



THE CITY OF SAN DIEGO REPORT TO THE PLANNING COMMISSION

DATE ISSUED: April 5, 2012 **REPORT NO.** PC-12-039

ATTENTION: Planning Commission, Agenda of April 12, 2012

SUBJECT: MONUMENT FLAG POLE - PROJECT NO. 262168- PROCESS 5

APPLICANT: Hillcrest Business Association

SUMMARY

Issue: Should the Planning Commission recommend City Council approval of the construction of a flag pole within an existing median located at Normal Street and University Avenue within the Uptown Community Planning Area?

Staff Recommendation: Recommend Approval of Site Development Permit No. 923086.

Community Planning Group Recommendation: The Uptown Planners voted 8-6 on February 17, 2012 recommending approval with no additional conditions (Attachment 9).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (new construction or conversion of smaller structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 16, 2012 and the opportunity to appeal that determination ended March 30, 2012.

Fiscal Impact Statement: None with this action; the costs of processing this project have been paid by the applicant through a deposit account.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.

BACKGROUND

The 421-square-foot project site is located within an existing median at the intersection of Normal Street and University Avenue (Attachment 1). The site is also within the CN-2A Zone of the Mid-City Communities Planned District, the Federal Aviation Administration Part 77 Noticing Area, and the Residential Tandem Parking Overlay Zone, within the Uptown Community Plan (Attachment 2). The site is currently within a Maintenance Assessment District (MAD) managed by the City of San Diego Park and Recreation Department.

The surrounding area consists of buildings ranging from one to five stories with a mix of uses including residential, retail and commercial. Normal Street is classified as a Four Lane Collector by the Uptown Community Plan. The entire width of the Normal Street right-of-way is 150 feet.

Prior to 2010, Normal Street between University Avenue and Blaine Avenue was a four-lane, 110-foot wide street with angled parking zones on both sides of the street and contained a raised center median. In 2010, Normal Street between University Avenue and Blaine Avenue was reconfigured to be a two-lane 110-foot wide street with angled parking on both sides and a reconfigured median and angle parking in the middle of the street. The reconfiguration demolished the previously existing asphalt concrete raised median and installed a new raised median with landscaping and irrigation, 15, 2-hour metered angled parking spaces at the east side of median, installed three new pedestrian ramps, plus two new disabled parking spaces on the east curb of Normal Street and upgraded two existing pedestrian ramps.

DISCUSSION

The project proposes to construct a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. The project also proposes seating elements and an aluminum fabricated monument at the base of the flag pole. The location of the proposed encroachments will be within the existing median and will require the removal of existing landscape improvements to allow for the installation on the flag pole, walking area, and bollards.

The applicant will be responsible for all maintenance for the proposal. In addition, the applicant, the Hillcrest Business Association, has met with Park and Recreation staff to commit to being responsible for all aspects of construction, irrigation, plant materials, keeping irrigation systems in operation during the construction, and maintaining the area around the flagpole in perpetuity, including the monument flagpole, flag, seating area and paving related to the project including raising and lowering the flag (Attachment 11). There are no other flags proposed to be flown on this flag pole at this time and there will be no lighting of the flag. The applicant has requested the flag be flown at half mast during different periods of time.

The existing parking on this block primarily supports the businesses along University Avenue. While these businesses rely on a high percentage of walking customers, they are benefited by the presence and visibility of parking along the median. The addition of a flag pole will add to the visibility of the reconstructed median and parking area.

The proposed project requires a Process 5, Site Development Permit and requires City Council approval in accordance with San Diego Municipal Code Section 129.0710 (c). An encroachment displaying a flag that is not a national flag or a political subdivision thereof (i.e., state, county or City flag) warrants City Council consideration of the encroachment request.

The proposed project received a determination of no hazard from the Federal Aviation Administration on March 8, 2012.

Community Plan Analysis:

The Uptown Community Plan designates the project site within the Normal Street Right-of-Way. Although the Uptown Community Plan does not provide any specific recommendations for the installation of monument flags, the Urban Design Element of the community plan recommends that the excess right-of-way of Normal Street be developed as a linear mini park. The proposal for a flag type monument which would be located within an existing landscaped median would be consistent with this recommendation as the proposed flagpole monument could be seen as a contributing element to a potential linear park setting and would not preclude the development of a future linear park across the remainder of the Normal Street right-of-way.

The Uptown Community Plan goals include improving the pedestrian and vehicular quality of the streetscape through the design of new development, public improvements, landscaping, and coordinated street plantings. The proposed project would meet this objective through the incorporation of a 6-foot tall monument at the base of the flagpole that tapers in height; by providing seating bollards; and by incorporating an 18-foot by 12-foot flag consistent with U.S. Government recommendations for flag size. Initially during the proposed project's review, a flag measuring 30 feet by 20 feet was proposed. However, due to concerns over issues related to pedestrian scale and visual impacts, the flag was reduced to a size that is considered typical for its proposed pole height and acceptable in scale. As proposed, the project would not adversely impact the goals, objectives, or recommendations in the Uptown Community Plan.

CONCLUSION

Staff has reviewed the application for the Site Development Permit and determined that the proposed project complies with the applicable sections of the Municipal Code. Staff has determined the required findings would support the decision to approve the proposed project (Attachment 4). Therefore, staff recommends that the Planning Commission recommend the City Council approve the Site Development Permit as conditioned.

ALTERNATIVES:

1. Recommend approval of Site Development Permit No. 923086, with modifications.
2. Recommend denial of Site Development Permit No. 923086, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



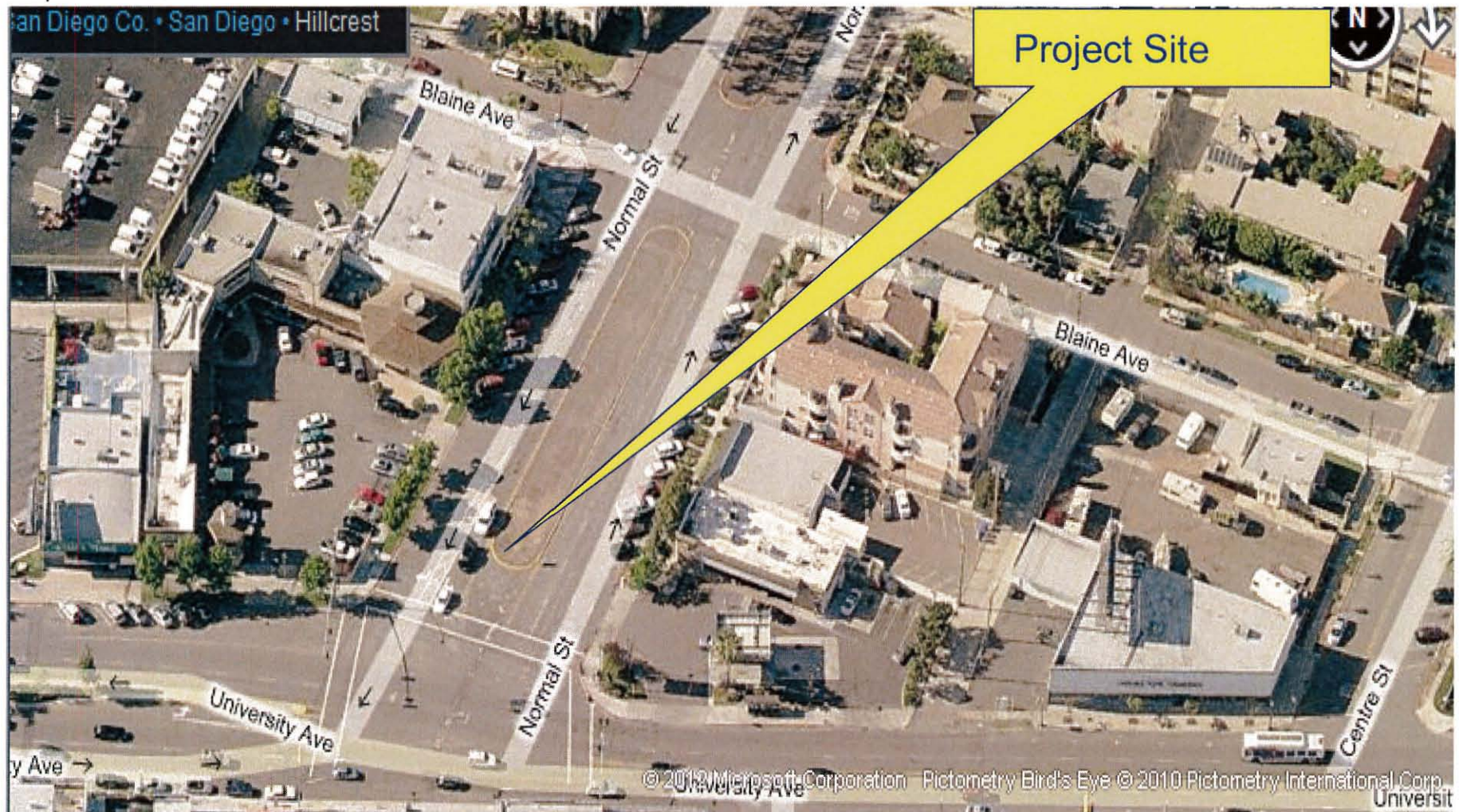
Mike Westlake
Program Manager
Development Services Department



Renee Mezo
Project Manager
Development Services Department

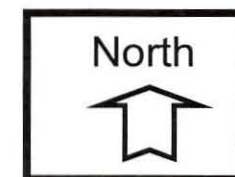
Attachments:

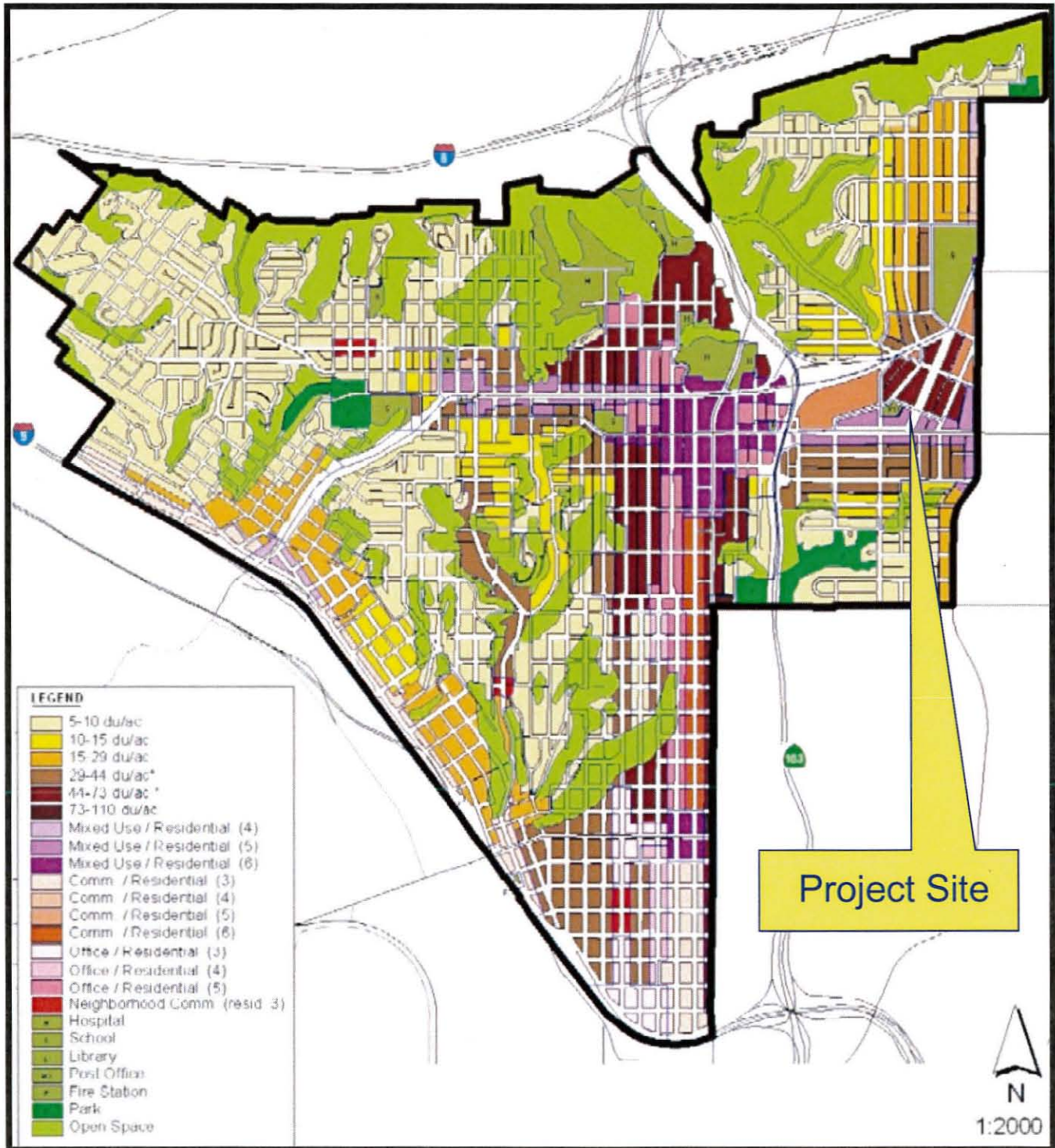
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Site Plans
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Memo dated 1/31/2012 from the Hillcrest Business Association
12. Photo simulations



Aerial Photo

MONUMENT FLAG- NORMAL & UNIVERSITY AVENUE
PROJECT NO. 262168





Land Use Map

MONUMENT FLAG- NORMAL & UNIVERSITY AVENUE

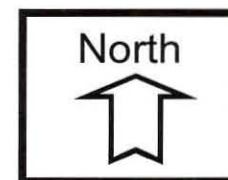
PROJECT NO. 262168





Project Location Map

MONUMENT FLAG- NORMAL & UNIVERSITY AVENUE
PROJECT NO. 262168



PROJECT DATA SHEET

PROJECT NAME:	Monument Flag Pole	
PROJECT DESCRIPTION:	construction of a flag pole within an existing median located at Normal Street and University Avenue	
COMMUNITY PLAN AREA:	Uptown Community Planning Area	
DISCRETIONARY ACTIONS:	Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	The Urban Design Element of the community plan recommends that the excess right-of-way of Normal Street be developed as a linear mini park.	
<p style="text-align: center;"><u>ZONING INFORMATION:</u></p> <p style="text-align: center;">ZONE: CN-2A Zone of the Mid-City Communities Planned District</p> <p style="text-align: center;">HEIGHT LIMIT: 30-Foot maximum height limit.</p> <p style="text-align: center;">LOT SIZE: 6,000 square-foot minimum lot size.</p> <p style="text-align: center;">FLOOR AREA RATIO: 0.75 maximum.</p> <p style="text-align: center;">FRONT SETBACK: 15 feet.</p> <p style="text-align: center;">SIDE SETBACK: 5 feet.</p> <p style="text-align: center;">STREETSIDE SETBACK: 10 feet.</p> <p style="text-align: center;">REAR SETBACK: 15 feet.</p> <p style="text-align: center;">PARKING: none required</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Existing right-of-way/Commercial; CN-2A.	University Avenue
SOUTH:	Existing right-of-way; CN-2A.	Normal Street
EAST:	Commercial; CN-2A.	7-11
WEST:	Commercial; CN-2A.	Commercial Retail
DEVIATIONS OR VARIANCES REQUESTED:	none	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Uptown Planners voted 8-6 on February 17, 2012 recommending approval with no additional conditions.	

PLANNING COMMISSION RESOLUTION NO. XXXX-PC

RECOMMENDING TO THE CITY COUNCIL APPROVAL OF
SITE DEVELOPMENT PERMIT NO. 923086
MONUMENT FLAG - PROJECT NO. 262168
DRAFT

WHEREAS, on April 12, 2012, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering and recommending to the Council of the City of San Diego approval and adoption of Site Development Permit No. 923086; and

WHEREAS, the Hillcrest Business Improvement Association, Permittee, requested Site Development Permit No. 923086, for the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag; and

WHEREAS, the Planning Commission of the City of San Diego has considered all exhibits and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing;
NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby recommends to the Council of the City of San Diego approval and adoption of the Site Development Permit No. 923086.

Site Development Permit Findings - Section 126.0504 (a)

1. The proposed development will not adversely affect the applicable land use plan.

The proposed project is the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. The site is in the CN-2A Zone of the Mid-City Communities Planned District, the Federal Aviation Administration Part 77 Noticing Area, and the Residential Tandem Parking Overlay Zone, within the Uptown Community Plan.

Although the Uptown Community Plan does not provide specific recommendations for the installation of monument flags, the Urban Design Element of the community plan recommends that the excess right-of-way of Normal Street be developed as a linear mini park. The proposal for a flag type monument which would be located within an existing landscaped median would be consistent with this recommendation as the proposed flagpole monument could be seen as a contributing element to a potential linear park setting and would not preclude the development of a future linear park across the remainder of the Normal Street right-of-way.

The Uptown Community Plan goals include improving the pedestrian and vehicular quality of the streetscape through the design of new development, public improvements, landscaping, and coordinated street plantings. The proposed project would meet this objective through the incorporation of a 6-foot tall monument at the base of the flagpole that tapers in height; by providing seating bollards; and by incorporating an 18-foot by 12-foot flag consistent with U.S. Government recommendations for flag size. Initially during the proposed project's review, a flag measuring 30 feet by 20 feet was proposed. However, due to concerns over issues related to pedestrian scale and visual impacts, the flag was reduced to a size that is considered typical for its proposed pole height and acceptable in scale. As proposed, the project would not adversely impact the goals, objectives, or recommendations in the Uptown Community Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project is the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. The site is in the CN-2A Zone of the Mid-City Communities Planned District, the Federal Aviation Administration Part 77 Noticing Area, and the Residential Tandem Parking Overlay Zone, within the Uptown Community Plan.

The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (new construction or conversion of smaller structures. All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code and City regulations governing the construction and continued operation of the development apply to this project to prevent adverse affects to those persons or properties in the vicinity of the project. Therefore the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed project is the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. The site is in the CN-2A Zone of the Mid-City Communities Planned District, the Federal Aviation Administration Part 77 Noticing Area, and the Residential Tandem Parking Overlay Zone, within the Uptown Community Plan.

The proposed project complies with all applicable development regulations of the CN-2A Zone and no deviations are proposed. The maximum height as established by the Interim Height Ordinance within this area of the Mid City Communities Plan District is 65 feet. The flag pole has been designed to not exceed the 65-foot height limit. Therefore the proposed project will comply with applicable regulations of the Land Development Code.

Supplemental Findings Public Right-of-Way Encroachments –Section 126.0504 (o)

- 1. The proposed encroachment is reasonably related to public travel, or benefits a public purpose, or all record owners have given the applicant written permission to maintain the encroachment on their property.**

The proposed project is the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. The median has been designed to provide a landscape separation between northbound and southbound traffic on Normal Street. The flag pole relates to public travel by further improving the landscape median. The project will benefit the public by providing a location for the display of a flag. The Permittee has received written approval from the Southland Corporation owner of the 7-11 to the east and written approval from the managing partner of the Hillcrest Village Partnership owner of the lot to the west. Therefore the proposed project will reasonably relate to public travel, benefit a public purpose, and has written approval from the relevant property owners.

- 2. The proposed encroachment does not interfere with the free and unobstructed use of the public right-of-way for public travel.**

The proposed project is the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. The median has been designed to provide a landscape separation between northbound and southbound traffic on Normal Street. The flag will be entirely located within the existing landscaped portion of the median. Existing walkways within the median will not be displaced. The traffic lanes of travel will not be altered by this project. Therefore the proposed project will not interfere with the free and unobstructed use of the public right-of-way for public travel.

- 3. The proposed encroachment will not adversely affect the aesthetic character of the community.**

The proposed project is the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. The flag pole monument has been designed to include a fabricated base, seating elements, and additional landscape. The proposed size or dimensions of the flag is consistent with standards for flags flown on a 65-foot tall flag pole. Therefore the proposed project will no adversely affect the aesthetic character of the community.

4. The proposed encroachment does not violate any other Municipal Code provisions or other local, state, or federal law.

The proposed project is the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. The site is in the CN-2A Zone of the Mid-City Communities Planned District, the Federal Aviation Administration Part 77 Noticing Area, and the Residential Tandem Parking Overlay Zone, within the Uptown Community Plan.

The proposed project complies with all applicable development regulations of the CN-2A Zone and no deviations are proposed. The maximum height as established by the Interim Height Ordinance within this area of the Mid City Communities Plan District is 65 feet. The flag pole has been designed to not exceed the 65-foot height limit.

The project is subject to Part 77 review by the Federal Aviation Administration (FAA). The height of the structure has been approved by the FAA and is conditioned by this permit to notify the FAA after construction is complete.

The project has been conditioned to comply with all regulations of any other applicable governmental agency. Therefore the proposed encroachment does not violate any other Municipal Code provision or other local, state, or federal law.

5. For coastal development in the coastal overlay zone, the encroachment is consistent with Section 132.0403 (Supplemental Use Regulations of the Coastal Overlay Zone).

The proposed project is the construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag. This location is not located within the Coastal Overlay Zone. Therefore this finding is not applicable to this project.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department Site Development Permit No. 923086, are hereby GRANTED by the Development Services Department, to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 923086, a copy of which is attached hereto and made a part of.

Renee Mezo
Development Project Manager
Development Services

Adopted on: April 12, 2012

Job Order No. 24002306

cc: Legislative Recorder, Planning Department

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002306

SITE DEVELOPMENT PERMIT NO. 923086
MONUMENT FLAG, PROJECT NO. 262168
CITY COUNCIL
DRAFT

This Site Development Permit No. 923086 is granted by the City Council of the City of San Diego to the HILLCREST BUSINESS IMPROVEMENT ASSOCIATION, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0503 and 129.0710. The 421-square-foot project site is located within an existing median at the intersection of Normal Street and University Avenue. The site is within the CN-2A Zone of the Mid-City Communities Planned District, the Federal Aviation Administration Part 77 Noticing Area, and the Residential Tandem Parking Overlay Zone, within the Uptown Community Plan. The project site is legally described as: A portion of the public right-of-way located within a median and specifically within Normal Street north of the intersection of Normal Street and University Avenue and south of Blaine Avenue as shown on Exhibit "A" dated _____, on file in the Development Services Department.

Subject to the terms and conditions set forth in this Permit, permission is granted to Permittee to erect and maintain a flag pole and flag: described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated _____, on file in the Development Services Department.

The project shall include:

- a. Construction of a 65'-high flag pole within the southern section of the median located at the intersection of Normal Street and University Avenue to display an 18-foot by 12-foot Pride Rainbow flag;
- b. Seating elements;

- c. An aluminum fabricated monument at the base of the flag pole;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

8. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AIRPORT REQUIREMENTS:

10. Within 5 days after construction reaches its greatest height FAA Form 7460-2, Notice of Actual Construction or Alteration shall be completed and returned to the FAA Southwest Regional Office.

11. There will be no lighting of the flag.

ENGINEERING REQUIREMENTS:

12. A public right-of-way permit shall be obtained for the construction of the private improvements shown on the Exhibit 'A,' satisfactory to the City Engineer.

13. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards, satisfactory to the City Engineer.

14. This project proposes to export material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

15. Flag(s) displayed on the flagpole shall be flown such that there is no less than eight (8) feet of vertical clearance above the pedestrian walkway nor less than 15 feet of vertical clearance above the abutting travel way of Normal Street, satisfactory to the City Engineer.

PLANNING/DESIGN REQUIREMENTS:

16. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

17. The size of the flag shall not exceed 18 feet by 12 feet.

18. The flag and flag pole shall be maintained in a clean and safe condition.

19. The Permittee shall not allow the flag to fade, tear, or otherwise be in a condition of disrepair.

20. The height of the flag pole shall not exceed 65 feet above grade.

21. This permit shall allow for the Permittee to recognize donors by including their names on the base of the flag pole. The recognition of the donors shall be of uniform size and text. The use of business or corporate logos shall be prohibited.

22. The encroachment shall be installed and maintained in a safe and sanitary condition at the sole cost, risk and responsibility of the owner and successors in interest and shall not adversely affect the public's health, safety or general welfare.

23. The property owner shall agree to indemnify the City with an indemnification agreement satisfactory to the City Manager and City Attorney.

24. The Permittee must agree to remove or relocate the encroachment within 30 days after notice by the City Engineer or the City Engineer may cause such work to be done.

25. The Permittee agrees to provide an alternate right-of-way or to relocate any existing or proposed City facility to a new alignment, all without cost or expense to the City, whenever it is

determined by the City Engineer that any existing or proposed City facility cannot be economically placed, replaced, or maintained due to the presence of the encroaching structure.

26. Whatever rights and obligations were acquired by the City with respect to the rights-of-way shall remain and continue in full force and effect and shall in no way be affected by the City's grant of permission to construct and maintain the encroaching structure.

27. The Permittee owner shall maintain a policy of \$1 million liability insurance, satisfactory to the City Engineer, to protect the City from any potential claims which may arise from the encroachment.

28. In the event the City is required to place, replace, or maintain a public improvement over which the Permittee has constructed an encroaching structure, the Permittee shall pay the City that portion of the cost of placement, replacement, or maintenance caused by the construction, or existence of the Permittee's permanent encroaching structure.

29. The Permittee shall pay the City for all the cost of placing, replacing, or maintaining a public improvement within the public right-of-way when the City's facility has failed as a result of the construction or existence of the Permittee's encroaching structure.

30. The costs of placing, replacing, or maintaining the public improvement shall include the cost of obtaining a necessary alternate easement.

31. The Permittee shall pay the City or public utility for all cost of relocating, replacing, or protecting a facility within the public right-of-way when such relocation, replacement, or protection results from the construction of the encroachment.

32. No alterations to the design, location and materials, shall be permitted unless approved by the City Manager.

PARK AND RECREATION REQUIREMENTS:

33. The Park and Recreation Department Prior shall review and approve the construction plans prior to building permit issuance, the Owner/Permittee shall insure that reviews and approves

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of

the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on _____ by Resolution No. XXXX.

NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT NO.: PTS# 262168

PROJECT TITLE: MONUMENT FLAG POLE

PROJECT LOCATION-SPECIFIC: Normal St. and University Ave., San Diego, CA 92103

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A Site Development Permit (Process 5) to construct a 65-ft. high flag pole in the existing median at Normal Street and University Avenue in the Uptown Community Plan.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Benjamin Nicholls, Hillcrest Business Association
 3737 Fifth Ave.
 San Diego, CA 92103
 (619) 299-3330

EXEMPT STATUS: (CHECK ONE)

- () MINISTERIAL (SEC. 21080(b)(1); 15268);
 () DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
 () EMERGENCY PROJECT (SEC. 21080(b)(4); 15269(b)(c))
 (X) CATEGORICAL EXEMPTION; SECTION 15303 OF THE STATE CEQA GUIDELINES: NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES
 () STATUTORY EXEMPTIONS;

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an initial study which determined that the proposed flag pole and flag is located in an urbanized area and the proposed project does not involve any physical changes which would affect sensitive environmental resources. Section 15303 of the State CEQA Guidelines exempts small structures and facilities which have no sensitive species, endangered habitat, or other environmental effects. The pole and flag are not incompatible with existing development in the vicinity since the proposed project will not exceed the U.S. Government General Services Department recommendations for proportional sizes of the flag to the pole. Therefore, none of the exceptions listed in CEQA Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: Jean Cameron

TELEPHONE: (619) 446-5379

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 () YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA


 JEAN CAMERON/SENIOR PLANNER


 DATE

CHECK ONE:

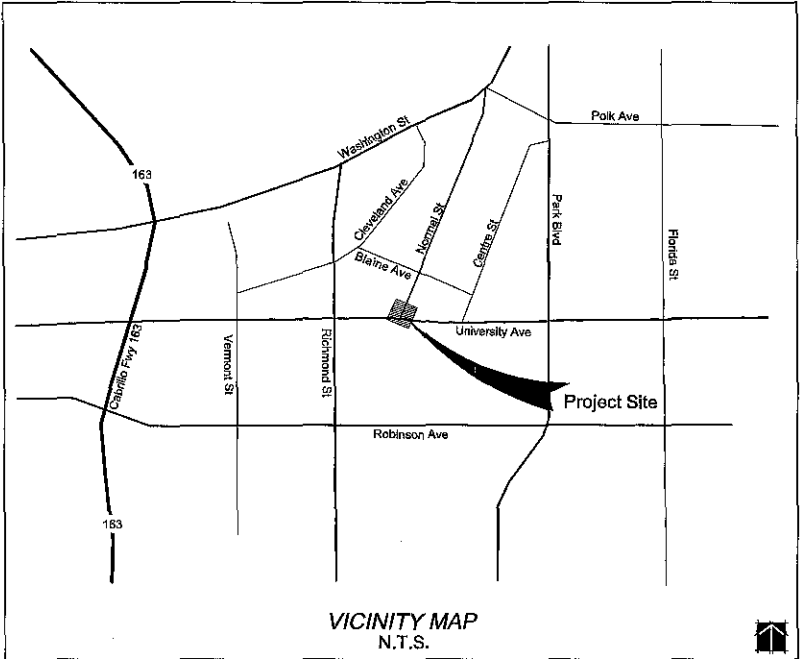
- (X) SIGNED BY LEAD AGENCY
 () SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

landscape architectural plans for:
pride flag pole & monument
city of san diego

GENERAL CONDITIONS SHORT FORM

1. **PROTECTION OF LIFE AND PROPERTY**
Contractor shall protect all construction and landscaping from damage and, when required, provide guards or covering. Any damage shall be repaired or replaced at the Contractor's expense. Contractors on the job shall carry the following Insurance: (a) Worker's Compensation, (b) Public Comprehensive General Liability, and (c) Property Damage. In an emergency threatening the safety of life, work or adjoining property, the Contractor is hereby instructed to act at his discretion to prevent such loss or injury and shall maintain the following minimum liability insurance coverage during the contract period.
- COVERAGE**
Bodily Injury \$250,000 per Individual, per Occurrence
Property Damage \$100,000 per Occurrence, aggregate
2. The Contractor shall cause to be named as additional insured in such Contractor's Public Liability, Contractor's Protective Liability and Automobile Liability Insurance policies the following: (a) Hillcrest Business Association, 3737 Fifth Ave Ste 202, San Diego, CA 92103 (b) Urban Green, 111 W Pennsylvania Ave. Unit 2A, San Diego, CA 92103
3. Contractor shall not cause this policy to be canceled or permit it to lapse, and the insurance policy shall include a clause to the effect that the policy shall not, at any time during the construction period, be canceled or reduced, restricted or limited until fifteen (15) days after all additional insureds have received written notice as evidenced by returned receipts of registered or certified letters.
4. The Contractor agrees to hold the Owner and Landscape Architect harmless from any claims arising out of his operations of any of his subcontractors, material supplies, or agents.
5. All local, municipal and state laws, rules and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these specifications and their provisions shall be carried out by the contractor.
6. The contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The locations of utilities, structures and services shown in these plans are approximate only. Any discrepancies between these plans and actual field conditions shall be reported to the owner, general contractor (if any) or landscape architect.
7. The contractor shall protect all existing utilities and features to remain on, and adjacent to, the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.
8. The contractor shall obtain the pertinent engineering and/or architectural plans before beginning work.
9. Permits for any construction depicted in these plans shall be obtained by the contractor.
10. Contractor shall have a valid contractors license required for the particular work being done. Contractor shall not allow the license(s) to lapse during the contract period.
11. Contractor shall notify Underground Service Alert (800) 442-4133 before start of construction (2 working days or 48 hours).
12. Contractor shall verify existing location of utilities as necessary to identify location.
13. Contractor shall protect in place all existing trees, hedges and shrubs unless otherwise noted on the plans.
14. Contractor shall verify all elevations noted on the construction plans in the field. any discrepancies shall be reported to the owner, general contractor (if any) and landscape architect.
15. Contractor is to assure proper drainage away from structures and to drain inlets shown on the plans. Contractor is responsible for locating drain lines and daylight locations to the street or existing/proposed drain lines. Locate drain lines away from footings of flag pole or other appurtenances shown on the plans or shown on other consultants' plans.



HOLD HARMLESS AND INDEMNIFICATION CLAUSE
CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION, AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

SHEET	SHEET INDEX	DWG. NUM
TITLE SHEET		1
EXISTING CONDITIONS SITE PLAN		2
CONSTRUCTION PLANS & ELEVATION		3
CONSTRUCTION DETAILS & NOTES		4

PLANS PREPARED FOR:
HILLCREST BUSINESS ASSOCIATION
3737 FIFTH AVENUE SUITE 202
SAN DIEGO CA 92103
619-299-3330

PLANS PREPARED BY:
URBAN GREEN
111 W PENNSYLVANIA NO. 2A
SAN DIEGO, CA 92103
(619) 995-1306
MICHAEL BRENNAN, LLA | LEED AP
MICHAEL@GOURBANGREEN.COM

- SCOPE OF WORK**
A SITE DEVELOPMENT PERMIT FOR THE INSTALLATION OF :
- 65' FLAG POLE WITHIN EXISTING IMPROVED MEDIAN
 - SMALL PATIO AT FLAG POLE BASE
 - SEATING / BOLLARD ELEMENTS
 - SHEET ALUMINUM FABRICATED MONUMENT AT BASE OF FLAG POLE
 - REQUIRES REMOVAL OF SMALL PLANTINGS WITHIN THE FLAG POLE FOUNDATION & PATIO FOOTPRINT
 - REQUIRES MODIFICATION OF EXISTING IRRIGATION SYSTEM

- PROPERTY OWNER**
- THIS PROJECT IS LOCATED WITHIN CITY OF SAN DIEGO RIGHT OF WAY
- SITE AREA**
- THE SCOPE OF THIS PROJECT INCLUDES APPROXIMATELY 421 S.F. OF AREA WITHIN THE LIMIT OF WORK
 - THE EXISTING MEDIAN HARDSCAPE AND PLANTING WAS CONSTRUCTED IN 2010

REVISIONS	
ORIG DATE	11-02-11
SECOND SUBMITTAL	1-09-12
THIRD SUBMITTAL	3-09-12
DRAWN	MB
APPROVED	MB
JOB NO.	11-011
PLOT DATE	3-08-12
SCALE	AS SHOWN

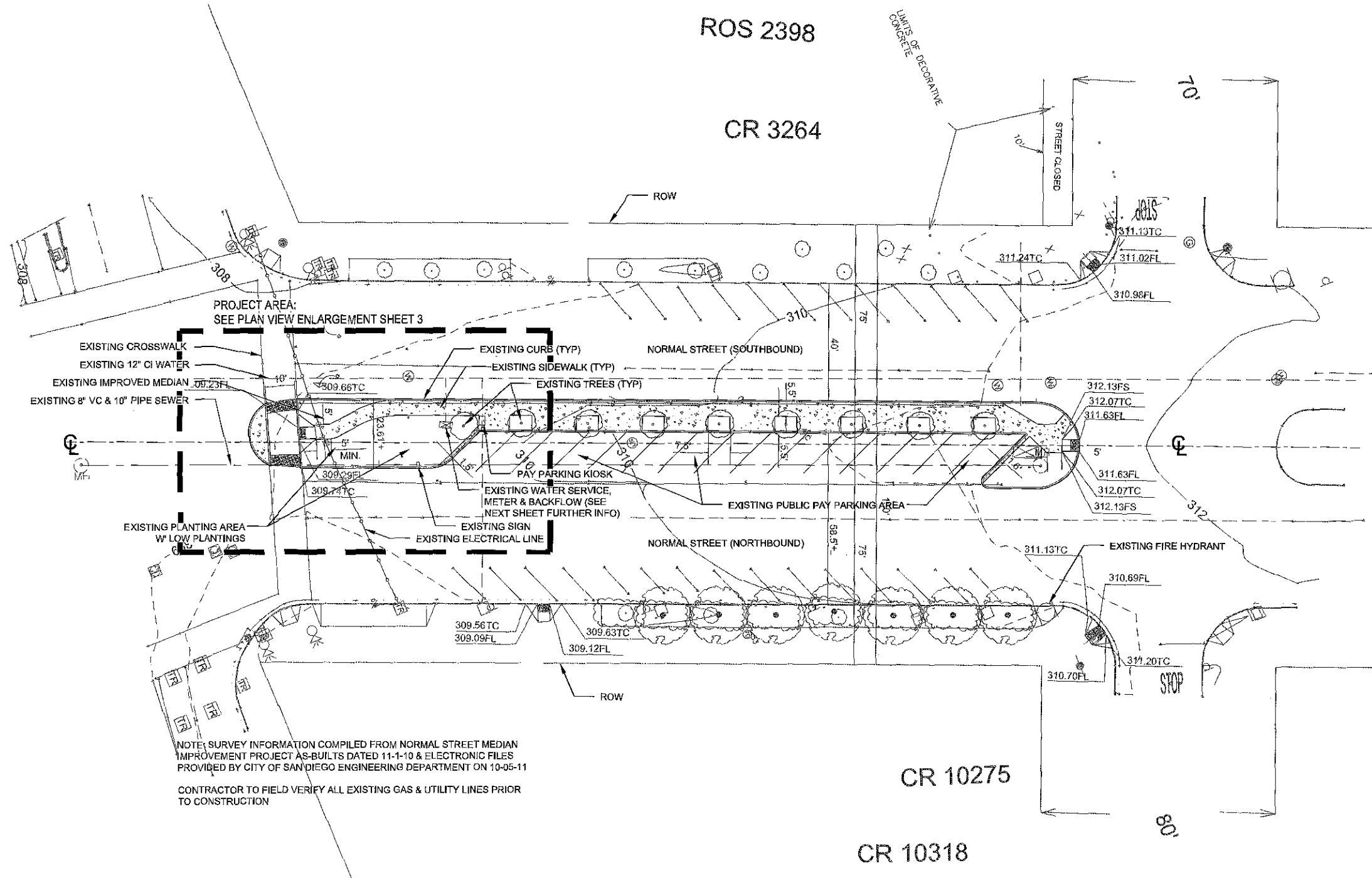
urbangreen
111 W PENNSYLVANIA AVE #2A
SAN DIEGO CA 92103
619.995.1306
MICHAEL@GOURBANGREEN.COM

NOTE: BEFORE ANY EXCAVATION BEGINS
CALL DIG ALERT @ 1-800-227-2600

PRIVATE CONTRACT
MEDIAN IMPROVEMENT HARDSCAPE PLANS FOR:
PRIDE FLAG POLE & MONUMENT
TITLE SHEET



1



EXISTING UTILITIES	SYMBOL
FIRE HYDRANT	
SEWER MANHOLE	
TRAFFIC CONTROL PULL BOX	
SIGN	
WATER METER	
GATE VALVE	
TRAFFIC SIGNAL	
TELEPHONE M.H. VAULT	
ELECTRICAL PULL BOX	
ELECTRIC POLE W/UG W/ STREET LIGHT	
WATER MAIN	
SEWER MAIN	
ELECTRICAL LINE	

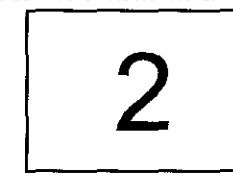
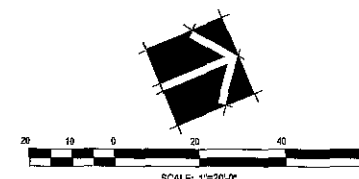
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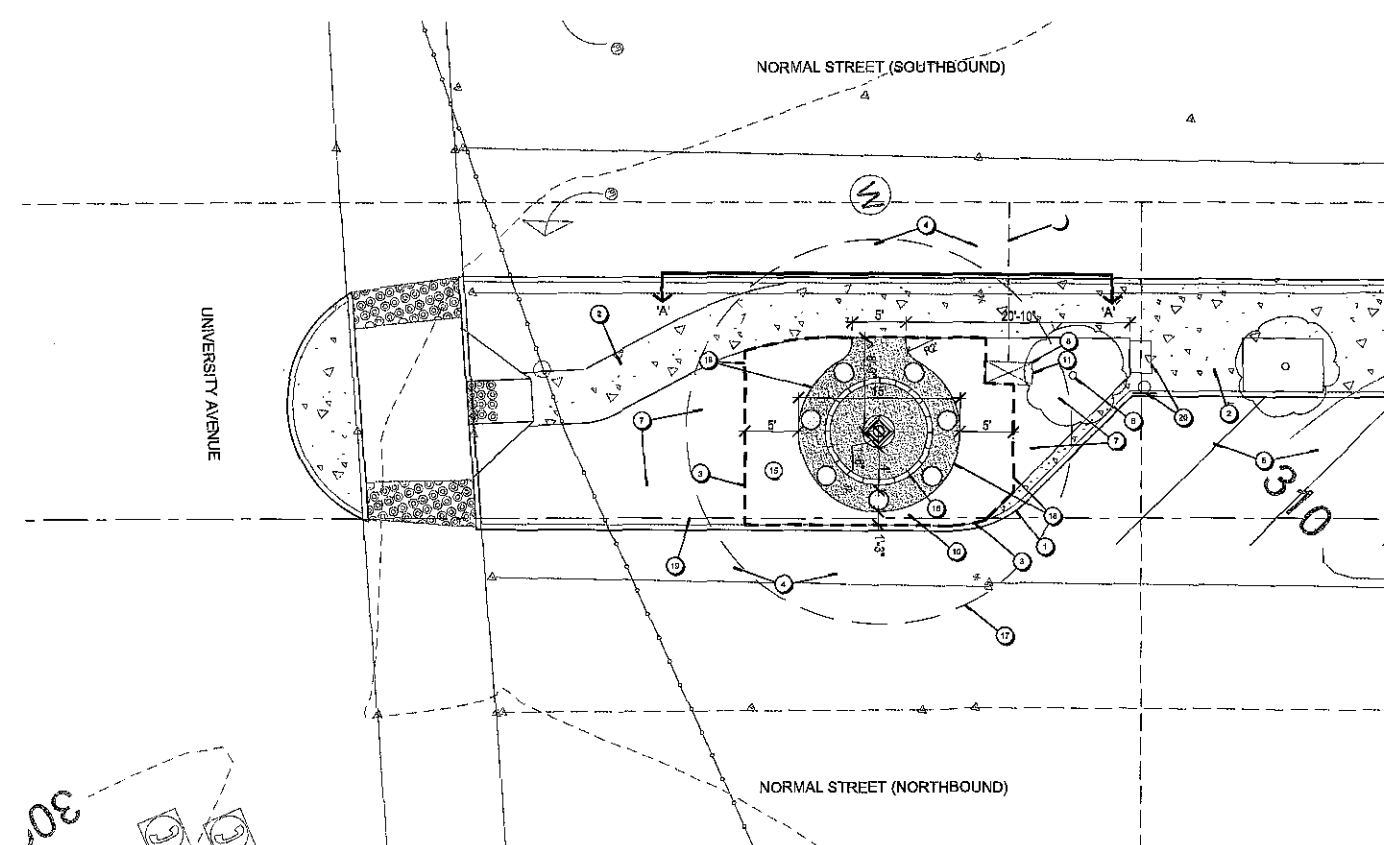
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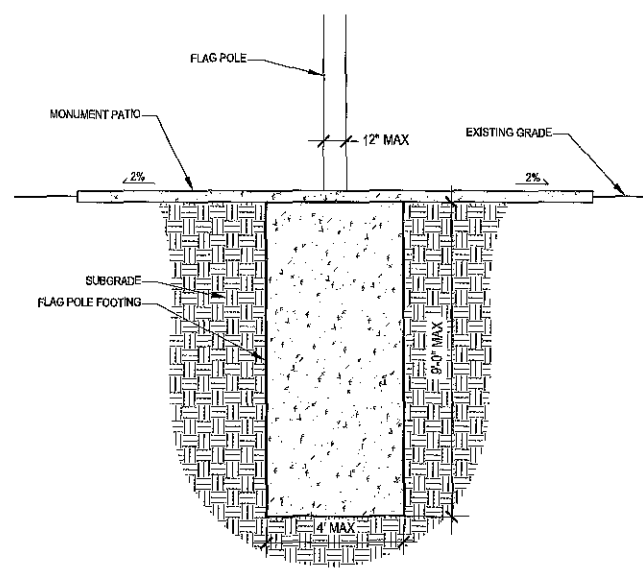
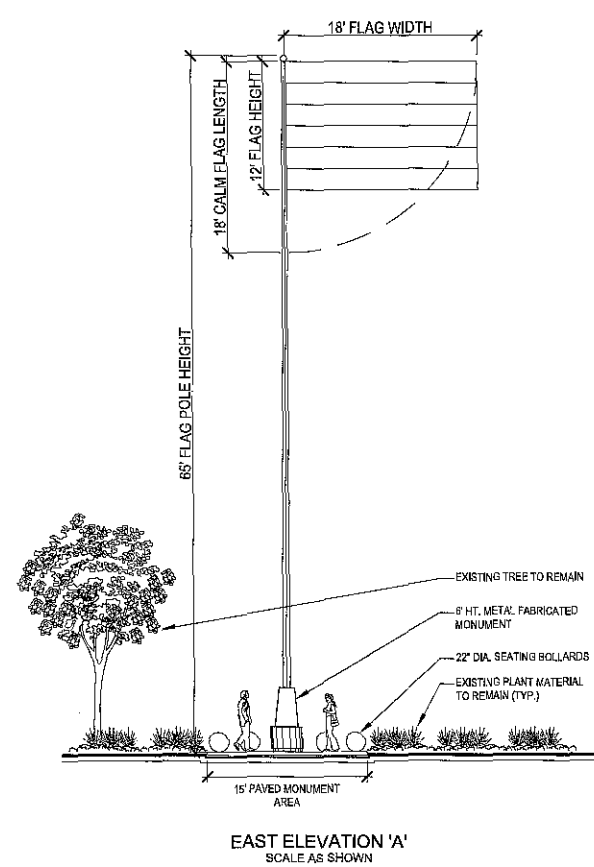
PRIVATE CONTRACT
MEDIAN IMPROVEMENT HARDSCAPE PLANS FOR:
PRIDE FLAG POLE & MONUMENT
EXISTING CONDITIONS SITE PLAN



SHEET 2 OF 4



30



FOOTING NOTE: FINAL FOOTING & FLAG POLE DESIGN TO BE PREPARED BY SUNWARD FLAG 858.589.8444. URBAN GREEN IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION SPECIFICATIONS OF THE FLAG POLE, FLAG POLE FOOTING, SOILS TESTING OR SUBGRADE CONDITIONS/PREPARATION. THE ABOVE DEPICTION OF THE FLAG POLE FOUNDATION IS FOR PLANNING AND APPROVAL PURPOSES AND REPRESENTS DESIGN PARAMETERS PROVIDED BY SUNWARD FLAG.

- 1 EXISTING CURB TO BE PROTECTED IN PLACE - ANY CURB DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED IN-KIND AT CONTRACTOR'S EXPENSE
- 2 EXISTING ADA ACCESSIBLE SIDEWALK TO BE PROTECTED IN PLACE AND REMAIN ACCESSIBLE THROUGHOUT CONSTRUCTION - ANY SIDEWALK DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED IN-KIND AT CONTRACTOR'S EXPENSE
- 3 LIMIT OF WORK CONSTRUCTION FENCING
- 4 EXISTING ASPHALT STREET PAVING - ANY ASPHALT DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED IN-KIND AT CONTRACTOR'S EXPENSE
- 5 PUBLIC PAY PARKING SPACES SHALL REMAIN OPEN AND ACCESSIBLE DURING CONSTRUCTION ACTIVITIES
- 6 EXISTING TREE TO BE PROTECTED IN PLACE THROUGHOUT CONSTRUCTION ACTIVITIES - ANY DAMAGES TO THE TREE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR - REGULAR WATERING OF EXISTING TREES AND PLANT MATERIAL SHALL CONTINUE THROUGH THE CONSTRUCTION PROCESS
- 7 EXISTING PLANTING AREA TO REMAIN PROTECTED IN PLACE - ANY DAMAGED PLANTS OUTSIDE THE FOOTPRINT OF THE MONUMENT AREA SHALL BE REPLACED IN LIKE AND KIND AT CONTRACTOR'S EXPENSE - REGULAR WATERING OF PLANTS WITHIN THE MEDIAN SHALL CONTINUE THROUGH THE CONSTRUCTION PROCESS
- 8 APPROX. LOCATION OF EXISTING 1" METER, 1.5" BACKFLOW PREVENTER ASSEMBLY/ENCLOSURE & VALVES
- 9 EXISTING 1" SERVICE LINE
- 10 EXISTING SIGN - CONTRACTOR SHALL PROTECT IN PLACE
- 11 APPROX. LOCATION OF LEIT 4006 (6 STATION) IRRIGATION CONTROLLER - PROTECT IN PLACE - ADJUSTMENTS TO TIMER SHALL BE COORDINATED THROUGH CITY LANDSCAPE MAINTENANCE SUPERVISOR
- 12 65' FLAG POLE BASE - REFER TO SHOP DRAWINGS PROVIDED BY FLAG POLE INSTALLATION CONTRACTOR FOR FOOTING INFORMATION AND FULL CONSTRUCTION SPECIFICATIONS
- 13 6' HT. FABRICATED INFORMATIONAL MONUMENT - CIRCULAR DESIGN SHALL WRAP AROUND BASE OF FLAG POLE WITH SOLID SHEET ALUMINUM SEGMENTS ETCHED WITH CULTURALLY / HISTORICALLY SIGNIFICANT LGBT COMMUNITY INFORMATION AND DONOR RECOGNITION - SEE DETAIL C4
- 14 22" DIA. SPHERICAL BOLLARDS FOR SEATING AND TO PROTECT FLAG POLE / MONUMENT BASE FROM VEHICULAR DAMAGE - BOLLARDS TO BE MODEL QR-22SP COLOR C1-T7 SEALER MT AVAILABLE THROUGH QUICKCRETE 951.737.8240
- 15 CONCRETE PAVING TO MATCH EXISTING SIDEWALK - ADA ACCESSIBLE PATH SHALL BE MAINTAINED THROUGHOUT THE PAVING AREA FROM THE EXISTING WALKWAY AROUND THE FLAG POLE / MONUMENT - SURFACE TO SLOPE TOWARD PLANTING AREAS - INTEGRAL COLOR SCOFIELD 'CHARCOAL' - FINISH TO BE BUFF WASH/EXPOSE AGGREGATE #100, SUBMIT 2'X2' SAMPLE TEST PANEL PRIOR TO START OF PAVING - SEE DETAIL A,B/4
- 16 MONUMENT DONOR RECOGNITION TILES - PROPOSED TO BE CUSTOM ETCHED BLACK GRANITE TILES SET FLUSH WITH SURROUNDING FINISH PAVING - GROUT TO BE OBP BLACK 250 AVAILABLE THROUGH THOMPSON BUILDING MATERIALS619.287.9410
- 17 18' DIAMETER - FULLY EXTENDED FLAG FOOTPRINT
- 18 PLANTING & IRRIGATION WITHIN LIMITS OF PAVING TO BE REMOVED UNDER DIRECTION OF THE CITY LANDSCAPE MAINTENANCE SUPERVISOR. CONTRACTOR SHALL CAP & RECONNECT IRRIGATION LINES AS NECESSARY TO ENSURE PROPER FUNCTION OF EXISTING IRRIGATION SYSTEM. PLANTING AND IRRIGATION WITHIN PROPOSED LIMIT OF WORK MAY BECOME DISTURBED DURING CONSTRUCTION ACTIVITIES - ANY SUCH DISTURBED MATERIALS SHALL BE REPLACED IN LIKE AND KIND
- 19 EXISTING 8" VC & 10" PIPE SEWER- CONTRACTOR SHALL VERIFY ACTUAL SEWER LOCATION AND DEPTH IN FIELD - CONTRACTOR SHALL ALSO ENSURE THAT NO SITE WORK WILL IMPACT SEWER IN ANY WAY
- 20 EXISTING PAY TO PARK KIOSK AND PARKING SIGN - CONTRACTOR SHALL PROTECT IN PLACE AND MAINTAIN UNOBSTRUCTED ACCESS TO KIOSK THROUGHOUT CONSTRUCTION

- NOTES:
- 1) THE OWNER/PERMITEE WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL THE PROPOSED IMPROVEMENTS, INCLUDING THE MONUMENT, FLAGPOLE, FLAG BOLLARDS AND PAVING AROUND THE BASE OF THE MONUMENT, THE RAISING, LOWERING AND STORING OF THE FLAG.
 - 2) THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR ANY REQUIRED REDESIGN AND RETROFITTING CONSTRUCTION OF THE EXISTING HARDSCAPE AND LANDSCAPE, INCLUDING UTILITIES, IRRIGATION SYSTEM AND PLANT MATERIAL, REQUIRED FOR THE IMPLEMENTATION OF THE PROJECT.
 - 3) THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING HARDSCAPE OR LANDSCAPE THAT IS DAMAGED BY CONSTRUCTION OF THIS PROJECT.
 - 4) THE OWNER/PERMITEE SHALL ENTER INTO AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA) WITH THE CITY TO IDENTIFY THAT THE OWNER/PERMITEE WILL BE RESPONSIBLE FOR PROJECT MAINTENANCE.
 - 5) PRIOR TO CONSTRUCTION, THE OWNER/PERMITEE SHALL SCHEDULE AN ON-SITE MEETING WITH THE HILLCREST-UNIVERSITY AVENUE MAINTENANCE ASSESSMENT DISTRICT (MAD) REPRESENTATIVE TO REVIEW EXISTING SITE CONDITIONS, INCLUDING THE IRRIGATION SYSTEM AND PLANT MATERIALS. OWNER/PERMITEE SHALL SUBMIT WRITTEN DOCUMENTATION FOR REVIEW AND APPROVAL TO THE MAD REPRESENTATIVE OF THE EXISTING SITE CONDITIONS, NOTING ANY HARDSCAPE OR EQUIPMENT THAT IS DAMAGED OR NOT WORKING PROPERLY, AND ANY UNHEALTHY OR DAMAGED PLANT MATERIAL. A SIGNED COPY SHALL BE PROVIDED TO THE MAD REPRESENTATIVE.
 - 6) THE MAD REPRESENTATIVE SHALL BE INVITED TO THE PRE-CONSTRUCTION MEETING
 - 7) ALL IRRIGATION SYSTEMS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION, WHERE FEASIBLE
 - 8) CONTRACTOR SHALL COORDINATE IRRIGATION REQUIREMENTS WITH THE MAD REPRESENTATIVE
 - 9) CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, SCHEDULING AND FULL COST OF WATER TRUCK SERVICE IF THIS SERVICE IS DETERMINED TO BE NEEDED BY THE MAD REPRESENTATIVE
 - 10) TRAFFIC SHALL REMAIN OPEN WHILE CONSTRUCTION IS UNDERWAY
 - 11) EXISTING IMPROVEMENTS SHALL BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE
 - 12) ALL SOIL EXPORT MATERIAL SHALL BE DISCHARGED INTO A LEGAL DISPOSAL SITE. ONSITE PROCESSING AND SALE OF EXPORT MATERIAL PROHIBITED
 - 13) CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING GAS AND UTILITY LINES PRIOR TO CONSTRUCTION

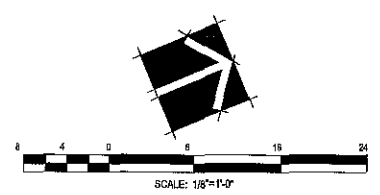
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LANDSCAPE ARCHITECTS

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PRIVATE CONTRACT
MEDIAN IMPROVEMENT HARDSCAPE PLANS FOR:
PRIDE FLAG POLE & MONUMENT
CONSTRUCTION PLAN & ELEVATION



CONSTRUCTION NOTES: CONCRETE

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 2500 PSI. CEMENT SHALL BE TYPE I.
2. REINFORCING SHALL COMPLY WITH ASTM A63, GRADE 40 OR TO NOTES ON DETAILS.
3. NO TIES OR DOTS SHALL BE PLACED IN CONCRETE COLUMNS, WALLS OR SLAB UNLESS SPECIFICALLY DETAILED.
4. REINFORCING DETAILING SHALL CONFORM TO THE CONCRETE REINFORCING STEEL INSTITUTE MANUAL OF STANDARD PRACTICE, LATEST EDITION.
5. REINFORCING, ANCHOR BOLTS AND ALL OTHER EMBEDDED ITEMS SHALL BE SECURELY HELD IN POSITION PRIOR TO PLACING CONCRETE.
6. SPlice CONTINUOUS REINFORCING WITH 45 DEGREE MINIMUM LAP.
7. ALL EXPANSION JOINTS SHALL RECEIVE 1/2" PRE-ADDED FELT MATERIAL AND INSTALLED WHERE INDICATED, AND AT ALL SUB-DRAIN WALLS AND FROD IMPROVEMENTS.
8. ALL EXPANSION JOINTS SHALL RECEIVE 1/2" THICK SEALING COMPOUND, COLOR TO MATCH ADJACENT SURFACE COLOR.
9. CONTROL JOINTS SHALL BE TOoled 1/4" WIDE BY 1/4" DEEP AS INDICATED.
10. WEAKENED PLANE JOINTS SHALL BE 1/4" WIDE BY 1/2" SLAB THICKNESS DEEP.

CONSTRUCTION NOTES: TILE / PAVERS

1. CONTRACTOR SHALL SUBMIT A SAMPLE OF EACH TYPE OF TILE/PAVER AND GROUT COLOR INDICATED ON PLANS TO LANDSCAPE ARCHITECT FOR APPROVAL BEFORE STARTING WORK.
2. TILE GROUT SHALL BE ONE (1) PART PORTLAND CEMENT AND ONE (1) PART GRAVEL SAND WITH COLOR AND WATERPROOFING ADDITIVES.
3. SETTING BED: SPREAD SETTING MORTAR BED ON FRESHLY PREPARED SLABS. MINIMUM THICKNESS 1". VERIFY FINISH SURFACE DRAINAGE TO DETERMINE THAT PROPER FLOW FOR DRAINAGE CAN BE OBTAINED. IF ANY DRAINS OR FUTURES ARE FOUND TO BE TOO HIGH OR TOO LOW, CORRECT BEFORE START OF WORK. TAMP MORTAR DENSE AND SOLID. REMOVE ANY MORTAR LEAVING UNTIL SET BEFORE TILE IS PLACED.
4. SETTING AND GROUTING TILES: AFTER SETTING BED HAS SET SUFFICIENTLY, SPRINKLE DRY PORTLAND CEMENT ON SURFACE AND COMBINE LAYING TILE, SET STRAIGHT EDGES TO LINES ESTABLISHED TO KEEP JOINTS PARALLEL AND UNIFORM OVER ENTIRE AREA. TAMP TILE SOLIDLY INTO BED USING WOOD BLOCKS OF SIZING INSURING SOLID BEDDING FREE FROM DEPRESSIONS AND HIGH SPOTS. FINISH FLUSH WITH ADJACENT PAVING, WHEN READY, FILL JOINTS FULL AND FLUSH WITH SPOONED GROUT. WIRE EXPOSED GROUT FROM FACE OF TILE, AND LEAVE ALL JOINTS FINISHED AT UNIFORM DEPTH.
5. GROUT COLORS FOR BRICK AND TILE SHALL BE AS CALLED OUT ON CONSTRUCTION PLAN OR DETAILS.

METAL FABRICATION

1. MONUMENT SHALL BE CONSTRUCTED FROM SEAMLESS 316" SHEET ALUMINUM WITH MINIMAL KEEPS TO CREATE SPECIFIED FORMS. THE MONUMENT MAY BE REQUIRED TO BE FORMED IN TWO OR MORE PIECES AND ASSEMBLED ON SITE. FABRICATOR SHALL OBTAIN THIS PART TO FABRICATOR.
2. METAL FABRICATOR SHALL SECURE ALL FIELD MEASUREMENTS REQUIRED FOR PROPER AND ACCURATE FABRICATION AND INSTALLATION.
3. MONUMENT SHALL BE FABRICATED AND ASSEMBLED IN THE SHOP TO THE GREATEST EXTENT POSSIBLE.
4. ALL WELDS AND OTHER CONNECTIONS EXPOSED IN THE FINISHED WORK SHALL BE GROUND AND DRESSED SMOOTH AND SO THAT THE SHAPE AND PROFILE OF THE ITEM WELDED IS PRESERVED.

IRRIGATION NOTES

1. THIS SECTION APPLIES TO EXISTING IRRIGATION SYSTEM MODIFICATION OR REPAIR/REPLACE IN LIKE AND KIND.
2. CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO WORK OF THIS SECTION.
3. A. ALL PIPE FITTINGS SHALL BE P.V.C., SCHEDULE 40, IF P.O.C. AND/OR BACKFLOW PREVENTION OR REPAIR ARE ENCOUNTERED COPPER OR BRASS PIPE & FITTINGS SHALL BE USED IN LIKE AND KIND.
4. A. ALL WIRE SHALL BE AIR-UP, DIRECT BURIAL TYPE AND ALL SPICES AND CONNECTIONS SHALL BE MADE WITH FENITIC CONNECTORS OR EQUAL. BACK VALVE ON A CONTROLLER SHALL HAVE A SEPARATE WIRE COLOR. ALL WIRES SHALL BE INSTALLED WITH TWO (2) FEET OF EXCESS WIRE.
5. BACKFLOW PREVENTION DEVICES ARE LOCATED AS INDICATED ON THE PLAN.
6. CHECK VALVES SHALL BE USED WHERE INDICATED AND WHERE NECESSARY TO PREVENT WATER FLOW FROM LOWER ELEVATION HEADS WHEN SYSTEM IS TURNED OFF.
7. ALL PRESSURE MAINS SHALL BE BENTHIN 18 INCHES DEEP, AND ALL LATERALS THINELIN (12 INCHES DEEP, TRENCH BACKFILL SHALL BE FREE OF ANY MATERIAL THAT MAY DAMAGE IRRIGATION PIPE OR EQUIPMENT. IN THE EVENT OF BACKFILL SETTLEMENT, CONTRACTORS SHALL PERFORM REQUIRED REPAIRS.
8. ALL AUTOMATIC VALVES SHALL BE LOCATED WITHIN SGRUB AREAS AND INSTALLED IN CONCRETE VALVE BOXES WITH STEEL LIDS (PER CURRENT CONFIGURATION), ONE VALVE PER BOX, WITH FOUR (4) INCHES OF PEA GRAVEL BENEATH THE VALVE. GATE VALVES SHALL BE LOCATED IN SEPARATE VALVE BOXES.
9. ALL MAINLINE AND LATERAL LINES SHALL BE SLEEVED WITH P.V.C. SCHEDULE 40 TWICE THE DIAMETER OF SLEEVED LINE WHERE IT PASSES UNDER PAVED AREAS.
10. EXISTING AUTOMATIC CONTROLLER IS SHOWN ON THE PLAN AS NOTED. CONTROL WIRES SHALL BE RERUN IN ELECTRICAL CONDUIT TO MAINLINE.
11. PRIOR TO BACKFILLING IRRIGATION TRENCHES:
 - A. ALL MAINLINES IN THE SYSTEM SHALL BE CAPED AND PRESSURE TESTED AT 100 P.S.I. FOR A PERIOD OF FIFTEEN (15) MINUTES. ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING NEW MATERIAL IN ITS PLACE.
 - B. ALL LATERALS SHALL BE PRESSURE TESTED AT DESIGN PRESSURE FOR ONE HOUR.
 - C. THE CONTRACTOR SHALL NOT ALLOW WORK CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE SUBSEQUENTLY AUTHORIZED REPRESENTATIVE.
12. IRRIGATION CONTRACTOR SHALL ADJUST ALL DRAIN TUBING TO PROVIDE AN EVEN COVERAGE AND TO PRODUCE NO RUNOFF ON TO HANDSCAPE SURFACES.
13. WHEN THE BACKFLOW SYSTEM IS COMPLETED, THE CONTRACTOR, IN THE PRESENCE OF THE BUILDING OWNERS AUTHORIZED REPRESENTATIVE SHALL PERFORM A COVERAGE TEST OF WATER AFFORDED THE PLANTING AREAS TO ENSURE IT IS COMPLETE AND ADEQUATE. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE AT HIS OWN COST.
14. THE CONTRACTOR SHALL FURNISH TO THE CITY A COMPLETE "AS BUILT" DRAWING AND TWO PRINTS SHOWING EXACT LOCATIONS OF ALL ITEMS INSTALLED. THESE ARE TO BE DELIVERED ON OR BEFORE FINAL INSPECTION.
15. IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF SIXTY (60) DAYS AND SHALL WATER ON A DAILY BASIS.
16. IRRIGATION CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE BY THE OWNER.

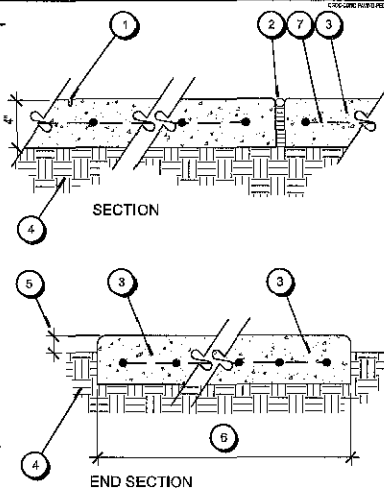
PLANTING NOTES

1. A. THIS SECTION APPLIES TO PLANTING THAT OCCURS AS A RESULT OF REPLACING EXISTING PLANT MATERIAL IN LIKE AND KIND.
 2. LANDSCAPE CONTRACTOR SHALL SUBMIT A SOIL ANALYSIS REPORT FROM AN AUTHORIZED TESTING AGENCY TO THE LANDSCAPE ARCHITECT BEFORE BEGINNING WORK.
 3. PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE THOROUGHLY SOAKED.
 4. EACH PLANT SHALL RECEIVE "AGROFORM" (OR EQUAL) PLANT TABLETS AS FOLLOWS:

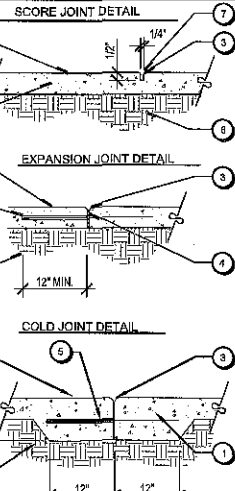
ROOTED CUTTINGS* POT	(1) 5 GRAM
1 GAL. CONTAINER	(1) 21 GRAM
5 GAL. CONTAINER	(8) 21 GRAM
15 GAL. CONTAINER	(3) 21 GRAM
BOX TREE	(1) 21 GRAM PER 1" BOX SIZE
 5. PLANT BACKFILL SHALL BE 50% SITE SOIL, AND 50% NITROGEN FORTIFIED REDWOOD SHAVINGS BY VOLUME.
 6. PLANT PITS SHALL BE TWICE THE SIZE OF THE DESIGNATED NURSERY CONTAINER.
 7. PLANT MATERIAL SHALL NOT BE ROOT SOAKED. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 8 MONTHS AND A MAXIMUM OF TWO YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES AND PESTS.
 8. A. STAKE ALL TREES PER LANDSCAPE ARCHITECT'S RECOMMENDATION.
 9. REMOVE NURSERY BRACES AND TIES FROM ALL CONTAINER STOCK. MAINTAIN SIDE GROWTH ON ALL TREES.
 10. FINISHED GRADES SHALL BE SMOOTHED TO ELIMINATE PuddLING OR STANDING WATER.
 11. FINISHED GRADES SHALL BE ONE (1) INCH BELOW THE TOP OF CURBS, SLOES, AND WALKWAYS IN ALL AREAS.
 12. THE LANDSCAPE CONTRACTOR SHALL LEAVE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH, AND TOOLS.
 13. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF NINETY (90) DAYS AFTER COMPLETION. ALL AREAS SHALL BE KEPT CLEAN, WATERED, AND WEED FREE WEEKLY.
 14. AT COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH TO DETERMINE THAT ALL ASPECTS OF WORK ARE COMPLETED. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS AND SPECIFICATIONS AND MUST BE COMPLETED BY A GOOD WORKMANSHIP MANNER AND MUST BE ACCEPTED BY THE OWNER IN WRITING PRIOR TO THE BEGINNING OF THE MAINTENANCE PERIOD.
- THE MAINTENANCE PERIOD SHALL INCLUDE THE FOLLOWING SCOPE OF WORK:
- A. DAILY WATERING OF ALL PLANT MATERIAL.
 - B. WEEDING AND REMOVAL OF ALL WEEDS FROM GROUND COVER AREAS.
 - C. REPLACEMENT OF ANY DEAD, DYING, OR DAMAGED TREES, SHRUBS, OR GROUND COVERS WHEN FIRST NOTICED.
 - D. FILLING AND REPLANTING OF ANY LOW AREAS WHICH MAY CAUSE STANDING WATER.
 - E. ADJUSTING OF IRRIGATION SYSTEM AS NECESSARY.
 - F. FILLING AND RECONSTRUCTION OF ERODED AREAS.
 - G. WEEKLY REMOVAL OF ALL TWIGS, LITTER, CLIPPING, AND ALL FOREIGN DEBRIS.
 - H. AT 30 DAYS AFTER PLANTING, ANNUAL FERTILIZER SHALL BE APPLIED TO LAWN AREAS AT THE RATE OF 5 LBS. PER 1,000 SQUARE FEET.
 - I. AT 60 DAYS AFTER PLANTING AND PRIOR TO THE END OF THE MAINTENANCE PERIOD, BEST FERTILIZER COMPANY "TINY SUPERIOR" OR EQUAL SHALL BE APPLIED AT THE RECOMMENDED RATE TO PLANTING AREAS.
15. PRIOR TO END OF MAINTENANCE PERIOD, LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A FINAL WALK THROUGH. OWNER MUST ACCEPT ALL MAINTAINED AREAS IN WRITING PRIOR TO END OF MAINTENANCE PERIOD.
 16. ALL GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF NINETY (90) DAYS AFTER THE COMPLETION OF MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL SHRUBS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF NINETY (90) DAYS AFTER COMPLETION OF MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL TREES SHALL BE GUARANTEED BY THE CONTRACTOR TO LIVE AND GROW IN AN ACCEPTABLE UPRIGHT POSITION FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD AND FINAL ACCEPTANCE.
 17. THE CONTRACTOR, WITHIN FIFTEEN (15) DAYS OF WRITTEN NOTIFICATION BY THE LANDSCAPE ARCHITECT, SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIAL WHICH FOR ANY REASON FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIAL GUARANTEE.

DETAIL LEGEND

1. CONTROL JOINT 2" RADIUS TOoled EDGE 7" DEEP, 5" O.C. UNLESS NOTED.
2. 1/2" FOAM EXPANSION JOINT 2" RADIUS TOoled EDGE 15" O.C. OR WHERE ABUTTING STRUCTURES.
3. 4" NOMINAL CONCRETE PAVING, COLOR AND FINISH PER CONSTRUCTION LEGEND.
4. COMPACTED SUB-GRADE PER SOILS REPORT.
5. FINISH GRADE 2" @ SHRUB AREAS.
6. WIDTH PER PLANS.
7. SHOW ANY 4" WMM CENTER IN SLAB; VERIFY SOIL ENGINEERS RECOMMENDATIONS AND R VALUE TESTING.



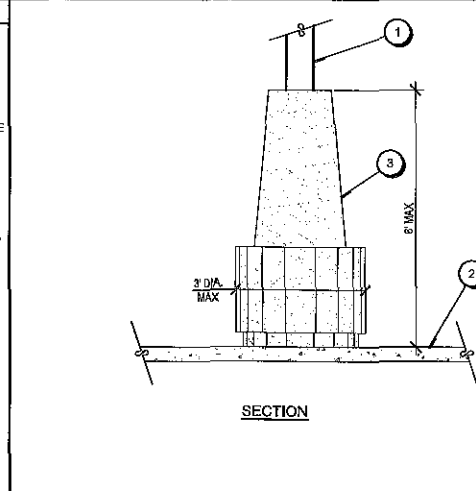
REVISED: 03/15/10 N.T.S.



REVISED: 10/25/10 N.T.S.

DETAIL LEGEND

1. CONCRETE PAVING PER CONSTRUCTION PLAN.
2. CONCRETE PAVING COLOR AND FINISH PER CONSTRUCTION PLAN.
3. 1/2" RADIUS NOSE ALL EDGES (TYP).
4. 1/2" POLYSTYRENE FOAM W/ POLYISOLATE SAND IMPREGNATED CAULKING, COLOR TO MATCH PAVING.
5. NO. 4 DOWEL AT 24" O.C., 24" LONG, SLIP ONE END.
6. COMPACTED SUBGRADE PER SOILS REPORT.
7. 1/2" WIDE HAND TOoled SCORE LINE - SAW CUT ONLY WHERE CALLED OUT ON THE CONSTRUCTION LEGEND.



REVISED: 06/25/10 N.T.S.

DETAIL LEGEND

1. FLAG POLE BASE.
 2. SURROUNDING CONCRETE PAVING PER PLANS - CONTRACTOR SHALL INSTALL EXPANSION JOINTS WHERE PAVING ABUTS FLAG POLE BASE.
 3. 3/8" SHEET ALUMINUM PANELS TO BE ASSEMBLED INTO CIRCULAR BASE ARRANGEMENT WITH FOUR (4) ANGLED TOP PORTION. ALL SURFACES SHALL FEATURE ETCHED LGBT HISTORICAL AND CULTURAL INFORMATION AS WELL AS DONOR RECOGNITION. EXACT TEXT TO BE DETERMINED WITH FABRICATOR.
 4. BRACKETS SHALL BE WELDED TO ALUMINUM PANELS IN THE SHOP. PRE-DRILLED TO ACCEPT BOLTS IN THE FIELD. PANELS SHALL BE BOLTED INTO CONCRETE THROUGH PRE-DRILLED HOLES AND 3" BOLTS SET INTO CONCRETE. CONTRACTOR SHALL CORE DRILL BOLT HOLES AFTER PANELS HAVE ARRIVED ON SITE AND MEASURED FOR BOLT LOCATIONS.
- NOTES:
1. FINAL MONUMENT DESIGN TO BE DETERMINED BY METAL FABRICATOR. THIS DETAIL IS FOR PLANNING AND APPROVAL PURPOSES AND DOES NOT REPRESENT APPROXIMATE DESIGN PARAMETERS SUCH AS HEIGHT, WIDTH AND GENERAL FORM.
 2. FINAL DESIGN SHALL PROVIDE CONVENIENT ACCESS TO FLAG POLE PANEL FOR RASING/LOWERING FLAG - VERIFY LOCATION IN FIELD PRIOR TO FABRICATION.

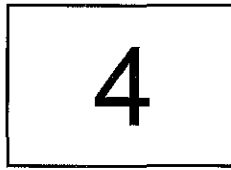
REVISIONS	
ORIG DATE	11-02-11
SECOND SUBMITTAL	1-08-12
THIRD SUBMITTAL	3-09-12
DRAWN	MB
APPROVED	MB
JOB NO.	11-041
PLOT DATE	3-08-12
SCALE	AS SHOWN

urbangreen
LANDSCAPE ARCHITECTS

111 W PENNSYLVANIA AVE #2A
SAN DIEGO CA 92103
619.955.1305
MICHAEL@GOURBANGREEN.COM

NOTE: BEFORE ANY EXCAVATION BEGINS
CALL DIG ALERT @ 1-800-227-2600

PRIVATE CONTRACT
MEDIAN IMPROVEMENT HARDSCAPE PLANS FOR:
PRIDE FLAG POLE & MONUMENT
CONSTRUCTION DETAILS & NOTES



SHEET 4 OF 4

COMMUNITY PLANNING GROUP RECOMMENDATION

MONUMENT FLAG - PROJECT NO. 262168
SITE DEVELOPMENT PERMIT NO. 923086

The Uptown Planners voted 8-6 on February 17, 2012 recommending approval with no additional conditions. At the time of this report, the minutes of the meeting were not yet available.



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title

Hillcrest Monument Flag (#262168)

Project No. For City Use Only

Project Address:

Public right of way in median on Normal Street at University Ave.

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☒ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title: Hillcrest Monument Flag (#262168)	Project No. (For City Use Only)
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):


☒ Corporation
 ☐ Limited Liability -or-
 ☐ General) What State? CA
 Corporate Identification No. 330062422
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print): Hillcrest Business Improvement Assn.	
<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant/Lessee	
Street Address: 1051 University Avenue	
City/State/Zip: San Diego	
Phone No: (619) 988-2626	Fax No: (619) 299-4230
Name of Corporate Officer/Partner (type or print): Nicholas Moede	
Title (type or print): President	
Signature: 	Date: <u>3-21-12</u>

Corporate/Partnership Name (type or print): Hillcrest Business Improvement Assn.	
<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant/Lessee	
Street Address: 1271 University Avenue	
City/State/Zip: San Diego	
Phone No: (315) 778-1076	Fax No:
Name of Corporate Officer/Partner (type or print): Sean Cute	
Title (type or print): Secretary	
Signature: 	Date: <u>3-21-12</u>

Corporate/Partnership Name (type or print):	
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address:	
City/State/Zip:	
Phone No:	Fax No:
Name of Corporate Officer/Partner (type or print):	
Title (type or print):	
Signature :	Date:

Corporate/Partnership Name (type or print): Hillcrest Business Improvement Assn.	
<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant/Lessee	
Street Address: 535 University Ave.	
City/State/Zip: San Diego	
Phone No: (619) 295-2747	Fax No: (619) 295-2129
Name of Corporate Officer/Partner (type or print): Mike Wright	
Title (type or print): Vice President	
Signature: 	Date: <u>3-22-12</u>

Corporate/Partnership Name (type or print): Hillcrest Business Improvement Assn.	
<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant/Lessee	
Street Address: 939 University Ave.	
City/State/Zip: San Diego	
Phone No: (619) 234-4829	Fax No: (619) 234-5937
Name of Corporate Officer/Partner (type or print): Glenn Younger	
Title (type or print): Treasurer	
Signature: 	Date: <u>3-22-2012</u>

Corporate/Partnership Name (type or print):	
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address:	
City/State/Zip:	
Phone No:	Fax No:
Name of Corporate Officer/Partner (type or print):	
Title (type or print):	
Signature :	Date:



BUSINESS ASSOCIATION

MEMORANDUM MESSAGE

To: Andrew Field
Date: January 31, 2012

From: Benjamin Nicholls
Fax:
Phone:

Subject: Hillcrest Pride Flag Monument Number of pages (incl. cover): 2

For Review ~~!Urgent!~~ ~~Please Discard~~ ~~Confidential~~

Introduction:

This memo establishes the responsibilities of the Hillcrest Business Association (HBA) concerning the proposed Monument Flag Project in Hillcrest San Diego (DSD# 262268) in relation to the San Diego Park and Recreation Department and the related Hillcrest-University Avenue Maintenance Assessment District (MAD). The HBA, a not for profit corporation, is undertaking a project to construct a 65' flag pole in the public right of way in the median at the intersection of Normal Street and University Avenue in San Diego. The proposed construction site is in the public right of way on land currently within the Hillcrest-University Avenue Maintenance Assessment District managed by San Diego Park and Recreation Department.

Statement of responsibility:

The HBA and representatives of the City Park and Recreation Department (MAD staff) met on site on 1/9/2012. At this meeting HBA committed to:

- being responsible for all aspects of flagpole construction, which will include the redesign and retrofitting of existing hardscape and landscaping, including utilities, irrigation, and plant materials;
- returning landscaped areas or hardscapes impacted by the construction to an acceptable standard in consultation with Park and Recreation staff;
- meeting with Park and Recreation staff at a preconstruction meeting where existing site conditions shall be documented and construction particulars shall be discussed;
- keeping, where feasible, irrigation systems in operation during construction, and providing for a water truck if needed for plant health in consultation with Park and Recreation staff; and
- maintaining the area around the flagpole project in perpetuity, including the monument, flagpole, flag, bollards, and paving relating to the project including raising and lowering the flag.

At this meeting, the City committed to:

3737 Fifth Ave. #202 San Diego, CA 92103
p:(619) 299-3330 f: (619) 299-4230

Attachment # 6
MOU with Dept. Park and Rec.



BUSINESS ASSOCIATION

- transplanting existing plants out of the project footprint in preparation for construction;
- ensuring continued landscape maintenance of surrounding area during construction; and
- working with HBA to minimize conflicts with irrigation systems, infrastructure, plants, and maintenance practices during the construction phase.

Agreement:

I agree to the above provisions on behalf of the Hillcrest Business Association.

A handwritten signature in dark ink, appearing to read "Ben Nicholls", written over a horizontal line.

Signed:

Benjamin Nicholls
Executive Director
Hillcrest Business Association

I acknowledge the above commitments and accept them as adequate to proceed with the project.

A handwritten signature in dark ink, appearing to read "Andrew Field", written over a horizontal line. To the right of the signature is the date "2/6/12".

Signed:

Andrew Field
Assistant Deputy Director
Park and Recreation Department – Maintenance Assessment Districts Program

cc: Cory Peterson, District Manager





