

THE CITY OF SAN DIEGO REPORT TO THE PLANNING COMMISSION

DATE ISSUED:	June 13, 2013	REPORT NO. PC- 13-080
ATTENTION:	Planning Commission, Agenda of June 27, 2013	
SUBJECT:	BIRD ROCK MIXED USE PROJECT NO. 259362, PROCESS	4
OWNER	M.O.R.K. Family Trust, Michael an	d Olga V. Krambs, Trustee
APPLICANT:	Morton Marengo Architects	

SUMMARY

Issue(s): Should the Planning Commission approve an application for a two-story, mixed-use development within the La Jolla Planned District and La Jolla Community Planning Area?

Staff Recommendations:

- 1. **Certify** Negative Declaration No. 259362; and
- 2. Approve Coastal Development Permit No. 913578; and
- 3. Approve Tentative Map No. 1087739

<u>Community Planning Group Recommendation</u>: On August 2, 2012, the La Jolla Community Planning Association (LJCPA) voted 13-2-1 to approve a motion that the findings can be made for the proposed Bird Rock Mixed-Use project (Attachment 11).

Environmental Review: The City of San Diego as Lead Agency under the California Environmental Quality Act (CEQA) has prepared and completed a Negative Declaration in accordance with the State of California CEQA Guidelines.

Fiscal Impact Statement: None with this project.

Code Enforcement Impact: None with this project.

Housing Impact Statement: The proposed project will add an additional 10 residential



units to the La Jolla Community Plan area. The applicant will be paying an affordable housing fee to meet the Inclusionary Housing Ordinance requirements.

BACKGROUND

The project is proposing to construct an 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units and two commercial units, 26 parking spaces accessed from the alley, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area. The site is designated for Neighborhood Commercial land use. The project site is located on the northwest corner of La Jolla Boulevard and Bird Rock Avenue, with single family residential to the west, multi-family mixed-use to the north, and commercial to the south and east. The Pacific Ocean is three blocks to the west of the project site.

The project site was formerly developed with a retail gasoline service station. The gas station included three underground storage tanks, one underground waste oil storage tank, an aboveground waste oil tank and two fuel pump islands. The gas station and oil storage tanks were removed and soil testing was conducted. No significant volume of remaining used oil-impacted soil was found. Staff has received a letter of concurrence on the project from the County Department of Health and has no further issues on the storage tank or soil contamination issues (Attachment 12). The Negative Declaration for the project discusses these issues in greater detail.

DISCUSSION

Project Description:

The proposed two-story, mixed-use project would include balconies, archways, landscaping and building articulation (Attachment 5). The surrounding area is fully developed with residential and commercial uses. La Jolla Boulevard has also undergone improvements, including the installation of roundabouts at several intersections.

The project is located in the Coastal Overlay Zone and, therefore requires a Coastal Development Permit.

Community Plan Analysis:

The proposed Bird Rock Mixed Use project is located at 5702 La Jolla Boulevard, on a parcel that is designated for commercial use. The proposed project will include 10 residential units, and 2 commercial units on a .037-acre lot. The proposed use is consistent with the land use designation. The Plan also recommends that new structures, located along this retail district include mixed-use residential/commercial uses to provide opportunities for affordable housing in La Jolla. The proposed project will pay an affordable housing fee to meet the Inclusionary Housing Ordinance requirements.

The La Jolla Community Plan recommends that commercial uses along La Jolla Boulevard be developed in a traditional boulevard manner with street trees and median landscaping. The La

Jolla Community Plan further recommends that new projects upgrade the sidewalks with decorative or uniform paving to enhance the streetscape. La Jolla Boulevard is being enhanced to include median landscaping and sidewalk improvements to include additional landscaping and street lights. The Plan recommends providing decorative lighting, street trees, benches and other pedestrian amenities to create a stronger pedestrian-oriented image to this commercial district. To implement Plan recommendations, the proposed project includes landscaping at the corner of La Jolla Boulevard and Bird Rock Avenue, and benches and street trees along both streets. The building facades are articulated with the upper stories set back from the ground floor façade and include balconies that are integrated into the architecture. The project includes jacaranda street trees to be located adjacent to the curb.

The Community Plan also recommends that projects make available information on energy efficient appliances and technology in marketing materials and within sales offices in order to promote energy savings. For mixed-use projects, the Plan recommends that projects either provide or offer as an option, alternative energy technologies to be incorporated into the residences during construction in order to promote energy savings. The proposed project would include a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's energy consumption, as established by Council Policy 900-14.

The La Jolla Community Plan identifies (in Appendix G on the Coastal Access Subarea Maps pages 183-5) physical and visual access to the ocean. Bird Rock Avenue is identified as having a view corridor to the ocean, passing westward to the ocean on the south side of the site. The proposed development would not impair the visual access to the ocean as it respects the street yard setbacks as required by the Land Development Code. There is also a view cone identified in the Community Plan (Figure 9 Identified Public Vantage Points) at the westerly end of Bird Rock Avenue, but the view cone is not affected by the location of the proposed new structure.

Project-Related Issues:

Views

The La Jolla Community Plan identifies a public view corridor along Bird Rock Avenue, immediately south and to the west of the project site. The La Jolla Community Plan defines a View Corridor as an unobstructed frame view down a public right-of-way. The La Jolla Community Plan requires that public views to the ocean be protected. The westernmost end of Bird Rock Avenue is also identified as a View Cone, which is defined by 90 degree angle radiating lines from a public vantage point (the centerline of the street) to the corners of the buildable envelope as defined by the setbacks of each property closest to the ocean or shoreline. All View Cones are directed towards a coastal body of water. The identified View Cone is located three blocks west of the project site, and, therefore, would not be affected by the proposed development. Regarding the View Corridor, staff review of the project concluded that the proposed project would be in compliance with the requirements of the underlying zone regarding heights and setbacks, and the height, bulk and scale of the project would not impact the view corridor.

Conclusion:

The proposed development would significantly improve the existing site conditions, and visually enhance the site and the immediate neighborhood. The project implements the goals of the La Jolla Community Plan and the Progress Guide and General Plan as described in this report. Staff recommends approval of the project.

ALTERNATIVES

- 1. Approve Coastal Development Permit No. 913578 and Tentative Map No. 1087739, with modifications.
- 2. Deny Coastal Development Permit No. 913578 and Tentative Map No. 1087739, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Mike Westlake Assistant Deputy Director Development Services Department

Morris E. Dye

Project Manager Development Services Department

Attachments:

- 1. Aerial Photograph
- 2. Community Plan Land Use Map
- 3. Project Location Map
- 4. Project Data Sheet
- 5. Project Plans
- 6. Tentative Map
- 7. Draft Map Conditions and Subdivision Resolution
- 8. Draft Permit with Conditions
- 9. Draft Resolution with Findings
- 10. Community Planning Group Recommendation
- 11. Ownership Disclosure Statement
- 12. County of San Diego Department of Health Letter







ATTACHMENT 1

ATTACHMENT 2





Land Use Map <u>PROJECT NAME – PROJECT ADDRESS</u> PROJECT NO.

North





Project Location Map Bird Rock Mixed Use 5702 La Jolla Boulevard PROJECT NO. 259362



PROJECT NAME:	Bird Rock Mixed Use – PTS#259362
PROJECT DESCRIPTION:	To construct 10 residential for rent units and 7,726 sq ft of commercial space on a vacant 0.37 acre site at 5702 La Jolla Blvd
COMMUNITY PLAN AREA:	La Jolla
DISCRETIONARY ACTIONS:	Coastal Development Permit
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial/Mixed Use (Neighborhood Commercial)

ZONING INFORMATION:

ZONE: 2	Zone 4
HEIGHT LIMIT:	30 foot maximum height limit.
LOT SIZE:	2,500 square-foot minimum lot size.
FLOOR AREA RATIO:	1.0
FRONT SETBACK:	No requirement
SIDE SETBACK:	No requirement
STREETSIDE SETBACK:	No requirement.
REAR SETBACK:	No requirement.

PARKING:

ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Multi-Family Residential/Zone 4	Multi-Family Residential
SOUTH:	Commercial/ Zone 4	Commercial
EAST:	Zone 4	Commercial
WEST:	Single Family/ RS-1-7	Commercial
DEVIATIONS OR VARIANCES REQUESTED:	None Required.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 2, 2012 the La Jolla Community Planning Association vote 13-2-1 to recommend approval.	

BIRD ROCK MIXED USE

LA JOLLA, CA 92037



BASIS FOR STRUCTURAL DESIGN	SPECIAL INSPECTION & OFF-SITE FABRICATION	VICINITY MAP	S	COPE OF WORK
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	SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT.	Telephone: (858) 459-3769 Fax: (858) 459-3768	A - 1.4	LANDSCAPE - 1ST FLO
F THE BITLDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION	TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.	Contact: Claude Anthruy Marengo emarcage@san.rr.com	A - 1.5	LANDSCAPE - 2ND FLC
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ATTACHMENT 5

GENERAL PROJECT NOTES

Project General Notes

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Site Preparation

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writing. 22. The Concerd Contractor shall install and maintain a phone at the job site for the duration of construction. 23. A coll comparison report shall be provided to the building isopector at the job site prior to placement of concercic for the new foundation if requested by the city. 24. It is the General Contractor's responsibility to grade the aire and to alope all grading and concreto work to provide positive dramage away from the building and to area aircra drama.

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Floor Plan

Framing

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Notes 1-6 below represent key minimum requirements for construction BMP's.

. Sufficient BMPs must be installed to prevent ailt, mud or other construction debris from being track

Mechanical 68. All mechanical and electrical systems shall be installed in accordance with approved plans and governing codes. Electrical and mechanical systems shall be tested and approved to be in proper working condition to the assistation impector before the insurance of the certificate of occupancy. 69. All themsensis shall be of the automatic changeover type to sequence beating or cooling. Set point range shall be up to 10 degrees. Fabreabeit between full heating and cooling. Adjustable temperature differential shall be one as Fabreabeit

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as and these drawings	Californin Fire Code, 2010 Edition (C.F.C.) American Concrete Institute "Building Code Requirements for Reinforced Concrete (ACI	Boulder and Aller
	318-58)." 7. Western Wood Products Association Lumber Grading Standards. 8. AWPA Pressure Preservative Treatment Standard for Full Penetration Ground Contact Rating.	Marengo
etached one and	B Existing Conditions: Verify all existing conditions and dimensions before starting work. Report all discrepancies involving existing conditions to the architect, prior to construction.	Morton Architects
tures, scaffolding or	C. Design Loads: Unless Noted Otherwise (See structural calculation for design load	7724 Girard Ave.
	calculations) 1. Floor Live Load 60 P.S.F. Uniform Load	Second Floor
nde must be submitted	2. Stairs Stringers 100 P.S.F. Uniform Load 3. Stair Treads 300 Lbs. Concentrated Load	La Jolla, CA 92037
nt Floor Covering	4. Roof Live Load 20 P.S.F. 5. Balcony Live Load 60 P.S.F.	Tel. (858) 459-3769
muisture content shall	6. Seismic Zone: 4 7. Soil Bearing Pressure: 1,500 P.S.F.	Fax. (858) 459-3768
Introduce Content Stati	D Foundations:	Michael Morton AIA
utility company	 Spread footing design: Base footings 18 inches minimum below finished grade. Unless noted otherwise. All footings hall rest on firm undisturbed earth or soil with relative compacted of 90 %, unless noted otherwise. 	Claude Anthony Marengo DESA
	E Concrete Reinforcement:	1-1X X-1
ely by telephone and in	 Deformed bars #2 min#6, ASTM A615 Grade 60, fy = 40 KS1. Jap 40 bar diameters. Slab-m-grade & other miscellaneous site concrete see drawings for reinforcement. Concrete cover over reinforcement: Footings 3" 	* C-19371 ** REN. 04/30/2011
	 Formed surfaces exposed to weather or ground 2ⁿ Slabs-on-grade, top and bottom minimum 1-1/2ⁿ 	OF CALIFU
	F Concrete: 1. Minimum ultimate 28-day compressive strength (F'c) shall be 2,500 PSI, unless noted	All design, ideas and senang emerts as inducated on these drawings are the legal property of
to be relocated. The GC toosing and shall be the	otherwise. 2. An approved water-reducing admixture shall be used in all concrete except footings. 3. Use an approved air-entraining admixture in all concrete (structural and non-structural) where exposed to weather.	In mast drawings are not appropring out Marriage Meetin, Architect, Increportated and the specific project for which they were prepared as inducted on the project thick block. Reproduction, publication or re-use by any method, in whole se part, without the expensi- writing constant of Marriage Marriag Architects,
	G Structural Steel 1. Material - Bolts, ASTM A325, minimum 1/2" diameter, unless noted otherwise.	Incorporated is prohibited. There shall be no there as substitutions, modifications or
	 Fabrication, AISC specifications for the design, fabrication and erection of structural steel for buildings, Manual Of Steel Construction, Ninth Edition 	deviations from these drawings or
	 All welding by W.A.B.O. certified welders. Welding shall be in accordance with the provisions of the Structural Welding Code AWS D1-1 and AWS D1-4. 	consent of Marsago Morton Architecta, Incorporated, Viraal, physical, or electronic contact or take of these drawings and attached
abed aill height shall be	provisions of the structural weating. Code AWS D1-1 and AWS D1-4. 4. After fabrication, all items shall be fully coated with two applications steel primer. Items permanently exposed to weather shall be fully primed and costed per specifications.	contact or sale of these drawings and attached specifications shall construct the acceptance of all these rectrictions.
	H Rough Carpentry: 1. Lumber Materials: -All lumber shall be graded per Western Wood Products Association Lumber grading Standards. Lumber shall bear identification stamps indicating: a) -Grading Association mill number	BIRD ROCK MIXED USE 5702 la jolla blvd la jolla, ca 92037
inch by 24 unch clear	b) -Grade and species c) -Moisture content	D ROCK MIXED 5702 LA JOLLA BLVD LA JOLLA, CA 92037
	 d) -Preservative treatment 2. Plywood sheathing grade, exposure, span rating and thickness, per plans. 	IXI N BI
	 Lumber grading: unless noted otherwise, the following shall apply: a) -Wall stud framing Douglas-Fir Larch #2 & better. 	CC III
	 b) Singular joists, rafters Douglas-Fir Larch #2 & better. c) -Multiple joists, rafters Douglas-Fir Larch #2 & better. 	JO IO
	d) -Stair stringers Douglas-Fir Larch #2 & better.	DO PIO
	 e) -Beams and headers Douglas-Fir Larch #1 & better. f) -Glu-lam beams 24F-V4, industrial grade or as specified on structural calculations. 	R(0 LA.
	 g) -Posts Douglas-Fir Larch #1. Fabrication: Conventional Light Framing - unless noted otherwise, the following shall apply: 	D S
	 Timber connectors specified are by <u>Simpson Strong-Tie Co. Inc.</u> or approved equal. Location and size of fasteners for structural anchorage or attachments shall be as specified by 	SIF
ke, sheathing and wall	manufacturer. a) All floor joists to be solid blocked (@ bearing lines, longest un-blocked span = 8' - 0". b) Nalis to be Common nails per C.B.C. table 2304.9.1., galvanized based on exposure.	Щ
	b) Nails to be Common nails per C.B.C. table 2304.9.1., galvanized based on exposure. c) Minimum nailing to conform to C.B.C. table 2304.9.1. (See plans, specifications &	alvises. 10-3-11 Completeness Submittal
of covering aliall be	structural details for size and type) d) Wall stud cutting, notching or boring of member per C.B.C. section 2308.9.10 &.11	07-3-12 Community Presentation
pening shall be 37 inch	 c) Structural ceiling joist and rafter cutting, notching or boring of member per C.B.C. section 2308,10.4.2 	7-19-12 Coastal Resubmittal
rung manoe of and	f) Glu-laminated timbers and pressure preservative treated lumber shall be re-scaled (compatible treatment following all shop or field cuts).	08-08-12 Community Planning Revisions
	g) All wood in contact with concrete, masonry, soil or exposed to the exterior (as defined by C.B.C. 2304.11.4) shall be pressure preservative treated lumber.	Δ
	 b) Support all concentrated loads bearing on stud or joist cavities with solid bearing or blocking. 	$\overline{\Delta}$
The clear space in from	 i) Stagger all sheathing panel seams a minimum of two stud/joist cavities, j) Double floor framing joists below interior walls, bathtubs and heavy appliances. 	PHASE
noi required.	 Submittals: All submittals, shop drawings, product samples, etc. shall be reviewed and <u>accepted</u> by the 	РКОЛИСТ НО. 2011-13
	Architect prior to final submittal to fabricator or suppliers. 2. Submittals shall include, but not limited to the following:	REVIEWED BY CAM
	 a) -Concrete mixture, additives and reinforcement. b) -Manufacture engineered trusses. c) -Fabricated steel. 	DRAWN BY RR, MC, JK
tion of the huilding	 d) -Cabinetry and other built-in items. e) -Special windows. 	DATE 01-10-2013
and one-half degrees	J Construction Quality: 1. All construction shall be of the highest standards for materials and methods of installation.	01-10-2013
	 All finish materials not selected shall be reviewed and accepted by the Architect and Owner. All subcontractors are responsible for inspecting, correcting, and approving all conjunctive 	Starting: Storten Australia, inc. is provided by specified with service parties, mentals were determined. The partie recordent that day, plant, specifications, provide recordent that day, plant, specifications, provide recordent tablements to be and the service medic.
tion as detailed in the	conditions of all related prior trades, prior to beginning their own work. 4. Prior workmanship and materials not acceptable to subcontractors shall be brought to the	(uncluding they are indecised) (uncluding "Collide concerty") are excitent to and encoded a site attaining, article indecisional are an interactional due to guinaring offer travers. Sectometrical, (self-encoded, model) diagnational, and over orten, or human.
	 The contractor is responsible for maintaining a near & tdy job site; only staging areas 	Harren Falerin Antonio Nu, a private di Digmenetti terrenzi il denne Antonio Nu, a private di Digmenetti terrenzi il da nu pris sustativano signi constituzione priso di Digmenetti da di Digmenetti di Digmenetti priso di Digmenetti di Digmenetti di Digmenetti di priso di Digmenetti da di Digmenetti di Digmenetti di Digmenetti da di Digmenetti di Digmenetti di priso di Digmenetti di Digmenetti di Digmenetti di Digmenetti di priso di Digmenetti di Digmenetti di Digmenetti di Digmenetti di Digmenetti di priso di Digmenetti
	approved by the owner will be used.	Ensemble Land engan with the we supervise of the Andrease of Renard we the Andrease's International Sector and we de- publicity Compart decountry of secret
	K Substitutions: 1. No substitutions of specified materials shall be made without written notification to the	AIRET TITLE
oith sanoke alarms located	 No substitutions of specified materials shall be made without written notification to the Architect and Owner and their written acceptance of the substitution. 	GENERAL NOTES
scluding basements,	L Clean Up:	T10
	1. The Contractor shall keep the premises free from accumulation of waste material and/or	
liances shall be provided	rubbish caused by their work. At the completion of each day's work, remove all rubbish from and about the building. All tools, scaffolding and surplus materials shall be stored,	SHEET 2 OF 19

C. PASSENCER DROP-OFF & LOADING ZONES

I la defined as "a continuous unobstructed path connecting all successible denotes and spaces as an y that work Projection by a person with a distribution ways and endeduation and that is also safe for and dualities, and but is constant with the definition of "Path of Invest" (1102E).

3. Where generated has any grint shall have a fine, which without with a solution that length of Pa andhor (maximum data) that any grint shall have a fine, which will be characterized from the constraints. This shall be characterized from the constraints that any grint shall constraint the shall constraint the shall be constrained from the constraints. This shall be characterized from the constraints that any grint shall constrain the shall be characterized from the constraints of the shall be characterized from the constraints. This shape shall constrain any maximum track between the shall be characterized from the constraints of the shape shall constrain a share that the characterized from the char

6. Where provided, but step duction shall be interfled to as the pound: a wheelshair user to eater the abelier from the public way and secrets at feter flow and a public way and secrets at feter flow and secret. (12):E13.1)

4. Viet parting facilities shall provide a partenger buding zwee complying with Section 112102 and shall be located on an encourse of the metal and a metanece of the facility. The partenge types representate of Section 112308 dam-gh 113101 apply apply

2. Where provided, nor-prananger drap-off and burding over shall provide an arreat static at least 60 metas wells and 50 feet and 40 metas wells and 50 metas and 50 meta

and along at least on

Pravide minimum vertical cleanance of 114 inches at access nute to such areas from size entrances and exits. (11318):2.2)

When changes in fevel not encoding 1/2" occur, they shall be bevieled with a slope no greater dam one wait vertical to 2 units invisonial (30 percent), every that level changes not exceeding 1/4" may be vertical. (113)27.4. Fig. 11B-5E(c) & (df)

 Will a Auflick provided with a lovel area one least than 60 incluses yie 0 incluses at a door or gate than a tering toward the walk. Matera its an its administration wide by 44 incluse damp at a part that weight in twy from the walk. (11):307.56 (by 1110-246). wast gradients shall have level areas at least 5 feet to length at in W. All walks w (11338.7.6)

Walks, alshewilds, and policritist ways shall be free of grating, whitever poundly, her gratings bestud in the orderer of any of discasses, grid operating in generary shall be limited on Y is in the discussion frattiff. Flow, If gratings have despited gravity they shall be placed as that the low gimention is prepredicular to the dominant direction of terret. (113)117, F 111,P470,)

(0. Lood area of waits shall earend 24 and/es to the state of the state offer of a door or gate that avongs loward the wait. (113)8.7.5. Fig. 118-268)

pecialize in trustances or receives for persons with aublikly impairments: 20% of the total ving each such unit or facility. (11298.2.2)

E. CURB RAMPS

(. Cuch flauge vality for concerned as a concer of inter interaction where we device more transverse 2 well. The generation and non-more device interaction and non-more device interaction and the second leading for each strate action of the concerned and a second second and a second second and a second second and the second and the second second second action and the second second second and the second se Cuth Ramp is defined as "a slopung pedentium way: intended for pedentran traffic, which p tidewalk to a surface incated above ar belinw an adjacent cuth face". (1102B)

 Curde ranges shall be a minimum of 4 feet in width and shall lik, generally, in a single sloped plane, with a welfnee warping and creat slope. (1127B 5.2) 1. Previde a curb ramp at (11278.5.1)

lope). (11278.5.3) q 55.3) (a rtical to 12 units h

6. Maximum slopes of adjusting gattern, need surface introdictory adjustant to the cush mag or accounties trutte, shall not exceed any university at a cush strutter shall not exceed any university at a cush struttering in the provided structure. The slope distribution of the 5 Trinolitions from ramps to walks, gutters, or streeds shall be flush and free of strupt changes. (11278.5.3)

7. A level landing 4 feet deep shall be provided as the upper end of each each name area its fail width to permit usite spress the same purface, are the provided of the cuth range public, and the light to the cuth range public between single (1122):5.4.9

I. The surface of each cach reap and its faced adds shall comply with Section 1124B, Genand and Floor Surfaces, and shall be of contrasting finitish from that of the adjacent subsection. (1127B, 5.5)

c: shall be us located that persons with distabilities are not competible to wheel or walk behind by even. Ramp this exercises into any second high galvary and and and and are second 2 percent. The second or its necessing particular galvary per and algored necessing while and reserved 2 percent.

(All carls ranges shall have a preveel beder 12 orders when when lead and/car of the sidewall above the side and a of experiments by the anomaly all carls are according to the start the face of the cards and leaves a ground and a side and the sidewall have a ground and and a side and the sidewall (11) 2015.6. ft (21) 110-1100.

10. Cuch maps shall have a descrable versing that extends the full width and depth of the coch maps, extending the fund width, and legals of the coch maps, extending the fund width, and here of versional to the statement of versional version. The versional descraption of the statement of versional versional statement of versional versional to the versional version version of versional versional versional versional versional versional version version of versional versional versional versional versional versional version version versional versional version versional ve

18.2.872113. subiction (11.1278.5.8) whall be located 11. Curb

F. PEDESTRIAN GRADE SEPARATIONS (OVERPASSES AND UNDERPASSES)

1. Pedetotan tamps on pedestrian grade separations shall comply with the requirements of Section 1133B.5 for ramps. (1128B Creax singes of welling surfaces shall be the minimum possible and shall not exceed % inch per faot. The slope of any appresiably warped welling surface shall not exceed 1 unit vertical in 12 units herizontal in any direction. (1123B)

Where podenting grade tripertainess creats stretch or other vehicular tailifs ways, and where a stretci heed crowing can transmissive and notify be used by persons with databilities, there shall be preveded conforming care tanks audie rationary (11246);

G. RAMPS (EXTERIOR OR INTERIOR) also be posted in a conspiruous place at each entrance to off-stoct parking facilities, or strable from teach sail or store. The right here of least har 117 index by 22 index in vir is a stagk, which detary and compoundy states die following; (11298-4) publed in deugated screamble spaces and duplicying disungrunhing plactadis or license plates with thiss users are seen areas to some the endown to be discubles may be excluded at a to by a set to be filled in wide psycoptate information as germanical part of the sign.)

 The maximum slope of a range that serves any exist way, provider accers for perivers with pby vical disabilities, or is in the screently route of travel abail be 1 four time to 12 feet of homenousl ton (13) percent pradeotty. The least possible slope abail and for again (1) (13) and (12) and (12) and (12) and (12) percent pradeotty. The least possible slope abail and for again (1) (13) and (12) and (1 1. Any path of uavel shall be considered a rump if its slope is greater than 1' rise in 20' of horizontal nua. (1133B.5.1)

shull be no greater than 1:50, (11338.5.3.1) ainnum clear width of 48 inches, unless required to be wider 9 substrated proving the proving state have a various simulation deployating state of the following. The state of the proving state of the proving state of the state of space is white or statistic state of the state of the state of the state of the state of space is white or statistic state of the state of the

I. Poduation ramps shall have a minim rule. (11338.5.2)(11338.5.2) of K-foot 2-inc

b. Level landneps aball he provided at the top and bottom of each ramp. (11338.5.4.1. Fig. 118-38 & 34) Where a preloction comp is the only cast do-charge path serving entrances to buildings or 100 as more the range shall have a minimum clear width of 60 index. (11330.5.2)

Intermediate landings shall be pr 1330.5.4.1. Fig 11B-38 & 39)

Top leadings what It's not lead an 60 locken wels and shall have a leagth of not lead due 60 inclus in the direction true. Landing at the heatmon of immy abult have a dimension in the direction of range run of not lead that 32 incluss. (113):83, 427, Fei 118-33 & 239.

Disors in ary-pretision shall not reduce the minimum dimension of the landing to leas than 42 incless and shall not required width by more than 3 incluse when fully open. (11331B.5.4.3, Fig. 11B-301b))

10. The weath of the instant shall extend 24 modes part the surface edge of any door or gate for exterior ramps and 12 inches part the strike edge for instantior ramps (113120.5.4.4. Fig. 118-30).

scood % inch per first (2.08) pe All ramp landings deall be level with a (1133B.5.4.1.1102B) d for the corp. (11338.5.4.5, Fig 118-38 12. At botto & 39)

ramp run of not less than 60 inches. (11330.5.4.7, Fig. Insermediate and bottom landings at a change of direction in cercas of 30 degrees shall have a dimension in the direct range run of not less than 72 incluse to accommodule the handrall extension. (11338.5.4.6. Fig 11B-34) nn in the direct ediate landings shall have a dire 14. Other inter 11B-38)

ipted by steps or by

7724 Girard Ave. Second Floor La Jolls. CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3768 Michael Michon Marengo Dexi.

Architects

Marengo

Ground and flow surfaces sheap accessible routes and in secretishic monus and spaces, including flows, walks, range, takin, and curb starge, shall be stable, fam, and slip-resistant, (11268.2 & 11248.1)

In buildings and facilities, flows of a given story shall be a scenarios level throughout, or shall be connected by pedestrustamp, pationger elevation, or special access (file, (1120), 1)

5. If carpet or carpet tale is used on a proved or fiber turbes, in shall be recordy startshot, have a firm cashine, paid or building to a canasine regulation of the start and the transmission of the start and the start and

4. Changes in jevel between ¼ inch and ¼ inch adall he beveled with a slope no steeper that 1:2. (1124B.2, Fig 11B-3E(d))

3. Changet in level up to \$4 inch may be vertical and without edge treatment. (1124B.2, Fig 11B-5E(c))

6. If Training extension of an finance, then they shall have spaced are given by finally whether have characterized for finance that the state of the space space are proportional to the dominant directions of travel, (1734), 4.5, 111-1719.

K. CURRIDORS & AISLES

Morton

A CLOST

4. Creations as the and prelication with shall be used seconding to functional requirements and on nexcess dual be less than 36 index in dear weak. (1) 1093-169.

Every portion of every building in which are intelled seats, tables, merehandise, equipment, or similar materials shall be provided with index leading to an exit. (1133B.6.1)

ig only one side, and not less than 44 inches wide if serving both

 Every stale shall be not less than 36 inches wide if i sides. (1133B.6.2) L. HAZARDS AND PROTRUDING OBJECTS

1. Cutoff and the first second sec

17. The grip protice of hardinality shall be not leas that 1 lift inclusa me more than 1-1/2 inclusa in zerosa sectional normal dimension, or the sharp shall provide an equipate inputping match, and all neutricer while he moved with no sharp context functions has increased within that (2013) 85.5.1, fig. 113-93.

warm of 3 inclose deep and extends at least 18 inclose above the top 11. May deal projecting forms a weat dual have a space of 1.12 index betward and the haddeal (113)B.5.5.1. Fig. 10. Marketing have been as a special for the second second second second and the haddeal (113)B.5.5.1. Fig. 4. Marketing have been as a special for the second second second second second second second second data with the first second by a select contract sectioned in handlish that the first of sharps of shratters of second by a select contract sectioned in handlish the first of sharps of shratters of second. Edge while have a mainteen second second

10, Where the range sorface is not bounded by a well, the range shall seemply with note of the following requirements. (113163.56 (Eq. 1210.54 (E)) 113163.66 (Eq. entransmus 27 index in high shall be provided at cerb size of the range (11310.56.1) OR 5) A wheed guide call be provided, contend 3 index, gui ar muma 1 inch above the aufface of the range (11301.56.2)

20. In existing buildings or facilities where the extension of the handrall in the direction of the runp run would areate a hazad the extension may be turned 90 depress in the run of the range, (1133B.5.5.1.1, 1133B.4.2.4)

stal (5 percent gradient), it shall

6. When the alops in the direction of maxels of any walk encodes one vertical to 20 units has comply with the provisions of Section 1133B.5. (1133B.7.3)

7. Welk and sidewalk surface creat slopes shall not exceed 1/4" per foot. (11338.7.1.3)

Is of at least every 400 feet.

With and should written and the align-tationate in choose (113)13.13.
 With and should written and the align-tationate in choose (113)13.11.13.
 With and should be aligned by a moduli be a list of align-tationate and align tationate and align tation (fault (1313)1.11.13.)
 Statistican with a hope of five a granter gradeant shall be althereating (113)13.11.23.

equinements for curb ramps.

tary they shall comply with the

When aboupt changes in level greater than ½ⁿ are nor (11330.7.4)

in width. (11338.7.1, Fig 118-27(a))

Walks and addwalks subject to these regulations shall have hopt changes in level ercooding '5". (11338.7.1)

D. WALKS & SIDEWALKS

. Walks and sidewalks shall be 48*

with Section 1013. Such Range more than 30° above the adjacent ground shall be provided with guards that i shall be continuous from the top of the range to the boltom of the range. (11338-5.7)

H. ENTRANCES & EXITS

This is defined it "Part performed a warson of grout system which is againstead from other minister systems of a building or streamers by increasion-second constraints and synaptic processors as provided as provided as provided as a provide

Addings for additional metal and additional transmission of the second s

1. Abrief change in fixed, except between a will set videwalls and pricess time to drive spresseding 4 and has a set of set of the set of a set

When a paired or handhail in privided, pay cuth in required when a guide rail it privided contered 3 index plus reminus 1, inch more that warface of the welk or autowalk, the welk at 5 percent or leas gradients or no objected housed coulds (113B48, 1 [11:11374]).

Objects projecting from walk with their leading edges between 27 inclus and 80 inclus shows the finished floor shall protende on more than 4 inclus is no walks, contrider, peaksy cursys w axids, (1133B.X.6.1, Fig 11B-7A)

tible to persons with All entrances and exterior ground floor esti down to hulldings and facilities shall be made se trabilitues. (11338.1.1.1.1)

ith disabilities. (1133B 2.3.3) 2. Revolving doors thall not b

chall he : During periods of partial for restancied use of a huilding or facility, the coirraces used for prinxing and wable by periods with facabilities. (11)338,1,1,1,2)

rent interference with wheelshair traffic (11338.1.1.1.1. Fig 118-25) altall be ado

a of doors. (1133B.1.1.1.4) 5. All gates, including ticket gates, shall

6. Fory, required case deverys shall be capable of spering at lass 190 degrees, shall have a neuronen clear speanage of 32 index, and hall be of a rate is to permit the insultances of a door and has that a fort in which and not have then the physical (13):1335-131.

The space better two consectives dow openings in a vestibility, serving other than a required exit environ. Y dull provide a maximum of 4 and been of dura produce possing into web vestibute when the dow'ts particional at a suggest of 90 dynamic from its dead position. Does in a satist stability allowed when the dow'ts particional at a suggest of so down. See Figure 11B-30. (11)B-31. (1)

LA JOLLA, CA 92037

BIRD ROCK MIXED USE

curering space.(11,338,8.6.), FIG 118-7D)

num clear head room

Provading objects shall not veloce the clear vields of an accessible route or namesoreting spatial 7. White, bulk, considere paratyra syst studies, or other cleaning spaces shall have 10 index. (1)33BAA.2. Fig. 11B-7A.A. FC)

 Free-standing objects toounted on posits of pylons may overdrang 12 inches real ground or finished floor. (1133)R & A.J., Fig. 118-28) Objects mounted with their leading edges at or below 27 inclust above the welfes, halls, carridore, parangenayr, or aisles. (1133B.8.6.1, Fig. 118-7A)

n of \$0 model above the walking surface as file

sum from 27 inclus to 80 inclus above

I. DOORS

Door hoodtex, paths, latcher, locks and order aporating devices um devor required to by accessible abult not require tight grauper, glippinching existing of the visit on specture. Nanolly spectrade folio are rearfiese beilts are nus promittad. The unidexing of abult down exist failuing that more user more repeatives. (1903.1.3)

3. Listchen and feetung doore that are back entry and and which are in a path of turied shall be espendie while a ungle effort by large backens, by physical and the espendie while a ungle effort by large backens, by physical back, backens, back, backens, back, back,

Transi hwefing plafferns shall carditors to fix equicators of Section 11210.3.1. Item 3(b). Only approved DSAAC detective "strong greature and daterions interns abilit Ne installed in specified in the Childrans Code of Partitionae. Titi 2, Part I. Antol. 2. 3. and 4. (113181.4.)

Conterprise Audit Interchanduration on cards staffs, and encoy vertering required to the more than 10 includes in which Audit for provid with and loss information international for each 35 includes of frequined widdle. The more distribution in that is a special staff and the staff of the staff of the anti-scy. Handwalls shall be contained along block to the staff of the states (13384.4.1.1).

2. The type of handkall gripping workness shall be monuted 34 to 35 inches above the novary of the tracks. (113386.4.2.1, Fig. 113-155)

9. Where a got support is used parallel to a path of travel, including, but and limited to idensity, a goty brace, addreadit got surfact derive shall be used to prevent an orchanging electronicus is defined. (11318.A.2) 16. If a well constant or objoints a volucitati way: and the walking autricutes are not sequented by to whe millings or other cheme between the predictions areas and obsolute transit and herearches the stand will be defined by a continuous detectable wareare printed to bindue welds. completing which Section 112(12), Linco 14(6), (11)20, 53).

Any abstruction that overhangs a perfectivitie way, shall be a mit from the bottom of the obstruction. (1133B.5.2, Fag 11B-28)

teral between 10° and 44° above the floor. (1153B.2.5.2)

M. STAIRWAYS

m clear opening of 32 inches with the door open 90 degrees. (11338.1.1.1.1 of door opcomig landware shall be cen 4. When statelled, doorrays shall have a musiou Fig 118-58 & 118-33)

ALTENAR 10-3-11 Completeness Suburited 07-3-12 Community Presention 7-19-12 Constal Resubmitud 08-01-12 Community Planning Rev

For hinged doors: the opening width shall be measured with the door pointimed at an angle of 90 degrees from its closed positions. (11250-23, Fig. 118-58)

6. Where a pair of down is utilized, at least one of the down shall provide a clear, unobsurveted repeating width of 32 inclear with the last positioned at an argle of 90 degrees from its closed position, (1135B.2.3.1)

7. When an automatic ar power satisted door operates is utilized to operate a pair of doors: at least rest of the doors shall provide e clear, understanding reprism, with the providencia transpect (70 degrees, from to doord powine Automatic above and comply with BHAA ATAR, 10 at BHAA ATAR, 19, 111382-2323.

Menimum masses are diverse at diverse shall be as shown in Figure 11B-26A, & 11B-26B. The floor or ground area within the required clientators shall be level and clear. (11)31B-24.2.

V. These shall be a local and data fluore is building on such also of a door. The local state shall have a longith in the direction of the strength of the strength and the strength of the direction of the strength of the strength and the strength of the strength and the strength of the strength and the strength and the strength and the strength of the strength and the streng

(1) The varies of the end arear test bein to which the or vary, which condition 2.3 index the rule of the over the end of the over the end of the end o

Provide clear space of 12° pararities edge of the door on the opposite side to which the door arriving if the door is equipped with holds a latch and a closed. (Fig 11B-26(a))

(3) The basimum (1) cell allows traction and table (and 1) have a traver, mainterregist of table 20 million (addition) and a strategist and of the doorway. (1133B.2.4.1) 12. The floor or landing shall be not more than 1/1 and lower than the thre

4.1 Movilian enditor in experimentation and instructional postability according with the postability and po

10. The no

15. When the does has a closer, then the newsy bound of the choice shall be adjusted so that from an synt positive of 70 degrees. As does well back at frank 1 seconds to more to a positi at solary of the of the degree of the control of the solar back at the solary at the solary of the solary back at the solary at the solary is a positi 3 and as from the flack measured to the flack measured back at frank 3 seconds to more to a positi 3 and as from the flack measured to the flack measured back at frank 3 seconds to more the a positi 3 and as from the flack measured to the flack measured back at frank 3 seconds to more the a positi 3 and as from the flack measured to the flack measured back at flack at the solar so

T-1.3 SHEET 3 OF 19

1.7 Tactile floor delipwishen appa that comply with Saction 11 (771.5.1 shall be leaued at each floor level backing in all concentrations are senses as back and accurately the concentration of th

L1 Quest into an expension Que on phone data was a phone data was a phone data was a phone and more treat was a phone data was a phone data

NIETT TITLE COMMERCIAL ACCESSI NOTES

A start of the sta

A function of the second secon

5. All trand unfaces that he slip-resistant. Washier exposed storm and their approaches shall be dauged to that water will not exconormalies on washing under 17 trans and Mill the stores. Franceded, or chamfored express of origin, and the slips, 113104.5.1.4. [H1:133].

the face of the riser below. (1133B.4.5.2, Fig 11B-35)

R. Where existing nonversible a building the upper systemeth and all trends shall be marked by a trip of clearly contraining indicated. This are shown and add spatible to and non-more than 1° from the mone of the trap or transing us dare the systemeth indicated. The sering shall be for a material that is at least as dispersions as the other transit as the system teageable. (11)318.44, Fig. 118-35)

DRAWH BY RR. MC. JK пате 01-10-2013

7. The upper egeneers and the linear transf of each nair shall be method by a stufp of clearly constanting color at least 2 index wide plocal partial to a more than our and from de team of the stup of 1000 gu about (1994) inspired. The stup addition of that an a linear start as often ender a clear of clearly start. (11316) 4, 8, 118-30.

6. Randrally prejecting from a well shall have a space of 1-1/2 incluse between the wall and the handralit. Headralit way be forecard in a recessi if the result is remarked on 2 indic degrand extends at freat 18 incluses above the up of the rail. Headrali, adult activation wellshall be finitely. (11318-12.5.7, fig. 118-26).

The orienterion of at least one handrail shall be in the direction of the run of the stain and per casic examp. and aball not reduce the minimum required width of stairs. (1133B.4.2.4)

PHASE FRORECT NO. 2011-13 REVIEWED BY C.A.M.

PHASL 000

 Handraits shall extend a minimum of 12 incluse beyond the top maning and 12 incluse plus the used width beyond the bestom noing and onla shall be returned or terminute in newed posts or articsy terminals. (1133B:4.2.1, 1133B:4.2.1, Fig 11B-35, 37) 4. The bandgrap parties of theoremis double scale (see) that 1-14 miscles or more than 1-16 miscles in tense-actional normal fidenciation for they add with the scale control may approximate the scale and the scale of the s

(b) White tructules and ever detail priorate are validited in a failing for degrees of frequencies (priording) accounts and the weat structule prioration in a failing for a prioration of the prioration of th

Level area is defined as "a specified surface that does not have a slope in any direction e hndizmual (2.001% gradient).* (11020) J. FLOORS AND LEVELS

soling 1/4 much in one foor from the

Controls and operating mechanisms in accessible spaces, along accessible routes or as part of accessible elements and those in Section 109.1 are required to be accessible. (117B.6.1)

2. Clear floot space complying with Section 11188.4 dat allows a forward or parallel approach by a person using a who shall be provided at controls, disperson, receptacles, and other operable equipment. (11178.6.2)

 The highest and lowest openble part of all controls, dispensers, receptacles, and other operable equipms within one of the reach ranges specified in Sections 1118B,5 and 1118B,6. Electrical and communication. within one of the reach ranges specified in Sections 1118B.5 and 1118B.6, walls shall be mounted no less than 15 inches above the floor, (1117B.6,3)

4. Controls and operating mechanisms shall be operable with one hand and shall not require tight grasping, punchin (wisting of the wrist. To force required to activate controls shall be no greater than 5 pounds of force. [1117B.6.4]

5. For exercisive locutoris, locord controls and operating, mechanisms shall be operable with out hand and shall are require pointing, to triviality of the with. The force requires pointing networks are shall be a perable of a complex pointing mechanisms shall be a practice function 10. Leves-operated, push-type, and electronically controlled mechanisms are examples of acceptable designs. Self-closing views are labored if the function requires good for at labor 10 accent. (11138.4.2)

O. SPACE ALLOWANCE & REACH RANGES

The minimum clear floor or ground space required to accommodate a single, maintany wheeledair and occupant in 30 inches by 45 inches. The minimum clear floor or ground space for wheeledairs may be positioned for forward or parallel approach to an object. (Clear floor or ground space for wheeledairs may be a part of the knee space required under some objects. (1117B.2.3, 1118D.4.1, Fig 11-D-5A)

2. One full unobstructed side of the clear floor or ground space for a wheelshair shall adjoin or overlap an accessible route or adjoin another wheelshair clear floor apace. If a clear floor or ground space is located in an alcove or otherwise confined on to part of three to disa, additional antenoversing clearacet shall be growed. (1117) 22.4.7.1187-A.7.1; p1-18-5A)

The space required for a wheelchair to make a 180 degree turn is a clear space of 60° diameter or a T-shaped space.(1115B.3, Fig.118-12(a, & (b))

4. The minimum clear width required for a wheelchair to turn around an obstruction shall be 36 inches where the obstruction i 48 inches or more in length and 42 inches and 48 inches where the obstruction is less than 48 inches in length. (Fig 11B-SE)

5. The minimum clear width for single wheelchair passage shall be 32 inches at a point and 36 inches continuously. (11185.1, Fig 118-10)

6. The minimum width for two wheelchairs to pass is 60 inches. (1118B.2, Fig 11D-11)

If the clear floor space only allows forward approach to an object, the maximum high forward reach allowed shall be 48
inches, Son Figure 11B-52(a). The minimum low forward reach is 15 inches. If the high forward reach is over an obstruct
reach and elevationes shall be a shown in Figure 11B-52(b). (111B-55)

8. If the clear floor apace allows parallel approach by a person in a wheelchair, the maantuum high inde reach allowed aball be 54 incises and the low side reach aball be as less than 3 incises above the floor as shown in Figure 11 H=50(a) & (b). If the side reach is over an dolestroicion, the reach and clearance shall be as shown in Figure 118-106(c) (111B.6).

P. EMPLOYTE WORK AREAS & WORK STATIONS

Work Station is defined as "an area defined by equipment and/or work surfaces intended for use by employees only, get for one or a small number of employees at a time..." (1102B)

1. Employee areas shall conform to all requirements of the Division of the State Architect - Access Compliance in the California Building Code, Plumbing Code, and Electrical Code. (1123B.1)

Specific workstations need only comply with aske width and floors and levels, and entry-ways shall be 32 inches in clear width, Aisles shall not be leas than 36 inches if serving only one nide, and not less than 44 inches wide if serving both side

Employee work areas shall be accessible by means of 3h inch minimum aisle and 32 inch minimum clear opening door width. (11058),3,2,33

Q. FIXED OR BUILT- IN SEATING, TABLES & COUNTERS

1. Where fixed or built-in seating, tables, or counters are provided for the public, and in general employee areas, five percent but never leas than one must be accessible, as required in Section 1122B, (1122B.1)

If scating spaces for persons in wheelchairs are provided at fixed tables or counters, clear floor space complying with Section 1118B.4 shall be provided. Such clear floor space shall not overlap knee space by more than 19 inches, (1122B.2, Fig 11B-13)

If seating for persons in wheelchairs is provided at fixed tables or counters, knee spaces at least 27 inches high, 30 inches wide, and 19 inches deep shall be provided. (1122B.3, Fig 11B-13)

4. The tops of tables and counters shall be 28 inches to 34 mches from the floor or ground. (1122B.4)

5. Where a single counter totating more than one transaction station, such as a bank counter with multiple teller windows or a retail asies counter with multiple call register stateos, at least 5 percent, but never leas than one of each type of station shall be located at a section of counter that to at least 50 inches long and no more than \$28 to 34 inches high, (11228.4) R. SIGNS & IDENTIFICATION

Californis's unadoub for signess are more utilized and the significantly larger and wider than Folcet law, Americans with Disabilities Art (ADA) Section 43.0, and (11178.5). The international Symbol of Accessibility shall be the standard used to identify facilities that are accessible to and usable hypercelly disable pareness are of from in Title 54 and as perificially required in this Section, (11178.5). IF gill Title 53.1.

The International Symbol of Accessibility shall conxist of a white figure on a blue background. The blue shall be equal to Color No. 15090 in Federal Standard 595B. (1117B5.8.1.1)

2. All building and facility currences that are necessible to not workle by persons with duabilities and at every major junction denotes the second intervent of translation data and an every distance or for stand add the accussible to its adjustance of the distance of the denotes and a second intervent of translational distances are equired, to be visible in persons along approaching circulation paths. (11712-8.3.1.2.8.11278-3.)

3. When personnet identification is provided for means and spaces of a hulding or site, raised latters shall be provided and shall be accompatible by Italia in confirmance with Section 11178 3.2 through 11178.57. Signs shall be installed on the figure shell be indeed on the sector adjustment of the statement of the section of the s

4. When signs direct to ergors information above personaera menus and functional spaces of a building or stark, they shall comply with Sections 111785.5.1 (1178.5.4, Manno ergors as justice and identification in derival exit asigns, graphic illumination, power source, Locific exit is spirage textile stari level identification and aposid ergreas control devices shall comply with Sectional 1002.5.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.1, (1003.2.8, 1003.2.8, 1003.2.1, (1003.2.8, 1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, (1003.2.8, 1003.2.8, (100

5. When raised characters or when pictogram symbols are used, they shall conform to the following: (117f1.5.5) a) Character on signs shall be raised or reseased 102 tack minimum and shall be state - sterif uppercase characters necessnapicity (Dynelds 2 Braille complying with science) in 1176.5.6. (11178.5.5.3.1) b) Raised durateries are symbols shall be a comparison of 5/8 finds high and a maximum of 2 inches lugh. (11178.5.5.2) c) Pieterist symbols in sign (pietogram) shall be a scenarized by the verbal description placed directly below the pietogram. The sound dimension of the pietogram field shall be a maintum of 6/8 inches in height. (11178.5.5.3) (2) Characters and Braile abult else thermal and the scenarized and the state in height. (11178.5.5.3) (3) Characters and Braile shall be a characteristic beauto the scenario of 5/8-inch and a maximum of Visiah directly below the totelic characters; fishal lift or centered. When testile sign is molti-kined, all Braille skall be gived together below all lines of frequences (11178.5.5.3)

6. Characters on signs shall have a width-to-height ratio of between 3:5 and 1:1 and a stroke width-to-height ratio between 1:5 and 1:10, (11170.5.3)

Characters, symbols and their background shall have a non-glare finish. Characters and symbols shall contrast background, either light characters on a dark background or dark characters on a light background. (1117B.5.2)

3. Characters and numbers on signs shall be aized according to the viewing distance from which they are to be read. The minimum height is measured using an upper case "X". Lower case characters are permitted. For again suspended or project whose the faith blow is compliance with Section 11328.6, the maintoin character height shall be 3 index. [117195.7,]

ted Grade 2 Braille shall be used wherever Braille is required in other portions of these Standards. Dots shall be 1/10 nters in each cell with 2/10-inch space between cells. Dots shall be raised a minimum of 1/40 inch above the inch on centers in each ce background. (1117B.5.6)

10. Pole supported pediatrium traffic control buttoms shall be identified with color coding consisting of a textured horizontal yellow hand 2 inches in width ensireling the pole, and a 1 inch wide dark horder hand above and helow this yellow hand. Colors-ending about the pole dimandiately above the control buttom. Coursel buttoms shall be located an higher than 44 inche above the antice abjacent in the pole. (117:05-57)

S. ELECTRICAL

The highest spenshle part of all controls, dispensers, receptacles and other operable equipment shall be shall be installed at an secessible location meeting the classrances and reach same requirements of Section 1118B.5 and 1118B.6 and not leas than 15° show the floce or working platforms, (1117B.5.3)

The center of the prip of the operating handle of controls or switches intended to be used by the occupant of the room, or sees to control lighting and receptuale outlast, appliances, or conling, heating, and venifiating optiment shall be 48° above the floor or working platform (111718, 6, 1).

3. The center of electrical receptacle outlets on branch circuits of 30 amperes or less shall be installed not more than 48 inches nor less than 14 inches above the floor or working platform(11178.6.5.2)

T. NOTIFICATION APPLIANCES FOR THE HEARING IMPAIRED

amhient noise impairs hearing of the fire alarm

tridors

e) Gymnasiums f) Multipurpose rooms g) Occupational shops h) Occupational shops

j) Meeting rooms
 k) Any other area for common use

V. CLEANER AIR SYMBOL

A. SANITARY FACILITIES (GENERAL)

ds to be secessible t 1115B, (1115B,1)

Sapkin disposal in front of toile

atery/sink top measure atery/sink knee clearance imal lip height 17° max arinal fuuth handle height 44° max arinal fluth handle height 36° max 27° min 22° min

A= Adult dimensions (age 12 and over) = Elementary dimensiona = Kindergarten and pre-tschool dimension (T1115B-1)

U. ADDITIONAL MISCELLANEOUS REQUIREMENTS

e) Music practice d) Band rooms e) Composiums

1. Qualified hist

NOTE: If emergency warning systems are provided, they shall include both audible alarms and visual alarms complying with NFFA 72 and Chapter 9, Sections 907.9.1 and 907.9.2. (11141).2)

Approved notification appliances for the hearing and visually impaired shall be installed in accordance with the provisions of NPFA 72 in the following areas:

orical buildings shall comply with the State Historical Building Code, Part 8, Title 24, of the California Code of visited in Part 2 of Title 24, (11198 & 11358.1)

When a commercial facility is located in a private Residence, the portion of the residence used exclusively us a reside overeal by Chapter IIB, except as required by 11118.5, but that portion used bruth for the overservical facility and for a propriors in overeal by the next construction and alteration requirements of this over, (1010.6.1)

3. The portion of the residuace covered extends to those elements used to enter the commercial facility, including the homeowner's front sidewalk, if any, the door or entry way, and hallways, and those portions of the residence, interior evaluable to or to be used by employees or willow of the commercial facility, including statuse (2011). (10110.3)

1. Strictly for publicly funded facilities or any facilities leased or reated by State of California, not concentroanies. This symbol shall be that standard used to identify a room, facility and path of farved (but are accessible to and stable by people who are adversedy impacted by airborne chemicala or particulate(s) and/or the use of electrical fastures and/or devices. When used, the symbol shall locatify sciences 111705.111., [11705.11.], and 111705.113. (11715.11.], EII-01)

Bathing and toilet facilities that serve buildings, facilities or portions of buildings or facilities that are required by these mandards to be secessible to persons with disabilities, shall be on an accessible route and shall conform to the requirements or

Where separate facilities are provided for persons of each sex, these facilities shall be accessible to persons with disabilities Where unisex facilities are provided, these facilities shall be accessible to persons with disabilities. (1115B.1.1, Fig 11B-1A)

Where farilities are to be used solely by small children, the specific heights and clearances may be adjusted to uncet their accessibility needs. Sne Table above for suggested mounting heights and clearances. (1115B;1:2)

4. The dimensions are recommended by the Division of the State Architect. Office of Regulation Services. These recompositions are based on the folderal "recommendations for Accessibility for Children in Elementary School" and other recognized publications on access. The children.

5. Doorways leading to mea's samitary facilities shall be identified by an equilateral triangle 1/4" thick with edges 12" long a vertex pointing upward. Women's samitary facilities shall be identified by a circle 1/4" thick and 12" in diameter. (1115B.6)

6. Univers sanitary facilities shall be identified by a circle 1/4" thick, 12" in diameter, with a 1/4" thick triangle superimposed on the circle and within the 12" diameter. (1115B.6)

7. Geometric (teircle & triangle) aymbols on samilary facility doers shall be cantered on the door at a height of 60° and their color and contrast shall be distinctly different from the color and contrast of the door. (11150A) NOTI: See also Section 1117B.3.1 for additional algorge requirements applicable to naturey facilities.

NOTE: Single Accommodation Sanitary Facility is defined as "a room that has not more than one of each type of sanitary fixture is intended for use by only one person at a time, has no partition around the toilet, and has a door that can be locked on the inside

Provide sufficient space in the toilet room for a wheelchair measuring 30° wide by 48° long to enter the room and permit the door to close. (1115.B.3.2.1)

Show a clear llove space of at least 60° in diameter, or a T-shaped space complying with Figures 11B-12(a) and (b). No door shall encruech into this space for invert than 12°. (1115B.3.2.1, Fig 11B-1A)

4. Show that the conterline of the water closel fasture shall be 18° from the safe wall or partition. On the other aide of the water closet, powide a minimum 38° wide clear floor space if the vater closet is adjacent to a fasture or a minimum of 32° wide clear floor space if the vater cluster is adjacent to a wall or partition. This clear space all due cand from the rear wall be the fourt of the fourt of the fourt of the fourt of the state cluster is adjacent to a site of the state of the state cluster is adjacent to a wall or partition. This clear space all due cand from the rear wall be the fourt of the fourt of the fourt of the state cluster.

5. All doors, fixtures, and controls shall be on an accessible route with a minimum clear width of 36° except at doors, 1f a person in a whotehair must make a turn around an obstruction, the minimum clear width of the accessible route shall be as shown in Finare 113–52. (112153.2.2)

In existing buildings, a single accommodation toiles water closes may be located in an area which provides a clear space of 36" wide by 48 inches long in front of the water closet. (11158.3.2)

NOTE: Multiple Accommodation Sanitary Facility is defined as "a room that has more than one seniary fixture, is intended for the use of more than non-person at a izme, and which usually is provided with privacy compartments or screens shielding some fixtures from view", (202)

1. Provide a clear space measured from the floor to a bright of 27° above the floor, within the sanitary facility room, of aufficient size to invertibe a circle with a diameter not less than 60°. Doess shall not wrang into the floor space required for any festure. Other than the does to the accessible state clearst empartment, a door, in any position, may essenach into this space by not more than 12°. (1150.3.1.1 & 11503.12., Fig 110-10)

2. A water closer future is located in a compariment shall provide a minimum 20" wide close passer from a future or a minimum 20" wide close passer from a will now adde of the water closer that provide 10" from the votateline of the water closer to the wall. Gold hours shall out project more than 3" into these close spaces. The stall shall be minimum of 60" works (11938 AL1, Figs 113-18)

If the compartment has a side-specing door, show a minimum 60° wide and 60° deep clear floor space in front of the water closet, (1115B.3.1.4.2).

4. If the compariment laws an end-opening door, show a minimum 60° wide and 43° deep clase floor space in front of the water closet. The door shall be located in front of the clear floor space and diagonal to the water closet, with a maximum sille wideh or 47 (11135).1.1.5, Fg (11b) 1.4 B)

 A
 E
 K

 et and head
 12"
 15"*
 12"

 et and Head
 17"-19"
 15"
 19".12"

 bart heads (side)
 33"
 22"*
 24".25"

 cases in force of folicit
 12" max
 7" max
 8" max

 etter string schede
 12" max
 12" max
 8" max

 string schede
 12" max
 12" max
 8" max

 string schede
 12" max
 12" max
 8" max

 string schede
 13" max
 24" max
 12" max

 string schede
 13" max
 13" max
 13" max

 string schede
 11" max
 13" max
 13" max

 string schede
 11" max
 13" max
 13" max

Drinking fountain knee clearance 27° min 24° min 22° m Rarpystair andrail height 34°-38° 27° 22°

B. SINGLE ACCOMMODATION SANITARY FACILITIES

met. (1115B.4.1, Fig 11B-1A)

3. Doors shall not swing into the clear floor space required for any fixture. (1115B.3.2.2)

7. Provide 18 inches clearance on the strike side of the door. (1115B.3.1)

C. MULTIPLE ACCOMMODATION SANITARY FACILITIES

6. The entrance door shall contain a privacy latch which complies with Section 1117B.6. (1115B.3.2.7)

-, row-server states comparison that he equipped with a dow that has an automatic-chaing device, and shall have a clear, unohmetrical opening width of 32" when herated at the end and 34" when herated at the side with the door positioned at an angle of 90 degrees from its closed position. (11150.3.1.4.4, Fig. 118-1A & B) 6. The inside and outside of the compartment door shall be equipped with a loop or U-shaped handle immediately below t latch. The latch shall be flip-over style, sliding, or other hardware not requiring the user to grasp or twist. (1115B.3.1.4.5)

D. SANITARY FACILITY FIXTURES & ACCESSORIES

high toilet ac (1115B.4.4)

E. GRAB BARS

F. BATHING FACILITIES & LOCKERS

sterior.

7. Except for doer opening widths and dove avings, a sizer anotherment access not less than 44° shall be previded to water closed compariments designed for our by persons which disabilities. The space immediately in front of a water closed compariment shall be not less than 4% as measured a highly angles to compariment doer in its closed position. (1115B.3.1.4.5, reg [11B-18])

9. Provide an 18 inches clearance at the strike side of water closet compartment doors (no exception) (1115B.3.1, item 4.4).

1. The height of necessible water closets shall be a minimum of 17° and a maximum of 19° measured to the top of a maximum 2° high toilet scat, except that 3° scats shall be permitted only in alterations where the existing fixture is less than 15° high.

Provide a clear floor space 30° by 48° in front of a lavatory to allow a forward approach. Such clear floor space shall adjoin or overlap an accessible roots and shall estend a maximum of 15° tole knoce and tore space undernash the lavatory. A door owing shall one encreach liab tolia role argostrap (11198.43.3.). THE ISD 2.2.; Fig 118–130)

3. All Javatories, when located adjacent to a ande wall or partition, shall be a minimum distance of 18" to the center line of the fasture. (11158.4.3.2, Fig.118-1A)

4. Levatories dat ner designated to be accessible shall be a minimum 17° in horizontal depth and mounted with the tim rer counter edge no higher than 3/° above the finished floor and with ventical clearance menues from the battom of the aprox to depth of the depth of 27° at a point boarder 87° high toe clearance must be provided extending back travel the valit or a dimense sprane must be provided extending back travel the valit or valit or a dimense travel to the dimense and the dimense reare must be not endown to obtain with 17° at point boarders 1. The off edge of the dimense must be provided extending back travel the valit or a dimense reserve that 4° from the hack wall. The toe discussment is the off equipment or obmaximum (11878-3.3.2. Frgs.118-10)

5. Het water and drain pipes under accessible lavatories shall be insulated or otherwise covered. There shall be no sharp or abrasive surfaces under lavatories. (1115B.4.3.4)

6. Where usinals are provided, at least one shall have a clear floor space 30° by 48° in front of the usinal to allow forward approach. (1115B 4.2.3)

Controls for water closer fluth valves shall be mounted on the wide side of toilet areas. Automatic spring in lifted positi are not allowed. (1115B.4.1.5, 1115B.4.1.7)

Water closes and uzinal flush veloceontrols, and fasces and operasing nucchanism controls, shall be operable with one shall not require tight grazing, pinching, or twisting of the wasst, and shall be mounted no more than 44° above the flow (1158.4.3, 1118.4.2, 11158.4.2, 1)

10. The force required to activate water closet and utinit flush valve controls, and fracet and operating mechanism controls he no gravier than 5 life. Electronic ne automatic flushing controls are acceptable and preferable. (1115B.4.1.5, 115B.4.2.2, 1115B.4.1.5).

12. Mirrors shall be mounted with the bottom edge of the reflecting surface no higher than 40° from the floor. (11150.8.1) 13. If incidicine cabinets are provided, at least one shall be located with a usable shelf no higher than 44° above the floor. A clear floor space 20° by 43° camplying with Section 1118B.4 shall be provided in front of a medicine cabinet to allow a forward or torallel approach (1115B.2).

14. Where towel, samlary napkins, wasie receptacles, dispensers, or other equipment and controls are provided, show al least one of each type shall be located on an accessible route, with all operable parts, including coin slots, within 40° from the finished floor and stall comply with Science 117105. (I 11918).

15. Teilet tissue dispenses shall be incated on the wall within 12° of the front edge of the tritter seat, mounted below the grab har at a minimum height of 1°°, and 36° maximum to the for edge from the near wall. Foressores that control delivery or that do not permit continuous apper (for what has note to used, 1173178,4, Fig 1171-1A)

16. Teilet resen floers shall have a smooth, hard, non-abandhest surface such as Portland cement, concrete, ceramic tile or other approved meeting hick extends upward exte the walls at last 5°. Walls within water closes compariments and walls within 24° of the front and shalls of surface hall be simularly finished to a height of 41° and, except for structural elements, the materials used in such walls shall be a type which is in a defendely affected by monitors. (11158-3.1.6)

1. Grab bars for water closets not located within a compartment shall comply with Section 1115B.7 and shall be provided on the aide wall closest to the water closed and on the rear wall. (1115B.4.1.3)

2. Grab bars for water closets located within an accessible compartment abali comply with Section 1115B.7 and shall be p on the side wall closest to the water closet and on the rear wall. (1115B.4.1.3)

3. Grab bars for water closets located within ambulatory accessible compartments shall be provided on both sides of the compartment. (1115B.4.1.3)

4. The side grab bars shall be 42° long minimum, located 12° maximum from the rear wall, and extend 54° minimum from the rear wall. The frant end shall be positioned 24° minimum in from 16 the water closes, and shall be securely attached and center 33° above and parallel to be flow. (115):16.1.3.1, [8] (110):18.4.2 [11])

5. The rear gub bas shall be 38° long minimum and extend from the conterline of the water closet 12° minimum on one: 24° minimum on the other sate. The rear grab har shall be security intended and contered 33° showe and parallel is the fit except that where a mini-type with its wale which obtained placement at 33°, the bar may be as high as 36°, with 1-1/2° minimum between the bar and top of task. (11158.4.1.3.2, Fig 11B-1A)

6. The diameter or width of the gripping surfaces of a grab bar shall be 1%* to 1½* nominal, or the shape shall provide an equivalent grapping surface. If grab bars are mounted adjacent to a wall, the space between the wall and the grab bars shall be 1%*. (11587), Fig 110-10.)

specifications: (1115B, 7.2) a) Bending attriss in a grab he or east induced by the maximum bending moment from the application of a 230-th point load shall be leading attriss in a grab he or east induced by the maximum bending moment from the application of a 250-th point load shall be lead than the allowable altern stress for the material of the grab bur or soat, and its moming bracket or other apport is considered to be fully termined, thon direct and twinical history are soat, and its moming bracket or other apport is considered to be fully termined, thon direct and twinical history are soat, and its moming bracket or other apport is considered to be fully termined, thon direct and twinical history are instance of the applications of a 250-th point load shall be lead than the allowable heart load of effects induced in fastmer or mousting devices from the applications of a 250-th point load shall be leads than the allowable heart load of effects induced in fastmer or mousting devices from the applications of a 250-th point load shall be leads then the allowable heart load of effects induced in fastmer or mousting devices from the applications of a 250-th point load shall be leads then the allowable heart load of effects where the fastmer or mousting devices from the applications of a 250-th point load shall be leads then the allowable heart load of effects and the fastmer or mousting devices from the applications of a 250-th point load shall be leads the do-termined.

11150:7.20) Trails force induced in a fastener by a direct tention force of a 250-lb point load, plus the maximum moment from the pplication of a 250-lb point load, shall be less than the allowable withdrawal load between the fastener and aupporting struct 1158:7.2.4) (mb bans shall not rotate within their fittings, (11158:7.2.5)

The grab has and any wall or other surface adjacent to it shall be free of any sharp or abrasive elements. Edges shall have a minimum radius of 1/6*. (1115B.7.3)

2. Showns in all economics shall be finished with a smooth, land, neo-showbent surface such as Pertland sament, or ceramic fiels or other approved material to a helph of nost leas than 10° above the datin indet. Materials other than struct elements used in active value values lead by the target which is not adversely affected by ministruct (1115).2.1)

Doors and panels of shower and bathtub enclosures shall be substantially constructed from approved, shaller-resistant materials. Hinged shower doors shall open outward. (1115B.2.2)

5. Plastic used in doors and nanels of showers and ballitub enclosures shall be of shatter-resistant type. (1115B.2.4)

6. Provide a clear floor space with manimum dimensions of 30*a60*adjacent to bathtub. (1115B.4.5.1, Fig 11B-8)

4. Glaving used in doors and panels of shower and hathub enclosures shall be fully tempered, laminated safety plass, or approved plastic. When glass is used, it adult have a minimum bickness of not less that 1/8" when fully tempered, or 1/4" when faminated, and half mass the test reorierements of Section 2006 (1115) 23.3

ide an in-tub seat or a sest at the head end of bathtuba which is mounted securely, does not alip during use, and is at in-tu-fase attrohument to used the remutements of Section 1115B-7.2. (1115B-8.4.2. Fig. 11B-8.4.B-9)

Where facilities for bathing are provided for the public, clicata, or employees, including showers or bathinds, at least one shower or bathinds and support facilities, such as lockers, and not less than 1% of all facilities shall be made accessible. (11158.2)

7. The structural strength of grab bars, tub and shower seats, fasteners, and mounting devices shall meet the following

11. Self-closing faucet control valves are allowed if the fauret remains open for at least 10 seconds. (1115B.4.3.1)

Urnals alull be floor mounced, stall-type or wall hung. Where one or more wall hung urinals are provided, at least one with an clougated rim projecting a minimum of 14" from the wall, a maximum of 17" from the wall, and a maximum of 17" above the floor shall be provided, (1) 1514-2,1)

8. Where six or more compariments are provided within a multiple accommodation teilet room, in addition to th accessible staff required above, at least one additional ambulatory accessible comparament shall be 30° wide wit vanging self-cleaning doer and parallel grin bars complying with Section 11151A.1, Hen 3, (1115D.3.1, S)

8. Grab bars for bathtubs shall comply with Section 11158.7. (11158.4.5.3, Fig 118-9)

 Faucets and other controls for halituba shall be located as shown in Figure 11B-9, shall be open not require tight grauping, pinching or twisting of the wrist. The force required to activate control pounds. (111512.2.5.4, Fig 11169) trable with one h

10. Bathubs shall be provided with a shower spray unit having a hose at least 60" long that can be used as a fixed shower head or as a handheld shower, (1115B:4.5.5)

11, If provided, enclosures for bathtubs shall not obstruct controls or transfer from wheelchair onto bathtub seats or into tuba; Enclosures on bathtubs shall not have tracks mounted on their rims. (1115B.4.5.6)

12. Showers shall be either a) 60° minimum in width between wall surfaces and 30° minimum in depth with a full opening width are the long side, b) 60° in width between wall surfaces and 36° in depth with an enternot opening of 36° minimum, or c) 60° minimum in width between the wall surfaces and 36° minimum in depth so long as the entrance opening width is a minimum 26° (1115R-4.4.), Fill TeA.2, 128 ±201

Thresholds in ruli-in type showers shall be a maximum of ½" in height and shall be beveled or sloped at an angle not exceeding 45 degrees from the horizontal, (1115B.A.A.2, 1124B.2)

14. Maximum alope of the floor shall be 2% in any direction. Where drams are provided, grate openings shall be a m 1/4" and located flush with the floor surface. (1115B.4.4.7)

15. Where, within the same functional area, two or more accessible showers are provided, there shall be at least one shower constructed opposite hand from the other or others (i.e., one left hand control vs. right hand control). (1115B.4.4.3)

16. Water controls shall be of a single lever design, operable with one hand, and shall not require tight grasping, pinching, or resisting of the wrist. The control of the controls shall be located at 40° above the shower floor. The force required to activat controls shall he on generat Mas SB(s) (11)52-A, 47, B, 82(5)).

17. Provide a flexible hand-held shower unit with a hore at least 60° long that can be used both as a fixed shower head and as a hand-held shower. This unit shall be mountied used that the up of the mounting brackat is at a maximum height of 41° above the above flow.

18. Controls and hand-held sprayer unit in a 60° minimum by 30° minimum roll-in abover shall be located on the back wall of the compartment educent to the next and the curterine of the out and outerta kalls be no more than 32° from the scat wall, with the controls having a minimum of 19% to the scat wall. (1158 eA.4.1, 1151 115.4.4.3), freq 1110-23)

19. Centrols and hand-hald sprayer unit in a 60° minimum by 36° alternate roll-in shower shall be located on the side wall of the comparison adjuscent to the seat. The controls of the canorols shall be within a range of no least than 10° and on more than 27° from the seat wall. The centroline of the prayer unit shall be 18° from the seat wall. (11130-AA2, 11130-AA2, 57° [1130-38])

20. Controls and hand-held agrayer unit in a 60° minimum by 30° minimum alternate roll-in shower with optimal enclosure be located on the back wall of the erapyatizential adjacent to the zest and the centerlike of the unit and controls hald be no nu than 27 from the seal wall, with the controls having a minimum of 19° to the seat wall. (11158/A.4.4.3, 11158/A.4.5.3, Fig. 1118-42) osure shall

21. Except within gutst rooms and suites in hotely, motels, and similar transient lodging establishments, where accessible shower facilities are provided in areas maject to excessive vandalism, in lice of providing the freed flexible host, new will insomed abover heads shall be installed. Takabawer band shall be installed a path trit, can be operstaid independently of the three and shall have rovid argie adjustments, both vertically and horizontally. One shower band shall be located at a height of 41° above the flower. (1158:A.65)

portion of wait over the same (11159,4,4,2, Fig 110-2A, 2D, & 2C) d) A swap dish, when provided, located on the control wall at a maximum height of 40° above the shower floor and within reach limits from the seat. (11158,4,4,9)

23. Enclosures, when provided for shower stalls, shall not obstruct controls or obstruct transfer from wheelchain scats. (1115B.4.4.10, Fig 11B-2A, 2B, 2C, & 2D)

24. Where lockers are provided for the public, clients, employees, members, or participants, at least one locker and not less than 1 5 of all lockers shall be made secontible to persons with disabilities. A path of travel not leas than 36° in clear width shall be provided to these lockers, (111518.5)

G. DRINKING FOUNTAINS

linde , clor

Where only one detailing fromton serve is previoud on a flow, three chall be a detailing fromton which is accountle to individuals who we webeclaim, and one accountile to both so who have differently buscling or transping. This can be accounted by the use of "h-line" fromtation, or by such other means as would achieve the required accountility for each group on each flow (111516.4.1.).

Where more than one drinking fouriain is provided on a floor, 50% of those provided shall comply with liens 1, 2, 4, and 5 of Section 1115B.4.6 and aball be on an accessible route. All drinking fountains shall comply with 1115B.4.6.3, (1115B.4.6.1)

3. Wall-and post-mounted cantilevered shisking fountains shall be a minimum of 18th and a maximum of 19th in depth and shall have a clear knee space between the bottom of the aprine and the Boor or ground not leas tian 27th in height. 30th is width, and Xth in depth. The depth shall be taken from the front edge of the fountain back toward the will or mounting post. (115B.4.6.2, Fig. 11B-31)

4. Knee and toe clearance space shall be free of equipment or obstructions. (1115B,4,6.2)

5. Provide a toe clearance of 9" in height above the floor, and 17" in depth from the front edge of the fountain. (1115B.4.6.2) 6. Provide a clear floor space at least 30° by 48° shall be provided in front of the drinking fountain to allow forward approach. A aide approach drinking fountain is not acceptable. (1115B.4.6.2)

7. All draking fourtains shall be located completely within alcoves or otherwise positioned in as not to enerosch into podratian ways. The alcove in which the draking fourtain is located shall not be lass than 32° in webh and 18° in depth. Protocology object and the state of the state. This control results are stated on the state of the state of the state. This control results are stated on the state of the state of the state of the state. This control results are stated on the state of the state of the state of the state. located in alcoves or encroaching into polestrian ways are permitted to project aisles. (1115B.4.6.3, Fig 11B-3)

Drinking featurian hubble shall be activated by a manually operated system not requiring a force greater than 5 lbf, that is front mounted or side mounted and lonated within 6° of the front edge of the fountain or preferably an electronically controlled device. (11158:A6, Fig 118-5)

9. Bubbler outjet orifice shall be located within 6" of the front of the dranking fountain and shall be within 36" of the floor. The water stream from the bubbler shall be substantially parallel to the front edge of the drinking fountain. (1115B.4.6.4, Fig 11B-3)

10. Spont shall provide a flow of water at least 4* high sc as to allow the intertion of a cup or glass under the flow of water. On an accessible draking foruntia with a round rowal book, the apout must be positioned so the flow of water is within 3* of the from edge of the forumin. (1115):Ac.6.5)

IL ACCESSIBLE SINKS

Where provided, accessible kitchen sinks and noncommercial kitchen and counter bar sinks shall have a clear floor space at least 20⁻¹ by 48⁻² europhysing with 11181A and providing a forward approach. The clear floor space shall be on an accessible rout and shall effect the maximum of 10⁻² eurofernest the sink (11151A-7, reg [18-10)

Each accessible sink shall be a maximum of 6-1/2* deep. Sinks shall be mounted with the counter or rim no higher than 34* above the finish floor, Show knee clearance that is at least 27* high, 30* wide, and 19* deep under ainks. (1115B.4.7, item 1)

Hot water and drain pipes exposed under sinks shall be insulated or otherwise configured so as to protect against contact. There
shall be no sharp or abrasive surfaces under sinks. (1115B.4.7, item 1)

4. Faucet controls and operating mechanisms shall be operable with one hand and shall not require tight grasping, pinching, or twixing of the wrist. The force required to activate controls shall be not greater than 5 Ibf. Lever-operated, push-type, and electronically controlled mechanisms are example of acceptable designs, (11518-47, 118 ml).

5. Self-closing faucet control valves are allowed if the faucet remains open for at least 10 seconds. (1115B.4.7, item 1)







	Marengo Morton Architects 724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3769 Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo Desa La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (
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-	PHASE PHASE PROJECT NO. 2011-13 REVIEWED BY CAM
	DRAWN BY RR, MC, JK
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	GFAPLAN A-1.1a SHEET OF 19

NOTE: THE PARKING IS NOT INCLUDED IN THE GFA BY CODE IS A BASEMENT IN COMPLIANCE WITH SDMC 113.0261 (d)

FIRST FLOOR GROSS FLOOR AREA:

SECOND FLOOR GROSS FLOOR AREA:

PROPOSED TOTAL GROSS FLOOR AREA:

ALLOWED TOTAL GROSS FLOOR AREA:

AREA TO BE INCLUDED IN GFA

LEGEND

7,655 SQ.FT.

10,759 SQ.FT.

18,414 SQ.FT.

20,904 SQ.FT.

GFA CALCU; ATIONS PER SDMC 113.0234

GFA CALCULATIONS:











ACCESSIBILITY LEGEND ACCESSIBILITY LEGEND ACCESSIBLE PATH OF TRAVE Accessible path of Caracit as and laterated in barrier fore sectas without, densy work-of changes revealed [14] indica and 1:2 miximum scope categories. Note throat-balls work by the sector of exceed (2/ vortical The comment hall work that the paths of travel indicated complete in this criteria CLAR FATH 44 Indic dates restarable remute, may be reduced in 3h for a dutance of 24 midta, blue as clear floor area FOR INTING FADILS FOR INTING FADILS FOR Into turning radius, clear floor area

ACCESSIBLE ZONE Zene which is 30 inches wide and 48 inches deep, clear fiver zere



LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS INCLUDED IN CALCULATING REQUIRED LANDSCAPE SHALL BE OPEN TO THE SKY AND SHALL CONFORM TO LIPDO - SECTION §159.0403.

2. TREES SHALL BE PONITIONED AND KEPT MAINTAINED SO THAT ANY BRANCHES THAT EXTEND OUT OVER DEDICATED STREET RIGHTS-OF WAY HAV'E A MINIMUM OF 14 FEET 6 INCHES OF CLEARANCE ABOVE THE SURFACT OF THE STREET.

3. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FEET ROOT ZONE ANI PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.

ANTINGUE DEMENSIon DESTANCE: TRAFFIC SIGNAL, STOP SIGN- 20 FEET UNDERGROUND UTLITY TRUES - SFEET (SWUR-10 FEET) ABOVE GROUND UTLITY STRUCTURES (TRANSFORMES, MOUND UTLITY STRUCTURES) MOUND UTLITY STRUCTURES (TRANSFORMES, MOUND UTLITY STRUCTURES (TRANSFORMES, MOUND UTLITY STRUCTURES (TRANSFORMES, MOUND UTLITY STRUCTURES) AND ANTION (TRANSFORMES, MOUND UTLITY STRUCTURES (TRA

5. ALL LANDSCAFE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OI THE CITY-WIDE LANDSCAFE REGULATIONS, LA JOLLA FLANNED DISTRICT ORDINANCE REGULATIONS, THE CITY OF SAN DISCO LAND DEVELOPMENT MANUAL LANDSCAFE STANDARDS AND OTHER LANDSCAFE RELATED CITY AND REGIONAL STANDARDS

6. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOA. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEDIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTIVI GROWING (ONDITION, DISEASED OR DEAD PLANT MATERIAL BE ANTIFACTORIALY TRAFETO BOR REPLACED FRE THE CONDITIONS OF THE

2. STREET TREES ARE REQUIRED WITHIN THE FUBLIC RIGHT OF WAY AT A RATE OF ONE CANOPY TREE FER 30 LINIAR FITET OF PROPERTY FROM AGE. ALL TREES SINCEL BE A MINIMUM AS INCLI ION SZEZE WITH 30 SO, FEET ROOT 20NE AND FLANTED IN AN AIR AND WATER FERMEABLE LANDSCAFE AREA (HAJOBIQA(I)/LOC).

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LANDSCAPE AREAS:	
LANDSCAPE REQUIREMENTS: LIDPO ZONE 4 OPTION A	
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LOT AREA (MINUS DEDICATION AREAS AT ALLEY:	15,172 S.F.
TOTAL LANDSCAPE AREA REQUIRED (25% LOT AREA);	3.796 S.F.
TOTAL VEGETATED AREA REQUIRED (40% LANSCAPED AREA):	1,518 S.F.
TOTAL LANDSCAPE AREA PROVIDED (25.8% LOT AREA).	3,913 S.F.
TOTAL VEGETATED AREA PROVIDED (76.03% LANSCAPED AREA):	2,975 S.F.
HARDSCAPE AREA AT FIRST LEVEL:	831 S.F.
VEGREATED AREA AT FIRST LEVEL:	1005 S.F.
VEGETATED AREA AT SECOND LEVEL:	756 S.F.
VEGETATED AREA AT ROOF LEVEL:	1,321 S.F.

3.913 S.F. PLANTERS AT THE SECOND FLOOR BALCONIES FACING THE ALLEY - ARE NOT INCLUDED IN LANDSCAPE CALCULATIONS PLANTER BOXES ADDED PER THE COMMUNITY PLANNING GROUP'S RECCOMENDATION,

VEGETATED AREA AT SECOND LEVEL ALLEY FACING BALCONIES: 50 SQ.FT. SITE PLAN LEGEND

DITLILI	TH LEGEND
	PROPOSED STREET TREE - GOLDEN MEDALLION H& ROX SIZT & 40 SQ.FT. ROOT ZONE)
	PROPOSED GRASS-CRETE
$\boxtimes\!$	PROPOSED HARDSCAPE AREA
	PROPOSED LANDSCAPE AREA/ GROUND COVER & SHRUBS
NAM COLUMN	PROPOSED PHOTOVOLTAIC ROOF
	PROPOSED BUILDING FOOTPRINT
	PROPERTY LINE
PLANT I	EGEND
LANDSCAPE ARI APPROVED PROJ - CALLISTE - BOUGAIN - PHORMIU - PHORMIU	EMON " LITTLE JOIIN" DWARF BOTTLEBRUSH IVILLEA "NAN DIEGO RED" ROEBELINII PYGMY DATE PALM MC CULTUARS NEW ZEALAND FLAX
	I. VAR. VARIEGATED MOCK ORANGE IA NICOLAI GIANT BIRD OF PARADISE





LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS INCLUDED IN CALCULATING REQUIRED LANDSCAP SIIALL DE OPEN TO THE SKY AND SHALL CONFORM TO LIPDO - SECTION §159,0403.

2. TREES SHALL BE POSITIONED AND KEPT MAINTAINED SO THAT ANY RRANCHIS THAT EXTEND OUT OVER DEDICATED STREET RIGHTS-OF WAY HAVE A MINIMUM OF 14 FEET 6 INCIRES OF CLEARANCE ABOVE THE SURFAC OF THE STREET.

3. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FEET ROOT ZONE AN PLANTED IN AN AIR AND WATTER PERMITABLE LANISCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.

- 4. MINIMUM TREE SEPARATION DISTANCE: TRAFFIC SIGNAL STOP BIGN-30 FEET UNDERGROUND UTLITY TINGS 5 FEET (SEWER-10 FEET) ABOVE GROUND UTLITY STRUCTURES (TRANSFORMERS, TUTDAANS, UTILITY YOLLS, TCG-10 FEET DRIVENATS-10 FEET DRIVENATS-10 FEET DRIVENATS-10 FEET

S. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS THE CITY-WIDE LANDSCAPE REGULATIONS, LA FOLLA PLANNED DISTRICT ORDINANCE REGULATIONS, THE CITY OF SAN DIRGO LAND DEVELOMENT MANUAL LANDSCAPE STANDARDS AND OTHER LANDSCAPE RELATED CITY AND REGIONAL TANDARDS

6. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED INY THE LOA. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DERING REALTING REQUIRE CENTRATION FEBAL SHALL BE MAINTAINED FREE OF DERING REALTING REQUIRE CENTRATION FEBAL SHALL BE MAINTAINED IN ALL HEALTING REQUIRE CENTRATION OF REPLACED FER THE CONDITIONS OF THE PERMIT

2. STREET TREES ARE REQUIRED WITHIN THE PUBLIC RIGHT OF WAY AT A RATE OF ONE CANOPY TREE PER 36 LINEAR FEET OF PROPURTY FRONTAGE. ALL TREES SHALL BE A MINIMUM 48 NOTH BUSZER WITH 463 (S. PEET ROOT 200K AND FLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA (142-009/AU)/LDC).

LANDSCAPE AREAS: LANDSCAPE REQUIREMENTS: LIDPO ZONE 4 OPTION A

PROVIDE A LANDSCAPED AREA EQUAL TO 25 PERCENT OF THE TOTAL LOT ARU-ATIBL LANDSCAPED AREA MAY BE PROVIDED AT THE GROUND LEVEL ON UPPER LEVEL BALCONES LOCKS, AND ROOKS, WITH PERMANENTLY AFFIXED PLANTER BOXES OR ANY COMBINATION THEREOF, A MINIMUM OF PERCENT OF THE LANDSCAPED RAREA SHALL BE VEGETATED.

LOT AREA (MINUS DEDICATION AREAS AT ALLEY:	15.172 S.F
TOTAL LANDSCAPE AREA REQUIRED (25% LOT AREA):	3,796 S.F.
TOTAL VEGETATED AREA REQUIRED (40% LANSCAPED AREA):	1,518 S.F.
TOTAL LANDSCAPE AREA PROVIDED (25.8% LOT AREA):	3,913 S.F.
TOTAL VEGETATED AREA PROVIDED (76.03% LANSCAPED AREA):	2,975 S.F.
HARDSCAPE AREA AT FIRST LEVEL:	831 S.F.
VEGETATED AREA AT FIRST LEVEL:	1005 S.F.
VEGETATED AREA AT SECOND LEVEL:	756 S.F.

VEGETATED AREA AT ROOF LEVEL: 1.321 S.F. TOTAL: 3.913 S.F.

PLANTERS AT THE SECOND FLOOR BALCONIES FACING THE ALLEY - ARE NO INCLUDED IN LANDSCAPE CALCULATIONS PLANTER BOXES ADDED FER THE COMMUNITY PLANNING GROUPS RECCOMENDATION.

VEGETATED AREA AT SECOND LEVEL ALLEY FACING BALCONIES: 50 SQ.FT.

SITE PLAN LEGEND

PROPOSED STREET TREE - GOLDEN MEDALLION (48 BOX SIZE & 40 SQ.FT. ROOT ZONE)

ROPOSED LANDSCAPE AREA/ GROUND COVER & SHRUBS

PROPOSED GRASS-CRETE

PROPOSED HARDSCAPE AREA

They are

PROPOSED PHOTOVOLTAIC ROOF

PROPOSED BUILDING FOOTPRINT

PROPERTY LINE

PLANT LEGEND

THE FOLLOWING PLANTS ARE PROPOSED TO BE USED WITH THE VEGETATED LANDSCAPF, AREAS, PLANT SPECIES/ TYPES ARE SIMILAR TO THE PREVIOUSE APPROVED PROJECT.

- CALLISTEMON * LITTLE JOHN* DWARF BOTTLEBRUSH - BOIKGAINVILLEA * SAN DIEGO RED* - PHOFINK ROEFBLLINF PYCHWY DATE PALM - PHOMIUNA CULTIVARS NEW ZEALAND FLAX - PHTT. TOB. VAR. VARUEGATED MOCK ORANGE - STRELITZIA NICOLAI GIANT BIRD OF PARADISE







1. ALL LANDSCAPE AREAS INCLUDED IN CALCULATING REQUIRED LANDSCAP SHALL BE OPEN TO THE SKY AND SHALL CONFORM TO LJPDO - SECTION §159.0403.

2. TREES SHALL BE POSITIONED AND KEPT MAINTAINED SO THAT ANY BRANCHIS THAT EXTEND OUT OVER DEDICATED STREET RIGHTS-OF WAY HAVE A MINIMUM OF 14 FEET 6 INCIRES OF CLEARANCE ABOVE THE SURFAC OF THE STREET.

3. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FEET ROOT ZONE AND PLANTED IN AN AIR AND WATTER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.

- 4. MINIMUM TREE SEPARATION DISTANCE: TRAFFIC SIGNAL STOP SIGN- 20 FEET UNDERGROUDD UTLITY UNES S FEET SEWER-10 FEET) ANOVE GROUND UTLITY STRUCTURES (TRANSFORMERS, INTORANTS, UTLITY SOLES, TC-). 10 FEET DRITTS/SECTIONS (INTERSECTION CURB LINES OF TWO STREETS)- 25 FEET

5. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, LA JOLLA PLANNED DISTRICT ORDINANCE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS

6. MAINTINANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY TIE HOA. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBINS HEALTHY GROWING CONDITION DISEASE ON BEAD TAINT MARTARL SHAL BE SATISFACTORILY TREATED OR REPLACED FER THE CONDITIONS OF THE PERMIT

7. STREET TREES ARE REQUIRED WITHIN THE PUBLIC RIGHT OF WAY AT A RATE OF ONE CANOPY TREE PER 30 LINEAR FEET OF PROPERTY FRONTAGE. ALL TORESS HALL BE A MINIMUM 46 INCH HOS SIZE: WITH 46 SQ, PLATE ROOT ZONE AND FLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA [442 409/(X)LL-DE].

LANDSCAPE AREAS: LANDSCAPE REQUIREMENTS: LIDPO ZONE 4 OPTION A

PROVIDE A LANDSCAPED AREA EQUAL TO 25 PERCENT OF THE TOTAL LOT AREA THE LANDSCAPED AREA MAY BE PROVIDED AT THE ORDUND LEVEL OR ON UPPER LEVEL BALCOWIES, DECKS, AND NOORS, WITH PERAMINENTLY AFFIXED PLANTER HOXES OR ANY COMMINATION THEREOF. A MINIMUM OF 40 PERCENT OF THE LANDSCAPED AREA SILALL DE VEGETATED

LOT AREA (MINUS DEDICATION AREAS AT ALLEY:	15,172 S.F.	
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TOTAL LANDSCAPE AREA PROVIDED (25.8% LOT AREA):	3.913 S.F.	
TOTAL VEGETATED AREA PROVIDED (76.03% LANSCAPED AREA):	2,975 S.F.	
HARDSCAPE AREA AT FIRST LEVEL:	831 S.F.	
VEGETATED AREA AT FIRST LEVEL:	1005 S.F.	
VEGETATED AREA AT SECOND LEVEL:	756 S.F.	
VEGETATED AREA AT ROOF EVEL-	1 121 S.F.	

TOTAL:

PLANTERS AT THE SECOND FLOOR BALCONIES FACING THE ALLEY - ARE NOT INCLUDED IN LANDSCAPE CALCULATIONS

3,913 S.F.

PLANTER BOXES ADDED PER THE COMMUNITY PLANNING GROUPS RECCOMENDATION.

VEGETATED AREA AT SECOND LEVEL ALLEY FACING BALCONIES: 50 SQ.FT. SITE PLAN LEGEND

PROPOSED STREET TREE - COLDEN MEDALLION (48 BOX SIZE & 40 SQ.FT. ROOT ZONE)
PROPOSED GRASS-CRETE
PROPOSED HARDSCAPE AREA
PROPOSED LANDSCAPE AREA/ GROUND COVER & SIJRUBS
PROPOSED PHOTOVOLTAIC ROOF
PROPOSED BUILDING FOOTPRINT
PROPERTY LINE
LEGEND
FPLANTS ARE PROPOSED TO BE USED WITH THE VEGETATED EAS. PLANT SPECIES/ TYPES ARE SIMILAR TO THE PREVIOUSL ECT.
MON " LITTLE JOHN" DWARF BOTTLEBRUSH VULLA" SAN DIEGO RED" ROFRIELINI PYGMY DATE PALM IM CULTIVARS NEW ZEALAND FLAX L. VAR. VARIEGATED MOCK ORANGE LA NICOLAL GIANT BURD OF RARADISE





FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the Architect and the issues resolved prior to proceeding with the work in question. B. Refer to Site Plan for Site and Utility Information. C. For Door and Windows See Schedules On Sheet A-8,1 D. For Interior Finish See Schedule On Sheet A-8,2 E. For lighting/RCP see A-3,1 to A-3,2, for Electrical See E-1,1 to

- E-1.4
- E-1.4
 F. For demolition, see sheets A-2.1 & A-2.2
 G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2
 H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4
- Walls R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised
- Floor Areas R-13 Batt Insulation at all accessible interior walls for sound control.
- control, R-30 Batt Insulation at Ceiling & Roof Areas, R-45 Insulation Wrap On All New Hot Water Piping, R-45 Insulation Wrap On All New Supply Ducts, HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to
- M-1.3.
- M-1.3.
 I. HVAC Equipment: Scc Equipment on ME-2 and Title-24 calculations on Sheet T-1.2.
 K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2.
 L. SMOKE DETECTORS: Shall be installed in each bedroom and
- SMOKE DETECTORS: Shall be installed in each bedroom and on access point to cach sleeping area and on cach story and basements. Detector shall have an alarm andible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with hattery backup. C.B.C. Sec. 310.9.1.3.
 WATER HEATER: New Aquastar 2405ng instant gas water heater. 81 EF for cap by pof 1, TANKLESS
 HVAC: New Rheem RGPJIONAMER, 80,000 BTU gas FAU, 80 AEUE (second true full)
- .80 AFUE (or eq) typ of 1

FLOOR PLAN LEGEND

NEW 2 X 4 STUD WALL @ 16" O.C. W/PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ \$ 9" GYP. BD. USE GREENBOARD OR TILE DACKER BOARD AT RESTROOMS.

NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE

- ONE HOUR CONSTRUCTION 2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE DETAIL 5'A10.3.
- \odot NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON
- $\langle A \rangle$ NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
 - SMOKE DETECTOR PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR UNISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE X" PER I'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
 - PROPOSED EXTERIOR LIGHTING

NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED 1/2 U.O.N.

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1 PROPOSED STRUCTURE DIMENSION

EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDTN, WALL INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.





SCALE: 1/8" = 1'-0"

PROPOSED SECOND FLOOR PLAN A-2.2 SHEET 14 OF 19







SCALE: 1/8" = 1'-0"







KEYNOTE LEGEND

4 CONCRETE SHINGLE ROOFING - CHARCOAL GRAY

I PROFILE OF PREVIOUS PROJECT

2 LINE OF EXISTING GRADE

3 LINE OF PROPOSED GRADE

DING FINISH SIMULATED STONE VENEER

WOOD PANELING TENANT SIGN LOCATION 10 ALUMINUM STOREFRONT SYSTEM

13 GARAGE GATE 14 SUPPORT COLUMN

15 FOAM CORNICE

11 OPERABLE METAL FRAMED WINDOW

DECORATIVE WOOD BAILING PANEL

Marengo Morton Architects 7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo SED ARCHI C-19371 REN. 04/30/201 All drarge, ideas and servaryment on these drawings are the legal p blarman Moran Architers. Iner-the specific project for which proposed as indicated on the pro-Rependencies, publication or re-marthod, in whole or part, whose nonsponsed is prohibited. 1 rhangus solubitations, no deviations from these of accompany's properties contain of Manuage More componented. Virtual, physic uniact or use of these dermiuse of these de ma shall consum all these reat BIRD ROCK MIXED USE BLVD 92037 *57*02 LA JOLLA E LA JOLLA, CA 9 REVERRES 10-3-11 Completeness Submitted 07-3-12 Community Presentation 7-19-12 Coastal Resubmitual 08-08-12 Community Plannin Δ Δ NOTE SURFACE MATERIALS SHALL DEMONSTRATE COMPLIANCE WITH SDMC 159.0308 METAL ACCENT ROOFS ARE TO BE NON REFLECTIVE AND USED AT A MINIMUM Δ PHASE колест но. 2011-13 UEVIEWED BY CAM RAWN BYRR, MC, JK DATE 01-10-2013 larange blower Architecto Int. 15 perioding by spreament ELEVATIONS A-5.1 SHEET 16 OF 19





NOTE SURFACE MATERIALS SHALL DEMONSTRATE COMPLIANCE WITH SDMC 159,0308 METAL ACCENT ROOFS ARE TO BE NON REFLECTIVE AND USED AT A MINIMUM

V	EYNOTE LEGEND
r	LE INOTE LEGEND
1	PROFILE OF PREVIOUS PROJECT
2	LINE OF EXISTING GRADE
1	LINE OF PROPOSED GRADE
4	CONCRETE SHINGLE ROOFING - CHARCOAL GRAY
5	SIDING FINISH
ń	SIMULATED STONE VENEER
7	WOOD PANELING
A	-
9	TENANT SIGN LOCATION
10	ALUMINUM STOREFRONT SYSTEM
11	OPERABLE METAL FRAMED WINDOW
12	DECORATIVE WOOD RAILING PANEL
13	GARAGE GATE
14	SUPPORT COLUMN
15	FOAM CORNICE











SHIFT WILF PROPOSED SECTIONS

> A-6.1 SHEET 18 OF 19



0





Marengo Morton Architects 7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Eau (685) 459-3769 Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo Des STED ARCH C-19371 REN. 04/30/201 sone of the second seco BIRD ROCK MIXED USE 5702 LA JOLLA BLVD LA JOLLA, CA 92037 et vuiced 10-3-11 Completeness Submittal 07-3-12 Community Presentation 7-19-12 Coastal Resubmittal 98-08-12 Community Planning PHASE PHASE PROJECT NO. 2011-13 REVIEWED BY CAM RAWN NY RR. MC, JK DATE 01-10-2013 tenang bioros dadram, ing a proving by symmetry dan ta arregi alta an Arra a granta, arban Magli Alant Arrana 1011110 PERSPECTIVES SHEET 19 OF 19





M			
Marengo Morton Architects 7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3769 Fax. (858) 459-3768 Michael Morton ALA Claude Anthony Marengo Des.			
BIRD ROCK MIXED USE 5702 LA JOLLA BLVD LA JOLLA, CA 92037			
Payment P			
PHASE			
PROJECT NO. 2011-13			
REVIEWED BY CAM			
DRAWN BYRR. MC, JK			
INTE 01-10-2013 There of the second			
SHEET - OF 19			



10 0 10 SCALE: 1"= 10'

BENCH MARK

S.E.B.P. BIRD ROCK AVENUE & LA JOLLA BLVD. ELEVATION 84.774 M.S.L.

SCALE: 15-10

GILLET THE

CONCEPTUAL GRADING PLAN

C1.0

SHEET 1 OF 1



BUILDING STATISTICS: BUILDING ELEVATIONS FIRST FLOOR: 86.4 SECOND FLOOR: 89.4/101.73 NO. OF CONDO UNITS:

RESIDENTIAL AREA, 2ND FLOOR:

N/A: THE SITE IS VACANT

PHRANE REDURDMENTS: FIRST REGOR 1.0 STALLS PER EMERY 1,000 S0/FT. [JS10 + 2020 = 5510 S0/FL] 1.0 x 5510 = 551 = 6 STALLS SECOND FLOOR: 2 STALLS PER I BEDROOM/ STUDIO (4) 2. STALLS PER 2. BEDROOM UNIT. (6) 2 x 4 (WITS) = 8 STALLS 2 x 6 (WITS) = 12 STALLS

TOTAL REQUIRED PARKING: 26 STALLS <u>ВСХСЕ РАНИМ:</u> RETAL: (S110 + 2000 = 5510 SQLFL) = 0.551 = 1 RESDENTAL: 6 (НЮ ВОНИ ИМПЗ) + 0.5 = 1 + (ОНЕ ВОНИ ИМПЗ) + 0.4 = 1.6 = 2 ТОЛИ. REOURDED НИМПЗ) - 0.4 = 1.6 = 2 ТОЛИ. REOURDED НИМПЗ) - 0.4 = 1.6 = 2 ТОЛИ. REOURDED НИМПЗ) - 0.5 +





Unurr AL TYPE OMERIN POWER CABLE TELEPHONE

ATTACHMENT 6

2 COMMERCIAL & 10 RESIDENTIAL 5,510 SF. 2,145 SF. 10,759 SF.

EXISTING PARKING TABULATION

PARKING ANALYSIS PER CURRENT CODE

<u>МОТОРСССЕЕ РАЗВИНС</u> RESDENTAL: 6 (THIC BORN UNITS) + 0.1 = 0.6 = 1 4 (ONE BORN UNITS) + 0.1 = 0.4 = 0 TOLAL REDURED PARKING: 1 PARKING SPACE

MONUMENTATION/MAPPING NOTE:

ALL PROPERTY CONNERS WILL BE NONUMENTED AND A ONE LOT FINAL MAP WILL BE FILED UPON APPROVAL OF THE T.M.

RESIDENTIAL CONDOMINIUM STATISTICS:

FLOOR	APPROX. SF.
SECOND	1,302 SF.
SECOND	1,202 SF.
SECOND	1,014 SF.
SECOND	839 SF.
SECOND	1.014 SF.
SECOND	864 SF.
SECOND	864 SF.
SECOND	1.014 SF.
SECOND	727 55
SECOND	984 SF.
TOTAL:	9.824 SF

COMMERCIAL CONDOMINIUM STATISTICS:

FLOOR	APPROX. SF.
FIRST FIRST	3,510 SF. 2,000 SF.
TOTAL:	5,510 SF.

STATU	S TABLE
ALLEY	
HEAD	UNDERGROUND
Norses.	X
	X
	X
IREET	5
HEAD	UNDERGROUND
	X
	x
	X

LEGAL DESCRIPTION LOTS 16-19 IN BLOOK 17 OF BHD ROCK CITY BY THE SEA. IN THE CITY OF SAN DEGO. COUNT OF SAN DEGO. STATE OF CAURDING. ACCORDING TO LAW THEREIN ON, 975. THED IN THE CATTEE OF THE COUNT PRECORDOR OF SAN DEGO COUNTY MARCH 13, 1908.

ASSESSOR'S PARCEL NUMBER 357-366-12 THROUGH

SITE ADDRESS 5702 LA JOLIA BLVD. LA JOLIA, CA 92037

ZONING Existing & proposed base zone: Planned district; overlay zones: COMMUNITY PLAN:

LIPD-4 LA JOLLA PLANNED DISTRICT PARKING IMPACT, COASTAL HEIGHT LIMIT, RESIDENTIAL TANDEM PARKING, COASTAL CITY, & TRANSIT AREA LA JOLLA

SITE AREA 0.685 ACRES (INCLUDES REVERSIONARY RIGHTS) 0.369 ACRES (EXCLUDES REVERSIONARY RIGHTS) 0.360 ACRES (EXCLUDES 2.5' ALLEY DEDICATION) GROSS AREA: GROSS AREA: NET AREA:

DEVELOPMENT SUMMARY

- THIS IS AN APPLICATION FOR A TENTATIVE MAP FOR CONDOMINIUM PURPOSES PURSUANT TO SECTION 125.0444 OF THE MUNICIPAL CODE.
- THIS IS A NEW DEVELOPMENT OF A TWO-STORY WIXED USE BUILDING. A COASTAL DEVELOPMENT PORMIT (COP) WHO SITE DEVELOPMENT PERMIT (SOP) APPLICATION IS BEING PROCESSED CONCUMENT WITH THE TENTATIVE MAP.
- J. ALL STREET IMPROVEMENTS AND UTILITIES ON BIRD ROCK AVENUE AND LA JOLLA BLVD. ARE
- 4. PROPOSED RESIDENTIAL CONDOMINIUM UNITS: 10
- PROPOSED COMMERCIAL CONDOMINIUM SUITES:
- EXISTING NUMBER OF LOTS: 4
- PROPOSED NUMBER OF LOTS: 1

PRIOR DISCRETIONARY APPROVALS

COASTAL DEVELOPMENT PERMIT AMENDMENT NO. 98-0366.

CONDOMINIUM NOTES

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SED. OF THE CAM, CODE OF THE STATE OF CALFORNIA AND IS FILED PURSUMNT TO THE SUBDINGSON MAP ACT. THE TOTAL ANUBLER OF RESIDENTIAL CONDOMINAU INITS IS 10, AND COMMERCIAL CONDOMINIONS UNITS IS 2, ALL N LOT 1.

EXISTING UTILITIES

- 8 INCH SEWER LINE IN LA JOLLA BLVD. PER CITY DWG. NO.
- 2. 16 INCH WATER LINE IN LA JOLLA BLVD. PER DWG. 32497-D.
- 3. B INCH SEWER LINE IN BIRD ROCK AVE. PER CITY DWG. 2231-L.
- 4. 6 INCH SEWER FORCE MAIN IN BIRD ROCK AVE. PER CITY DWG.
- 5. 8 A.C. INCH WATER LINE IN BIRD ROCK AVE. PER CITY DWG.
- THERE ARE NO EXISTING OVERHEAD UTILITIES ADJACENT TO THE SUBJECT PROPERTY.

EASEMENTS NON-PLOTTABLE

ACCESS EASEMENT IN FAVOR OF CHEVRON U.S.A. INC., REC., NOVEMBER 3, 1999, AS FILE NO. 1999-0734381, HAS NO SPECIFIC LOCATION SET FORTH IN THE DEED AND CANNOT BE PLOTTED.



PTS# 259632

BASIS OF BEARINGS THE BASIS OF BEARING FOR THIS MAP IS THE WESTERLY LIVE OF LA JOLLA BLYD. AS SHOWN ON RECORD OF SURVEY NO. 9184. 1.E. SZT'SE'48'E

TOPOGRAPHY EXISTING TOPOGRAPHY COMPILED FROM ARRIAL PHOTOGRAMMETRIC METHODS DATE: 4/13/05 DATUM: MEAN SEA LEVEL

BENCHMARK S.E.B.P. BIRD ROCK AVENUE & LA JOLLA BLVD. EL.=84.774 M.S.L.

NAD 83: 1876-6247 NAD 27: 236-1687 P.T.S. 259632 J.O.



ATTACHMENT 6

DESCRIPTION	STMEROL
TENTATIVE MAP BOUNDARY	
EXISTING LOT LINE	
LIMITS OF ALLEY DEDICATION	
RIGHT OF WAY LINE	-
STREET CENTERLINE	
DISTING CONTOURS	
PROPOSED CONTOURS	-83
EXIST. WATER LINE	w ww
EXIST. SEWER LINE	S S S
DRIST, SEWER FORCE MAIN	
EOST. SEWER LAT.	(EX. SEWER LAT.)
EXIST. WATER SERVICE	(EX. WATER LAT.)
EXIST, PEDESTRIAN RAMP	Levis .
EXIST, CURB & GUTTER	
EXIST. SPOT ELEVATIONS	× 82.6
2.5" ALLEY DEDICATION	
DIRECTION OF SURFACE WATER FLOW	←
SITE VISIBILITY TRIANCLE AREA (SEE GENERAL NOTE NO. J)	2111111

GRADING TABULATION

- KADING TABULATION TOTAL STERAS: 0.33 AC.± TOTAL STERAS: 0.33 AC.± PRECENT OF TOTAL STEE TO BE GRADEL: 0.33 AC.± PRECENT OF TOTAL STEE TO BE GRADEL: 100.0K ANDIANT OF FILL: 30 C.Y.± MANDIANT OF FILL: 30 C.Y.± MANDIANT OF FILL: 30 C.Y.± MANDIANT OF FILL: SLOPE: N/A.± CUT SLOPE RATIO: N/A ANDIANT OF DEPORT. 040 C.Y. RETAINING WALLS: N/A HEIGHT = N/A

.

TOPOGRAPHIC INFORMATION

- EXISTING TOPOGRAPHY COMPILED TROM AERIAL PHOTOGRAMMETRIC METHODS DATE: 4/13/05 DATUH: MEMY SEA LEVEL

SITE GRADING:

INTEL STATED STATED THAT IS A PROPOSED, WIL REQUIRE WHOR GRADING TO ESTABLISH THE PHYSICD DEVILORIUM OF THIS STRE. AS PROPOSED, WILL REQUIRE WHOR GRADING TO ESTABLISH THE PHYSICS ORIGOS TOR THE PROPOSED BUILDING. IT IS APPLICIANTED THAT A NOWINE ANOLHT OF WATERIN, WILL NEED TO BE EXPORED FROM THE STRE. ALL EXCANATED MATERIALS SHALL BE DISPOSED OF OFT-STRE AT A LEGA, DISPOSAL STRE.

SITE DRAINAGE: BULDING MO ROOF RUNDET SHILL BE RITEREDIED BY A FRANCE ON-SIE DRAINAGE SYSTEM MO DISCHARGED TO BE ADALOTS RESTERIS INDERING SCHARE UNDERDRAINS OF CURE OUTLTS, AND TO DESCHARGED TALET. THE LOCATOR OF THE SOBENUE UNDERDRAINS TO BE DETERMINED AT FINE. DESCHARGE THAT AND AT THE COTT DEGREES.

GENERAL NOTES:

- PRIOR TO BUILDING OCCUPANCY, THE APPLICANT SHULL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BUP MAINTENANCE.
- PRIOR TO THE ISSUMCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL, PLAN (1997P). THE WE'PS SHALL BE PREPARED IN ACCORDANCE WITH THE GAUGLINES IN APPENDENC "L" OF THE GIVES STORM INVERSE STANDARDS.
- J. NO OBSTRUCTION INCLUDING LANDSCAPING OR SOUD WALLS IN THE VISIBILITY AREA SHALL EXCEED J FEET IN HEIGHT,



NAD 83: 1876-6247 NAD 27: 236-1687 P.T.S. 259632 J.C

BENCHMARK S.E.B.P. BIRD ROCK IA JOLIA BLVD. EL.=84.774 M.S.L.

ATTACHMENT 7

PLANNING COMMISSION CONDITIONS FOR TENTATIVE MAP NO. 1087739 BIRD ROCK MIXED USE- PROJECT NO. 259362 ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Tentative Map will expire July 12, 2016.

- 2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map unless otherwise noted.
- 3. Prior to the Tentative Map expiration date, a Final Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
- 4. Prior to the recordation of the Final Map taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
- 5. The Final Map shall conform to the provisions of Coastal Development PermitNo. 913578.
- 6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

Project No. 259362 TM No. 1087739

ENGINEERING

- 7. The Final Map for Tentative Map No.1087739 shall comply with all Conditions of Coastal Development Permit No. 913578.
- 8. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
- 9. The Subdivider shall install appropriate private back flow prevention devices on all existing and proposed water services (domestic, irrigation, and fire) adjacent to the project site in a manner satisfactory to the Water Department Director.
- 10. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

MAPPING

- 11. A Final Map is required to consolidate the existing lots into one lot and to subdivide the ownership interest as a condition of the tentative map.
- 12. Prior to the recordation of the Final Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.

WASTEWATER

- 13. The developer shall design and construct all proposed public sewer facilities to the most current edition of the City of San Diego's sewer design guide. Proposed facilities that do not meet the current standards shall be private or re-designed.
- 14. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

Project No. 259362 TM No. 1087739

-PAGE 2 OF 4-

WATER

- 15. The Subdivider shall install fire hydrants, if required, at locations satisfactory to the Fire Department, the City Engineer and the Director of Public Utilities.
- 16. If the Subdivider makes any request for new water facilities (including services or fire hydrants), then the Subdivider shall design and construct such facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto.
- 17. The Subdivider shall provide a letter to the Development Project Manager, agreeing to prepare CC&Rs for the operation and maintenance of all private water facilities that serve or traverse more than a single condominium unit or lot.
- 18. The Subdivider agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Water facilities, as shown on the approved tentative map may require modification to comply with standard.

AFFORDABLE HOUSING

19. Prior to the issuance of any building permits, the developer shall comply with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

INFORMATION:

- The approval of this Tentative Map by the Planning commission of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto.

Project No. 259362 TM No. 1087739 Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.

Internal Order No. 24002235

Project No. 259362 TM No. 1087739

PLANNING COMMISSION RESOLUTION NUMBER R-TENTATIVE MAP NO. 1087739 BIRD ROCK MIXED USE PROJECT NO. 259362

WHEREAS, M.O.R.K. Family Trust, Subdivider, and Leppert Engineering Corporation, Engineer, submitted an application with the City of San Diego for a Tentative Map to construct a mixed-use project of 10 residential units and two commercial units know as the Bird Rock Mixed Use project. The project site is located at 5702 La Jolla Boulevard at Bird Rock Avenue in the Zone 4 of the La Jolla Planned District within the La Jolla Community Plan Area. The project site is legally described as Lots 16-19 in Block 17 of Bird Rock City by the Sea, in the City of San Diego, County of San Diego, State of California, according to Map No. 975, filed in the Office of the County Recorder of San Diego County, March 13, 1906.

WHEREAS, this is an application for a Tentative Map for condominium purposes pursuant to Section 125.0444 of the San Diego Municipal Code for the 0.37-acre site and this subdivision is a condominium project as defined in Section 1350 et. seq. of the Civil Code of the State of California.

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 1351 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 10 and the number of commercial condominium units is two.

WHEREAS, on June 27, 2013 the Planning Commission of the City of San Diego considered Tentative Map No. 1087739 and pursuant to San Diego Municipal Code section 125.0440 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same. NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that the Planning Commission adopts the following findings with respect to Tentative Map No. 1087739:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Action §§ 66473.5, 66474(a), and 66474(b)).

Project No. 259362 TM No. 1087739 June 27, 2013

Page 1 of 5
The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The La Jolla Community Plan (Plan) designates the project site Multi-Family residential. The Tentative Map proposes to create a mixed-use condominium project with 10 residential units and two commercial units. Therefore, the project includes a multi-family component and, therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Action §§ 66473.5, 66474(a), and 66474(b)).

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project would comply with all regulations of the Land Development Code and is requesting no deviations. The project would observe all required setbacks and height limits and would meet all required minimum lot sizes. Parking access would be taken from the alley behind the project and the project is proposed as a two-story development where a two-story maximum is allowed.

As the project would comply with all applicable codes and restrictions as outlined above, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

3. The site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a

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0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project site is a vacant, previously graded lot and is surrounded by multi-family residential and commercial retail businesses. The area is comprised of one and two-story buildings and the project would be compatible in size and type. The site is relatively flat and has existing public improvements making the site ready for the mixed-use development. Therefore, the site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).

4. The design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project is not located in or near any body of water of watercourse. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project will be required to construct curb ramps on both sides of alley adjacent to the project site and ten-foot visibility area must be clear of any obstacles greater than three feet. This will provide for driver and pedestrian safety. Therefore, the design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of

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property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

No easements have been acquired by the public at large for access through or use of the project property within the subdivision. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The proposed subdivision of a 0.37-acre parcel into one lot for residential and commercial development will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and preserving environmentally sensitive lands. Design guidelines have been adopted for the construction of the multi-family residences. However, they do not impede or inhibit any future passive or natural heating and cooling opportunities. With the independent design of the proposed subdivision each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (San Diego Municipal Code § 125.0440(h) and Subdivision Map Act § 66412.3).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

There are no Environmentally Sensitive Lands present on the site and the project is not located in or near the Multi-Habitat Planning Area. The Planning Commission has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of 10 residential units for private development is consistent with the housing needs anticipated for the La Jolla Community Planning area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED that, based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 1087739, is hereby granted to the M.O.R.K. Family Trust, Subdivider subject to the attached conditions which are made a part of this resolution by this reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is sustained, and Tentative Map No. 1087739 is granted to the M.O.R.K. Family Trust, Applicant/Subdivider, subject to the conditions attached hereto and made a part hereof.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SAN DIEGO, CALIFORNIA, ON June 27, 2013.

Reviewed by Morris E. Dye

By

Morris E. Dye Development Project Manager Development Services Department

Job Order No. 24002235

Project No. 259362 TM No. 1087739 June 27, 2013 RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

JOB ORDER NUMBER: 24002235

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNING COMMISSION COASTAL DEVELOPMENT PERMIT NO. 913578

This Coastal Development Permit No. 913578 is granted by the Planning Commission of the City of San Diego to M.O.R.K. Family Trust, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702 and 159.0201. The 0.37-acre, vacant site is located at 5207 La Jolla Boulevard, in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area. The project site is legally described as Lots 15, 16, 17 & 18 in Block 21 of La Jolla Park.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees to consolidate four lots into one lot and to construct an 18,414 square-foot, two-story, mixed-use development, consisting of 10 residential units and two commercial units totaling 7,655 square feet of commercial space, 26 parking spaces, and a loading area. The development is described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 27, 2013, on file in the Development Services Department.

The project shall include:

- a. A mixed-use development consisting of two commercial units totaling 7,655 square feet located on the first level, 10 residential units totaling 10,759 square feet located on the second level, and subterranean parking totaling 18,414 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s),

conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.

2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owners/Permittees signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.

4. This Permit is a covenant running with the subject property and shall be binding upon the Owners/Permittees and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owners/Permittees for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owners/Permittees shall secure all necessary building permits. The Owners/Permittees is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent

of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owners/Permittees of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owners/Permittees shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENGINEERING REQUIREMENTS:

11. The project proposes to export 840 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

13. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

14. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate, and assure by permit and bond, the improvement of an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.

15. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Applicant must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.

16. Prior to the issuance of any building permits, the Owner/Permittee shall reconstruct the existing curb ramps on both sides of the alley entrance, adjacent to the site, with current City Standard Drawing SDG-136 with truncated domes, satisfactory to the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet in the Bird Rock Avenue Right-of-Way.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

21. Prior to the issuance of any construction permit the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.

22. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A" on file in the Office of the Development Services Department.

24. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square-foot area around

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each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

25. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

26. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

27. Prior to issuance of any construction permits for buildings a water budget shall be provided in accordance with the Water Conservation Requirements-Section 142.0413, Table 142-04I. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual. The Irrigation audit shall certify that all plants, irrigation systems, and landscape features have been installed and operate as approved by the Development Services Department prior to occupancy of use.

28. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

29. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

31. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The trees shall be maintained in a site manner to allow each tree to grow to its mature height and spread.

PLANNING/DESIGN REQUIREMENTS:

32. All commercial loading and unloading activities in the alleyway shall occur only between the hours of 7 AM and 7 PM.

33. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.

34. No fewer than 26 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the Exhibit "A". Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.

35. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

36. A topographical survey conforming to the provisions of the Municipal/Land Development Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the Permittee.

37. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

38. All signs shall comply with the San Diego Municipal Code Chapter 14, Article 2, Division 12, "Sign Regulations

39. All fences and retaining walls shall comply with the San Diego Municipal Code Section 142.0301.

40. Unless there is a code change/amendment, office use is not permitted with the Residential/Retail mixed use bonus density per SDMC 159.0307(c)(2).

TRANSPORTATION REQUIRMENTS:

41. No fewer than 26 parking spaces (20 tandem spaces for 10 residential units and 6 spaces for Commercial/Retail) shall be permanently maintained on the mixed use site within the approximate location shown on the project's Exhibit "A", including 1 disabled/accessible. A minimum of 1 motorcycle and 6 bicycle spaces shall be provided on site.

42. The applicant shall dedicate and improve an additional two feet, six inches (2.5) along the project's frontage of the alley, satisfactory to the City Engineer.

43. The applicant shall construct pedestrian ramps at both east and west sides of the alley entrance, satisfactory to the City Engineer.

WATER/WASTEWATER REQUIREMENTS:

44. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) if required, outside of any driveway or drive aisle and the removal of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Director of Public Utilities, the City.

45. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

46. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any public water and sewer facilities.

47. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

48. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

AFFORDABLE HOUSING REQUIREMENTS:

49. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the Planning Commission of the City of San Diego on June 27, 2013.

ATTACHMENT 8

COASTAL DEVELOPMENT PERMIT NO. 913578 Date of Approval: June 27, 2013

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Morris E. Dye TITLE: Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owners/Permittees, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owners/Permittees hereunder.

Michael Krambs Owner/Permittee

By

Michael Krambs

Olga V. Krambs Owner/Permittee

By_

Olga V. Krambs

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

PLANNING COMMISSION RESOLUTION NO. COASTAL DEVELOPMENT USE PERMIT NO. 913578 BIRD ROCK PROJECT NO. 259362

WHEREAS, M.O.R.K. Family Trust, Owner/Permittee, filed an application with the City of San Diego for a Coastal Development Permit and Tentative Map, to construct an 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area, (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 913578), on portions of a 0.37-acre lot; and

WHEREAS, the project site is located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area; and

WHEREAS, the project site is legally described as Lots 16-19 in Block 17 of Bird Rock City by the Sea, in the City of San Diego, County of San Diego, State of California, according to Map No. 975, filed in the Office of the County Recorder of San Diego County, March 13, 1906; and

WHEREAS, on June 27, 2013, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 913578, pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated June 27, 2013.

FINDINGS:

COASTAL DEVELOPMENT PERMIT FINDINGS

1. THE PROPOSED COASTAL DEVELOPMENT WILL NOT ENCROACH UPON ANY EXISTING PHYSICAL ACCESS WAY THAT IS LEGALLY USED BY THE PUBLIC OR ANY PROPOSED PUBLIC ACCESSWAY IDENTIFIED IN A LOCAL COASTAL PROGRAM LAND USE PLAN; AND THE PROPOSED COASTAL DEVELOPMENT WILL ENHANCE AND PROTECT PUBLIC VIEWS TO AND ALONG THE OCEAN AND OTHER SCENIC COASTAL AREAS AS SPECIFIED IN THE LOCAL COASTAL PROGRAM LAND USE PLAN.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

All of the proposed development will be contained within the existing disturbed, previously developed and graded site. The project site has no existing physical access used legally or otherwise by the public, nor does it have any public access identified in the Local Coastal Program. The subject property is not identified in the City of San Diego's adopted LCP Land Use Plan as a public accessway. The project site is bounded by single family residential development to the west, multi-family to the north, and commercial to the south and across La Jolla Boulevard to the east. The site is privately owned and currently vacant.

The project is completely contained within the private property, and as such, the project would not encroach upon any existing physical access way. There is no identified physical accessway in the immediate vicinity of the project. The nearest dedicated public access to the shoreline is at the end of Bird Rock Avenue, three blocks away. There is no beach immediately adjacent to the project as the site is located three blocks to the east of the shoreline.

The La Jolla Community Plan identifies a public view corridor along Bird Rock Avenue, immediately south of the project site through Bird Rock Avenue. The proposed building would conform to the maximum 30-foot Coastal Height Limit allowed by the zone. The La Jolla Community Plan defines a View Corridor as an unobstructed frame view down a public right-ofway. The westernmost end of Bird Rock Avenue is also identified as a View Cone, which is defined by a 90 degree angle radiating lines from a public vantage point (the centerline of the street) to the corners of the buildable envelope as defined by the setbacks of each property closest to the ocean or shoreline. All View Cones are directed towards a coastal body of water. The Bird Rock Avenue View Cone is located at the end of the street over three blocks to the west of the project site. Staff has concluded that the proposed project would be in compliance with the requirements of the underlying zone regarding heights and setbacks and, therefore, would not encroach into either the View Corridor or View Cone. The proposed project would meet the City of San Diego's setback requirements, and would not result in a blockage or obstruction of the View Corridor along Bird Rock Avenue or the View Cone at the end of Bird Rock Avenue.

As there is no physical access way near the project and public views near the site would be maintained along Bird Rock Avenue, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

2. THE PROPOSED COASTAL DEVELOPMENT WILL NOT ADVERSELY AFFECT ENVIRONMENTALLY SENSITIVE LANDS.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project is proposed for a site that is located in a built, urban environment, and does not impact any Environmentally Sensitive Lands. The project is also not adjacent to any sensitive

resources, and not within, or adjacent to, the Multi-Habitat Planning Area (MHPA). As the project is not located within, or adjacent to, any sensitive resources areas, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. THE PROPOSED COASTAL DEVELOPMENT IS IN CONFORMITY WITH THE CERTIFIED LOCAL COASTAL PROGRAM LAND USE PLAN AND COMPLIES WITH ALL REGULATIONS OF THE CERTIFIED IMPLEMENTATION PROGRAM.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The proposed project conforms to the certified Local Coastal land use plan. No public view to the water would be adversely affected by the approval of this project. A View Corridor along Bird Rock Avenue and View Cone at the western end of Bird Rock Avenue would be preserved and the project would not impact this coastal view area. The project meets the intent of the guidelines for the Coastal Overlay and Coastal Height Limitation Overlay zones. The proposed development would be consistent with the recommended neighborhood commercial land use prescribed by the La Jolla Community Plan. The proposed development would also be consistent with the purpose and intent of the La Jolla Planned District Zone 4 and comply with the applicable development regulations of the Land Development Code. Therefore, the proposed development would be in conformity to the certified Local Coastal Program land use plan and comply with all regulations of the certified Implementation Program.

4. FOR EVERY COASTAL DEVELOPMENT PERMIT ISSUED FOR ANY COASTAL DEVELOPMENT BETWEEN THE NEAREST PUBLIC ROAD AND THE SEA OR THE SHORELINE OF ANY BODY OF WATER LOCATED WITHIN THE COASTAL OVERLAY ZONE THE COASTAL DEVELOPMENT IS IN CONFORMITY WITH THE PUBLIC ACCESS AND PUBLIC RECREATION POLICIES OF CHAPTER 3 OF THE CALIFORNIA COASTAL ACT.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The proposed development site is not located between the nearest public roadway and the sea or shoreline of any body of water located within the coastal zone. Therefore, the project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Coastal Development Permit No. 913578 is hereby GRANTED by the Planning

ATTACHMENT 9

Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 913578, a copy of which is attached hereto and made a part hereof.

Morris E. Dye Development Project Manager Development Services

Adopted on: June 27, 2013 Job Order No. 24002235

ATTACHMENT 10



PO Box 889, La Jolla, CA 92038 http://www.LaJollaCPA.org Voicemail: 858.456.7900 info@LaJollaCPA.org

La Jolla Community Planning Association

Regular Meetings: 1stThursday of the Month La Jolla Recreation Center, 615 Prospect Street

Thursday, 2 August 2012

DRAFT MINUTES – REGULAR MEETING

Trustees Present: Dan Allen, Cynthia Bond, Tom Brady, Devin Burstein, Laura Ducharme-Conboy, Michael Costello, Dan Courtney, Tony Crisafi, Jim Fitzgerald, Orrin Gabsch, Joe LaCava, David Little, Tim Lucas, Nancy Manno, Phil Merten, Cindy Thorsen, Frances O'Neill Zimmerman.

1. Welcome and Call To Order: Tony Crisafi, President, at 6:05 PM

2. Adopt the Agenda

Approved Motion: Motion to adopt the Agenda, (Fitzgerald/Brady, 9-0-1).

In favor: Allen, Brady, Conboy, Costello, Fitzgerald, Gabsch, LaCava, Manno, Merten. Abstain: Crisafi.

- Meeting Minutes Review and Approval 5 July Regular Meeting
- Approved Motion: Motion to approve Minutes of the 5 July Meeting, (Brady/Fitzgerald, 9-0-1). In favor: Allen, Brady, Conboy, Costello, Fitzgerald, Gabsch, LaCava, Manno, Merten. Abstain: Crisafi.
- 4. Elected Officials Report Information Only

A. San Diego City Council District 2 - Councilmember Kevin Faulconer Rep: Katherine Miles, 619.236.6622, <u>kmiles@sandiego.gov</u> Ms. Miles was not present.

B. San Diego City Council District 1 - Councilmember Sherri Lightner Rep: Erin Demorest, 619.236.7762, <u>edemorest@sandiego.gov</u>

Ms. Demorest reported that the Historical Sites Board will consider changes to the historical designation process at their meeting 13 August; the Planning Commission will hear the year-round rope barrier at Children's Pool on 30 August at 8:20 AM in the City Council chamber at 202 C Street, 13th floor; there will be a career fair 25 August 8 AM to noon at Golden Hall.

- 5. Non-Agenda Public Comment Issues not on the agenda and within LJCPA jurisdiction, two (2) minutes or less.
 - A. UCSD Planner: Anu Delouri, <u>adelouri@ucsd.edu</u>, <u>http://physicalplanning.ucsd.edu</u> Ms. Delouri was not present.

General Public Comment

Jane Reldan repeated Erin Demorest's announcement concerning the Children's Pool rope barrier. **Marne Foster**, candidate for San Diego Unified School District board, District E, spoke. **Michelle Holt** announced that Tuesday, 7 August, is "National Night Out", crime/drug prevention event; she hopes La Jolla will organize activities in the community for next year. **Robert Felix**, from Walk San Diego, announced "Walk Audits" planned for the end of September; SANDAG has increased funding for pedestrian facilities. **Joe Parker**, Bird Rock Community Council, announced their community event/fundraiser to be held 11 August. **Michael Morton** reported that the Gatto Residence was completed, and he also spoke about seeking donations for the La Jolla

President: Tony Crisafi Vice President: Joe LaCava Treasurer: Orrin Gabsch Assistant Treasurer: Jim Fitzgerald Secretary: Dan Allen DRAFT Minutes of the La Jolla Community Planning Association, Regular Meeting, 2 August 2012 Page 2 of 6

Community Center, formerly the Riford Senior Center.

6. Non-Agenda Items for Trustee Discussion

Issues not on the agenda and within LJCPA jurisdiction, two (2) minutes or less. There were no comments from Trustees.

7. Officer's Reports

A. Secretary

Trustee Allen stated LJCPA is a membership organization open to La Jolla residents, property owners and local businesspersons at least 18 years of age. By providing proof of attendance one maintains membership and becomes eligible for election as a Trustee. Eligible non-members wishing to join the LJCPA must have recorded attendance for one meeting and must submit an application. Forms are on-line at <u>www.lajollacpa.org</u>.

B. Treasurer

Trustee Gabsch asked assistant treasurer, **Jim Fitzgerald**, to give the Treasurer's report. **Trustee Fitzgerald** presented the results for the past month. July Beginning Balance: \$589.34+ Income \$156.01 – Expenses \$398.02 = August Beginning Balance: \$347.33. Expenses for the month included agenda printing, telephone expenses and the semi-annual rent payment for the meeting room.

Trustee Fitzgerald commented on the special generosity of the Membership and Trustees and reminded Trustees, Members and guests: LJCPA is a non-profit organization and must rely solely on the generosity of the community and the Trustees. All donations are in cash to preserve anonymity.

8. President's Report – Action Items where indicated

A. Trustee Special Election – today; polls to close at 7 PM.

B. A Committee Appointment by other community group - for ratification by Trustees - action item

Approved Motion: Motion to ratify the appointment by the other parent organization, La Jolla Town Council, of Mathew Welsh to the Development Permit Review Committee, (Costello/ Manno, 12-0-1).

In favor: Allen, Bond, Brady, Burstein, Conboy, Costello, Fitzgerald, Manno, Merten, Gabsch, LaCava, Little. Abstain: Crisafi.

C. Ad Hoc Committee on Trustees Representing Project Applicants or Project Opponents – Action item

Appointees: Phil Merten - Chair, Mike Costello - Vice Chair, Laura Ducharme-Conboy, Jim Fitzgerald, Joe LaCava, Tony Crisafi, Cindy Thorsen, Rob Whittemore.

Comments about the makeup of the committee were made with regard to appropriateness of relative participation by persons with professional interests in development, construction, architecture, *etc.* Speaking were **Trustees Little, LaCava, Manno, Courtney, Brady** and **Fitzgerald**. Also commenting were **Jane Reldan**, **Esther Viti** and **Bob Whitney**.

Approved Motion: Motion to ratify the appointments to the Ad Hoc Committee on Trustees Representing Project Applicants or Project Opponents, (Gabsch/Manno, 10-2-3).

In favor: Allen, Bond, Brady, Conboy, Costello, Courtney, Fitzgerald, Lucas, Manno, Gabsch. Opposed: Burstein, Little. Abstain: Merten, LaCava, Crisafi.

9. Consent Agenda – Ratify or Reconsider Committee Action

Consent Agenda allows the Trustees to ratify actions of our joint committees and boards in a single vote with no presentation or debate. The public may comment on consent items. Anyone may request that a consent item be pulled for reconsideration and full discussion. Items pulled from this Consent Agenda are automatically trailed to the next CPA meeting.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4pm

DPR - Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4pm PRC - LJ Shores Permit Review Committee, Chair Helen Boyden, 4th Tues, 4pm T&T - Traffic & Transportation Board, Chair Todd Lesser, 4th Thurs, 4pm A. SPOT Kids Sign PDO Action: This sign substantially conforms to the PDO. 7-0-0 7632 Herschel Ave- New signage to be positioned on the front stucco wall above trellis. B. Mazon EOT PRC ACTION: The findings can be made for an Extension of Time for the CDP No. 569852 and SDP No. 569853, 5-0-2 7921 El Paseo Grande - EOT for CDP No. 569852 and SDP No. 569853 to demolish an existing residence and construct a 4,461 SF single-family residence on a 0.14 acre site C. Palazzo SCR - Pulled by Mike Costello PRC ACTION: The Findings can be made for Substantial Conformance of plans dated July 2, 2012 and submitted to the City against vested CDP No. 46240, SDP No. 4624, PDP No. 207962 and Map Waiver No. 219822. 6-0-1 2402 Torrey Pines Rd - SCR against PTS#19379; CDP No. 46240, SDP No. 46241, Planned Development No. 207962 & Map Waiver No. 219822. The original approval allows 30 dwelling units and SCR proposes 27 dwelling units **D. Lai Residence EOT** PRC ACTION: The findings can be made for an Extension of Time for CDPs 51302 and 40871, SDP 51303 and 40872 and Lot Line Adjustment 165689. 6-0-1. 2037 Torrey Pines Rd - Extension of Time for CDP 51302 and 40871, SDP 51303 and 40872 and Lot Line Adj. 165689 to construct a 6,700 SF residence on a 0.23 acre vacant site and demolish an existing two car garage and add a 677 SF three car garage and add a 1,196 SF guest guarters to an existing 1,787 SF res E. Valet Permit 909 Prospect St – Pulled by Nancy Manno T & T ACTION: Approved, 4-1-1. 909 Prospect St. - Request for Valet Parking permit for Barfly restaurant. F. 9th Annual La Jolla Concours d'Elegance – Pulled by Dan Courtney T&T ACTION: Approved, contingent on showing support of businesses on Wall and Prospect Streets, 5-0-2. Friday April 6th to April 7th- Street Closures G. Red Curb 7205 Olivetas - Pulled by Mathew Welsh, applicant T&T ACTION: Not approved, 3-3. 7205 Olivetas - red curb opposite the driveway of 7205 Olivetas Trustee LaCava commented on the sloppy reporting of Traffic & Transportation Board minutes to the Trustees. **Approved Motion: Motion**

To accept the action of the Planned District Ordinance Committee: (A) SPOT Kids Sign: The sign substantially conforms to the PDO, and forward the recommendation to the City,

To accept the action of the Development Permit Review Committee: (B) Mazon EOT: The findings can be made for an Extension of Time for the CDP No. 569852 and SDP No. 569853, and forward the recommendation to the City,

To accept the action of the La Jolla Shores Permit Review Committee: (D) Lai Residence EOT: The findings can be made for an Extension of Time for CDPs 51302 and 40871, SDP 51303 and 40872 and Lot Line Adjustment 165689, and forward the recommendation to the City,

(Gabsch/Fitzgerald, 14-0-1).

In favor: Allen, Bond, Brady, Burstein, Conboy, Courtney, Costello, Fitzgerald, Lucas, Manno, Merten, Gabsch, LaCava, Little. Abstain: Crisafi. DRAFT Minutes of the La Jolla Community Planning Association, Regular Meeting, 2 August 2012 Page 4 of 6

10. Reports from Other Advisory Committees - Information only

- A. Coastal Access and Parking Board Meets 1st Tues, 4pm, La Jolla Recreation Center. Did not meet in July
- B. Community Planners Committee Meets 4th Tues, 7pm, 9192 Topaz Way, San Diego Trustee LaCava reported that the CPC is still working on the issue of utility boxes; the Mayor wants CPAs to participate in the October/November period in the development of next year's list of Capital Improvement Projects. Trustee Manno suggested forming a committee to work on this. Don Schmidt commented.

11. Robbins Residence - Action Item

475 Gravilla Street - Variance for over height walls within the required setbacks, eliminate required on site parking and walls above 3' within the required visibility areas and Neighborhood Development Permit for a 5' wall in the public right of way.

DPR MOTION (June 2012): Findings can be made for a Variance for over height walls within the required setbacks, eliminate required onsite parking and walls above 3' within the required visibility areas and Neighborhood Development Permit for a 5' wall in the public right of way at 475 Gravilla St. 5-0-0 LJCPA ACTION (July 2012): Pulled from Consent Agenda by Phil Merten. Presenting: Matt Peterson attorney for applicant: Jim Robbins

Mr. Peterson explained the situation and provided a handout. It is a garage conversion to living space and associated wall, fence and landscape improvement. **Trustee Merten** opposes due to the loss of parking in a neighborhood where there are small lots and an apparent parking shortage. He emphasized the details of the development code which indicate that findings could not be made and provided a handout. **Jim Robbins**, the applicant, stated that the original garage and driveway were unusable for modern automobiles with lower ground clearance than those at the time of the home construction; no reasonable driveway modification would solve the problem. There were questions from **Trustees Burstein**, **Courtney**, **LaCava**, **Allen** and **Bond**. Questions also were asked by **Jane Reldan**, **Claude-Anthony Marengo** and **Bob Collins**. In addition to **Trustee Merten**, there was discussion by **Trustees Costello**, **Lucas**, **Crisafi**, **LaCava**, **Fitzgerald** and **Zimmerman**.

Approved Motion: Findings can be made for a Variance and Neighborhood Development Permit for over-height walls within the required setbacks, remove required non-conforming on-site parking and modify non-conforming walls to comply with the three-foot high SDMC visibility requirements and to allow the bottom three feet of the existing wall to remain in the public rightof-way based on the right-of-way and fence revision drawing dated 10-3-2011 and understanding that the variance will include the proposed deed restriction, (Costello/Burstein, 12-4-1).

In favor: Allen, Bond, Brady, Conboy, Costello, Courtney, Fitzgerald, Gabsch, LaCava, Lucas, Manno, Thorsen. Opposed: Little, Merten, Zimmerman. Abstain: Crisafi.

12. Increase speed limit from 25 MPH to 35 MPH - Nautilus Street – Action item

Nautilus St from W. Muirlands to Fay - an increase in the posted speed limit *T*&*T ACTTON (June 2012): Motion to approve failed 2-3-1* LJCPA ACTTON (July 2012): Pulled from Consent Agenda by David Little. Applicant: City of San Diego

Trustees Little, Gabsch, Conboy, Allen, Brady, Courtney, Lucas, LaCava and **Thorsen** spoke on the issue. The problem is that San Diego Police will not use radar in areas such as this one where the posted limit is less than the 85th percentile of car speeds measured in a speed survey. A raise in the posted limit from 25 to 35 MPS would permit use of radar on Nautilus St from W. Muirlands to Fay to apprehend and cite speeders. A secondary issue was participation of neighbors in the City's process to propose this changed speed limit. President Crisafi read letters in opposition to changing the speed limit from **Barbara Hagey** and **Allen Brown**.

Approved Motion: Do not increase the speed limit on Nautilus St from W. Muirlands to Fay, (Burstein/Zimmerman, 14-2-1).

In favor: Bond, Brady, Conboy, Costello, Courtney, Fitzgerald, Gabsch, Little, Lucas, Manno, Merten, Thorsen,

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Zimmerman. Opposed: Allen, LaCava. Abstain: Crisafi.

13. Bird Rock Mixed Use - Action Item

5702 La Jolla Boulevard - CDP to construct 10 residential for-rent units and 7,726 SF of commercial space on a vacant 0.37 acre site.

PDO MOTION (JULY 2012): The proposed Bird Rock Mixed Use project #259362 conforms with the LJ PDO. Balcony rail planters and grasscrete in the alley dedication area are recommended. 6-0-1

DPR MOTION (JULY 2012): The Findings for a CDP and NDP, that the development complies with the applicable regulations of the Land Development Code, cannot be made because the LJPDO does not allow tandem parking for commercial uses. 5-0-2

Full consideration at request of Applicant

Presenting: C.-A. Marengo, applicant's representative and project architect

Mr. Marengo provided written presentation material. He explained why the DPR voted that findings could not be made, and he provided his counter arguments. This is the fourth iteration of development proposals for this parcel. **Sara Breck, Jane Reldan, Don Schmidt, Joe Parker, Bill Breck, Darcy Ashley** and **Fred Webber** addressed the issues. **Trustees Little, Lucas, Costello, Courtney, Thorsen, Conboy, LaCava, Merten, Manno, Gabsch** and **Crisafi** discussed the proposal. Trustee discussion centered on the issue the functionality of tandem parking accessed by the relatively narrow alley. An additional concern was the parking impact of this project and others as the commercial area of Bird Rock fills in.

Approved Motion: The findings can be made for a Coastal Development Permit and a Neighborhood Development Permit for the proposed Bird Rock Mixed Use project, (Thorsen/Brady, 13-2-1).

In favor: Allen, Brady, Conboy, Courtney, Fitzgerald, Gabsch, LaCava, Little, Lucas, Manno, Merten, Thorsen, Zimmerman. Opposed: Bond, Costello. Abstain: Crisafi.

Trustee Special Election Result – one vacant seat due to Trustee resignation announced in May Election Chair **Tim Lucas** presented the vote count to **President Crisafi**, who then announced the result: Elected to a three year term: Bob Collins

The number of ballots cast was 48. **President Crisafi** announced that results can be challenged until Thursday, August 9, 5:00 pm. If no challenge, the ballots will be destroyed.

President Crisafi thanked Election Chair **Trustee Tim Lucas** for, once again, running a flawless election, and thanked all of the Community Members who graciously contributed their time assisting **Trustee Lucas**. **Trustees** expressed their gratitude.

14. CPA Role in Code Violations within the Community – Discussion / Action Item

DPR MOTION (JULY 2012): The DPR Committee recommends that the LJCPA take a formal position on projects where code violations negatively affecting community and neighborhood character have occurred. 7-0-0

Discussion ensued on what kinds of violations – visual appearance or building technicalities – would be subject. How would LJCPA initiate an action and to whom would it deliver it? There was an assertion that City code enforcement is separate from building inspection staff and the former cannot act until the latter has approved and signed-off a permit. Is the matter of concern that the Development Services Department is interpreting codes in error in the permit process? **Trustees Merten**, **Zimmerman**, **Crisafi**, **Conboy**, **Little**, **Allen**, **Fitzgerald** and **Thorsen** spoke on the issue as did **John Berol**, **Erin Demorest**, **Bob Whitney**, **Helen Boyden**, and **Claude-Anthony Marengo**. **Trustee Manno** suggested that the discussion be continued by the **Ad Hoc Committee on Trustees Representing Project Applicants or Project Opponents**.

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15. Adjourn, at 9:40 PM. Next Regular Monthly Meeting, 6 September, 6:00 pm.

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ATTACHMENT 12



County of San Diego

JACK MILLER DIRECTOR DEPARTMENT OF ENVIRONMENTAL HEALTH LAND AND WATER QUALITY DIVISION P.O. BOX 129261, SAN DIEGO, CA 92112-9261 858-505-6648/FAX 858-505-6848/1-800-253-9933 www.sdcdeh.org

ELIZABETH POZZEBON ASSISTANT DIRECTOR

November 14, 2012

Mr. Michael Krambs P.O. Box 2035 La Jolla, CA 92038

Dear Mr. Krambs:

REPORT RESPONSE VOLUNTARY ASSISTANCE PROGRAM CASE #H13147-004 BIRDROCK MIXED USE 5702 LA JOLLA BLVD, LA JOLLA, CA

The *Vapor Risk Assessment Addendum* prepared by Advantage Environmental for the above referenced site dated October 31, 2012 and received by the Department of Environmental Health (DEH) on November 2, 2012 was reviewed and we have the following comments:

 The human health vapor risk assessment is approved for the proposed mixed-use redevelopment of the site. Please obtain a permit to properly destroy the soil vapor probes.

Please call me at (858) 505-6983 if you have any questions.

Sincerely,

Ellen Beacon

Digitally signed by Ellen Beacon DN: cn=Ellen Beacon, o=County of San Diego, ou=SAM, email=Ellen.Beacon@sdcounty.ca.gov, c=US Date: 2012.11.41 51:24:27 - 08'00'

ELLEN BEACON, PG 7566 Project Manager Site Assessment and Mitigation Program

cc: Mr. Michael Gibbs, Advantage Environmental (via e-mail) Ms. Holly Smit-Kicklighter, City of San Diego (via e-mail)

WP/H13147-004RR11--12

"Environmental and public health through leadership, partnership and science"