC-2007
8. LOCAL BUILDING CODE(S)
9. CITY AND/OR COUNTY ORDINANCES

*NOTE: ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THESE CODES. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

VICINITY MAP



DRAWING INDEX

- T-1 TITLE SHEET
- T-2 GENERAL NOTES AND SPECIFICATIONS
- A-0 SITE PLAN
- A-1 ENLARGED SITE PLAN
- A-2 ELEVATIONS
- A-2.1 ELEVATIONS
- A-3 EQUIPMENT DETAILS
- A-4 ANTENNA DETAILS

LEGAL DESCRIPTION

SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
PARCEL 1 OF PARCEL MAP NO. 14561 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, AS FILE NO. 85-552661 RECORDED ON DECEMBER 1, 1986.

ANTENNA OPERATING FREQUENCY

PANEL ANTENNAS TRANSMIT BETWEEN 2500-2681 MHz
PANEL ANTENNAS RECEIVE BETWEEN 2500-2681 MHz
PANEL ANTENNAS POWER LEVEL 450 WATTS ERP
DIRECTIONAL ANTENNAS TRANSMIT BETWEEN 18-60 GHz
DIRECTIONAL ANTENNAS POWER LEVEL 100 WATTS ERP
GPS ANTENNAS TRANSMIT AT 1575.42 MHz

DRIVING DIRECTIONS

FROM THE SPRINT/CLEARWIRE OFFICES AT: 5761 COPLEY DRIVE, SUITE 100 SAN DIEGO, CALIFORNIA 92111

- HEAD EAST ON COPLEY DRIVE TOWARD HICKMAN FIELD DRIVE BY TURNING LEFT. (0.0 MILES)
- TURN RIGHT ONTO HICKMAN FIELD DRIVE. (0.4 MILES)
- TURN LEFT ONTO CONVOY COURT. (0.3 MILES)
- TURN RIGHT ONTO SHAWLINE STREET. (0.1 MILES)
- TURN RIGHT ONTO CLAIREMONT MESA BOULEVARD. (0.4 MILES)
- MERGE ONTO I-805 SOUTH. (1.8 MILES)
- MERGE ONTO CA-163 SOUTH TOWARD DOWNTOWN. (1.3 MILES)
- TAKE THE GENESSEE AVENUE EXIT. (0.3 MILES)
- TURN RIGHT ONTO GENESSEE AVENUE. (0.3 MILES)
- TURN LEFT ONTO LINDA VISTA ROAD. (0.4 MILES)
- TURN LEFT ONTO ULTRAC STREET. (0.2 MILES)
- TURN LEFT ONTO BURBANKS STREET. (0.0 MILES)
- TURN RIGHT ONTO WESTINGHOUSE. (0.1 MILES)
- DESTINATION WILL BE ON THE LEFT.

APPROVAL	DATE	SIGNATURE
SPRINT/CLEARWIRE:		
LANDLORD:		
CONST:		
S/A:		
R.F.:		
ZONING:		
ARE:		
R.F.:		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

ABBREVIATIONS

A/C	AIR CONDITIONING	HRZ	HORIZONTAL	PLYWD	PLYWOOD
AGL	ABOVE GRADE LINE	HR	HOUR	PROJ	PROJECT
APPROX	APPROXIMATELY	HT	HEIGHT	PROP	PROPERTY
BLDG	BUILDING	HVAC	HEATING VENTILATION AIR CONDITIONING	REQ	REQUIRED
BLK	BLOCKING	ID	INSIDE DIAMETER	RM	ROOM
CLG	CEILING	IN	INCH	RD	ROUGH OPENING
CLR	CLEAR	INT	INTERIOR	SHT	SHEET
CONC	CONCRETE	INSUL	INSULATION	SIM	SIMILAR
CONCT	CONSTRUCTION	INT	INTERNATIONAL BUILDING CODE	SPEC	SPECIFICATION
CONT	CONTINUOUS	IBC	INTERNATIONAL BUILDING CODE	SF	SQUARE FOOT
DBL	DOUBLE	LBS	POUNDS	SS	STAINLESS STEEL
DN	DIAGONAL	MAX	MAXIMUM	STL	STEEL
DN	DOWN	MECH	MECHANICAL	STRUCT	STRUCTURAL
DET	DETAIL	MFR	MANUFACTURE	STD	STUD
DWG	DRAWING	MGR	MANAGER	SUSP	SUSPENDED
EA	EACH	MIN	MINIMUM	TBD	TO BE DETERMINED
ELEV	ELEVATION	MISC	MISCELLANEOUS	THRU	THROUGH
ELEC	ELECTRICAL	NA	NOT APPLICABLE	TINNED	TINNED
EQ	EQUAL	NTS	NOT TO SCALE	TRND	TYPICAL
EQUIP	EQUIPMENT	OC	ON CENTER	W/O	WITHOUT
EXT	EXTERIOR	OD	OUTSIDE DIAMETER	WP	WATER PROOF
FIN	FINISH				
FLOOR	FLOURESCENT				
FLR	FLOOR				
FT	FOOT				
GA	GAUGE				
GALV	GALVANIZED				
GC	GENERAL CONTRACTOR				
GRND	GROUND				
GYP BD	GYP-SUM WALL BOARD				

PROJECT TEAM

PROJECT ARCHITECT
JEFFREY ROME & ASSOCIATES
3 SAN JORDIN PLAZA, SUITE 155
NEWPORT BEACH, CALIFORNIA 92780
CONTACT: LARRY F JUDD
PHONE: (949) 780-3929
EMAIL: LARRY@JRAINC.NET

PROJECT MANAGER
WESTOWER
4445 EASTGATE MALL, SUITE 200
SAN DIEGO, CALIFORNIA 92121
CONTACT: KENT BECKER
PHONE: (858) 692-5973
FAX: (858) 812-2004

REVISIONS				
NO.	DATE	DESCRIPTION	INITIAL	INITIAL
1	08-28-08	ISSUE 210 REVIEW (P1)	RB	
2	10-14-08	ISSUE 205 (P2)	LJL	
3	08-15-09	CLIENT COMMENTS (P3)	LJL	
4	08-15-09	CLIENT COMMENTS (P4)	LJL	

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

JRA PROJECT NUMBER: 096348

GENERAL SPECIFICATIONS

- 1. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
2. THIS FACILITY IS AN UNLICENSED PCS TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. SHOULD ANY ERRORS, OMISSIONS, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER AND THE ARCHITECT IN WRITING IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.
4. DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS ARE INTENDED TO BE DIMENSIONAL ONLY. FIGURED DIMENSIONS HAVE PRECEDENCE OVER SMALL DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.
6. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, THE PROPERTY OWNER AND THE ARCHITECT IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSAFE, UNREASONABLE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY DETAILS AS SHOWN PRIOR TO SHOW THE END RESULT OF THE DESIGN, WHICH MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
7. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL VERIFY ALL TELEPHONE & RADIO EQUIPMENT LAYOUTS, SPECIFICATIONS, ETC.
9. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE CLEARWIRE CONSTRUCTION MANAGER AND THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
10. THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK.
11. TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
12. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:
MRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION
CHRYSE INTERNATIONAL CENTER
10255 W. HIGGINS ROAD, SUITE 800
ROSEMONT, IL 60018-6907
SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHATELAIN, VA 20151-1208
ITP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
P.O. BOX 1663
LAFAYETTE, CA 94540

- 20. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER, CLEARWIRE, AND THE CITY OR GOVERNING AGENCY.
21. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE CONSTRUCTION DOCUMENTS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. THIS SHALL BE DONE AFTER THE SITE HAS BEEN AWARDED FINAL INSPECTION BY THE RESPONSIBLE SURVEYING AGENCY. ONE SET OF REPRODUCED DRAWINGS SHALL BE PROVIDED TO THE CONSTRUCTION MANAGER.
22. THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS PERTAINING TO THIS PROJECT SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
23. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A DAILY BASIS, EXCEPT FOR THAT SPECIFIED AS REMAINING. THE OWNER OF THE BUILDING OR PROPERTY OWNER SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BROOM-CLEAN CONDITION AT THE END OF EACH DAY AND VACUUM-CLEAN CONDITION, FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE AT COMPLETION OF WORK.
24. THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
25. ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.
26. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH ULL WATER OR FIRE RESISTANT ADHESIVE MATERIALS AS APPLICABLE TO THE FACILITY AND PROJECT SITE.
27. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A:10 WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA CONSTRUCTION.
28. ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER NEC ARTICLES 250 AND 810.
29. ALL NEW OPENINGS IN THE EXTERIOR ENVELOPE OF CONDITIONED SPACES SUCH AS AT WALL AND ROOF PENETRATIONS SHALL BE CALKED OR SEALED TO LIMIT INFILTRATION OF AIR AND MOISTURE.
30. UPON COMPLETION OF CONSTRUCTION, THE CONSTRUCTION MANAGER SHALL CONDUCT A WALK-THRU WITH PROPERTY OWNER OR REPRESENTATIVE OF PROPERTY OWNER.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SYSTEM EQUIPMENT IN A CLEAN WORKING ORDER UNTIL ACCEPTANCE OF THE PROJECT BY CLEARWIRE.

ROOFING & WATERPROOFING NOTES

- 1. CONTRACTOR SHALL CONTACT BUILDING OWNER TO DETERMINE IF ROOF IS UNDER WARRANTY. CONTRACTOR SHALL GUARANTEE THAT ANY AND ALL NEW ROOFING WORK MEETS THE SPECIFICATION OF ANY EXISTING ROOFING WARRANTIES SUCH THAT THE WARRANTY IS NOT MADE VOID AS A RESULT OF THIS WORK. IF IT IS DETERMINED THAT THE ARCHITECT'S DETAILING IS INADEQUATE OR IMPROPER OR IF ANY OTHER DISCREPANCY IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE PROJECT MANAGER IN WRITING. ULTIMATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE ORIGINAL ROOF MANUFACTURER'S SPECIFICATIONS.
2. CONTRACTOR SHALL USE METHODS AND MATERIALS SIMILAR AND COMPATIBLE WITH EXISTING MATERIALS & CONDITIONS FOR ROOF PATCHING, NEW PENETRATIONS, ETC.
3. THE CONTRACTOR SHALL PROPERLY SEAL ALL NEW ROOF & BUILDING ENVELOPE PENETRATIONS SUCH THAT THE INTEGRITY OF THE ORIGINAL BUILDING ASSEMBLY AND ALL APPLICABLE WARRANTIES ARE MAINTAINED.
4. IF IT IS DETERMINED NECESSARY TO REMOVE EXISTING FINISHES AND/OR MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING FINISHES AND MATERIALS TO LIKE-NEW CONDITION. CONTRACTOR SHALL MAINTAIN THE ORIGINAL COLORS, TEXTURES & FINISHES UNLESS OTHERWISE NOTED TO THE CONTRARY OR APPROVED BY THE CONSTRUCTION MANAGER IN ADVANCE.
5. AT THE CONSTRUCTION MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE ROOFTOP WALKPADS TO ALL NEW EQUIPMENT INCLUDING ANTENNAS AND BITS UNITS AND ALONG COAX CABLE ROUTING. ON CONVENTIONAL ROOFING, THE WALK PADS SHALL BE "DUCK BOARDS" AS MANUFACTURED BY APC OR EQUAL. ON SPECIAL ROOFING SYSTEMS SUCH AS SINGLE MEMBRANE ROOFS WILL REQUIRE A SPECIFIC PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2 ABOVE.

PENETRATION AT FIRE RATED ASSEMBLIES

- 1. AT THE PROJECT MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE ULTILE HIGH PERFORMANCE FIRESTOP SYSTEM #FS01 AT ALL FIRE RATED PENETRATIONS INSTALLED PER MANUFACTURER'S LATEST INSTALLATION SPECIFICATIONS.
2. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO MAINTAIN AN EQUAL OR GREATER FIRE RATING.

PAINTING NOTES & SPECIFICATIONS

- A. GENERAL
1. ALL PAINT PRODUCT LINES SHALL BE SHERWIN WILLIAMS CO. UNLESS SPECIFICALLY NOTED OTHERWISE.
2. CONTRACTOR SHALL PREPARE ALL SURFACES AND APPLY ALL FINISHES PER LATEST EDITION OF MANUFACTURER'S SPECIFICATIONS.
3. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS REGARDING SUFFICIENT DRYING TIME BETWEEN COATS WITH PROVISIONS AS RECOMMENDED BY MANUFACTURER FOR EXISTING WEATHER CONDITIONS.
4. FRESH COLOR AND TEXTURE OF ALL PAINTED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES UNLESS OTHERWISE NOTED.
5. ALL PAINT MATERIAL DATA SHEETS SHALL BE PROVIDED TO THE CONSTRUCTION MANAGER.
6. PREPARE PREVIOUSLY PAINTED SURFACE BY LIGHT SANDING WITH 400 GRT SANDPAPER AND NON-HYDROCARBON WASH. PREPARE GALVANIZED SURFACES BY ACID ETCH OR SOLVENT CLEANING IN ACCORDANCE WITH SSPC-SP1.
7. FURNISH DROP CLOTHES, SHOES, MASHING AND PROTECTIVE METHODS TO PREVENT SPRAY OR DRIFTFINES FROM DAMAGING ADJACENT SURFACES AND FACILITIES.
8. APPLY PAINT BY AIRLESS SPRAY, SANDING LIGHTLY BETWEEN EACH SUCCEEDING COAT ON FLAT SURFACES. APPLY INTERNAL TO ADHESIVE COATING NO THINNER THAN THE DRY FILM THICKNESS INDICATED.
9. APPLY BLOCK FILLER TO CONCRETE BLOCK CONSTRUCTION AT A RATE TO ENSURE COMPLETE COVERAGE WITH PORES COMPLETELY FILLED.
10. CONTRACTOR SHALL CORRECT FLUKE, SPOTS, MISSES AND OTHER DEFECTS INCLUDING INADEQUATE COVERAGE AS DIRECTED BY THE CONSTRUCTION MANAGER AS NECESSARY TO ACHIEVE SURFACES WHICH ARE SMOOTH, EVENLY COATED WITH UNIFORM SHEEN AND FREE FROM BLEMISHES.

Table with 4 columns: PAINTING SCOPE, FINISH, COLOR, and COMMENTS. The table contains several rows of data for different areas of the project.

- C. COATING SYSTEM SPECIFICATIONS
1. DIM ACRYLIC COATING (SERIES B66) BY SHERWIN WILLIAMS CO. WILL DFT PER COAT APPROX 1.0 MIL DFT PER COAT OVER DTM GARDING PRIMER (866485).
2. 100% ACRYLIC LATEX COATING EQUIVALENT TO A-100 (SERIES A-82) BY SHERWIN WILLIAMS CO. 1 MIL DFT PER COAT APPLIED IN TWO COATS OVER SPECIFIED PRIMER.

- D. PAINT & PRIMER
ANTENNAS
PRIMER - KEM AQUA E61-WS25
TOPCOAT - COROTHANE II B66W200/B66V22
BITS CABINET
PRIMER - KEM AQUA E61-WS25
TOPCOAT - COROTHANE II B66W200/B66V22
COAXIAL JUMPER CABLES
PRIMER - AS REQUIRED FOR ADHESION, APPLY ONE COAT OF KEM AQUA WATER REDUCIBLE PRIMER E61WS25 REDUCED 22%
TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B66W200/B66V22
RAW STEEL
PRIMER - KEM BOND HS B66W24, DMT ACRYLIC PRIMER
TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B66W200/B66V22
GALVANIZED METAL
ACID ETCH WITH COMMERCIAL ETCH OR VINEGAR PRIMER COAT AND FINISH COAT (GALVATE HIGH SOLIDS OR DTM PRIMER/FINISH)
STAINLESS STEEL
PRIMER - DTM WASH PRIMER, B71Y1
TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B66W200/B66V22
PRE-PAINTED STEEL
TOUCH UP ANY RUST OR UN-PAINTED STEEL WITH KEM BOND HS, B66W24
ALUMINUM & COPPER
PRIMER - DTM WASH PRIMER, B71Y1
TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B66W200/B66V22
CONCRETE MASONRY
PRIMER - PRO MAR EXTERIOR BLOCK FILLER
TOPCOAT - 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH
CONCRETE STUCCO (EXISTING)
2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH
WOOD
PRIMER - A-100 EXTERIOR ALKID WOOD PRIMER V-24W20
TOPCOAT - 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH ADJACENT SURFACES
GLU-LAM BEAMS
PRIMER - A-100 EXTERIOR ALKID WOOD PRIMER V-24W20
TWO COATS SHOP APPLIED PER GLU-LAM MANUFACTURER'S SPECIFICATIONS
TOPCOAT - SUPERPAINT A-86 SATIN A-86 SATIN A-84 GLOSS
TWO COATS SHOP OR FIELD APPLIED AT CONTRACTOR'S OPTION

- FIELD CUTS/DAMAGE (PRIOR TO PRIME & PAINT)
FIRST & SECOND COAT - CUPRINOL CLEAR WOOD PRESERVATIVE #158-0356
ALL PENETRATIONS INTO FINISHED GLU-LAMS SHALL BE CALKED WITH "SICAPLEX" SEALANT
STEEL TOUCH UP
STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZED PAINT.

STRUCTURAL SPECIFICATIONS

- A. GENERAL
PRECEDENCE UNLESS OTHERWISE SHOWN OR SPECIFIED, THE FOLLOWING GENERAL NOTES SHALL APPLY. INFORMATION ON THESE DRAWINGS SHALL HAVE THE FOLLOWING PRECEDENCE:
A. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
B. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
C. MATERIAL NOTES AND SPECIFICATIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.
2. OTHER TRADES: SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN.
3. GENERAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
4. SPACING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. THIS INCLUDES UNDERPINNING EXISTING FOOTINGS WHERE APPLICABLE.
5. SAFETY: THESE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
6. WATERPROOFING: WATERPROOFING AND DRAINAGE DETAILS AND SPECIFICATIONS, ALTHOUGH SOMETIMES SHOWN ON STRUCTURAL DRAWING ARE OF GENERAL INFORMATION PURPOSES ONLY. WATERPROOFING AND DRAINAGE ARE SOLELY THE DESIGN RESPONSIBILITY OF THE ARCHITECT.
B. STEEL
1. ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS SHALL CONFORM TO ASTM A-36 AND BE FABRICATED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AISC.
2. ALL BOLTS SHALL CONFORM TO ASTM A-307 UNLESS OTHERWISE NOTED ON PLANS. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A-325.
3. STEEL PIPE COLUMNS SHALL BE GRADE "B" CONFORMING TO ASTM A53.
4. STEEL TUBING SHALL BE GRADE "B" CONFORMING TO ASTM A500.
5. ALL WELDING SHALL BE DONE BY THE SHIELDED ARC METHOD. ALL WELDERS SHALL BE PROPERLY QUALIFIED AND BE PRE-APPROVED. SURPLUS METAL SHALL BE DRESSED OFF TO SMOOTH, EVEN SURFACES WHERE WELDS ARE NOT EXPOSED TO VIEW. ALL WELDING SHALL COMPLY WITH THE LATEST A.W.S. SPECIFICATIONS.
6. THE FOLLOWING WELDING EQUIPMENT MUST BE USED:
A. 250 AMP WELDERS
B. ROO DISCS
C. GRINDERS.
7. NO BUZZ BOXES SHALL BE USED.
8. ALL STRUCTURAL STEEL SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE DESIGN ENGINEER AND THE CITY INSPECTOR.
9. ALL HIGH STRENGTH BOLTS SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE INSPECTOR.
10. STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZING PAINT.
11. WELDING INDICATED IN THESE DRAWINGS IS DESIGNED FOR ONE HALF OF ALLOWABLE CODE STRESSES UNLESS SPECIFICALLY NOTED "FULL STRESS" AT END OF WELD SYMBOL.

Table with 4 columns: LOCATION, STRENGTH, WT., SLUMP, ADMIXTURE. It lists material specifications for concrete and steel reinforcement.

- C. CONCRETE
1. STRENGTH: CONCRETE FOR THE PROJECT SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT AGE OF 28 DAYS:
A. MONOPILE FOUNDATION 4000psi 150pcf 4" NONE
B. SLABS AND FOOTINGS 2500psi 130pcf 4" NONE
2. INSPECTION: CONCRETE WITH SPECIFIED STRENGTH GREATER THAN 2500psi SHALL BE CONTINUOUSLY INSPECTED DURING PLACEMENT BY A DEPUTY INSPECTOR EMPLOYED BY A TESTING LABORATORY APPROVED BY THE BUILDING DEPT.
3. REBAR GRADES: REINFORCING STEEL SHALL BE CLEAN PREFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:
#4 & SMALLER BARS.....GRADE 40
#5 & LARGER BARS.....GRADE 60
ALL BARS AT GANSSON FOOTING.....GRADE 60
4. CEMENT: FOUNDATIONS & SLABS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
PIER/CASSON FOOTINGS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
5. AGGREGATE: USED IN THE CONCRETE SHALL CONFORM TO ASTM C-33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. THE MAXIMUM SIZE AGGREGATE IN CONCRETE WORK SHALL BE THE FOLLOWING:
A. FOUNDATIONS & SLABS 9" OR LESS: 3/4" GRAVEL
B. PIER/CASSON FOOTING: 1" GRAVEL
6. WATER: SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNT OF ACIDS, ALKALIS, ORGANIC MATERIALS AND SHALL BE SUITABLE FOR HUMAN CONSUMPTION.

- 7. MIXING: PREPARATION OF CONCRETE SHALL CONFORM TO ASTM C-94. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY A TESTING AGENCY.
8. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE FLOPPED THROUGH REINFORCING STEEL (AS IN WALLS, COLUMNS, CASSON, AND DROP CAPITALS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES, TRUNGS OR PUMP HOSE SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FT.
9. SPLICES OF REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 30 DIAMETERS AND SECURELY WIRE TOGETHER. SPLICES OF ADJACENT REINFORCING BARS SHALL BE STAGGERED WHEREVER POSSIBLE.
10. REAR CLEARANCE: MINIMUM COVERAGE FOR JOISTS, BEAMS, GIRDERS AND COLUMNS SHALL BE TO FACE OF STRIPS OR TIES UNLESS OTHERWISE NOTED. CONCRETE COVERAGE FOR REINFORCING BARS TO FACE OF BAR SHALL BE AS FOLLOWS:
A. CONCRETE IN CONTACT WITH EARTH, UNFORMED 3"
B. CONCRETE IN CONTACT WITH EARTH, FORMED 2"
C. WALL, EXTERIOR FACE 1-1/2"
D. WALL, INTERIOR FACE 1"
E. STRUCTURAL SLABS 3/4"
F. JOISTS 3/4"
G. BEAMS, GIRDERS & COLUMNS 1-1/2"
11. PENETRATIONS: NO SLEEVES OR CHASES SHALL BE PLACED IN BEAMS, SLABS, WALLS AND COLUMNS, EXCEPT THOSE SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL SLEEVES OR CHASES. ALL PLUMBING, ELECTRICAL AND MECHANICAL OPENINGS SHALL BE SLEAVED. CORING IS NOT ALLOWED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
12. EMBEDDED ITEMS: CONDUIT PLACED IN A CONCRETE SLAB SHALL NOT HAVE AN OUTSIDE DIAMETER GREATER THAN 1/4 THE THICKNESS OF THE SLAB. CONDUIT SHALL NOT BE EMBEDDED IN A SLAB THAT IS LESS THAN 3-1/2" THICK UNLESS SLAB IS LOCALLY THICKENED. MINIMUM CLEAR DISTANCE BETWEEN CONDUITS SHALL BE SIX INCHES.
13. ANCHORING: ALL ANCHOR BOLTS, REINFORCING STEEL, BOWELS, INSERTS, ETC. SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. NO REPOSITIONING DURING CONCRETE POUR IS ALLOWED.
14. CURING: SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING. CURING COMPOUND USED ON INSTALLATION OF ANY ADDITIONAL SLEEVES OR CHASES. ALL PLUMBING, ELECTRICAL AND MECHANICAL OPENINGS SHALL BE SLEAVED. CORING IS NOT ALLOWED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
15. CONSOLIDATION: ALL CONCRETE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT.
D. TIMBER
1. ALL FRAMING LUMBER FOR 4X AND LARGER BEAMS SHALL BE NO. 1 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON DRAWINGS.
2. ALL FRAMING LUMBER FOR 2X RAFTERS AND JOISTS SHALL BE NO. 2 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON DRAWINGS.
3. STRIPPING, BLOCKING, BACKING AND OTHER NON-STRUCTURAL LUMBER SHALL BE NO. 2 OR STD & 31R GRADE DOUGLAS FIR, S4S. 2X4 STUD WALLS SHALL BE D.F. STANDARD & 57R.
4. ALL BEAMS, JOISTS AND RAFTERS SHALL BE INSTALLED WITH CROWN SIDE UP.
5. ROOF PLYWOOD SHALL MATCH EXISTING PLYWOOD SHEATHING WITH A SPAN INDEX RATIO OF 22/16. EDGE NAIL WITH 8d AT 6" O.C. UNLESS NOTED OTHERWISE ON PLANS. FIELD NAIL WITH 6d AT 12" O.C.
6. PLYWOOD SHEETS SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS AND WITH THE EDGES STAGGERED, UNLESS NOTED OTHERWISE ON THE PLANS.
7. PLYWOOD SHALL BE GRADE MARKED BY DFWA, TCCO, OR PTL AND SHALL CONFORM TO PS 1-83.
8. THE MAXIMUM MOISTURE CONTENT OF ALL LUMBER SHALL NOT EXCEED 24% AT THE TIME OF INSTALLATION.
9. MAXIMUM NAILING SHALL COMPLY WITH TABLE 23-1 OF BUILDING CODE. ALL NAILS SHALL BE COMMON WIRE NAILS.
10. ALL BOLTS SHALL HAVE STANDARD CUT WASHERS UNDER HEADS AND/OR NUTS WHERE IN CONTACT WITH WOOD.
11. LAG BOLTS SHALL BE SERVED INTO PLACE. NOT DRIVEN. LAG BOLTS SHALL BE INSTALLED IN PRE-DRILLED HOLES WITH A DIAMETER EQUAL TO 75% DIAMETER OF BOLT.
12. CONNECTORS: ALL SHEET METAL FRAMING CONNECTORS SHOWN IN THE PLANS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY. SUBSTITUTIONS MAY BE MADE WHEN APPROVED BY THE STRUCTURAL ENGINEER.
13. ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE WOLMANIZED PRESSURE TREATED LUMBER OR A NATURALLY DECAY RESISTANT LUMBER SUCH AS REDWOOD OR CEDAR.
14. ALASKAN YELLOW CEDAR GLUE-LAMINATED BEAMS (GLB'S)
A. LUMBER SPECIES: ALASKAN YELLOW CEDAR (A.C.) CONFORMING TO 20F-V12.
B. STRENGTH PROPERTIES:
Fv BOTTOM FIBER BENDING STRESS 2000psi MIN.
Ft TOP FIBER BENDING STRESS 1000psi MIN.
Fv SHEAR STRESS 190psi MIN.
Fc COMPRESSION STRESS PERPENDICULAR TO GRAIN 580psi MIN.
E MODULUS ELASTICITY 1400psi MIN.
C. CAMBER TO RADIUS OF 1500' U.O.N.
D. ALL GLB'S SHALL BE FABRICATED WITH EXTERIOR GLUE.
E. MANUFACTURE OF GLB'S SHALL CONFORM TO THE USC.
F. GLU-LAM MATERIAL SHALL BE IN ACCORDANCE WITH ANS/A10: A192.1 AND ASTM D3737.

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WEST TOWER COMMUNICATIONS INC logo and address: 4445 EASTGATE HILL, SUITE 200, SAN DIEGO, CALIFORNIA 92121.

JRA Jeffrey Rome & Associates, Inc. logo and address: 4401 285-8578, 848 796-3828, 702 785-0958.



WESTINGHOUSE logo and address: 2125 WESTINGHOUSE STREET, SAN DIEGO, CALIFORNIA 92111. Includes SD03XC050/CA-SDG5277A.

REVISIONS table with columns: NO., DATE, DESCRIPTION, INITIAL. Contains 4 revision entries.

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE: GENERAL NOTES AND SPECIFICATIONS. SHEET NUMBER: T-2.

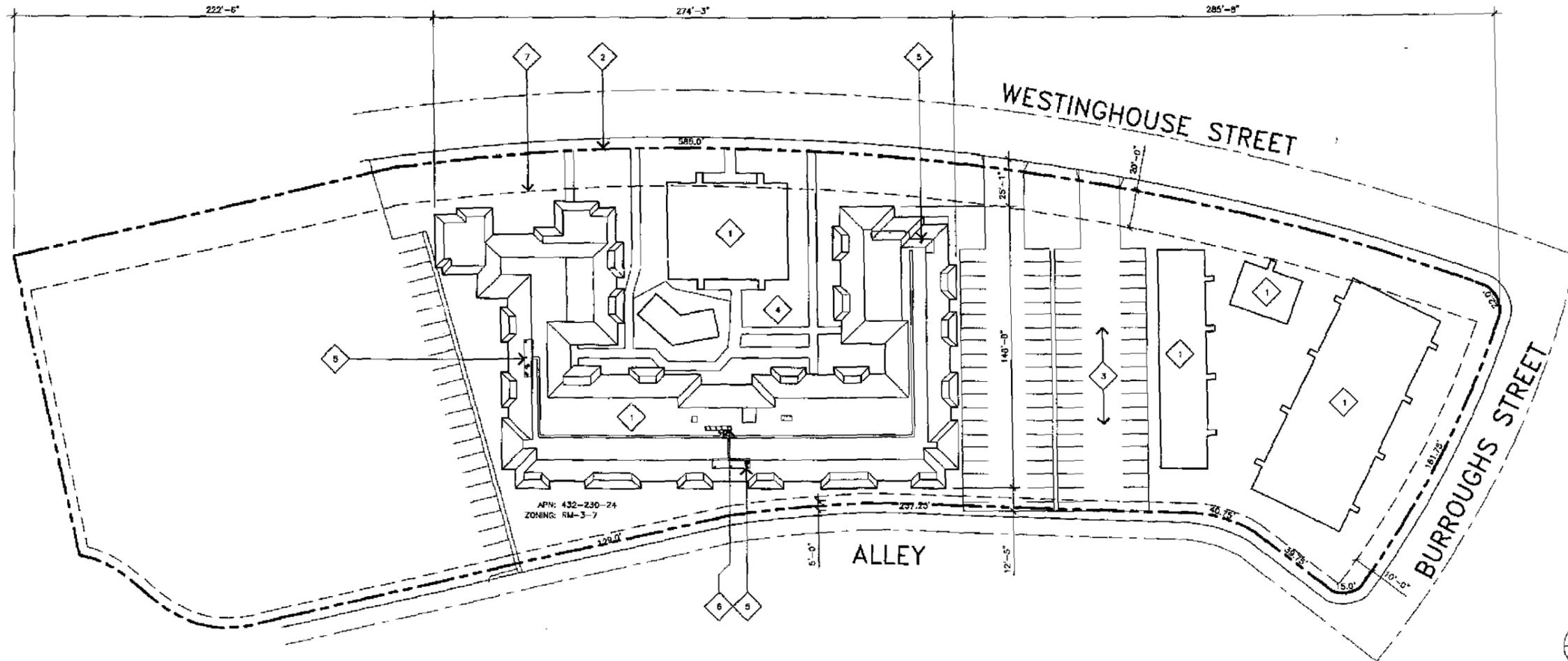
JRA PROJECT NUMBER: 090349

SITE PLAN KEYNOTES

- 1 EXISTING BUILDING.
- 2 EXISTING PROPERTY LINE.
- 3 EXISTING PARKING LOT.
- 4 EXISTING COURTYARD.
- 5 PROPOSED SPRINT/CLEARWIRE ANTENNAS MOUNTED ON EXISTING BUILDING BEHIND FRP SCREEN; SEE DETAIL 2/A-1.
- 6 PROPOSED SPRINT/CLEARWIRE EQUIPMENT CABINET MOUNTED ON EXISTING STEEL PLATFORM ON BUILDING ROOFTOP; SEE DETAIL 1/A-1.
- 7 EXISTING PROPERTY SETBACK; SEE ITEM C AT RIGHT.

SITE PLAN GENERAL NOTES

- A. PROPERTY LINE DIMENSIONS ARE APPROXIMATED FROM INFORMATION AVAILABLE ON THE SAN DIEGO COUNTY GIS WEBSITE.
- B. ALL WORK TO BE PERFORMED ON EXISTING ROOFTOP AND WILL NOT BE AFFECTED BY ANY EASEMENTS.
- C. THE SETBACKS FOR THIS SITE ARE:
 FRONT: 20'-0"
 REAR: 5'-0"
 STREET SIDE: 10'-0"
 SIDE: 5'-0"
- D. THIS PROJECT PROVIDES FOR ROOFTOP INSTALLATION ONLY AND NO TRENCHING IS INCLUDED.
- E. THIS PROJECT IS A ROOFTOP INSTALLATION ONLY AND THERE WILL BE NO IMPACT TO ANY PARKING FOR THIS FACILITY.
- F. A SITE VISIT INDICATED THE PRESENCE OF ADDITIONAL PALM TREES.



APN: 432-230-24
 ZONING: RM-3-7

SITE PLAN

SCALE: 1"=30'-0"
 0 15' 30'

SHEET TITLE
SITE PLAN

SHEET NUMBER
A-0

REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
1	09-08-06	SOB 2D REVIEW (P1)	RT
2	09-15-06	100% FINAL 2D'S (P2)	LFZ
3	09-15-06	CLIENT COMMENTS (P3)	LFZ
4	09-26-06	CLIENT COMMENTS (P4)	LFZ

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Sprint clearwire

6880 SPRINT PARKWAY
 OVERLAND PARK, KANSAS 66251

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

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WESTINGHOUSE
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JRA PROJECT NUMBER: 060346

ENLARGED SITE PLAN KEYNOTES

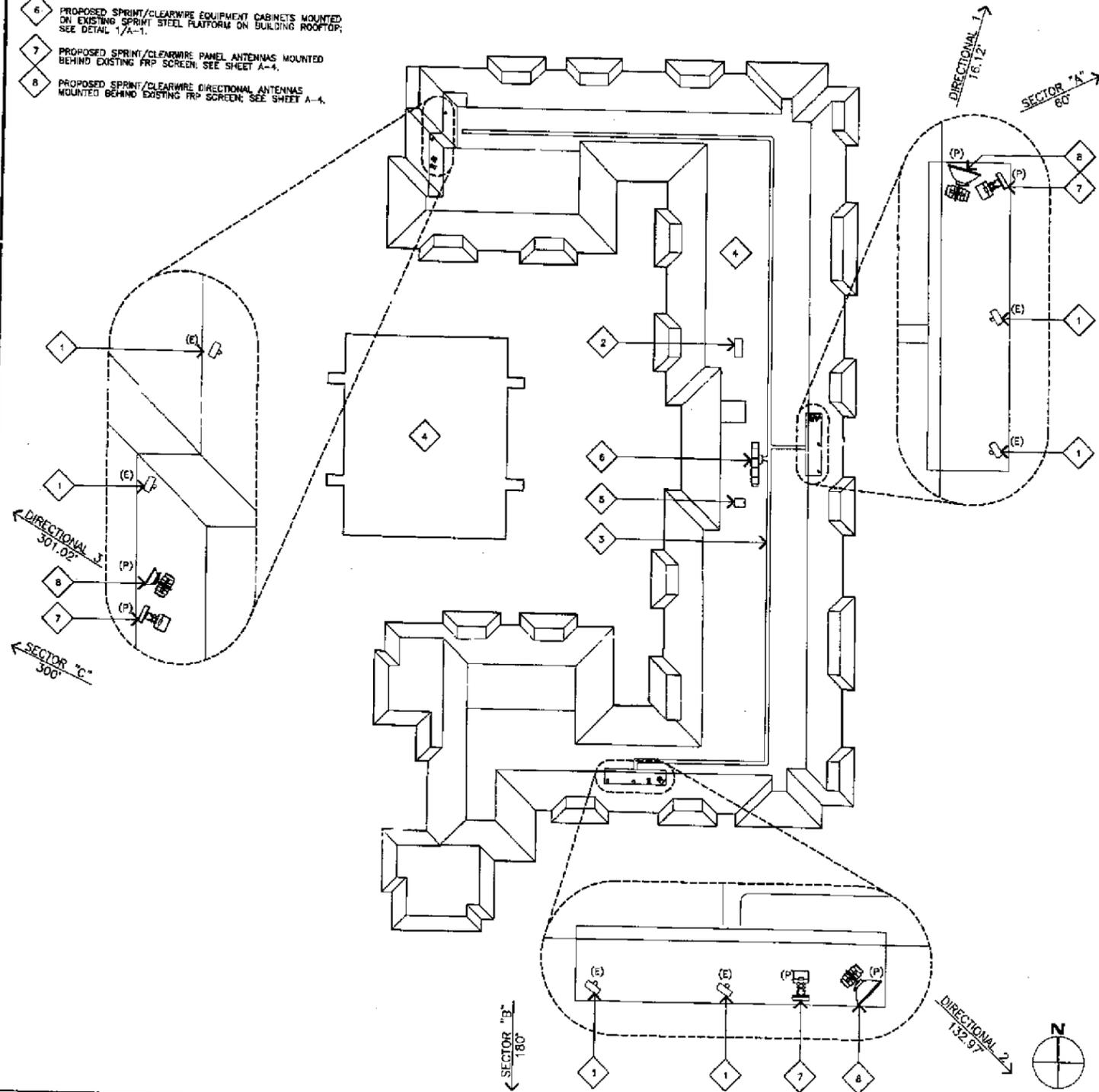
- 1 EXISTING SPRINT ANTENNAS MOUNTED BEHIND EXISTING FRP SCREEN.
- 2 EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT.
- 3 EXISTING ROOF MOUNTED CABLE TRAY.
- 4 EXISTING BUILDING ROOFTOP.
- 5 EXISTING ROOF ACCESS HATCH.
- 6 PROPOSED SPRINT/CLEARWIRE EQUIPMENT CABINETS MOUNTED ON EXISTING SPRINT STEEL PLATFORM ON BUILDING ROOFTOP; SEE DETAIL 1/A-1.
- 7 PROPOSED SPRINT/CLEARWIRE PANEL ANTENNAS MOUNTED BEHIND EXISTING FRP SCREEN; SEE SHEET A-4.
- 8 PROPOSED SPRINT/CLEARWIRE DIRECTIONAL ANTENNAS MOUNTED BEHIND EXISTING FRP SCREEN; SEE SHEET A-4.

ANTENNA LEGEND

- (E) EXISTING ANTENNA TO REMAIN
- (P) PROPOSED ANTENNA TO REPLACE EXISTING ANTENNA

ANTENNA NOTES

- 1. PROPOSED ANTENNAS TO BE MOUNTED ON EXISTING PIPE MOUNTS. NO NEW PIPE MOUNTS ARE TO BE INSTALLED.

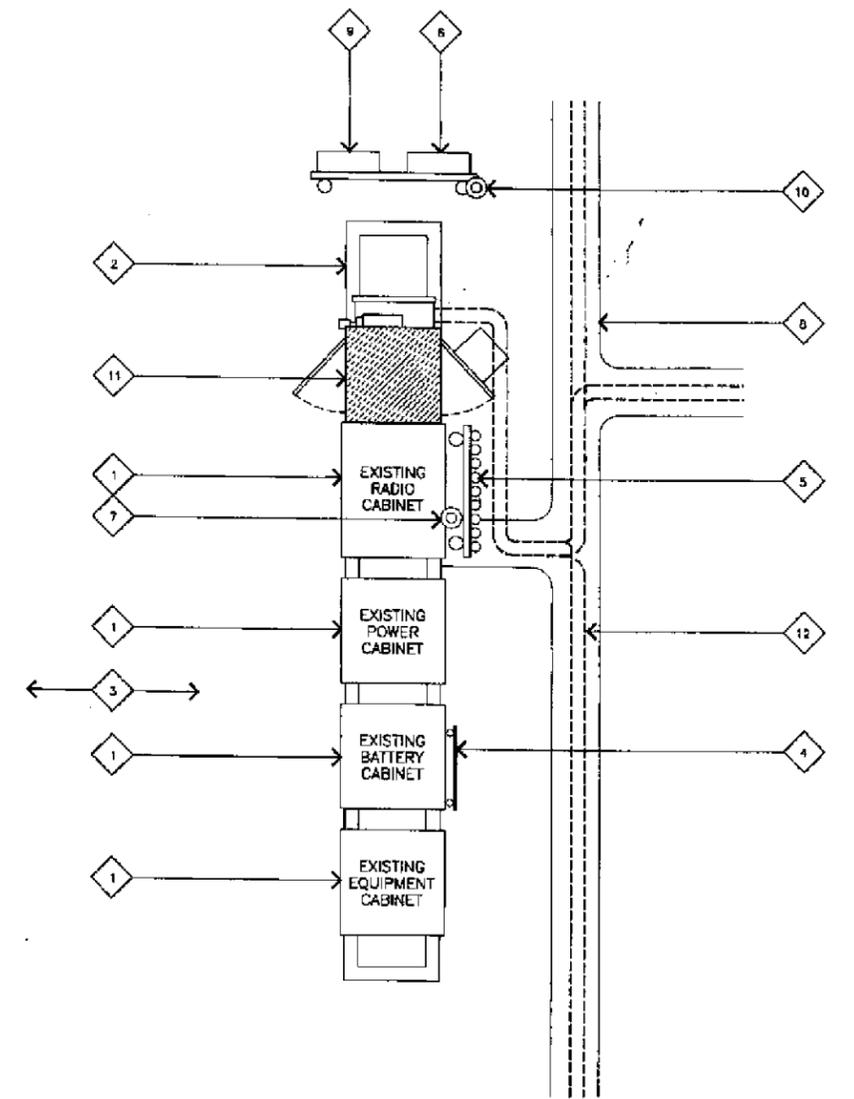


ROOF PLAN

SCALE: 1/4"=1'-0" 0 2 4' **2**

EQUIPMENT PLATFORM LAYOUT KEYNOTES

- 1 EXISTING SPRINT EQUIPMENT CABINETS.
- 2 EXISTING STEEL PLATFORM.
- 3 EXISTING BUILDING ROOFTOP.
- 4 EXISTING GROUND BAR.
- 5 EXISTING COAX CABLE SUPPORT FRAME.
- 6 EXISTING SPRINT ELECTRICAL DISCONNECT RELOCATED TO PROPOSED "H" FRAME.
- 7 EXISTING SPRINT GPS ANTENNA.
- 8 ROOF MOUNTED CABLE COAX TRAY.
- 9 PROPOSED SPRINT/CLEARWIRE ELECTRICAL SUB-PANEL MOUNTED TO PROPOSED "H" FRAME.
- 10 PROPOSED SPRINT/CLEARWIRE GPS ANTENNA MOUNTED TO PROPOSED "H" FRAME.
- 11 PROPOSED SPRINT/CLEARWIRE EQUIPMENT CABINET MOUNTED ON EXISTING SPRINT STEEL PLATFORM; SEE SHEET A-3.
- 12 PROPOSED SPRINT/CLEARWIRE CONDUITS TO ANTENNAS.



EQUIPMENT PLATFORM LAYOUT

SCALE: 1/2"=1'-0" 0 1' 2' **1**

Sprint clearwire
 8580 SPRINT PARKWAY
 OVERLAND PARK, KANSAS 66251

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

WESTOWER COMMUNICATIONS INC
 4449 EASTDATE MALL, SUITE 200
 SAN DIEGO, CALIFORNIA 92121

JRA
 Jeffrey Rama & Associates, Inc.
 Arizona • California • Nevada
 Arizona: (602) 296-5578
 California: (949) 790-5925
 Nevada: (702) 795-0858

REGISTERED ARCHITECT
 JEFFREY RAMA
 C-220875
 EXP. FEB. 28, 2011
 STATE OF CALIFORNIA

WESTINGHOUSE
 SD03XC050/CA-SDG5277A
 2125 WESTINGHOUSE STREET
 SAN DIEGO, CALIFORNIA 92111

REVISIONS

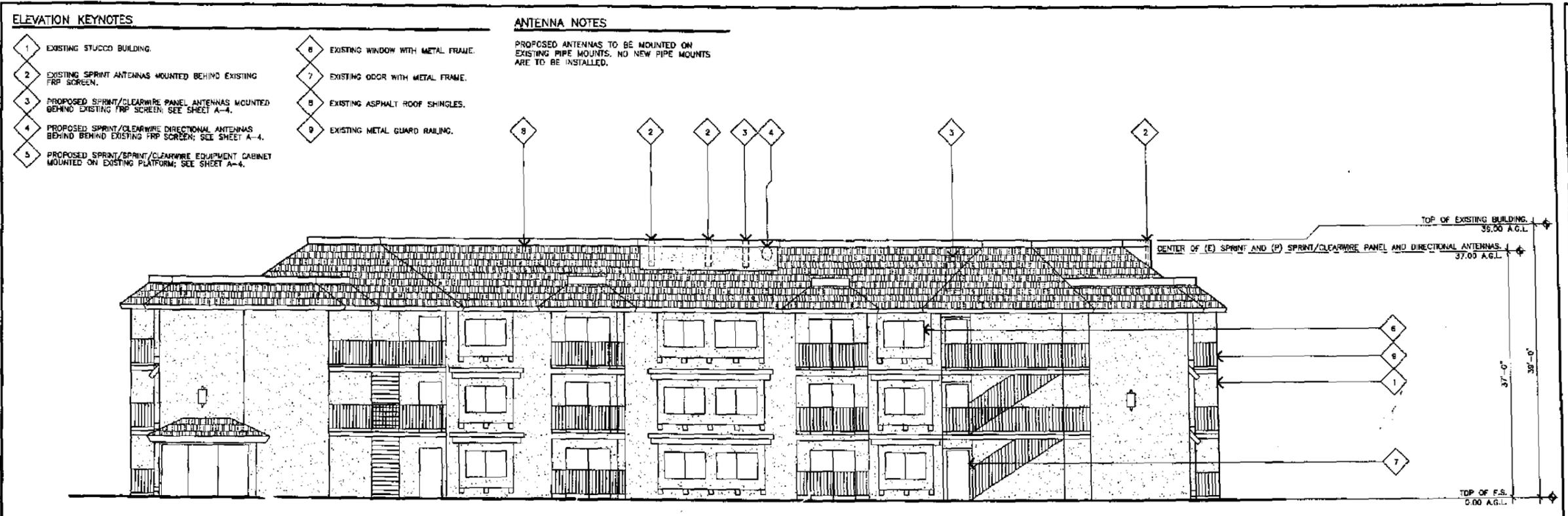
NO.	DATE	DESCRIPTION	INITIAL
1	08-02-08	90% 2D REVIEW (P1)	RB
2	10-15-08	100% FINAL 2D'S (P2)	LFJ
3	01-15-10	CLIENT COMMENTS (P3)	LFJ
4	02-01-10	CLIENT COMMENTS (P4)	LFJ

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
ROOF PLAN & EQUIPMENT PLATFORM LAYOUT

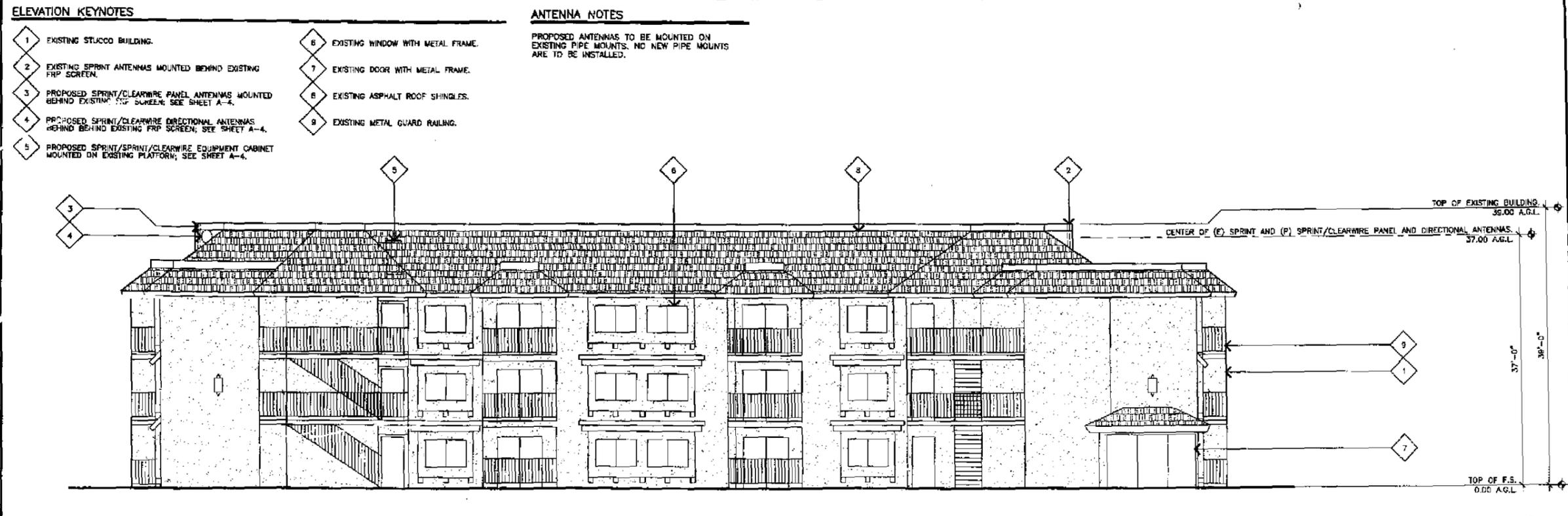
SHEET NUMBER
A-1

JRA PROJECT NUMBER: 090348



SOUTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' **2**



NORTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' **1**

Sprint clearwire

1500 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251

PROPRIETARY INFORMATION
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WESTOWER COMMUNICATIONS INC

4445 EASTGATE HALL, SUITE 200
SAN DIEGO, CALIFORNIA 92121

JRA

Jeffrey Rowe & Associates, Inc.
Arlzoboo • California • Nevada
Antenna: (602) 256-5579
California: (949) 760-3329
Nevada: (702) 795-0059



WESTINGHOUSE
SD03XC050/CA-SDG5277A

2125 WESTINGHOUSE STREET
SAN DIEGO, CALIFORNIA 92111

REVISIONS

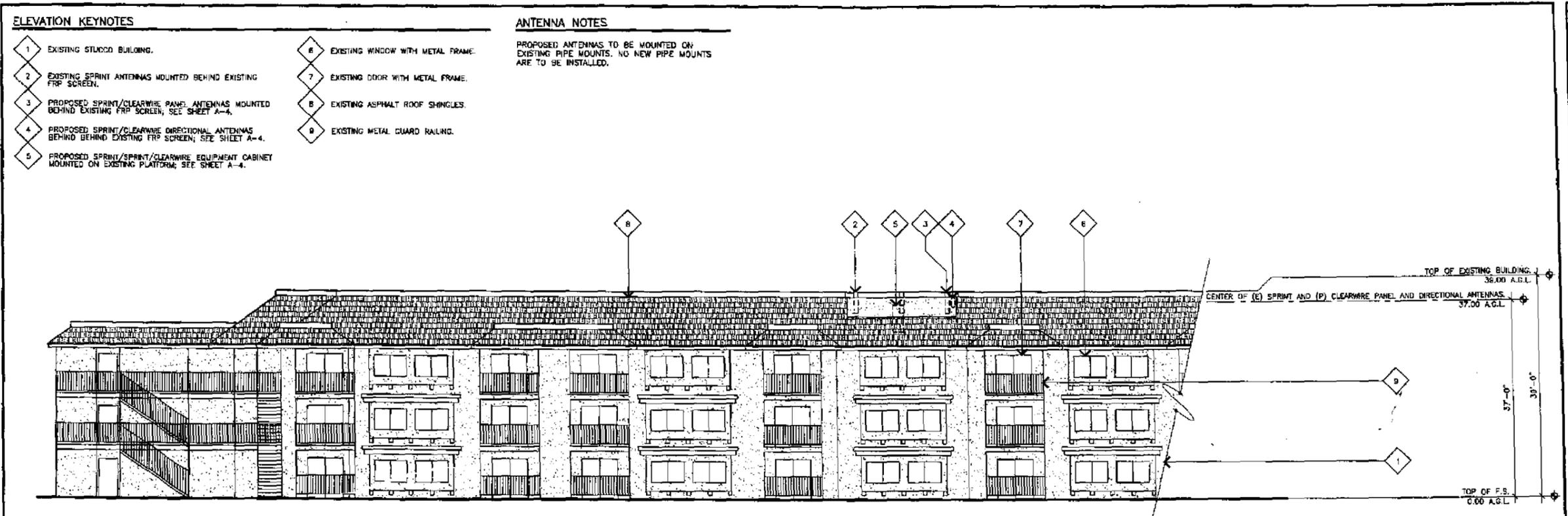
NO.	DATE	DESCRIPTION	INITIAL
1	06-02-06	ISSUE 2D REVIEW (P1)	RB
2	06-05-06	ISSUE FINAL 2D'S (P2)	LJF
3	07-10-06	CLIENT COMMENTS (P3)	LJF
4	02-21-07	CLIENT COMMENTS (P4)	LJF

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
ELEVATIONS

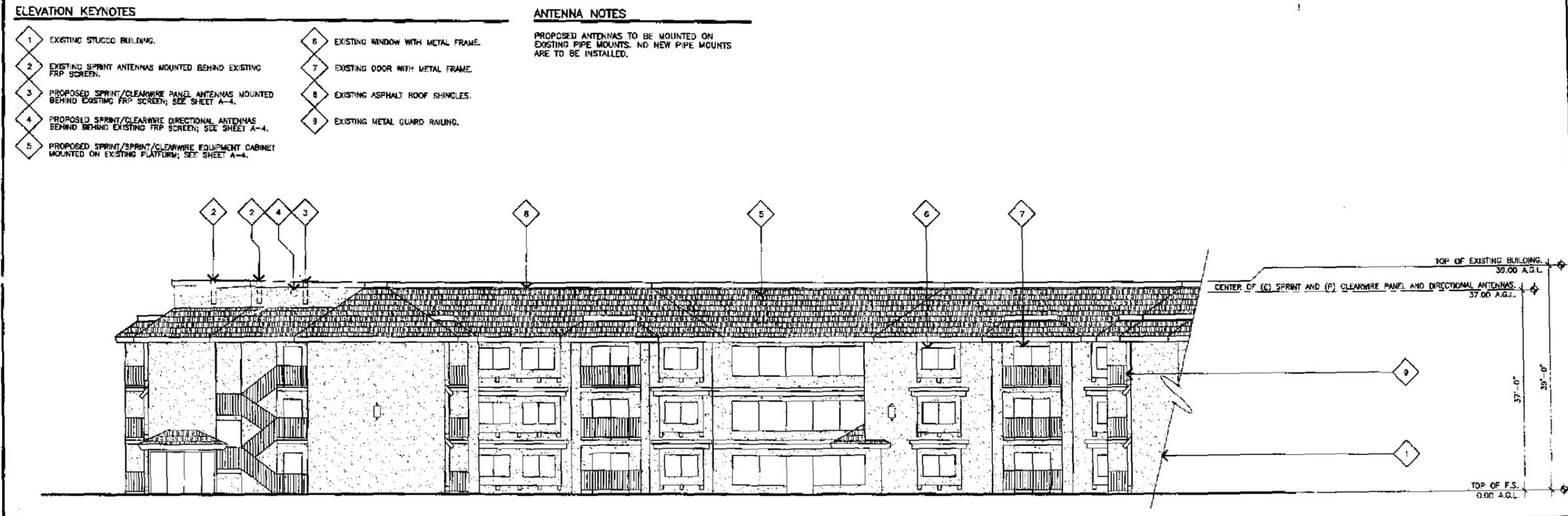
SHEET NUMBER
A-2

JRA PROJECT NUMBER: 090348



EAST ELEVATION

SCALE: 1"=10'-0" 0 5' 10' **2**



WEST ELEVATION

SCALE: 1"=10'-0" 0 5' 10' **1**

Sprint clearwire
 6580 SPENT PARKWAY
 OVERLAND PARK, KANSAS 66251

PROPRIETARY INFORMATION
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WESTOWER COMMUNICATIONS INC
 4445 EASTDATE MALL, SUITE 200
 SAN DIEGO, CALIFORNIA 92121

JRA
 Jeffrey Rome & Associates, Inc.
 Arizona • California • Nevada
 Arizona: (602) 296-5579
 California: (949) 766-3339
 Nevada: (702) 785-8056

REGISTERED ARCHITECT
 JEFFREY ROME
 C-020975
 EXP. FEB. 28, 2011
 STATE OF CALIFORNIA

WESTINGHOUSE
 SD03XC050/CA-SDG5277A
 2125 WESTINGHOUSE STREET
 SAN DIEGO, CALIFORNIA 92111

REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
1	09-02-08	90% 2D REVIEW (P1)	RB
2	10-15-08	100% FINAL 2D'S (P2)	LFJ
3	01-13-09	CLIENT COMMENTS (P3)	LFJ
4	03-23-09	CLIENT COMMENTS (P4)	LFJ

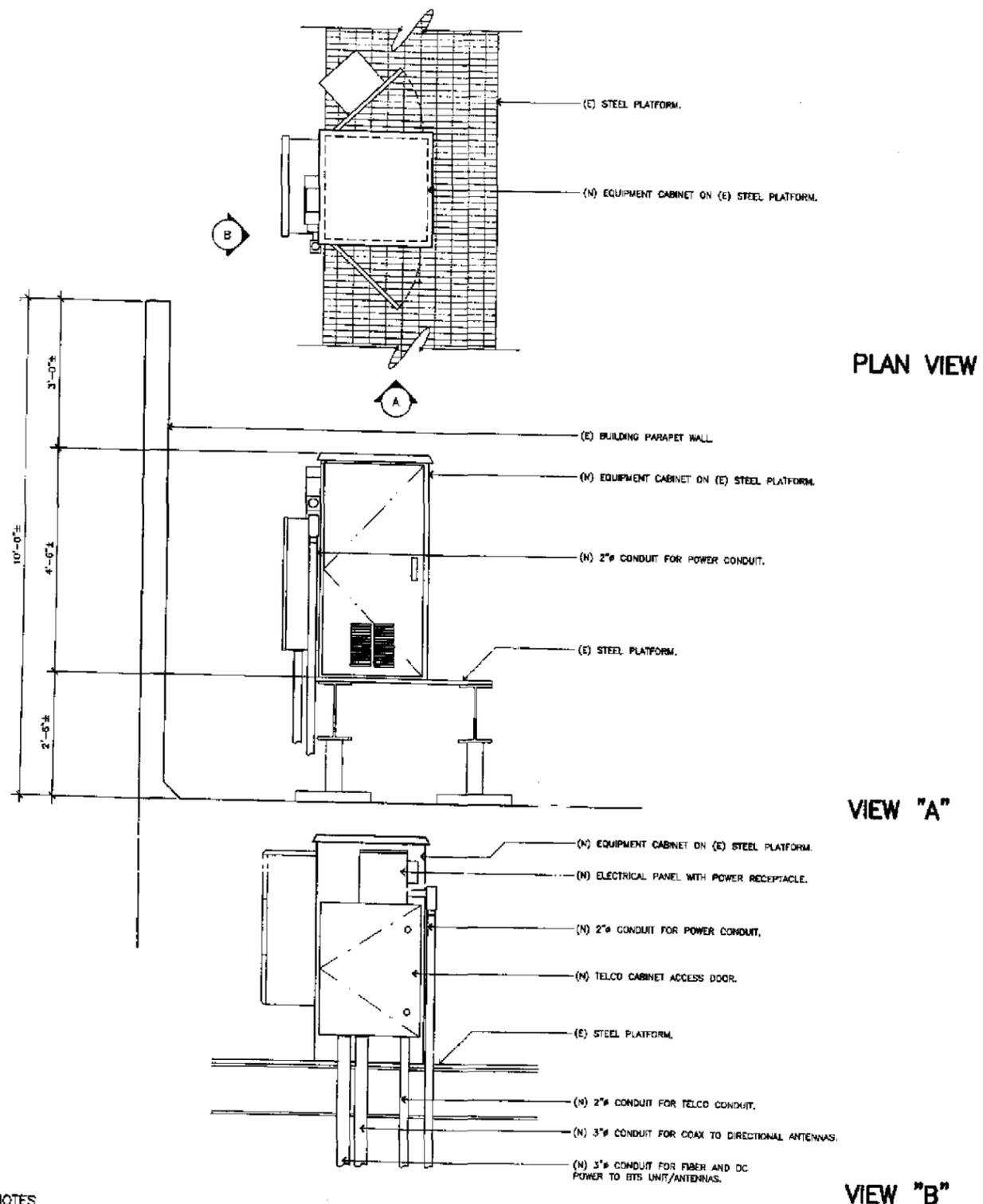
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
 ELEVATIONS

SHEET NUMBER
A-2.1

JRA PROJECT NUMBER: 090348

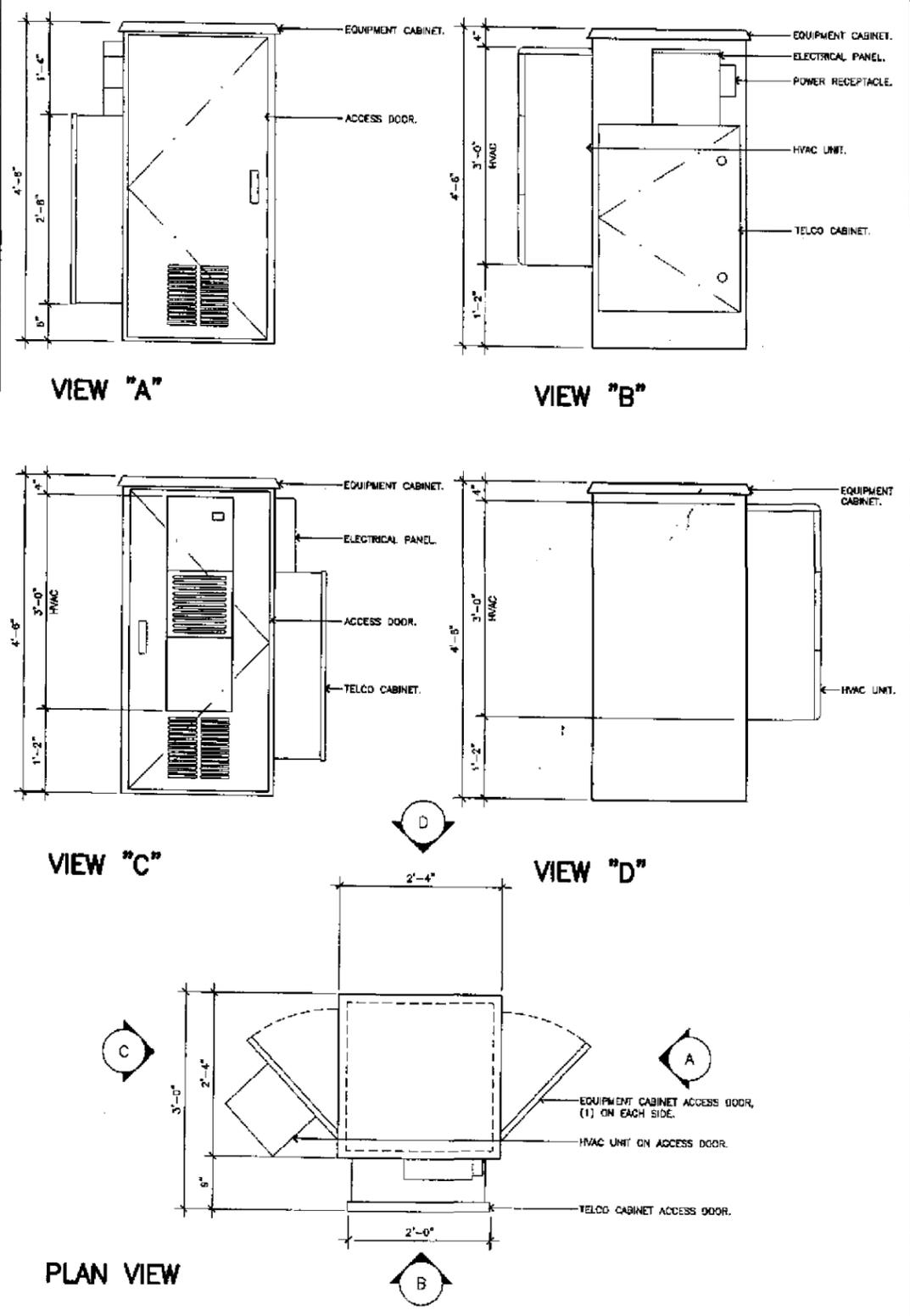
SHEET A-3 (E) STEEL DECK - A/C DOOR - REV. 1



GENERAL NOTES
 1. ABOVE GROUND CONDUIT TO BE SCH. 80 PVC OR METAL.
 2. UNDERGROUND CONDUIT TO BE SCH. 40 PVC.

EXISTING STEEL PLATFORM WITH EQUIPMENT CABINET DETAIL

SCALE: 3



GENERAL NOTES
 1. MANUFACTURER: DOB UNLIMITED, MODEL #00-500X OR #00-500XC.
 2. EQUIPMENT CABINET HAS A STAINLESS STEEL FACTORY FINISH, PROTECT AS REQUIRED.

EQUIPMENT CABINET DETAIL

SCALE: 1

Sprint clearwire
 6380 SPRINT PARKWAY
 OVERLAND PARK, KANSAS 66201
 PROPRIETARY INFORMATION
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JIRA Active/Inactive SD/Weather logs/PC
 4445 EASTGATE MALL, SUITE 200
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 California: (949) 785-3929
 Nevada: (702) 795-0058



WESTINGHOUSE
 SD03XC050/CA-SDG5277A
 2125 WESTINGHOUSE STREET
 SAN DIEGO, CALIFORNIA 92111

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	02-02-09	BOOK 2D REVIEW (P1)	RB
2	10-05-09	TOOK FINAL 2D'S (P2)	LJF
3	01-13-10	CLIENT COMMENTS (P3)	LJF
4	03-31-10	CLIENT COMMENTS (P4)	LJF

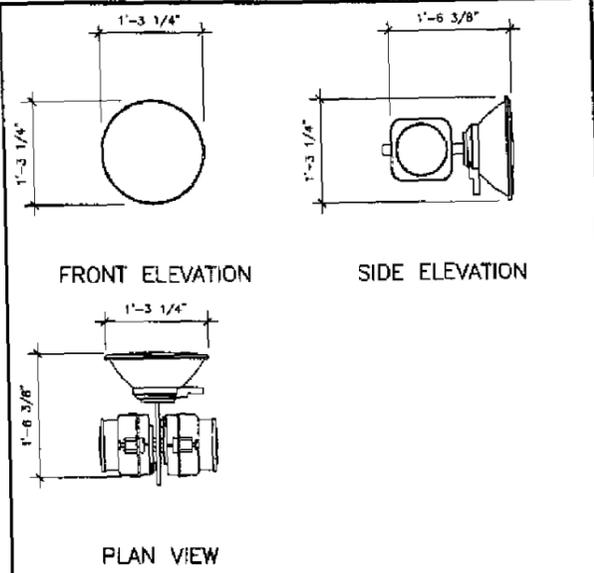
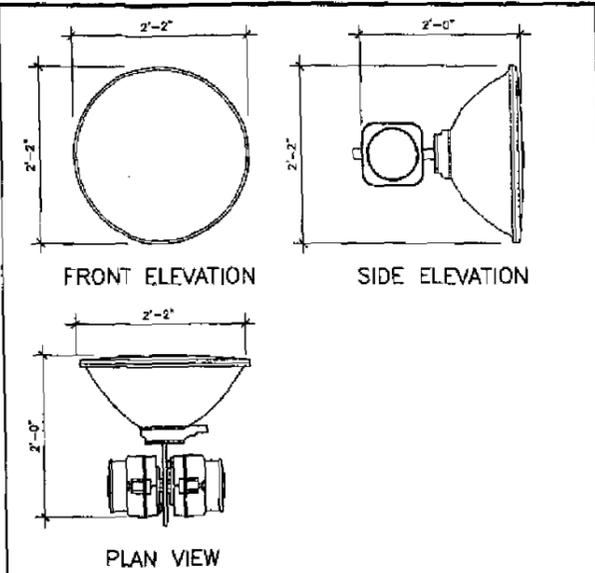
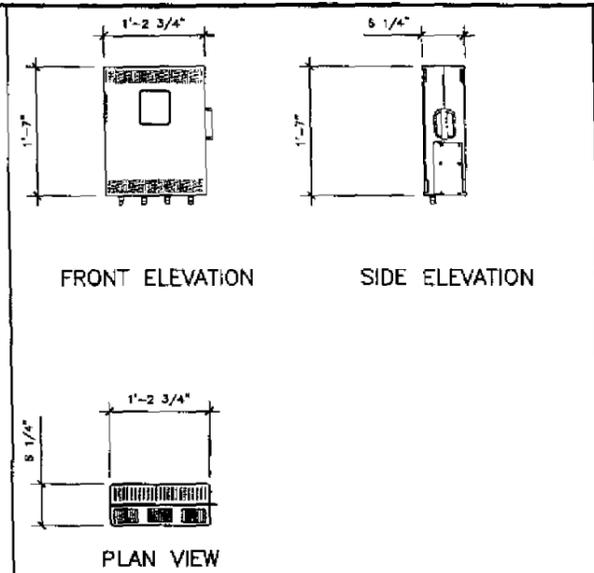
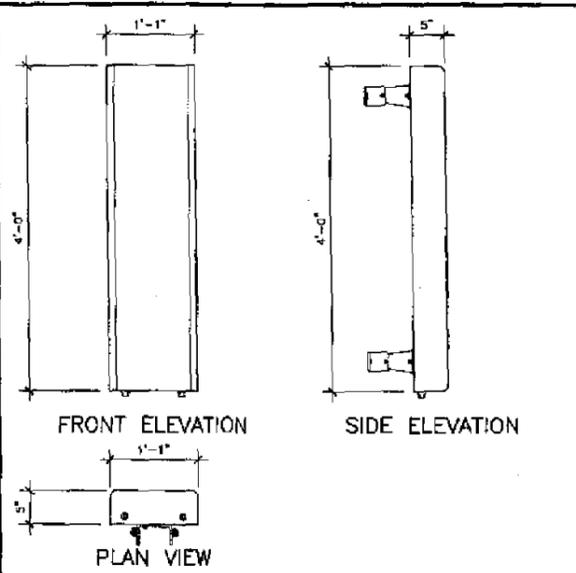
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
EQUIPMENT DETAILS

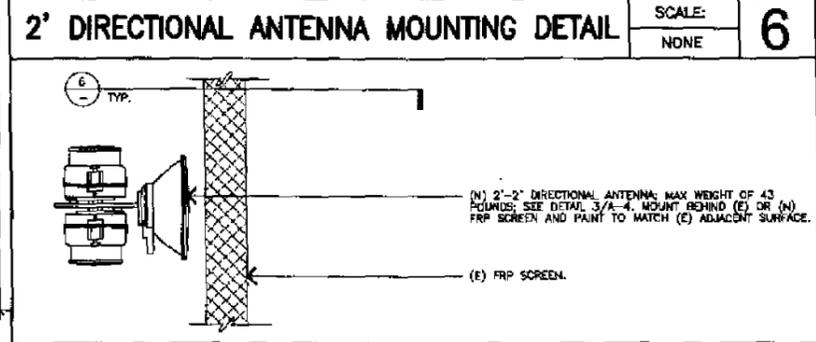
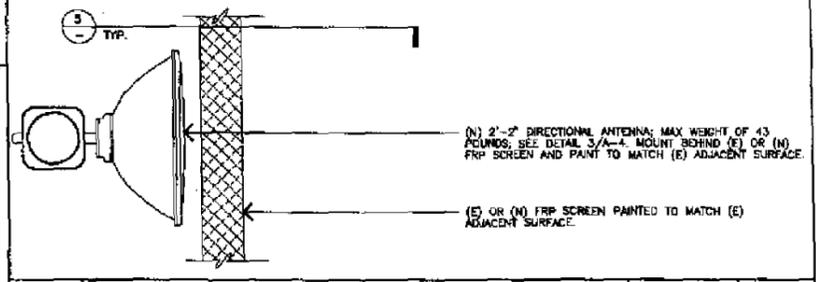
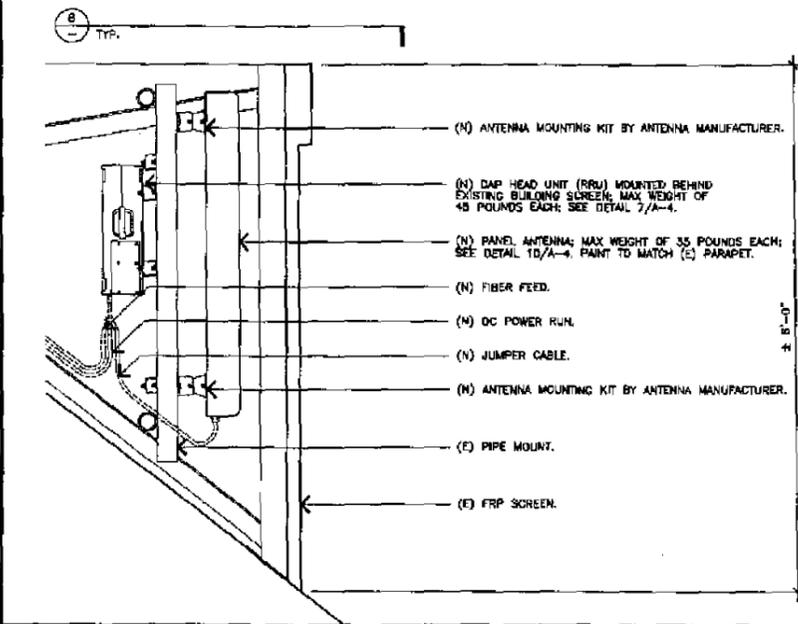
SHEET NUMBER
A-3

JIRA PROJECT NUMBER: 080348

SHEET A-4 ANTENNA DETAILS - REV. 1

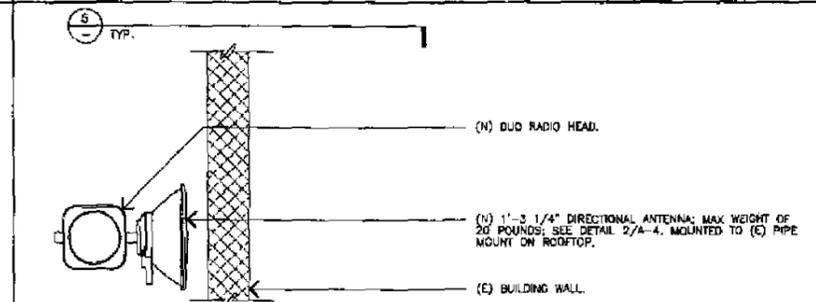
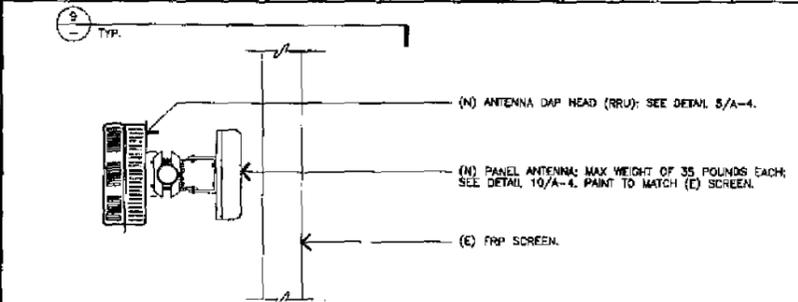


PANEL ANTENNA	SCALE: NONE	10	DAP HEAD UNIT (RRU)	SCALE: NONE	7	2' DIRECTIONAL ANTENNA	SCALE: NONE	3	1' DIRECTIONAL ANTENNA	SCALE: NONE	2
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ANTENNA & DAP HEAD MOUNTING DETAIL SCALE: NONE **9**

2' DIRECTIONAL ANTENNA MOUNTING PLAN SCALE: NONE **5**



ANTENNA & DAP HEAD MOUNTING PLAN SCALE: NONE **8**

1' DIRECTIONAL ANTENNA MOUNTING PLAN SCALE: NONE **4**

NOT USED SCALE: NONE **1**

Sprint clearwire
 5500 SPRINT PARKWAY
 OVERLAND PARK, KANSAS 66251
 PROPRIETARY INFORMATION
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WESTOWER COMMUNICATIONS INC
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 SAN DIEGO, CALIFORNIA 92121

JRA
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 California: (848) 760-3829
 Nevada: (702) 795-0886



WESTINGHOUSE
 SD03XC050/CA-SDG5277A
 2125 WESTINGHOUSE STREET
 SAN DIEGO, CALIFORNIA 92111

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	04-02-04	90% 2D REVISION (P1)	RR
2	04-15-04	100% FINAL 2D'S (P2)	LR
3	04-15-04	CLIENT COMMENTS (P3)	LR
4	03-31-04	CLIENT COMMENTS (P4)	LR

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
ANTENNA DETAILS

SHEET NUMBER
A-4

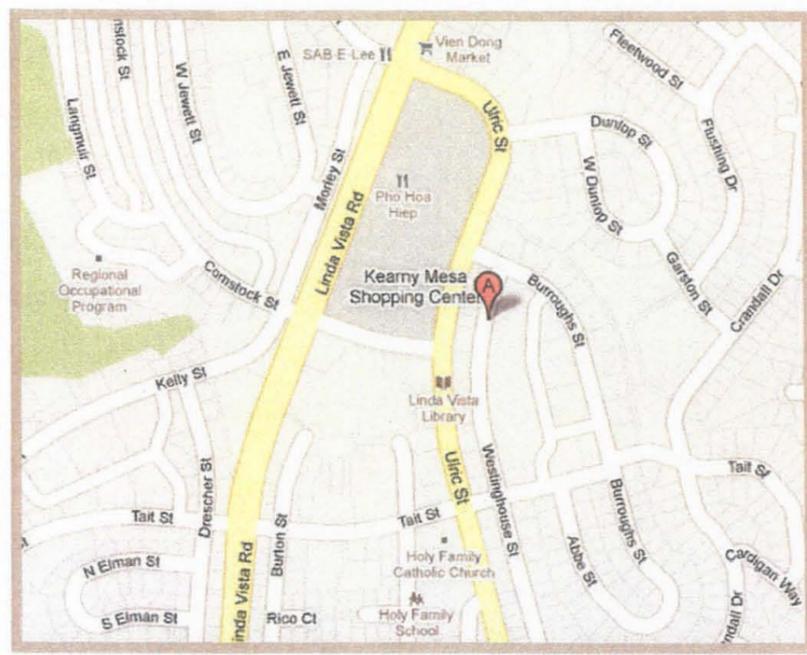
JRA PROJECT NUMBER: 060346



CA-SDG277 - WESTINGHOUSE
2125 WESTINGHOUSE ST SAN DIEGO, CA 92111



SOUTHEAST ELEVATION



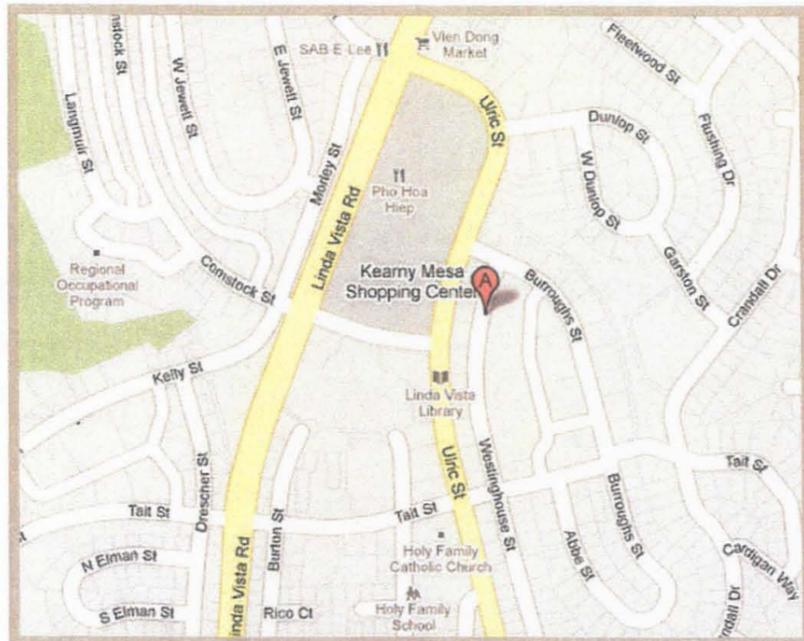
Sprint



CA-SDG277 - WESTINGHOUSE
2125 WESTINGHOUSE ST SAN DIEGO, CA 92111



EAST ELEVATION



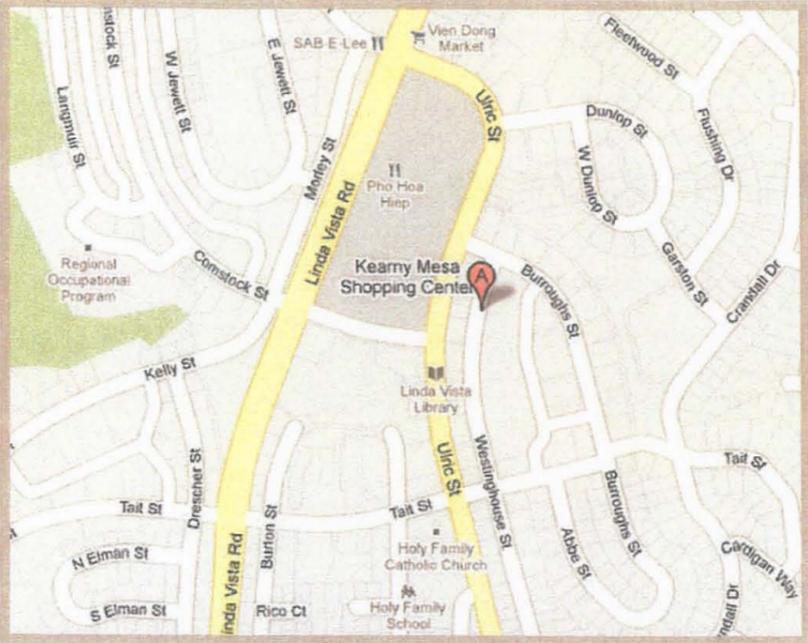
Sprint®



CA-SDG277 - WESTINGHOUSE
2125 WESTINGHOUSE ST SAN DIEGO, CA 92111



NORTH ELEVATION



PLANNING COMMISSION
RESOLUTION NO. XXXX-PC
CONDITIONAL USE PERMIT NO. 790314
SPRINT/CLEARWIRE WESTINGHOUSE - PROJECT NO. 202359
DRAFT

WHEREAS, CONRAD PREBYS TRUST, Owner, and SPRINT NEXTEL CORPORATION and CLEARWIRE US LLC, Permittees, filed an application with the City of San Diego for a Conditional Use Permit for a permit to continue operating at this location in addition to requesting a modification to allow for the incorporation of Clearwire components to provide internet services. The Wireless Communication Facility (WCF) shall contain a total of nine (9) panel antennas and three (3) microwave dishes behind existing Fiberglass Reinforced Panels (FRP) parapets, one (1) GPS antenna, and a new equipment cabinet next to the existing four (4) cabinets located on the roof (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 790314);

WHEREAS, the project site is located at 2125 Westinghouse Street, on the east side of Westinghouse Street, north of Tait Street, in the RM-3-7 Zone within the Linda Vista Community Plan and the Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego International Airport (SDIA) and the Montgomery Field;

WHEREAS, the project site is legally described as Parcel 1 of Parcel Map No. 14561, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, December 1, 1986. Together with that portion of the alley as vacated by the City of San Diego, Resolution No. 287127, recorded April 2, 1996, as File No. 175293 of official records adjoining said land on the East;

WHEREAS, on November 18, 2010, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 790314 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on September 29, 2010, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Sections [15301 Existing Facilities] and [15303 New Construction] and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated November 18, 2010.

FINDINGS:**Conditional Use Permit - Section 126.0305****1. The proposed development will not adversely affect the applicable land use plan;**

The project site is located at 2125 Westinghouse Street in the RM-3-7 Zone within the Linda Vista Community Plan. Wireless Communication Facilities (WCFs) are allowed within a Residential Zone (RM-3-7) with a Conditional Use Permit pursuant to Land Development Code (LDC) Section 141.0420(f)(2). The site is currently developed with a multi-family residential complex that includes a three-story, 69-unit apartment building, which contains an existing wireless communication facility (WCF). The apartment building was constructed in 1987, pursuant to Permit No. A54400, and at the time was zoned R-1000 (a multi-family residential zone that allows for one (1) dwelling units per 1,000 square feet of lot area).

The Linda Vista Community Plan was adopted on December 1, 1998, and the site is designated as Community Commercial in the Linda Vista Land Use Plan. The Linda Vista Community Plan does not contain specific policies on wireless communication facility development. In addition, the City of San Diego General Plan recommends that all WCFs minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The existing and proposed antennas will be located behind FRP parapets, which are physically compatible with the existing architecture, and are painted and textured to match the existing building.

The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the WCF Regulations, the Communication Antenna Regulations, the LDC, and the General Plan. Therefore, the proposed development would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” To insure that the FCC standards are being met, a condition has been added to the permit to require the owner/permittee to submit a Radio Frequency Study to staff prior to the Building Permit issuance.

3. The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code; and

The project complies with all applicable development regulations of the LDC and the City of San Diego Communication Antenna Regulations (LDC Section 141.0420). This section of the code

requires all wireless communication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. Sprint Nextel and Clearwire are proposing replacement of panel antennas, and addition of microwave dishes behind existing FRP parapets on the existing building. The FRP parapets are physically compatible with the existing architecture, and are painted and textured to match the existing building. The equipment associated with this project shall be placed next to the existing cabinets located on the roof, not visible to the public. The project is located on a property within the RM-3-7 Zone and as such, requires a Conditional Use Permit pursuant to LDC Section 141.0420(f)(2). No deviations from the development regulations or variances are requested with this application. Therefore, the project is in full compliance with the applicable regulations of the LDC.

4. The proposed use is appropriate at the proposed location.

Typically, the City of San Diego's first preference is for Wireless Communication Facilities to be located on property containing non-residential uses. In this case, without the approval of the required permits the carrier will not obtain the required coverage objective. As designed, the project is located on a property within the RM-3-7 Zone and as such, requires a Conditional Use Permit pursuant to LDC Section 141.0420(f)(2). The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the WCF Regulations, the Communication Antenna Regulations, the LDC, and the General Plan. No deviations from the development regulations or variances are requested with this application. Additionally, this site will address Sprint Nextel's and Clearwire limited network coverage to the roadways, homes, and businesses located in the area. Therefore, the proposed use is appropriate for this site.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 790314 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 790314, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services Department

Adopted on: November 18, 2010

Job Order No. 43-2996 / Internal Order No. 24000463

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24000463

CONDITIONAL USE PERMIT NO. 790314
SPRINT/CLEARWIRE WESTINGHOUSE - PROJECT NO. 202359
PLANNING COMMISSION
DRAFT

This Conditional Use Permit No. 790314 is granted by the Planning Commission of the City of San Diego to CONRAD PREBYS TRUST, Owner and SPRINT NEXTEL CORPORATION and CLEARWIRE US LLC, Permittees, pursuant to San Diego Municipal Code [SDMC] Section 141.0420. The site is located at 2125 Westinghouse Street, on the east side of Westinghouse Street and north of Tait Street, in the RM-3-7 Zone within the Linda Vista Community Plan and the Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego International Airport (SDIA) and the Montgomery Field. The project site is legally described as Parcel 1 of Parcel Map No. 14561, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, December 1, 1986. Together with that portion of the alley as vacated by the City of San Diego, Resolution No. 287127, recorded April 2, 1996, as File No. 175293 of official records adjoining said land on the East.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 18, 2010, on file in the Development Services Department.

The project shall include:

- a. A new permit to continue operating at this location in addition to requesting a modification to allow for the incorporation of Clearwire components to provide internet services. The Wireless Communication Facility (WCF) shall contain a total of nine (9) panel antennas and three (3) microwave dishes behind existing Fiberglass Reinforced Panels (FRP) parapets, one (1) GPS antenna, and a new equipment cabinet next to the existing four (4) cabinets located on the roof.

- b. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.
- c. Sprint Nextel Development Permit No. 95-0351-58 shall be null and void

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. This Conditional Use Permit (CUP) and corresponding use of this site shall **expire on November 18, 2020**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize Sprint Nextel and Clearwire to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including

without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

14. Sprint Nextel Development Permit No. 95-0351-58 shall be null and void.
15. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building to the satisfaction of the Development Services Department.
16. All antennas and conduits associated with this project shall be concealed inside the FRP parapets and shall not exceed the height of the existing screen wall to the satisfaction of the Development Services Department.
17. Owner/Permittee shall not cause or allow the antennas located on the building to be different sizes (length, width, or height) than as shown on the stamped approved plans.
18. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA to the satisfaction of the Development Services Department.
19. The photo simulation(s) for the proposed project must be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the 'Exhibit A'.
20. Final inspection shall not be granted until the final product conforms to the stamp approved plans and approved photo simulations.
21. Prior to the issuance of a construction permit, the telecommunication provider shall provide certification describing evidence that the cumulative field measurements of radio frequency power densities for all antennas installed on the premises are below the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency report.
22. All equipment, including transformers, emergency generators and air conditioners belonging to Sprint Nextel and Clearwire shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
23. All facilities and related equipment shall be maintained in good working order and free from trash, debris, graffiti and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days.

24. Once this site is deemed complete from construction, the Permittee (Sprint Nextel and Clearwire) is required to send a letter (Subject: Planning Inspection Project Number 202359) to the City of San Diego, Development Services Department requesting for a planning inspection. The site is officially deemed complete once the City Manager signs the letter. The applicant shall be provided with a copy of the signed letter for record purposes.

25. The Owner/Permittee shall notify the City prior to the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

26. Please note that an **Administrative Planning Hold** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5237 to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days prior to the site visit.

INFORMATION ONLY:

- Per LDC Section §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on November 18, 2010 and Resolution Number XXXX-PC.

Permit Type/PTS Approval No.: CUP/ 790314
Date of Approval: November 18, 2010

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Jeffrey A. Peterson
Development Project Manager
Development Services Department

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CONRAD PREBYS TRUST
Owner

By _____
Name:
Title:

SPRINT NEXTEL CORPORATION
Permittee

By _____
Name:
Title:

CLEARWIRE US LLC
Permittee

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 2

Project Name: Spring Clearwire Westinghouse-2125 Westinghouse St.		Project Number: 202359	Distribution Date: 7/8/10
Project Scope/Location: CUP for a total of 9 panel & 3 directional antennas (microwave dishes) on an existing WCF.			
Applicant Name: Alex Tsaturov		Applicant Phone Number: (858) 472-4048	
Project Manager: Jeffrey A. Peterson	Phone Number: (619) 446-5237	Fax Number: (619) 446-5245	E-mail Address: japeterson@sandiego.gov
Committee Recommendations (To be completed for Initial Review): <i>Voted to approve this upgrade.</i>			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes <i>12</i>	Members No <i>0</i>	Members Abstain <i>1</i>
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: <i>NONE</i>			
NAME: <i>Dixie Wilson</i>		TITLE: <i>CHAIR</i> <i>Jointing Chairman</i>	
SIGNATURE: <i>Dixie Wilson</i>		DATE: <i>8-23-10</i>	
Attach Additional Pages (if Necessary).		Please Return Within 30 Days of Distribution of Project Plans To: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 202359 PROJECT TITLE: SPRINT CLEARWIRE WESTINGHOUSE

PROJECT LOCATION-SPECIFIC: 2125 Westinghouse Street, San Diego, CA 92111 (Parcel 1 of Parcel Map 14561)

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Applicant proposes a Conditional Use Permit (CUP) for a total of 9 panel & 3 directional antennas (microwave dishes) on an existing Wireless Communication Facility (WCF) (Permit No. 95-0351-58) located in the RM-3-7 Zone within the Linda Vista Community Plan Area and Council District 6.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Alex Tsaturov
4445 Eastgate Mall #200
San Diego, CA 92121
858-472-4048

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: 15301, Existing Facilities
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: This project is exempt because minor exterior alterations would occur, no grading is proposed, and no additional outside improvements are required. In addition the project meets the criteria set forth in CEQA section 15301 which allows for existing facilities and a minimal expansion of use and the exceptions listed in CEQA section 15300.2 would not apply. Therefore, no adverse impacts would occur.

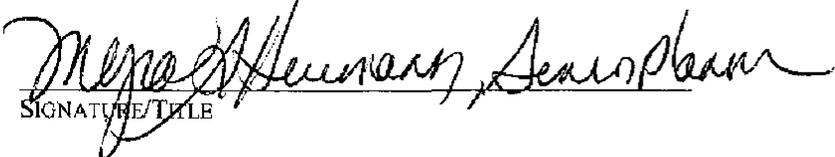
LEAD AGENCY CONTACT PERSON: Lizzi

TELEPHONE: (619) 619-446-5159

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA


SIGNATURE/TITLE

9/27/10
DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: September 29, 2010

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order or WBS No. 24000463

PROJECT NAME/NUMBER: Sprint Clearwire Westinghouse / 202359

COMMUNITY PLAN AREA: Linda Vista

COUNCIL DISTRICT: 6

LOCATION: 2125 Westinghouse Street, San Diego, CA 92111 (Parcel 1 of Parcel Map 14561)

PROJECT DESCRIPTION: Applicant proposes a Conditional Use Permit (CUP) for a total of 9 panel & 3 directional antennas (microwave dishes) on an existing Wireless Communication Facility (WCF) (Permit No. 95-0351-58) located in the RM-3-7 Zone within the Linda Vista Community Plan Area and Council District 6.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Planning Commission

ENVIRONMENTAL DETERMINATION: This project is exempt pursuant to the California Environmental Quality Act Section 15301 Existing Facilities.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: This project is exempt because minor exterior alterations would occur, no grading is proposed, and no additional outside improvements are required. In addition the project meets the criteria set forth in CEQA section 15301 which allows for existing facilities and a minimal expansion of use and the exceptions listed in CEQA section 15300.2 would not apply. Therefore, no adverse impacts would occur.

DEVELOPMENT PROJECT MANAGER:

Jeffrey A. Peterson

MAILING ADDRESS:

1222 1st Avenue

San Diego CA 92101 MS 501

PHONE NUMBER:

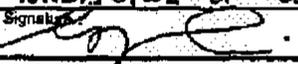
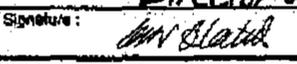
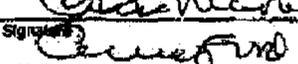
619-446-5237

On September 29, 2010 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice OR 15 business days from the date of the environmental determination.

Applications to appeal CEQA determinations made by the Planning Commission from a Process Two or Three Appeal under SDMC section 112.0506 must be filed in the Office of the City Clerk within 10 business days from the date of the Planning Commission's decision. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

Project Title: <u>SPRINT/CLEARWIRE HEETINGHOUSE</u>	Project No. (For City Use Only): <u>202359</u>
Part II - To be completed when property is held by a corporation or partnership	
Legal Status (please check): <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General) What State? _____ Corporate Identification No. _____ <input type="checkbox"/> Partnership	
By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Corporate/Partnership Name (type or print): <u>Progress Management Co.</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>3847 El Cajon Blvd</u> City/State/Zip: <u>San Diego CA 92115</u> Phone No: <u>658-273-0133</u> Fax No: <u>658-273-4071</u> Name of Corporate Officer/Partner (type or print): <u>George G. Galt</u> Title (type or print): <u>Director of Site Development</u> Signature:  Date: <u>1-6-10</u>	Corporate/Partnership Name (type or print): <u>SPRINT PCS ASSETS, LLC</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant/Lessee Street Address: <u>6391 Sprint Parkway</u> City/State/Zip: <u>Overland Park, KS 66257</u> Phone No: <u>800-357-7641</u> Fax No: _____ Name of Corporate Officer/Partner (type or print): <u>George G. Galt</u> Title (type or print): <u>Director of Site Development</u> Signature:  Date: <u>8/26/10</u>
Corporate/Partnership Name (type or print): <u>Clearwire</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant/Lessee Street Address: <u>4400 Cambou Pt.</u> City/State/Zip: <u>Kirkland, WA 98033</u> Phone No: <u>425-454-1839</u> Fax No: _____ Name of Corporate Officer/Partner (type or print): <u>George G. Galt</u> Title (type or print): <u>Director Market Mgr.</u> Signature:  Date: <u>1/6/10</u>	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____

SPRINT EXECUTIVES

Name	Age	Since	Current Position
Hance, James	65	2007	Chairman of the Board
Hesse, Daniel	57	2007	President, Chief Executive Officer, Director
Brust, Robert	66	2008	Chief Financial Officer
Cowan, Keith	53	2009	President of Strategic Planning and Corporate Initiatives
Elfman, Steven	54	2008	President - Network Operations and Wholesale
Alves, Paget	55	2009	President - Business Markets
Johnson, Robert	55	2009	President - Consumer
Schulman, Daniel	52	2009	President - Prepaid
Bowman, Danny	44	2009	President - Integrated Solutions Group
Carter, Matthew	49	2010	President - 4G
Siurek, Ryan	38	2009	Vice President, Controller, Principal Administrative Officer
Wunsch, Charles	54	2008	General Counsel, Corporate Secretary
Johnson, Robert	51	2007	Chief Service Officer
Bethune, Gordon	68	2004	Director
Hill, V. Janet	62	2005	Director
Bennett, Robert	52	2006	Director
Glassecock, Larry	61	2007	Director
O'Neal, Rodney	56	2007	Director
Nuti, William	46	2008	Director
Nilsson, Sven-Christer	66	2008	Director
Ianna, Frank	61	2009	Independent Director

CLEARWIRE OFFICERS

<u>Title</u>	<u>Name</u>
Chief Executive Officer	William T. Morrow
President & Chief Architect	Barry West
Chief Operating Officer	Perry Satterlee
Chief Financial Officer	David Sach
Senior Vice President & Chief Marketing Officer	Atish Gude
Senior Vice President, Chief Technology Officer	John Saw
Executive Vice President – Strategy, Policy External Affairs	R. Gerard Salemme
Senior Vice President, Chief Strategy Officer	Scott Richardson
Senior Vice President, General Counsel & Secretary	Broady Hodder
Senior Vice President, Finance & Treasurer	Hope Cochran
Senior Vice President, Corporate Development	Scott Hopper
Vice President, Chief Accounting Officer	Robert DeLucia
Vice President, Tax	Steve Ednie
Vice President & Deputy General Counsel	Ross D. Vincenti
Vice President, Regulatory Affairs & Public Policy	Cathleen A. Massey
Assistant Secretary	Nadja Sodos-Wallace
Assistant Secretary	Frederick Williams
Assistant Secretary	Jillian Harrison

**DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
SPRINT/CLEARWIRE WESTINGHOUSE - PROJECT NO. 202359**

Date	Action	Description	City Review Time (Working Days)	Applicant Response
7/8/10	First Submittal	Project Deemed Complete	-	-
8/10/10	First Assessment Letter		23 days	
9/10/10	Second Submittal			22 days
9/22/10	Second Review Completed		8 days	
9/29/10	Environmental Exemption Determination	Date of Notice of Right to Appeal Environmental Determination	5 days	
11/18/10	Public Hearing	First available date	35 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	71 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		22 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	93 working days (133 calendar days)	